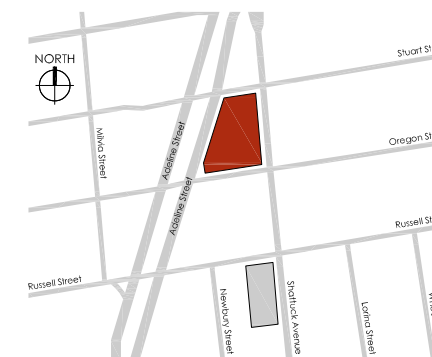


R.O.W. ENCROACHMENT

ENCROACHMENTS INTO THE PUBLIC R.O.W. (PER CBC 3202):
 -ARCHITECTURAL FEATURES BELOW 8' IN HEIGHT SUCH AS COLUMNS, PILASTERS, BASES, AND MOLDINGS SHALL NOT PROJECT MORE THAN 12"
 -ARCHITECTURAL FEATURES 8' OR HIGHER ARE PERMITTED TO ENCROACH 1" PER EACH ADDITIONAL 1" OF CLEARANCE ABOVE 8', BUT THE MAXIMUM ENCROACHMENT SHALL NOT EXCEED 4'-0"
 -ARCHITECTURAL FEATURES 15' OR HIGHER SHALL BE PERMITTED AND SHALL NOT BE LIMITED
 -THE VERTICAL CLEARANCE FROM THE PUBLIC R.O.W. TO THE LOWEST PART OF ANY AWNING SHALL NOT BE LESS THAN 7'-0"
 -AWNINGS, CANOPIES, MARQUEES AND SIGNS LOCATED LESS THAN 15' ABOVE THE SIDEWALK SHALL NOT EXTEND INTO MORE THAN 2/3 THE WIDTH OF THE SIDEWALK, MEASURED FROM THE BUILDING; STANCHIONS OR COLUMNS SUPPORTING THESE ELEMENTS SHALL BE LOCATED NOT LESS THAN 2' IN FROM THE CURB LINE.

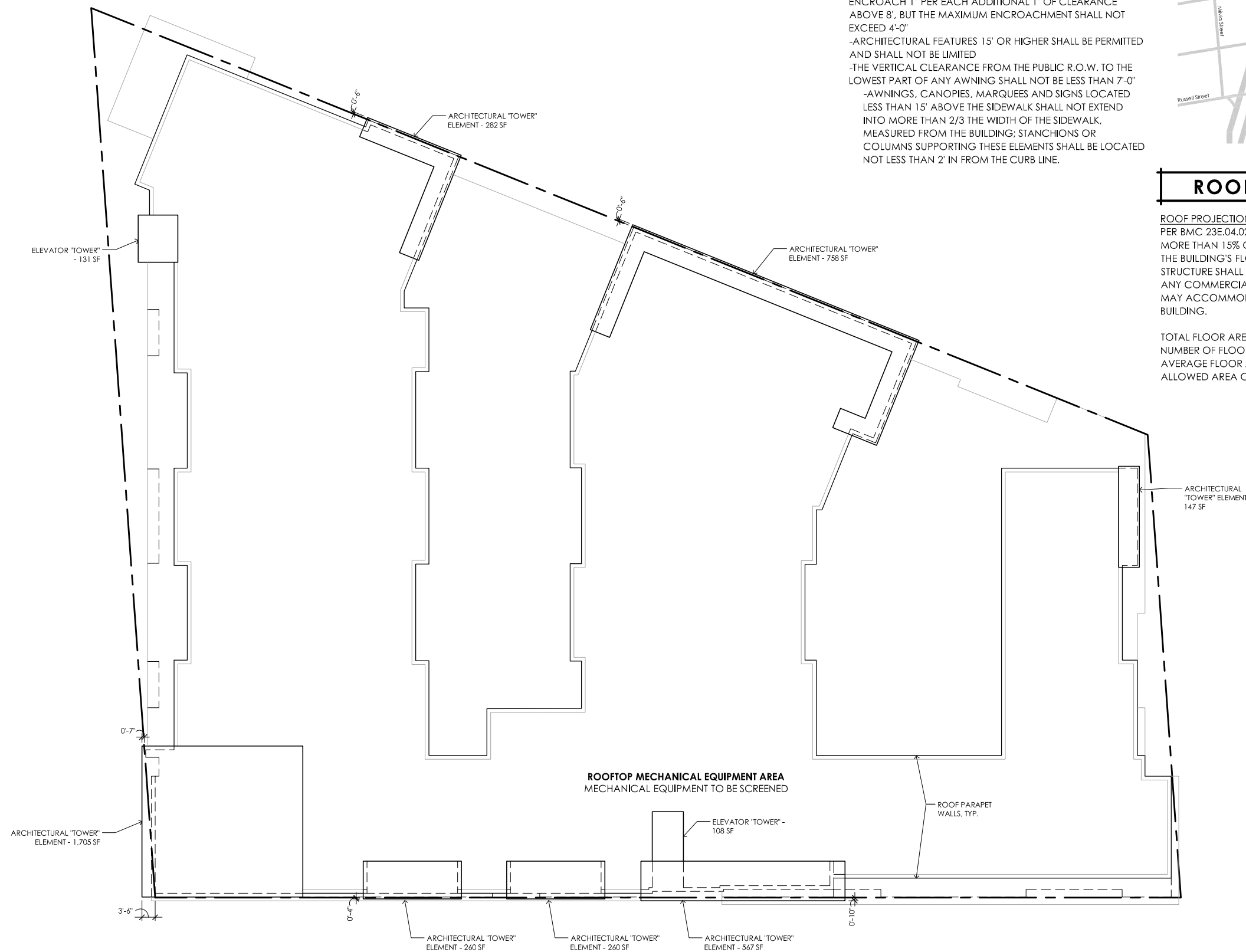
VICINITY MAP



ROOF PROJECTIONS

ROOF PROJECTIONS CALCULATIONS
 PER BMC 23E.04.020.C: NO STRUCTURE SHALL REPRESENT MORE THAN 15% OF THE AVERAGE FLOOR AREA OF ALL OF THE BUILDING'S FLOORS; AND NO TOWER OR SIMILAR STRUCTURE SHALL BE USED AS HABITABLE SPACE OR FOR ANY COMMERCIAL PURPOSE, OTHER THAN THAT WHICH MAY ACCOMMODATE THE MECHANICAL NEEDS OF THE BUILDING.

TOTAL FLOOR AREA: 257,823 SF
 NUMBER OF FLOORS/STORIES: 7 STORIES
 AVERAGE FLOOR AREA OF ALL FLOORS: 36,832 SF
 ALLOWED AREA OF ROOF PROJECTION:
 15% X 36,832 SF = 5,525 SF MAX

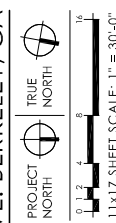


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 1327 ARCHER STREET, SUITE 220
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 CONTACT
 805.547.2240
 ARRIS-STUDIO.COM
 THOMAS E. JESS ARCHITECT #17608
 STEPHEN A. RIGOR ARCHITECT #C33672
 ARCHITECT OF RECORD



A PROJECT FOR:
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 2343 STUART STREET
 BERKELEY, CA 94704
 510.692.2994
 NX-VENTURES.COM

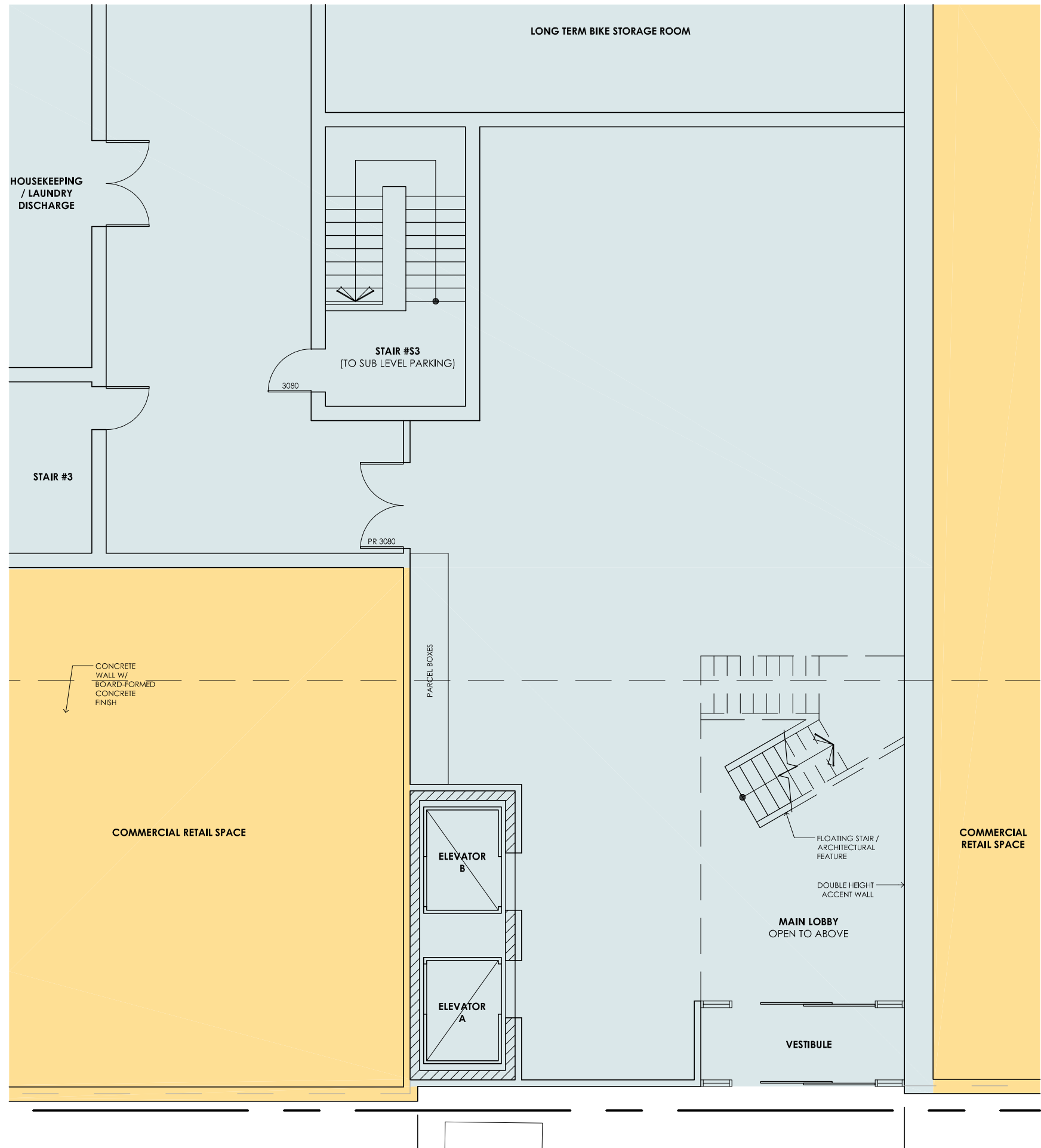
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 COMMERCIAL | HOTEL | RESIDENTIAL
 2801 ADELINE ST. & 2900 SHATTUCK AVE, BERKELEY, CA
SITE #1: 2801 ADELINE STREET
ROOF PLAN



DATE
JANUARY 15, 2021
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 A19103
 CITY OF BERKELEY APPLICATION #
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CONCEPTUAL ROOF LAYOUT



ENLARGED PLAN - MAIN LOBBY



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2801 ADELINE ST. & 2900 SHATTUCK AVE, BERKELEY, CA
SITE #1: 2801 ADELINE STREET
ENLARGED PLAN - LOBBY
PROJECT NORTH
TRUE NORTH
1/8" = 1'-0"
11x17 SHEET SCALE: 1/8" = 1'-0"

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ZP2020-0118
SHEET #

A2.10



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PROJECT NORTH
TRUE NORTH

0" 1" 2" 3" 4" 5" 6" 7" 8" 9" 10"
1/8" = 1'-0"
11X17 SHEET SCALE: 1/8" = 1'-0"

SITE #1: 2801 ADELINE STREET
ENLARGED RESIDENTIAL PLANS
STUDIO UNITS

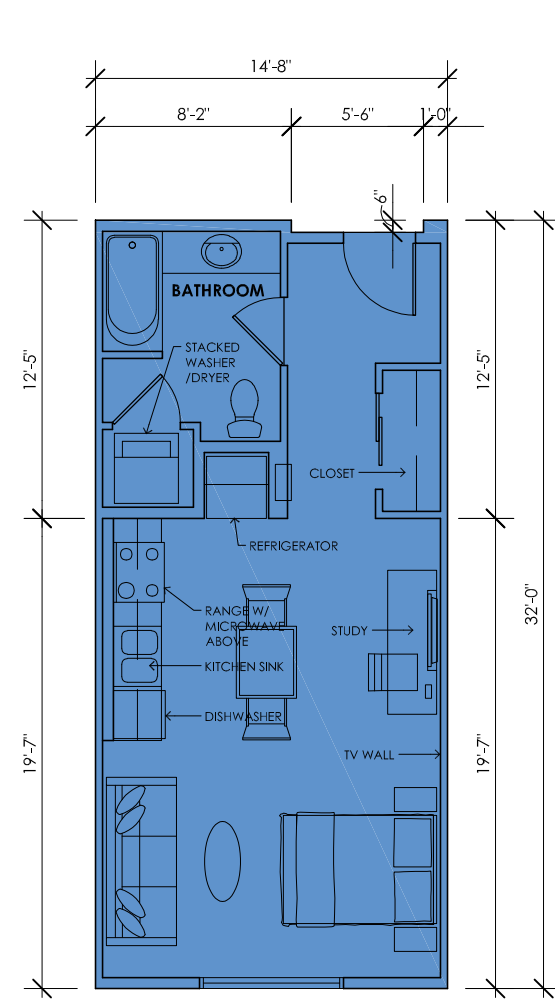
DATE
JANUARY 15, 2021

ARRIS PROJECT #
A19103

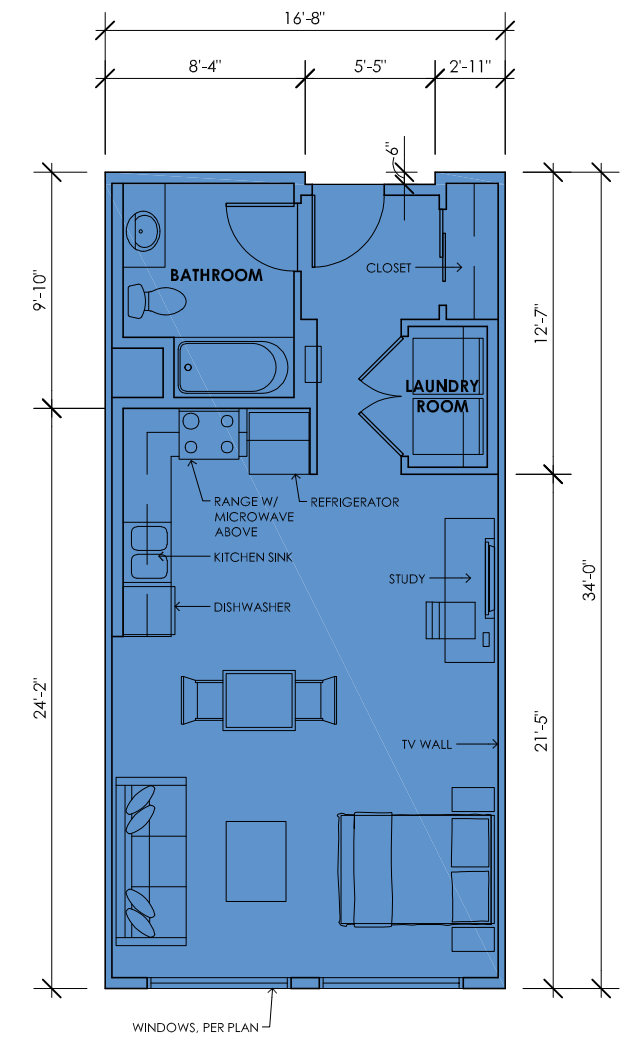
CITY OF BERKELEY APPLICATION #
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ENLARGED RES. PLAN - TYPICAL STUDIO UNIT 2



ENLARGED RES. PLAN - TYPICAL STUDIO UNIT 1



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**SITE #1: 2801 ADELINE STREET
ENLARGED RESIDENTIAL PLANS
ONE-BEDROOM UNITS**

PROJECT NORTH
TRUE NORTH
0"=1'
1"=12'
1/8"=1'-0"

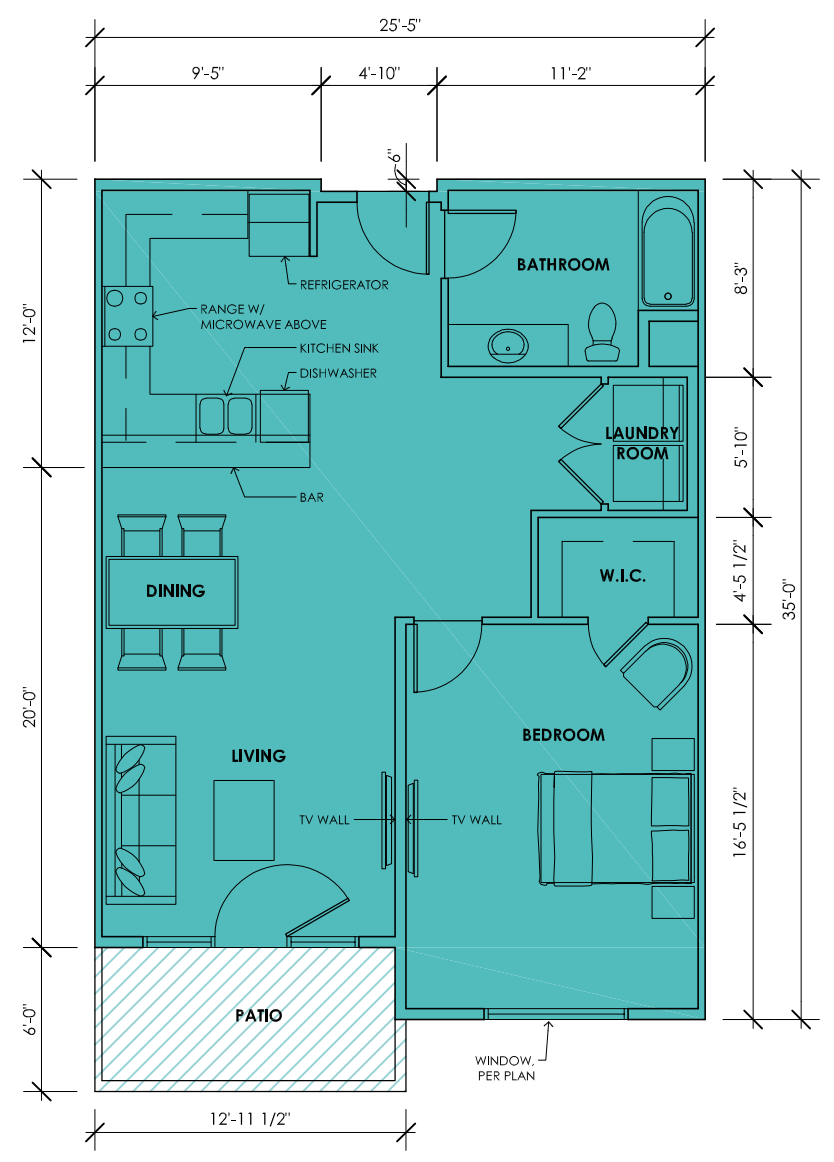
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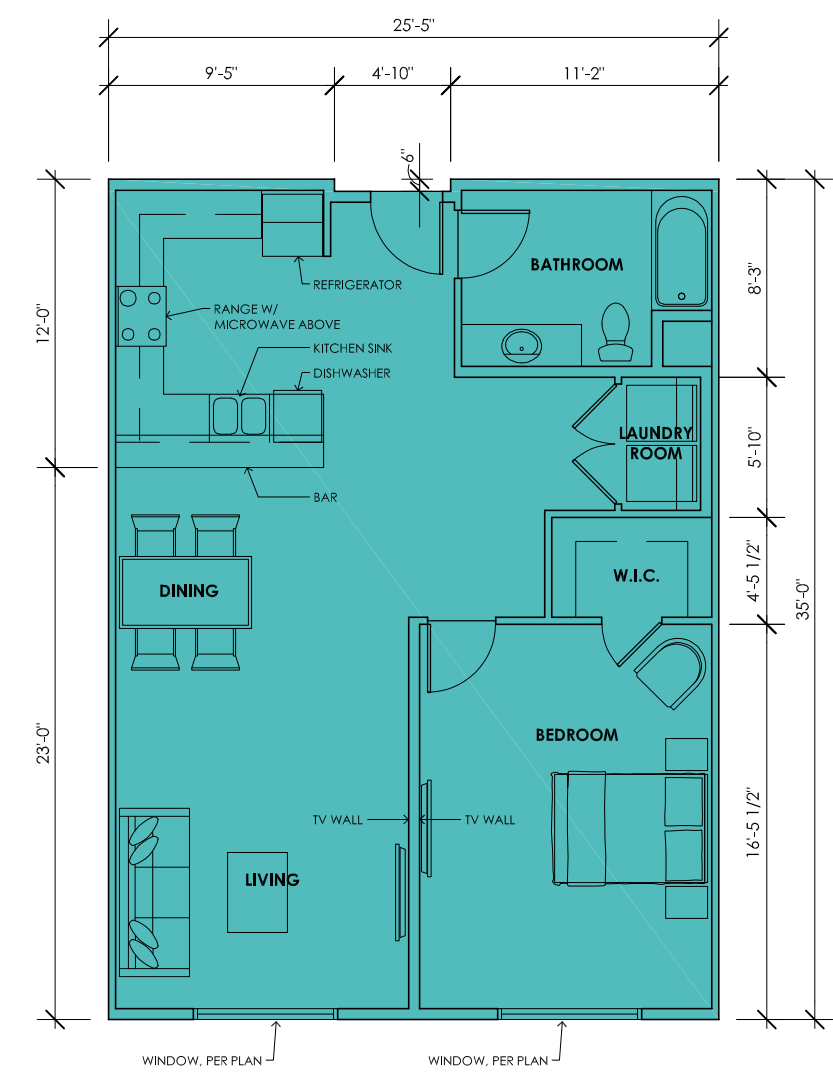
CITY OF BERKELEY APPLICATION #
2P2020-0118

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A2.12



ENLARGED RES. PLAN - TYPICAL ONE-BEDROOM UNIT 2



ENLARGED RES. PLAN - TYPICAL ONE-BEDROOM UNIT 1



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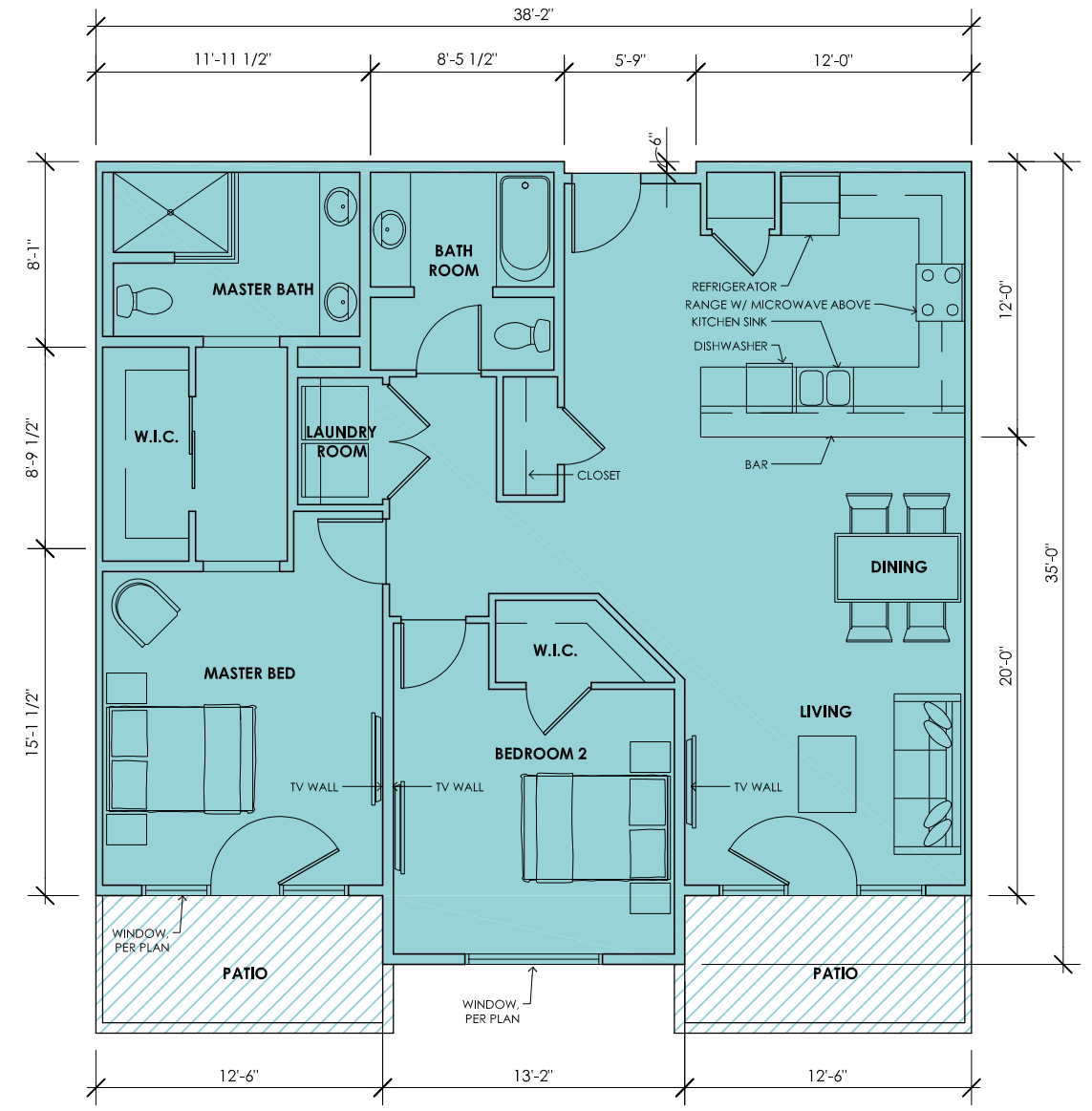
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**SITE #1: 2801 ADELINE STREET
ENLARGED RESIDENTIAL PLANS
TWO-BEDROOM UNITS**

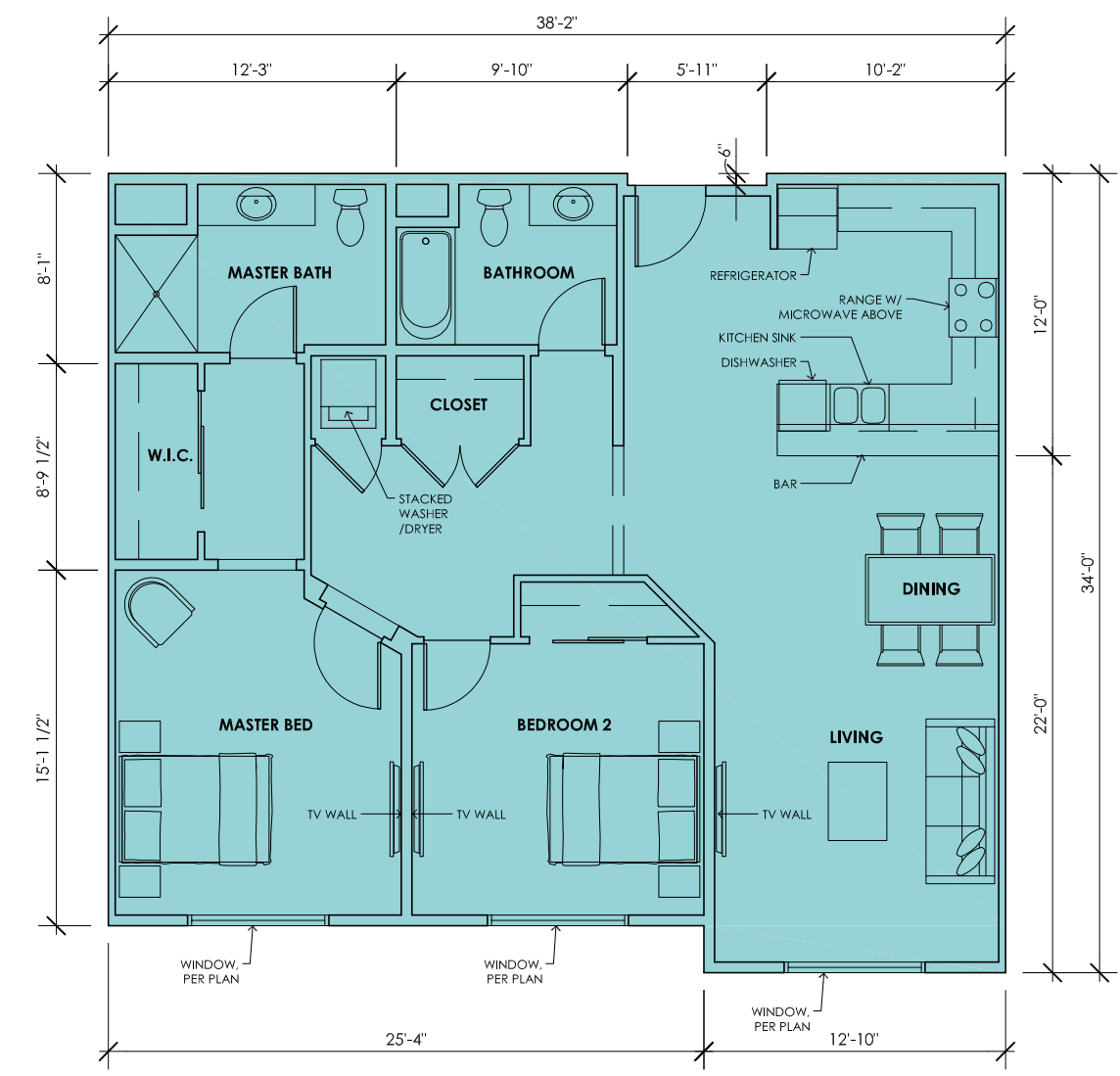
PROJECT NORTH
TRUE NORTH
0"=1'
1"=12'
1/8"=1'-0"

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CITY OF BERKELEY APPLICATION #
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ENLARGED RESIDENTIAL PLAN - TYPICAL TWO-BEDROOM UNIT 2



ENLARGED RESIDENTIAL PLAN - TYPICAL TWO-BEDROOM UNIT 1



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SITE #1: 2801 ADELINE
EXTERIOR ELEVATIONS

PROJECT NORTH
TRUE NORTH
0 1 2 3 4 5
1" = 30'-0"

DATE
JANUARY 15, 2021

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SHEET #

A2.20



Decorative vertical metal siding

Smooth exterior plaster w/ fry reglet reveals

Mural at exterior facade

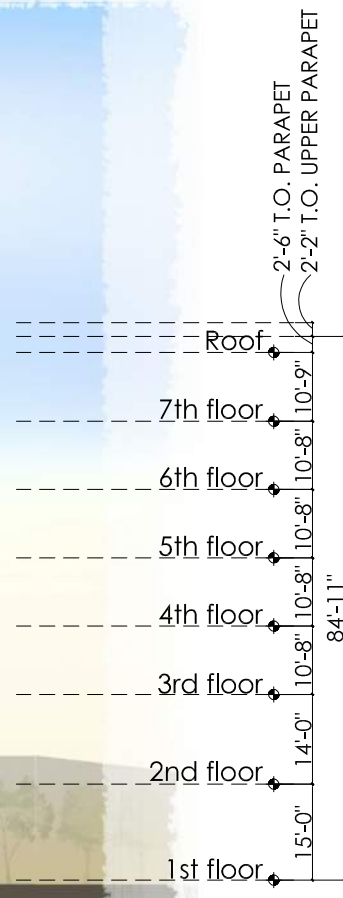
Mural at exterior facade

Concrete walls/podium structure; polished finish with form seams and exposed gasket/tenons holes

Exterior wall lighting, typical

Glass railings at balcony

Corten Steel planter



85' +5' for parapets allowed per C-AC Tier 4 / 25% onsite affordable housing

15'-0 min. flr to flr ht;
12'-0" min. ceiling,
per 23E.70.085.C

VICINITY MAP



EXTERIOR ELEVATION - STUART STREET/NORTH (FRONT)



VICINITY MAP



EXTERIOR ELEVATION - SHATTUCK AVENUE/EAST (STREET SIDE)



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SITE #1: 2801 ADELINE
EXTERIOR ELEVATIONS

PROJECT NORTH
TRUE NORTH
1" = 30'-0"
11x17 SHEET SCALE

DATE
JANUARY 15, 2021

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EXTERIOR ELEVATION - OREGON STREET/SOUTH (FRONT)

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SITE #1: 2801 ADELINE
EXTERIOR ELEVATIONS



VICINITY MAP



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2P2020-0118
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PROJECT NORTH
TRUE NORTH

0 1 2 3 4 5
1" = 30'-0"

11x17 SHEET SCALE: 1" = 30'-0"

SITE #1: 2801 ADELINE
EXTERIOR ELEVATIONS



Smooth exterior plaster w/ fry reglet reveals

Decorative vertical metal panels

Decorative metal panels at exterior facade

2'-6" T.O. PARAPET
2'-2" T.O. UPPER PARAPET

Roof
7th floor
6th floor
5th floor
4th floor
3rd floor
2nd floor
1st floor

10'-9"
10'-8"
10'-8"
10'-8"
10'-8"
10'-8"
14'-0"
15'-0"

84'-11"

Driveway "Out"

Driveway "In"

Concrete walls/podium structure; polished finish with form seams and exposed gasket/tenons holes

Decorative metal panels at exterior facade

Decorative vertical metal panels

Decorative vertical metal siding

Exterior Lighting
Corten Steel planter

Metal awning

VICINITY MAP



EXTERIOR ELEVATION - ADELINE STREET/WEST (STREET SIDE)

DATE
JANUARY 15, 2021

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A2.23



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SITE # 1: 2801 ADELINE
CONCEPTUAL PERSPECTIVE VIEW

VICINITY MAP



CONCEPTUAL PERSPECTIVE VIEW - CORNER VIEW @ STUART STREET + ADELINE STREET

DATE
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SITE # 1: 2801 ADELINE
CONCEPTUAL PERSPECTIVE VIEW

VICINITY MAP



CONCEPTUAL PERSPECTIVE VIEW - CORNER VIEW @ SHATTUCK AVENUE + STUART STREET

DATE
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A2.41



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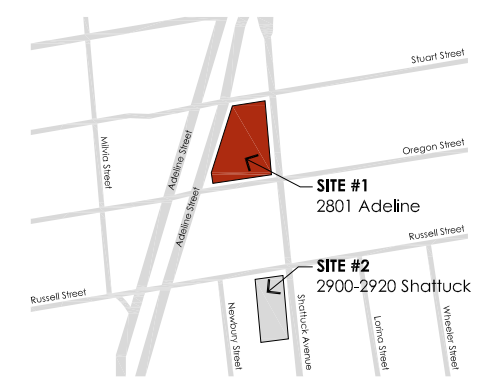


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SITE # 1: 2801 ADELINE
CONCEPTUAL PERSPECTIVE VIEW

VICINITY MAP



CONCEPTUAL PERSPECTIVE VIEW - CORNER VIEW @ OREGON STREET + SHATTUCK AVENUE

DATE
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CONCEPTUAL PERSPECTIVE VIEW - NIGHTTIME CORNER VIEW @ SHATTUCK STREET + OREGON STREET

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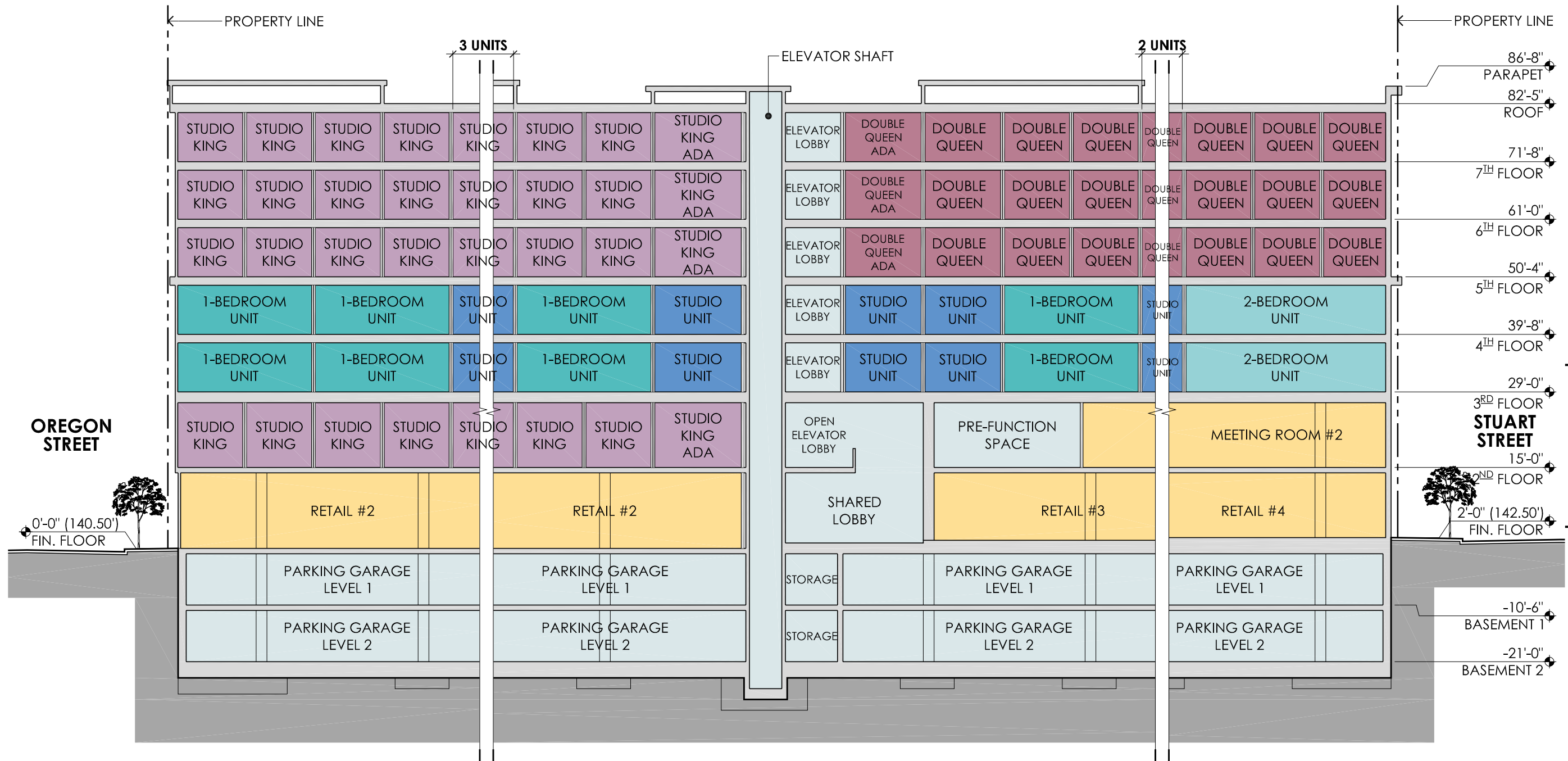
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SITE # 1: 2801 ADELINE
CONCEPTUAL PERSPECTIVE VIEW

VICINITY MAP



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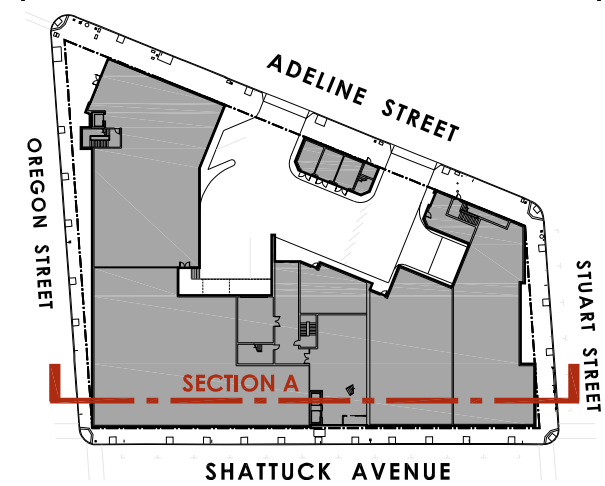
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2801 ADELINE ST. & 2900 SHATTUCK AVE., BERKELEY, CA

SITE #1: 2801 ADELINE STREET
SITE/BUILDING SECTION

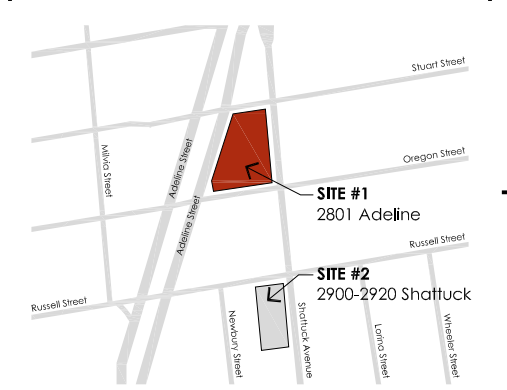
1"=17' SHEET SCALE: 1" = 20'-0"

BUILDING SECTION A - PARALLEL TO SHATTUCK AVE

KEY PLAN



VICINITY MAP



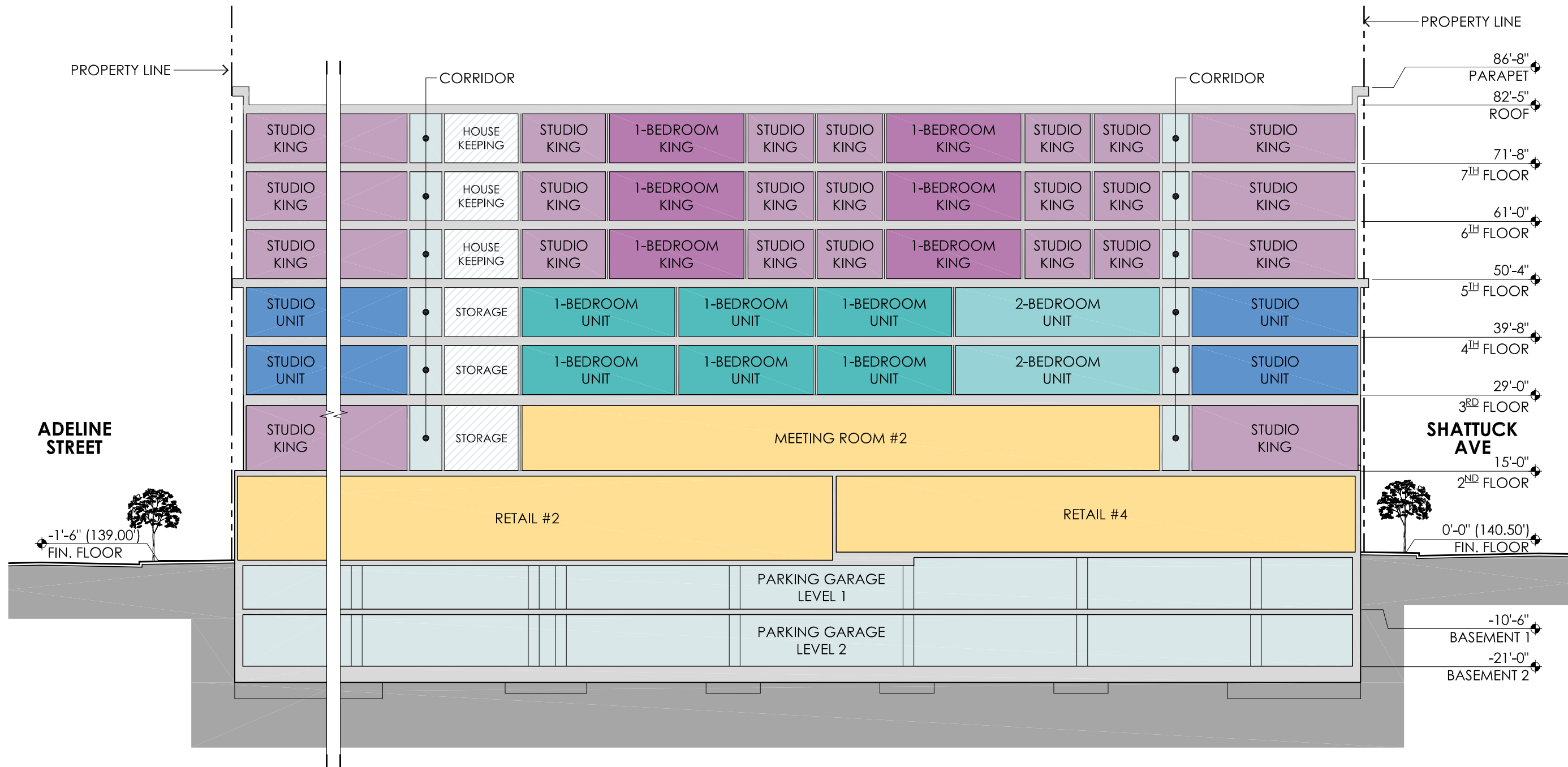
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A2.30



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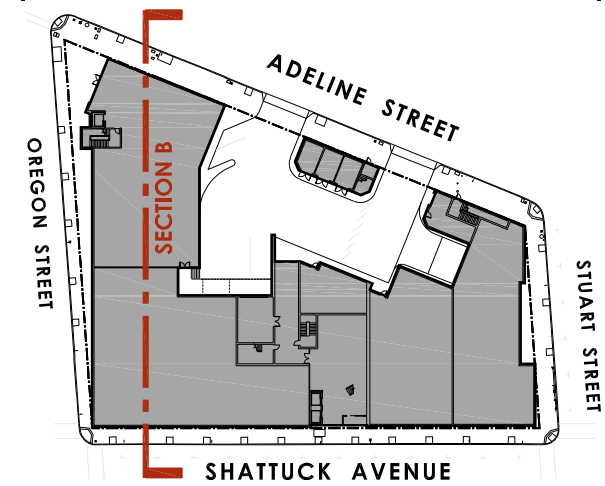
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SITE #1: 2801 ADELINE STREET
SITE/BUILDING SECTION

1" = 20'-0"
11x17 SHEET SCALE

BUILDING SECTION B - PARALLEL TO OREGON STREET

KEY PLAN



VICINITY MAP



DATE
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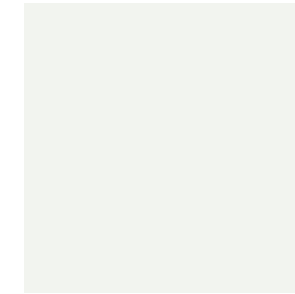
A2.31



S-2 M-2 M-4 P-1 T-1 M-3 M-1 C-1 P-2

COLOR AND MATERIAL BOARD

STUCCO PAINT COLORS



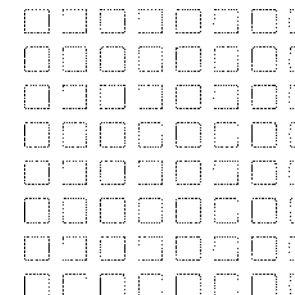
P-1
BENJAMIN MOORE
"DISTANT GREY"
2124-70



P-2
BENJAMIN MOORE
"OVERCOAT"
CC-544"

S-1
SMOOTH FINISH STUCCO

WALL FINISH AND DECOR



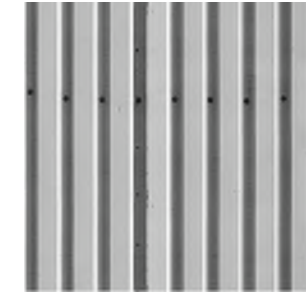
M-1
PERFORATED METAL PANELS
"SQUARE STRAIGHT"



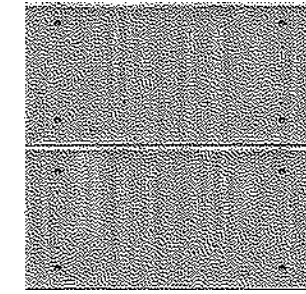
M-2
EXTERIOR WALL MURAL



M-3
METAL CORTEN STEEL
PAINTED IN RUSTIC COLOR



M-4
CORRUGATED METAL-VERTICAL SIDING
PAINTED IN GREY COLOR



C-1
ARCHITECTURAL CONCRETE FORM
DOORS AND WINDOWS



T-1
ALUMINUM DARK BRONZE



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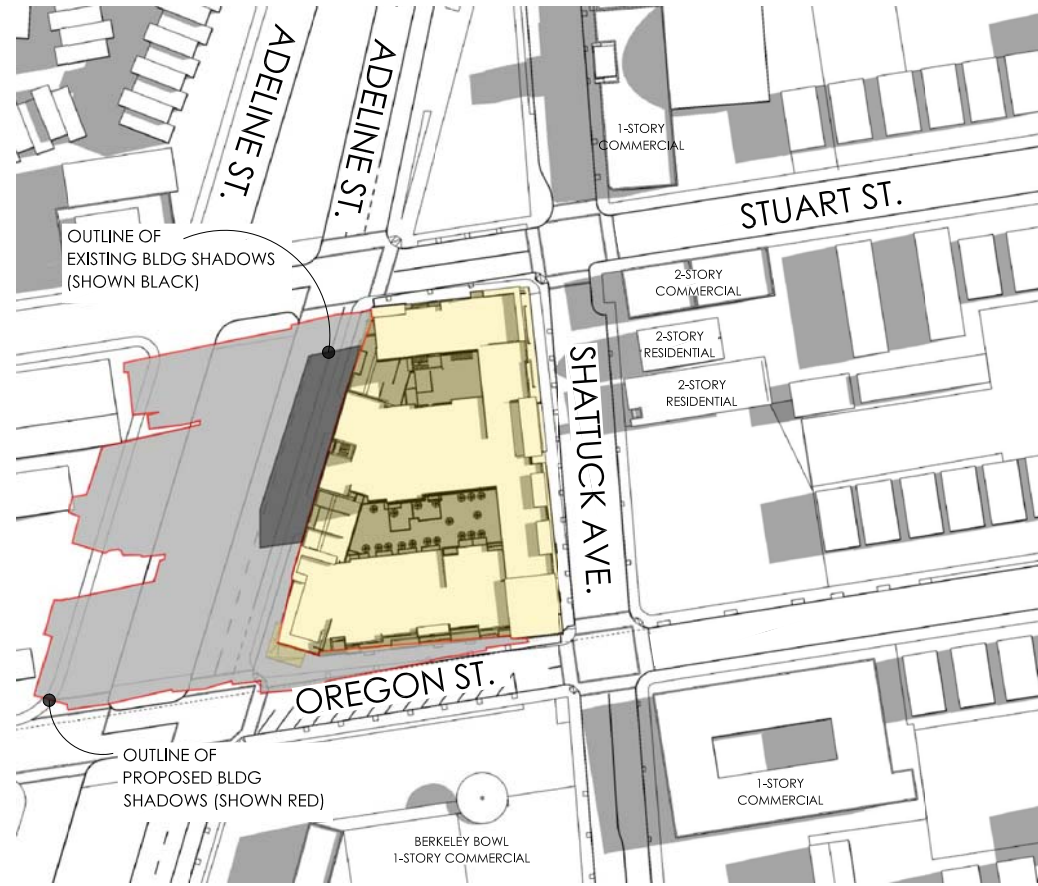
THE BERKELEY COLLECTION
COMMERCIAL | HOTEL | RESIDENTIAL
2801 ADELIN ST. & 2900 SHATTUCK AVE, BERKELEY, CA
SITE # 1: 2801 ADELIN
COLOR & MATERIAL BOARD

DATE
JANUARY 15, 2021
ARRIS PROJECT #
A19103
CITY OF BERKELEY APPLICATION #
ZP2020-0118
SHEET #

A2.50



SHADOW STUDY-JUNE 21: 2HRS BEFORE SUNSET



SHADOW STUDY-JUNE 21: 2 HRS AFTER SUNRISE



SHADOW STUDY-JUNE 21 AT NOON



SHADOW STUDY-JUNE 21: 2 HRS BEFORE SUNSET

VICINITY MAP



ADDRESS
1327 ARCHER STREET, SUITE 220
SAN LUIS OBISPO, CA 93401
CONTACT
805.547.2240
ARRIS-STUDIO.COM
THOMAS E. JESS ARCHITECT #27408
STEPHEN A. RIGOR ARCHITECT #C33672
ARCHITECT OF RECORD



A PROJECT FOR:
NX VENTURES
2343 STUART STREET
BERKELEY, CA 94704
510.692.2994
NX-VENTURES.COM

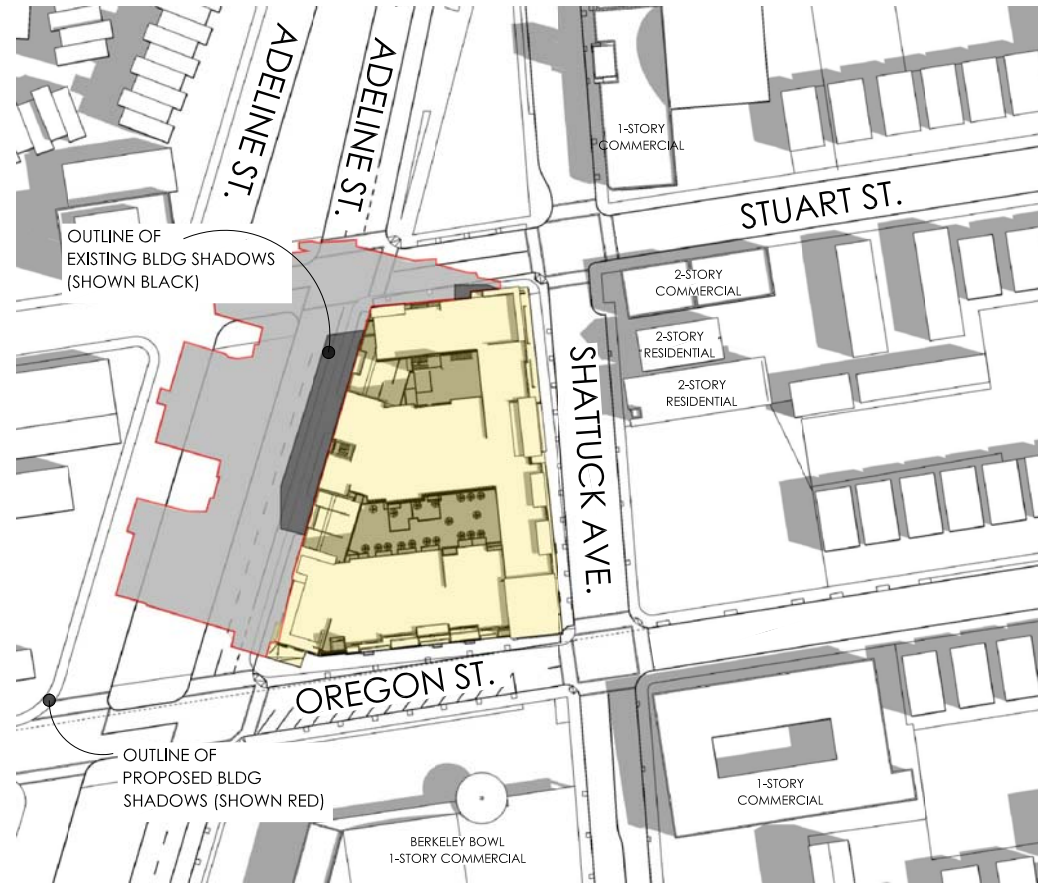
THE BERKELEY COLLECTION
COMMERCIAL | HOTEL | RESIDENTIAL
2801 ADELINE ST. & 2900 SHATTUCK AVE, BERKELEY, CA
PROJECT NORTH
TRUE NORTH
0 10 20 30 40 50 60 70 80 90 100
1" = 150'
11x17 SHEET SCALE: 1" = 150'
SITE #1: 2801 ADELINE
SUN & SHADOW STUDY: JUNE 21ST

DATE
JANUARY 15, 2021
ARRIS PROJECT #
A19103
CITY OF BERKELEY APPLICATION #
ZP2020-0118
SHEET #

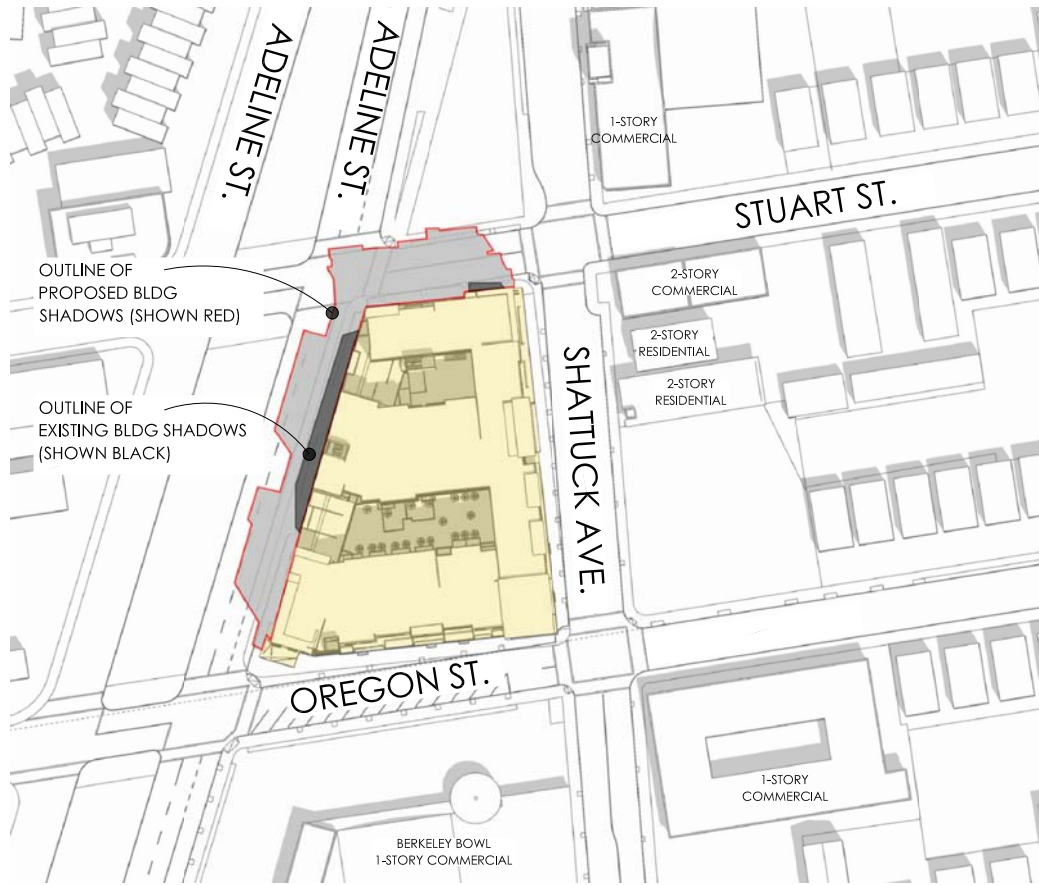
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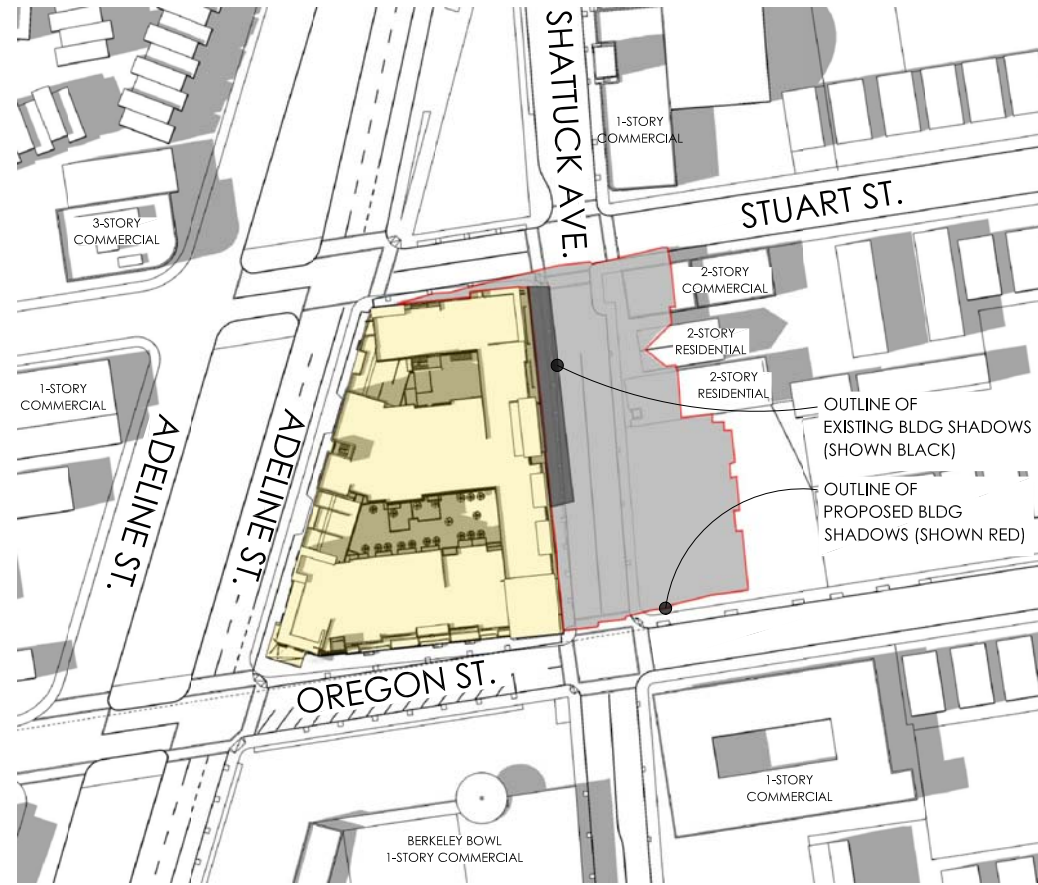
SHADOW STUDY-SEPT. 1ST: 2HRS BEFORE SUNSET



SHADOW STUDY-SEPT. 1ST: 2 HRS AFTER SUNRISE



SHADOW STUDY-SEPT. 1ST AT NOON

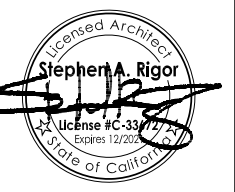


SHADOW STUDY-SEPT. 1ST: 2 HRS BEFORE SUNSET

VICINITY MAP



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1327 ARCHER STREET, SUITE 220
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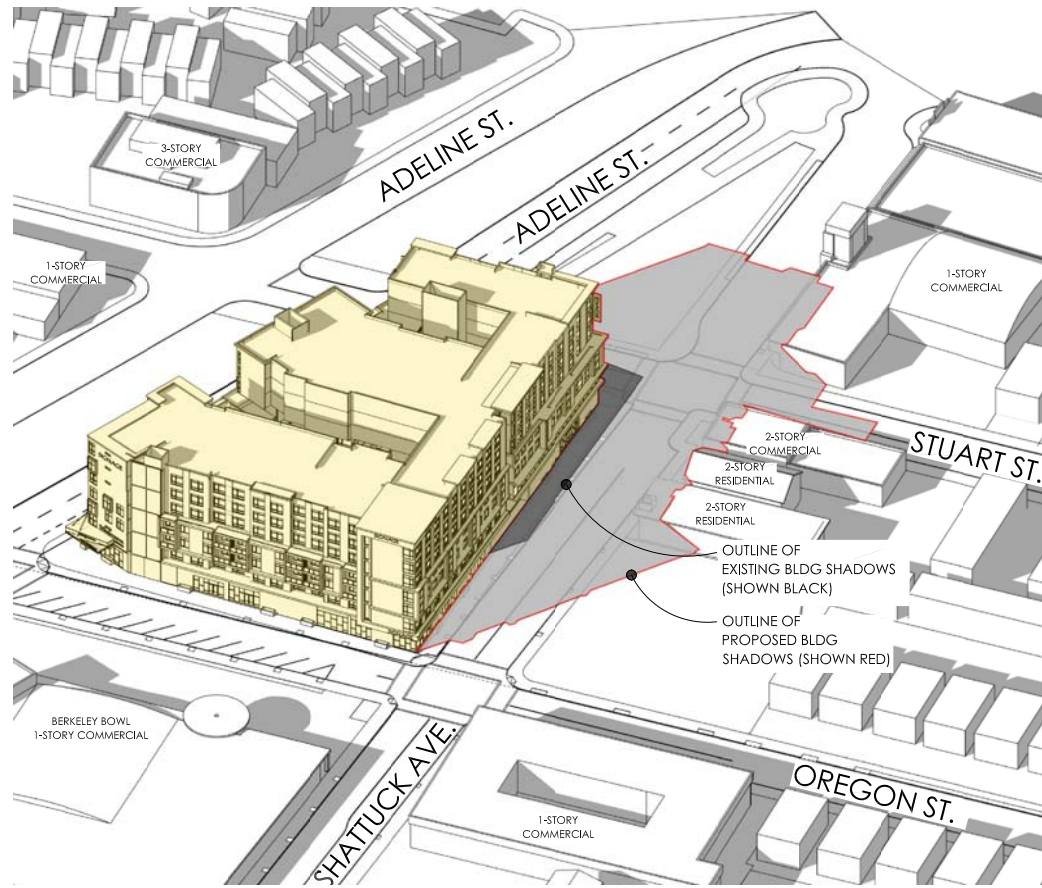


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NX-VENTURES.COM

THE BERKELEY COLLECTION
COMMERCIAL | HOTEL | RESIDENTIAL
2801 ADELINE ST. & 2900 SHATTUCK AVE, BERKELEY, CA
PROJECT NORTH
TRUE NORTH
1" = 150'
11x17 SHEET SCALE: 1" = 150'
SITE #1: 2801 ADELINE
SUN & SHADOW STUDY: SEPT. 1ST

DATE
JANUARY 15, 2021
ARRIS PROJECT #
A19103
CITY OF BERKELEY APPLICATION #
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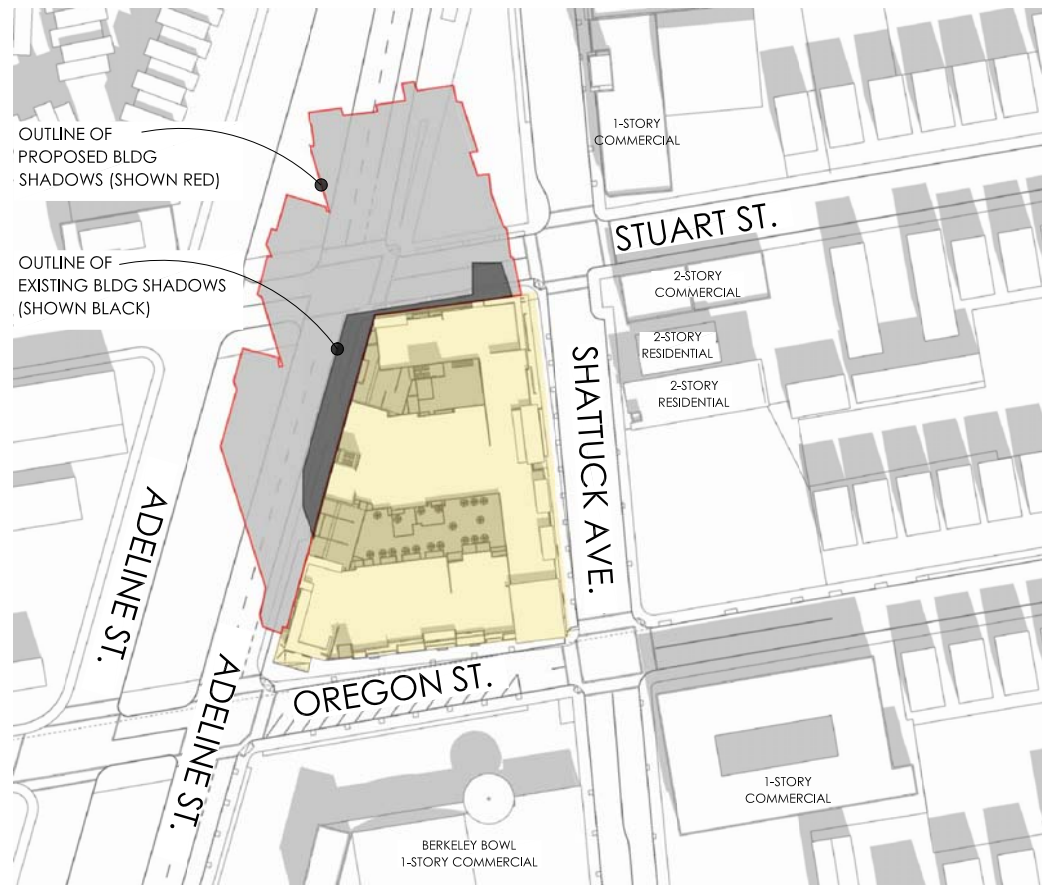
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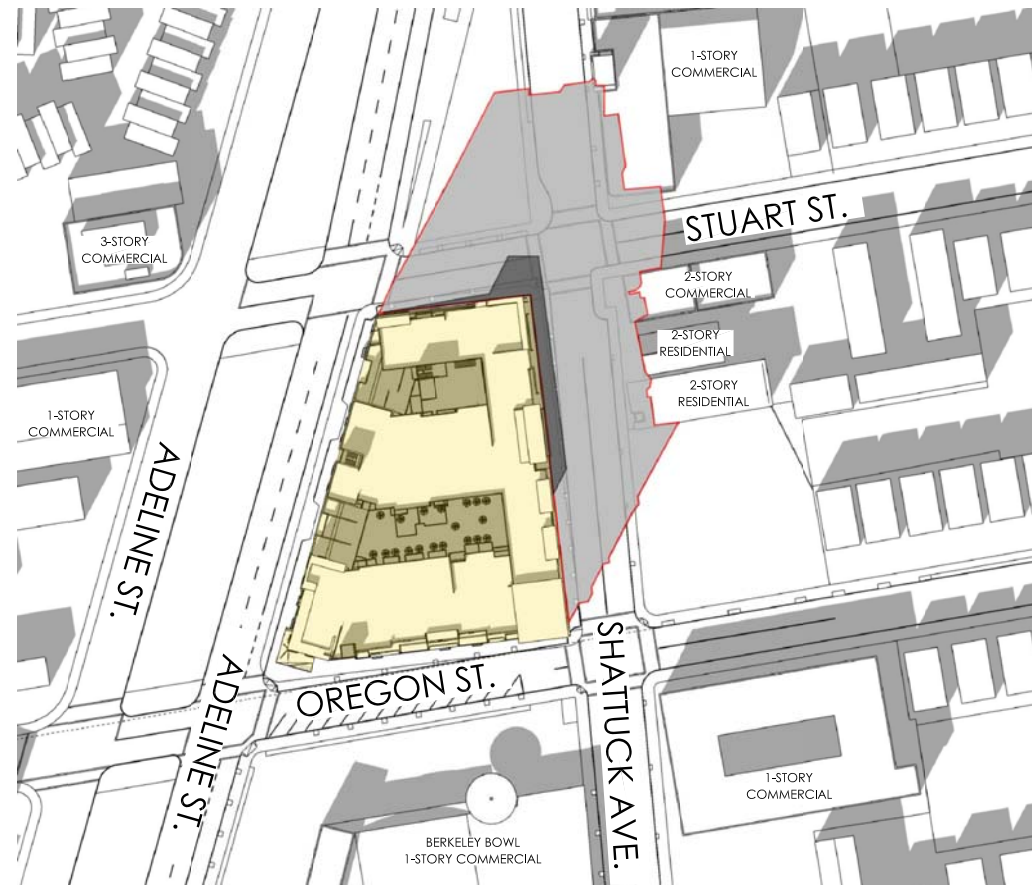
SHADOW STUDY-DEC 21: 2HRS BEFORE SUNSET



SHADOW STUDY-DEC 21: 2 HRS AFTER SUNRISE

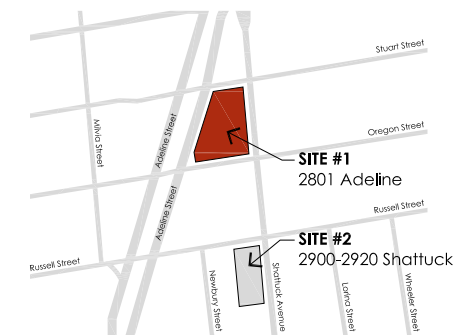


SHADOW STUDY-DEC 21 AT NOON

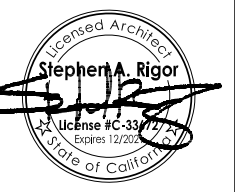


SHADOW STUDY-DEC. 21: 2 HRS BEFORE SUNSET

VICINITY MAP



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BERKELEY, CA 94704
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NX-VENTURES.COM

THE BERKELEY COLLECTION
COMMERCIAL | HOTEL | RESIDENTIAL
2801 ADELINE ST. & 2900 SHATTUCK AVE, BERKELEY, CA
PROJECT NORTH
TRUE NORTH
1" = 150'
11x17 SHEET SCALE: 1" = 150'
SITE #1: 2801 ADELINE
SITE #2: 2900-2920 SHATTUCK
SUN & SHADOW STUDY: DEC. 21ST

DATE
JANUARY 15, 2021
ARRIS PROJECT #
A19103
CITY OF BERKELEY APPLICATION #
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SHEET #

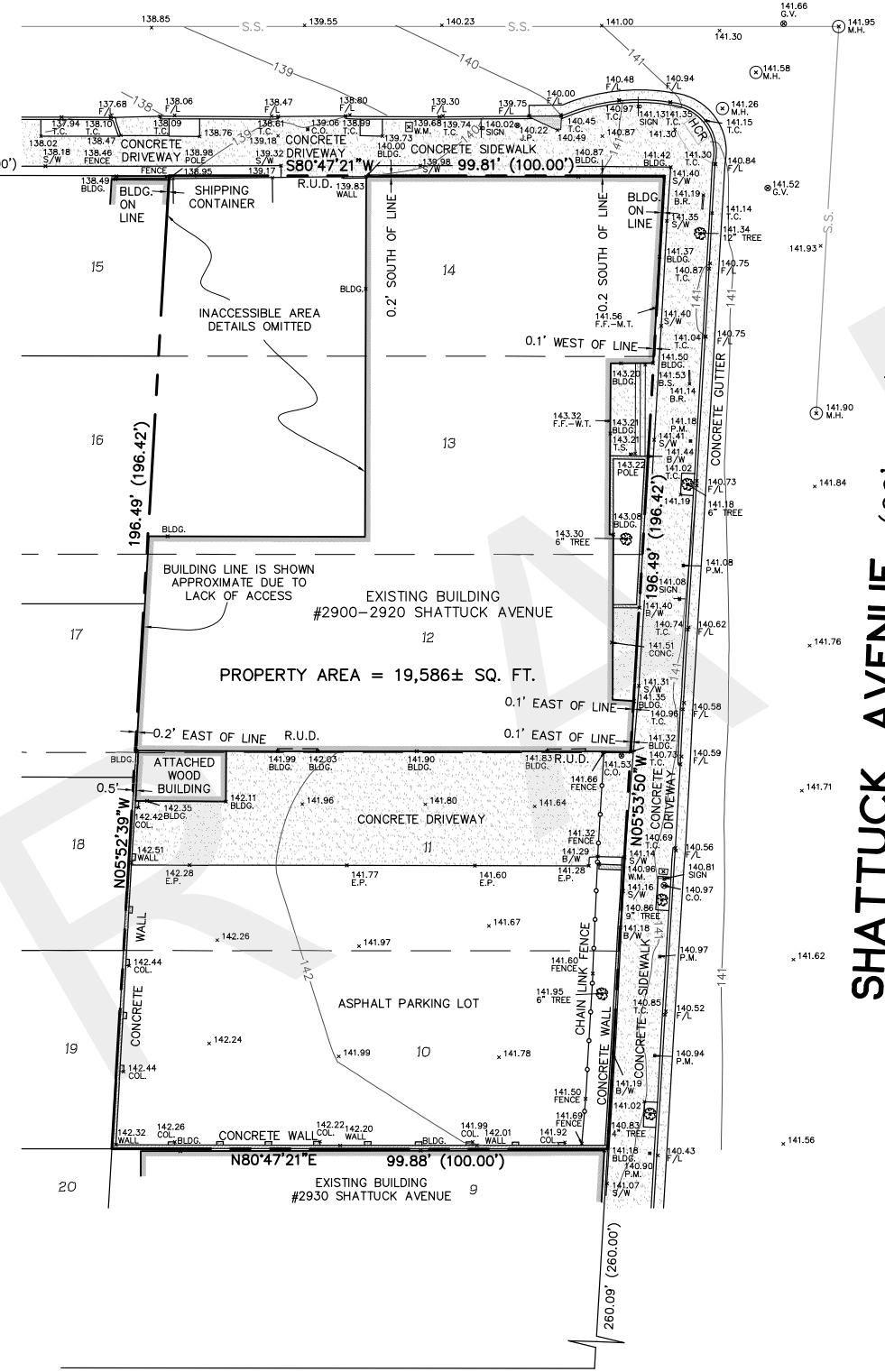
A2.62

S80°47'21"W 174.32'

NEWBURY STREET (50' WIDE ON ANGLE)

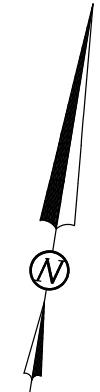
N05°51'29"W 489.66'

RUSSELL STREET (60' WIDE)



ASHBY AVENUE (80' WIDE)

SHATTUCK AVENUE (66' WIDE)



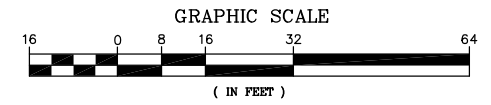
- LEGEND**
- B.R. BIKE RACK
 - B.S. BASE OF STEP
 - B/W. BASE OF WALL
 - BLDG. BUILDING
 - C.O. CLEAN OUT
 - COL. COLUMN
 - CONC. CONCRETE
 - E.P. EDGE OF PAVEMENT
 - F.F. FINISHED FLOOR
 - F/L. FLOWLINE
 - G.V. GAS VALVE
 - HCR. HANDICAP RAMP
 - J.P. JOINT POLE
 - M.H. MANHOLE
 - M.T. METAL THRESHOLD
 - P.M. PARKING METER
 - R.U.D. ROLL UP DOOR
 - S.S. SANITARY SEWER
 - S/W. SIDEWALK
 - T.C. TOP OF CURB
 - W.M. WATER METER
 - W.T. WOOD THRESHOLD
 - [Symbol] BUILDING FOOTPRINT
 - [Symbol] CONCRETE SURFACE
 - [Symbol] CONCRETE WALL
 - [Symbol] METAL SURFACE
 - [Symbol] CHAIN LINK FENCE
 - [Symbol] FOUND CITY MONUMENT IN WELL, AS NOTED
 - () RECORD DATA

GENERAL NOTES:
DIMENSIONS ARE IN FEET AND DECIMAL FEET.

BASIS OF BEARINGS:
THE MONUMENT LINE IN FULTON STREET WAS TAKEN AS NORTH 09°08'50" WEST AS SHOWN ON PARCEL MAP 7313 (236 M 38).

BENCHMARK:
ELEVATIONS ARE BASED ON CITY OF BERKELEY DATUM.
THE 3/8" PIN MONUMENT IN THE EAST SIDE OF THE INTERSECTION OF RUSSELL STREET AND ADELIN STREET, DESIGNATED "B0162" WAS TAKEN AS ELEVATION = 130.77 FEET PER CITY OF BERKELEY ENGINEERING RECORDS.

BOUNDARY NOTE:
THE BOUNDARY WAS DEVELOPED IN CONJUNCTION WITH MORAN ENGINEERING INC. JOB NO. 20-10408.



BOUNDARY AND TOPOGRAPHIC SURVEY

LOTS 10,11,12,13 AND 14, BLOCK B, ADELIN TRACT (10 M 42)
LOCATED AT 2900-2920 SHATTUCK AVENUE
CITY OF BERKELEY, COUNTY OF ALAMEDA, CALIFORNIA

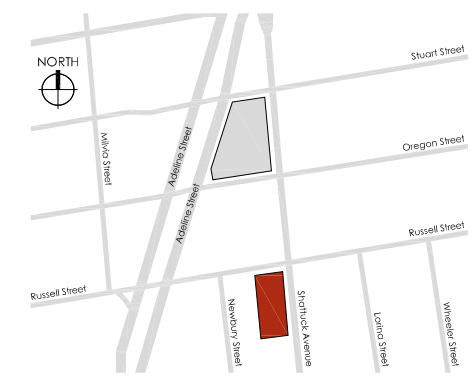
MARCH 26, 2020

MORAN ENGINEERING, INC.
CIVIL ENGINEERS \ LAND SURVEYORS
1930 SHATTUCK AVENUE, SUITE A
BERKELEY, CALIFORNIA 94704
(510) 848-1930

R.O.W. ENCROACHMENT

ENCROACHMENTS INTO THE PUBLIC R.O.W. (PER CBC 3202):
 -ARCHITECTURAL FEATURES BELOW 8' IN HEIGHT SUCH AS COLUMNS, PILASTERS, BASES, AND MOLDINGS SHALL NOT PROJECT MORE THAN 12"
 -ARCHITECTURAL FEATURES 8' OR HIGHER ARE PERMITTED TO ENCROACH 1" PER EACH ADDITIONAL 1" OF CLEARANCE ABOVE 8', BUT THE MAXIMUM ENCROACHMENT SHALL NOT EXCEED 4'-0"
 -ARCHITECTURAL FEATURES 15' OR HIGHER SHALL BE PERMITTED AND SHALL NOT BE LIMITED
 -THE VERTICAL CLEARANCE FROM THE PUBLIC R.O.W. TO THE LOWEST PART OF ANY AWNING SHALL NOT BE LESS THAN 7'-0"
 -AWNINGS, CANOPIES, MARQUEES AND SIGNS LOCATED LESS THAN 15' ABOVE THE SIDEWALK SHALL NOT EXTEND INTO MORE THAN 2/3 THE WIDTH OF THE SIDEWALK, MEASURED FROM THE BUILDING; STANCHIONS OR COLUMNS SUPPORTING THESE ELEMENTS SHALL BE LOCATED NOT LESS THAN 2' IN FROM THE CURB LINE.

VICINITY MAP



ADDRESS
 1327 ARCHER STREET, SUITE 220
 SAN LUIS OBISPO, CA 93401
 CONTACT
 805.547.2240
 ARRIS-STUDIO.COM
 THOMAS E. JESS ARCHITECT #27608
 STEPHEN A. RIGOR ARCHITECT #C33672
 ARCHITECT OF RECORD

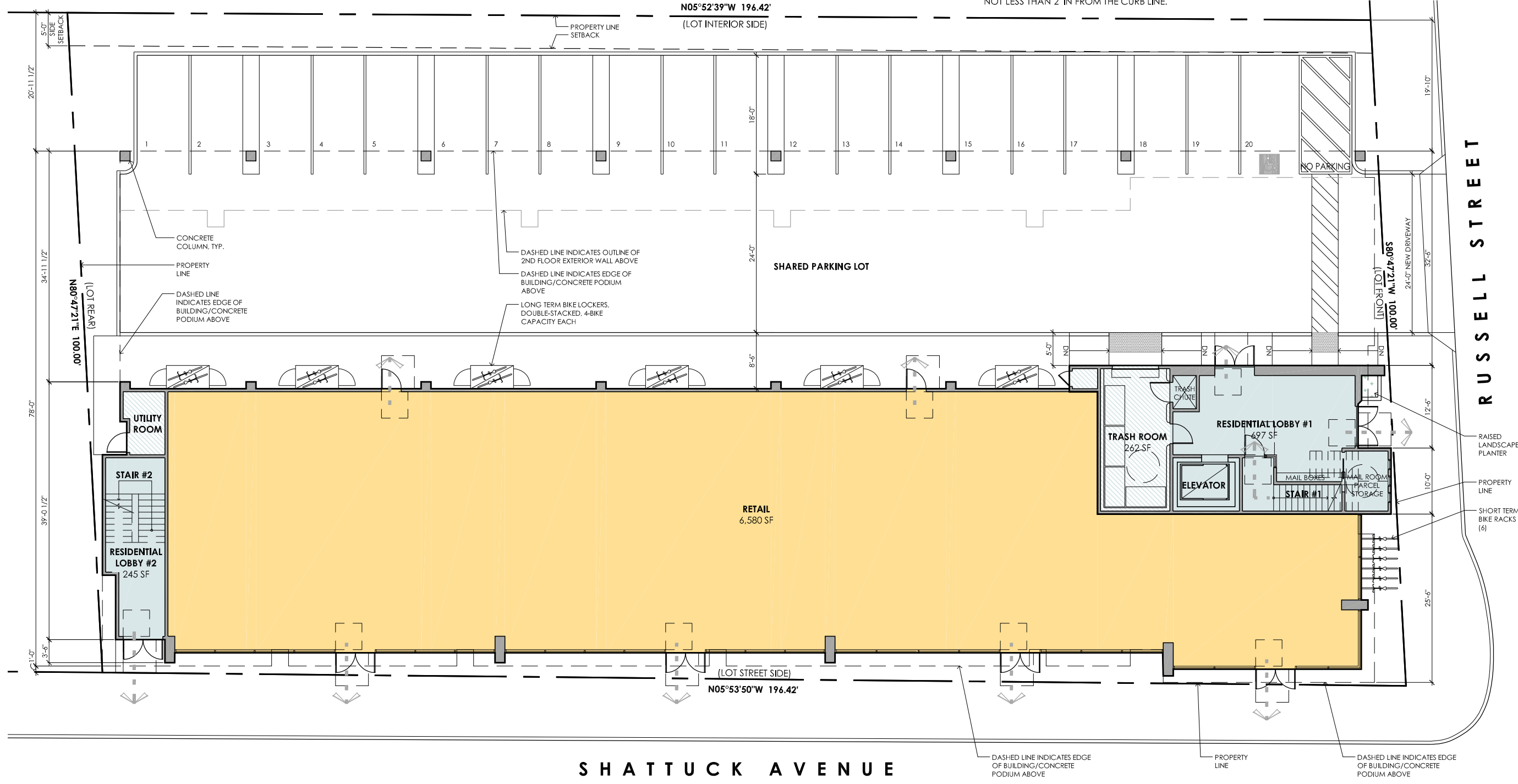


A PROJECT FOR:
NX VENTURES
 2343 STUART STREET
 BERKELEY, CA 94704
 510.692.2994
 NX-VENTURES.COM

THE BERKELEY COLLECTION
 COMMERCIAL | HOTEL | RESIDENTIAL
 2801 ADELIN ST. & 2900 SHATTUCK AVE, BERKELEY, CA
SITE #2: 2900-2920 SHATTUCK AVENUE
SITE / FIRST LEVEL FLOOR PLAN

DATE
JANUARY 15, 2021
 ARRIS PROJECT #
 A19103
 CITY OF BERKELEY APPLICATION #
ZP2020-0118
 SHEET #

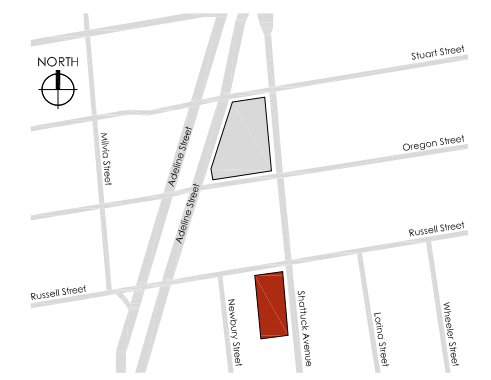
A3.00



CONCEPTUAL FLOOR LAYOUT - SITE / FIRST LEVEL FLOOR PLAN

R.O.W. ENCROACHMENT

VICINITY MAP



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ARCHITECT OF RECORD



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510.692.2994
NX-VENTURES.COM

THE BERKELEY COLLECTION
COMMERCIAL | HOTEL | RESIDENTIAL
2801 ADELIN ST. & 2900 SHATTUCK AVE, BERKELEY, CA

**SITE #2: 2900-2920 SHATTUCK AVENUE
2ND THRU 6TH LEVEL FLOOR PLAN**

PROJECT NORTH
TRUE NORTH
1" = 17'-0"
1/16" = 1'-0"

DATE
JANUARY 15, 2021

ARRIS PROJECT #
A19103

CITY OF BERKELEY APPLICATION #
2P2020-0118

SHEET #



CONCEPTUAL FLOOR LAYOUT - SECOND (THROUGH SIXTH) LEVEL FLOOR PLAN

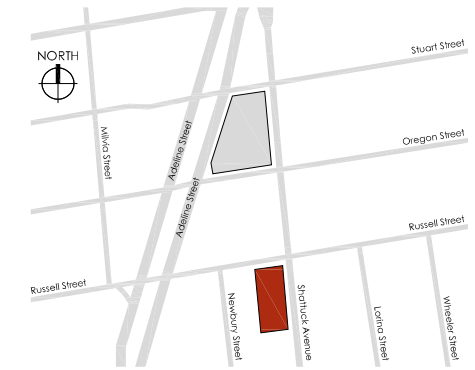
A3.01

ROOF PROJECTIONS

ROOF PROJECTIONS CALCULATIONS
 PER BMC 23E.04.020.C: NO STRUCTURE SHALL REPRESENT MORE THAN 15% OF THE AVERAGE FLOOR AREA OF ALL OF THE BUILDING'S FLOORS; AND NO TOWER OR SIMILAR STRUCTURE SHALL BE USED AS HABITABLE SPACE OR FOR ANY COMMERCIAL PURPOSE, OTHER THAN THAT WHICH MAY ACCOMMODATE THE MECHANICAL NEEDS OF THE BUILDING.

TOTAL FLOOR AREA: 78,675 SF
 NUMBER OF FLOORS/STORIES: 6 STORIES
 AVERAGE FLOOR AREA OF ALL FLOORS: 13,113 SF
 ALLOWED AREA OF ROOF PROJECTION:
 15% X 13,113 SF = 1,967 SF MAX

VICINITY MAP



ARRIS
 STUDIO ARCHITECTS

ADDRESS
 1327 ARCHER STREET, SUITE 220
 SAN LUIS OBISPO, CA 93401
 CONTACT
 805.547.2240
 ARRIS-STUDIO.COM
 THOMAS E. JESS ARCHITECT #27608
 STEPHEN A. RIGOR ARCHITECT #C33672
 ARCHITECT OF RECORD

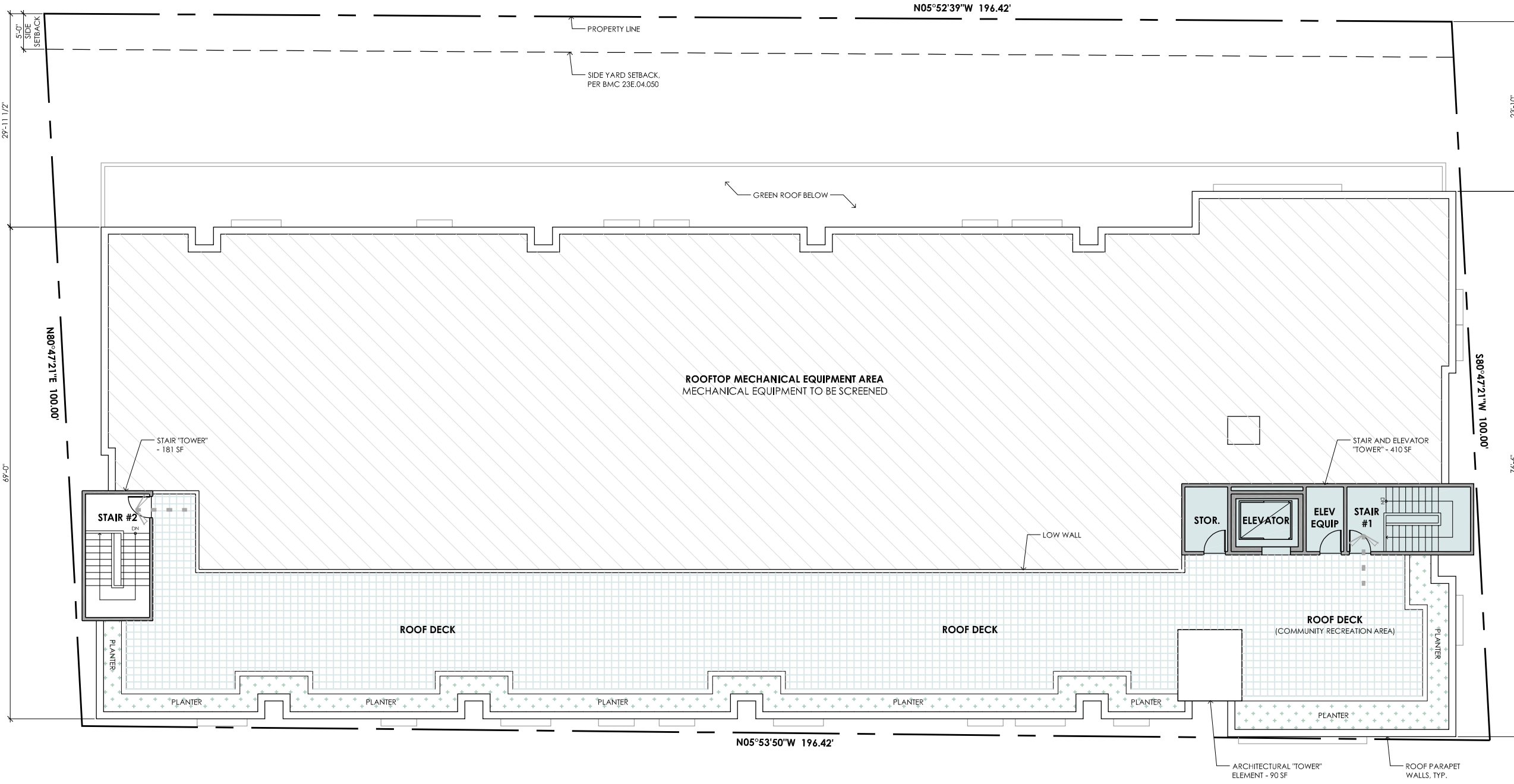


A PROJECT FOR:
NX VENTURES
 2343 STUART STREET
 BERKELEY, CA 94704
 510.692.2994
 NX-VENTURES.COM

THE BERKELEY COLLECTION
 COMMERCIAL | HOTEL | RESIDENTIAL
 2801 ADELIN ST. & 2900 SHATTUCK AVE, BERKELEY, CA
SITE #2: 2900-2920 SHATTUCK AVENUE
ROOF PLAN

DATE
JANUARY 15, 2021
 ARRIS PROJECT #
 A19103
 CITY OF BERKELEY APPLICATION #
ZP2020-0118
 SHEET #

A3.02



CONCEPTUAL ROOF LAYOUT



ADDRESS
1327 ARCHER STREET, SUITE 220
SAN LUIS OBISPO, CA 93401

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ARRIS-STUDIO.COM

THOMAS E. JESS ARCHITECT #27608
STEPHEN A. RIGOR ARCHITECT #C33672

ARCHITECT OF RECORD



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NX VENTURES
2343 STUART STREET
BERKELEY, CA 94704
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NX-VENTURES.COM

THE BERKELEY COLLECTION
COMMERCIAL | HOTEL | RESIDENTIAL
2801 ADELIN ST. & 2900 SHATTUCK AVE, BERKELEY, CA

SITE #2: 2900-2920 SHATTUCK AVENUE
ENLARGED PLAN - LOBBIES

PROJECT NORTH
TRUE NORTH
1" = 1'-0"
11x17 SHEET SCALE: 1/8" = 1'-0"

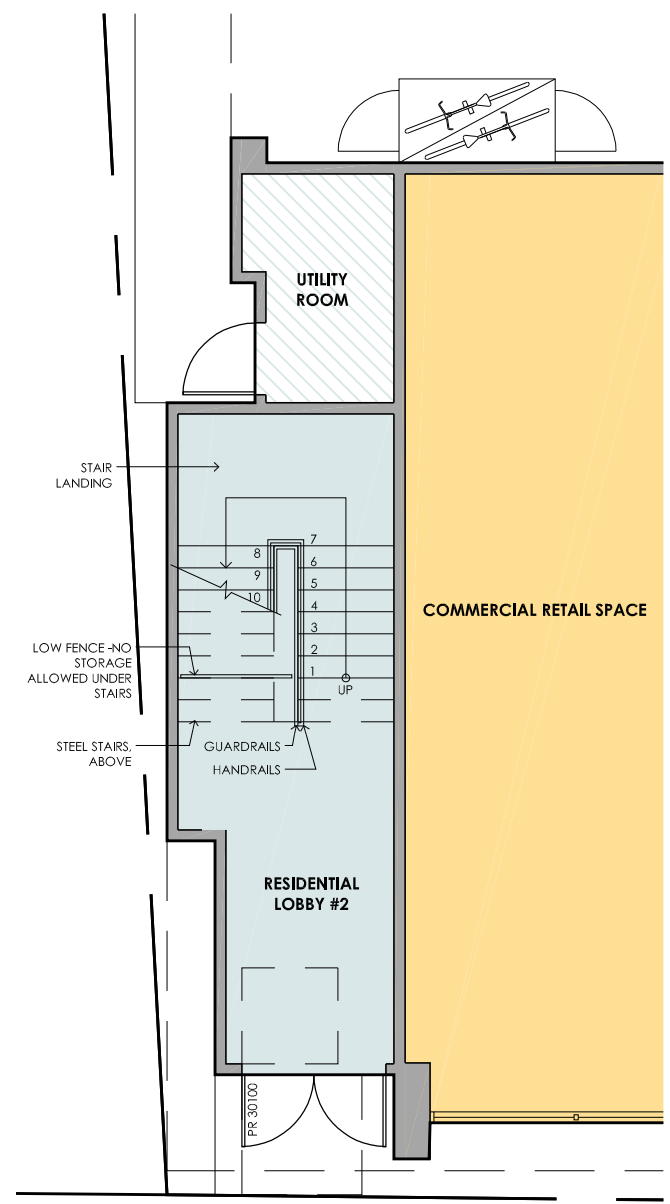
DATE
JANUARY 15, 2021

ARRIS PROJECT #
A19103

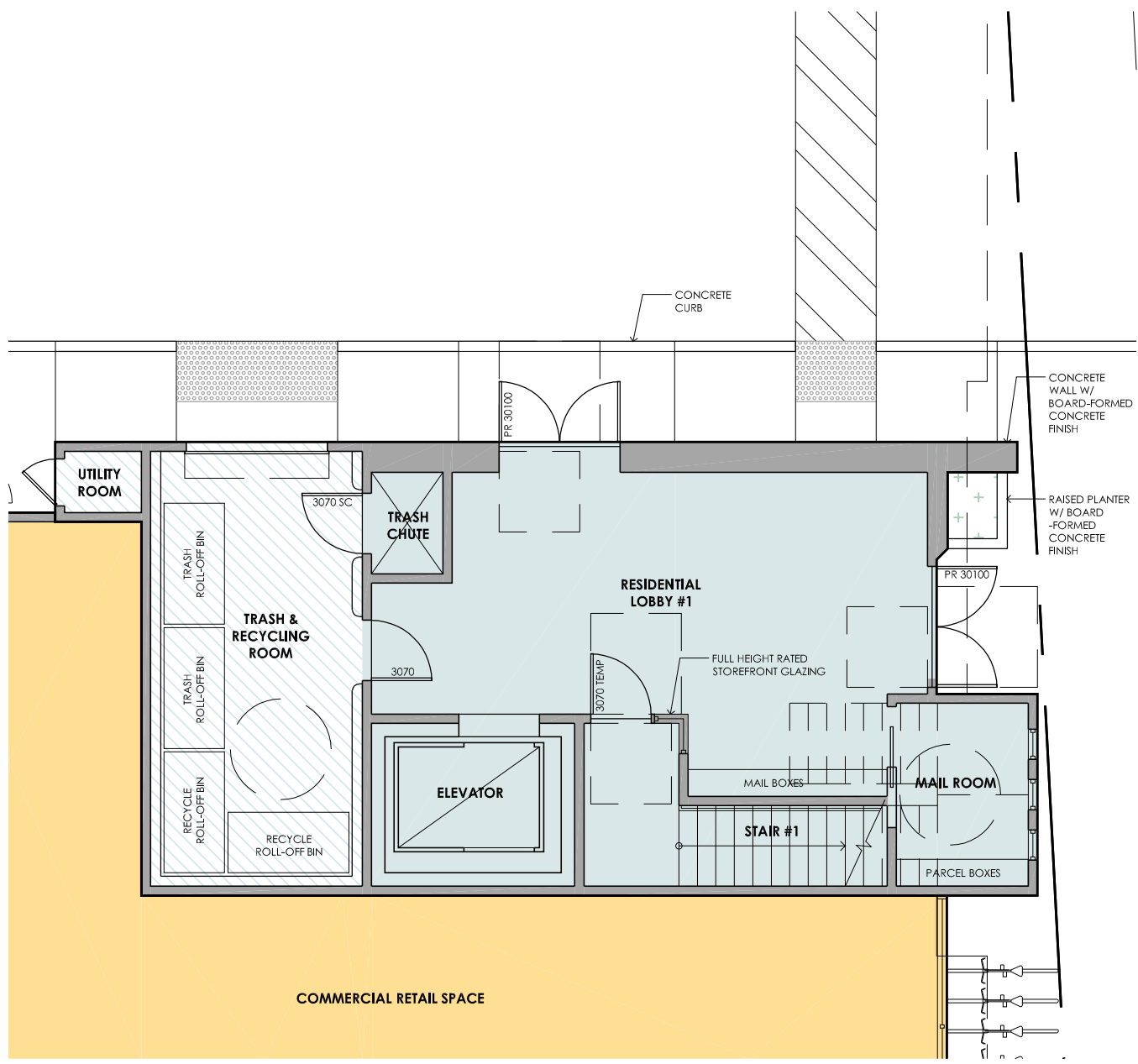
CITY OF BERKELEY APPLICATION #
ZP2020-0118

SHEET #

A3.10



ENLARGED PLAN - EGRESS LOBBY



ENLARGED PLAN - MAIN LOBBY



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510.692.2994
NX-VENTURES.COM

THE BERKELEY COLLECTION
COMMERCIAL | HOTEL | RESIDENTIAL
2801 ADELIN ST. & 2900 SHATTUCK AVE, BERKELEY, CA

SITE #2: 2900-2920 SHATTUCK AVENUE
ENLARGED RESIDENTIAL PLANS
STUDIO UNITS

PROJECT NORTH
TRUE NORTH
0 1 2
1" = 1'-0"
1/8" = 1'-0"

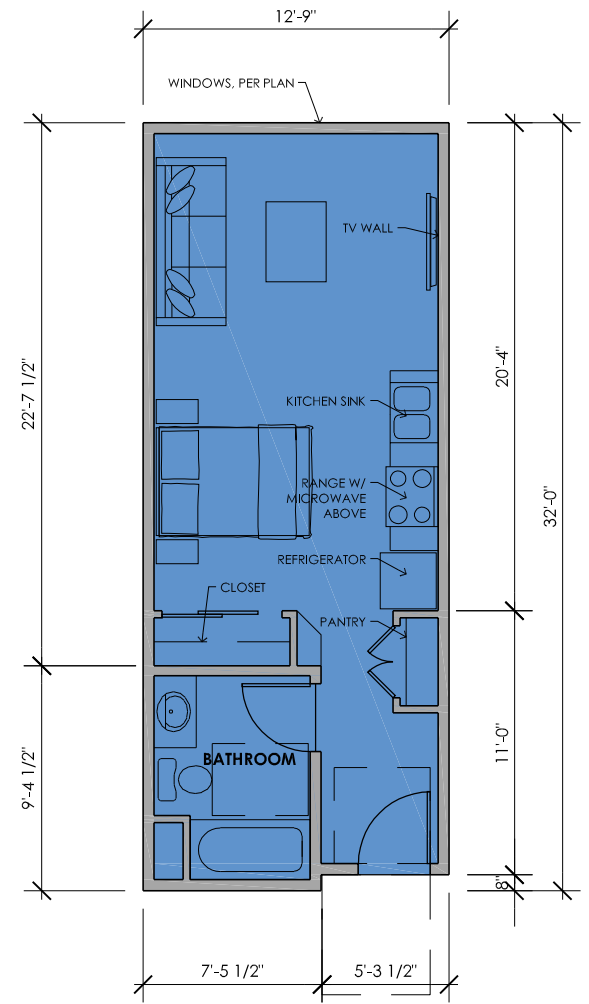
DATE
JANUARY 15, 2021

ARRIS PROJECT #
A19103

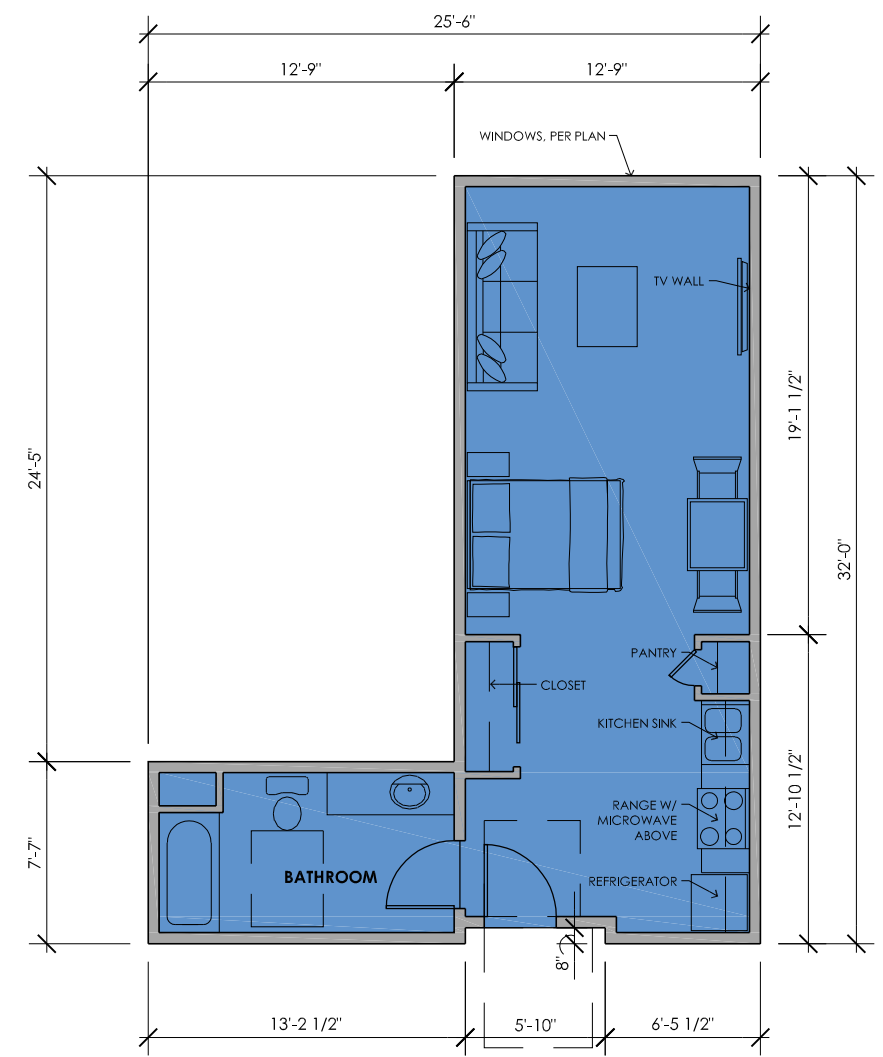
CITY OF BERKELEY APPLICATION #
ZP2020-0118

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A3.11



ENLARGED RESIDENTIAL PLAN - TYPICAL STUDIO UNIT B



ENLARGED RESIDENTIAL PLAN - TYPICAL STUDIO UNIT A



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SITE #2: 2900-2920 SHATTUCK AVENUE
ENLARGED RESIDENTIAL PLANS
1-BEDROOM UNIT

PROJECT NORTH
TRUE NORTH
0 1 2
1/8" = 1'-0"
11x17 SHEET SCALE: 1/8" = 1'-0"

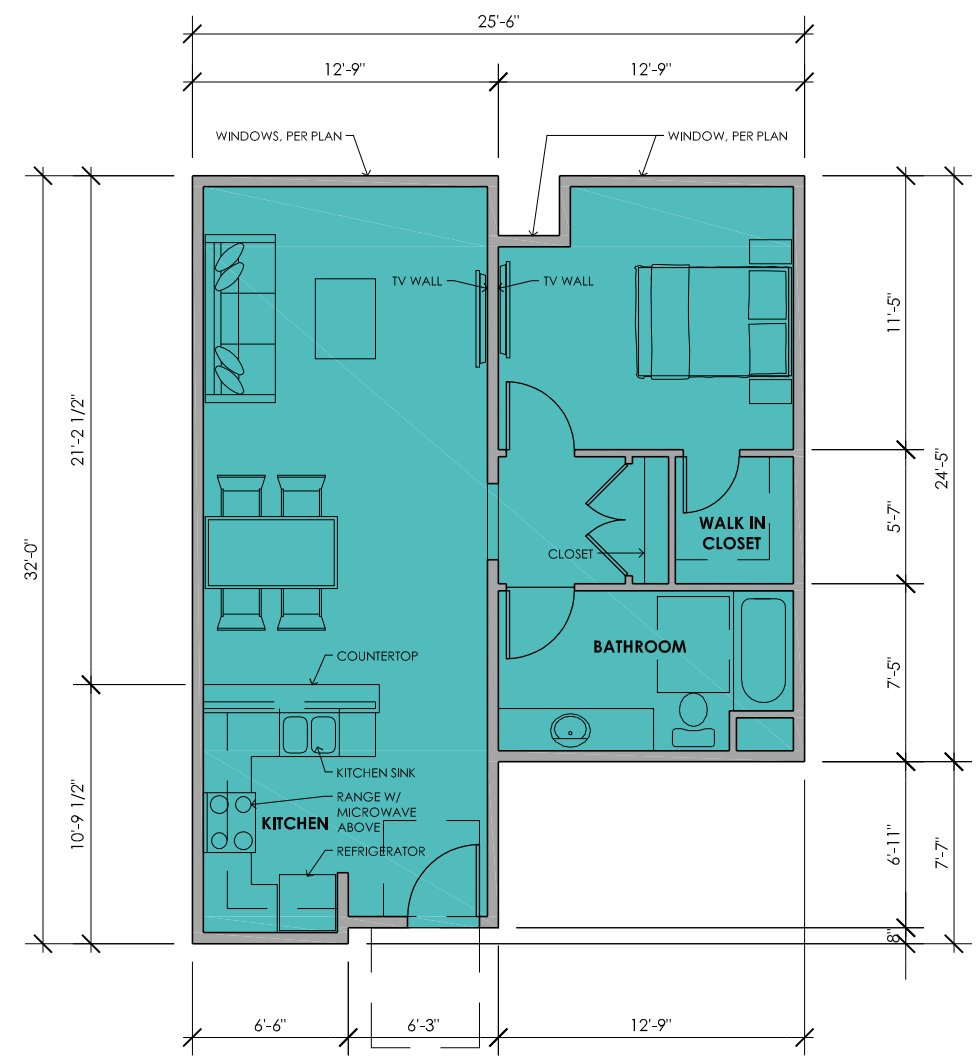
DATE
JANUARY 15, 2021

ARRIS PROJECT #
A19103

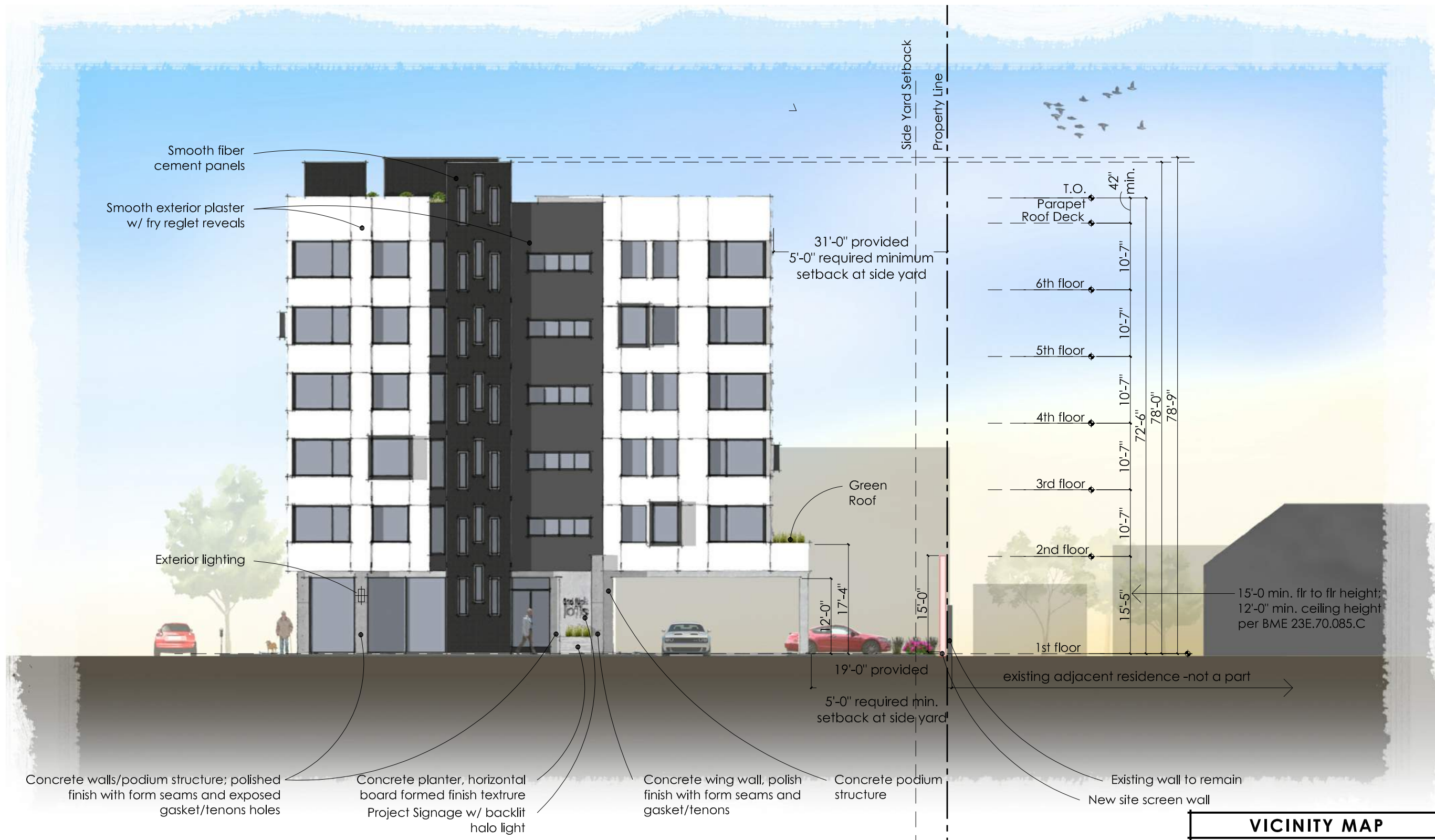
CITY OF BERKELEY APPLICATION #
ZP2020-0118

SHEET #

A3.12



ENLARGED RESIDENTIAL PLAN - TYPICAL 1-BEDROOM UNIT



EXTERIOR ELEVATION - RUSSELL STREET/NORTH (FRONT)



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SITE #2: 2900-2920 SHATTUCK AVENUE
EXTERIOR ELEVATIONS

PROJECT NORTH
TRUE NORTH
1" = 1'-0"
1/16" = 1'-0"

DATE
JANUARY 15, 2021

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SHEET #

A3.20





Concrete walls/podium structure; polished finish with form seams and exposed gasket/tenons holes

Exterior lighting, typical

Full height storefront at ground floor retail

VICINITY MAP



EXTERIOR ELEVATION - SHATTUCK AVENUE/EAST (STREET SIDE)



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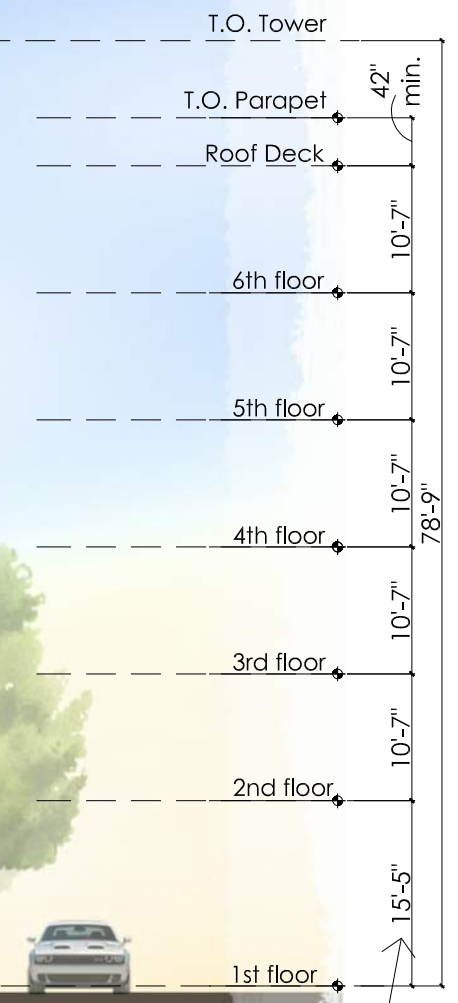
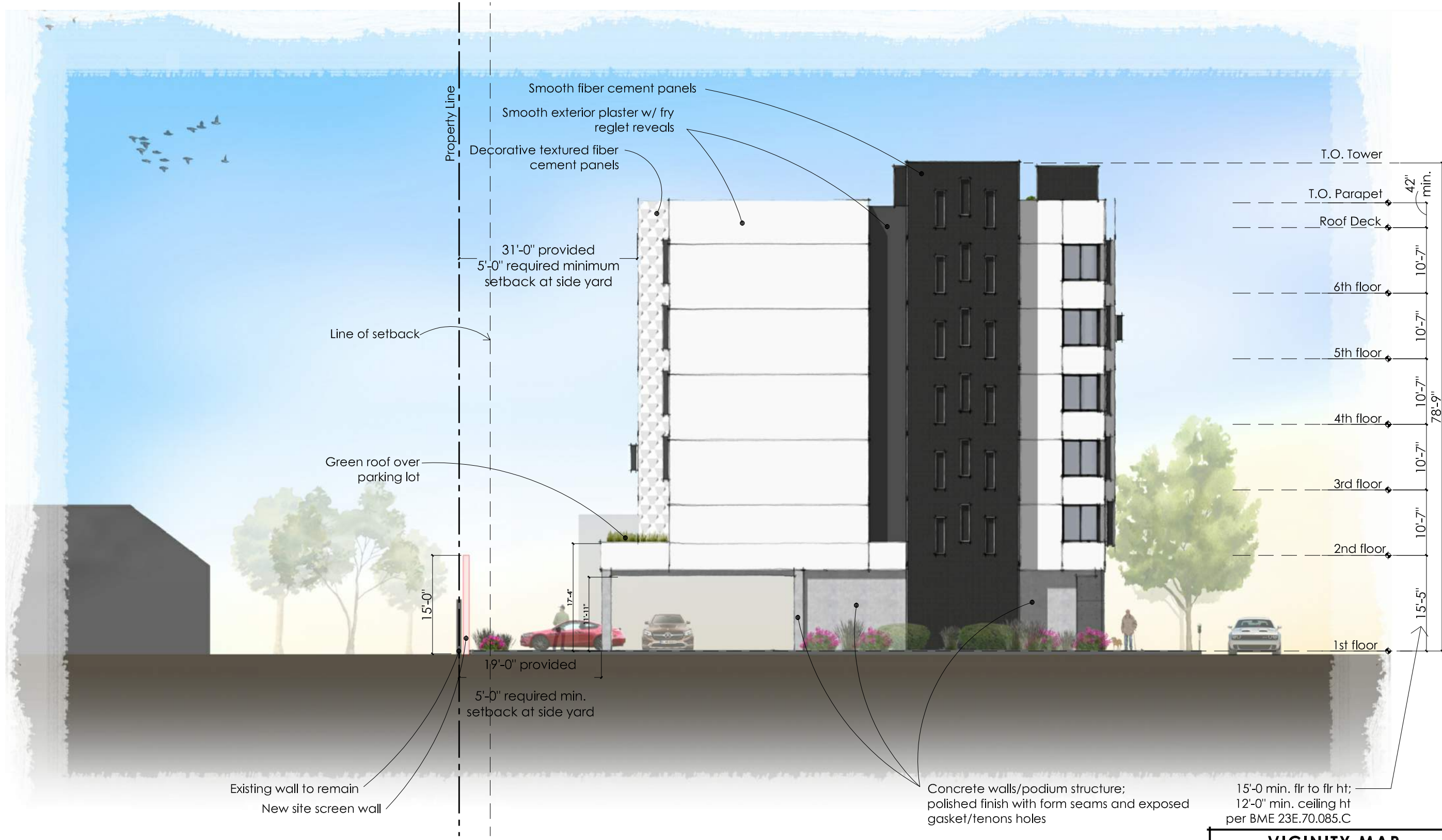


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PROJECT NORTH
TRUE NORTH
1" = 1'-0"
11x17 SHEET SCALE: 1/16" = 1'-0"
SITE #2: 2900-2920 SHATTUCK AVENUE
EXTERIOR ELEVATIONS

DATE
JANUARY 15, 2021
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SHEET #

A3.21



VICINITY MAP



EXTERIOR ELEVATION - SOUTH (REAR)



ADDRESS
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ARCHITECT OF RECORD



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THE BERKELEY COLLECTION
COMMERCIAL | HOTEL | RESIDENTIAL
2801 ADELINE ST. & 2900 SHATTUCK AVE., BERKELEY, CA

PROJECT NORTH

TRUE NORTH

1" = 17'-0"

1/16" = 1'-0"

SITE #2: 2900-2920 SHATTUCK AVENUE
EXTERIOR ELEVATIONS

DATE
JANUARY 15, 2021

ARRIS PROJECT #
A19103

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ZP2020-0118

SHEET #

A3.22



ADDRESS
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THE BERKELEY COLLECTION
COMMERCIAL | HOTEL | RESIDENTIAL
2801 ADELINE ST. & 2900 SHATTUCK AVE., BERKELEY, CA

PROJECT NORTH
TRUE NORTH

0 1 2 3 4 5
1" = 17'-0"

SITE #2: 2900-2920 SHATTUCK AVENUE
EXTERIOR ELEVATIONS

DATE
JANUARY 15, 2021

ARRIS PROJECT #
A19103

CITY OF BERKELEY APPLICATION #
ZP2020-0118

SHEET #

A3.23



VICINITY MAP



EXTERIOR ELEVATION - WEST (SIDE)



CONCEPTUAL PERSPECTIVE VIEW - NIGHTTIME CORNER VIEW @ SHATTUCK AVENUE + RUSSELL STREET

ARRIS
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ARRIS-STUDIO.COM
THOMAS E. JESS ARCHITECT #27608
STEPHEN A. RIGOR ARCHITECT #C33672
ARCHITECT OF RECORD



A PROJECT FOR:
NX VENTURES
2343 STUART STREET
BERKELEY, CA 94704
510.692.2994
NX-VENTURES.COM

THE BERKELEY COLLECTION
COMMERCIAL | HOTEL | RESIDENTIAL
2801 ADELINE ST. & 2900 SHATTUCK AVE., BERKELEY, CA
SITE #2: 2900-2920 SHATTUCK AVE.
CONCEPTUAL PERSPECTIVE VIEW

VICINITY MAP



DATE
JANUARY 15, 2021
ARRIS PROJECT #
A19103
CITY OF BERKELEY APPLICATION #
ZP2020-0118
SHEET #

A3.40



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CONCEPTUAL PERSPECTIVE VIEW

VICINITY MAP



CONCEPTUAL PERSPECTIVE VIEW - CORNER VIEW @ SHATTUCK AVENUE + RUSSELL STREET

DATE
JANUARY 15, 2021

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A19103

CITY OF BERKELEY APPLICATION #
ZP2020-0118

SHEET #

A3.41



CONCEPTUAL PERSPECTIVE VIEW - VIEW ALONG RUSSELL STREET

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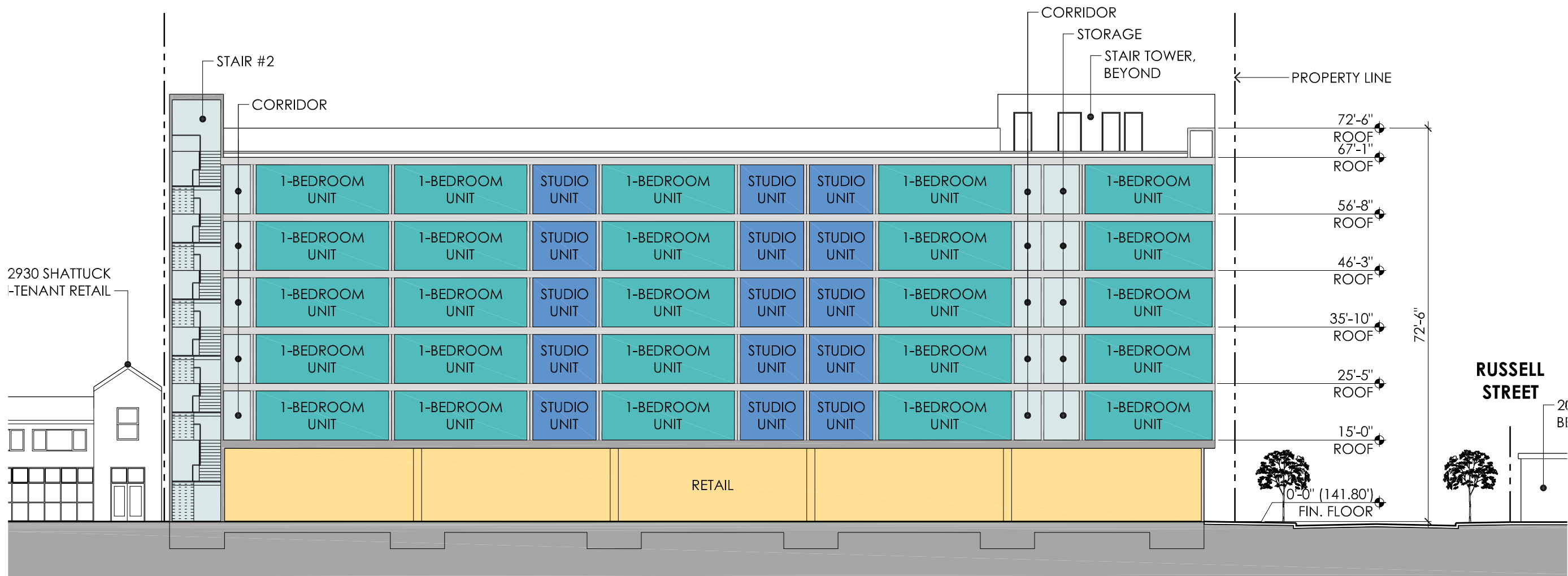
THE BERKELEY COLLECTION
COMMERCIAL | HOTEL | RESIDENTIAL
2801 ADELINE ST. & 2900 SHATTUCK AVE., BERKELEY, CA
SITE #2: 2900-2920 SHATTUCK AVE.
CONCEPTUAL PERSPECTIVE VIEW

VICINITY MAP



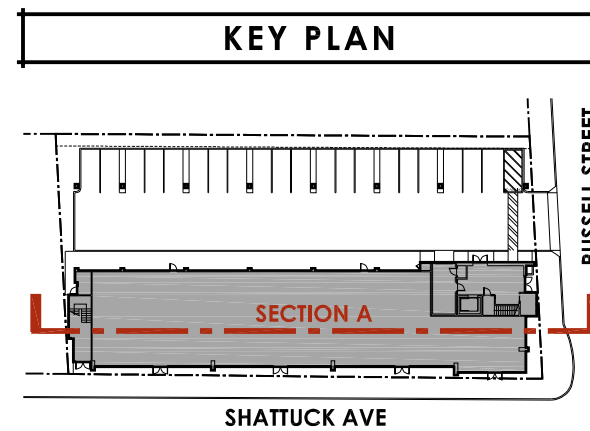
DATE
JANUARY 15, 2021
ARRIS PROJECT #
A19103
CITY OF BERKELEY APPLICATION #
ZP2020-0118
SHEET #

A3.42



2930 SHATTUCK
TENANT RETAIL

BUILDING SECTION A - PARALLEL TO SHATTUCK AVE



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2801 ADELINE ST. & 2900 SHATTUCK AVE, BERKELEY, CA

SITE #2: 2900-2920 SHATTUCK AVENUE
SITE/BUILDING SECTION

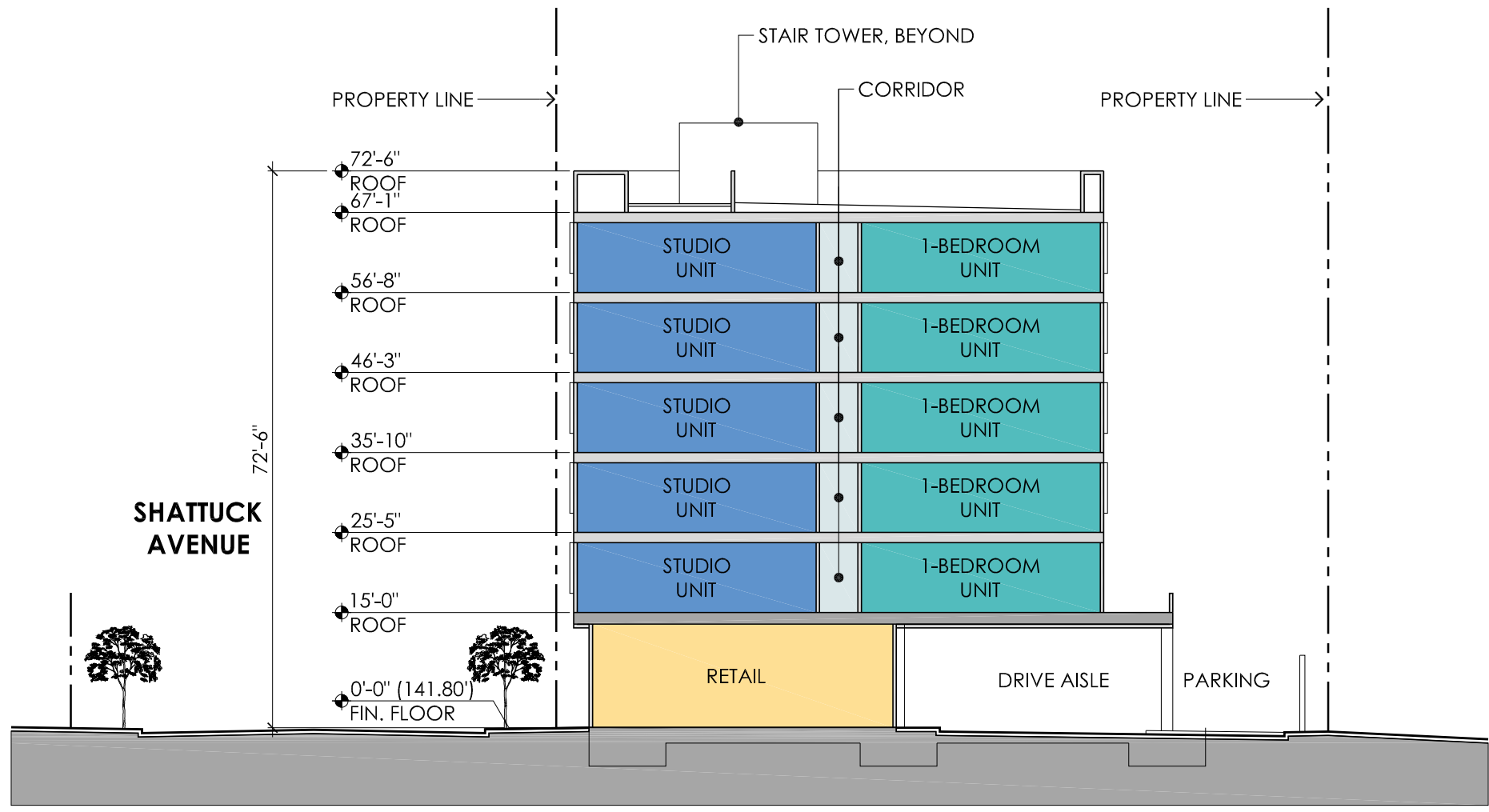
1" = 20'-0"
11x17 SHEET SCALE

DATE
JANUARY 15, 2021

ARRIS PROJECT #
A19103

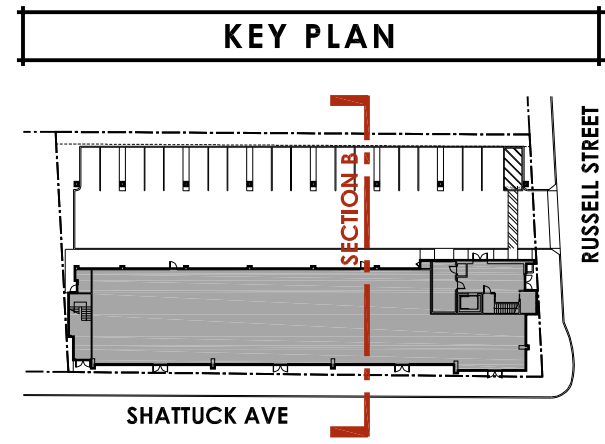
CITY OF BERKELEY APPLICATION #
2P2020-0118

SHEET #
A3.30



SHATTUCK AVENUE

BUILDING SECTION B - PARALLEL TO RUSSELL STREET



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2801 ADELINE ST. & 2900 SHATTUCK AVE, BERKELEY, CA
SITE #2: 2900-2920 SHATTUCK AVENUE
SITE/BUILDING SECTION
1" = 20'-0"
11x17 SHEET SCALE

DATE
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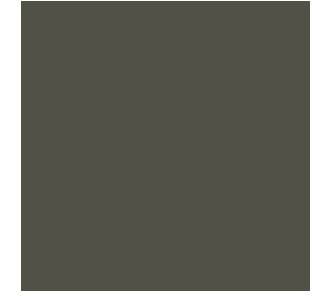
A3.31



S-1 T-1 T-1 M-1 P-1 M-2 P-2

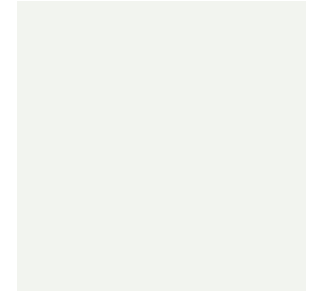
COLOR AND MATERIAL BOARD

DOORS AND WINDOWS



T-1
ALUMINUM DARK BRONZE

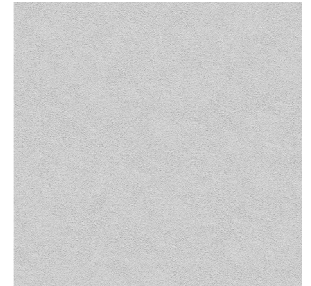
STUCCO PAINT COLORS



P-1
BENJAMIN MOORE
"DISTANT GREY"
2124-70



P-2
BENJAMIN MOORE
"OVERCOAT"
CC-544"



S-1
SMOOTH FINISH STUCCO
WALL FINISH AND DECOR



M-1
TEXTURED WALL PANELS



M-2
GRANITE DARK GRAY
EXTERIOR TILE PANELING



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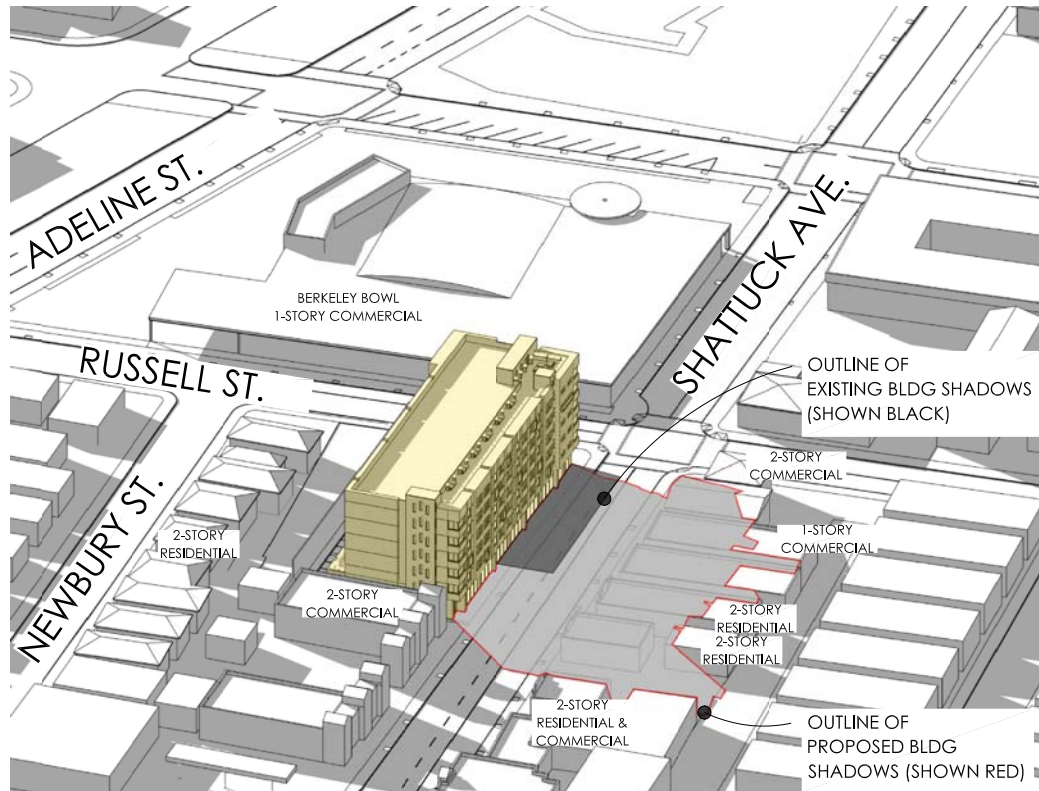


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SITE #2: 2900-2920 SHATTUCK
COLOR & MATERIAL BOARD

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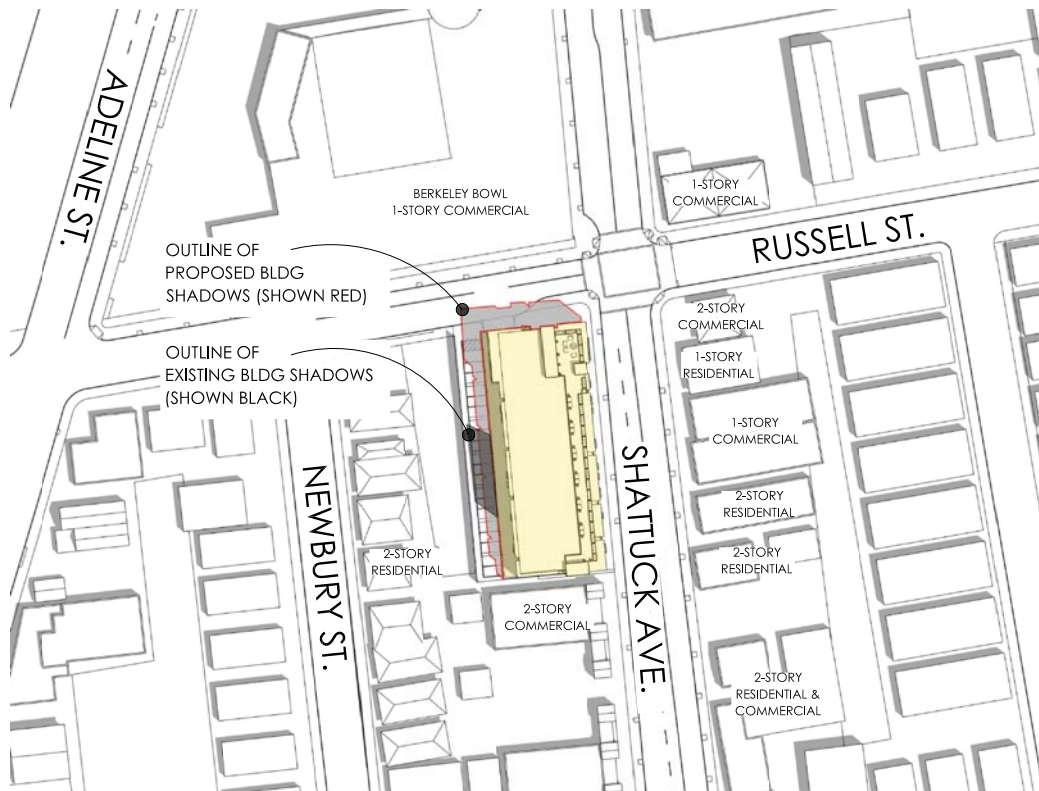
A3.50



SHADOW STUDY-JUNE 21: 2 HRS BEFORE SUNSET



SHADOW STUDY-JUNE 21: 2 HRS AFTER SUNRISE



SHADOW STUDY-JUNE 21 AT NOON



SHADOW STUDY-JUNE 21: 2 HRS BEFORE SUNSET

VICINITY MAP



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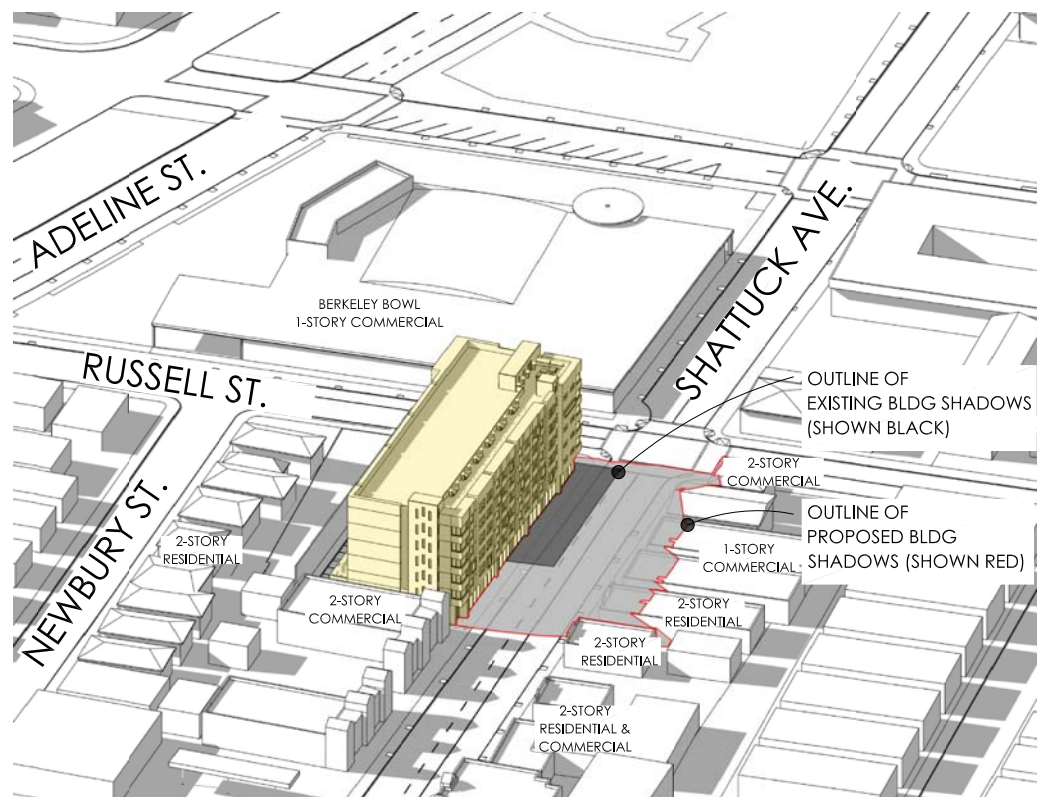


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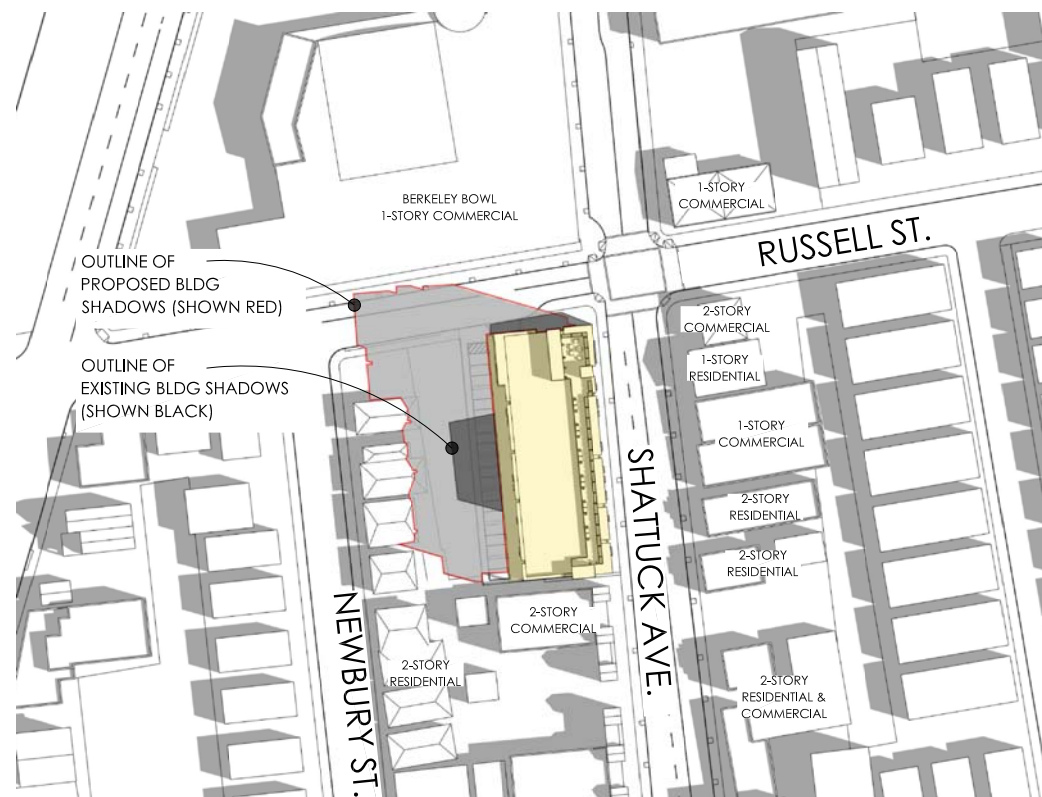
THE BERKELEY COLLECTION
COMMERCIAL | HOTEL | RESIDENTIAL
2801 ADELINE ST. & 2900 SHATTUCK AVE., BERKELEY, CA
PROJECT NORTH
TRUE NORTH
0 10 20 30 40 50 60 70 80 90 100
1" = 150'
SITE #2: 2900-2920 SHATTUCK
SUN & SHADOW STUDY: JUNE 21ST

DATE
JANUARY 15, 2021
ARRIS PROJECT #
A19103
CITY OF BERKELEY APPLICATION #
ZP2020-0118
SHEET #

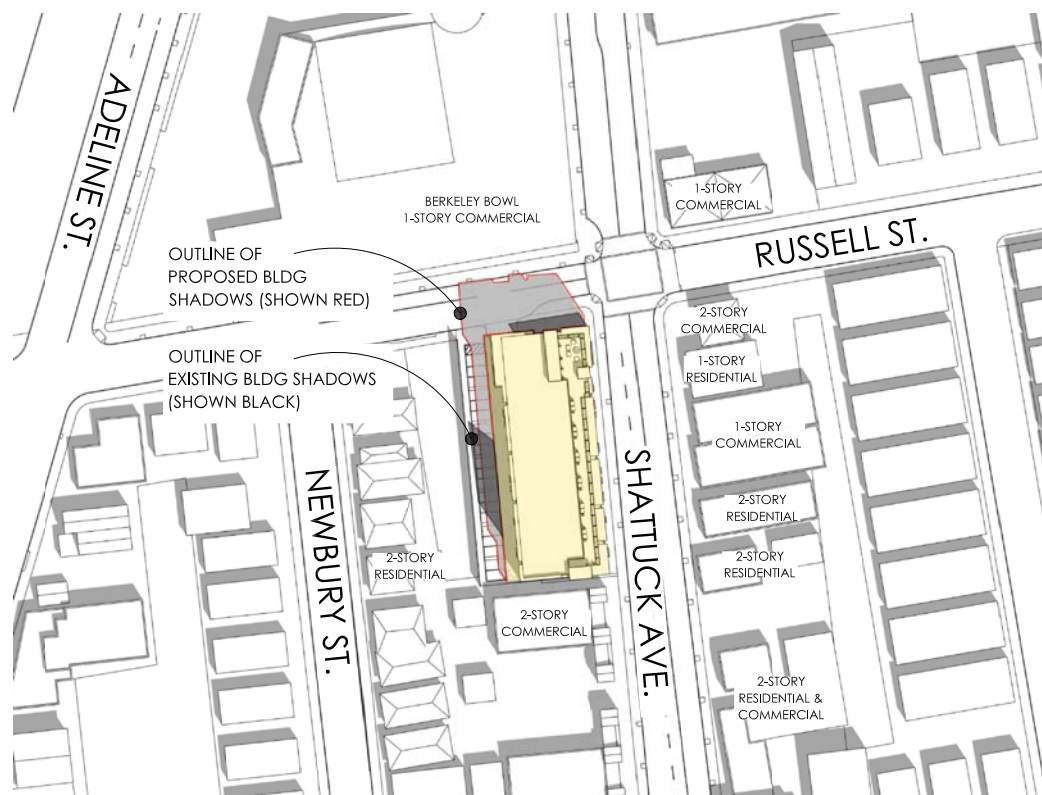
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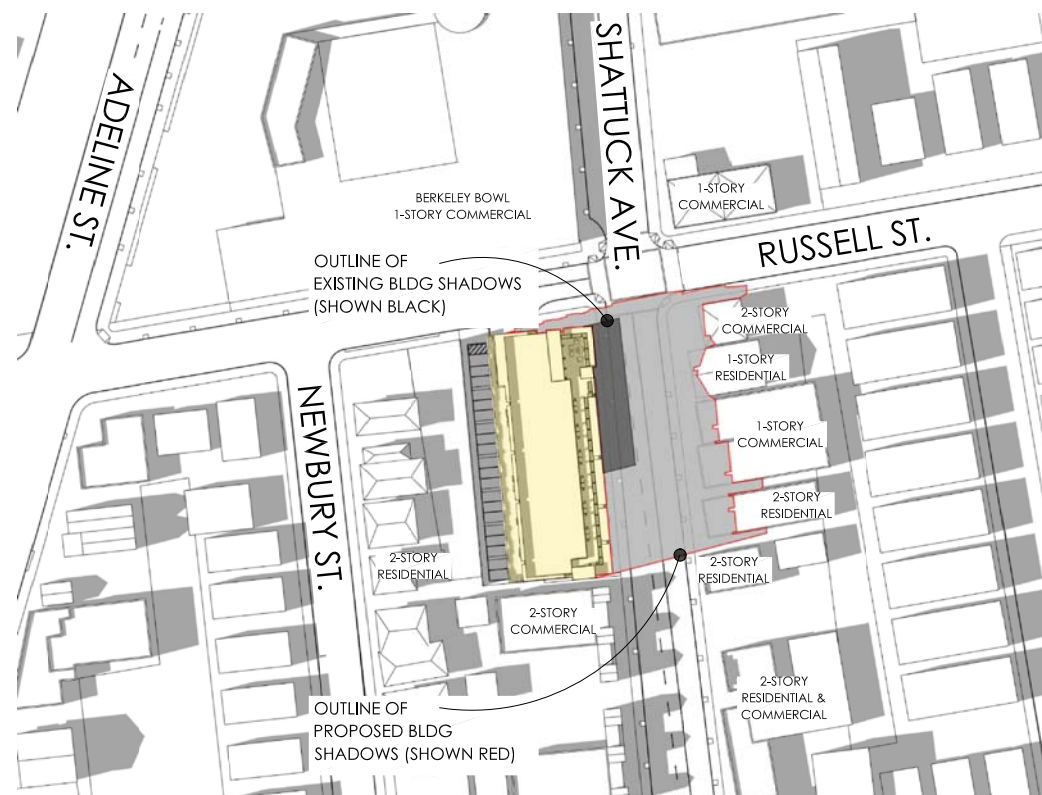
SHADOW STUDY-SEPT. 1ST: 2HRS BEFORE SUNSET



SHADOW STUDY-SEPT. 1ST: 2 HRS AFTER SUNRISE



SHADOW STUDY-SEPT. 1ST AT NOON



SHADOW STUDY-SEPT. 1ST: 2 HRS BEFORE SUNSET

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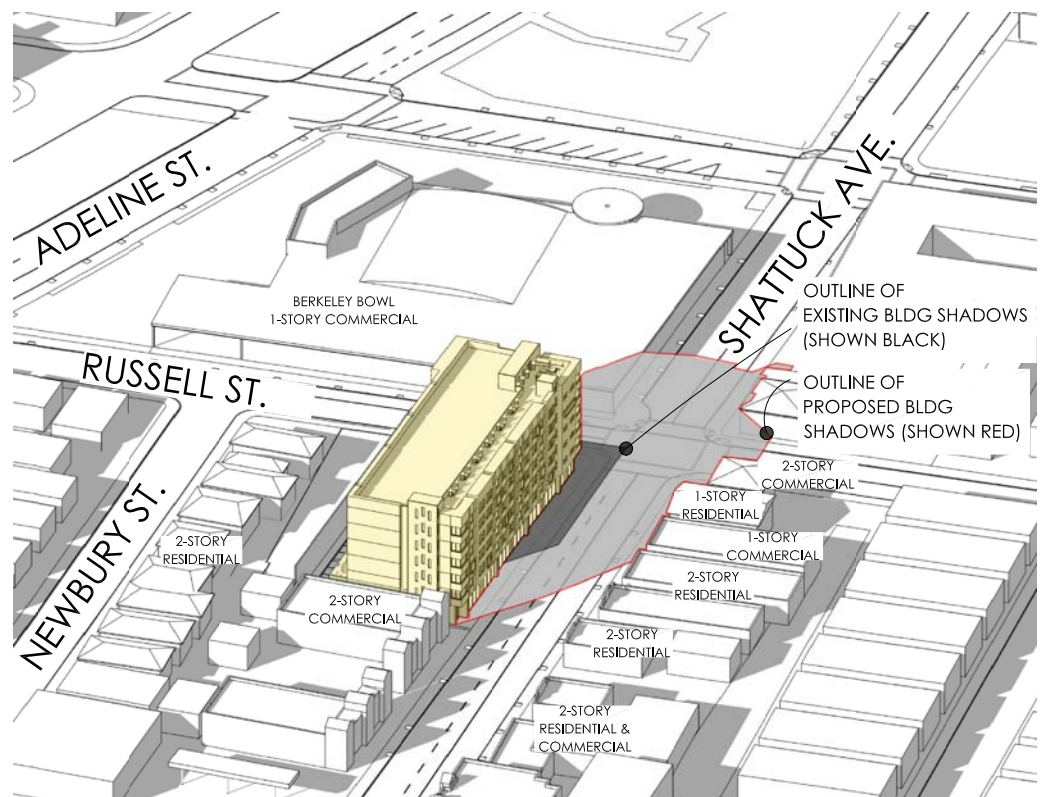


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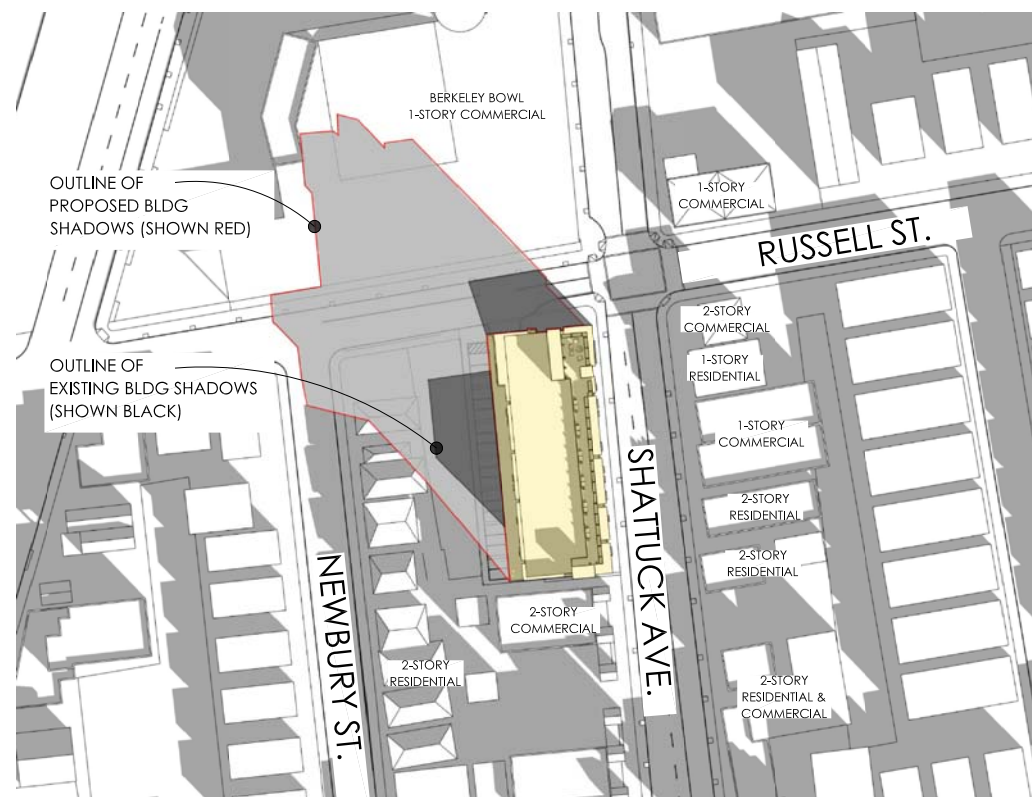
THE BERKELEY COLLECTION
COMMERCIAL | HOTEL | RESIDENTIAL
2801 ADELINE ST. & 2900 SHATTUCK AVE., BERKELEY, CA
PROJECT NORTH
TRUE NORTH
1" = 150'
SITE #2: 2900-2920 SHATTUCK
SUN & SHADOW STUDY: SEPT 21ST

DATE
JANUARY 15, 2021
ARRIS PROJECT #
A19103
CITY OF BERKELEY APPLICATION #
ZP2020-0118
SHEET #

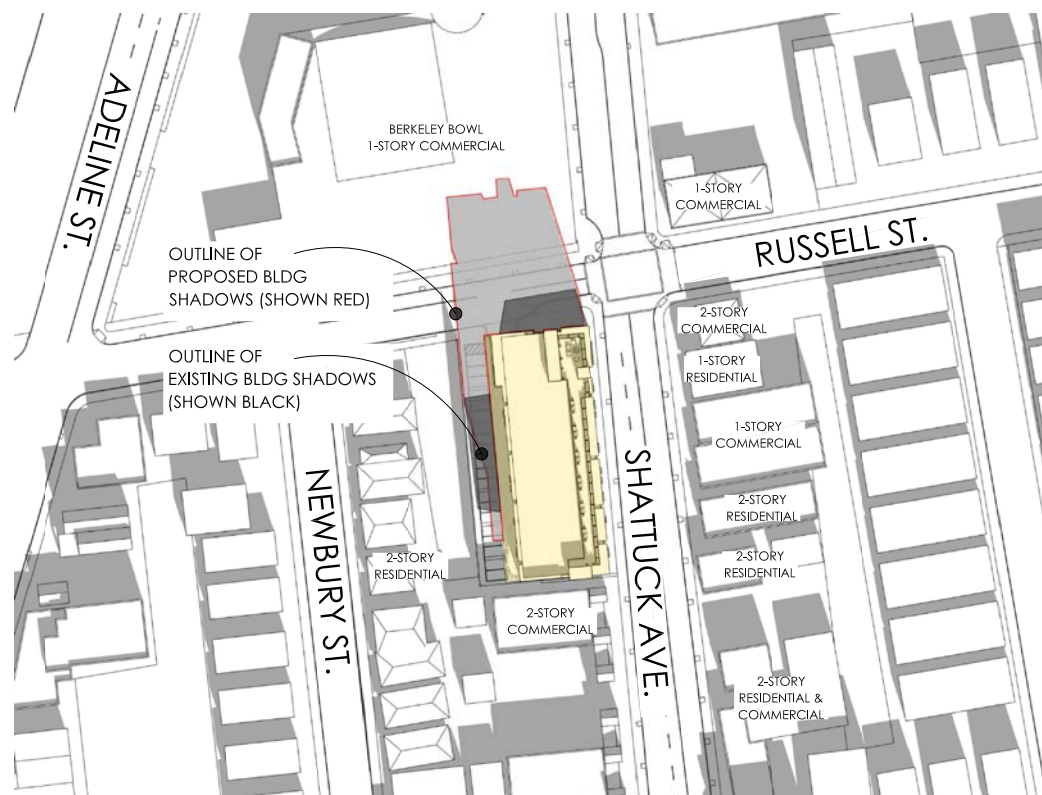
A3.61



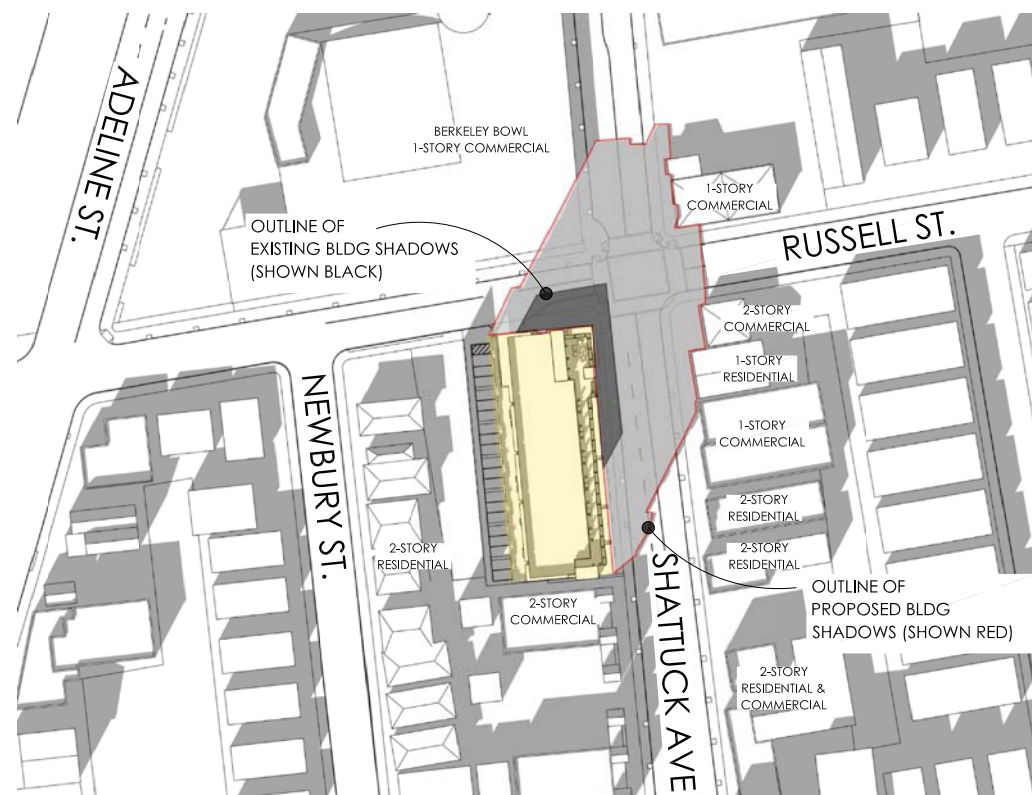
SHADOW STUDY-DEC 21: 2HRS BEFORE SUNSET



SHADOW STUDY-DEC 21: 2 HRS AFTER SUNRISE



SHADOW STUDY-DEC 21 AT NOON



SHADOW STUDY-DEC. 21: 2 HRS BEFORE SUNSET

VICINITY MAP



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PROJECT NORTH

TRUE NORTH

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

1" = 150'

SITE #2: 2900-2920 SHATTUCK
SUN & SHADOW STUDY: DEC. 21ST

DATE
JANUARY 15, 2021

ARRIS PROJECT #
A19103

CITY OF BERKELEY APPLICATION #
ZP2020-0118

SHEET #
A3.62