



D E S I G N  
R E V I E W  
C O M M I T T E E  
S T A F F R E P O R T

For Committee Decision  
JANUARY 15, 2026

## 2442 Haste Street

### FINAL DESIGN REVIEW

**Design Review #DRCF2025-0003** to demolish an existing three-story residential building with four units (one ELI unit), and construct an eight-story (85 feet) residential building with 36 new units (including two VLI units and one ELI replacement unit), using State Density Bonus (20%).

#### I. Introduction

This eight-story residential building is proposed on the South side of Haste Street near to and west of Telegraph Avenue. The project site is located in the C-T Telegraph Commercial District.

The project was last before the Design Review Committee on June 19, 2025 for Preliminary Design Review, where the Committee provided recommendations for Final Design Review and are located further on in this report. The Zoning Adjustments Board approved the Use Permit on July 24, 2025.

It is before the Design Review Committee this month for Final Design Review. The Committee is asked to review the final façade design, building details, landscape design and colors and materials palette.

#### II. Background

The proposed project would demolish the existing three-story residential building to allow for the construction of a new eight-story residential development with the following primary components:

- 8 stories, 90 feet to the top of the roof parapet;
- 2 one-bedroom units, 13 three-bedroom units, 16 four-bedroom units and 7 five-bedroom units; and
- 2 Very Low Income (VLI) units.
-

### **III. Project Setting**

#### **A. Neighborhood/Area Description:**

The project site is located on Haste Street near the intersection of Haste Street and Telegraph Avenue. It is within the Telegraph Avenue Commercial (C-T) District as well as the South Side Plan area. The property site is adjacent to residential and mixed-use buildings to the North, West and South, and commercial buildings to the East. The adjacent structures range in height from one story (2437 Dwight Way) to four stories (2400 and 2444 Haste Street). The property abutting the rear is the James Edgar House, a Structure of Merit designated in December 1981. The project site is located in an area where multiple modes of public transportation are available, including local and Transbay AC Transit bus lines, the UC Berkeley Bear Transit shuttle, multiple bikeshare docking stations and the Downtown Berkeley BART station.

#### **B. Site Conditions:**

The project site is 2442 Haste Street (Assessor's Parcel Number 55-1881-18). 2442 Haste is a flat rectangular lot 6,750 square feet large developed with a three-story multifamily residential building approximately 5,663 square feet. There is a driveway along the western portion of the lot connecting to an 11-stall parking lot.





The existing building is the Hutchinson Flats Building, a three-story residential structure with four rent-controlled units. These units are registered with the Berkeley Rent Board. The building was constructed in 1904 in the Colonial Revival style, and was designated a Structure of Merit by the Landmarks Preservation Commission at their September 5, 2024 regular meeting.

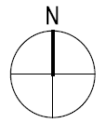
There are existing metered parking spaces along the Haste frontage.

**Figure 1: Vicinity and Zoning Districts Map**



Legend

- Site Boundary 
- C-T: Telegraph Avenue Commercial 
- R-SMU: Residential Southside Mixed Use 
- R-3: Multiple-Family Residential 



**Table 1: Land Use Information**

Location		Existing Use	Zoning District	General Plan Designation
Subject Property		Multifamily Residential	Telegraph Avenue Commercial District (C-T)	Avenue Commercial
Surrounding Properties	North	Mixed-use Residential	C-T	
	South	Residential	C-T	
	East	Vacant, formerly Retail	C-T	
	West	Multifamily Residential	Residential Southside Mixed Use District (R-SMU)	Residential Mixed Use
Subject Property		Multifamily Residential	C-T	Avenue Commercial
Surrounding Properties	North	Mixed-use Residential	C-T	
	South	Residential	C-T	
	East	Vacant, formerly Retail	C-T	
	West	Multifamily Residential	R-SMU	Residential Mixed Use

**IV. Summary from June 19, 2025 DRC Meeting**

***Preliminary Design Review received a favorable recommendation to ZAB with the following direction for Final Design Review: MOTION (Gaffney, Woo) VOTE (6-0-0-1) Tam\* - absent.***

***Recommendations***

***Site Design / Neighborhood Context***

- *Further refine the ground floor transformer area so the main entrance remains the focal point.*

***Exterior Finishes***

- *Recommend a quieter North elevation; consider more terra cotta.*
- *Balance verticality with more horizontal lines on North elevation.*
- *Refine color palette and material transitions; proposed yellow color is bold and should be reviewed in the sun, and with the whole color palette, before FDR.*
- *Colors should work better together; too many are similar saturation.*
- *Material and color transitions on the side elevations appear to be arbitrary; review for FDR.*
- *Recommend brighter finishes in corridors and balconies.*

***Landscaping***

- *Recommend using all native plants if possible.*
- *Increase landscape at the street edge as much as possible.*
- *Consider landscape on balconies.*

### ***Building Details***

- *Recommend a stronger base and top to the building.*
- *Show signage, as well as all exterior details at FDR.*

## **V. Issues and Analysis**

### **A. Consistency with Approved Use Permit Design**

An 8 ½ x 11 copy of the approved Use Permit drawings is attached for reference. This design submittal is consistent with the approved Use Permit design.

### **B. Current Submittal includes:**

- Floor plans, exterior elevations, building sections, and perspective renderings;
  - North façade window pattern and cladding details have been modified for a quieter residential scale.
  - East, west, and south façades have also been modified, consistent with the north façade.
  - Egress stair was reconfigured so that the stair in that corner exits onto the east façade, and not directly off of the north façade and the sidewalk. This has allowed for a better lobby space and more glazing on the sidewalk.
- Construction details, and wall and window sections;
  - Additional details have been added to the plan set, including the exterior soffit and material transition details.
- Landscape plans and plant palette; and
  - Planter locations at the main entrance have been refined.
- Colors and Materials Board
  - Material samples will be presented at the meeting.

### **C. Issues for Discussion:**

- Ground floor facade
- Building facades / details
- Landscape design
- Colors and materials palette

## **VI. Recommendation**

Staff recommends that the Committee discuss the issues outlined above and approve Final Design Review with Staff follow up as necessary.

### **Attachments:**

1. Project Plans, received December 31, 2025
2. Approved Use Permit Drawings, approved July 24, 2025

**Reviewed by:** Anne Burns, aburns@berkeleyca.gov, (510) 981-7410







2 STREET STRIP ELEVATION - EXISTING1  
 N.T.S.



1 STREET STRIP ELEVATION - PROPOSED1  
 N.T.S.



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 AGREEMENT WITH STUDIO KDA.

2442 HASTE ST.

2442 HASTE STREET,  
 BERKELEY, CA 94704  
 APN 55-1881-18



FINAL DESIGN  
 REVIEW

Δ	DATE	ISSUE RECORD
	1/15/26	FINAL DRC

PROJECT NO: HED01

ISSUE DATE: 4/15/25

STREET STRIP  
 ELEVATIONS



G-005







WOODWARDIA FIMBRIATA



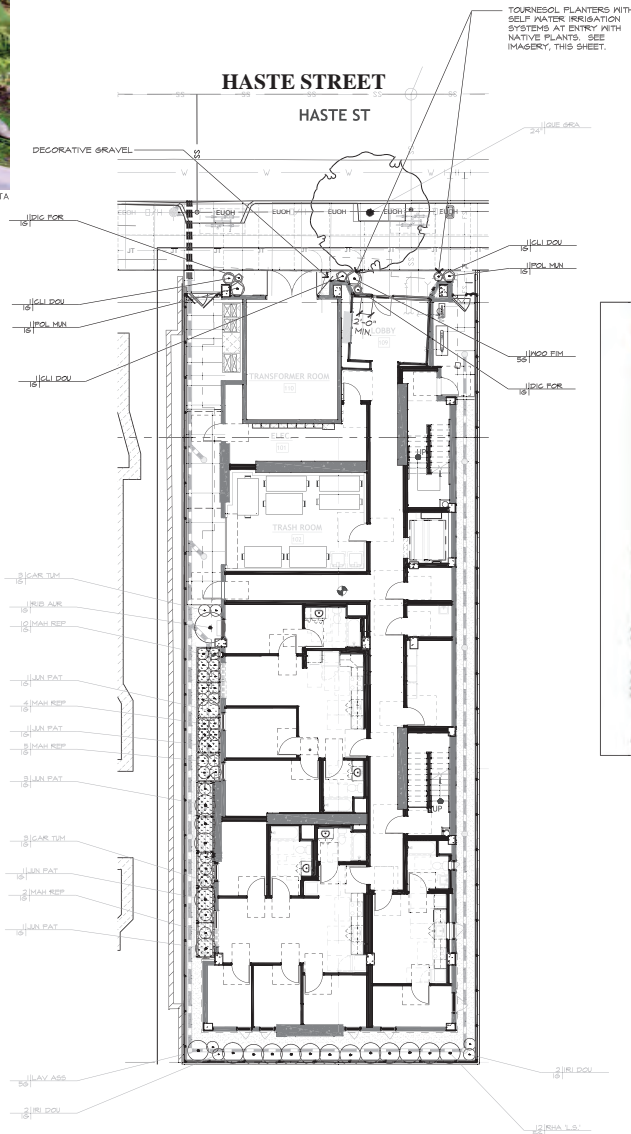
POLYSTICHUM MUNITUM



DICENTRA FORMOSA



CLINOPODIUM DOUGLASII



**PLANT LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
<b>STREET TREES</b>			
QUE GRA	QUERCUS GRAVESII	GRAVES OAK	24" BOX LOW
<b>SHRUBS</b>			
CAR TOM	CAREX TOMULICOLAP (N)	BERKELEY SEDGE	1 GALLON MED
CLI DOU	CLINOPODIUM DOUGLASE	YERBA BUENA	1 GALLON LOW
DIC FOR	DICENTRA FORMOSA (N)	PACIFIC BLEEDING HEART	1 GALLON MED
RI DOU	RIBES DOUGLASH (N)	PACIFIC COAST RIB	1 GALLON LOW
JUN PAT	JUNCEUS SP. (N)	RUSH	1 GALLON MED
LAV ASS	LAVATERA ASSERGENIFLORA (N)	CA. TREE MALLOW	5 GALLON LOW
MAN REP	MARONIA REPENS (N/P)	OWSPY OREGON GRAPE	1 GALLON LOW
POL MUN	POLYSTICHUM MUNITUM (N)	WESTERN SWORD FERN	1 GALLON MED
RH L.S.C.	RHANNUS CAL. LITTLE SURF (N)	OWSPY COFFEESBERRY	5 GALLON LOW
RIB AUR	RIBES AUREUM (N) (P)	GOLDEN CURRANT	5 GALLON LOW
WOD FIM	WOODWARDIA FIMBRIATA (N)	GIANT CHAIN FERN	5 GALLON MED

**PLANT CALLOUT SYMBOL KEY**

PLANT QTY	PLANT SYMBOL
SIZE	UNITS



CLIENT:  
**2442 HASTE STREET, LLC**

3483 IRONWOOD DRIVE  
 SAN RAMON, CA 94582

PROJECT:  
**2442 HASTE STREET**  
 PERMIT SUBMITTAL

BERKELEY, CALIFORNIA

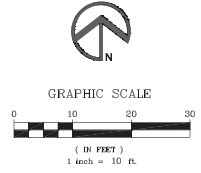
ENTRY PLANTERS CONCEPT

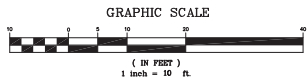
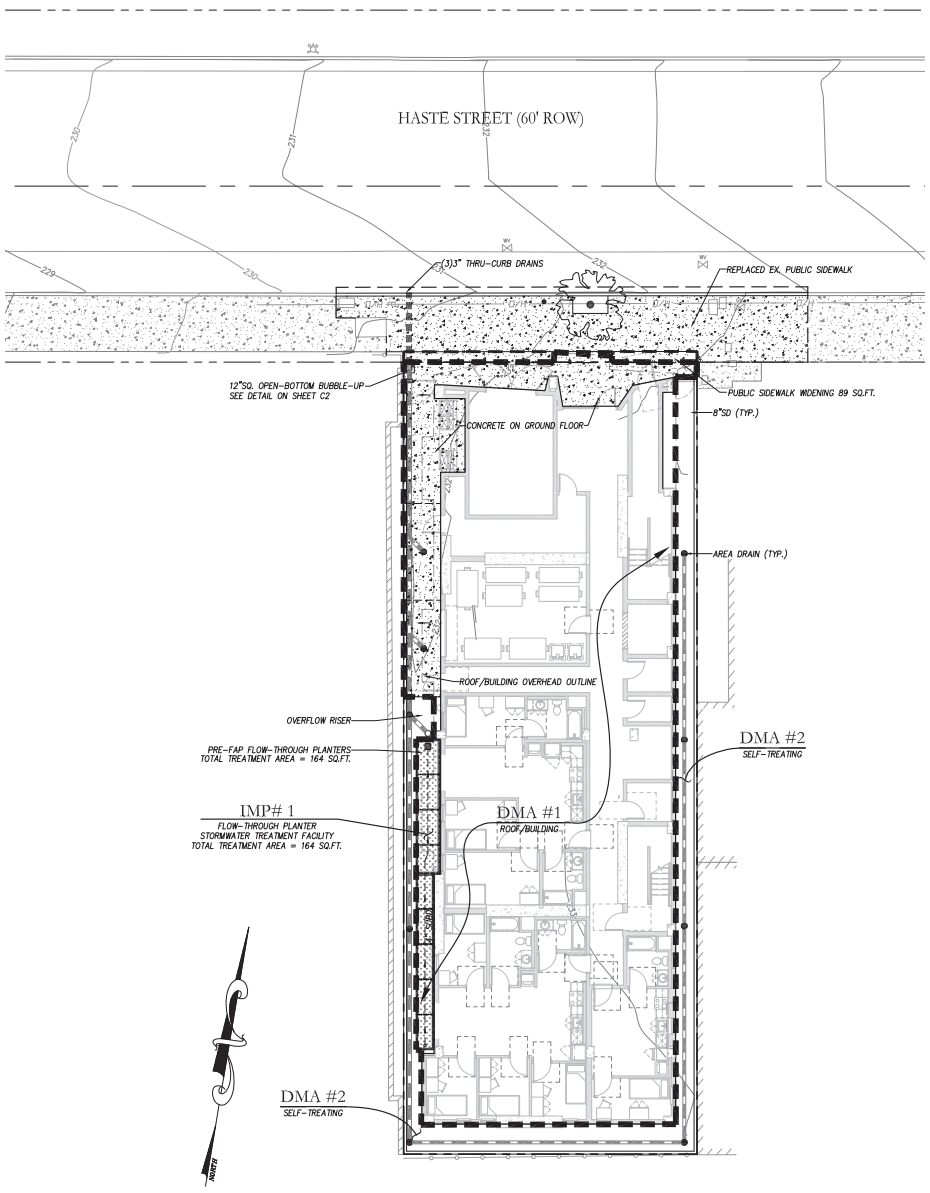


PROJECT #:  
 DATE: DEC. 17, 2025  
 SCALE: 1"=10'  
 DRAWN BY: WPG  
 CHECKED BY: AMC

REVISIONS:


SHEET  
**LP.1**  
 OF 6 SHEETS





**Toumesol**

### Bioretention Planters, GFRC

**DIMENSIONS**

- Module maximum dimensions 96\"/>

**INCLUDED WITH PLANTER**

1. Planter
2. Clean-out
3. Drainpipe
4. Overflow
5. 4\"/>

**OPTIONAL ACCESSORIES**

6. Splash Box
7. Level Spreader

**CUSTOMER SUPPLIED**

8. Media
9. Landscape Fabric
10. Fabric Sleeve (optional)

**TOURNESOL FLOW-THROUGH PLANTER SPECIFICATIONS**

**PRE-FABRICATED FLOW-THROUGH PLANTER SIZING CALCULATIONS**  
 BASED ON TOURNESOL GFRC BIORETENTION PLANTER SPECIFICATIONS

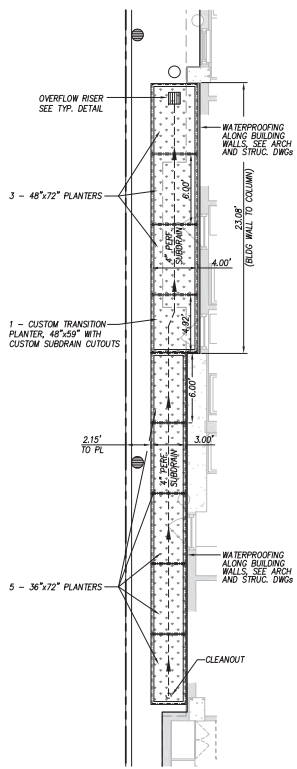
5 x 36"x72" PLANTERS (16 SQ.FT. EACH) = 80 SQ.FT.  
 3 x 48"x72" PLANTERS (22 SQ.FT. EACH) = 66 SQ.FT.  
 1 x CUSTOM TRANSITION PLANTER 48"x59" = 18 SQ.FT.  
**TOTAL PLANTER SURFACE AREA = 164 SQ.FT.**

WFT-723648	Bioretention Planter, GFRC, plumbing included	72	36	48	1224	16	113	47
WFT-963648	Bioretention Planter, GFRC, plumbing included	96	36	48	1632	22	150	64
WFT-484848	Bioretention Planter, GFRC, plumbing included	48	48	48	1088	14	100	42
WFT-724848	Bioretention Planter, GFRC, plumbing included	72	48	48	1632	22	150	64

**STORMWATER TREATMENT MEASURES SUMMARY TABLE**

DMA	TOTAL TRIBUTARY AREA (SQ.FT.)	IMPERVIOUS AREA (SQ.FT.)	PERVIOUS AREA (SQ.FT.)	DRAINS TO IMP. #	SIZING METHOD	TREATMENT METHOD	REQUIRED TREATMENT AREA	TREATMENT AREA PROVIDED	PONDING DEPTH
1	5,873 <sup>1</sup>	5,709	164	IMP #1	COMBINATION FLOW-VOLUME <sup>2</sup>	FLOW-THRU PLANTER	153 SQ.FT.	164 SQ.FT.	12 INCHES
2	891	0	896	SELF-TREATING	N/A	SELF-TREATING	N/A	N/A	N/A
<b>TOTAL</b>	<b>6,764<sup>1</sup></b>	<b>5,709</b>	<b>1,055</b>						

NOTES:  
 1) DMA #1 AREA INCLUDES 14 SQ.FT. OF ROOF OVERHANG THAT ENCROACHES IN THE PUBLIC RIGHT-OF-WAY. TOTAL ONSITE AREA IS 6,750 SQ.FT.  
 2) SEE ALAMEDA COUNTY COMBINATION FLOW AND VOLUME SIZING METHOD WORKSHEET ON SHEET C8.



**PRE-FAB PLANTER DETAIL**  
 SCALE: 1"=5'

**STERLING CONSULTANTS**  
 4550 FREIGHT BLVD, SUITE NO. 205  
 FREEMONT, CA 94608  
 ENGINEER BY STERLING CONSULTANTS, INC.  
 PHONE: (510) 344-8955

PROJECT NO: HE01 | SC: 2023-23  
 ISSUE DATE: 06/04/2025

2442 HASTE ST.

2442 STREET,  
 BERKELEY, CA 94704



**DESIGN DEVELOPMENT 100%**

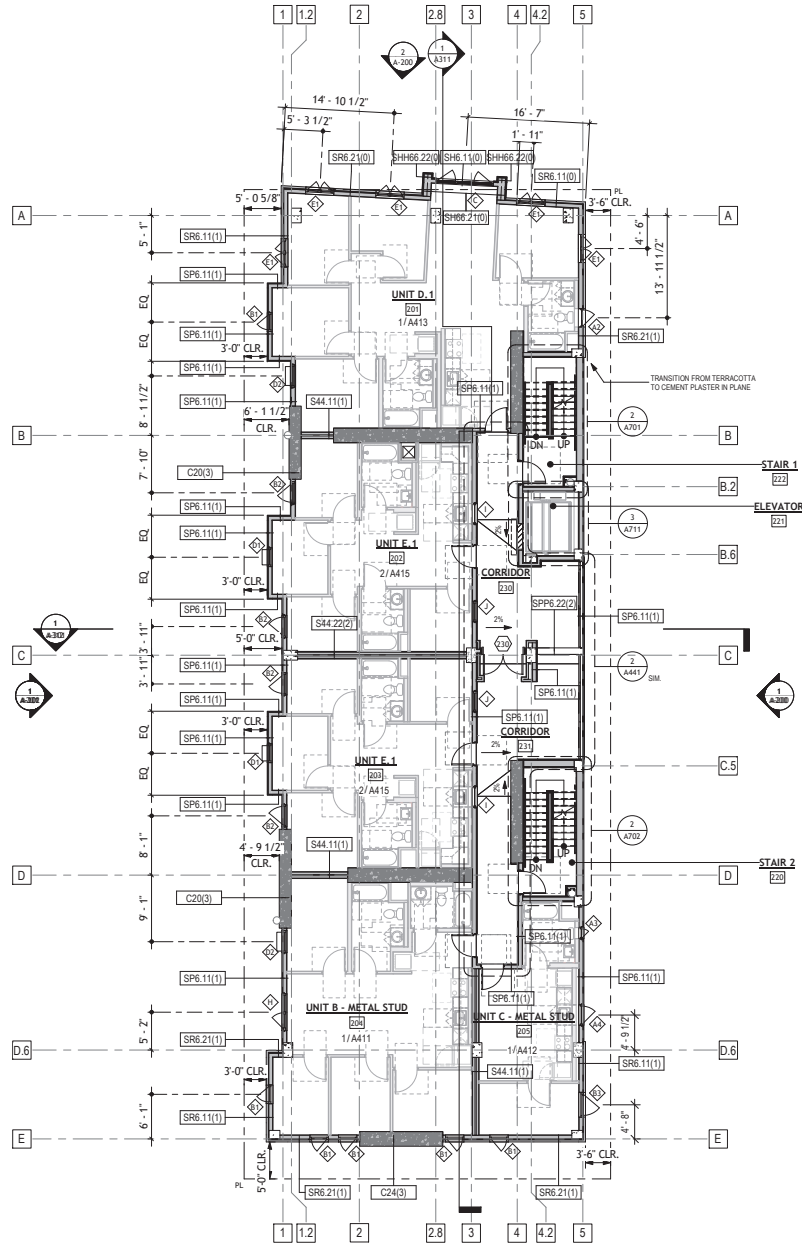
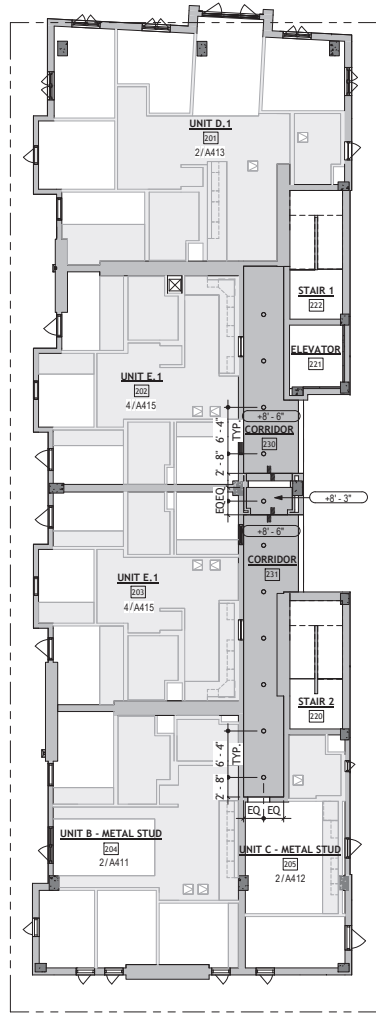
DATE	ISSUE RECORD
1/15/26	FINAL DRC

PROJECT NO: HE01 | SC: 2023-23  
 ISSUE DATE: 06/04/2025

**STORMWATER CONTROL PLAN**







**FLOOR PLAN NOTES:**

1. REFER TO GENERAL NOTE SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
2. DIFFERING PARTITION TYPES ARE TO BE ALIGNED SO THAT THE FINISH SURFACES ARE FLUSH AND CONTINUE UNBROKEN. CONDITION APPLIES ON BOTH EXTERIOR & INTERIOR, U.N.O.
3. REFER TO 114010 FOR GRIDLINE DIMENSIONS.
4. REFER TO SHEETS 0202-0203 FOR FIRE RATING ASSEMBLIES AND TO SEE WHERE WALL TYPES CHANGE.
5. REFER TO SHEETS 0202-0203 FOR EMERGENCY SIGNAGE, AND FIRE EXTINGUISHER LOCATIONS.
6. REFER TO SHEETS 0202-0202 FOR TACTILE, AND IDENTIFICATION SIGNAGE DETAILS.
7. REFER TO SHEETS A500-A502 FOR WALL, FLOOR AND ROOF/CEILING ASSEMBLIES.
8. REFER TO SHEETS 0202-0202 FOR ACCESSIBILITY INFORMATION.
9. REFER TO ENLARGED PLANS FOR ADDITIONAL WALL TAGS AND DIMENSIONS.

**FLOOR PLAN LEGEND:**

	WALL TAG; REFER TO A500-A505		ALIGN FACE OF FINISH
<b>Name</b>	ROOM TAG		DIMENSION - FACE OF STUD
	DOOR TAG; REFER TO A600		DIMENSION - CENTERLINE
	WINDOW TAG; REFER TO A610		DIMENSION - FACE OF FINISH

**WALL TAG LEGEND:**

<b>FRAMING MATERIAL</b>	
C	CONCRETE
M	CMU
S	METAL STUD
W	WOOD STUD
<b>NOMINAL STUD DEPTH</b>	
X	SINGLE STUD
XX	DOUBLE STUD
X*	STAGGERED STUD
<b>FIRE RATING (HR)</b>	
<b>LAYERS OF GYP. BOARD</b>	
1 <sup>st</sup>	SIDE A
2 <sup>nd</sup>	SIDE B
<b>EXTERIOR FINISH (IF APPLICABLE)</b>	
P	CEMENT PLASTER
H	HIGH PRESSURE LAMINATE
T	TILE
R	RAINSCREEN

**SHEET NOTES**

1. SEE FASTENER TABLE ON SHEET A502 FOR FASTENER REQUIREMENTS
2. SEE SHEETS A500 - A505 FOR WALL ASSEMBLY INFORMATION

**REFLECTED CEILING PLAN NOTES:**

1. SEE ELECTRICAL DRAWINGS FOR FIXTURE TYPE INFORMATION AND ENERGY CALCULATIONS.
2. WHERE FIXTURE IS NOT CENTERED ON STRUCTURE, PROVIDE BLOCKING AS REQD.
3. ALL EXPOSED CONDUIT AND RIGIDES SHALL BE RUN TIGHT TO ONE SET OF STRUCTURAL MEMBERS AND GROUPED WHERE RUNNING TOGETHER.
4. VERIFY LOCATIONS OF ALL LIGHT FIXTURES IN FIELD WITH DESIGNER PRIOR TO ROUGH-IN.
5. NO FUTURE SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR APPROVAL BY ARCHITECT AND OWNER. UNAUTHORIZED SUBSTITUTIONS WILL BE REPLACED BY CONTRACTOR AT NO EXPENSE TO OWNER.
6. SEE MECHANICAL PLANS FOR EXHAUST, DUCTING, AND OTHER MECHANICAL INFORMATION.
7. ALL LIGHT FIXTURES TO BE CENTERED IN ROOM, U.N.O.
8. CENTER ALL VANITY SCONES OVER THE SINKS, U.N.O. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.

- EMERGENCY LIGHTING NOTES:**
1. EMERGENCY LIGHTING TO MAINTAIN 0.5 FC IN ALL REQD MEANS OF EGRESS.

**REFLECTED CEILING PLAN LEGEND:**

	FINISH TAG; REFER TO		CEILING HEIGHT TAG
	CEILING HEIGHT CHANGE		DROPPED CEILING
			PAINTED STRUCTURE ABOVE



2442 HASTE ST.  
 2442 HASTE STREET,  
 BERKELEY, CA 94704  
 APN 55-1881-18



FINAL DESIGN  
 REVIEW

DATE	ISSUE RECORD
11/15/26	FINAL DRC
11/06/25	PCF RESPONSE
11/25/25	PRICING SET

PROJECT NO: HED01  
 ISSUE DATE: 08/18/2025

SECOND FLOOR PLAN &  
 RCP

A-112





2442 HASTE ST.

2442 HASTE STREET,  
 BERKELEY, CA 94704  
 APN 55-1881-18



FINAL DESIGN  
 REVIEW

**FLOOR PLAN NOTES:**

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3. REFER TO A500 FOR GRIDLINE DIMENSIONS.
4. REFER TO SHEETS S205-S233 FOR FIRE RATING ASSEMBLIES AND TO SEE WHERE WALL TYPES CHANGE.
5. REFER TO SHEETS G202-G207 FOR EMERGENCY SIGNAGE, AND FIRE EXTINGUISHER LOCATIONS.
6. REFER TO SHEETS G222-G223 FOR TACTILE, AND IDENTIFICATION SIGNAGE DETAILS.
7. REFER TO SHEETS A500-A505 FOR WALL, FLOOR AND ROOF/CEILING ASSEMBLIES.
8. REFER TO SHEETS G205-G206 FOR ACCESSIBILITY INFORMATION.
9. REFER TO ENLARGED PLANS FOR ADDITIONAL WALL TAGS AND DIMENSIONS.

**FLOOR PLAN LEGEND:**

11	WALL TAG; REFER TO <u>A500-A505</u>	ALIGN	ALIGN FACE OF FINISH
Name	ROOM TAG	X' - X'	DIMENSION - FACE OF STUD
(00)	DOOR TAG; REFER TO <u>A600</u>	X' - X'	DIMENSION - CENTERLINE
◇	WINDOW TAG; REFER TO <u>A610</u>	X' - X'	DIMENSION - FACE OF FINISH

**WALL TAG LEGEND:**

<b>FRAMING MATERIAL</b>	
C	CONCRETE
M	CMU
S	METAL STUD
W	WOOD STUD
<b>NOMINAL STUD DEPTH</b>	
X	SINGLE STUD
XX	DOUBLE STUD
X*	STAGGERED STUD
<b>FIRE RATING (HR)</b>	
1 1/2"	SIDE A
2"	SIDE B
<b>EXTERIOR FINISH (IF APPLICABLE)</b>	
P	CEMENT PLASTER
H	HIGH PRESSURE LAMINATE
T	TILE
R	RAINSCREEN

**SHEET NOTES**

1. SEE FASTENER TABLE ON SHEET A502 FOR FASTENER REQUIREMENTS
2. SEE SHEETS A500 - A505 FOR WALL ASSEMBLY INFORMATION

**REFLECTED CEILING PLAN NOTES:**

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4. VERIFY LOCATIONS OF ALL LIGHT FIXTURES IN FIELD WITH DESIGNER PRIOR TO POUR-IN.
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**EMERGENCY LIGHTING NOTES:**

1. EMERGENCY LIGHTING TO MAINTAIN 0.5 FC IN ALL REQD MEANS OF EGRESS.

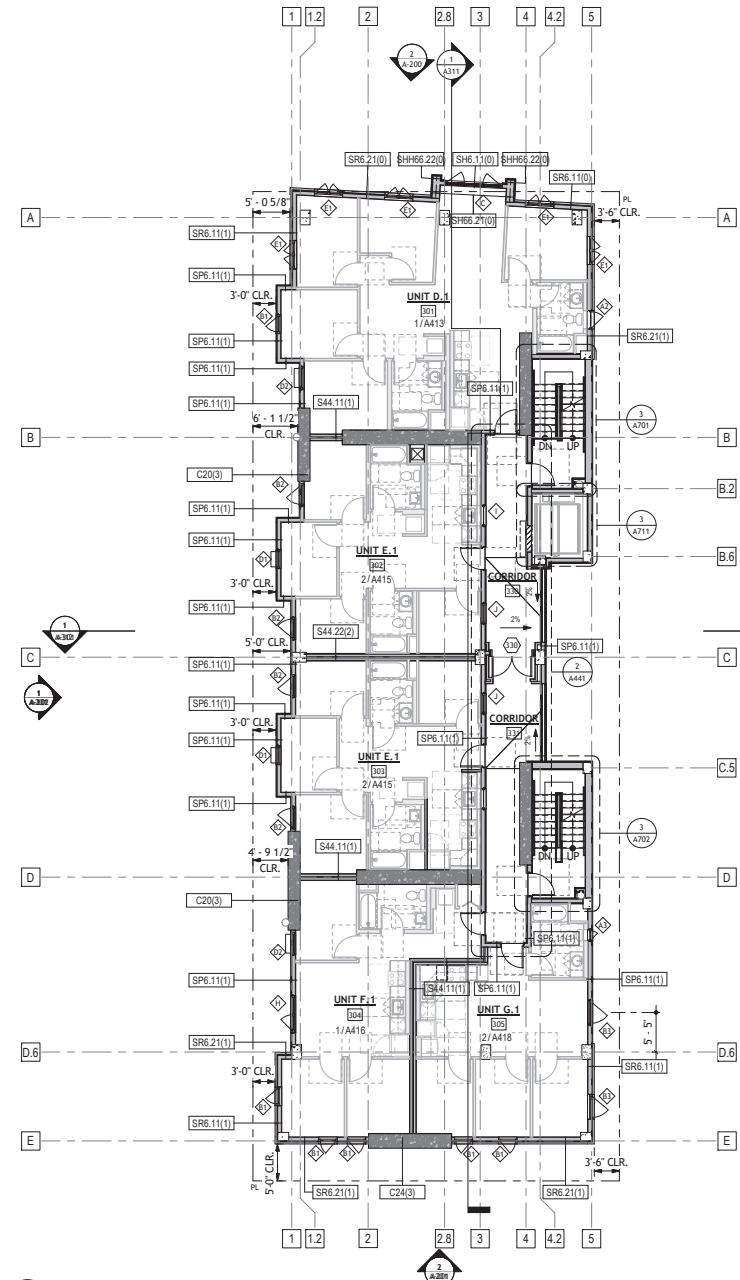
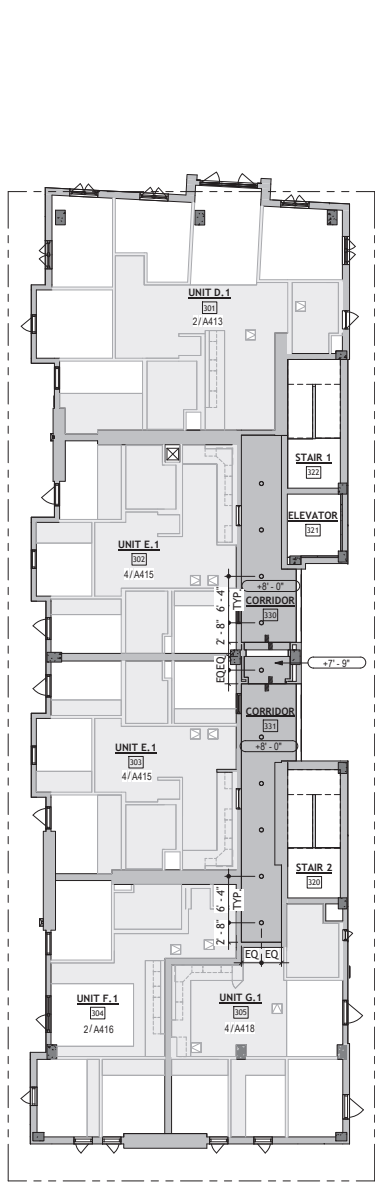
**REFLECTED CEILING PLAN LEGEND:**

?	FINISH TAG; REFER TO	<1'-0"	CEILING HEIGHT TAG
XXX	CEILING HEIGHT CHANGE	■	DROPPED CEILING
		□	PAINTED STRUCTURE ABOVE

Δ	DATE	ISSUE RECORD
	1/15/25	FINAL DRC
	11/26/25	PCF RESPONSE
	11/25/25	PRICING SET

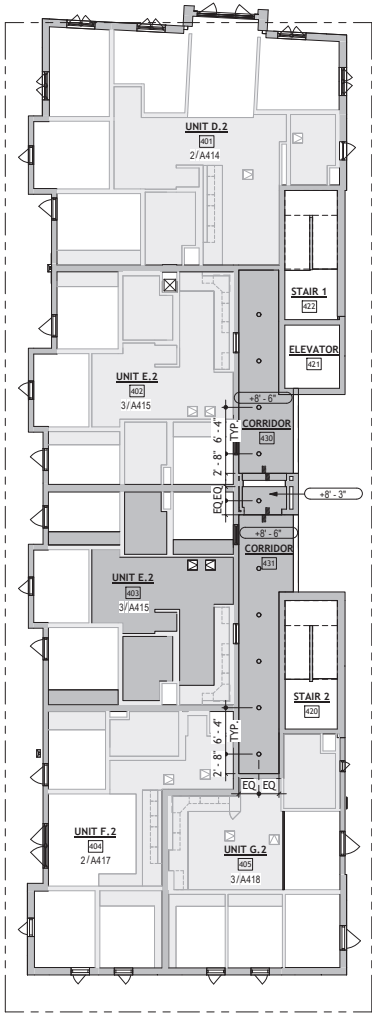
PROJECT NO: HEE01  
 ISSUE DATE: 08/18/2025  
 THIRD FLOOR PLAN & RCP

A-113

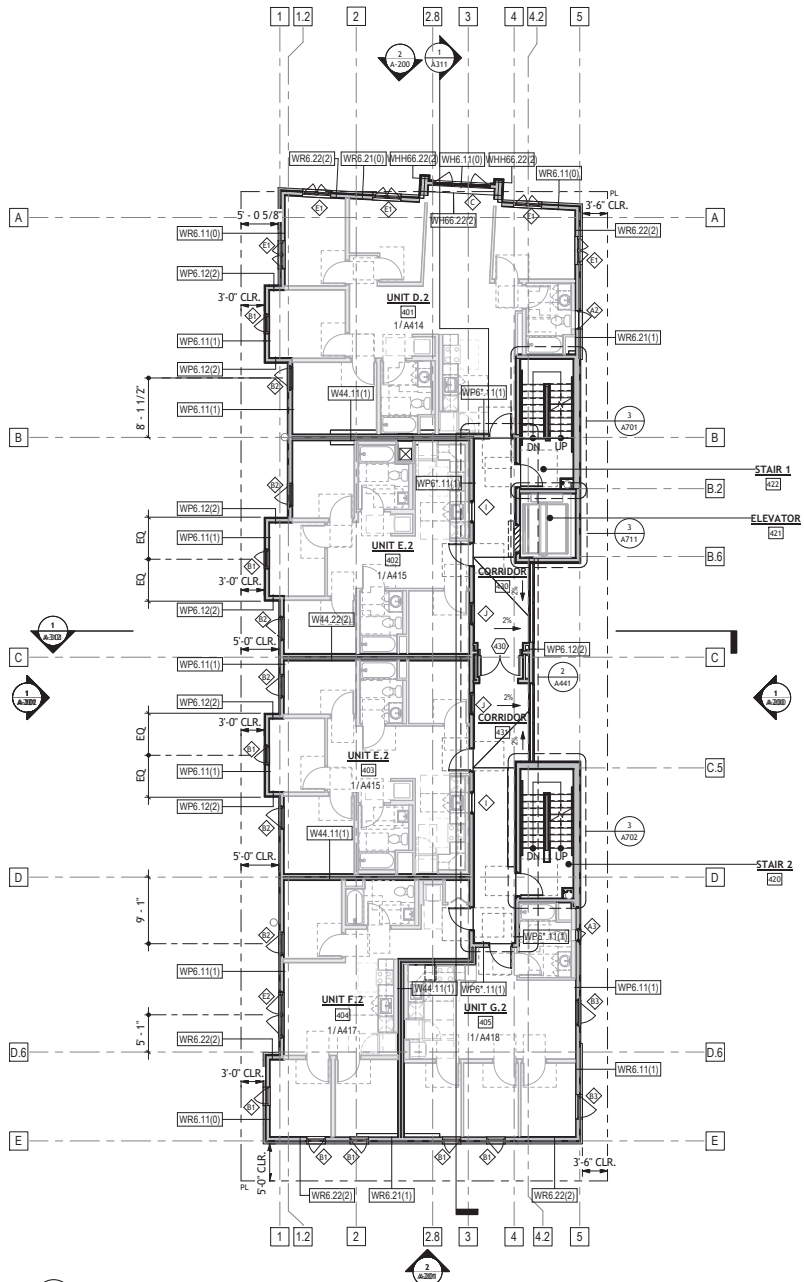


2 3RD FLOOR - RCP Copy 1  
 1/8" = 1'-0"

1 3RD FLOOR PLAN Copy 1  
 1/8" = 1'-0"



2 4TH FLOOR - RCP Copy 1  
 A-114 1/8" = 1'-0"



1 4TH FLOOR PLAN Copy 1  
 A-114 1/8" = 1'-0"

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- REFER TO 1.000 FOR GRIDLINE DIMENSIONS.
- REFER TO SHEETS 5035-5037 FOR FIRE RATING ASSEMBLIES AND TO SEE WHERE WALL TYPES CHANGE.
- REFER TO SHEETS 6027-6028 FOR EMERGENCY SIGNAGE, AND FIRE EXTINGUISHER LOCATIONS.
- REFER TO SHEETS 6027-6028 FOR TACTILE, AND IDENTIFICATION SIGNAGE DETAILS.
- REFER TO SHEETS 2500-2502 FOR WALL, FLOOR AND ROOF/CEILING ASSEMBLIES.
- REFER TO SHEETS 5020-5022 FOR ACCESSIBILITY INFORMATION.
- REFER TO ENLARGED PLANS FOR ADDITIONAL WALL TAGS AND DIMENSIONS.

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11	WALL TAG; REFER TO A500-A505	ALIGN	ALIGN FACE OF FINISH
Name	ROOM TAG	X' - X'	DIMENSION - FACE OF STUD
101	DOOR TAG; REFER TO A600	X' - X'	DIMENSION - CENTERLINE
102	WINDOW TAG; REFER TO A610	X' - X'	DIMENSION - FACE OF FINISH

**WALL TAG LEGEND:**

<b>FRAMING MATERIAL</b>	
C	CONCRETE
M	CHU
S	METAL STUD
W	WOOD STUD
<b>NOMINAL STUD DEPTH</b>	
X	SINGLE STUD
XX	DOUBLE STUD
X*	STAGGERED STUD
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1 <sup>ST</sup>	SIDE A
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- VERIFY LOCATIONS OF ALL LIGHT FIXTURES IN FIELD WITH DESIGNER PRIOR TO ROUGH-IN.
- NO FIXTURE SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR APPROVAL BY ARCHITECT AND OWNER. UNAUTHORIZED SUBSTITUTIONS WILL BE REPLACED BY CONTRACTOR AT NO EXPENSE TO OWNER.
- SEE MECHANICAL PLANS FOR EXHAUST, DUCTING, AND OTHER MECHANICAL INFORMATION.
- ALL LIGHT FIXTURES TO BE CENTERED IN ROOM, U.N.O.
- CENTER ALL VANITY SCONCES OVER THE SINKS, U.N.O. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.

**EMERGENCY LIGHTING NOTES:**

- EMERGENCY LIGHTING TO MAINTAIN 0.5 FC IN ALL REQD MEANS OF EGRESS.

**REFLECTED CEILING PLAN LEGEND:**

1	FINISH TAG; REFER TO	C'-D'	CEILING HEIGHT TAG
X	CEILING HEIGHT CHANGE	■	DROPPED CEILING
		□	PAINTED STRUCTURE ABOVE



2442 HASTE ST.

2442 HASTE STREET,  
 BERKELEY, CA 94704  
 APN 55-1881-18



**FINAL DESIGN  
 REVIEW**

Δ	DATE	ISSUE RECORD
	11/15/25	FINAL DRC
	11/19/25	SPEC RESPONSE
	11/25/25	PRICING SET

PROJECT NO: HEE01  
 ISSUE DATE: 08/18/2025  
**FOURTH FLOOR PLAN &  
 RCP**

**A-114**

**FLOOR PLAN NOTES:**

1. REFER TO GENERAL NOTE SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
2. DIFFERING PARTITION TYPES ARE TO BE ALIGNED SO THAT THE FINISH SURFACES ARE FLUSH AND CONTINUE UNBROKEN. CONDITION APPLIES ON BOTH EXTERIOR & INTERIOR, U.N.O.
3. REFER TO 110010 FOR GRIDLINE DIMENSIONS.
4. REFER TO SHEETS 6020-6023 FOR FIRE RATING ASSEMBLIES AND TO SEE WHERE WALL TYPES CHANGE.
5. REFER TO SHEETS 6020-6021 FOR EMERGENCY SIGNAGE, AND FIRE EXTINGUISHER LOCATIONS.
6. REFER TO SHEETS 6020-6022 FOR TACTILE AND IDENTIFICATION SIGNAGE DETAILS.
7. REFER TO SHEETS 6000-6002 FOR WALL, FLOOR AND ROOF/CEILING ASSEMBLIES.
8. REFER TO SHEETS 6020-6023 FOR ACCESSIBILITY INFORMATION.
9. REFER TO ENLARGED PLANS FOR ADDITIONAL WALL TAGS AND DIMENSIONS.

**FLOOR PLAN LEGEND:**

<b>11</b>	WALL TAG; REFER TO A500-A505	<b>ALIGN</b>	ALIGN FACE OF FINISH
<b>Name</b>	ROOM TAG	<b>X' - X'</b>	DIMENSION - FACE OF STUD
<b>101</b>	DOOR TAG; REFER TO A600	<b>X' - X'</b>	DIMENSION - CENTERLINE
<b>10</b>	WINDOW TAG; REFER TO A610	<b>X' - X'</b>	DIMENSION - FACE OF FINISH

**WALL TAG LEGEND:**

<b>FRAMING MATERIAL</b>	C = CONCRETE
	M = CHU
	S = METAL STUD
	W = WOOD STUD
<b>NOMINAL STUD DEPTH</b>	X = SINGLE STUD
	XX = DOUBLE STUD
	X* = STAGGERED STUD
<b>FIRE RATING (H/R)</b>	
<b>LAYERS OF GYP. BOARD</b>	1 <sup>st</sup> = SIDE A
	2 <sup>nd</sup> = SIDE B
<b>EXTERIOR FINISH (IF APPLICABLE)</b>	P = CEMENT PLASTER
	H = HIGH PRESSURE LAMINATE
	T = TILE
	R = RAINSCREEN

**SHEET NOTES**

1. SEE FASTENER TABLE ON SHEET A502 FOR FASTENER REQUIREMENTS.
2. SEE SHEETS A500 - A505 FOR WALL ASSEMBLY INFORMATION.

**REFLECTED CEILING PLAN NOTES:**

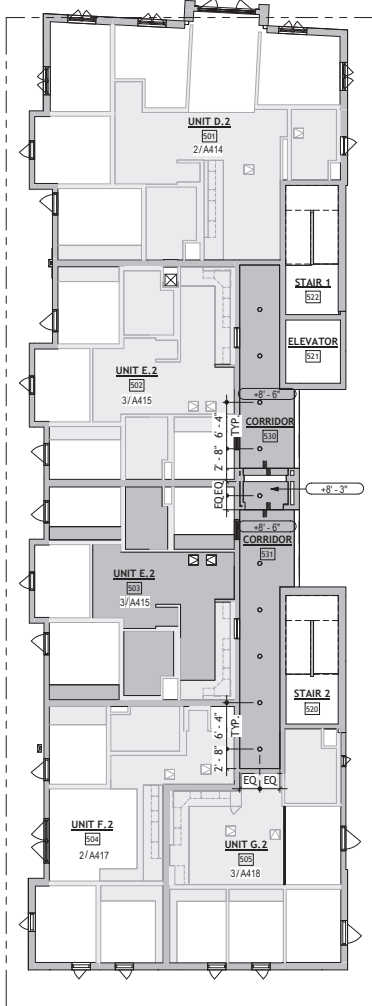
1. SEE ELECTRICAL DRAWINGS FOR FIXTURE TYPE INFORMATION AND ENERGY CALCULATIONS.
2. WHERE FIXTURE IS NOT CENTERED ON STRUCTURE, PROVIDE BLOCKING AS REQ'D.
3. ALL EXPOSED CONDUIT AND J-BOXES SHALL BE RUN TIGHT TO ONE SITE OF STRUCTURAL MEMBERS AND GROUPED WHERE RUNNING TOGETHER.
4. VERIFY LOCATIONS OF ALL LIGHT FIXTURES IN FIELD WITH DESIGNER PRIOR TO ROUGH-IN.
5. NO FIXTURE SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR APPROVAL BY ARCHITECT AND OWNER. UNAUTHORIZED SUBSTITUTIONS WILL BE REPLACED BY CONTRACTOR AT NO EXPENSE TO OWNER.
6. SEE MECHANICAL PLANS FOR EXHAUST, DUCTING, AND OTHER MECHANICAL INFORMATION.
7. ALL LIGHT FIXTURES TO BE CENTERED IN ROOM, U.N.O.
8. CENTER ALL VANITY SCONCES OVER THE SINKS, U.N.O. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.

**EMERGENCY LIGHTING NOTES:**

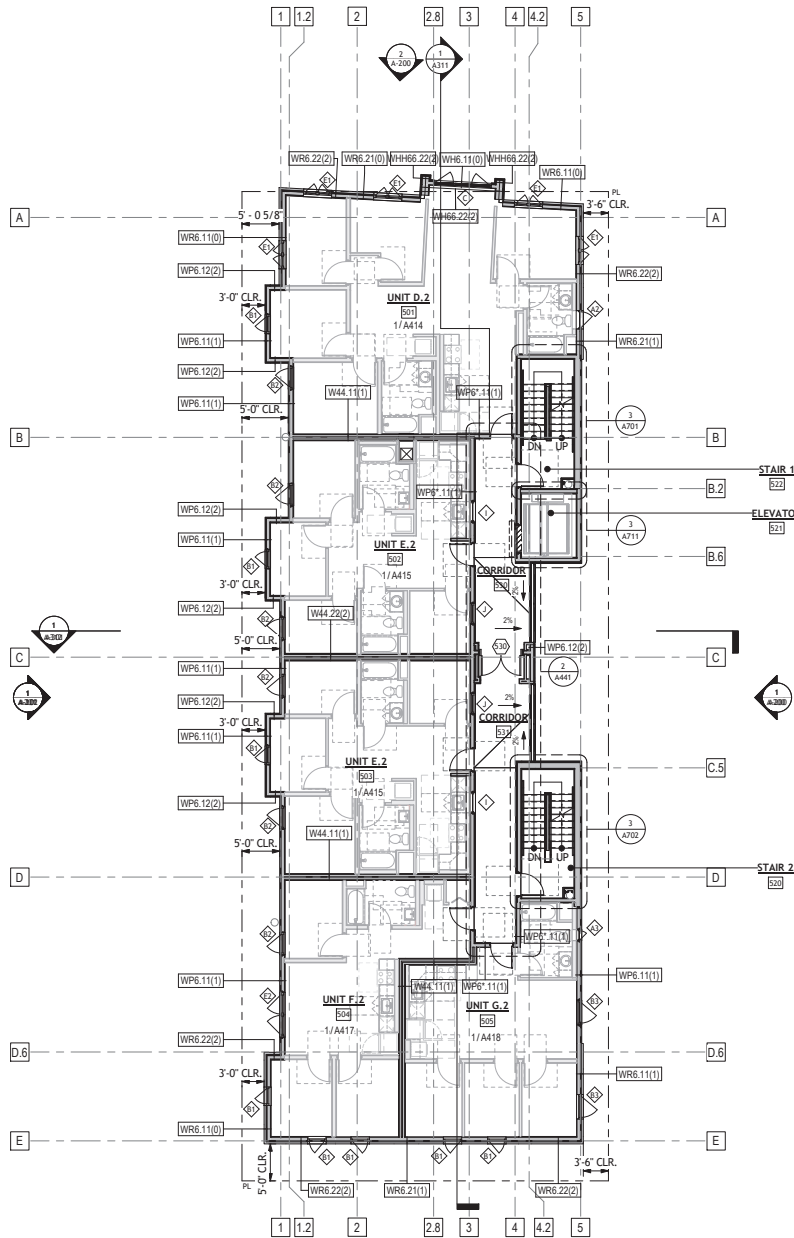
1. EMERGENCY LIGHTING TO MAINTAIN 0.5 FC IN ALL REQ'D MEANS OF EGRESS.

**REFLECTED CEILING PLAN LEGEND:**

<b>7</b>	FINISH TAG; REFER TO	<b>C'-D'</b>	CEILING HEIGHT TAG
<b>3x3</b>	CEILING HEIGHT CHANGE	<b>■</b>	DROPPED CEILING
<b>□</b>		<b>□</b>	PAINTED STRUCTURE ABOVE



2 5TH FLOOR - RCP Copy 1  
 A-115 1/8" = 1'-0"



1 5TH FLOOR PLAN Copy 1  
 A-115 1/8" = 1'-0"



2442 HASTE STREET,  
 BERKELEY, CA 94704  
 APN 55-1881-18



FINAL DESIGN  
 REVIEW

DATE	ISSUE RECORD
1/15/26	FINAL DRC
11/06/25	SCPT RESPONSE
11/25/25	PRICING SET

PROJECT NO: HEE01

ISSUE DATE: 08/18/2025

FIFTH FLOOR PLAN & RCP

A-115



**FLOOR PLAN NOTES:**

1. REFER TO GENERAL NOTE SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
2. DIFFERING PARTITION TYPES ARE TO BE ALIGNED SO THAT THE FINISH SURFACES ARE FLUSH AND CONTINUE UNBROKEN. CONDITION APPLIES ON BOTH EXTERIOR & INTERIOR, U.N.D.O.
3. REFER TO 1.1.1.1.1 FOR GRIDLINE DIMENSIONS.
4. REFER TO SHEETS 6000-6003 FOR FIRE RATING ASSEMBLIES AND TO SEE WHERE WALL TYPES CHANGE.
5. REFER TO SHEETS 6007-6071 FOR EMERGENCY SIGNAGE, AND FIRE EXTINGUISHER LOCATIONS.
6. REFER TO SHEETS 6007-6071 FOR TACTILE, AND IDENTIFICATION SIGNAGE DETAILS.
7. REFER TO SHEETS 6500-6502 FOR WALL, FLOOR AND ROOF/CEILING ASSEMBLIES.
8. REFER TO SHEETS 6500-6504 FOR ACCESSIBILITY INFORMATION.
9. REFER TO ENLARGED PLANS FOR ADDITIONAL WALL TAGS AND DIMENSIONS.

**FLOOR PLAN LEGEND:**

11	WALL TAG; REFER TO A500-A505	ALIGN	ALIGN FACE OF FINISH
Name	ROOM TAG	X' - X"	DIMENSION - FACE OF STUD
101	DOOR TAG; REFER TO A600	X' - X"	DIMENSION - CENTERLINE
101	WINDOW TAG; REFER TO A610	X' - X"	DIMENSION - FACE OF FINISH

**WALL TAG LEGEND:**

<b>FRAMING MATERIAL</b>	
C	CONCRETE
M	CMU
S	METAL STUD
W	WOOD STUD
<b>NOMINAL STUD DEPTH</b>	
X	SINGLE STUD
XX	DOUBLE STUD
X*	STAGGERED STUD
<b>FIRE RATING (HR)</b>	
1 1/2"	SIDE A
2"	SIDE B
<b>LAYERS OF GYP. BOARD</b>	
P	CEMENT PLASTER
H	HIGH PRESSURE LAMINATE
T	TILE
R	RAINSCREEN

**SHEET NOTES**

1. SEE FASTENER TABLE ON SHEET A502 FOR FASTENER REQUIREMENTS
2. SEE SHEETS A500 - A505 FOR WALL ASSEMBLY INFORMATION

**REFLECTED CEILING PLAN NOTES:**

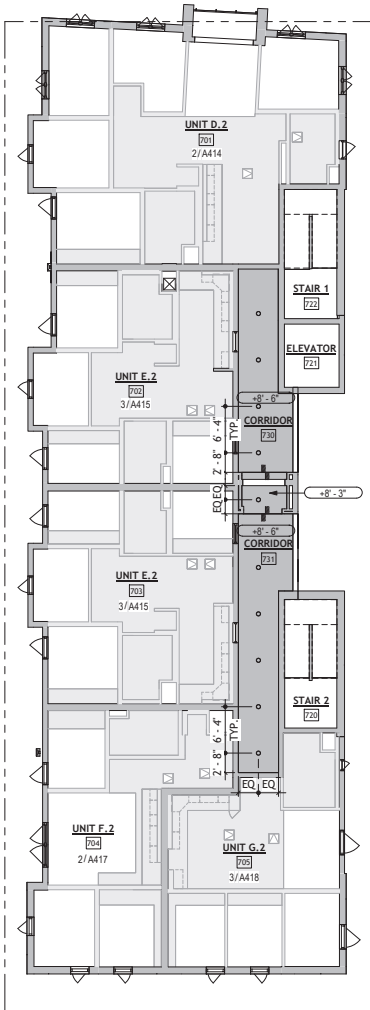
1. SEE ELECTRICAL DRAWINGS FOR FIXTURE TYPE INFORMATION AND ENERGY CALCULATIONS.
2. WHERE FIXTURE IS NOT CENTERED ON STRUCTURE, PROVIDE BLOCKING AS REQ'D.
3. ALL EXPOSED CONDUIT AND J-BOXES SHALL BE RUN TIGHT TO ONE SITE OF STRUCTURAL MEMBERS AND GROUPED WHERE RUNNING TOGETHER.
4. VERIFY LOCATIONS OF ALL LIGHT FIXTURES IN FIELD WITH DESIGNER PRIOR TO ROUGH-IN.
5. NO FIXTURE SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR APPROVAL BY ARCHITECT AND OWNER. UNAUTHORIZED SUBSTITUTIONS WILL BE REPLACED BY CONTRACTOR AT NO EXPENSE TO OWNER.
6. SEE MECHANICAL PLANS FOR EXHAUST, DUCTING, AND OTHER MECHANICAL INFORMATION.
7. ALL LIGHT FIXTURES TO BE CENTERED IN ROOM, U.N.D.O.
8. CENTER ALL VANITY SINKS OVER THE SINKS, U.N.D.O. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.

**EMERGENCY LIGHTING NOTES:**

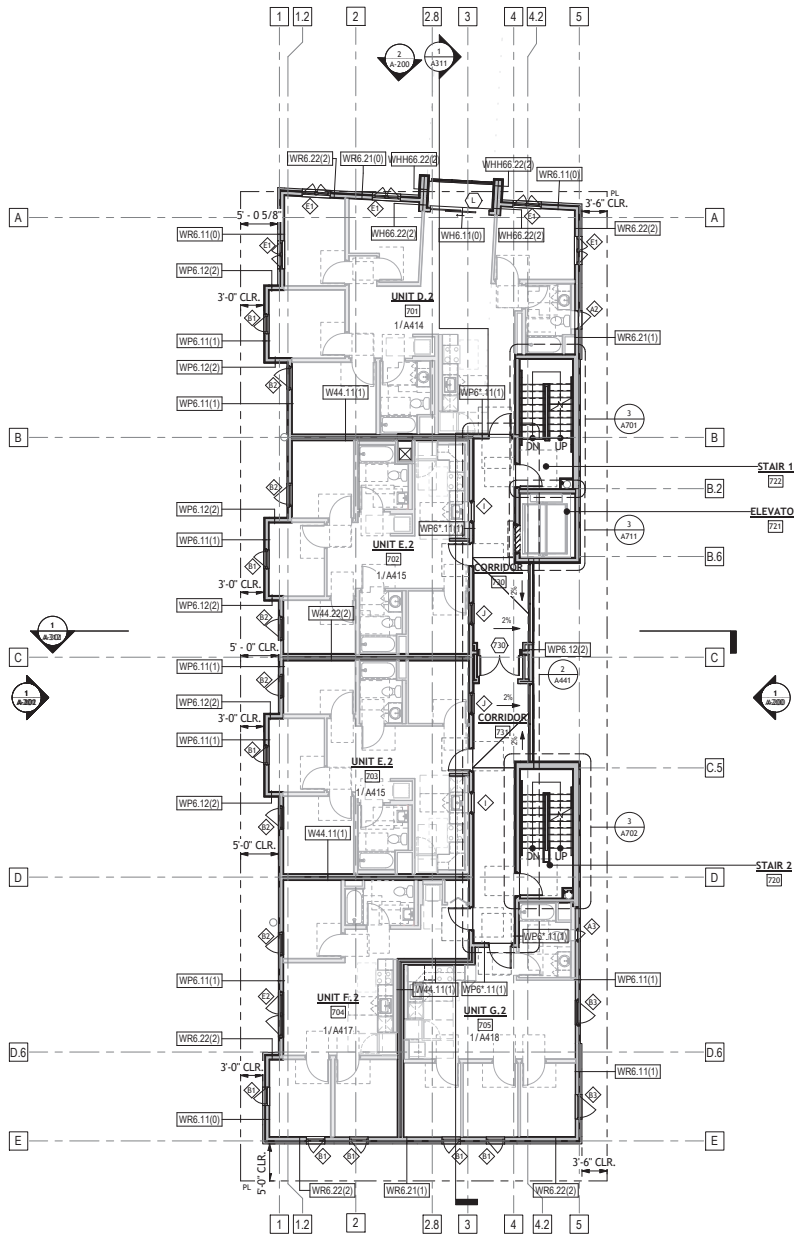
1. EMERGENCY LIGHTING TO MAINTAIN 0.5 FC IN ALL REQ'D MEANS OF EGRESS.

**REFLECTED CEILING PLAN LEGEND:**

?	FINISH TAG; REFER TO	1'-0"	CEILING HEIGHT TAG
~X	CEILING HEIGHT CHANGE	■	DROPPED CEILING
		□	PAINTED STRUCTURE ABOVE



2 7TH FLOOR - RCP Copy 1  
 A-117 1/8" = 1'-0"



1 7TH FLOOR PLAN Copy 1  
 A-117 1/8" = 1'-0"



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 2442 HASTE ST.

2442 HASTE STREET,  
 BERKELEY, CA 94704  
 APN 55-1881-18



FINAL DESIGN  
 REVIEW

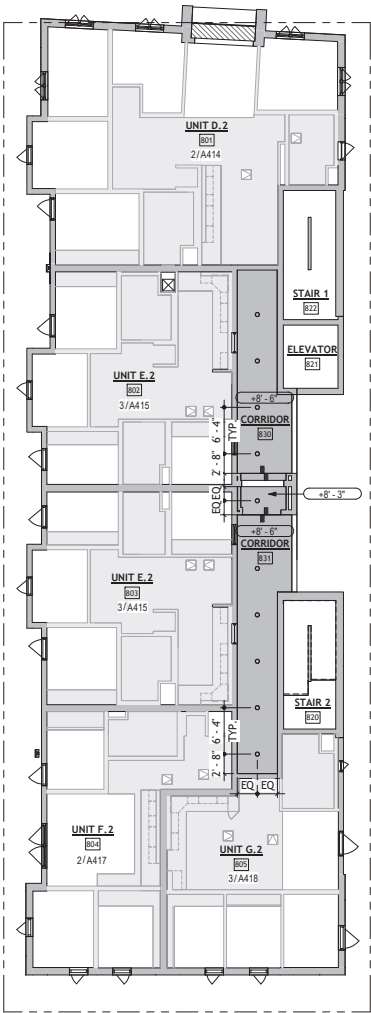
Δ	DATE	ISSUE RECORD
	7/15/25	FINAL DRC
	11/06/25	PERM RESPONSE
	11/25/25	PRICING SET

PROJECT NO: HEE01

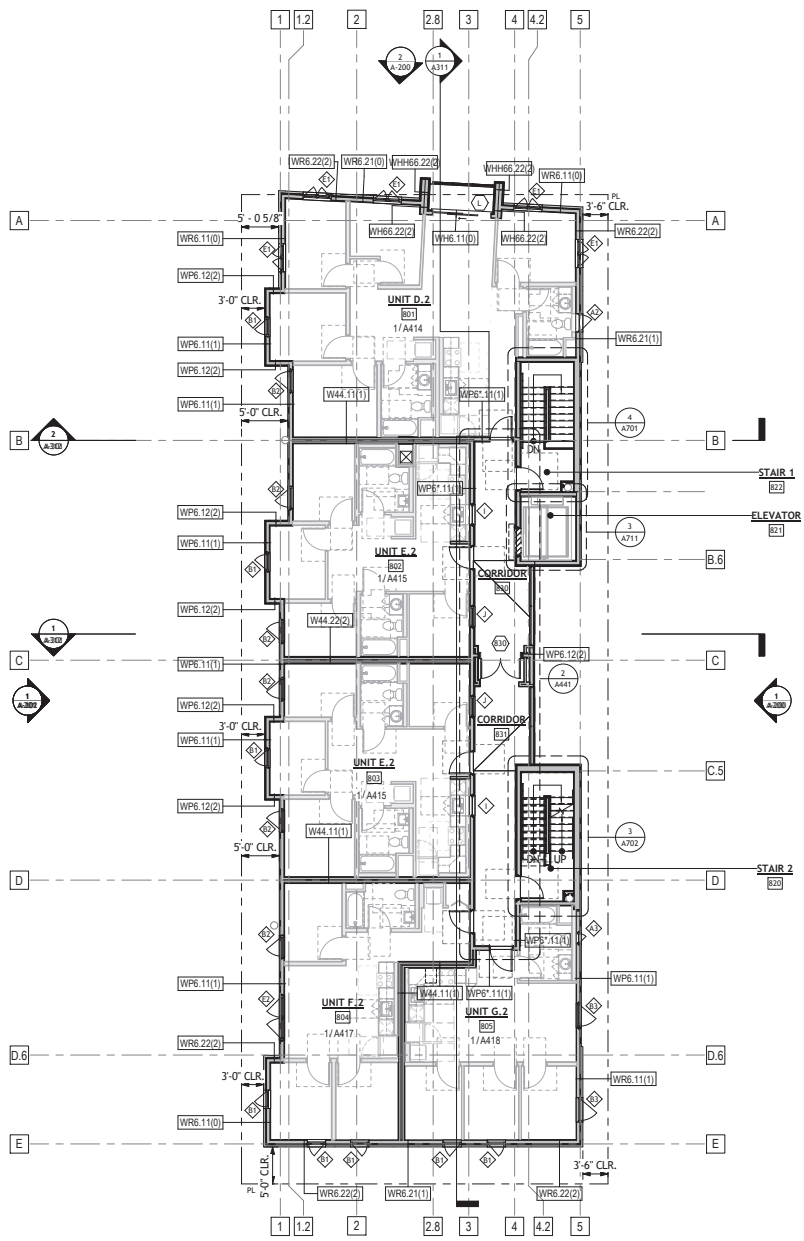
ISSUE DATE: 08/18/2025

SEVENTH FLOOR PLAN  
 RCP

A-117



2 8TH FLOOR - RCP Copy 1  
 A-118 1/8" = 1'-0"



1 8TH FLOOR PLAN Copy 1  
 A-118 1/8" = 1'-0"

**FLOOR PLAN NOTES:**

1. REFER TO GENERAL NOTE SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
2. DIFFERING PARTITION TYPES ARE TO BE ALIGNED SO THAT THE FINISH SURFACES ARE FLUSH AND CONTINUE UNBROKEN. CONDITION APPLIES ON BOTH EXTERIOR & INTERIOR, U.N.O.
3. REFER TO L.A.102 FOR GRIDLINE DIMENSIONS.
4. REFER TO SHEETS S200-S233 FOR FIRE RATING ASSEMBLIES AND TO SEE WHERE WALL TYPES CHANGE.
5. REFER TO SHEETS G001-G007 FOR EMERGENCY SIGNAGE, AND FIRE EXTINGUISHER LOCATIONS.
6. REFER TO SHEETS G022-G023 FOR TACTILE AND IDENTIFICATION SIGNAGE DETAILS.
7. REFER TO SHEETS A500-A505 FOR WALL, FLOOR AND ROOF/CEILING ASSEMBLIES.
8. REFER TO SHEETS S200-S202 FOR ACCESSIBILITY INFORMATION.
9. REFER TO ENLARGED PLANS FOR ADDITIONAL WALL TAGS AND DIMENSIONS.

**FLOOR PLAN LEGEND:**

11	WALL TAG; REFER TO <u>A500-A505</u>	ALIGN	ALIGN FACE OF FINISH
Name	ROOM TAG	X' - X'	DIMENSION - FACE OF STUD
(01)	DOOR TAG; REFER TO <u>A600</u>	X' - X'	DIMENSION - CENTERLINE
◇	WINDOW TAG; REFER TO <u>A610</u>	X' - X'	DIMENSION - FACE OF FINISH

**WALL TAG LEGEND:**

<b>FRAMING MATERIAL</b>	
C	CONCRETE
M	CMU
S	METAL STUD
W	WOOD STUD
<b>NOMINAL STUD DEPTH</b>	
X	SINGLE STUD
XX	DOUBLE STUD
X*	STAGGERED STUD
<b>FIRE RATING (HR)</b>	
1 1/2"	SIDE A
2"	SIDE B
<b>EXTERIOR FINISH (IF APPLICABLE)</b>	
P	CEMENT PLASTER
H	HIGH PRESSURE LAMINATE
T	TILE
R	RAINSCREEN

**SHEET NOTES**

1. SEE FASTENER TABLE ON SHEET A502 FOR FASTENER REQUIREMENTS
2. SEE SHEETS A500 - A505 FOR WALL ASSEMBLY INFORMATION

**REFLECTED CEILING PLAN NOTES:**

1. SEE ELECTRICAL DRAWINGS FOR FIXTURE TYPE INFORMATION AND ENERGY CALCULATIONS.
2. WHERE FIXTURE IS NOT CENTERED ON STRUCTURE, PROVIDE BLOCKING AS REQD.
3. ALL EXPOSED CONDUIT AND J-BOXES SHALL BE RUN TIGHT TO ONE SIDE OF STRUCTURAL MEMBERS AND GROUPED WHERE RUNNING TOGETHER.
4. VERIFY LOCATIONS OF ALL LIGHT FIXTURES IN FIELD WITH DESIGNER PRIOR TO ROUGH-IN.
5. NO FIXTURE SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR APPROVAL BY ARCHITECT AND OWNER. UNAUTHORIZED SUBSTITUTIONS WILL BE REPLACED BY CONTRACTOR AT NO EXPENSE TO OWNER.
6. SEE MECHANICAL PLANS FOR EXHAUST, DUCTING, AND OTHER MECHANICAL INFORMATION.
7. ALL LIGHT FIXTURES TO BE CENTERED IN ROOM, U.N.O.
8. CENTER ALL VANITY SCENES OVER THE SINKS, U.N.O. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.

**EMERGENCY LIGHTING NOTES:**

1. EMERGENCY LIGHTING TO MAINTAIN 0.5 FC IN ALL REQD HEADS OF EGRESS.

**REFLECTED CEILING PLAN LEGEND:**

?	FINISH TAG; REFER TO	<1'-0"	CEILING HEIGHT TAG
XX	CEILING HEIGHT CHANGE	■	DROPPED CEILING
		□	PAINTED STRUCTURE ABOVE



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2442 HASTE ST.

2442 HASTE STREET,  
 BERKELEY, CA 94704  
 APN 55-1881-18



**FINAL DESIGN  
 REVIEW**

DATE	ISSUE RECORD
1/15/26	FINAL DRC
11/26/25	PCF RESPONSE
11/25/25	PRICING SET

PROJECT NO: HED01

ISSUE DATE: 08/18/2025

**EIGHTH FLOOR PLAN AND RCP**

**A-118**



2442 HASTE ST.  
 BERKELEY, CA 94704  
 APN 55-1881-18



FINAL DESIGN  
 REVIEW

Δ	DATE	ISSUE RECORD
	1/15/26	FINAL DRC
	11/06/25	PERM RESPONSE
	11/25/25	PRICING SET

PROJECT NO: HED01  
 ISSUE DATE: 08/18/2025

ROOF PLAN

A-119

**FLOOR PLAN NOTES:**

- REFER TO GENERAL NOTE SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
- DIFFERING PARTITION TYPES ARE TO BE ALIGNED SO THAT THE FINISH SURFACES ARE FLUSH AND CONTINUE UNBROKEN. CONDITION APPLIES ON BOTH EXTERIOR & INTERIOR, U.N.O.
- REFER TO 11000 FOR GRIDLINE DIMENSIONS.
- REFER TO SHEETS 5020-5023 FOR FIRE RATING ASSEMBLIES AND TO SEE WHERE WALL TYPES CHANGE.
- REFER TO SHEETS 6070-6071 FOR EMERGENCY SIGNAGE, AND FIRE EXTINGUISHER LOCATIONS.
- REFER TO SHEETS 6072-6073 FOR TACTILE, AND IDENTIFICATION SIGNAGE DETAILS.
- REFER TO SHEETS 5000-5002 FOR WALL, FLOOR AND ROOF/CEILING ASSEMBLIES.
- REFER TO SHEETS 5020-5023 FOR ACCESSIBILITY INFORMATION.
- REFER TO ENLARGED PLANS FOR ADDITIONAL WALL TAGS AND DIMENSIONS.

**FLOOR PLAN LEGEND:**

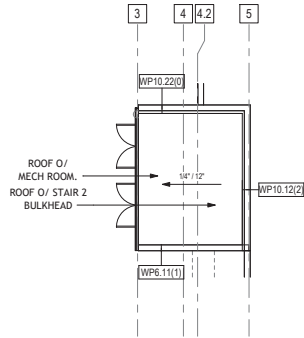
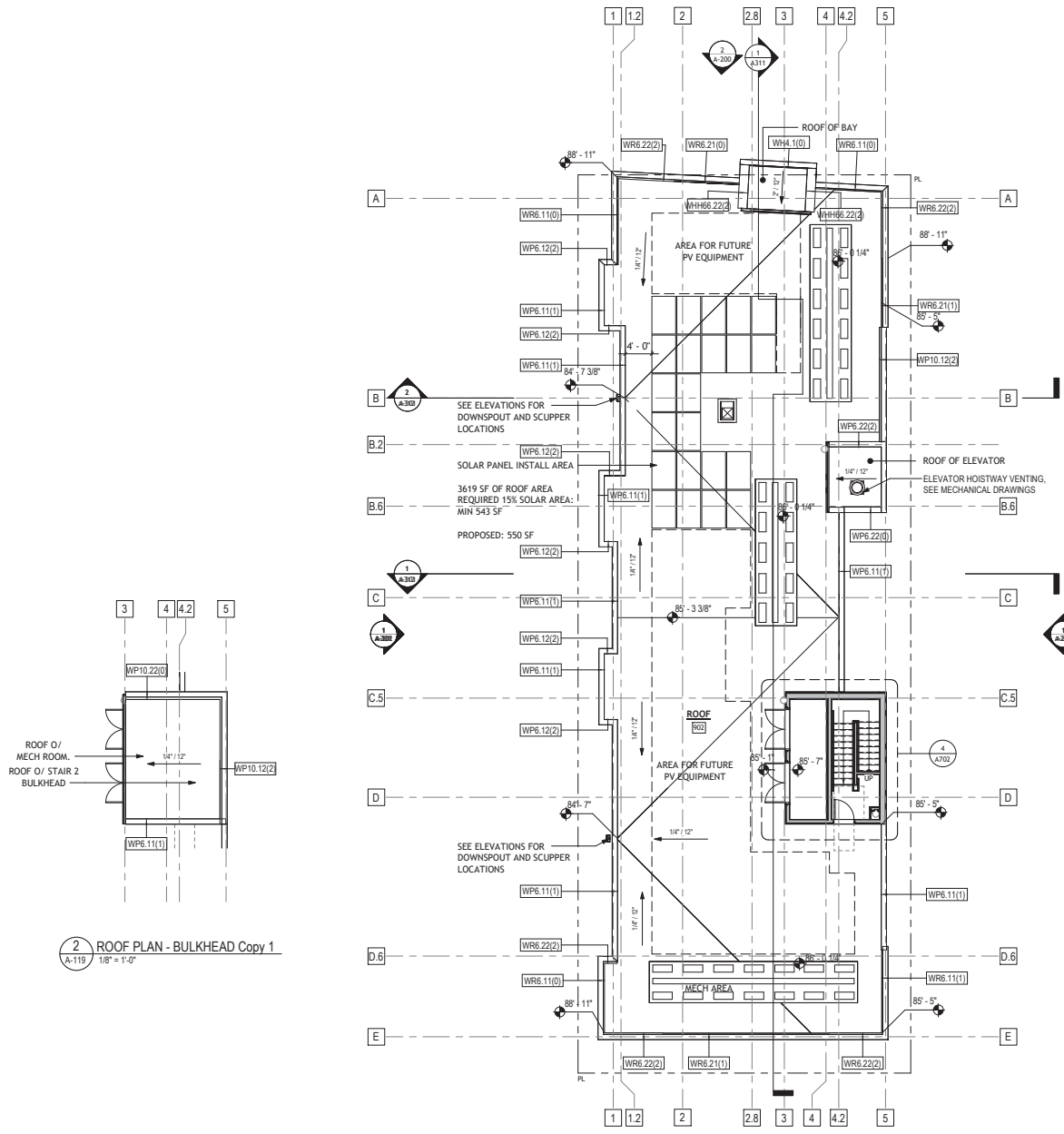
11	WALL TAG; REFER TO A500-A505	ALIGN	ALIGN FACE OF FINISH
Name	ROOM TAG	X' - X'	DIMENSION - FACE OF STUD
001	DOOR TAG; REFER TO A600	X' - X'	DIMENSION - CENTERLINE
010	WINDOW TAG; REFER TO A610	X' - X'	DIMENSION - FACE OF FINISH

**WALL TAG LEGEND:**

<b>FRAMING MATERIAL</b>	
C	CONCRETE
M	CMU
S	METAL STUD
W	WOOD STUD
<b>NOMINAL STUD DEPTH</b>	
X	SINGLE STUD
XX	DOUBLE STUD
X*	STAGGERED STUD
<b>FIRE RATING (HR)</b>	
<b>LAYERS OF GYP. BOARD</b>	
1"	SIDE A
2"	SIDE B
<b>EXTERIOR FINISH (IF APPLICABLE)</b>	
P	CEMENT PLASTER
H	HIGH PRESSURE LAMINATE
T	TILE
R	RAINSCREEN

**SHEET NOTES**

- SEE FASTENER TABLE ON SHEET A502 FOR FASTENER REQUIREMENTS
- SEE SHEETS A500 - A505 FOR WALL ASSEMBLY INFORMATION



2 ROOF PLAN - BULKHEAD Copy 1  
 A-119 1/8" = 1'-0"

1 ROOF PLAN Copy 2  
 A-119 1/8" = 1'-0"

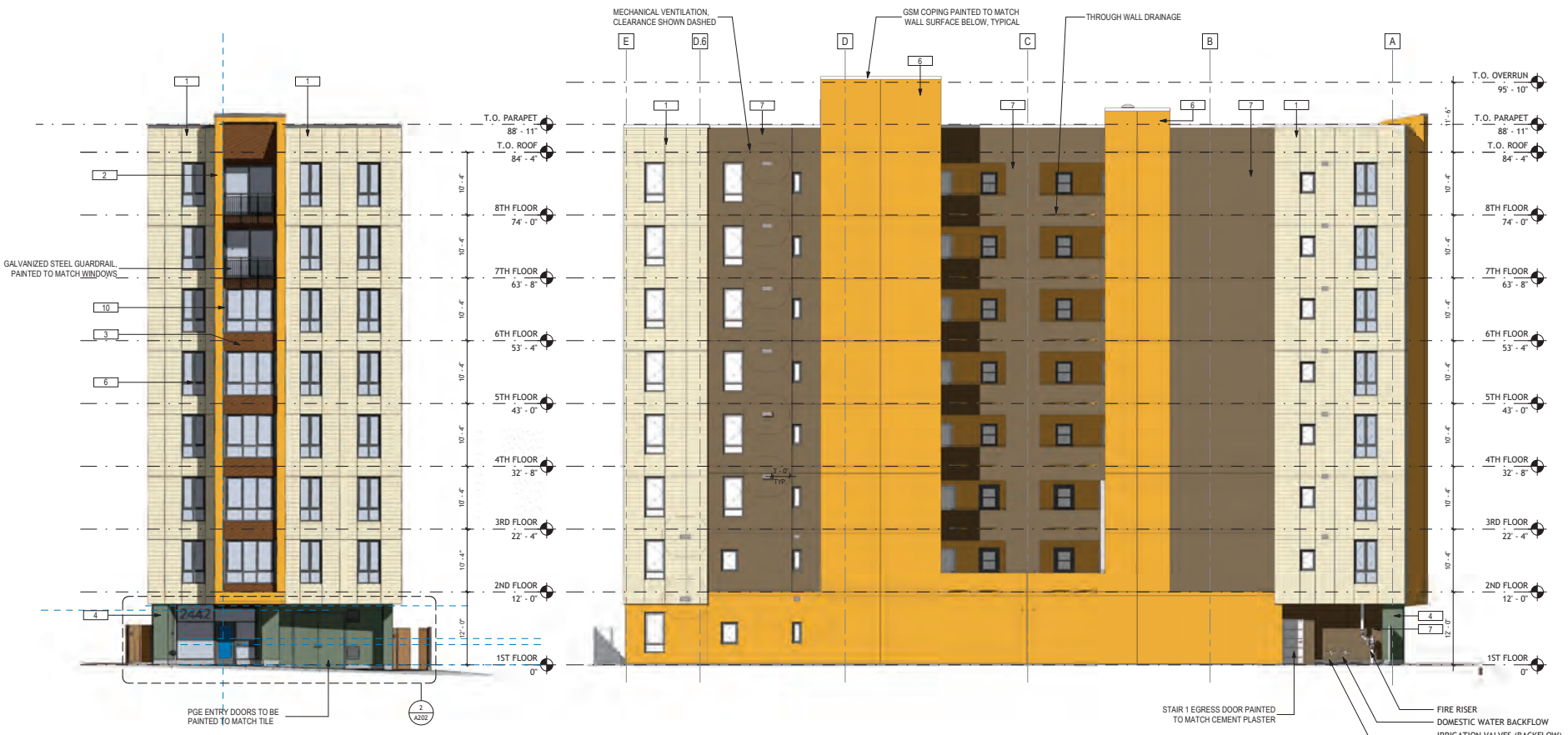




**MATERIAL LEGEND**  
 1 - TERRA COTTA TILE AVENERE NEA CERA - CREAM SATIN FINISH  
 2 - HIGH PRESSURE LAMINATE (HPL) SIDING - FUNDERMAX - YELLOW MARIGOLD BM 2155-30  
 3 - HIGH PRESSURE LAMINATE (HPL) SIDING - FUNDERMAX - AMAZON  
 4 - CERAMIC TILE - VITA BOLE - GREEN  
 5 - CAST-IN-PLACE CONCRETE  
 6 - PAINTED STUCCO - YELLOW MARIGOLD BM 2155-30 TO MATCH (M2)  
 7 - PAINTED STUCCO - DEVONWOOD TAUPE BM 1008

3 EXTERIOR LIGHT FIXTURES  
 A-200 / 3/4" = 1'-0"

MATERIAL LEGEND  
 1/8" = 1'-0"



2 NORTH ELEVATION Copy 3  
 A-200 / 1/8" = 1'-0"

1 EAST ELEVATION Copy 2  
 A-200 / 1/8" = 1'-0"

**BIRD SAFE BUILDING COMPLIANCE**  
 PER BIRD SAFE BUILDING REQUIREMENTS, SECTION 23.304.150, ALL WINDOWS LOCATED BETWEEN THE GROUND AND 75 FEET ABOVE GRADE WILL COMPLY WITH OPTION 1, THREAT FACTOR RATING OF 30 OR LESS.

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 2442 HASTE STREET  
 BERKELEY, CA 94704  
 APN 55-18870-001



FINAL DESIGN REVIEW

Δ	DATE	ISSUE RECORD
	1/15/26	FINAL DRC
	11/09/25	PCP1 RESPONSE

PROJECT NO: H  
 ISSUE DATE: 08/18/25  
 EXTERIOR ELEVATION NORTH/E

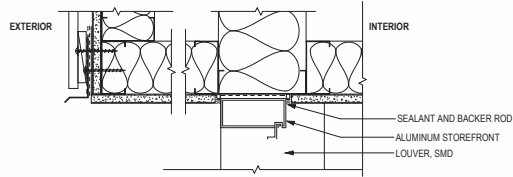
A-200



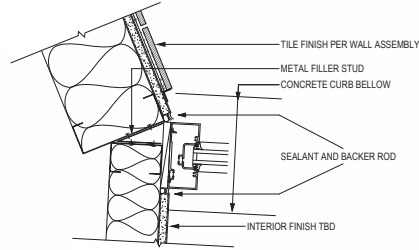




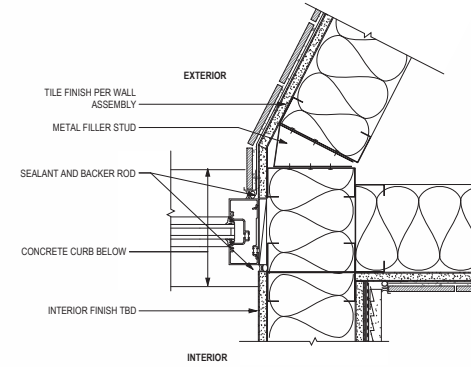




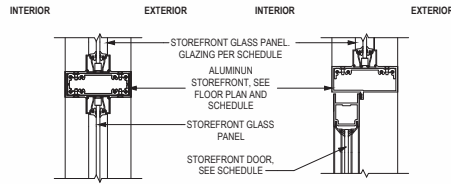
9 STOREFRONT LOUVER HEAD Copy 1  
 A-501 3" = 1'-0"



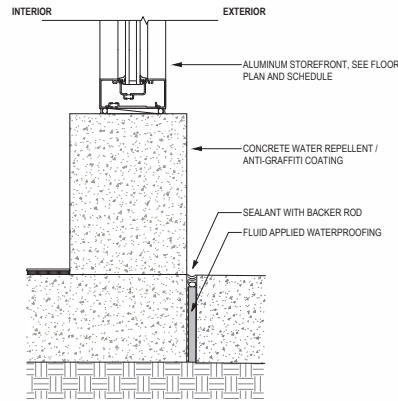
6 STOREFRONT JAMB AT TILE FINISH FINISH WEST Copy 1  
 A-501 3" = 1'-0"



3 STOREFRONT JAMB AT TILE FINISH FINISH EAST Copy 1  
 A-501 3" = 1'-0"



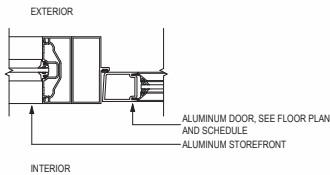
8 STOREFRONT INTERMEDIATE DETAILS - SECTION Copy 1  
 A-501 3" = 1'-0"



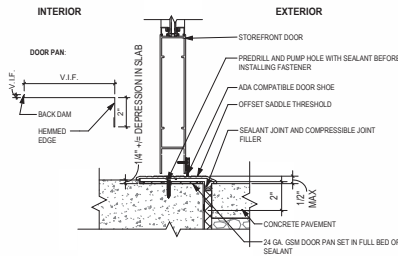
5 STOREFRONT SILL AT CONCRETE WALL Copy 1  
 A-501 3" = 1'-0"



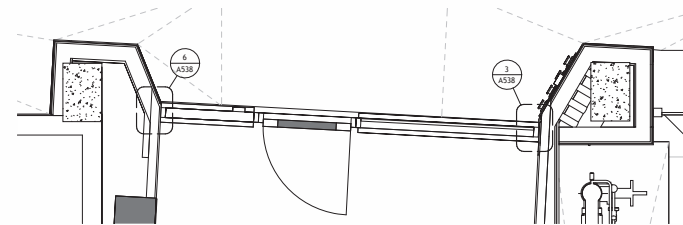
2 STOREFRONT Copy 1  
 A-501 1/2" = 1'-0"



7 STOREFRONT INTERMEDIATE DOOR JAMB Copy 1  
 A-501 3" = 1'-0"



4 STOREFRONT DOOR THRESHOLD AT GRADE Copy 1  
 A-501 3" = 1'-0"



1 ENLARGED PLAN - STOREFRONT Copy 1  
 A-501 1/2" = 1'-0"

Δ	DATE	ISSUE RECORD
	11/08/25	REV RESPONSE
	11/25/25	PRICING SET

PROJECT NO:  
 ISSUE DATE: 08/15/25

STOREFRONT DE





PLANS APPROVED BY ZONING ADJUSTMENTS BOARD

*Sharon Goy*

July 24, 2025

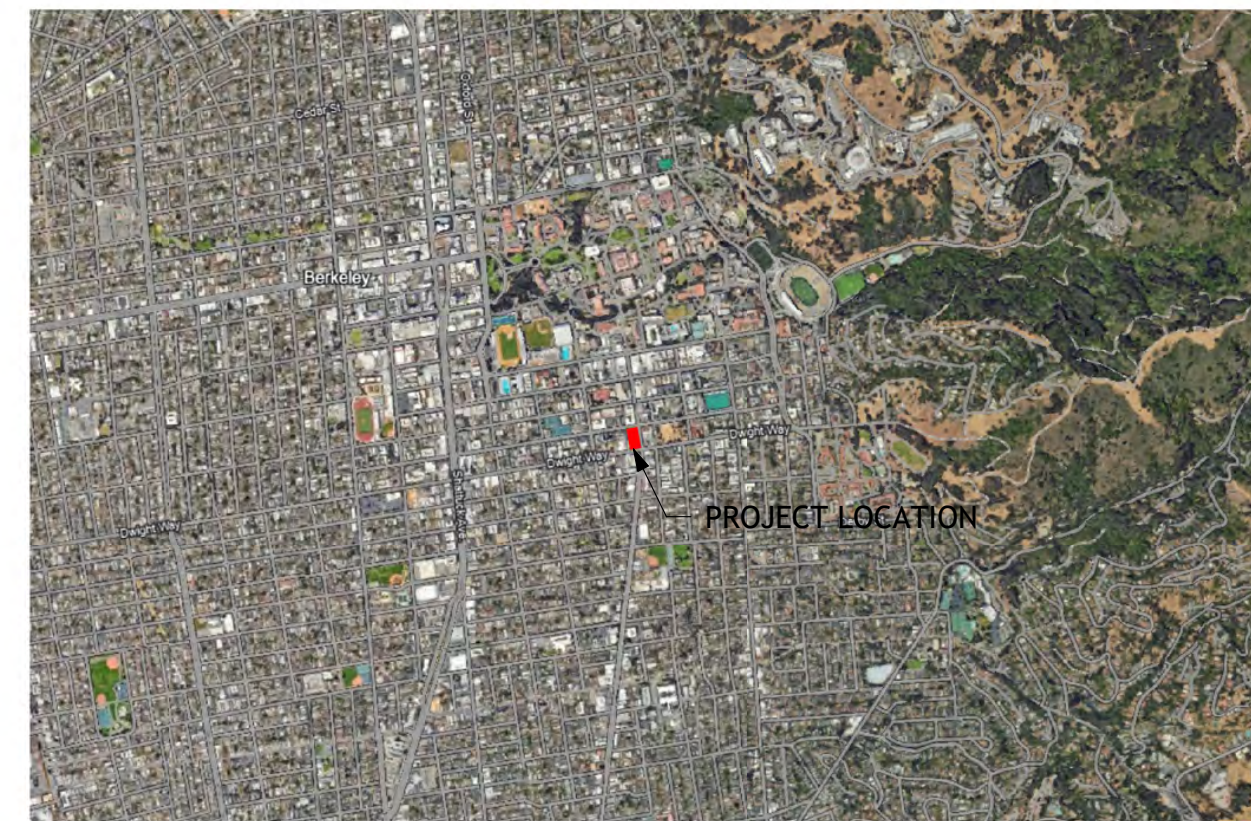
SIGNATURE

DATE

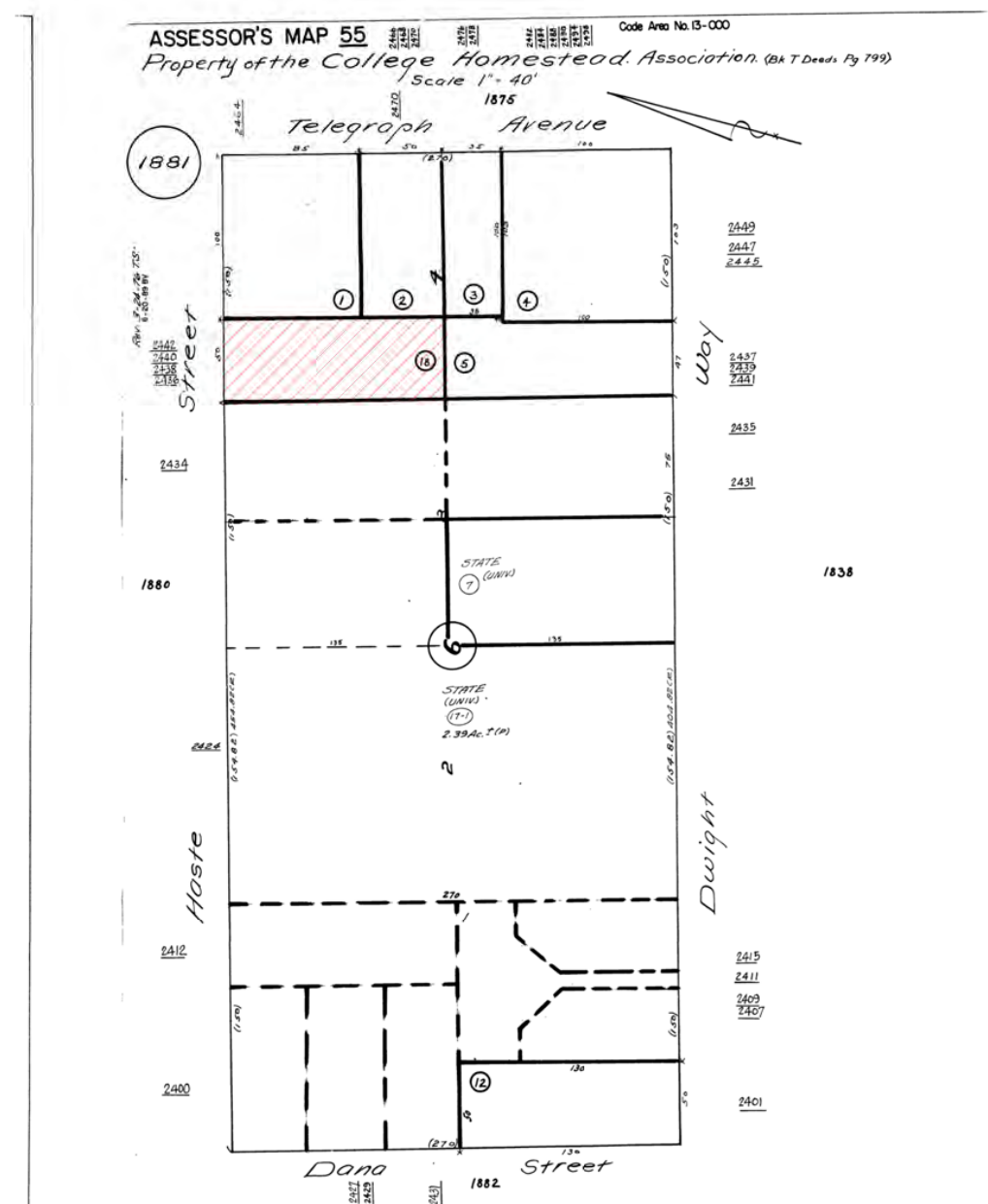
\*Approve Findings and Conditions attached



8 LOCATION MAP  
N.T.S.



7 VICINITY MAP  
N.T.S.



6 PARCEL MAP  
N.T.S.

ZONING CODE INFORMATION					
<b>SITE INFORMATION</b>					
PROJECT ADDRESS:	2442 Haste St. Berkeley, CA 94704				
CROSS STREET:	Telegraph Ave.				
APN:	55-1881-18				
ZONING DISTRICT:	C-T				
GENERAL PLAN AREA:	Avenue Commercial				
SPECIAL ZONING OVERLAYS:	None				
ZONING ADJACENCIES:	NORTH	EAST	SOUTH	WEST	
	CT	CT	CT	R-SMU	
<b>SEISMIC SAFETY</b>					
EARTHQUAKE FAULT RUPTURE ZONE:	NO	LIQUEFACTION ZONE:		NO	
LANDSLIDE ZONE:	NO	UN-REINFORCED MASONRY BLDG:		NO	
<b>HISTORICAL PRESERVATION</b>					
LANDMARK / STRUCTURE OF MERIT:	NO	STRUCTURE > 40 YEARS OLD:		NO	
<b>ENVIRONMENTAL SAFETY</b>					
CREEK BUFFER:	NONE	FIRE ZONE:		1	
ENVIRONMENTAL AREA:	NONE	FLOOD ZONE (100-YEAR OR 1%):		NO	
<b>DEVELOPMENT STANDARDS</b>					
	EXISTING	PROPOSED	PERMITTED / REQUIRED	NOTES:	EXCEPTION REQUESTED BY STATE DENSITY BONUS WAIVER OR MODIFICATION
<b>YARDS AND HEIGHT</b>					
FRONT YARD SETBACK	12'-10"	0'	0'	CONFORMS	
SIDE YARD SETBACK (EAST)	3'-0"	3'-6"	0'	CONFORMS	
SIDE YARD SETBACK (WEST)	3'-0"	3'-0"	5'-0"	5' AT GROUND	Waiver requested
REAR YARD SETBACK	5'-0"	5'-0"	0'	CONFORMS	
BUILDING STORIES	3	8	-		
MAXIMUM HEIGHT	35'-0"	85'-0"	85'-0"		
<b>AREAS</b>					
LOT AREA-SF	6,750	6,750	-		
GROSS FLOOR AREA-SF	5,663	39,646	54,000	*Per 8.0 FAR	
BUILDING FOOTPRINT-SF	1,705	5,459			
LOT COVERAGE-SF	25%	81%	100%	CONFORMS	
FLOOR AREA RATIO (FAR)	0.84	5.87	8.0	CONFORMS	
USABLE OPEN SPACE (UOS)- SF	N/A	0	1,550	40 SF/ 1,000 Res SF	Waiver requested
<b>VEHICLE PARKING AND LOADING</b>					
RESIDENTIAL PARKING SPACES:	11	0	0	CONFORMS	
<b>BICYCLE PARKING</b>					
RESIDENTIAL SHORT-TERM:	0	4	4	140 BR / 40 = 4	
RESIDENTIAL LONG-TERM:	0	0	45	140 BR / 3 = 47	Waiver requested
<b>UNITS</b>					
DWELLING UNITS	4	38	-		
<b>RESIDENTIAL UNIT MIX:</b>					
UNIT TYPE:	1-BD / 1-BA	3-BD / 2-BA	4-BD / 2-BA	5-BD / 2-BA	TOTAL:
LEVEL 1	1	1	1	0	3
LEVEL 2	1	0	3	1	5
LEVEL 3	0	2	2	1	5
LEVEL 4	0	2	2	1	5
LEVEL 5	0	2	2	1	5
LEVEL 6	0	2	2	1	5
LEVEL 7	0	2	2	1	5
LEVEL 8	0	2	2	1	5
TOTAL UNITS:	2	13	16	7	38
TOTAL BEDROOMS:	2	39	64	35	140

5 ZONING CODE INFORMATION

**OWNER:**  
2442 HASTE STREET, LLC.  
3483 IRONWOOD DR.  
SAN RAMON, CA 94538  
CONTACT:  
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EDDYLI@GMAIL.COM

**ARCHITECT:**  
STUDIO KDA  
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CHARLES@STUDIOKDA.COM  
ERIK WATERMAN  
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**CIVIL/SURVEYOR:**  
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KTORBET@1STERLINGCONSULTANTS.COM

**LANDSCAPE:**  
RIPLEY DESIGN  
1615 BONANZA ST., SUITE 314  
WALNUT CREEK, CA 94596  
CONTACT:  
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WILL@RIPLEYDESIGN.COM

**ARBORIST**  
WILSON & ASSOCIATES  
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BERKELEY, CA 94707  
CONTACT:  
CHARLES WILSON  
CWILSON815@GMAIL.COM

**HISTORIC CONSULTANT:**  
PRESERVATION CONSULTANTING  
106 SUMMIT DR.  
CORTE MADERA, CA 94925  
CONTACT:  
CONNOR ISHIGURO TURNBULL  
CONNOR@TURNBULLPRESERVATION.COM

4 PROJECT TEAM

# 2442 HASTE ST.

2442 HASTE STREET,  
BERKELEY, CA 94704

HEE01 - ENTITLEMENTS - 4/15/2025



THE PROPOSED PROJECT WILL REPLACE THE EXISTING 3-STORY, (4) UNIT RESIDENTIAL BUILDING WITH A NEW, 8-STORY, (38) UNIT BUILDING. THE (4) EXISTING UNITS WILL BE REPLACED IN THE PROPOSED PROJECT. THE PROJECT SEEKS TO UTILIZE THE STATE DENSITY BONUS AND WILL PROVIDE (4) BELOW MARKET RATE REPLACEMENT UNITS.

2 PROJECT DESCRIPTION

SHEET #	SHEET NAME	ENTITLEMENT	SHEET #	SHEET NAME	ENTITLEMENT
<b>GENERAL</b>					
G000	PROJECT INFORMATION	•	L1	PRELIMINARY SITE PLAN	•
G002	DENSITY BONUS & UOS CALCULATIONS - BASE	•	L2	PRELIMINARY SITE PLAN - 8TH FLOOR AND 2ND FLOOR	•
G003	DENSITY BONUS & UOS CALCS - PROPOSED	•	L3	PRELIMINARY SITE DETAILS	•
G004	AFFORDABLE HOUSING COMPLIANCE PLAN	•	L4	PRELIMINARY HYDROZONE/IRRIGATION PLAN	•
G005	STREET STRIP ELEVATIONS	•	L5	PROPOSED PLANT IMAGERY	•
G006	PERSPECTIVE RENDERINGS	•	<b>ARCHITECTURAL</b>		
G007	SHADOW STUDIES - DECEMBER 21ST	•	A100	SITE PLAN	•
G008	SHADOW STUDIES - JUNE 21ST	•	A101	FIRST FLOOR PLAN	•
G009	SHADOW STUDIES - APRIL 1ST	•	A102	SECOND AND THIRD FLOOR PLAN	•
G010	SHADOW STUDIES - ELEVATIONS	•	A103	FOURTH AND FIFTH FLOOR PLAN	•
<b>CIVIL SHEETS</b>			A104	SIXTH AND SEVENTH FLOOR PLAN	•
C1	TOPOGRAPHIC & BOUNDARY SURVEY	•	A105	EIGHTH FLOOR AND ROOF PLAN	•
C2	PRELIMINARY DEMO PLAN	•	A200	EXTERIOR ELEVATIONS	•
C3	PRELIMINARY GRADING & DRAINAGE PLAN	•	A201	EXTERIOR ELEVATIONS	•
C3.1	PRELIMINARY EARTHWORK QUANTITY PLAN	•	A300	BUILDING SECTION	•
C4	PRELIMINARY UTILITY PLAN	•	A500	TYPICAL DETAILS	•
C5	PRELIMINARY STORMWATER CONTROL PLAN	•			

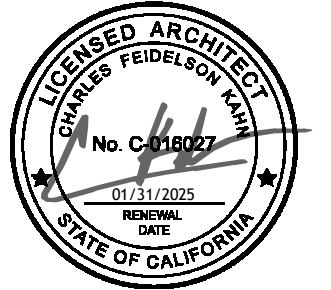
1 SHEET INDEX

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2442 HASTE ST.

2442 HASTE STREET,  
BERKELEY, CA 94704



ENTITLEMENTS

Δ	DATE	ISSUE RECORD

PROJECT NO: HEE01  
ISSUE DATE: 4/15/25

PROJECT INFORMATION

G000



② STREET STRIP ELEVATION - EXISTING  
 N.T.S.



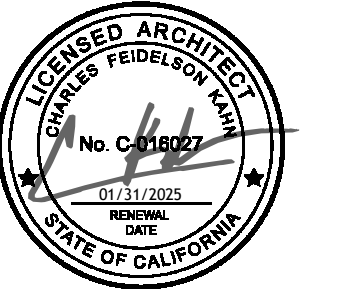
① STREET STRIP ELEVATION - PROPOSED  
 N.T.S.

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2442 HASTE ST.

2442 HASTE STREET,  
 BERKELEY, CA 94704



ENTITLEMENTS

△	DATE	ISSUE RECORD

PROJECT NO: HEE01  
 ISSUE DATE: 4/15/25

STREET STRIP ELEVATIONS

G005



4 STREET PERSPECTIVE 4 - FACING NORTH



2 STREET PERSPECTIVE 2 - FACING NORTHWEST



3 STREET PERSPECTIVE 3 - FACING NORTHEAST



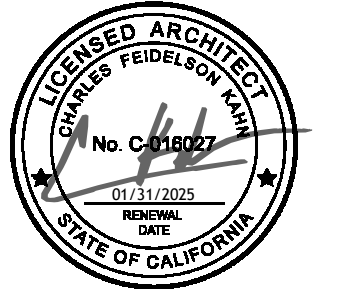
1 STREET PERSPECTIVE 1 - FACING NORTHWEST

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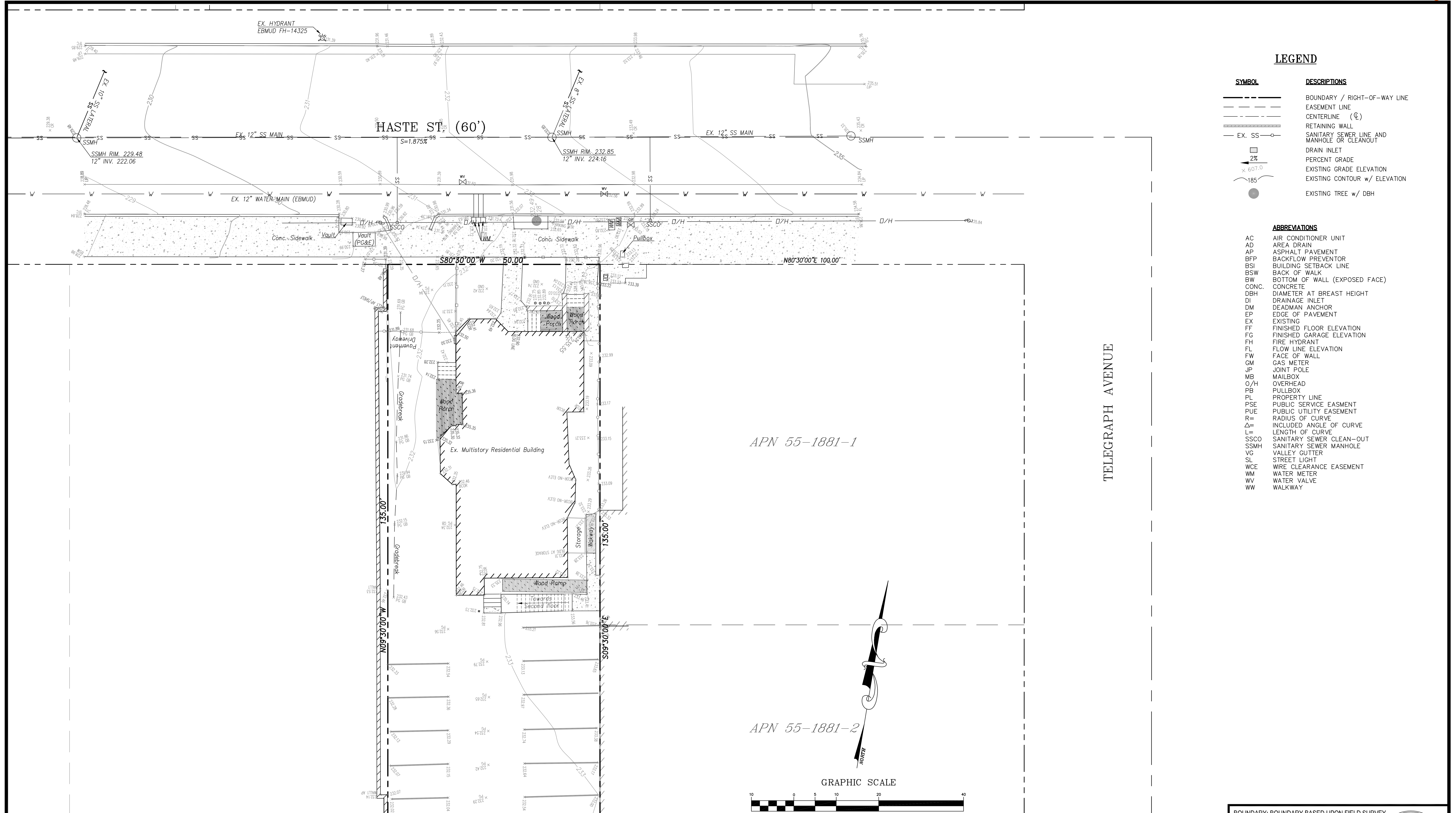
Δ	DATE	ISSUE RECORD

PROJECT NO: HEE01

ISSUE DATE: 4/15/25

PERSPECTIVE RENDERINGS

G006



**LEGEND**

SYMBOL	DESCRIPTIONS
---	BOUNDARY / RIGHT-OF-WAY LINE
- - - -	EASEMENT LINE
---	CENTERLINE (CL)
---	RETAINING WALL
---	SANITARY SEWER LINE AND MANHOLE OR CLEANOUT
□	DRAIN INLET
2%	PERCENT GRADE
x 607.0	EXISTING GRADE ELEVATION
185	EXISTING CONTOUR w/ ELEVATION
●	EXISTING TREE w/ DBH

**ABBREVIATIONS**

AC	AIR CONDITIONER UNIT
AD	AREA DRAIN
AP	ASPHALT PAVEMENT
BFP	BACKFLOW PREVENTOR
BSI	BUILDING SETBACK LINE
BSW	BACK OF WALK
BW	BOTTOM OF WALL (EXPOSED FACE)
CONC.	CONCRETE
DBH	DIAMETER AT BREAST HEIGHT
DI	DRAINAGE INLET
DM	DEADMAN ANCHOR
EP	EDGE OF PAVEMENT
EX	EXISTING
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GARAGE ELEVATION
FH	FIRE HYDRANT
FL	FLOW LINE ELEVATION
FW	FACE OF WALL
GM	GAS METER
JP	JOINT POLE
MB	MAILBOX
O/H	OVERHEAD
PB	PULLBOX
PL	PROPERTY LINE
PSE	PUBLIC SERVICE EASMENT
PUE	PUBLIC UTILITY EASEMENT
R=	RADIUS OF CURVE
Δ=	INCLUDED ANGLE OF CURVE
L=	LENGTH OF CURVE
SSCO	SANITARY SEWER CLEAN-OUT
SSMH	SANITARY SEWER MANHOLE
VG	VALLEY GUTTER
SL	STREET LIGHT
WCE	WIRE CLEARANCE EASEMENT
WM	WATER METER
WV	WATER VALVE
WW	WALKWAY

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DESIGNED: DSK/KT					
ENGINEER: DSK					
MANAGER: DSK					
NO.	BY	DATE	REVISIONS	CITY APPR	

PREPARED BY, OR UNDER THE DIRECTION OF:

PREPARED BY:

**STERLING CONSULTANTS**

46560 FREMONT BOULEVARD, SUITE NO. 205  
 FREMONT, CA 94538  
 lsterlingconsultants@gmail.com PHONE: 510.344.8955

VERTICAL DATUM: HELD ELEVATION OF 200.25 FEET ON TOP OF THE DISK IN THE MONUMENT WELL AT THE INTERSECTION OF DWIGHT WAY AND ELLSWORTH STREET. VERTICAL DATUM: CITY OF BERKELEY.

PREPARED FOR:

2442 HASTE STREET, LLC  
 3483 IRONWOOD DR  
 SAN RAMON, CA 94582

BASIS OF BEARINGS: N 09°30'00" W ALONG THE MONUMENT LINE OF DANA STREET AS SHOWN ON THE PARCEL MAP 11017, BOOK 346 OF MAPS AT PAGE 100, ALAMEDA COUNTY RECORDS.

APN: 055-1881-18

**TOPOGRAPHIC & BOUNDARY SURVEY**

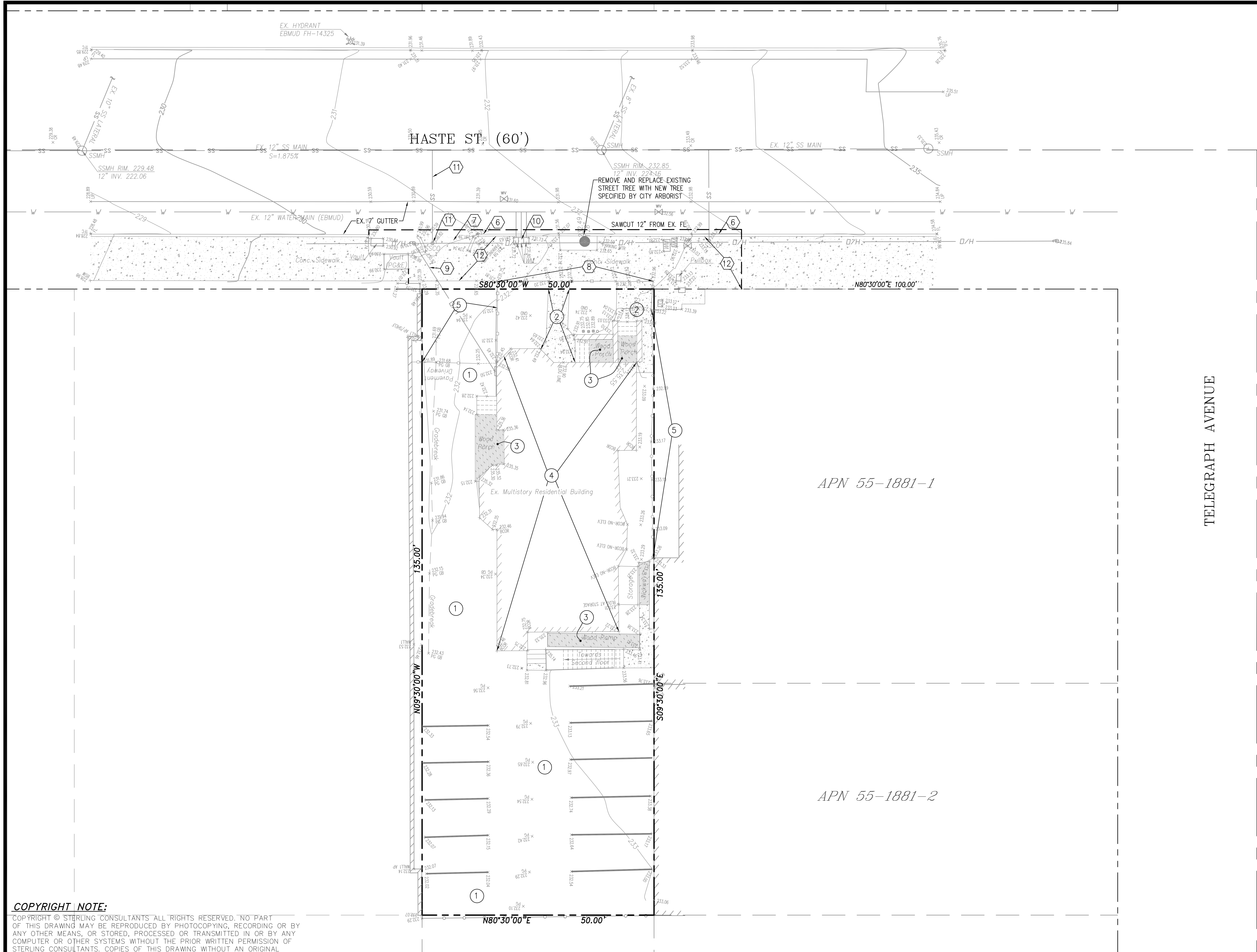
CITY OF BERKELEY COUNTY OF ALAMEDA CALIFORNIA

GROSS LOT AREA = 6,750 SF (0.1549)

BOUNDARY: BOUNDARY BASED UPON FIELD SURVEY PERFORMED BY OR UNDER DIRECTION OF HELMUT KORSTICK, PLS 7739.

2442 HASTE STREET SHEET NO. **C1**

JOB NO. 2023-23



**DEMOLITION LEGEND**

- PL SAWCUT LINE
- FENCE
- EXISTING TREE w/ DBH
- EXISTING TREE TO BE REMOVED
- EXISTING GRADE ELEVATION
- EXISTING CONTOUR w/ ELEVATION
- TREE PROTECTION ZONE

**ABBREVIATIONS**

- ASPH. ASPHALT
- CONC. CONCRETE
- EP EDGE OF PAVEMENT
- EX EXISTING
- GM GAS METER
- MB MAIL BOX
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEAN-OUT
- WM WATER METER
- WV WATER VALVE
- JP JOINT POLE
- TPZ TREE PROTECTION ZONE

**DEMOLITION NOTES:**

1. CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT FROM THE CITY OF BERKELEY BUILDING DEPARTMENT PRIOR TO START OF DEMOLITION.
2. THE PROPERTY LINE SHALL BE THE LIMITS OF DEMOLITION UNDER THE GRADING PERMIT. DEMOLITION WITHIN CITY RIGHT-OF-WAY SHALL BE DONE UNDER AN ENCROACHMENT PERMIT WITH THE CITY OF BERKELEY.
3. CONTRACTOR SHALL COORDINATE UTILITY DISCONNECTIONS WITH THE RESPECTIVE UTILITY AGENCIES PRIOR TO START OF DEMOLITION ON THE SITE.
4. UTILITIES TO BE ABANDONED WITHIN THE AREAS OF PROPOSED IMPROVEMENTS SHALL BE REMOVED IN THEIR ENTIRETY OR ABANDONED IN PLACE PER RECOMMENDATIONS IN THE PROJECT SOILS REPORT.

**ONSITE REMOVAL NOTES**

- 1 REMOVE EXISTING ASPHALT PAVEMENT
- 2 REMOVE EXISTING CONCRETE
- 3 REMOVE EXISTING WOOD PORCH
- 4 REMOVE EXISTING BUILDING
- 5 REMOVE EXISTING FENCE

**OFFSITE REMOVAL NOTES**

- 6 REMOVE EXISTING CURB
- 7 REMOVE EXISTING CONCRETE DRIVEWAY APRON
- 8 REMOVE EXISTING FENCE
- 9 REMOVE EXISTING OVERHEAD WIRE
- 10 REMOVE EXISTING WATER METERS & ABANDON SERVICES
- 11 REMOVE EXISTING SEWER CLEANOUT & ABANDON SERVICE
- 12 REMOVE EXISTING SIDEWALK

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ENGINEER: DSK					
MANAGER: DSK					
	NO.	BY	DATE	REVISIONS	CITY APPR

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 hsterlingconsultants@gmail.com PHONE: 510.344.8955

PREPARED FOR:

2442 HASTE STREET, LLC  
 3483 IRONWOOD DR  
 SAN RAMON, CA 94582

APN: 055-1881-18 2442 HASTE STREET

**PRELIMINARY DEMOLITION PLAN**

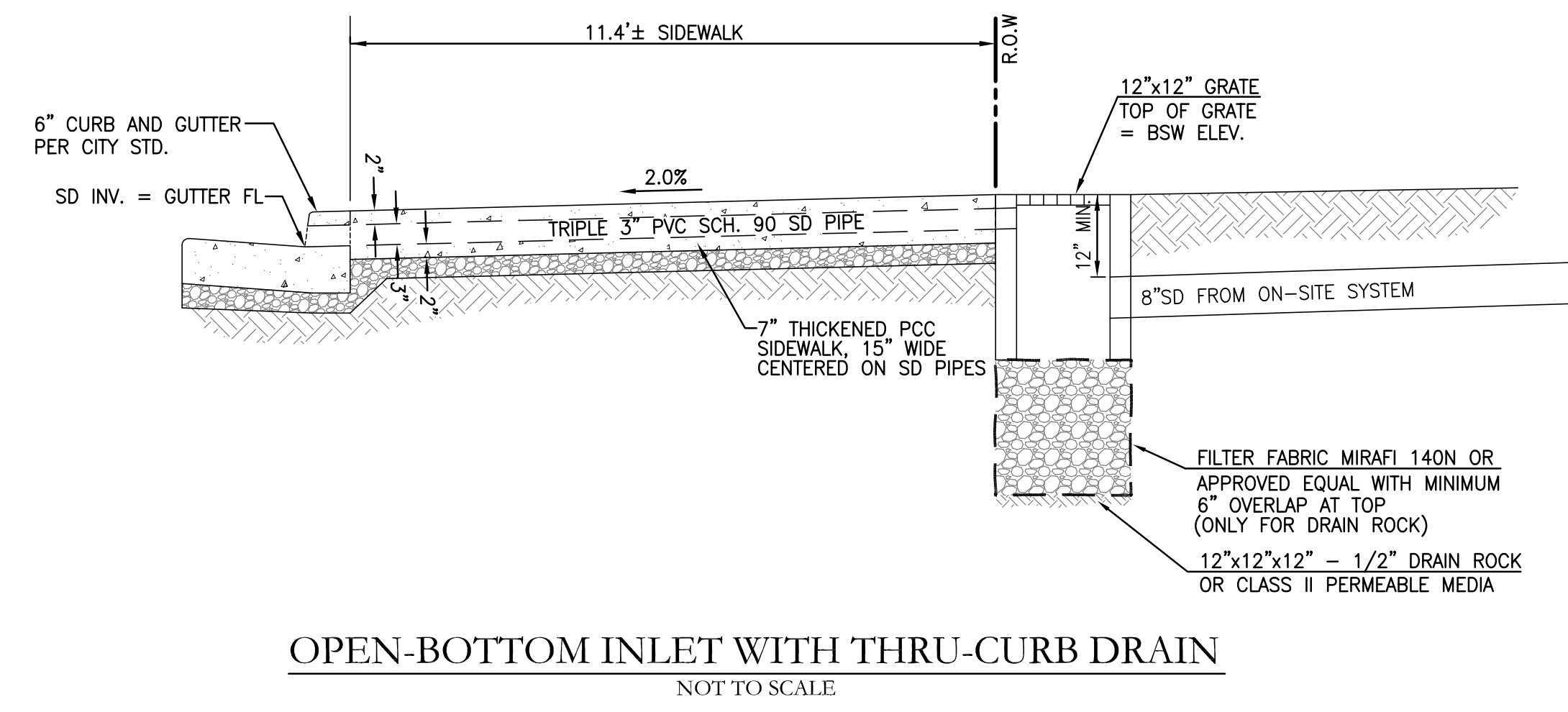
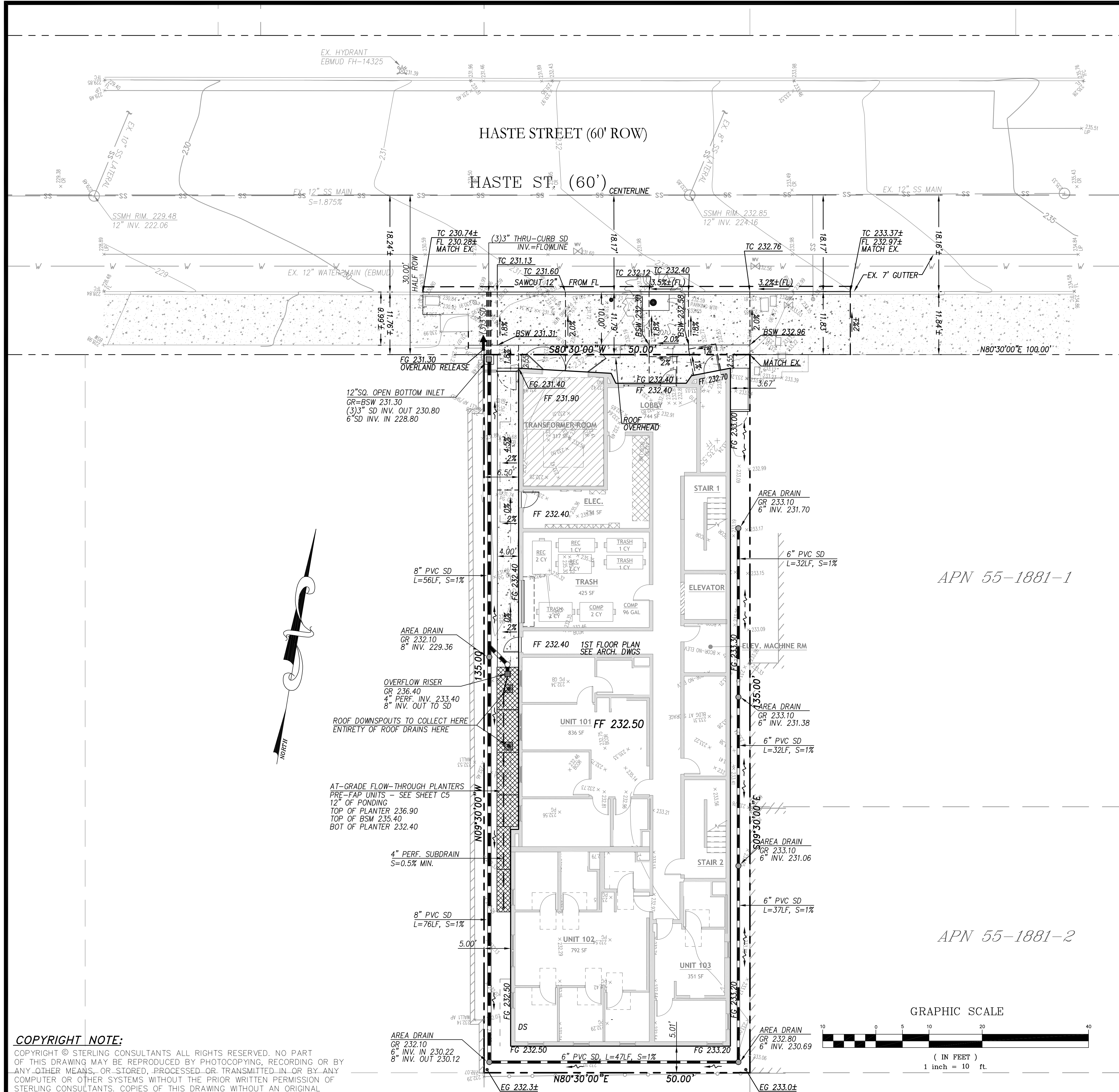
CITY OF BERKELEY COUNTY OF ALAMEDA CALIFORNIA

SHEET NO. **C2**

JOB NO. 2023-23

**GRADING NOTES:**

1. SITE GRADING & EXCAVATIONS SHALL ADHERE TO ALL RECOMMENDATIONS CONTAINED IN THE PROJECT GEOTECHNICAL REPORT.
2. ALL GRADES SHOWN ARE FINISHED GRADES, UNLESS OTHERWISE NOTED.
3. ALL CUT AND FILL SLOPES AT THE BOUNDARY LINES SHALL BE CONSTRUCTED IN SUCH A MANNER THAT ADJACENT FENCES WILL NOT BE DAMAGED. GRADING SHALL CONFORM AT BOUNDARY LINES.
4. ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES OVER FIVE FEET IN HEIGHT SHALL BE PLANTED WITH SUITABLE GROUND COVER.
5. DURING GRADING OPERATIONS, THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES BOTH ON-SITE. STREETS SHALL BE SWEEPED PER REQUIREMENTS SPECIFIED IN BLUEPRINT FOR CLEAN BAY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SAID GRADING QUANTITIES PRIOR TO THE START OF THE GRADING OPERATION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR DISTRIBUTING ANY EXCESS MATERIAL OR SUPPLY MATERIAL FOR DEFICIENCIES TO BRING PAVEMENT OR LOTS TO REQUIRED GRADE. CLARIFICATION OF GRADING SHALL BE DONE BY THE ENGINEER.
7. WASTEWATER GENERATED DURING CONSTRUCTION SHALL NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM. THIS INCLUDES WASTE FROM PAINTING, SAWCUTTING, CONCRETE WORK, ETC. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO ELIMINATE DISCHARGES TO THE STORM DRAIN SYSTEM AND, IF NECESSARY, PROVIDE AN AREA FOR ON-SITE WASHING ACTIVITIES DURING CONSTRUCTION. MATERIALS WHICH COULD CONTAMINATE STORM RUNOFF SHALL BE STORED IN AREAS WHICH ARE DESIGNED TO PREVENT EXPOSURE TO RAINFALL AND TO NOT ALLOW STORM WATER TO RUN ONTO THE AREA.
8. FLUSHING OF STREETS/PARKING LOTS TO REMOVE DIRT AND CONSTRUCTION DEBRIS IS PROHIBITED UNLESS PROPER SEDIMENT CONTROLS ARE USED. AREAS REQUIRING CLEANING SHOULD BE SWEEPED.
9. WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND REPLACED BY SELECT BACKFILL MATERIAL AS NEEDED.
10. WHERE ABANDONED UNDERGROUND STRUCTURES ARE ENCOUNTERED IN THE STREET AREAS, REMOVE TO SUFFICIENT DEPTH TO ALLOW UNDERGROUND LINES TO CROSS, BACKFILL AND COMPACT DURING ROUGH GRADING. THE INSPECTOR MAY REQUIRE FURTHER WORK TO BE DONE IF VISUAL INSPECTION INDICATES SO DURING CONSTRUCTION.
11. PRIOR TO ANY GRADING, DEMOLITION OF THE SITE SHOULD BE COMPLETED. DEMOLITION SHOULD INCLUDE THE COMPLETE REMOVAL OF ALL SURFACE AND SUBSURFACE STRUCTURES. IF ANY OF THE FOLLOWING ARE ENCOUNTERED: TREE ROOT SYSTEMS, CONCRETE, SEPTIC TANKS, GAS OR OIL TANKS, STORM INLETS, IRRIGATION PIPES, FOUNDATIONS, ASPHALT, DEBRIS AND TRASH, THESE SHOULD ALSO BE REMOVED, WITH THE EXCEPTION OF ITEMS SPECIFIED BY THE OWNER FOR SALVAGE.
12. EARTHWORK QUANTITIES IF SHOWN ON THESE PLANS ARE APPROXIMATE ESTIMATED QUANTITIES AND ARE FURNISHED FOR THE CITY OF BERKELEY'S INFORMATION ONLY. THE ACTUAL AMOUNT MAY VARY DEPENDING ON COMPACTION, CONSOLIDATION, STRIPPING AND THE CONTRACTOR'S METHOD OF OPERATION.
14. REMOVE AND REPLACE ALL DAMAGED CURB, GUTTER AND SIDEWALK ALONG PROJECT FRONTAGE.



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ENGINEER: DSK					
MANAGER: DSK					
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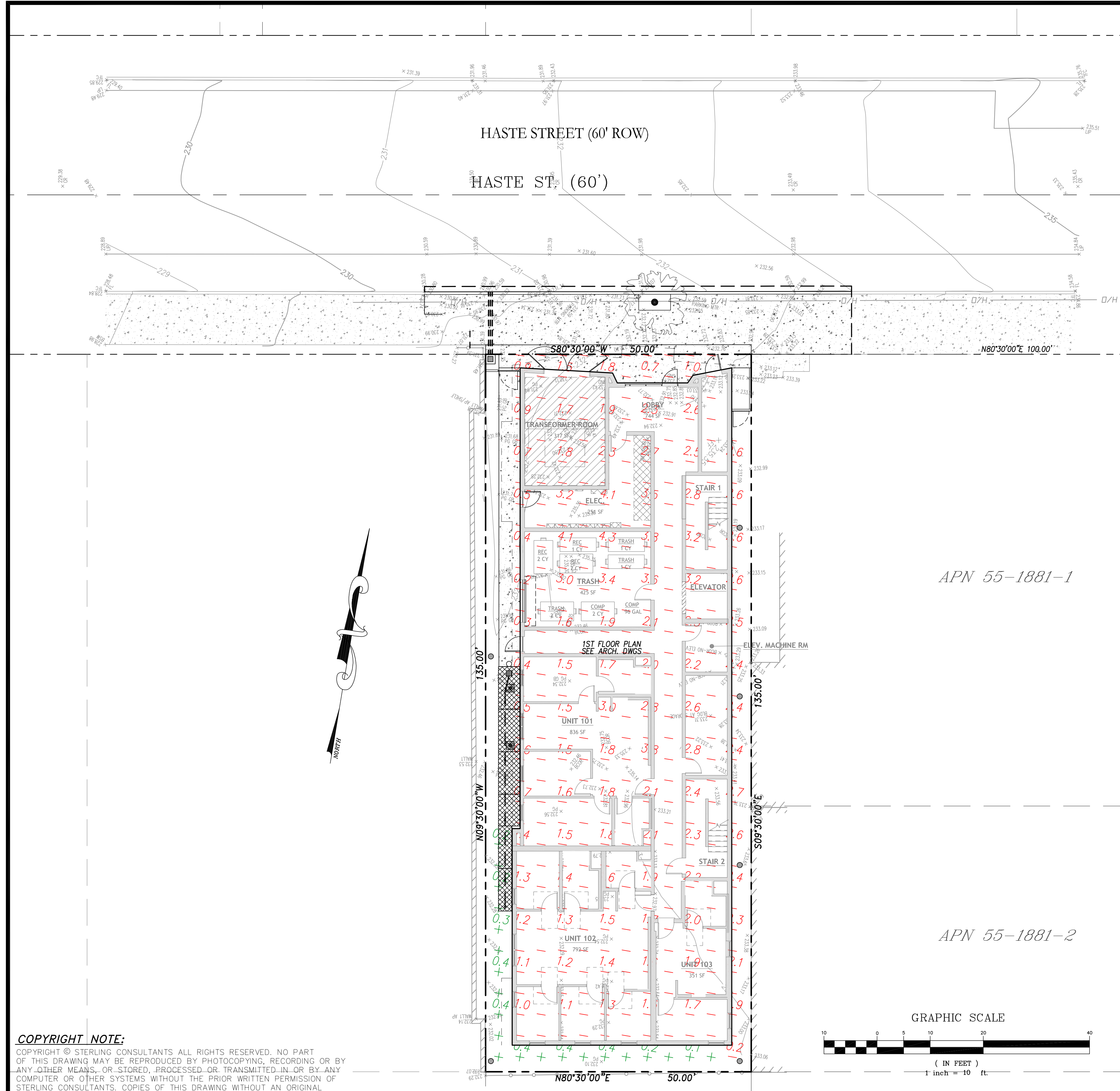
PREPARED BY, OR UNDER THE DIRECTION OF:  
  
 D. P. S. KISHANANI  
 REGISTERED PROFESSIONAL ENGINEER  
 STATE OF CALIFORNIA  
 No. 51620

PREPARED BY:  
  
**STERLING CONSULTANTS**  
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PREPARED FOR:  
 2442 HASTE STREET, LLC  
 3483 IRONWOOD DR  
 SAN RAMON, CA 94582

APN: 055-1881-18  
 2442 HASTE STREET  
**PRELIMINARY GRADING & DRAINAGE PLAN**  
 CITY OF BERKELEY COUNTY OF ALAMEDA CALIFORNIA

SHEET NO. **C3**  
 JOB NO. 2023-23



**EARTHWORK LEGEND**

- 2.0 CUT DEPTH AT TICK MARK
- 0.1 FILL DEPTH AT TICK MARK

**EARTHWORK SUMMARY**

MEASURED RAW CUT : (ASSUMED 24" THICK SLAB SECTION)	435 CY
MEASURED RAW FILL :	10 CY
ESTIMATED EXCESS:	425 CY

EARTHWORK QUANTITIES SHOWN HEREON ARE APPROXIMATE ONLY FOR ESTABLISHMENT OF FEES. CONTRACTORS SHALL BASE BID AND OR CONTRACT AMOUNTS UPON THEIR OWN EARTHWORK ESTIMATES FOR COMPLETION OF THE WORK SHOWN HEREON, NOT ON THE QUANTITIES SHOWN ABOVE.

QUANTITIES MAY CHANGE PRIOR TO GRADING BASED ON REQUIREMENTS OF ANY REMEDIAL WORK THAT MAY BE NEEDED, OR REMOVAL OF UNSUITABLE SOILS OR MATERIALS FROM THE SITE.  
 NO ADJUSTMENTS HAVE BEEN APPLIED FOR SHRINK OR SWELL.

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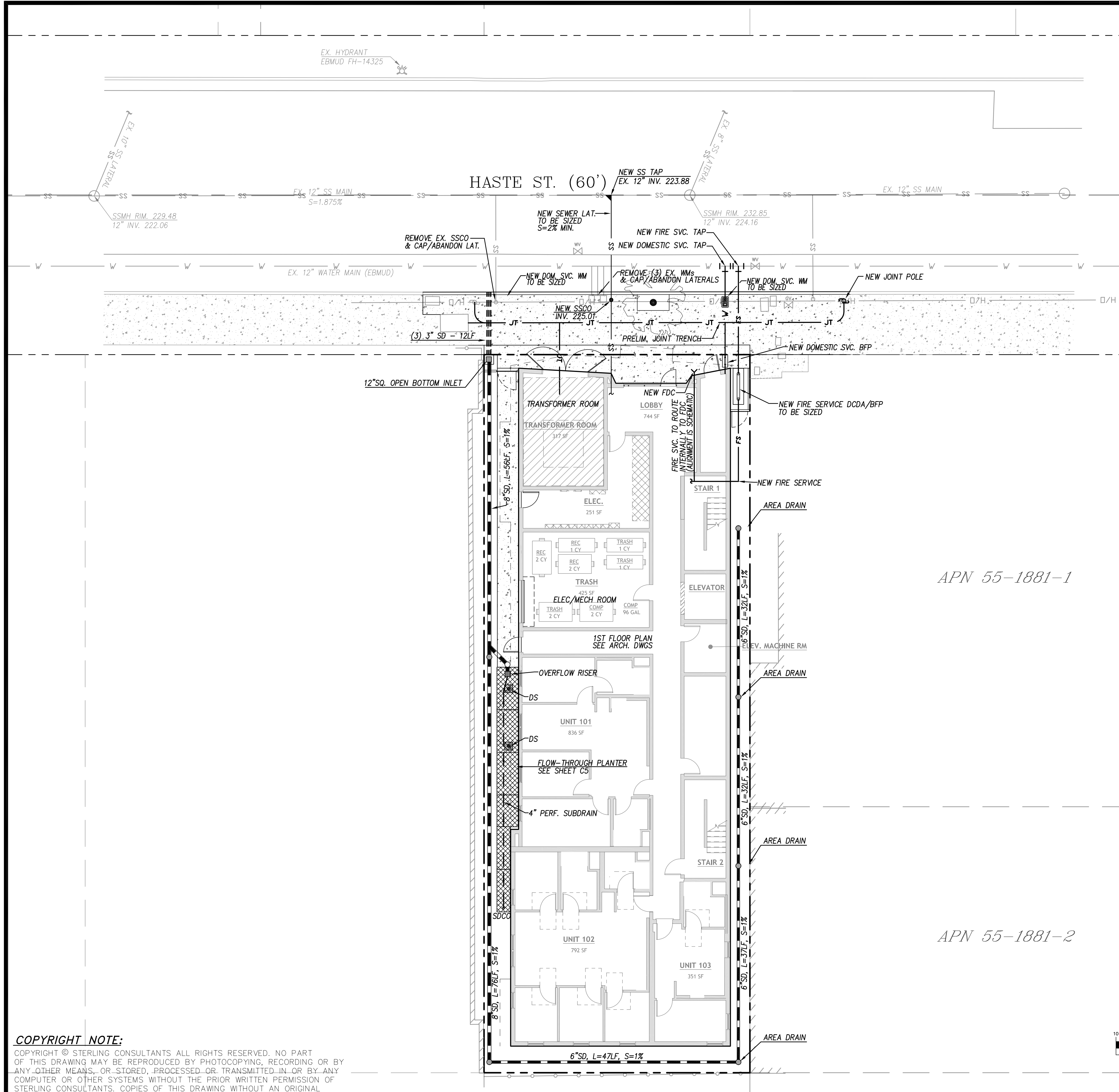
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 SAN RAMON, CA 94582

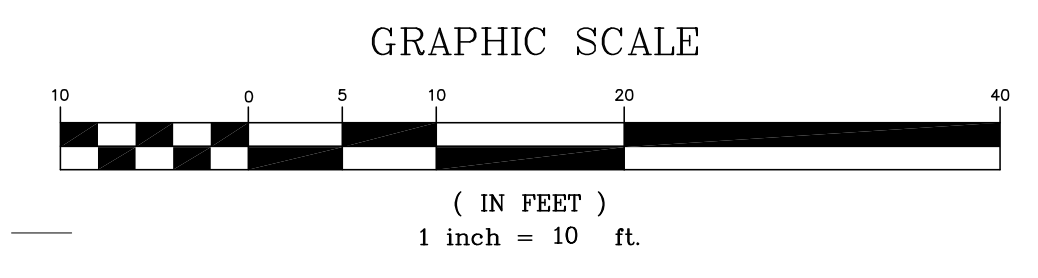
APN: 055-1881-18  
 2442 HASTE STREET  
**PRELIMINARY EARTHWORK QUANTITY PLAN**  
 CITY OF BERKELEY COUNTY OF ALAMEDA CALIFORNIA

SHEET NO. **C3.1**  
 JOB NO. 2023-23



APN 55-1881-1

APN 55-1881-2



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SCALE: AS NOTED					
DRAWN: DSK/KT					
DESIGNED: DSK/KT					
ENGINEER: DSK					
MANAGER: DSK					
	NO.	BY	DATE	REVISIONS	CITY APPR

PREPARED BY, OR UNDER THE DIRECTION OF:

PREPARED BY:

STERLING CONSULTANTS  
 46560 FREMONT BOULEVARD, SUITE NO. 205  
 FREMONT, CA 94538  
 lsterlingconsultants@gmail.com PHONE: 510.344.8955

PREPARED FOR:

2442 HASTE STREET, LLC  
 3483 IRONWOOD DR  
 SAN RAMON, CA 94582

APN: 055-1881-18  
 2442 HASTE STREET

## PRELIMINARY UTILITY PLAN

CITY OF BERKELEY COUNTY OF ALAMEDA CALIFORNIA

SHEET NO. **C4**  
 JOB NO. 2023-23

**Worksheet for Calculating the Combination Flow and Volume Method**

Instructions: After completing Section 1, make a copy of this Excel file for each Drainage Management Area within the project. Enter information specific to the project and DMA in the cells shaded in yellow. Cells shaded in light blue contain formulas and values that will be automatically calculated.

1.0 Project Information			
1-1 Project Name:	2442 Haste St, Berkeley	The calculations presented here are based on the combination flow and volume hydraulic sizing method provided in the Clean Water Program Alameda County C.3 Technical Guidance, Version 4.0. The steps presented below are explained in Chapter 5, Section 5.1 of the guidance manual, applicable portions of which are included in this file, in the tab called "Guidance from Chapter 5."	
1-2 City Application ID:	2442 Haste St, Berkeley		
1-3 Site Address or APN:	2442 Haste St, Berkeley		
1-4 Tract or Parcel Map No:			
1-5 Site Mean Annual Precip. (MAP) <sup>1</sup>	26.0	Inches	Refer to the Mean Annual Precipitation Map in Appendix D of the C.3 Technical Guidance to determine the MAP, in inches, for the site. <a href="#">Click here for map</a>
1-6 Applicable Rain Gauge <sup>2</sup>	Oakland		Enter "Oakland Airport" if the site MAP is 16.4 inches or greater. Enter "San Jose" if the site MAP is less than 16.4 inches.
MAP adjustment factor is automatically calculated as:		1.42	(The "Site Mean Annual Precipitation (MAP)" is divided by the MAP for the applicable rain gauge, shown in Table 5.2, below.)

2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)			
2-1 Name of DMA:	DMA #1 (Roof)		
For Items 2-2 and 2-3, enter the areas in square feet for each type of surface within the DMA.			
Type of Surface	Area of surface type within DMA (Sq. Ft.)	Adjust Pervious Surface	Effective Impervious Area
2-2 Impervious surface	5,522	1.0	5,522
2-3 Pervious surface	0	0.1	
Total DMA Area (square feet) =			5,522
		Total Effective Impervious Area (EIA)	5,522 Square feet

3.0 Calculate Unit Basin Storage Volume in Inches			
Table 5-2: Unit Basin Storage Volumes (in inches) for 80 Percent Capture Using 48-Hour Drawdowns			
Applicable Rain Gauge	Mean Annual Precipitation (in)	Unit Basin Storage Volume (in) for Applicable Runoff Coefficients	
Oakland Airport	18.35	Coefficient of 1.00	
San Jose	14.4	0.67	
		0.56	
		0.67	
		0.95	
		437	

4.0 Calculate the Duration of the Rain Event			
4-1 Rainfall intensity	0.2 Inches per hour		
4-2 Divide Item 3-2 by Item 4-1	4.75 Hours of Rain Event Duration		

5.0 Preliminary Estimate of Surface Area of Treatment Measure			
5-1 4% of DMA impervious surface	221 Square feet		
5-2 Area 25% smaller than item 5-1	166 Square feet		
5-3 Volume of treated runoff for area in Item 5-2	328 Cubic feet (Item 5-2 * 5 inches per hour * 1/12 * Item 4-2)		

6.0 Initial Adjustment of Depth of Surface Ponding Area			
6-1 Subtract Item 5-3 from Item 3-3	109 Cubic feet (Amount of runoff to be stored in ponding area)		
6-2 Divide Item 6-1 by Item 5-2	0.7 Feet (Depth of stored runoff in surface ponding area)		
6-3 Convert Item 6-2 from ft to inches	7.9 Inches (Depth of stored runoff in surface ponding area)		
6-4 If ponding depth in Item 6-3 meets your target depth, skip to Item 8-1. If not, continue to Step 7-1.			

7.0 Optimize Size of Treatment Measure			
7-1 Enter an area larger or smaller than Item 5-2	147 Sq.ft. (enter larger area if you need less ponding depth; smaller for more depth.)		
7-2 Volume of treated runoff for area in Item 7-1	291 Cubic feet (Item 7-1 * 5 inches per hour * 1/12 * Item 4-2)		
7-3 Subtract Item 7-2 from Item 3-3	146 Cubic feet (Amount of runoff to be stored in ponding area)		
7-4 Divide Item 7-3 by Item 7-1	0.99 Feet (Depth of stored runoff in surface ponding area)		
7-5 Convert Item 7-4 from feet to inches	11.93 Inches (Depth of stored runoff in surface ponding area)		
7-6 If the ponding depth in Item 7-5 meets target, stop here. If not, repeat Steps 7-1 through 7-5 until you obtain target depth.			

8.0 Surface Area of Treatment Measure for DMA			
8-1 Final surface area of treatment*	147 Square feet (Either Item 5-2 or final amount in Item 7-1)		

\*Note: Check with the local jurisdiction as to its policy regarding the minimum biotreatment surface area allowed.

**Tournesol**

**Bioretention Planters, GFRC**

**DIMENSIONS**

- Module maximum dimensions 96" L x 60" W x 54" H
- Connect multiple modules to extend length

**INCLUDED WITH PLANTER**

- Planter
- Clean-out
- Drainpipe
- Overflow
- 4" Dia. Outlet

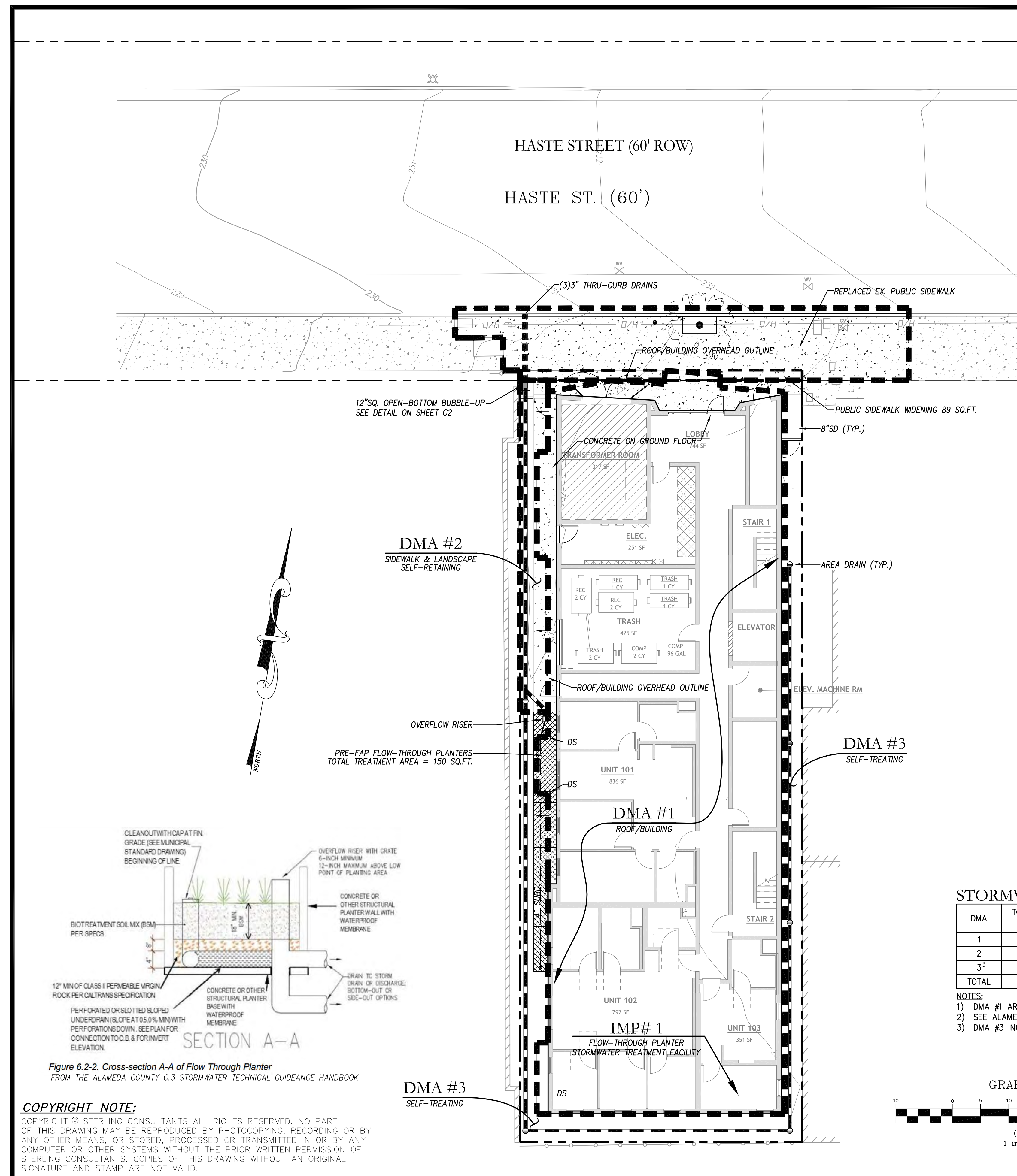
**OPTIONAL ACCESSORIES**

- Splash Box
- Level Spreader

**CUSTOMER SUPPLIED**

- Media
- Landscape Fabric
- Fabric Sleeve (optional)

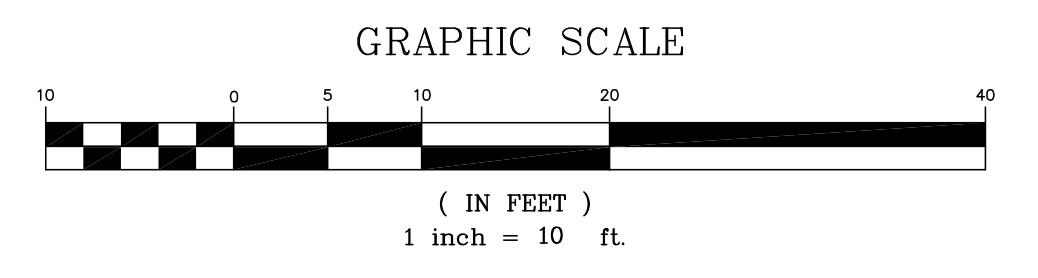
**SAMPLE PRE-FABRICATED FLOW-THROUGH PLANTER**



**STORMWATER TREATMENT MEASURES SUMMARY TABLE**

DMA	TOTAL TRIBUTARY AREA (SQ.FT.)	IMPERVIOUS AREA (SQ.FT.)	PERVIOUS AREA (SQ.FT.)	DRAINS TO IMP. #	SIZING METHOD	TREATMENT METHOD	REQUIRED TREATMENT AREA	TREATMENT AREA PROVIDED	PONDING DEPTH
1	5,522 <sup>1</sup>	5,522	0	IMP #1	COMBINATION FLOW-VOLUME <sup>2</sup>	FLOW-THRU PLANTER	147 SQ.FT.	150 SQ.FT.	12 INCHES
2	256	113	143	SELF-RETAINING	2:1 MAX IMP. TO PERV. RATIO	SELF-RETAINING	2:1 MAX IMPERVIOUS TO PERVIOUS	0.79:1	N/A
3 <sup>3</sup>	986	0	986	SELF-TREATING	N/A	SELF-TREATING	N/A	N/A	N/A
TOTAL	6,764 <sup>1</sup>	5,635	1,129						

NOTES:  
 1) DMA #1 AREA INCLUDES 16 SQ.FT. OF ROOF OVERHANG THAT ENCLOSES IN THE PUBLIC RIGHT-OF-WAY. TOTAL ONSITE AREA IS 6,750 SQ.FT.  
 2) SEE ALAMEDA COUNTY COMBINATION FLOW AND VOLUME SIZING METHOD WORKSHEET ABOVE.  
 3) DMA #3 INCLUDES ALL REMAINING AREA NOT COUNTED IN DMAS 1 & 2.



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 COPYRIGHT © STERLING CONSULTANTS ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF STERLING CONSULTANTS. COPIES OF THIS DRAWING WITHOUT AN ORIGINAL SIGNATURE AND STAMP ARE NOT VALID.

DATE: MARCH 07, 2025	PREPARED BY, OR UNDER THE DIRECTION OF:	PREPARED BY:	APN: 055-1881-18	2442 HASTE STREET	SHEET NO.
SCALE: AS NOTED		<b>STERLING CONSULTANTS</b>	2442 HASTE STREET, LLC		<b>C5</b>
DRAWN: DSK/KT		46560 FREMONT BOULEVARD, SUITE NO. 205	3483 IRONWOOD DR		
DESIGNED: DSK/KT		FREMONT, CA 94538	SAN RAMON, CA 94582		
ENGINEER: DSK		1sterlingconsultants@gmail.com	PHONE: 510.344.8955		
MANAGER: DSK					
NO.	BY	DATE	REVISIONS	CITY APPR	

**PRELIMINARY STORMWATER CONTROL PLAN**

CITY OF BERKELEY      COUNTY OF ALAMEDA      CALIFORNIA

JOB NO. 2023-23

**HASTE STREET**

NEW STREET TREE TO BE QUERCUS GRAVESII,  
 AS DIRECTED BY CITY PER MARCH 5, 2024 EMAIL.

TRANSFORMER ACCESS DOORS

EXISTING CONCRETE SIDEWALK

NEW 6' HIGH HORIZONTAL WOOD FENCE  
 AND DOUBLE/WIDE GATE.  
 REFER TO DETAIL A, SHEET L2.

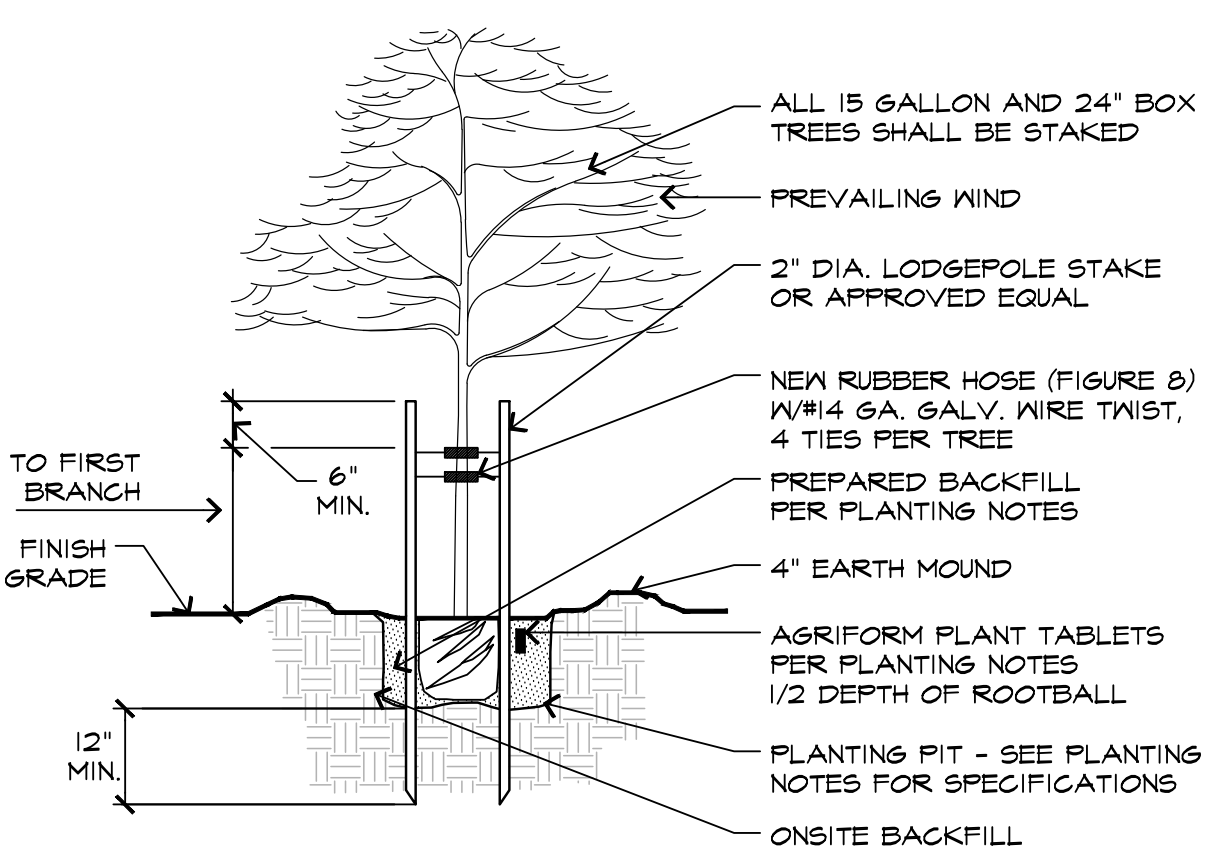
7' WIDE CONCRETE WALK

CONCRETE ENTRY WALK,  
 2% M AX, ADA COMPLIANT

MAINTENANCE ACCESS GATE

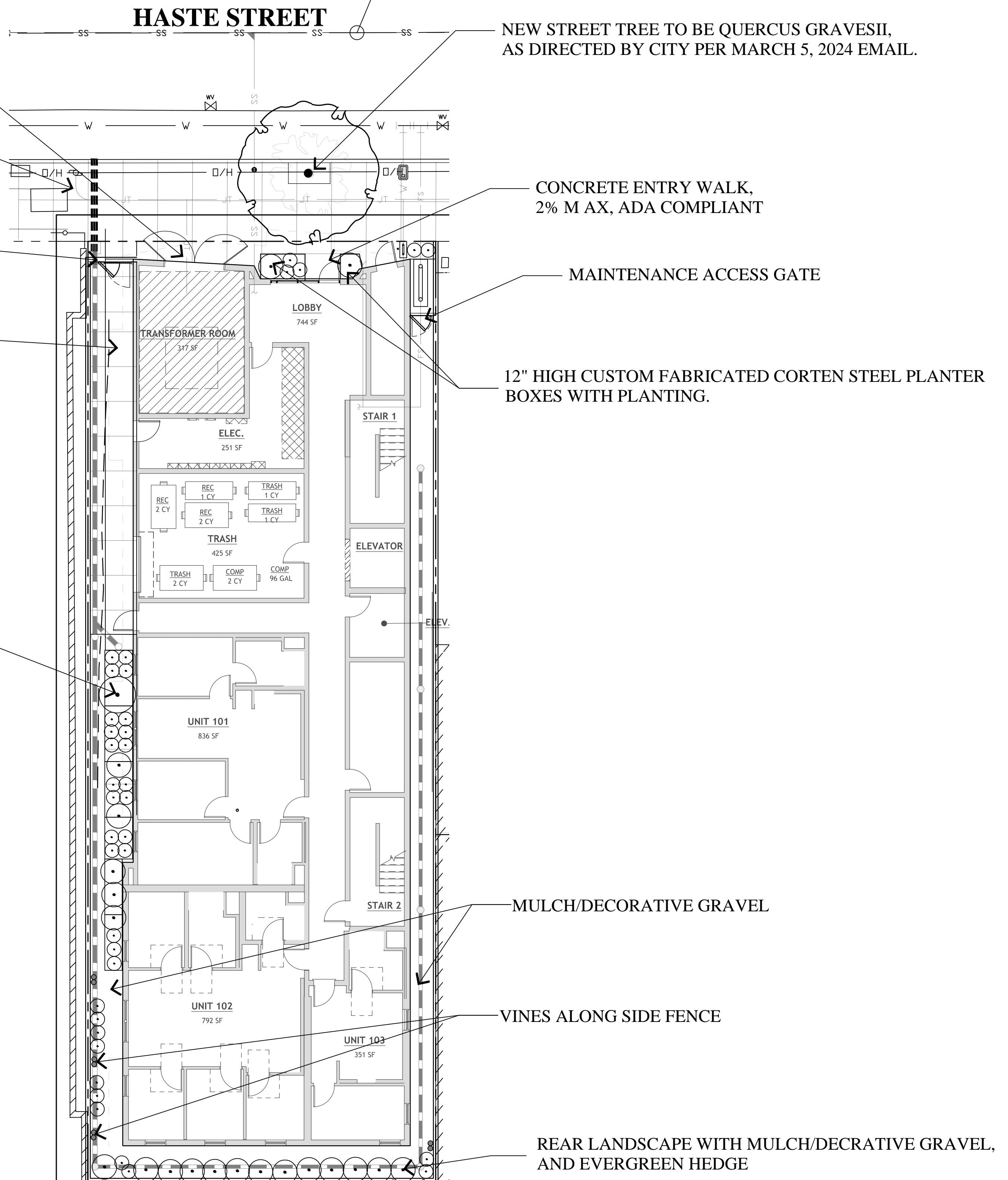
12" HIGH CUSTOM FABRICATED CORTEN STEEL PLANTER  
 BOXES WITH PLANTING.

PREFABRICATED FLOW THROUGH BIO  
 PLANTERS PER CIVIL ENGINEER,  
 WITH C3 PLANTING.



NOTE:  
 1. ROOT CONTROL BARRIER PANELS SHALL BE REQUIRED WHERE  
 TREES IS WITHIN 10' FROM PAVING. ROOT SOLUTIONS ROOT  
 BARRIER OR EQUAL MAY BE USED. LENGTH OF BARRIER TO BE  
 CENTERED ON TREE.

**A TREE PLANTING AND STAKING DETAIL** SCALE: 1/2" = 1'-0"  
 024 - Tree01.dwg



MULCH/DECORATIVE GRAVEL

VINES ALONG SIDE FENCE

REAR LANDSCAPE WITH MULCH/DECORATIVE GRAVEL,  
 AND EVERGREEN HEDGE

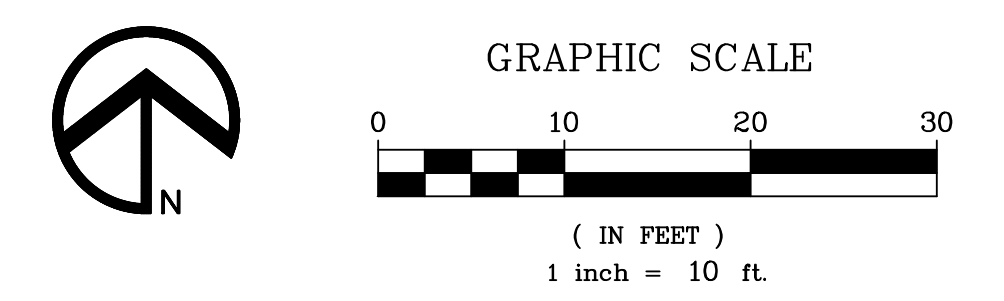
**PRELIMINARY PROPOSED PLANT PALETTE**

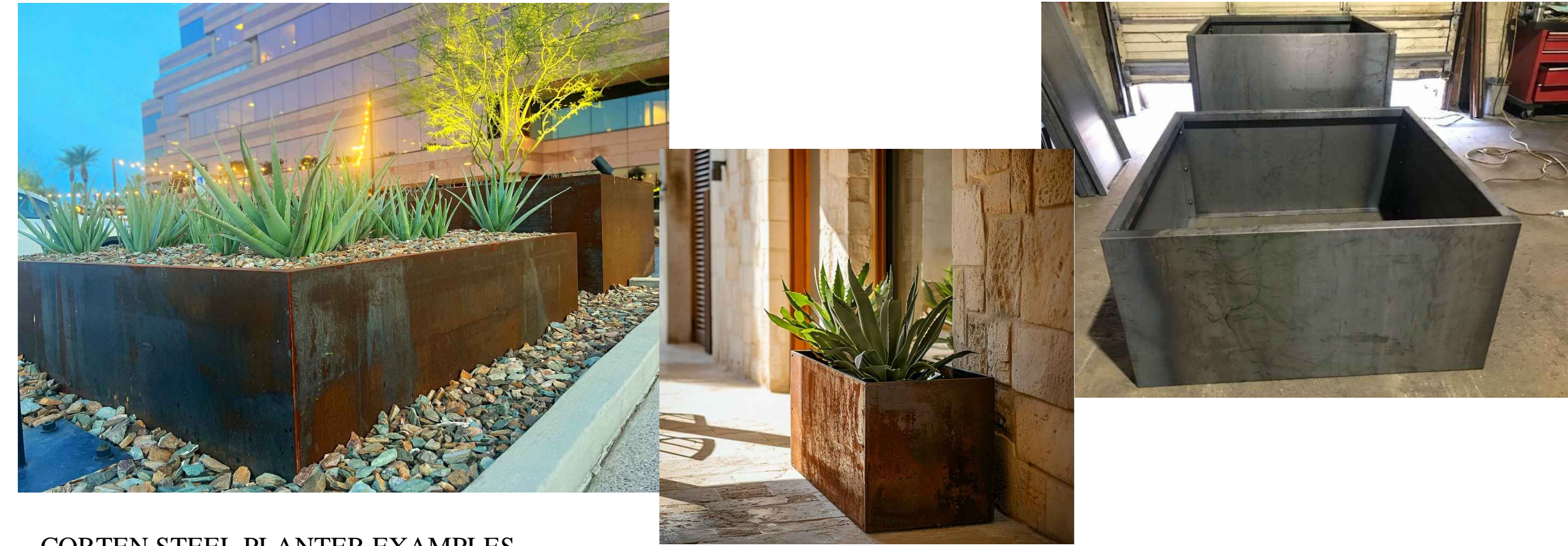
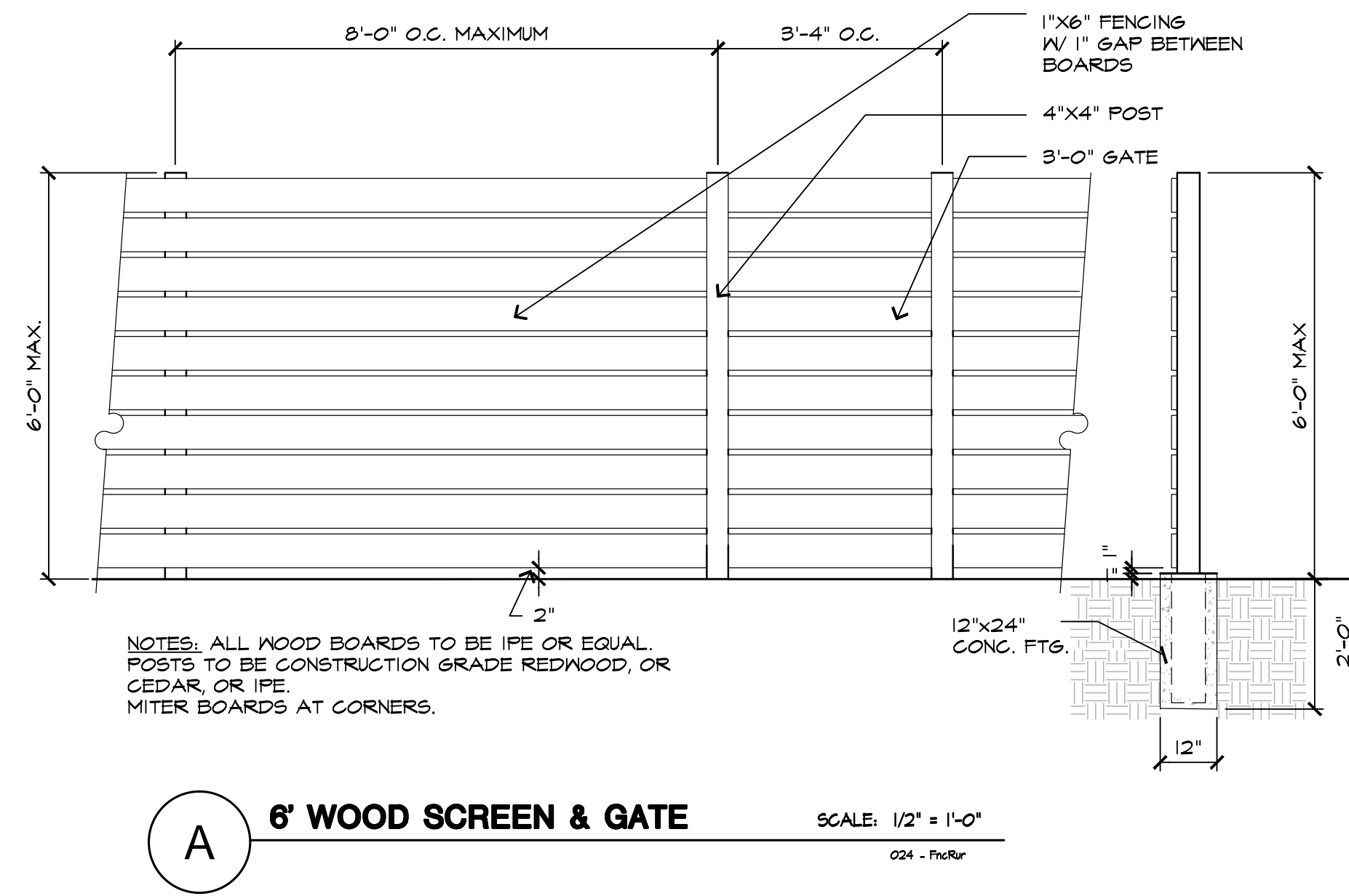
BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
<b>STREET TREES</b>			
QUERCUS GRAVESII	GRAVES OAK	24" BOX	LOW
<b>SHRUBS</b>			
CAREX TUMULICOLA* (N)	BERKELEY SEDGE	1 GALLON	MED
CHORONDEPetalum TECTORUM*	CAPE RUSH	5 GALLON	LOW
EUONYMUS J. 'GREEN SPIRES'	GREEN SPIRES EUONYMUS	5 GALLON	LOW
IRIS DOUGLASHI (N)	PACIFIC COAST IRIS	1 GALLON	LOW
JUNCUS SPP.* (N)	RUSH	1 GALLON	MED
LAVATERA ASSErgENTIFLORA (N)	CA TREE MALLOW	5 GALLON	LOW
MAHONIA REPENS (N)(P)	DWARF OREGON GRAPE	5 GALLON	LOW
RHAMNUS CAL. 'LITTLE SUR' (N)	DWARF COFFEEBERRY	5 GALLON	LOW
RIBES AUREUM* (N) (P)	GOLDEN CURRANT	5 GALLON	LOW
WESTRINGIA F. 'GREY BOX'	DWARF COAST ROSEMARY	5 GALLON	LOW
<b>VINES</b>			
GELSEMIUM SEMPERVIRENS	CAROLINA JESSAMINE	5 GALLON	LOW
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	5 GALLON	LOW

\* - C3 BIO RETENTION PLANTS  
 (N) - CALIFORNIA NATIVE PLANTS - APPROXIMATELY 35% OF TOTAL SHRUBS WILL BE CALIFORNIA NATIVE  
 (P) - POLLINATOR PLANT - SOURCES ARE WWW.CNPS.ORG AND CALSCAPE.ORG.  
 STD. - STANDARD FORM

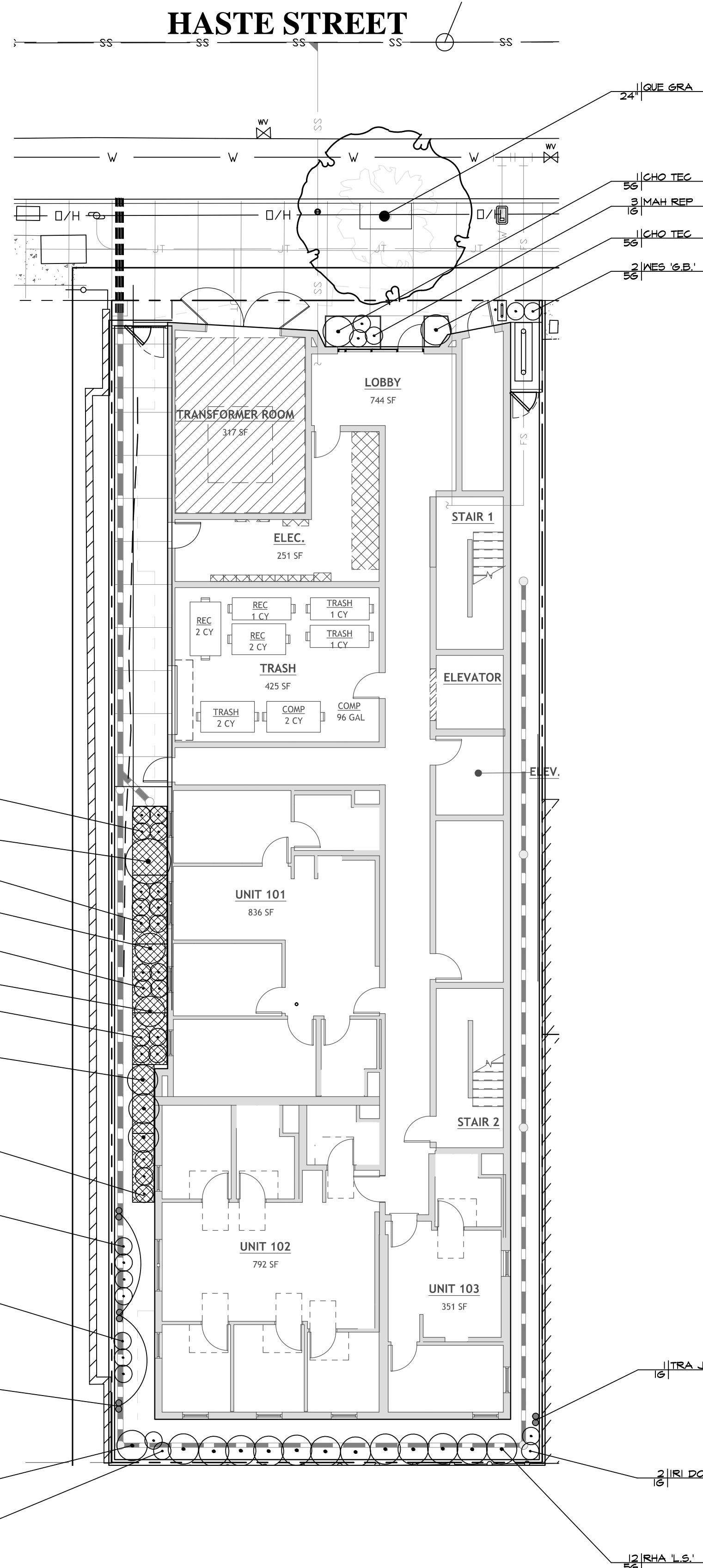
**NOTES:**

- ALL TREES SHALL BE PLANTED AND STAKED PER CITY STANDARDS.
- TREES BE PLANTED WITHIN 3' OF HARDSCAPE ELEMENTS, SHALL HAVE A LINEAR ROOT BARRIER INSTALLED ADJACENT TO THE HARDSCAPE ELEMENT AT TIME OF TREE PLANTING.
- LANDSCAPE AND IRRIGATION SHALL COMPLY WITH CITY'S CURRENT WATER-EFFICIENT LANDSCAPE ORDINANCE.
- ALL PLANTING AREAS SHALL BE AUTOMATICALLY IRRIGATED PER CITY STANDARDS. USING LOW-FLOW SPRAY, BUBBLERS OR DRIP METHODS.
- ALL PLANTING AREAS SHALL BE MULCHED TO A MINIMUM DEPTH OF 3" TO ACHIEVE A MINIMUM 6% ORGANIC MATTER IN SOIL COMPOSITION BASED ON A MWEL0 SPECIFIED SOIL ANALYSIS RESULTS FOR THE SITE SOIL.





CORTEN STEEL PLANTER EXAMPLES



**PRELIMINARY PROPOSED PLANT PALETTE**

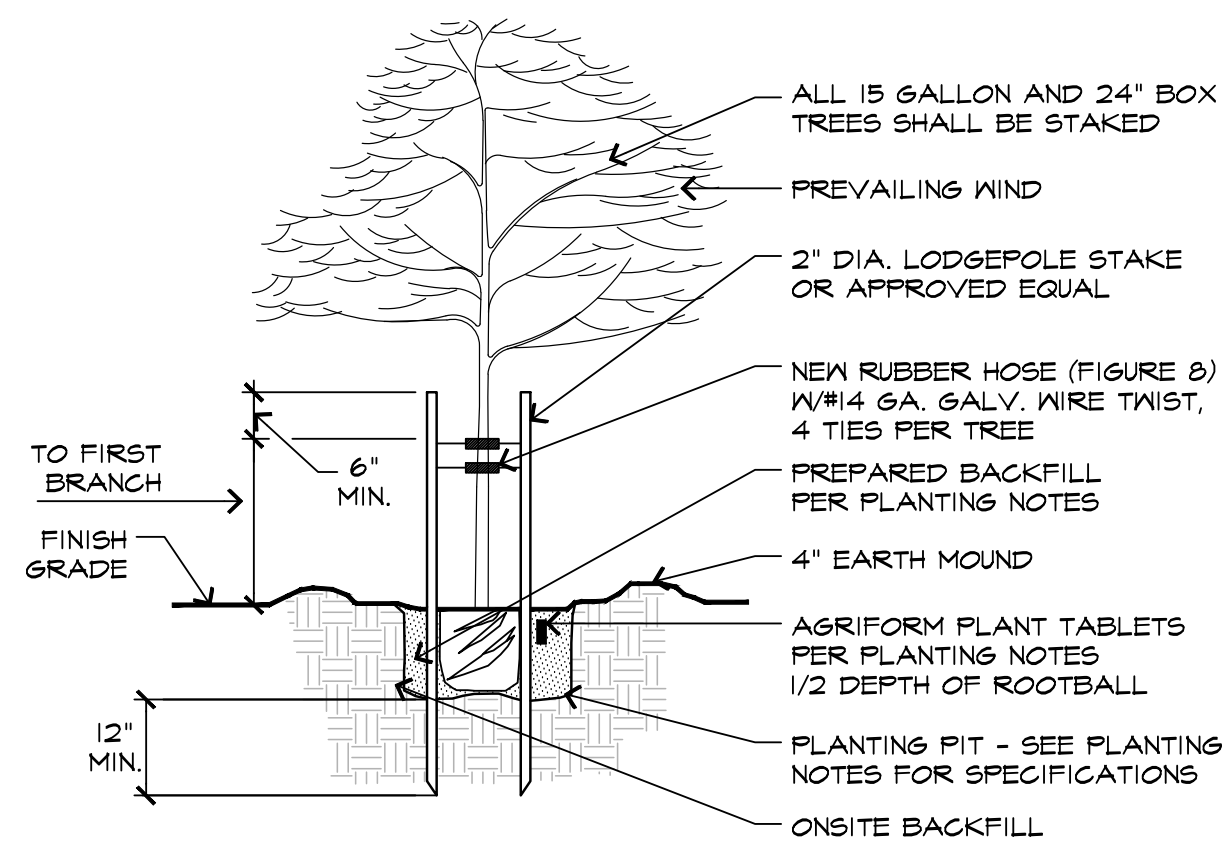
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
<b>STREET TREES</b>				
QUE GRA	QUERCUS GRAVESII	GRAVES OAK	24" BOX	LOW
<b>SHRUBS</b>				
CAR TUM	CAREX TUMULICOLA* (N)	BERKELEY SEDGE	1 GALLON	MED
CHO TEC	CHORONDOPETALUM TECTORUM*	CAPE RUSH	5 GALLON	LOW
EJO 'G.S.'	EUONYMUS J. 'GREEN SPIRES'	GREEN SPIRES EUONYMUS	5 GALLON	LOW
IRI DOU	IRIS DOUGLASSI (N)	PACIFIC COAST IRIS	1 GALLON	LOW
JUN PAT	JUNCUS SPP.* (N)	RUSH	1 GALLON	MED
LAV ASS	LAVATERA ASSERGENTIFLORA (N)	CA TREE MALLOW	5 GALLON	LOW
MAH REP	MAHONIA REPENS (N)(P)	DWARF OREGON GRAPE	5 GALLON	LOW
RHA 'L.S.'	RHAMNUS CAL. 'LITTLE SUR' (N)	DWARF COFFEEBERRY	5 GALLON	LOW
RIB AUR	RIBES AUREUM* (N) (P)	GOLDEN CURRANT	5 GALLON	LOW
WES 'G.B.'	WESTRINGIA F. 'GREY BOX'	DWARF COAST ROSEMARY	5 GALLON	LOW

**VINES**

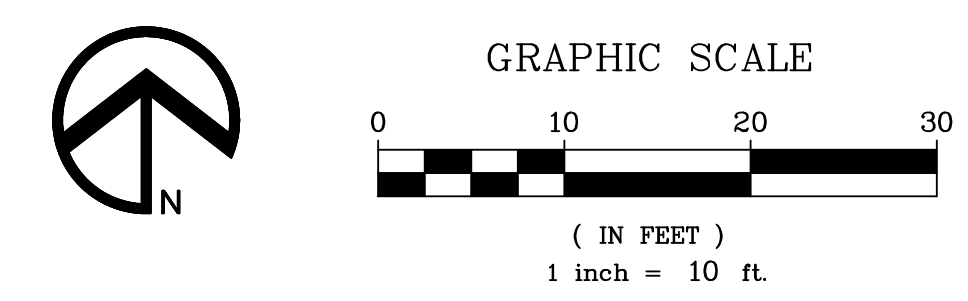
GEL SEM	GELSEMIUM SEMPERVIRENS	CAROLINA JESSAMINE	5 GALLON	LOW
TRA JAS	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	5 GALLON	LOW

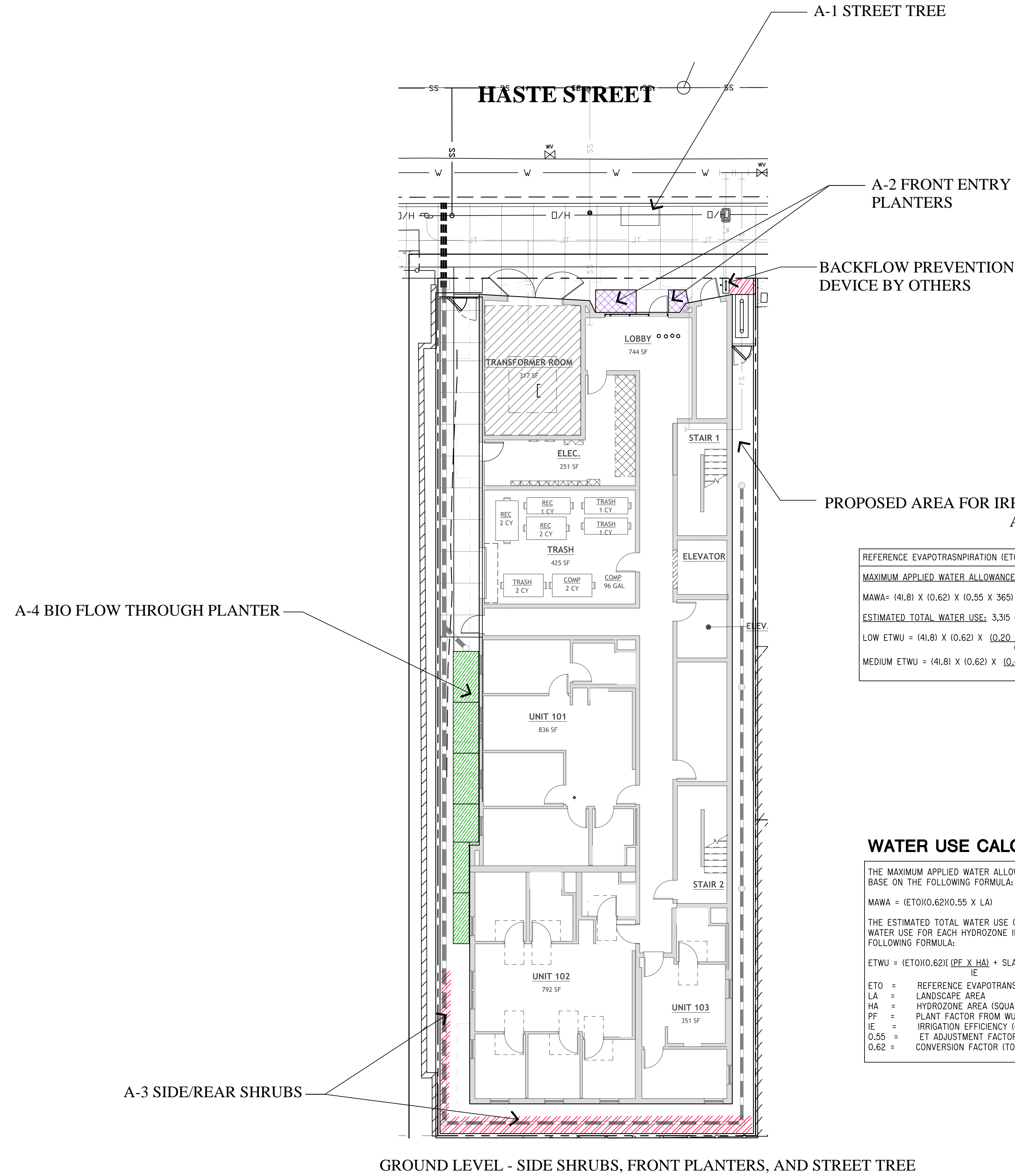
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 STD. - STANDARD FORM

- NOTES:**
- ALL TREES SHALL BE PLANTED AND STAKED PER CITY STANDARDS.
  - TREES BE PLANTED WITHIN 3' OF HARDSCAPE ELEMENTS, SHALL HAVE A LINEAR ROOT BARRIER INSTALLED ADJACENT TO THE HARDSCAPE ELEMENT AT TIME OF TREE PLANTING.
  - LANDSCAPE AND IRRIGATION SHALL COMPLY WITH CITY'S CURRENT WATER-EFFICIENT LANDSCAPE ORDINANCE.
  - ALL PLANTING AREAS SHALL BE AUTOMATICALLY IRRIGATED PER CITY STANDARDS, USING LOW-FLOW SPRAY, BUBBLERS OR DRIP METHODS.
  - ALL PLANTING AREAS SHALL BE MULCHED TO A MINIMUM DEPTH OF 3" TO ACHIEVE A MINIMUM 6% ORGANIC MATTER IN SOIL COMPOSITION BASED ON A MWEL0 SPECIFIED SOIL ANALYSIS RESULTS FOR THE SITE SOIL.



**A TREE PLANTING AND STAKING DETAIL** SCALE: 1/2" = 1'-0"  
 024 - Tree09.dwg





**IRRIGATION SYSTEM LEGEND**

SYMBOL	DESCRIPTION	SPECIFICATION	NOZZLE GPM	OPERATING PSI
⊠	IRRIGATION WATER METER	-PER CIVIL ENGINEER		
⊙	ELECTRIC CONTROLLER	-HUNTER-HC-1200i (ET-BASED) - OR EQUIVALENT -HUNTER RAIN CLIK AND/OR SOIL-CLIK SENSORS		
⊠	BACKFLOW PREVENTOR	-ZURN-3/4" WILKINS 975XL W/ "Y" STRAINER - OR EQUAL		
⊠	PRESSURE REGULATOR	-ZURN-3/4" NR3XL PRESSURE REDUCING VALVE SINGLE UNION COPPER SWEAT X NPT CONNECTION LEAD FREE - OR EQUAL		
⊠	3/4" IRRIGATION WATER SUBMETER	-HUNTER-HC-075-FLOW		
⊠	RAIN SENSOR	-HUNTER RAIN-CLIK, OR COMPATIBLE EQUAL		
⊠	MASTER VALVE	-HUNTER-IBV-101G-FS-ADJ		
⊠	FLOW SENSOR	-CREATIVE SENSOR TECHNOLOGY FSI-T10-001		
⊠	REMOTE CONTROL VALVES	-HUNTER-ICV-101G-FS		
⊠	REMOTE CONTROL VALVES	-HUNTER-ICZ-101-LF		
⊠	BALL VALVE	-NIBCO-T-FP-600N OR EQUAL- MAINLINE SIZE		
•	BUBBLER (2 PER TREE)	-HUNTER-PCB-25 OR EQUAL	0.25	30
•	BUBBLER (SHRUB)	-PEPCO-OCTA-BUBBLER (2GPH)	0.27	30
—	2" IRRIGATION SUPPLYLINE	-CLASS 315 OR C900 CLASS 200	-18" COVER	
—	IRRIGATION SPRINKLERLINE	-1120/CLASS 200 PVC PIPE	-12" COVER	
—	ELECTRICAL CONDUIT	-1120/SCHEDULE 80 PVC PIPE	-24" COVER	
—	SLEEVING	-1120/SCHEDULE 40 PVC PIPE	-24" COVER	
⊠	CONTROLLER STATION NUMBER			
⊠	GALLONS PER MINUTE THROUGH VALVE			
⊠	CONTROL VALVE SIZE			

**PROPOSED AREA FOR IRRIGATION VALVES AND CONTROLLER**

REFERENCE EVAPOTRANSPIRATION (ETO) : 41.8
MAXIMUM APPLIED WATER ALLOWANCE: 10,91 GAL/YR
MAWA= (41.8) X (0.62) X (0.55 X 365) = 5,203 GAL/YR
ESTIMATED TOTAL WATER USE: 3,315 GAL/YR (1,357 + 1,958)
LOW ETWU = (41.8) X (0.62) X (0.20 X 212) = 1,357 GAL/YR
MEDIUM ETWU = (41.8) X (0.62) X (0.40 X 153) = 1,958 GAL/YR

**WATER USE CALCULATIONS:**

THE MAXIMUM APPLIED WATER ALLOWANCE (MAWA) IN GALLONS PER YEAR IS BASE ON THE FOLLOWING FORMULA:

$$MAWA = (ETO)(0.62)(0.55 \times LA)$$

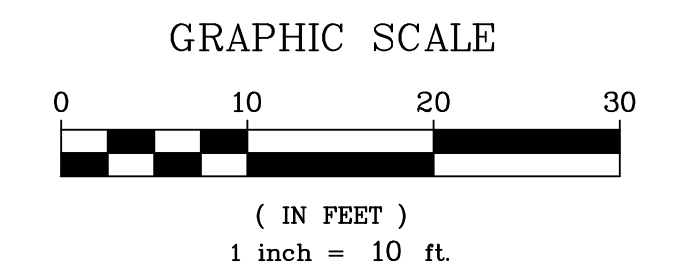
THE ESTIMATED TOTAL WATER USE (ETWU) IS THE SUM TOTAL OF ESTIMATED WATER USE FOR EACH HYDROZONE IN GALLONS PER YEAR AND IS BASED ON THE FOLLOWING FORMULA:

$$ETWU = (ETO)(0.62)(PF \times HA) + SLA$$

ETO = REFERENCE EVAPOTRANSPIRATION (INCHES PER YEAR)  
 LA = LANDSCAPE AREA  
 HA = HYDROZONE AREA (SQUARE FEET)  
 PF = PLANT FACTOR FROM WUCOLS  
 IE = IRRIGATION EFFICIENCY (0.8)  
 0.55 = ET ADJUSTMENT FACTOR  
 0.62 = CONVERSION FACTOR (TO GALLONS)

**LANDSCAPE HYDROZONE LEGEND**

NAME	TYPE	WATER USE	DESCRIPTION
A-1	BUBBLER	LOW	STREET TREE - FRONT/SIDEWALK (10 SQ FEET)
A-2	DRIP	LOW	SHRUBS- FRONT ENTRY PLANTERS (108 SQ FEET)
A-3	DRIP	LOW	SHRUBS- SIDE AND REAR GROUND LEVEL (337 SQ FEET)
A-4	DRIP	MEDIUM	SHRUBS- BIO FLOW THROUGH PLANTER, REAR (170 SQ FEET)



**HASTE STREET**

NEW STREET TREE TO BE QUERCUS GRAVESII,  
 AS DIRECTED BY CITY PER MARCH 5, 2024 EMAIL.

**PRELIMINARY PROPOSED PLANT PALETTE**

BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
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<b>SHRUBS</b>			
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JUNCUS SPP.* (N)	RUSH	1 GALLON	MED
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MAHONIA REPENS (N)(P)	DWARF OREGON GRAPE	5 GALLON	LOW
RHAMNUS CAL. 'LITTLE SUR' (N)	DWARF COFFEEBERRY	5 GALLON	LOW
RIBES AUREUM* (N) (P)	GOLDEN CURRANT	5 GALLON	LOW
WESTRINGIA F. 'GREY BOX'	DWARF COAST ROSEMARY	5 GALLON	LOW
<b>VINES</b>			
GELSEMIUM SEMPERVIRENS	CAROLINA JESSAMINE	5 GALLON	LOW
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 (N) - CALIFORNIA NATIVE PLANTS - APPROXIMATELY 35% OF TOTAL SHRUBS WILL BE CALIFORNIA NATIVE  
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**NOTES:**

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TRANSFORMER ACCESS DOORS

EXISTING CONCRETE SIDEWALK

NEW 6' HIGH HORIZONTAL WOOD FENCE  
 AND DOUBLE/WIDE GATE.  
 REFER TO DETAIL A, SHEET L2.

7' WIDE CONCRETE WALK

CONCRETE ENTRY WALK,  
 2% M AX, ADA COMPLIANT

MAINTENANCE ACCESS GATE

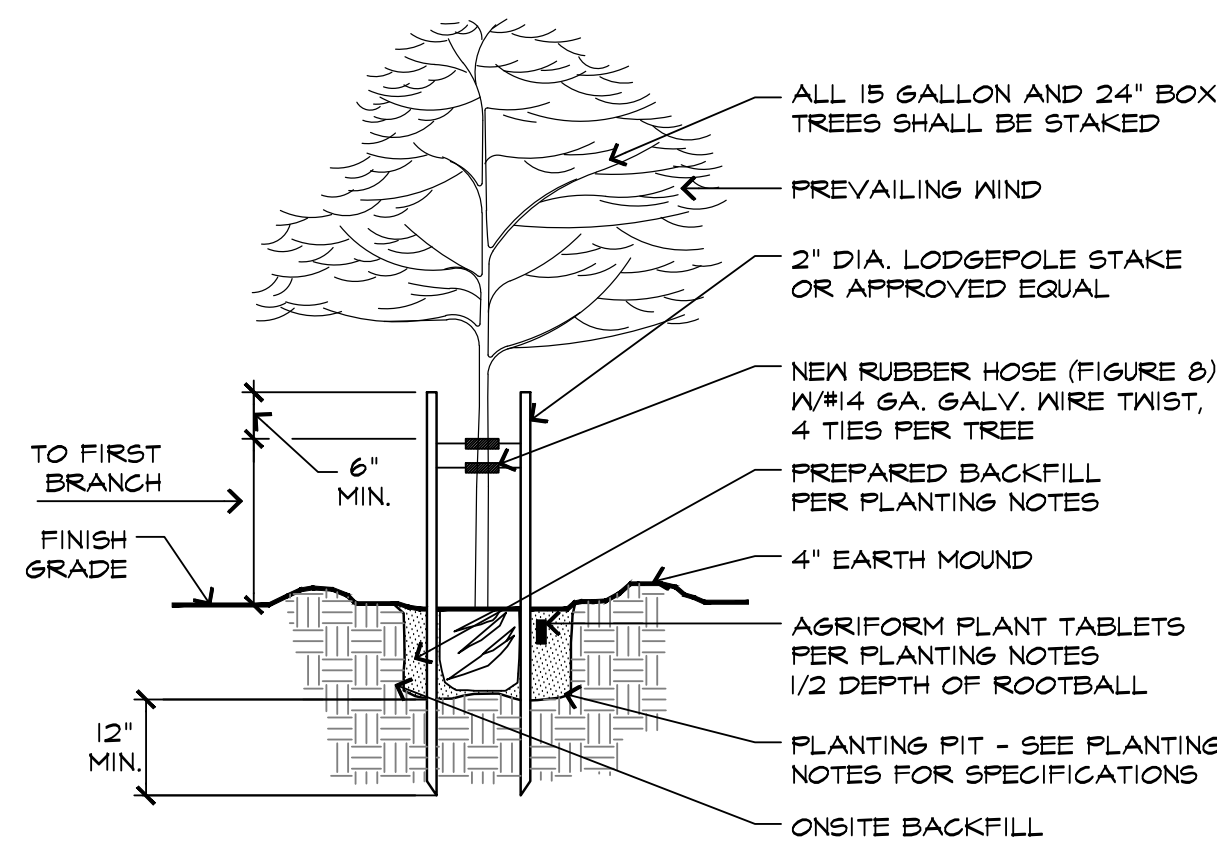
12" HIGH CUSTOM FABRICATED CORTEN STEEL PLANTER  
 BOX WITH PLANTING.

PREFABRICATED FLOW THROUGH BIO  
 PLANTERS PER CIVIL ENGINEER,  
 WITH C3 PLANTING.

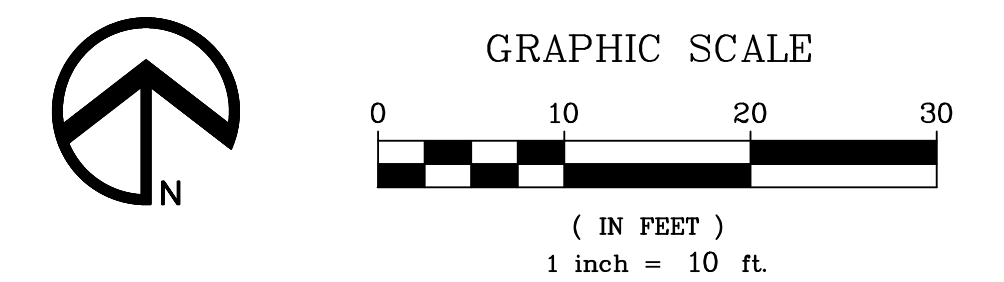
MULCH/DECORATIVE GRAVEL

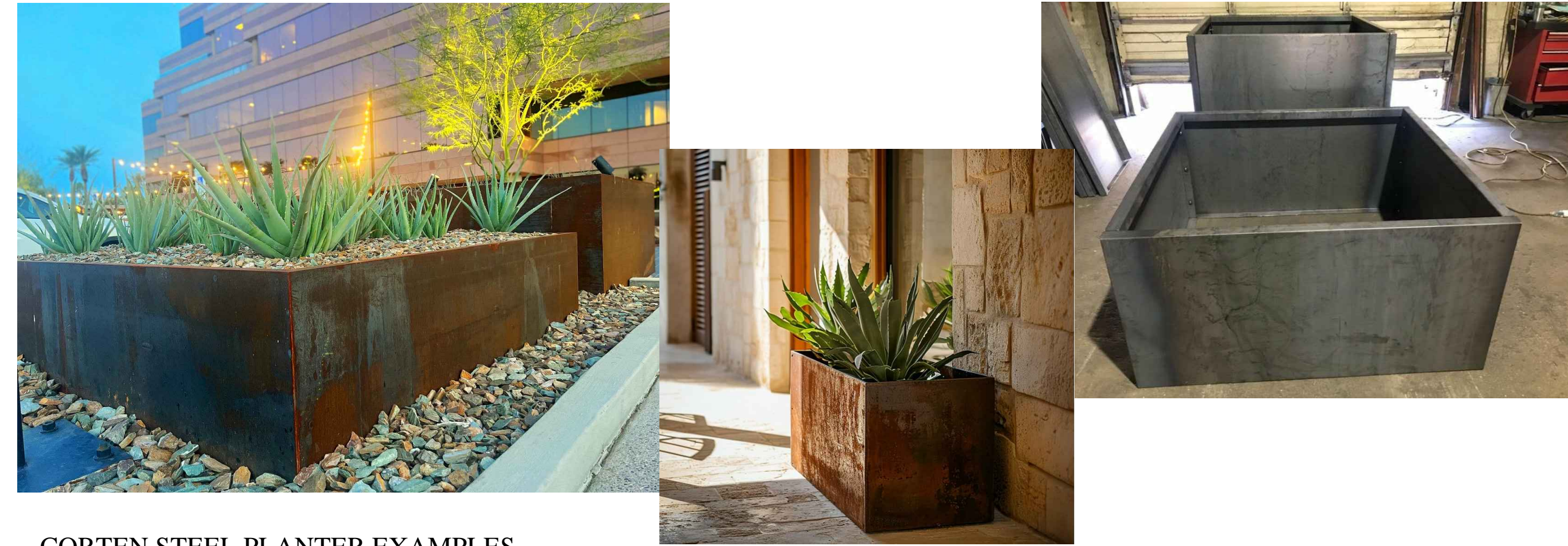
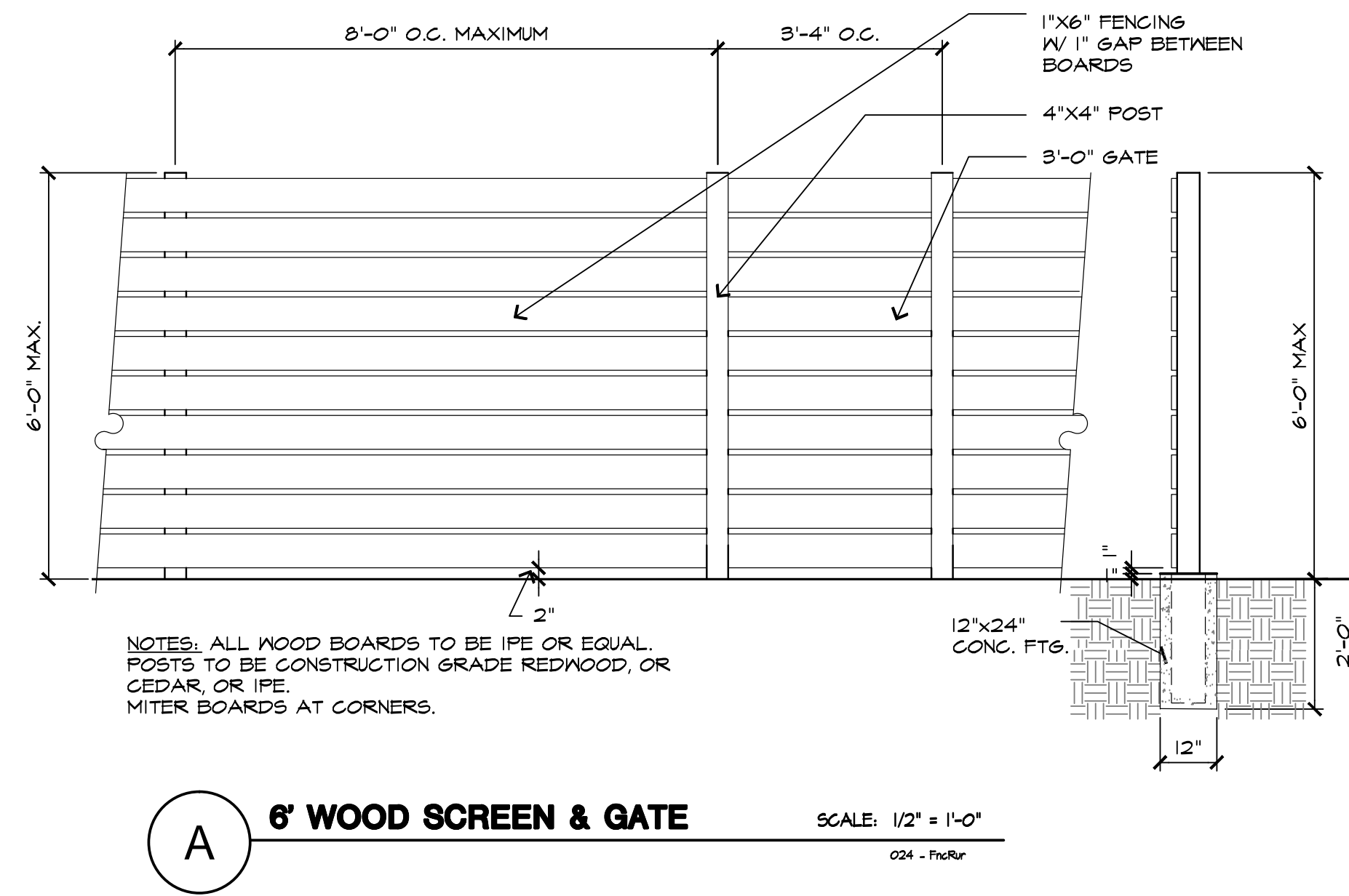
VINE

REAR LANDSCAPE WITH MULCH/DECORATIVE GRAVEL,  
 AND EVERGREEN HEDGE

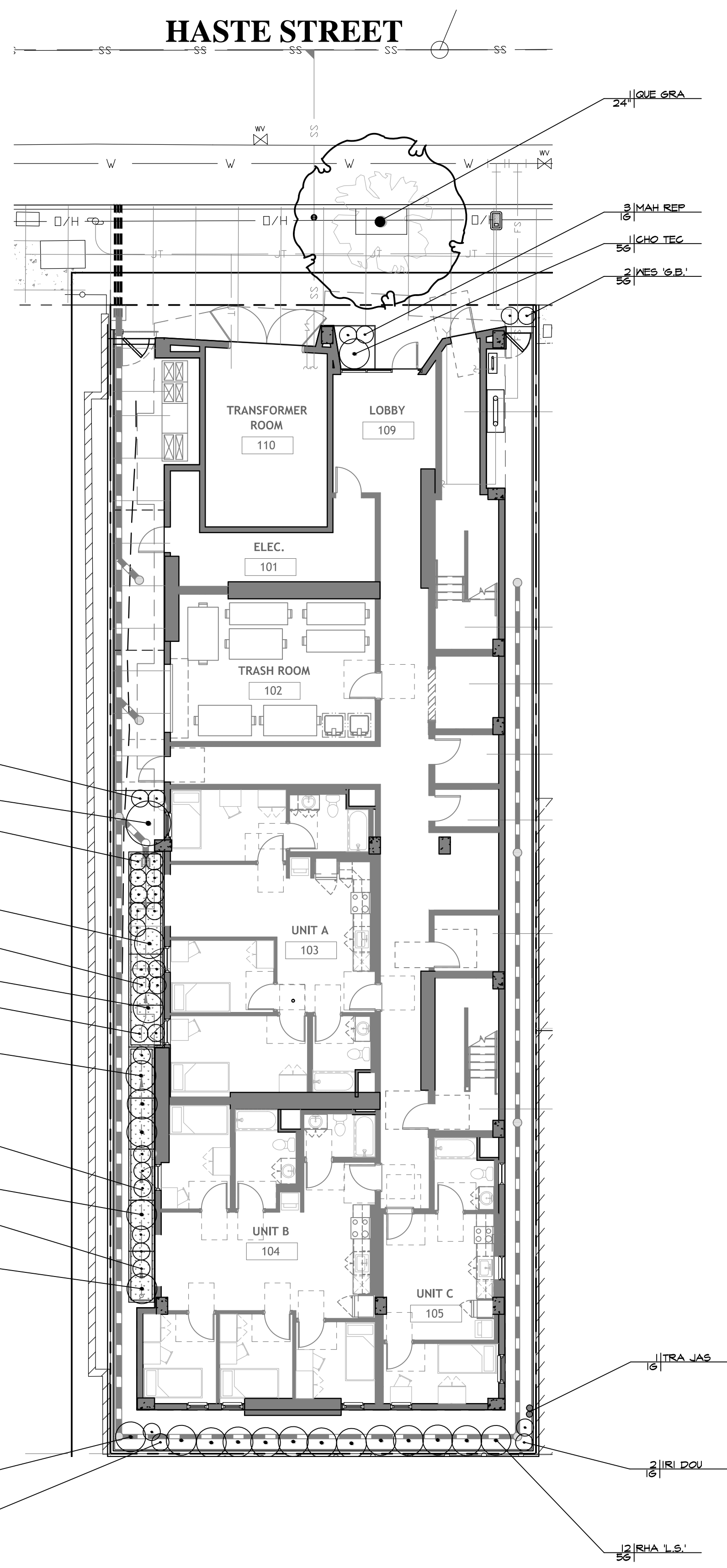


**A TREE PLANTING AND STAKING DETAIL** SCALE: 1/2" = 1'-0"  
 024 - trees09.dwg





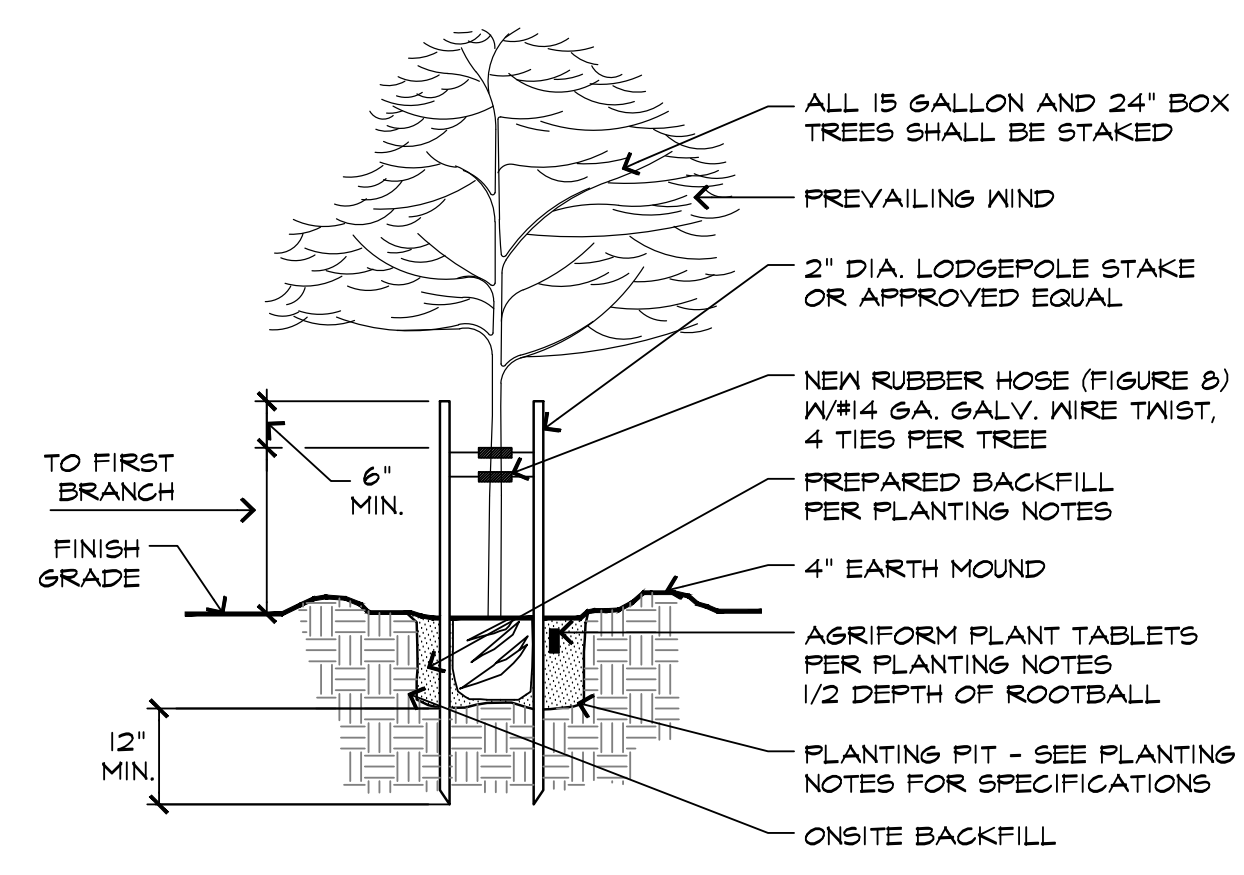
CORTEN STEEL PLANTER EXAMPLES



**PRELIMINARY PROPOSED PLANT PALETTE**

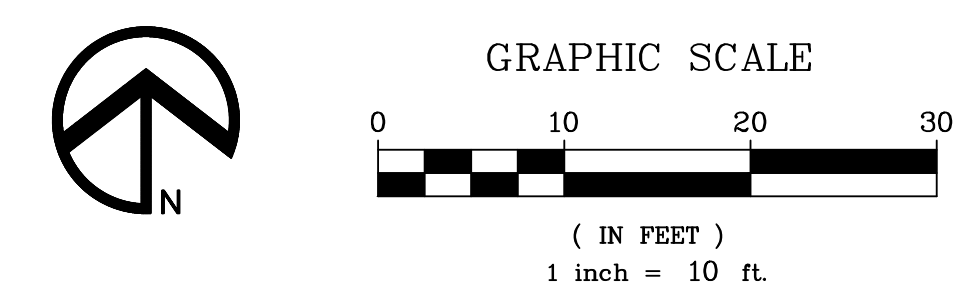
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
<b>STREET TREES</b>				
QUE GRA	QUERCUS GRAVESII	GRAVES OAK	24" BOX	LOW
<b>SHRUBS</b>				
CAR TUM	CAREX TUMULICOLA* (N)	BERKELEY SEDGE	1 GALLON	MED
CHO TEC	CHORONDOPETALUM TECTORUM*	CAPE RUSH	5 GALLON	LOW
EJO 'G.S.'	EUONYMUS J. 'GREEN SPIRES'	GREEN SPIRES EUONYMUS	5 GALLON	LOW
IRI DOU	IRIS DOUGLASSII (N)	PACIFIC COAST IRIS	1 GALLON	LOW
JUN PAT	JUNCUS SPP.* (N)	RUSH	1 GALLON	MED
LAV ASS	LAVATERA ASSEAGENTIFLORA (N)	CA TREE MALLOW	5 GALLON	LOW
MAH REP	MAHONIA REPENS (N)(P)	DWARF OREGON GRAPE	5 GALLON	LOW
RHA 'L.S.'	RHAMNUS CAL. 'LITTLE SUR' (N)	DWARF COFFEEBERRY	5 GALLON	LOW
RIB AUR	RIBES AUREUM* (N) (P)	GOLDEN CURRANT	5 GALLON	LOW
WES 'G.B.'	WESTRINGIA F. 'GREY BOX'	DWARF COAST ROSEMARY	5 GALLON	LOW
<b>VINES</b>				
TRA JAS	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	5 GALLON	LOW

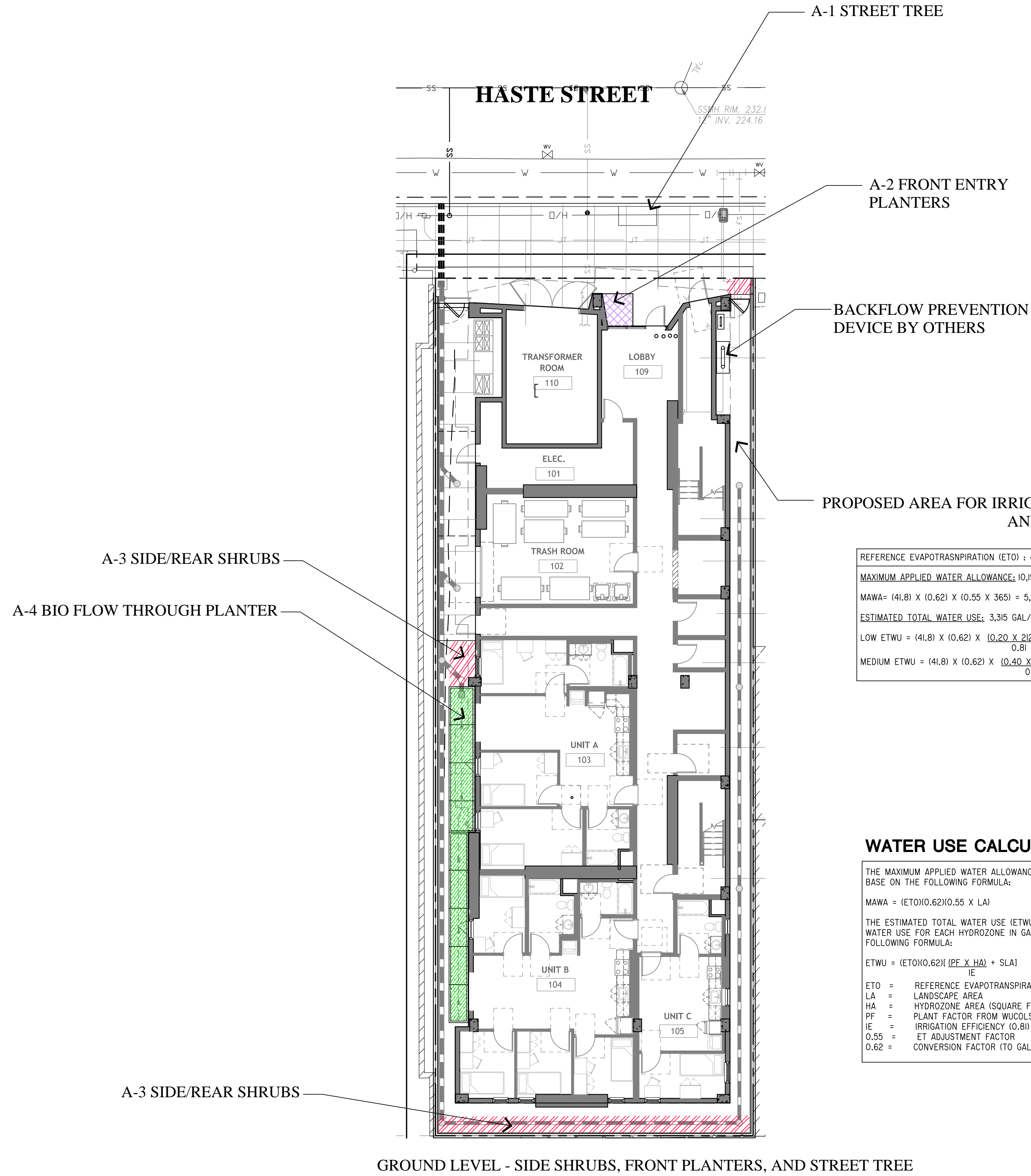
\* - C3 BIO RETENTION PLANTS  
 (N) - CALIFORNIA NATIVE PLANTS - APPROXIMATELY 35% OF TOTAL SHRUBS WILL BE CALIFORNIA NATIVE  
 (P) - POLLINATOR PLANT - SOURCES ARE WWW.CNPS.ORG AND CALSCAPE.ORG.  
 STD. - STANDARD FORM



**A TREE PLANTING AND STAKING DETAIL** SCALE: 1/2" = 1'-0"  
 024 - TreePlanting

- NOTES:**
- ALL TREES SHALL BE PLANTED AND STAKED PER CITY STANDARDS.
  - TREES BE PLANTED WITHIN 3' OF HARDSCAPE ELEMENTS, SHALL HAVE A LINEAR ROOT BARRIER INSTALLED ADJACENT TO THE HARDSCAPE ELEMENT AT TIME OF TREE PLANTING.
  - LANDSCAPE AND IRRIGATION SHALL COMPLY WITH CITY'S CURRENT WATER-EFFICIENT LANDSCAPE ORDINANCE.
  - ALL PLANTING AREAS SHALL BE AUTOMATICALLY IRRIGATED PER CITY STANDARDS. USING LOW-FLOW SPRAY, BUBBLERS OR DRIP METHODS.
  - ALL PLANTING AREAS SHALL BE MULCHED TO A MINIMUM DEPTH OF 3" TO ACHIEVE A MINIMUM 6% ORGANIC MATTER IN SOIL COMPOSITION BASED ON A MWEL0 SPECIFIED SOIL ANALYSIS RESULTS FOR THE SITE SOIL.





**IRRIGATION SYSTEM LEGEND**

SYMBOL	DESCRIPTION	SPECIFICATION	NOZZLE GPM	OPERATING PSI
⊠	IRRIGATION WATER METER	-PER CIVIL ENGINEER		
⊙	ELECTRIC CONTROLLER	-HUNTER-HC-1200i (ET-BASED) - OR EQUIVALENT -HUNTER RAIN CLIK AND/OR SOIL-CLIK SENSORS		
⊠	BACKFLOW PREVENTOR	-ZURN-3/4" WILKINS 975XL W/ "Y" STRAINER - OR EQUAL		
⊠	PRESSURE REGULATOR	-ZURN-3/4" NR3XL PRESSURE REDUCING VALVE SINGLE UNION COPPER SWEAT X NPT CONNECTION LEAD FREE - OR EQUAL		
⊠	3/4" IRRIGATION WATER SUBMETER	-HUNTER-HC-075-FLOW		
⊠	RAIN SENSOR	-HUNTER RAIN-CLIK, OR COMPATIBLE EQUAL		
⊠	MASTER VALVE	-HUNTER-IBV-101G-FS-ADJ		
⊠	FLOW SENSOR	-CREATIVE SENSOR TECHNOLOGY FSI-T10-001		
⊠	REMOTE CONTROL VALVES	-HUNTER-ICV-101G-FS		
⊠	REMOTE CONTROL VALVES	-HUNTER-ICZ-101-LF		
⊠	BALL VALVE	-NIBCO-T-FP-600N OR EQUAL- MAINLINE SIZE		
•	BUBBLER (2 PER TREE)	-HUNTER-PCB-25 OR EQUAL	0.25	30
•	BUBBLER (SHRUB)	-PEPCO-OCTA-BUBBLER (2GPH)	0.27	30
---	2" IRRIGATION SUPPLYLINE	-CLASS 315 OR C900 CLASS 200	-18" COVER	
---	IRRIGATION SPRINKLERLINE	-1120/CLASS 200 PVC PIPE	-12" COVER	
---	ELECTRICAL CONDUIT	-1120/SCHEDULE 80 PVC PIPE	-24" COVER	
---	SLEEVING	-1120/SCHEDULE 40 PVC PIPE	-24" COVER	
⊠	CONTROLLER STATION NUMBER			
⊠	GALLONS PER MINUTE THROUGH VALVE			
⊠	CONTROL VALVE SIZE			

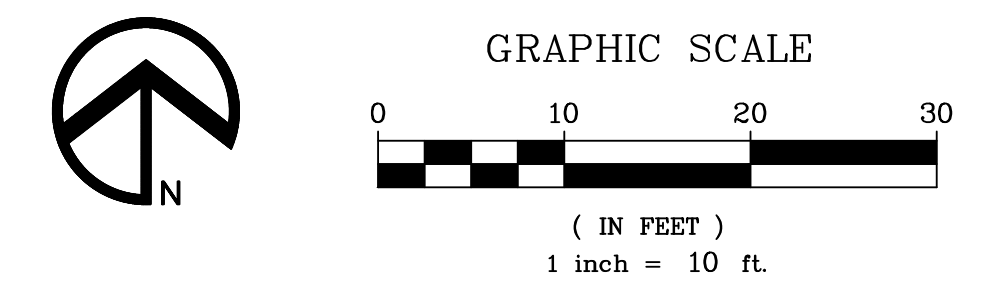
**LANDSCAPE HYDROZONE LEGEND**

NAME	TYPE	WATER USE	DESCRIPTION
A-1	BUBBLER	LOW	STREET TREE - FRONT/SIDEWALK (10 SQ FEET)
A-2	DRIP	LOW	SHRUBS- FRONT ENTRY PLANTERS (108 SQ FEET)
A-3	DRIP	LOW	SHRUBS- SIDE AND REAR GROUND LEVEL (337 SQ FEET)
A-4	DRIP	MEDIUM	SHRUBS- BIO FLOW THROUGH PLANTER, REAR (170 SQ FEET)

REFERENCE EVAPOTRANSPIRATION (ETO) : 41.8  
 MAXIMUM APPLIED WATER ALLOWANCE: 10,91 GAL/YR  
 MAWA= (41.8) X (0.62) X (0.55 X 365) = 5,203 GAL/YR  
 ESTIMATED TOTAL WATER USE: 3,315 GAL/YR (1,357 + 1,958)  
 LOW ETWU = (41.8) X (0.62) X (0.20 X 212) = 1,357 GAL/YR  
 MEDIUM ETWU = (41.8) X (0.62) X (0.40 X 153) = 1,958 GAL/YR

**WATER USE CALCULATIONS:**

THE MAXIMUM APPLIED WATER ALLOWANCE (MAWA) IN GALLONS PER YEAR IS BASE ON THE FOLLOWING FORMULA:  
 MAWA = (ETO)(0.62)(0.55 X LA)  
 THE ESTIMATED TOTAL WATER USE (ETWU) IS THE SUM TOTAL OF ESTIMATED WATER USE FOR EACH HYDROZONE IN GALLONS PER YEAR AND IS BASED ON THE FOLLOWING FORMULA:  
 ETWU = (ETO)(0.62)(PF X HA) + SLA  
 IE  
 ETO = REFERENCE EVAPOTRANSPIRATION (INCHES PER YEAR)  
 LA = LANDSCAPE AREA  
 HA = HYDROZONE AREA (SQUARE FEET)  
 PF = PLANT FACTOR FROM WUCOLS  
 IE = IRRIGATION EFFICIENCY (0.8)  
 0.55 = ET ADJUSTMENT FACTOR  
 0.62 = CONVERSION FACTOR (TO GALLONS)





QUERCUS GRAVESII - GRAVES OAK  
 (AS SPECIFIED BY CITY OF BERKELEY)  
**STREET TREE**



JUNCUS PATENS 'ELK BLUE'  
 CALIFORNIA GREY RUSH  
 CALIFORNIA NATIVE



GELSEMIUM SEMPERVIRENS (VINE)  
 CAROLINA JESSAMINE



LAVATERA ASSURGENTIFLORA  
 TREE MALLOW  
 CALIFORNIA NATIVE



RHAMNUS CAL. 'LITTLE SUR' -  
 DWARF COFFEEBERRY  
 CALIFORNIA NATIVE



EUONYMUS J. 'GREEN SPIRE'  
 GREEN SPIRE EUONYMUS

**FRONT AND SIDES**



RIBES AUREUM - GOLDEN CURRANT  
 CALIFORNIA NATIVE



CHONDROPETALUM TECTORUM  
 CAPE REED



JUNCUS PATENS 'ELK BLUE'  
 CALIFORNIA GREY RUSH  
 CALIFORNIA NATIVE



MAHONIA REPENS - LOW OREGON GRAPE  
 CALIFORNIA NATIVE

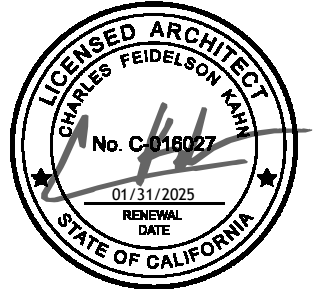


PACIFIC COAST IRIS  
 IRIS PACIFIC COAST HYBRID  
 CALIFORNIA NATIVE



CAREX TUMULICOLA 'DIVULOSA'  
 BERKELEY SEDGE  
 CALIFORNIA NATIVE

**BIO RETENTION/FLOW THROUGH PLANTERS**



ENTITLEMENTS

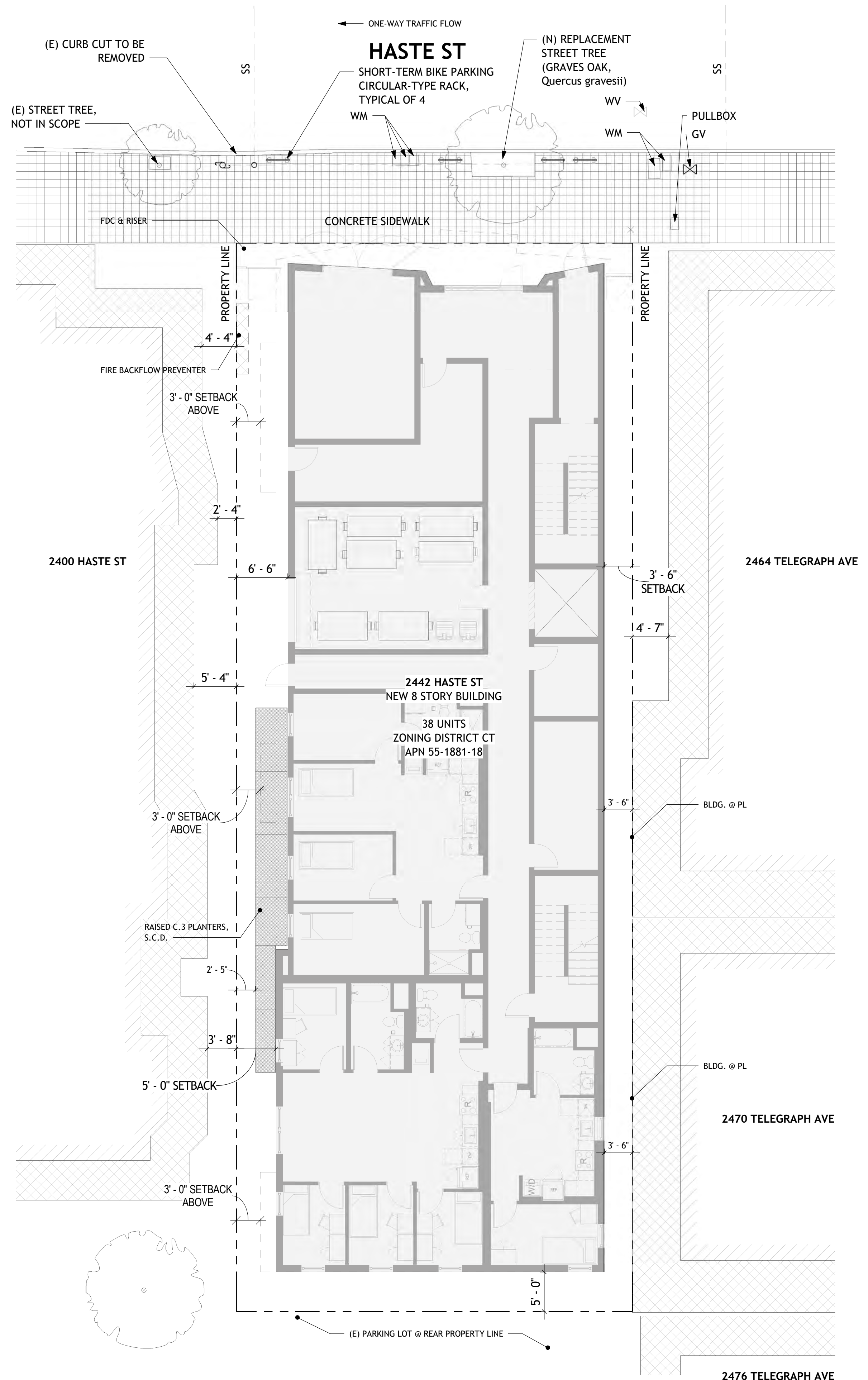
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PROJECT NO: HEE01

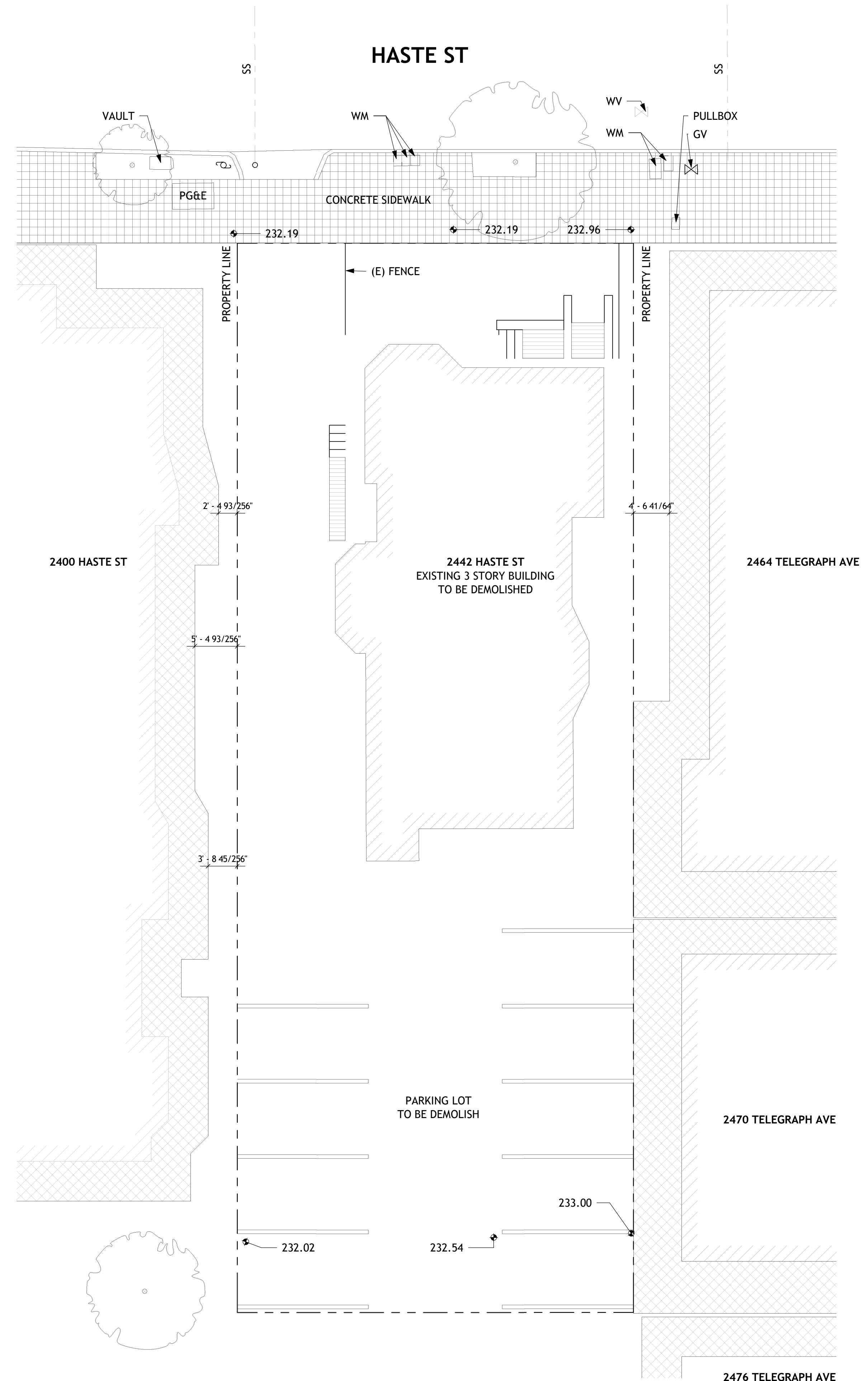
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SITE PLAN

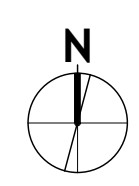
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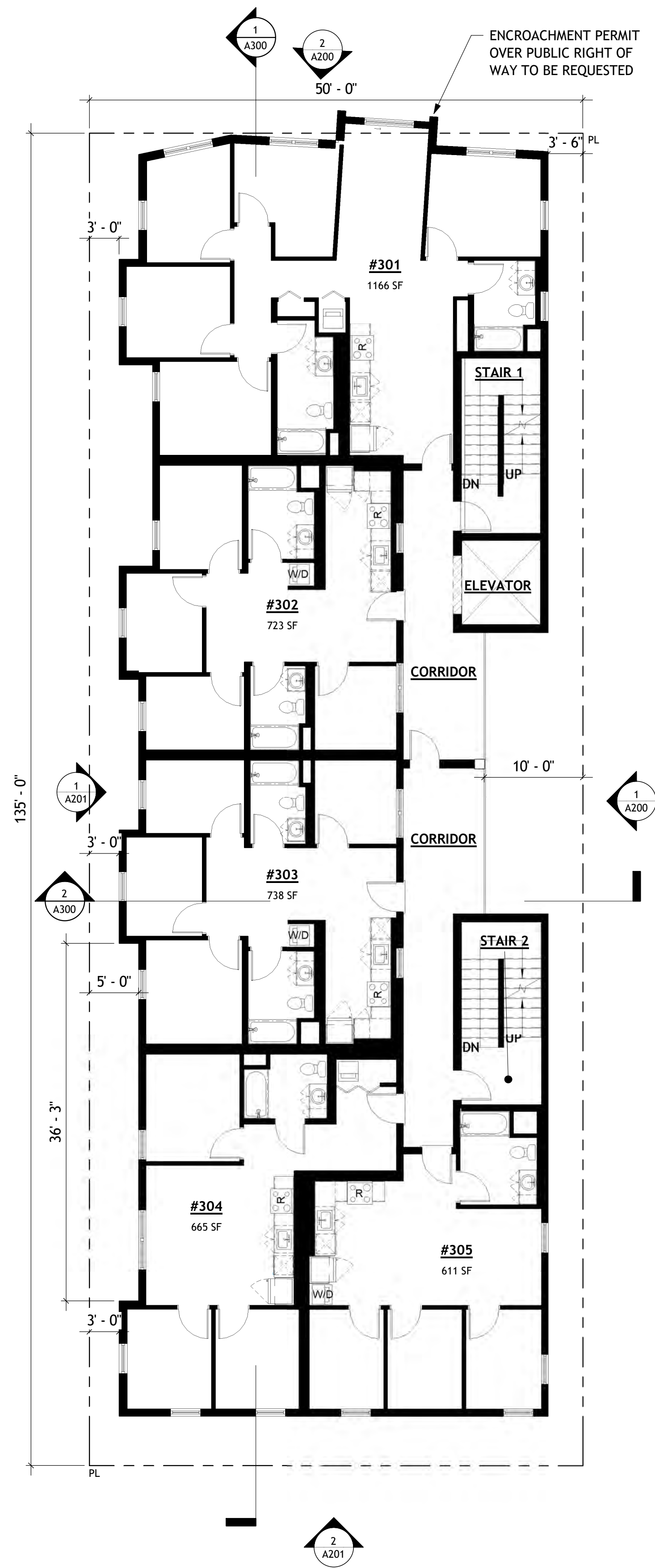
2 SITE PLAN - PROPOSED  
 1/8" = 1'-0"



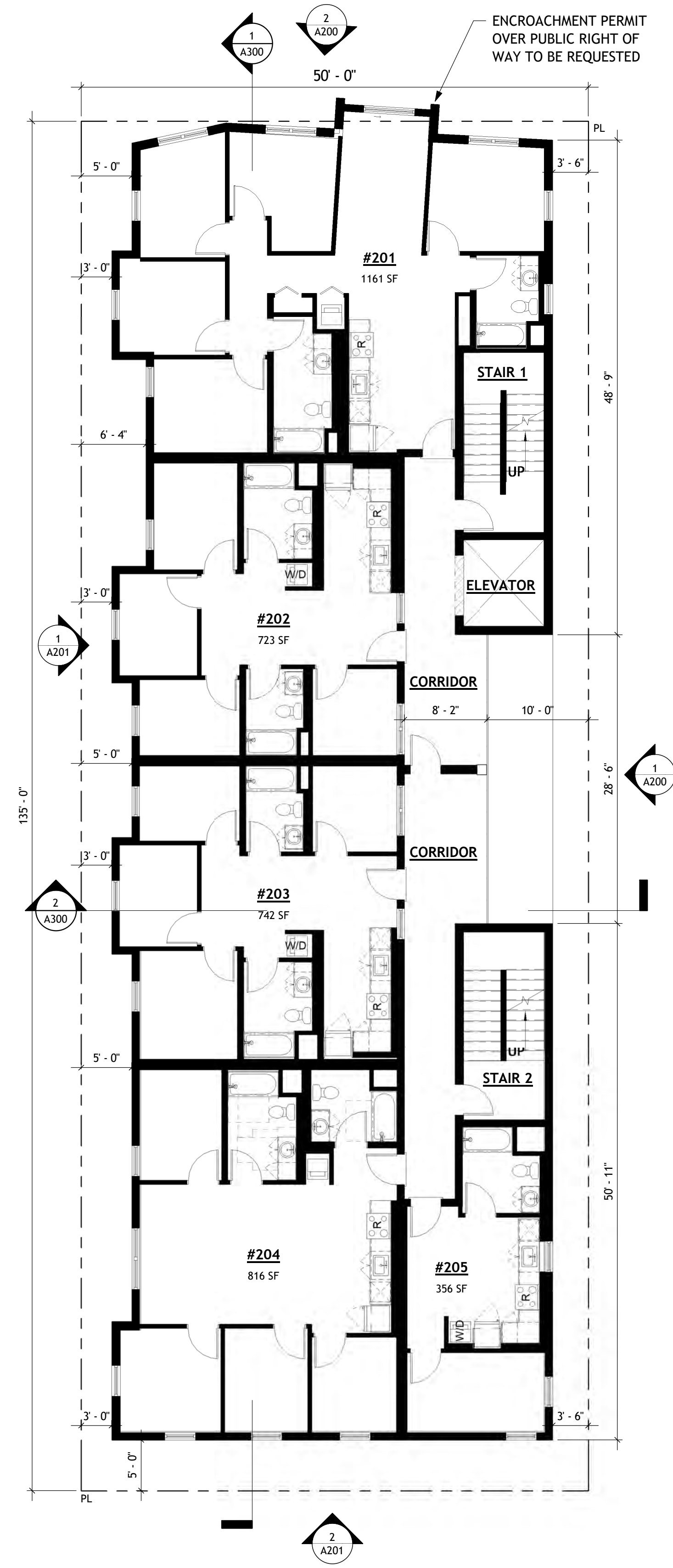
1 SITE PLAN - EXISTING  
 1/8" = 1'-0"







2 3RD FLOOR PLAN  
 1/8" = 1'-0"



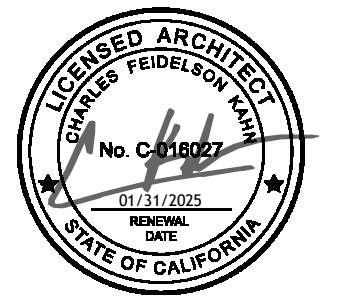
1 2ND FLOOR PLAN  
 1/8" = 1'-0"



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2442 HASTE ST.

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 BERKELEY, CA 94704

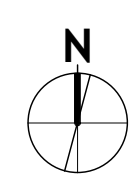


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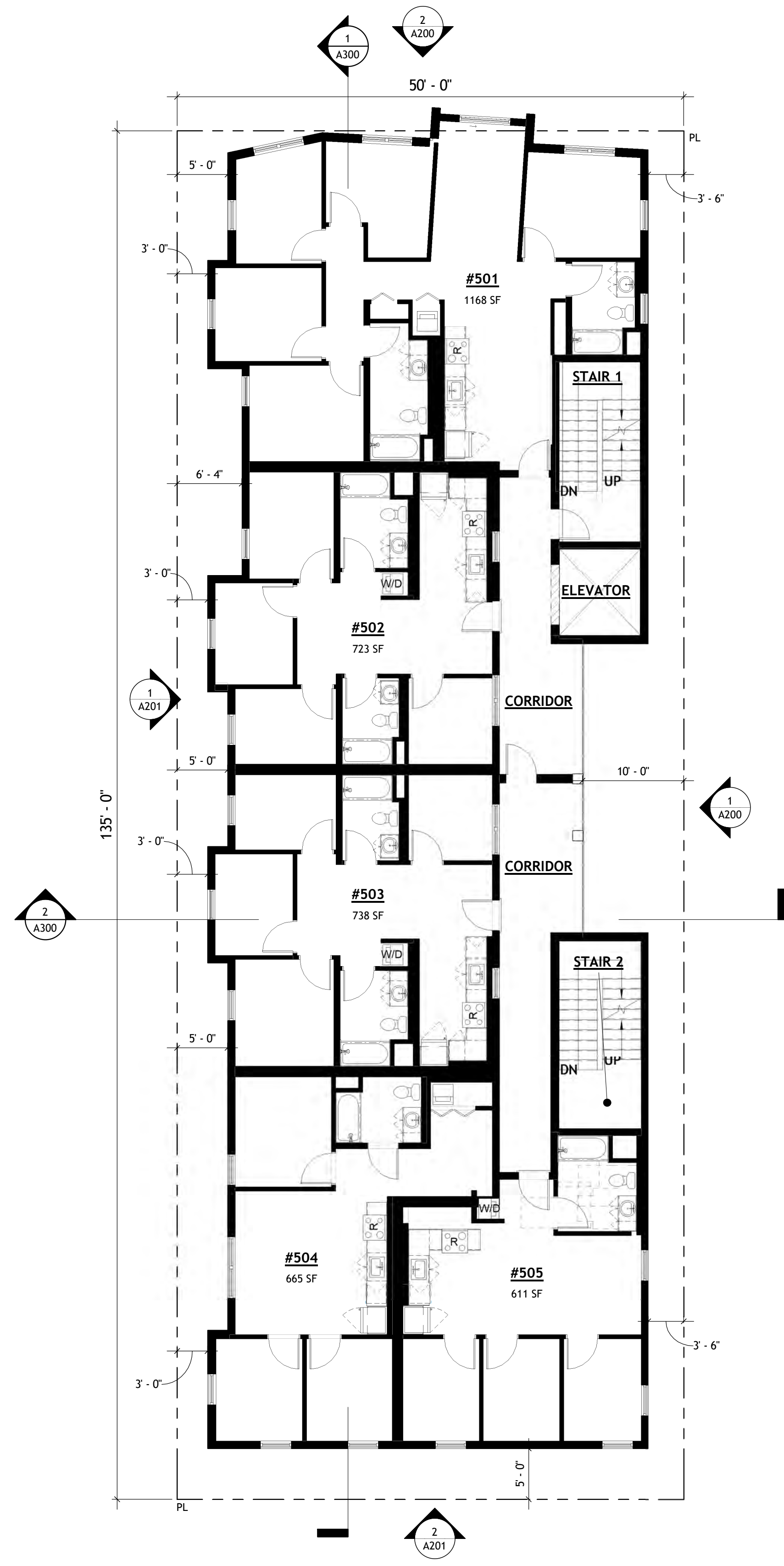
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 ISSUE DATE: 4/15/25

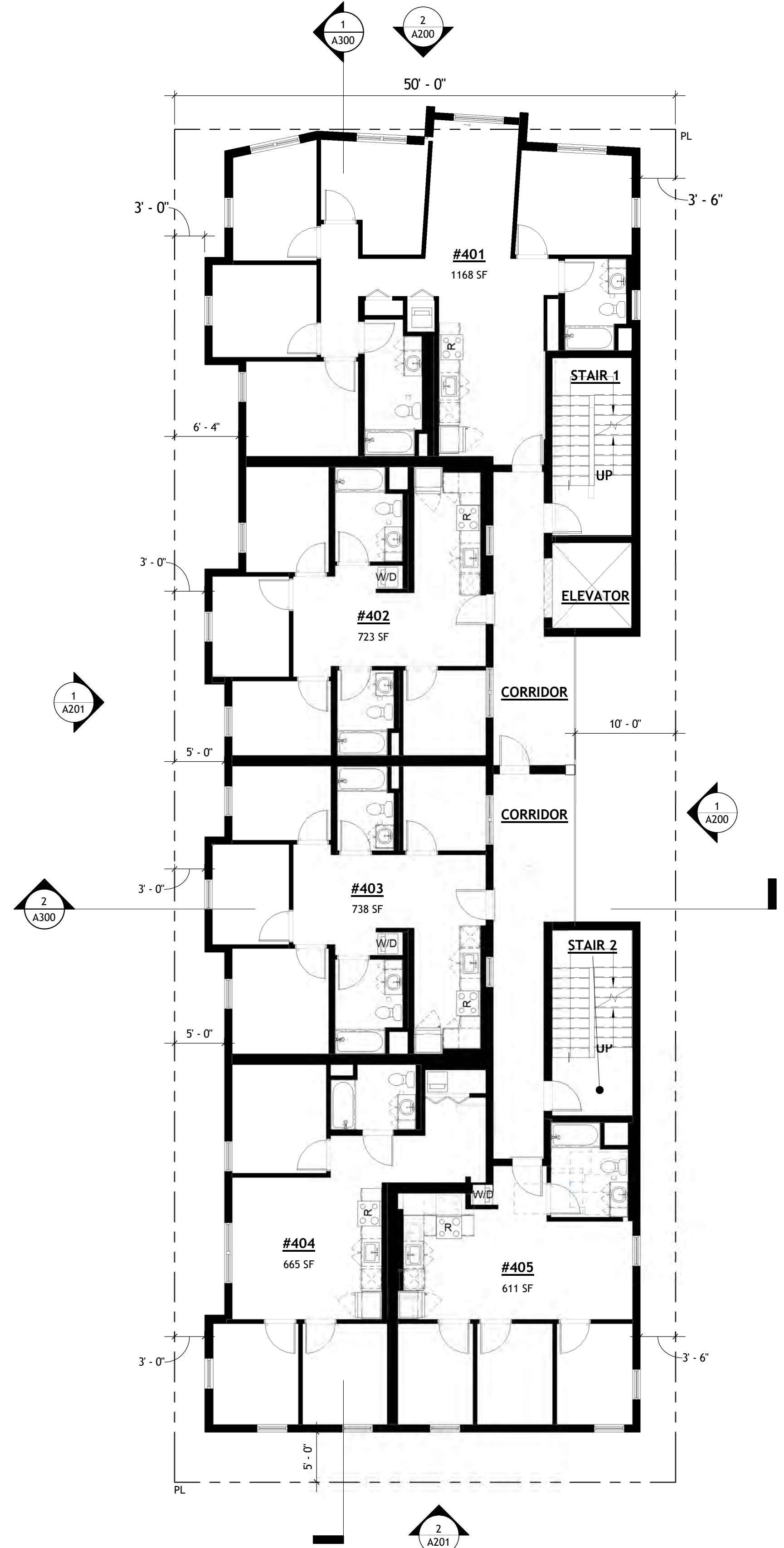
SECOND AND THIRD FLOOR PLAN



A102



2 5TH FLOOR PLAN  
 1/8" = 1'-0"



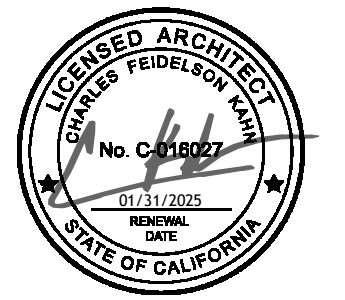
1 4TH FLOOR PLAN  
 1/8" = 1'-0"



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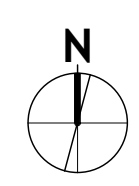


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 ISSUE DATE: 4/15/25

FOURTH AND FIFTH  
 FLOOR PLAN



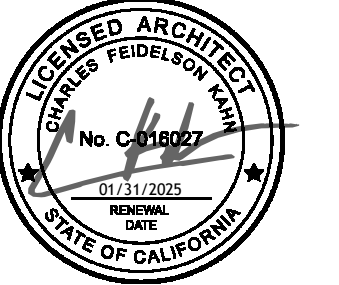
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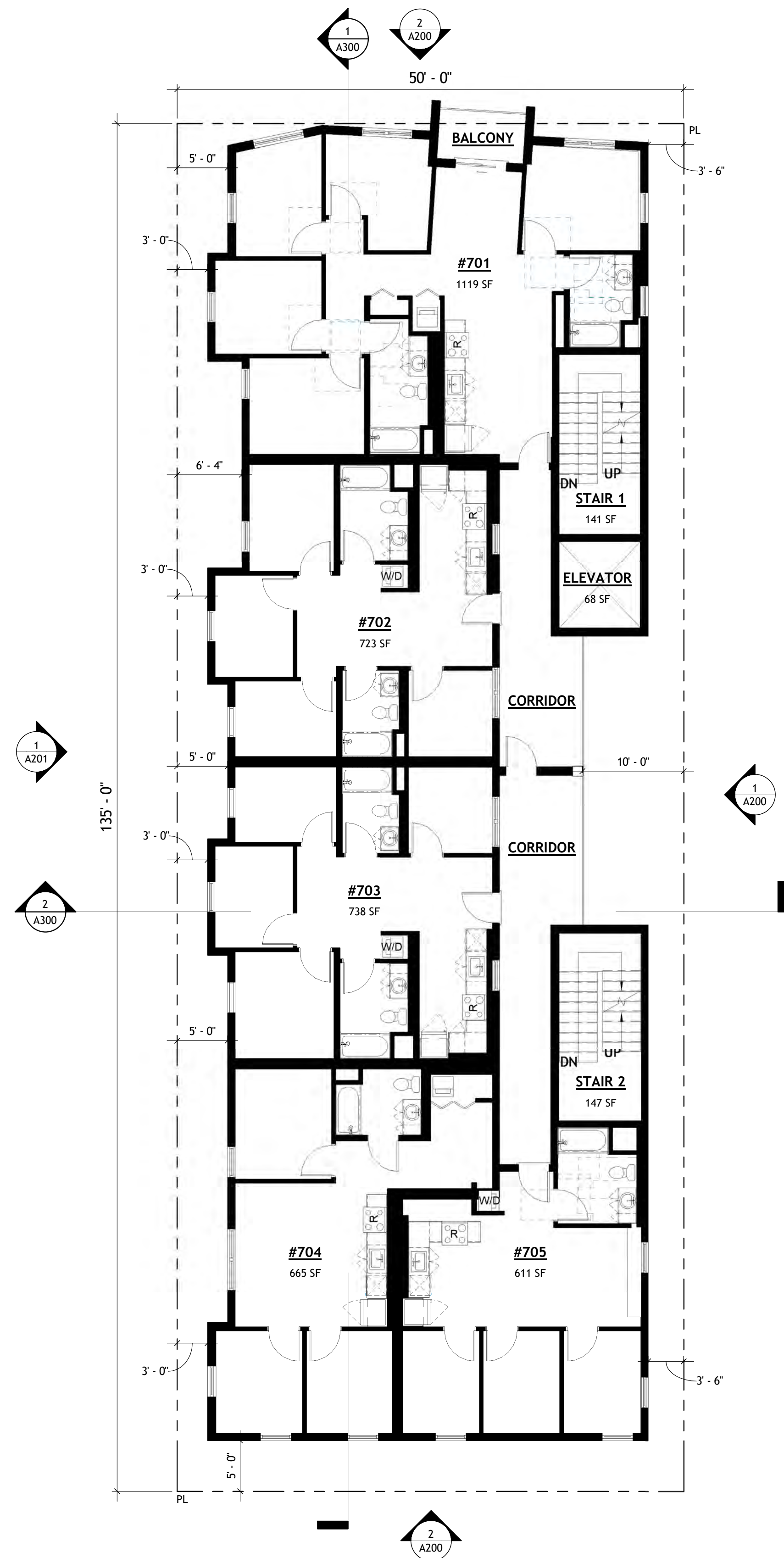
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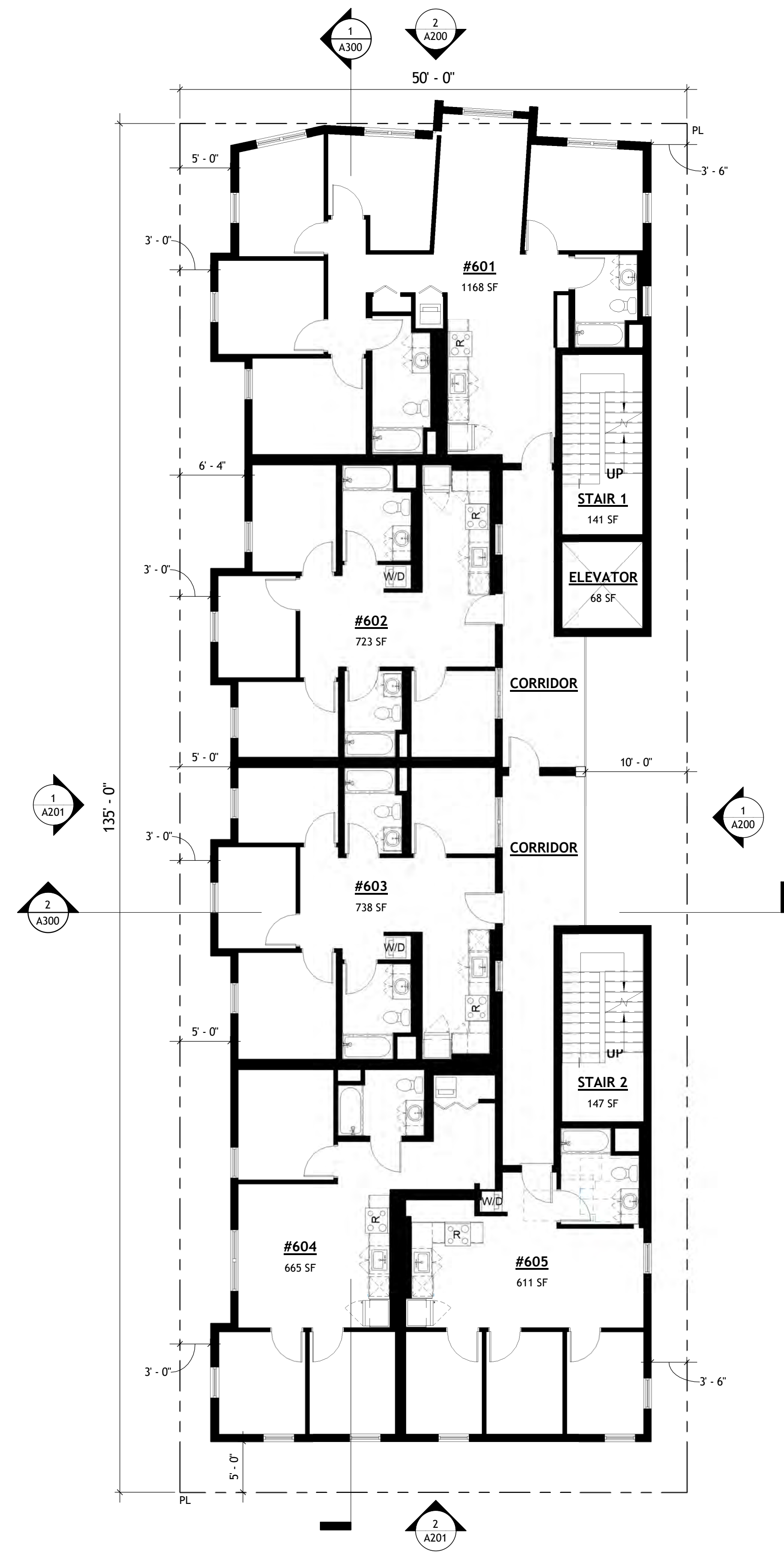
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 BERKELEY, CA 94704



ENTITLEMENTS



2 7TH FLOOR PLAN  
 1/8" = 1'-0"

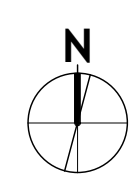


1 6TH FLOOR PLAN  
 1/8" = 1'-0"

△	DATE	ISSUE RECORD

PROJECT NO: HEE01  
 ISSUE DATE: 4/15/25

SIXTH AND SEVENTH  
 FLOOR PLAN



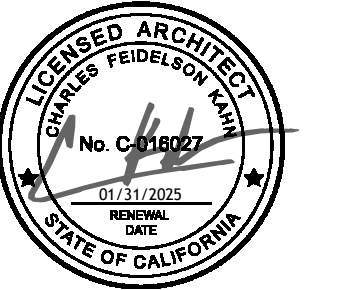
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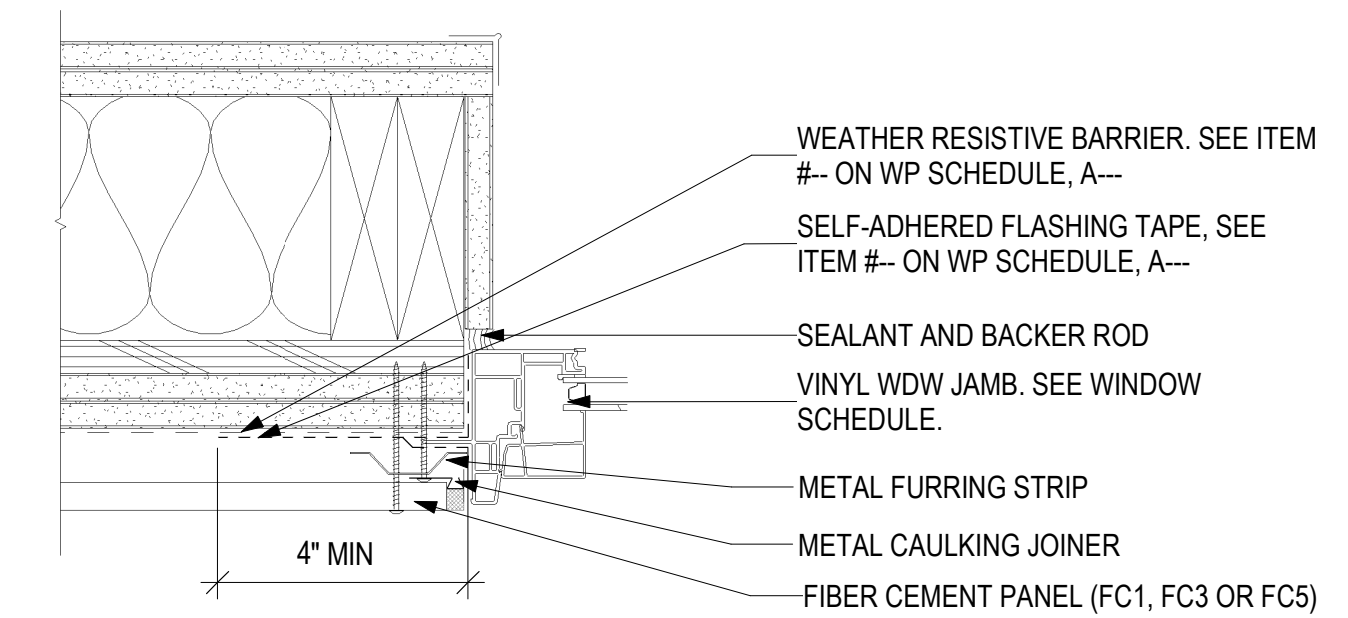




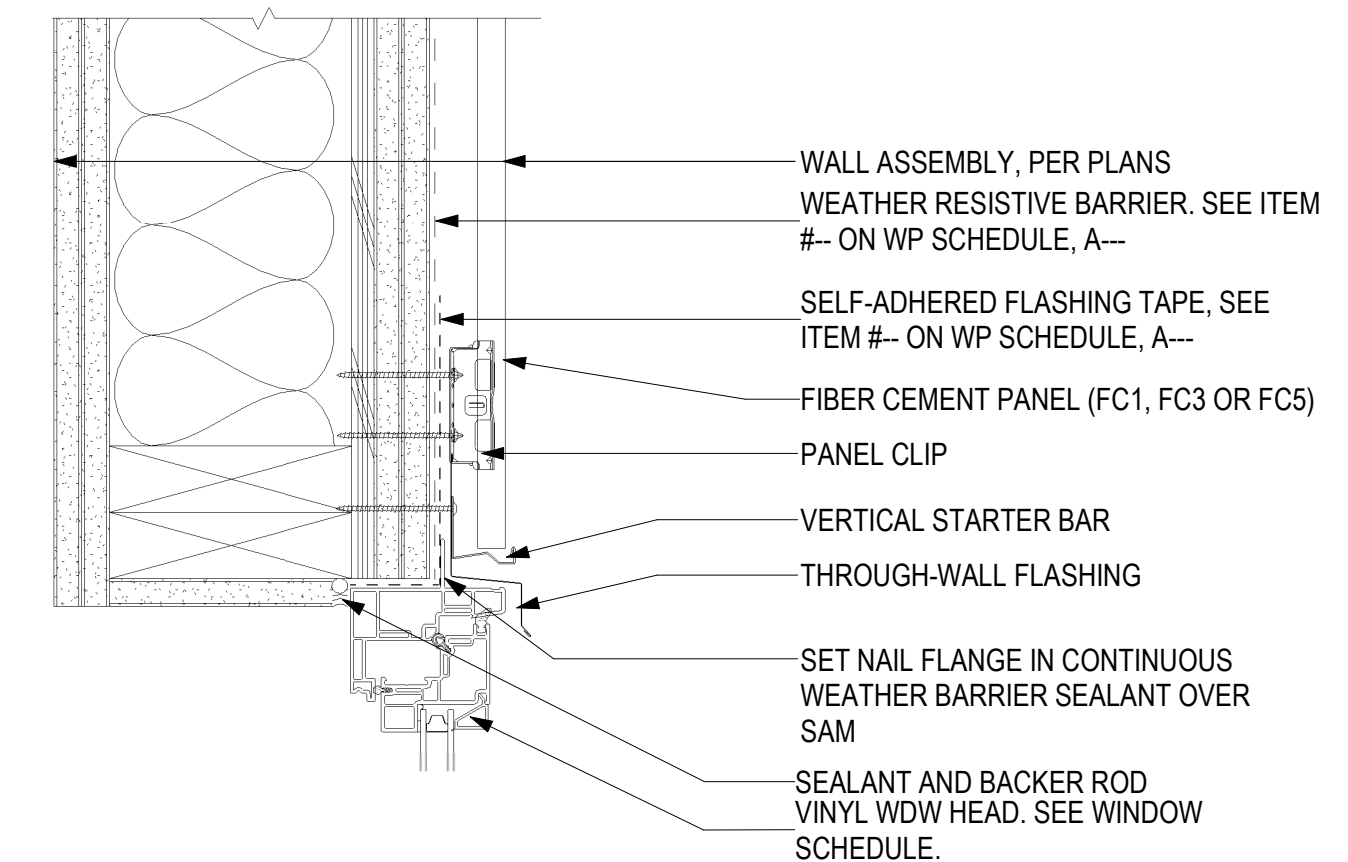




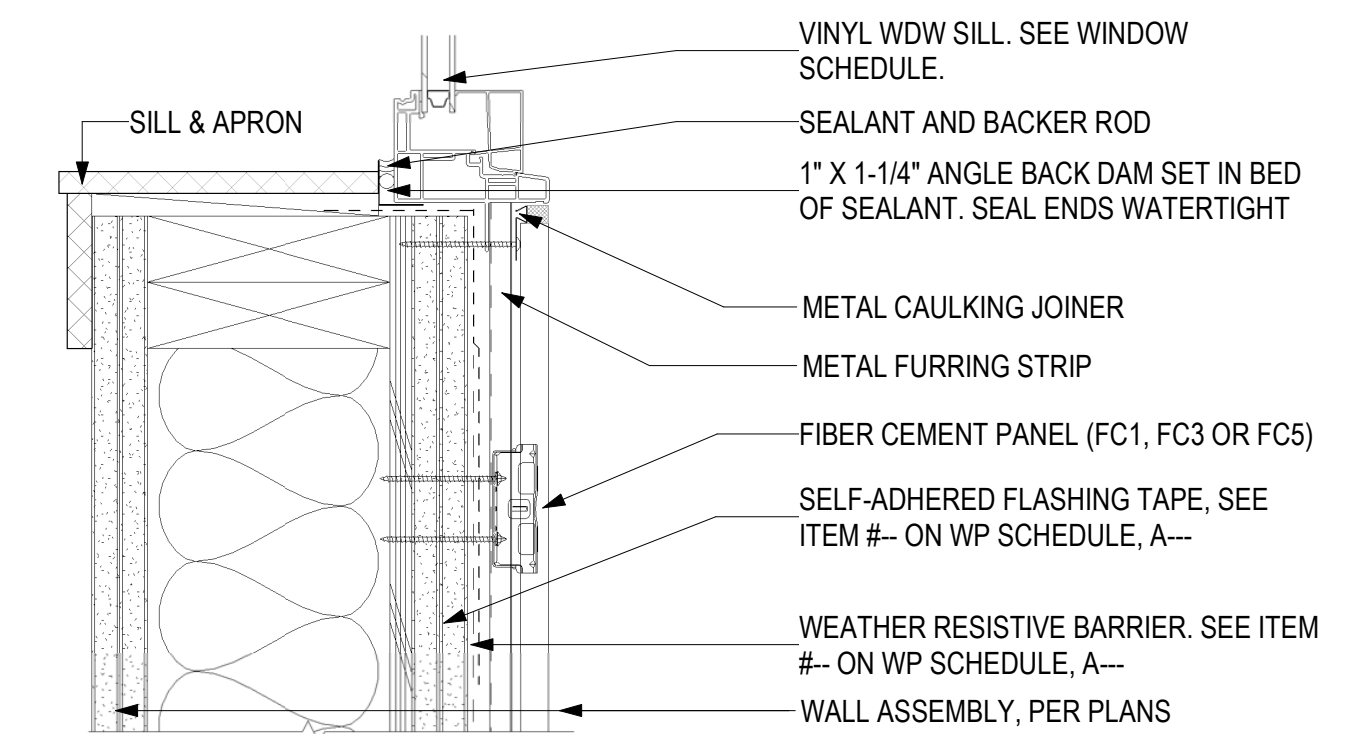
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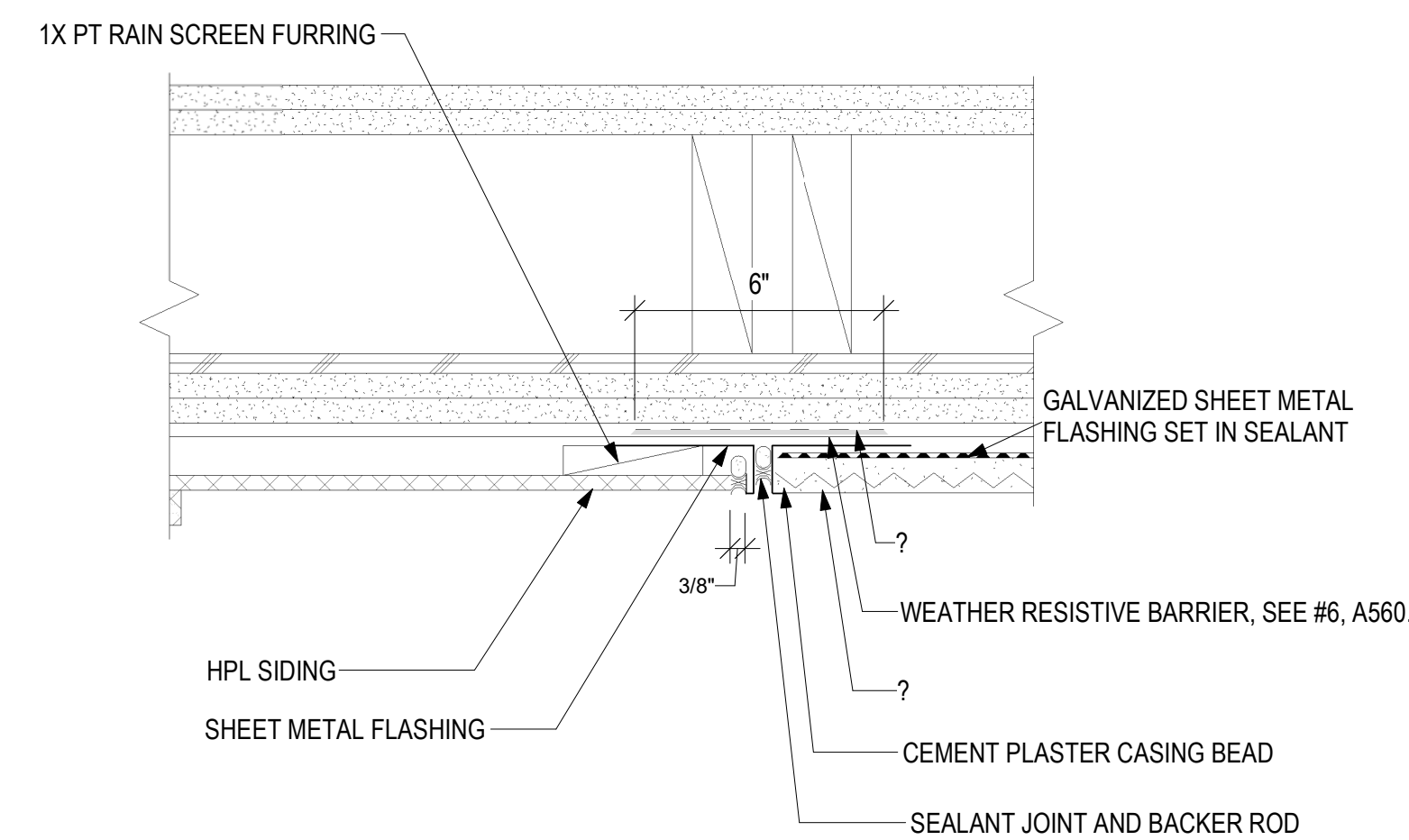
3 WDW JAMB @ HPL PANEL SIM  
 A500 3" = 1'-0"



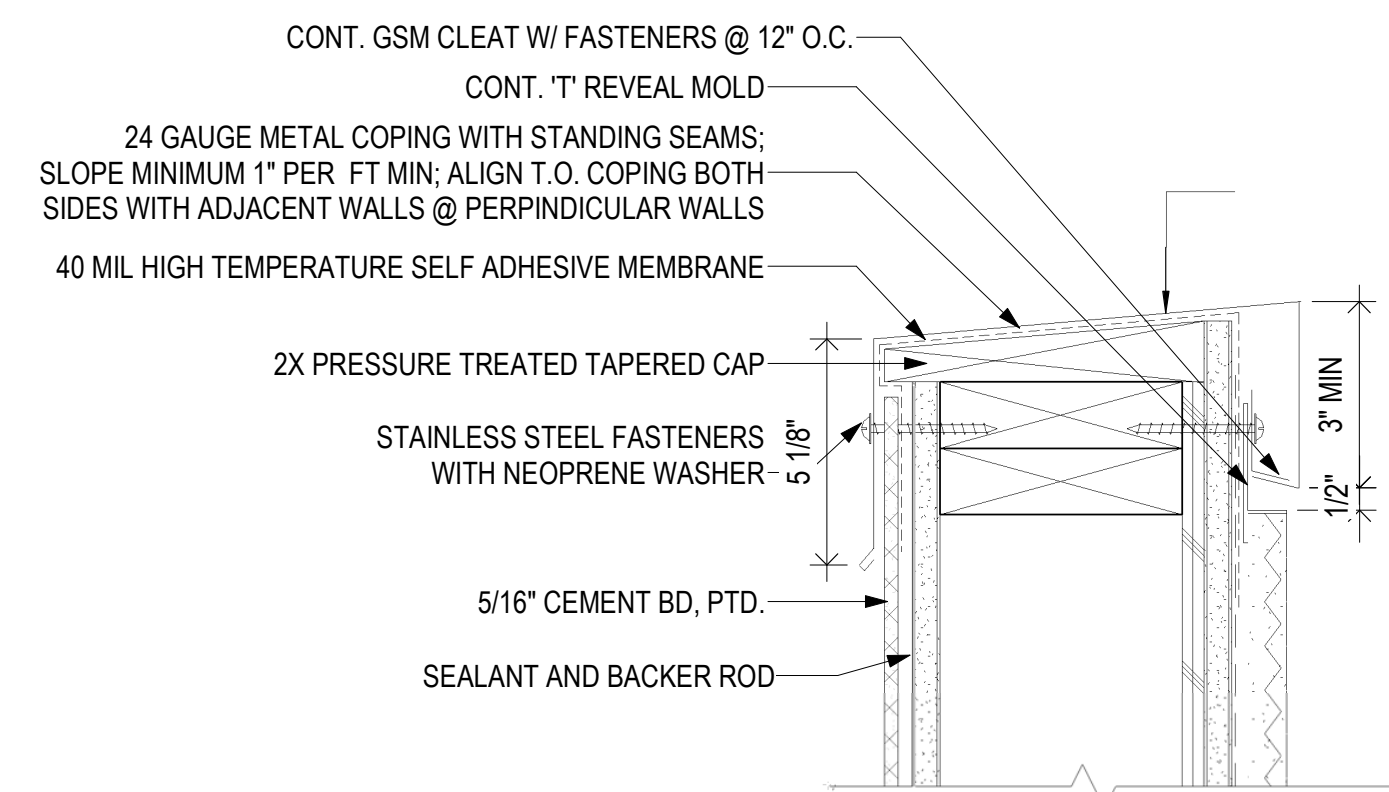
2 WDW HEAD @ HPL PANEL SIM  
 A500 3" = 1'-0"



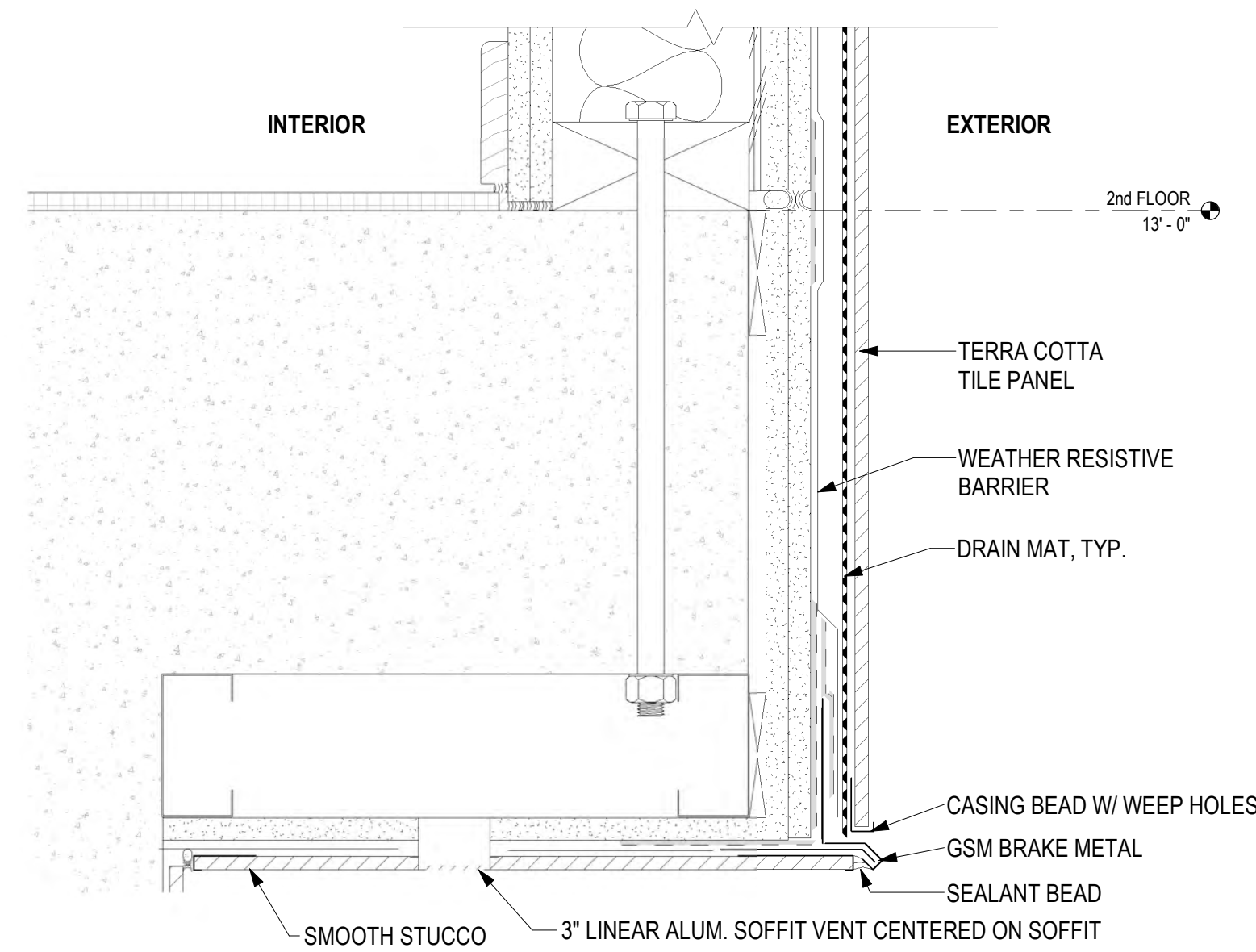
1 WDW SILL @ HPL PANEL SIM  
 A500 3" = 1'-0"



5 HPL / CEMENT PLASTER VERTICAL JOINT  
 A500 3" = 1'-0"



4 PARAPET COPING  
 A500 3" = 1'-0"



6 CANTILEVERED CONCRETE @ TERRA COTTA TILE PANEL  
 A500 3" = 1'-0"

Δ	DATE	ISSUE RECORD

PROJECT NO: HE001  
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TYPICAL DETAILS

A500