



Planning and Development
Land Use Planning Division

April 22, 2021

Isaiah Stackhouse
Trachtenberg Architects
2421 Fourth Street
Berkeley, CA 94710

Sent via email to:

isaiah@trachtenbergarch.com

RE: SB330 Preliminary Application #PLN2021-0012 for 1201-1205 San Pablo Avenue

Dear Mr. Stackhouse,

Thank you for your preliminary development application, submitted on April 1, 2021 pursuant to SB330. The project proposes to merge two vacant lots and construct a six-story, 47,036-square-foot, 66-unit, mixed-use building. The project is seeking a 32.5 percent Density Bonus (16 units) by providing 10 percent of the base project units as affordable to very low income households (5 VLI units).

Land Use Planning staff has reviewed the application and determined that the project meets the definition of a “housing development project” as a “mixed-use development project where at least two-thirds of the square footage comprises residential uses”. Please submit a complete zoning project application no later than September 28, 2021 (180 calendar days from the date of application submittal) in order to ensure that the zoning, design, subdivision and fee requirements in effect as of the date of application submittal will remain in effect for the remainder of the entitlement and permitting process, except under these circumstances:¹

- The project does not commence construction within 30 months of the project’s site permit being issued;
- The project increases by more than 20 percent in the number of units or total square footage beyond the preliminary application, except as the project may be revised using the State Density Bonus;
- The requirement is necessary to avoid an adverse impact to public health or safety as defined in state law;
- The requirement is necessary to avoid or lessen an impact under CEQA; or

¹ Refer to SB330 provisions for additional circumstances under which the Preliminary Application may expire.

- Development impact fees, application and permit processing fees, capacity or connection fees, or other charges may be annually adjusted based on a published cost index.

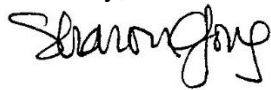
Based upon an average unit size of 687 square feet, the base project has 34,325 square feet of residential floor area, or 50 units. Five Very Low Income qualifying units (10 percent of the base project units) provided in the project achieves a 32.5 percent Density Bonus, which equates to 11,156 square feet, or 17 units. The project is utilizing less than the full bonus – 10,991 square feet of residential floor area, or 16 units – for a total of 45,316 of residential floor area and 66 units proposed in the project. See table below for details.

Project Residential Floor Areas and Units

Floor	Base Project	Density Bonus (32.5%)	Proposed Project
1	3,755		3,755
2	10,190		9,244
3	10,190		9,244
4	10,190		9,244
5			7,526
6			6,303
Total floor area	34,325	10,991	45,316
Average unit size = 687 square feet per unit			
Units	50	16	66

Please feel free to contact me with any questions you may have regarding this letter or your application.

Sincerely,



Sharon Gong
 Senior Planner
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