



# Zoning Adjustments Board Staff Report

**APP #ZP2024-0138 Use Permit for 2145 Grant Street**

**February 26, 2026**



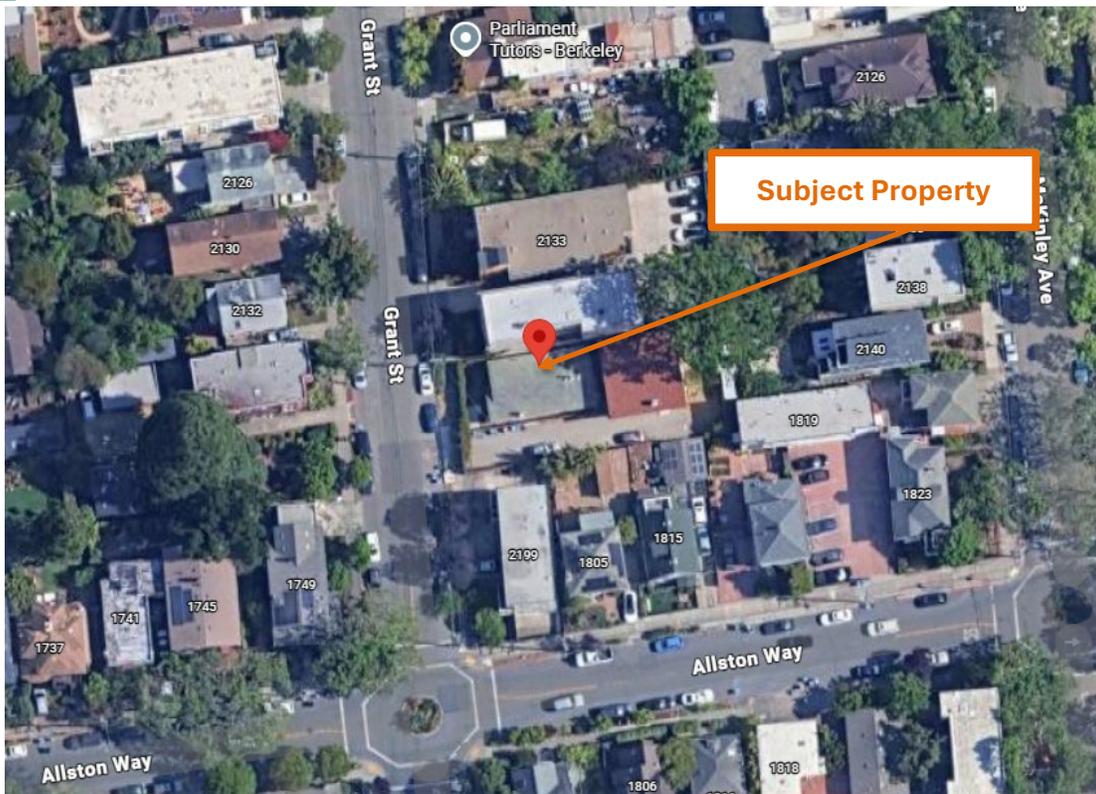
Quick Facts	Project Description:
<p><b>Applicant:</b> AmirHossein Jafari</p> <p><b>Property Owner:</b> Mai Nguyen</p> <p><b>Project Address:</b> 2145 Grant Street</p> <p><b>Site Size:</b> 7,171 square feet</p> <p><b>GP Land Use:</b> Medium Density Residential</p> <p><b>Zoning:</b> R-2 (Restricted Two-Family Residential District)<sup>1</sup></p> <p><b>CEQA:</b> Section 15301 (“Existing Facilities”)</p> <p><b>Date Submitted:</b> September 24, 2024</p> <p><b>Date Deemed Complete:</b> October 24, 2024</p> <p><b>Project Planner:</b> Boshi Fu</p>	<p>The applicant is seeking approval to construct a major residential addition (1,133 square feet) with an average height of 22 feet 10 inches by adding a second story to the front building within the nonconforming front setback on a lot that currently exceeds maximum lot coverage. The project will result in a total of seven bedrooms and four bathrooms in the building, and 13 total bedrooms on the lot.</p>
	<p style="text-align: center;"><b>Zoning Permits Required: <sup>2</sup></b></p> <p>Use Permits with Public Hearing are required for the following permits:</p> <ol style="list-style-type: none"> <li><b>Existing Nonconformity.</b> BMC Section 23.324.050(D)(3)(a) “<i>Nonconforming Coverage, FAR, and Density</i>” to add and enlarge a structure on a lot that currently exceeds maximum lot coverage (UPPH).*</li> <li><b>New Bedrooms.</b> BMC Section 23.202.030(B) “<i>Adding Bedrooms</i>” to add a bedroom to a lot above the fifth bedroom (UPPH).</li> <li><b>Major Residential Addition.</b> BMC Section 23.202.030(A)(1)(c)(ii) “<i>Residential Additions</i>” to add more than 600 square feet of floor area to a lot (AUP).</li> <li><b>Height Increase.</b> BMC Section 23.202.080(D)(2) “<i>Development Standards</i>” to construct a residential addition above 14 feet in average height (AUP).</li> <li><b>Nonconforming Setbacks.</b> BMC Section 23.324.050(D)(2)(a) “<i>Nonconforming Setbacks and Height</i>” to vertically extend a building wall projecting into a minimum required front setback (AUP).*</li> <li><b>Fence.</b> BMC Section 23.304.080(A) “<i>Permits Required for Fences</i>” to construct a fence over 6 feet in height within a required front setback (AUP).</li> </ol>
	<p style="text-align: center;"><b>Staff Recommendation:</b></p> <p>Staff recommends that ZAB determine the project is exempt from CEQA pursuant to Section 15301 of the CEQA Guidelines (“Existing Facilities”) and approve ZP2024-0138 pursuant to Section 23.406.040 (E) (1-5) “<b>Findings for Approval</b>” and subject to the attached Findings and Conditions of Approval.</p>

<sup>1</sup> The R-2 Zoning District was changed to “[Residential Multi-Unit 2](#)” on November 1, 2025 (“Middle Housing” zoning amendments). Per BMC Section 23.202.080.

<sup>2</sup> This project is vested to BMC provisions in effect prior to November 1, 2025 (“Middle Housing” zoning amendments effective date). The applicant declined to withdraw the discretionary use permit application and to submit a new application for “Middle Housing” ministerial review. None of the permits listed would be required for the project after the “Middle Housing” zoning amendments effective date.



**AERIAL**



**STREET ELEVATION**



## **BACKGROUND**

### **Subject Site**

The subject site is located in a neighborhood that is predominantly developed with single-family and multi-family residential uses. The project site is an approximately 7,171 square foot rectangular interior lot with frontage along the west side of the parcel. The adjacent properties on the left and right of the property are two to three story apartment buildings with various roof types, ranging from flat, pent and gable. The site is developed with an existing one-story single-family dwelling at the front of the lot and a separate two-story single-family dwelling at the rear. The rear dwelling is not included within the scope of this project.

The property is partially located within 25 feet of the centerline of a culverted creek, but the area of project is located outside of this setback area. The site is approximately 0.12 miles from the closest bus stop and 0.37 miles from the Downtown Berkeley BART Station. Providing adequate access to public transportation.

### **Site History**

The subject property was constructed in 1924 as a single-family dwelling with a garage. The building has largely maintained its original style of a one-story Craftsman bungalow. The existing residence is a largely rectangular building constructed of wood frame and concrete foundation, with a low-pitched gable roof that has overhanging eaves. There have been various renovation improvements to the property, including termite and dry rot repair and roofing upgrades throughout the years. More recently, the current property owners obtained building permits in 2019 to remove the laundry room from the existing house to provide space for a new single-family residential building in the rear. Between 2020 to 2022, the property owner installed an arbor above the existing front gate within the required front setback. This created a fence that exceeds 6 feet in height. As part of the current project, the unpermitted arbor is proposed to be legalized under an Administrative Use Permit.

On July 7, 2018, the Zoning Adjustments Board approved Use Permit (ZP2017-0186) for the construction of another detached two-story, approximately 2,434 square foot single-family dwelling at the rear of the property. The construction of the new home was further finalized in 2021. The site has remained residential use for all of its history. A home occupation permit (HUP #03-90000370) for an administrative computer consulting office was approved in 2003 as an incidental use.

## **ANALYSIS**

### **Project Scope**

- Construct a 1,133-square-foot residential addition to a one-story detached single-family dwelling, by lifting the building and adding a first floor below the existing story. The addition will result in a vertical extension of a portion of the building within the nonconforming front setback (11 feet, 6 inches, where 20 feet is the minimum).
- Increase the average building height from approximately 14 feet, 4 inches to 22 feet, 10 inches (where 35 feet is the maximum).
- Reconfigure the interior floor plan to provide four bedrooms and two bathrooms on the lower level and three bedrooms and two bathrooms on the upper level (for a total of seven bedrooms).

- Add a kitchenette to the new first floor of the building, resulting in a full kitchen on the second floor and a kitchenette on the first floor.
- Alter the front entrance by removing the existing exterior entry stairs leading to the previous first floor and adding a new interior stairway that lead to the second floor.
- Reduce the footprint of the existing roof overhangs to slightly decrease the lot coverage calculations (44.8% where 40% is the maximum).
- Retroactively legalize the construction of a new arbor on a fence that is approximately 10 feet in height, within the required front and side setbacks.

The project is located within Residential Multi Unit 2 (R-2), formerly known as Restricted Two-Family Residential zoning district. The ["Middle Housing" Zoning Amendments](#) became effective on November 1, 2025, which revised various development standards and land use regulations. Since this project was deemed complete prior to this date, the project will be governed by the regulations of the BMC prior to these changes.

### **Findings**

The proposed project is consistent with the purpose of the district as it maintains the existing residential use and does not increase the number of dwelling units on the site. The project follows the district's purpose to accommodate low to medium density residential development by retaining the single-family residential development on the parcel. While the project will introduce new impact to light and air by adding a second story, the surrounding neighborhood already contains multi-story residential development with larger massing and bulk, including the existing building in the rear of the same lot. The proposed addition will also not further exacerbate the nonconforming front setback of 11 feet, 6 inches and will also not further exacerbate the nonconforming lot coverage of 45.1%. The final average building height of 22 feet, 10 inches will also be less than the required maximum for the district of 35 feet and 3 stories.

Full draft findings for approval can be found in Attachment 2 to the staff report.

### **Environmental Review**

It is staff's recommendation that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301 (Existing Facilities). The project proposes to expand an existing single-family residence from approximately 1,223 square feet to 2,356 square feet by adding 1,133 square feet of residential gross floor area by lifting the existing floor and adding a story below. The proposed addition will not exceed the 10,000 square feet permitted under this CEQA exemption for a property located within an urbanized area. Although the recommendation is made by staff, the Zoning Adjustments Board is the decision-making body and will make the final determination.

### **ADVISORY BODY REVIEW**

The proposed project is not subject to any additional advisory body review.

## POLICY CONSISTENCY

### General Plan Consistency

The 2002 General Plan contains several policies applicable to the project, including the following:

1. Land Use Element Policy LU-7 – Neighborhood Quality of Life, Action A: Require that new development be consistent with zoning standards and compatible with the scale, historic character, and surrounding uses in the area.

**Staff Analysis:** The proposed project consists of a residential addition to an existing single-family dwelling in a residential neighborhood. The project maintains the existing residential use and is designed at a scale and height that is consistent with surrounding development.

2. Urban Design & Preservation Policy UD-24 Area Character: Regulate new construction and alterations to ensure that they are truly compatible with and, where feasible, reinforce the desirable design characteristics of the particular area they are in.

**Staff Analysis:** The proposed second-story addition is located on a property with two existing single-family residences and will be designed to be compatible with the surrounding residential context in terms of massing, height, and placement on the lot.

3. Urban Design & Preservation Policy UD-32 Shadows: New buildings should be designed to minimize impacts on solar access and minimize detrimental shadows.

**Staff Analysis:** The proposed project would increase the height of the existing residence. However, shadow impacts would be limited, as the subject property is between existing three-story residential buildings on both the north and south sides that are taller than the proposed addition. Therefore, the proposed addition would not introduce shadow conditions that are significantly different from existing conditions on adjacent properties.

### Attachments

1. Table 1-3: Project Chronology, Special Characteristics, Development Standards
2. Draft Findings and Conditions of Approval
3. Project Plans, July 2, 2025
4. Notice of Public Hearing
5. Berkeley Municipal Code Section 23.202.030, 23.202.080, and 23.324.050 of the previous zoning code.

**Attachment 1**

Table 1-3: Project Chronology, Special Characteristics, Development Standards

**Table 1: Project Chronology**

Date	Action
September 24, 2024	Application submitted
October 24, 2024	Application deemed complete
November 21, 2024	CEQA Recommendation by Staff
November 21, 2024 to July 30, 2025	Application processing <sup>a</sup>
February 11, 2026	Public hearing notices mailed/posted
February 26, 2026	ZAB hearing
Notes: a. Application processing reflects the project compliance review after the application is deemed complete. Submittals are reviewed within 30 days of receipt, pursuant to the Permit Streamlining Act.	

**Table 2: Special Characteristics**

Characteristic	Applicability	Explanation
Affordable Child Care Fee for qualifying non-residential projects (Per Resolution 66,618-N.S.)	No	These fees apply to net newly constructed nonresidential gross floor area over 7,500 square feet. There are also no commercial spaces on this property. Therefore, the project is not subject to this fee.
Affordable Housing Fee for qualifying non-residential projects (Per Resolution 66,617-N.S.)		
Affordable / Inclusionary Housing Requirements (BMC Chapter 23.328)	No	The project is not a housing development project, as defined in BMC 23.328.020 <sup>a</sup> .
Alcohol Sales/Service	No	The project is not proposing any alcohol sales or service with this permit.
Bird Safe Buildings (BMC Section 23.304.150)	No	The project is not subject to the ordinance because the project does not include any new construction or addition with 10,000 sqft or more of gross floor area and does not exceed 35 feet in building height. Therefore, these provisions do not apply.
Coast Live Oak Trees (BMC Chapter 6.52)	No	There are no Coast Live Oak ( <i>Quercus agrifolia</i> ) trees on the project site.
Creeks	No	A culverted creek is located along the southern portion of the property, as defined under Berkeley Municipal Code Chapter 17.08 "Preservation and Restoration of Natural Watercourses". However, the proposed project is located outside the required 25-foot setback measured from the centerline and therefore not subject to requirements in this section.

Characteristic	Applicability	Explanation
Hard Hats (BMC Chapter 13.107)	No	The project is not subject to the City’s Hard Hats Ordinance because it does not qualify as an “Covered Project” which consists of construction, alteration, or demolition of 50,000 square feet or more floor area.
Historic Resources	No	The structure is not City of Berkeley landmark or Structure of Merit, and there are no proposed demolition of any existing buildings on the property.
Housing Accountability Act (HAA) (Gov’t Code Section 65589.5(j))	No	The project will not propose a new mixed-use residential building, and does not meet the definition of a “Housing Development Project” per Government Code Section 65589.5(h)(2) <sup>b</sup> .
Housing Crisis Act of 2019 (SB 330)	No	The project does not meet the definition of a “Housing Development Project” per Government Code Section 65589.5(h)(2) <sup>b</sup> .
Rent Controlled Units	No	The project will not involve the demolition of non-residential structures; no rent-controlled units will be demolished.
Residential Preferred Parking (RPP)	No	The project proposes to construct an addition to an existing single-family dwelling which does not meet eligibility criteria for RPP permits per BMC Section 14.72.080(C)(1).
Seismic Hazards (SHMA)	No	The project site is not located within an area susceptible to landslide/liquefaction/fault rupture as shown on the <a href="#">State Seismic Hazard Zones</a> map. <sup>c</sup>
Soil/Groundwater Contamination	No	The project site is not located within the City’s Environmental Management Area and is not on a Cortese List. <sup>d</sup> Standard Conditions of Approval related to hazardous materials would apply. Because this project is not within either of the sensitive areas mentioned above, no Phase I/II report is required.
Transit	No	The project site is served by multiple Alameda County (AC) Transit bus lines (local and Transbay) that operate within ¼ mile of the site and is approximately 0.35 miles west from the Downtown Berkeley Bay Area Rapid Transit (BART) Station.
<p>Notes:</p> <p>a. BMC 23.328.020(E) defines a "Housing Development Project" for purposes of inclusionary housing requirements as “a development project, including a Mixed-Use Residential project involving the new construction of at least one Residential Unit. Projects with one or more buildings or projects including multiple contiguous parcels under common ownership or control shall be considered as a sole Housing Development Project and not as individual projects.</p> <p>b. Government Code Section 65589.5(h)(2) “Housing development project” means a use consisting of any of the following: (A) residential units only, (B) mixed-use developments consisting of residential and nonresidential uses in which at least two-thirds of the square footage is designated for residential use, and (C) transitional or supportive housing. Government Code Section 65905.5(b)(3)(C) “Housing development project” includes a proposal to construct a single dwelling unit. This subparagraph shall not affect the interpretation of the scope of paragraph (2) of subdivision (h) of Section 65589.5.</p> <p>c. California Department of Conservation. DOC Maps: Geologic Hazards. Available: <a href="https://maps.conservation.ca.gov/geologichazards/">https://maps.conservation.ca.gov/geologichazards/</a></p> <p>d. Cortese List is an annually updated list of hazardous materials sites compiled pursuant Government Code Section 65962.5.</p>		

**Table 3: R-2 (Restricted Two-Family Residential) Zoning District Development Standards  
 BMC Sections 23.204.130 and 23.322 Parking and Loading <sup>1</sup>**

Standard		Existing	Addition/ (Reduction)	Proposed Total	Permitted/ Required <sup>1</sup>
Lot Area (sq. ft.)		7,171	No change	No change	5,000 max.
Gross Floor Area (sq. ft.)		1,223 (front building)	+1,133	2,356 (front building)	No maximum
Lot Coverage (%)		45.1 (entire lot)	-0.3	44.8 (entire lot)	40 max.
Dwelling Units	Total	2 (entire lot)	No change	No change	3 max.
	Bedrooms	3 (front building)	+4 (front building)	7 (front building) 6 (rear building, no change)	5 with AUP 6+ with UPPH
Building Height (ft. - in.)	Maximum	14'-4" (front building)	+8'-6"	22'-10" (front building)	28 and 3 stories (35 with AUP)
Building Setbacks (ft. - in.)	Front (West) (Grant Street)	11'-6" (front building)	No change	No change	20 min.
	Left Interior Side (North)	5'-3" (front building)	No change	No change	4 min.
	Right Interior Side (South)	22'-11" (front building)	-3'-11"	19	4 min.
	Rear (East)	Approximately 65'-11" (front building)	No change (first floor)	No change (first floor) Approximately 69'-11" (second floor)	20 min.
Usable Open Space (sq. ft.)		1,702 (entire lot)	No change	1,702 (entire lot)	800 min (400 s.f. per du)
Automobile Parking		2 (entire lot)	No change	2 (entire lot)	None required
Abbreviations: sq. ft. = square feet; max. = maximum; min. = minimum; n/a = not applicable; % = percent; avg. = average, ft = feet ('), in. = inches (")					
<sup>1</sup> : All development standards and procedures are reviewed under Title 23 of the Berkeley Municipal Code prior to November 1, 2025 ("Middle Housing" zoning amendments effective date).					



## Zoning Adjustments Board Findings

**APP #ZP2024-0138 Use Permit for 2145 Grant Street**

**February 26, 2026**



Quick Facts	Project Description:
<p><b>Applicant:</b> AmirHossein Jafari</p> <p><b>Property Owner:</b> Mai Nguyen</p> <p><b>Project Address:</b> 2145 Grant Street</p> <p><b>Site Size:</b> 7,171 square feet</p> <p><b>GP Land Use:</b> Medium Density Residential</p> <p><b>Zoning:</b> R-2 (Restricted Two-Family Residential District)<sup>1</sup></p> <p><b>CEQA:</b> Section 15301 (“Existing Facilities”)</p> <p><b>Date Submitted:</b> September 24, 2024</p> <p><b>Date Deemed Complete:</b> October 24, 2024</p> <p><b>Project Planner:</b> Boshi Fu</p>	<p>The applicant is seeking approval to construct a major residential addition (1,133 square feet) with an average height of 22 feet 10 inches by adding a second story to the front building within the nonconforming front setback on a lot that currently exceeds maximum lot coverage. The project will result in a total of seven bedrooms and four bathrooms in the building, and 13 total bedrooms on the lot.</p>
	<p style="text-align: center;"><b>Zoning Permits Required: <sup>2</sup></b></p> <p>Use Permits with Public Hearing are required for the following permits:</p> <ol style="list-style-type: none"> <li><b>Existing Nonconformity.</b> BMC Section 23.324.050(D)(3)(a) <i>“Nonconforming Coverage, FAR, and Density”</i> to add and enlarge a structure on a lot that currently exceeds maximum lot coverage (UPPH).*</li> <li><b>New Bedrooms.</b> BMC Section 23.202.030(B) <i>“Adding Bedrooms”</i> to add a bedroom to a lot above the fifth bedroom (UPPH).</li> <li><b>Major Residential Addition.</b> BMC Section 23.202.030(A)(1)(c)(ii) <i>“Residential Additions”</i> to add more than 600 square feet of floor area to a lot (AUP).</li> <li><b>Height Increase.</b> BMC Section 23.202.080(D)(2) <i>“Development Standards”</i> to construct a residential addition above 14 feet in average height (AUP).</li> <li><b>Nonconforming Setbacks.</b> BMC Section 23.324.050(D)(2)(a) <i>“Nonconforming Setbacks and Height”</i> to vertically extend a building wall projecting into a minimum required front setback (AUP).*</li> <li><b>Fence.</b> BMC Section 23.304.080(A) <i>‘Permits Required for Fences’</i> to construct a fence over 6 feet in height within a required front setback (AUP).</li> </ol>
	<p style="text-align: center;"><b>Staff Recommendation:</b></p> <p>Staff recommends that ZAB determine the project is exempt from CEQA pursuant to Section 15301 of the CEQA Guidelines (“Existing Facilities”) and approve ZP2024-0138 pursuant to Section 23.406.040 (E) (1-5) <b>“Findings for Approval”</b> and subject to the attached Findings and Conditions of Approval.</p>

<sup>1</sup> The R-2 Zoning District was changed to [“Residential Multi-Unit 2”](#) on November 1, 2025 (“Middle Housing” zoning amendments). Per BMC Section 23.202.080.

<sup>2</sup> This project is vested to BMC provisions in effect prior to November 1, 2025 (“Middle Housing” zoning amendments effective date). The applicant declined to withdraw the discretionary use permit application and to submit a new application for “Middle Housing” ministerial review. None of the permits listed would be required for the project after the “Middle Housing” zoning amendments effective date.

## CEQA

### Categorical Exemption

The project is categorically exempt from the requirements of CEQA pursuant Section 15301 of the CEQA Guidelines (“Existing Facilities”).

Evidence: The proposed project will construct a 1,133 square feet addition to an existing single-family residence, resulting in a final average building height of 22 feet, 10 inches. The total expansion is below the 10,000 square foot threshold permitted for additions in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan, as permitted under CEQA Guidelines Section 15301 for existing facilities. Therefore, the project is categorically exempt from further environmental review.

## FINDINGS FOR APPROVAL

As required by BMC Section 23.406.040 (E) (1-4) “Findings for Approval,” the following findings shall be made:

### **1. To approve a Use Permit, the ZAB shall find that the proposed project or use:**

- (a) Will not be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or visiting in the area or neighborhood of the proposed use; and

Evidence: The proposed project will not be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in the area or neighborhood of the proposed use because the project will not further encroach into any required setbacks and does not exceed the maximum average building height permitted for the zoning district. The proposed scope of work does not introduce new massing or land use that will be inconsistent with the surrounding residential context and maintains the existing single-family residential use.

Although the southern portion of the parcel is located within 25 feet of the centerline of a culverted creek, pursuant to Berkeley Municipal Code Chapter 17.08, the proposed additions are located entirely outside of this setback area. As a result, the project does not encroach into the required creek setback and is not subject to creek protection restrictions. Additionally, the project will not result in new privacy, noise, or circulation impacts beyond what already exists and is permitted by the Berkeley Municipal Code. Therefore, the project will not be detrimental to the health, safety, peace, morals, comfort, or general welfare of the neighborhood.

- (b) Will not be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City.

Evidence: The proposed project will not be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because it is consistent with the low medium-density residential development pattern of the neighborhood. The proposed project will continue to protect adjacent properties from unreasonable obstruction to sunlight, air, or views. In addition, the project conforms to all applicable zoning development standards such as density, height, building separation and open space. The project will propose lifting the house and constructing a second story to an existing one-story single-family home. The subject property has an existing nonconforming front setback and also currently exceeds maximum lot coverage allowed for the district, but the proposed addition will not further exacerbate these nonconformities.

The subject property is located between a four-story multifamily residential building at 2139 Grant Street and a three-story multifamily residential building at 2199 Grant Street. Due to the height and massing of the surrounding properties, any new shadowing associated with the proposed addition would be limited when compared to the existing conditions. While the proposed addition may result in some additional shadows on windows of adjacent residential buildings, this impact will be limited. The proposed project complies with applicable height and setback standards which are intended to alleviate unreasonable obstruction of sunlight and air. Therefore, the new shadow impacts will not constitute an unreasonable obstruction of sunlight or light and air.

The project also includes the legalization of an existing arbor and fence located within the required front setback that exceeds six feet in height, at approximately 10 feet. This will require an Administrative Use Permit pursuant to BMC Section 23.304.080(A) '*Permits Required for Fences*'. The fence and the entry gate are existing site features and the addition of an arbor on top will not introduce significant impacts related to privacy, safety, air, or neighborhood character. The arbor and fence are consistent with existing site conditions and do not introduce a new or incompatible feature within the surrounding residential context.

The project is consistent with the purpose of the R-2 district, which encourages development of residential areas offering a range of housing types and providing objective standards to protect adjacent properties. The additional findings for required discretionary permits are also satisfied in Evidence of Findings 2(a) and 2(b) below.

**2. To approve the Use Permit, the ZAB must also make any other Use Permit findings specifically required by the Zoning Ordinance for the proposed project.**

(a) Pursuant to BMC Section 23.324.050(D)(3)(a), a Use Permit is required for an addition to and/or enlargement of a structure or building that exceeds the

maximum allowed lot coverage, or maximum floor area ratio, or is nonconforming to minimum or maximum residential density. The ZAB may approve the Use Permit only if the project does not:

- i. Increase or exacerbate the nonconformity; or

Evidence: This finding is met because the proposed project does not increase or exacerbate the existing nonconformity as the addition will not expand the building footprint beyond what currently exists. While there are alterations to the building envelope, the total lot coverage will decrease from 45.1% to 44.8%. While the lot coverage is still nonconforming to the required maximum of 40%, the project will not further exacerbate the nonconformity. Therefore, the project meets the criteria for this finding.

- ii. Exceed the height limit.

Evidence: This finding is met because the proposed project will not exceed the average height limit of 35 feet and three stories, as outlined in BMC Section 23.202.080. The proposed addition will increase the existing building height from 14 feet, 4 inches to 22 feet, 10 inch and will remain two stories in height. No alterations are proposed to the detached single-family house at the rear of the property. Therefore, the proposed project will not exceed the maximum average height permitted for the zoning district.

- (b) Pursuant to BMC Section 23.324.050(D)(2)(a), an Administrative Use Permit (AUP) is required for an addition or enlargement that vertically or horizontally extends a building wall projecting into a minimum required setback. The Zoning Officer/Zoning Adjustments Board may approve the AUP only if:

- i. The addition or enlargement does not increase or exacerbate any nonconforming setbacks; and

Evidence: The project complies with this finding because the proposed addition will not increase or exacerbate the existing nonconforming front setback. Although the subject property has an existing front setback of 11 feet, 6 inches, the proposed addition will not further encroach into the front setback and will continue to maintain the existing setback conditions. While there are alterations to the portion of the building within the required setback, the minimum front setback of 11 feet, 6 inches will be maintained. Therefore, the project will not increase or exacerbate any existing nonconforming setbacks.

- ii. The addition or enlargement does not exceed maximum or calculated height limits.

Evidence: This finding is met because the proposed addition will not exceed the maximum or calculated height limits in the R-2 zoning district. The project will increase the building height and will result in an average height of 22 feet, 10 inch, where the maximum allowed is 35 feet. Therefore, the proposal does not exceed the applicable height limit.

**3. When taking action on a Use Permit, the ZAB shall consider in its findings:**

- (a) The proposed land use; and

Evidence: The project complies with this finding because the property is developed with two detached single-family dwellings, which is a permitted use in the R-2 zoning district. The project does not propose a change in land use and continues the existing single-family residential use of the building and will make no alteration to the rear building.

- (b) The structure or addition that accommodates the use.

Evidence: The project complies with this finding because the subject building is an existing one-story single-family dwelling located on a parcel developed with two detached single-family dwellings. The detached rear dwelling was previously entitled and constructed under Zoning Permit #ZP2017-0186 and is not included in the scope of this project. The proposal will add approximately 1,133 square feet of gross floor area, where the existing floor will become the new second floor. The addition will be largely contained within the existing building footprint and will maintain the existing north (left) interior side setback of 5 feet, 3 inches. The south (right) wall will be expanded, reducing the south interior side setback from 22 feet, 11 inches to 19 feet, and will continue to comply with the minimum required interior side setback of 4 feet.

The project will maintain the existing first-floor rear setback of 65 feet, 11 inches and will step back at the second story, resulting in a second-story rear setback of 69 feet, 11 inches. The proposed structure will also comply with the required building separation standards of 8 feet at the first story and 12 feet at the second story, pursuant to BMC Section 23.202.080(D)(2).

The proposed addition will alter the front façade to accommodate an enclosed interior stairwell and will modify the existing roofline and eaves. These changes will result in a minor reduction of the existing nonconforming lot coverage by approximately 0.3 percent and will continue to support the existing single-family residential use of the structure. The proposed addition will also bring the front building to a height that is more consistent with the existing rear building on the site and will remain compatible with the surrounding development pattern context. The immediately adjacent properties to the north and south are developed with three- and four-story multifamily buildings. As a result, the proposed project will not

introduce detriment or incompatible conditions and is not expected to result in significant additional shadow, light, air, or circulation impacts to the immediate neighborhood.

The proposed project will result in a two-story single-family house with seven bedrooms and four bathrooms. Therefore, the project will continue to accommodate the single-family nature of the building and maintain the two-family land use of the entire property.

**4. Required findings shall be made based on the circumstances existing at the time a decision is made on the application.**

Evidence: The required findings are satisfied because the project has been determined to be fully compliant with all applicable regulations based on the project plans submitted on July 2, 2025 and evaluated based on the existing conditions of the subject site and surrounding neighborhood at the time of decision.



**Site Address:** 2145 Grant Street  
**Application Number:** ZP2024-0138

**Project Description:** Construction of a major residential addition (1,133 square feet) with an average height of 22 feet 10 inches by adding a second story to the front building within the nonconforming front setback on a lot that currently exceeds maximum lot coverage. The project will result in a total of seven bedrooms and four bathrooms in the building, and 13 total bedrooms on the lot.

### **STANDARD CONDITIONS OF APPROVAL APPLICABILITY**

Development projects approved through the City of Berkeley are subject to Standard Conditions of Approval (Standard COAs). The City of Berkeley has established Standard COAs that identify requirements for the construction and operation of the approved project. This includes general administrative conditions, permitting requirements, project construction and the regulation of on-going, and on-site uses. Compliance requirements with the Berkeley Municipal Code, building permit review and issuance process, construction, final inspection requirements, certificate of occupancy, and on-going operations of the approved use are included in this document.

The Standard COAs may vary based on site size, location, environmental settings, topography, historic alteration or approved uses. Variations in the application of the Standard COAs may occur based on the project scope and site-specific characteristics including but not limited to parcel size, location, topography, and use.

Conditions which have specified thresholds due to size, uses, and other characteristics are identified.

#### **Part I. Administrative Conditions**

- A. General Project Conditions
- B. Project Specific Conditions

#### **Part II. Prior to Issuance of Demolition Permit**

#### **Part III. At the Time of Building Permit Submittal**

#### **Part IV. During Demolition/Construction**

- A. Building & Safety
- B. Land Use Planning
- C. Public Works

#### **Part V. Prior to Final Inspection**



**CONDITIONS OF APPROVAL**

**Property Address:** 2145 Grant Street

**Application Number:** ZP2024-0138

<b>I. Administrative Conditions A. General Project Conditions</b>		<u>Regulation Source</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>
1.	<b>Project Approval.</b> This Project approval is for 2145 Grant Street, as substantially shown and described on the Project plans dated July 2 ,2025, except as required to be modified by Conditions of Approval herein and plans as presented to the Zoning Adjustments Board on February 26, 2026 (“Approval Date.”). For any Condition herein that requires preparation of a Final Plan where the project applicant has submitted a conceptual plan, the Project applicant shall submit final plan(s) in substantial conformance with the conceptual plan and incorporate any required modifications.	City of Berkeley	On-Going	Land Use Planning
2.	<b>Approval Limited to Proposed Project and Replacement of Existing Uses.</b> This Use Permit authorizes only the Proposed Project described in the application. This project approval does not authorize other uses, structures or activities not included in the Project Description.  When the City approves a new use that replaces an existing use, any prior approval of the existing use becomes null and void when permits for the new use are exercised (e.g., building permit or business license issued). To reestablish the previously existing use, an applicant must obtain all permits required by the Zoning Ordinance for the use. (BMC Sections 23.404.060.B.1 and 2)	City of Berkeley <a href="#">BMC Section 23.404.060</a>	On-Going	Land Use Planning
3.	<b>Compliance Required.</b> All land uses and structures in the City of Berkeley must comply with the Zoning Ordinance and all applicable City ordinances and regulations.	City of Berkeley <a href="#">BMC Section 23.102.050(B)</a>	On-Going	Land Use Planning
4.	<b>Other Regulations.</b> Compliance with the Zoning Ordinance does not relieve an applicant from requirements to comply with other federal, state, and City regulations that also apply to the property.	City of Berkeley <a href="#">BMC Section 23.102.050 (E)</a>	On-Going	Land Use Planning



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<b>I. Administrative Conditions</b>		<u>Regulation Source</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>
<b>A. General Project Conditions</b>				
5.	<b>Conformance with Approved Plans.</b> All work performed under an approved Use Permit shall follow the approved plans as presented to ZAB on February 26, 2026 and any Conditions of Approval.	City of Berkeley <a href="#">BMC Section 23.404.060 (B)(4)</a>	On-Going	Land Use Planning
6.	<b>Permit Modifications.</b> No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Zoning Adjustments Board. The Zoning Officer may approve changes to plans approved by the Board which reduce the size of the Project, consistent with the Board’s policy adopted on May 24, 1978.	City of Berkeley <a href="#">BMC Section 23.404.070</a>	On-Going	Land Use Planning
7.	<b>Permit Revocation.</b> The City may revoke or modify a discretionary permit for completed projects due to: 1. Violations of permit requirements; 2. Changes to the approved project; and/or 3. Vacancy for one year or more.  No lawful residential use can lapse, regardless of the length of time of the vacancy. Proceedings to revoke or modify a permit may be initiated by the Zoning Officer, Zoning Adjustments Board, or City Council referral.	City of Berkeley <a href="#">BMC Section 23.404.080</a>	On-Going	Land Use Planning
8.	<b>Permit Remains Effective for Vacant Property.</b> Once a permit for a use is exercised and the use is established, the permit authorizing the use remains effective even if the property becomes vacant. The same use as allowed by the original permit may be re-established without obtaining a new permit, except as set forth in Standard COA #5 above.	City of Berkeley <a href="#">BMC Section 23.404.060</a>	On-Going	Land Use Planning



**CONDITIONS OF APPROVAL**

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<b>I. Administrative Conditions</b>		<u>Regulation Source</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>
<b>A. General Project Conditions</b>				
9.	<p><b>Exercise and Expiration of Permits</b> A permit authorizing a land use is exercised when both a valid City business license is issued (if required) and the land use is established on the property.</p> <p>A. A permit authorizing a land use is exercised when both a valid City business license is issued (if required) and the land use is established on the property.</p> <p>B. A permit authorizing construction is exercised when both a valid City building permit (if required) is issued and construction has lawfully begun.</p> <p>C. The Zoning Officer may declare a permit lapsed if it is not exercised within one year of its issuance, except if the applicant has applied for a building permit or has made a substantial good faith effort to obtain a building permit and begin construction. The Zoning Officer may declare a permit lapsed only after 14 days written notice to the applicant. A determination that a permit has lapsed may be appealed to the Zoning Adjustments Board in accordance with Chapter 23.410 (Appeals and Certification).</p> <p>D. A permit declared lapsed shall be void and of no further force and effect. To establish the use or structure authorized by the lapsed permit, an applicant must apply for and receive City approval of a new permit.</p>	<p>City of Berkeley  <a href="#">BMC Section 23.404.060 (C)</a></p>	On-Going	Land Use Planning



**CONDITIONS OF APPROVAL**

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<b>I. Administrative Conditions A. General Project Conditions</b>		<u>Regulation Source</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>
10.	<p><b>Hold Harmless.</b> The permittee agrees as a Condition of Approval of this application to indemnify, protect, defend with counsel selected by the City, and hold harmless, the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents, from and against any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorney’s fees and disbursements (collectively, “Claims”) arising out of or in any way relating to the approval of this application, any actions taken by the City related to this entitlement, or any environmental review conducted under the California Environmental Quality Act, Public Resources Code Section 210000 et seq., for this entitlement and related actions. The indemnification shall include any Claims that may be asserted by any person or entity, including the permittee, arising out of or in connection with the approval of this application, whether or not there is concurrent, passive or active negligence on the part of the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents. The permittee’s duty to defend the City shall not apply in those instances when the permittee has asserted the Claims, although the permittee shall still have a duty to indemnify, protect and hold harmless the City.</p>	City of Berkeley	On-Going	Land Use Planning
11.	<p><b>Compliance with Conditions of Approval.</b> The Building Permit application is subject to verification of compliance of these Conditions of Approval. The applicant shall be responsible for demonstrating compliance with all Conditions of Approval per the timeline set forth by this Permit.</p>	City of Berkeley	On-Going	Land Use Planning





**CONDITIONS OF APPROVAL**

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	<p>3. Daily construction schedule (i.e., time of day) and expected duration (number of months),</p> <p>4. The name, e-mail, and phone number of the Project Liaison for the Project that is responsible for responding to any local complaints, and</p> <p>5. Construction work is about to commence. The liaison would determine the cause of all construction-related complaints (e.g., starting too early, bad muffler, worker parking, etc.) and institute reasonable measures to correct the problem. A copy of such notice and methodology for distributing the notice shall be provided in advance to the City for review and approval.</p>			
<p><b>III. At the Time of Building Permit Submittal</b></p>		<p><u>Regulation Source</u></p>	<p><u>Timing/Implementation</u></p>	<p><u>Enforcement/Monitoring</u></p>
<p>1.</p>	<p><b>Public Works ADA.</b> Plans submitted for building permit shall include replacement of sidewalk, curb, gutter, and other streetscape improvements, as necessary to comply with current City of Berkeley standards for accessibility.</p>	<p>City of Berkeley</p>	<p>At Building Permit Submittal</p>	<p>Public Works</p>



**CONDITIONS OF APPROVAL**

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<b>IV. During Demolition/Construction A. Building &amp; Safety</b>		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/Monitoring</u>
1	<b>Construction Hours.</b> Construction activity shall be limited to between the hours of 8:00 AM and 6:00 PM on Monday through Friday, and between 9:00 AM and Noon on Saturday. No construction-related activity shall occur on Sunday or any Federal Holiday.	City of Berkeley <a href="#">BMC Section 13.40.070 (B) (7)</a>	During Demolition/Construction	Building & Safety
2.	<b>Construction Hours Exceptions.</b> Prior to initiating any activity that might require a longer period, the applicant shall notify the Zoning Officer in writing and request an exception for a specific period of time. If an exception is approved, then the applicant shall notify businesses and residents within 500 feet of the Project site describing the expanded construction hours two weeks prior to the expanded schedule start. The Project shall only be allowed 15 extended working days.	City of Berkeley	During Demolition/Construction	Environmental Health & Land Use Planning
3.	<b>Construction / No Parking Permits.</b> If “Construction/No Parking Permits” are required, the applicant shall obtain “Construction/No Parking Permits” (and associated signs and accompanying dashboard permits). The Zoning Officer and/or Traffic Engineer may limit off-site parking of construction-related vehicles if necessary to protect the health or safety of the surrounding neighborhood.	City of Berkeley	During Demolition/Construction	Building & Safety
<b>V. During Demolition/Construction: B. Land Use Planning</b>		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/Monitoring</u>



**CONDITIONS OF APPROVAL**

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1.	<p><b>Avoid Disturbance of Nesting Birds.</b> Initial site disturbance activities, including vegetation and concrete removal, shall be prohibited during the general avian nesting season (February 1 to August 30), if feasible. If nesting season avoidance is not feasible, the applicant shall retain a qualified biologist to conduct a preconstruction nesting bird survey to determine the presence/absence, location, and activity status of any active nests on or adjacent to the Project site. The extent of the survey buffer area surrounding the site shall be established by the qualified biologist to ensure that direct and indirect effects to nesting birds are avoided. To avoid the destruction of active nests and to protect the reproductive success of birds protected by the <a href="#">Migratory Bird Treaty Act</a> and the California Fish &amp; Game Code Section 3513, nesting bird surveys shall be performed not more than 14 days prior to scheduled vegetation and concrete removal. In the event that active nests are discovered, a suitable buffer (typically a minimum buffer of 50 feet for passerines and a minimum buffer of 250 feet for raptors) shall be established around such active nests and no construction shall be allowed inside the buffer areas until a qualified biologist has determined that the nest is no longer active (e.g., the nestlings have fledged and are no longer reliant on the nest). No ground-disturbing activities shall occur within this buffer until the qualified biologist has confirmed that breeding/nesting is completed and the young have fledged the nest. Nesting bird surveys are not required for construction activities occurring between August 31 and January 31.</p>	Federal Government State of California	During Demolition/Construction	Land Use Planning
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**CONDITIONS OF APPROVAL**

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2.	<p><b>Unanticipated Discovery of Paleontological Resources.</b> In the event of an unanticipated discovery of a paleontological resource during construction, excavations within 50 feet of the find shall be temporarily halted or diverted until the discovery is examined by a qualified archeologist (per Secretary of Professional Qualification Standards National Park Service 1983). The qualified paleontologist shall document the discovery as needed, evaluate the potential resource, and assess the significance of the find. The archeologist shall notify the appropriate agencies to determine procedures that would be followed before construction is allowed to resume at the location of the find. If the City determines that avoidance is not feasible, the archeologist shall prepare an excavation plan for mitigating the effect of the Project on the qualities that make the resource important, and such plan shall be implemented. The plan shall be submitted to the City for review and approval.</p>	City of Berkeley	During Demolition/Construction	Land Use Planning
3.	<p><b>Unanticipated Discovery of Tribal Cultural Resources.</b> In the event that Tribal Cultural Resources are identified during construction, all work within 50 feet of the discovery shall be redirected. The Project applicant and Project construction contractor shall notify the Land Use Planning Division within 24 hours. The City will contact any tribes who have requested consultation under AB 52 (if applicable), as well as contact a qualified archaeologist, to evaluate the resources and situation and provide recommendations. If it is determined that the resource is a Tribal Cultural Resource and thus significant under CEQA, a mitigation plan shall be prepared and implemented in accordance with State guidelines and in consultation with Native American groups. If the resource cannot be avoided, additional measures to avoid or reduce impacts to the resource and to address tribal concerns may be required.</p>	City of Berkeley	During Demolition/Construction	Land Use Planning
4.	<p><b>Unanticipated Discovery of Archeological Resources.</b> Pursuant to CEQA Guidelines section 15064.5(f), “provisions for historical or unique paleontological resources accidentally discovered during construction” should be instituted. Therefore:</p>	City of Berkeley	During Demolition/Construction	Land Use Planning



**CONDITIONS OF APPROVAL**

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<p><b>A.</b> In the event that any prehistoric or historic subsurface cultural resources are discovered during ground disturbing activities, all work within a minimum of 50 feet of the resources shall be halted and the Project applicant and/or lead agency shall consult with a Registered Professional Archeologist or paleontologist, and the culturally-affiliated California Native American Tribe (“Tribe”) to assess the significance of the find.</p> <p><b>B.</b> If any find is determined to be significant, representatives of the Project proponent and/or the lead agency and the Tribe shall meet to determine the appropriate avoidance measures or other appropriate measures to mitigate impacts to the Tribal Cultural Resource.,</p> <p><b>C.</b> In considering any suggested measure proposed by the Registered Professional Archeologist, the Tribe and the lead agency shall confer and such consultation will be considered concluded when either of the following occurs: (1) the parties agree to mitigation measures to mitigate or avoid a significant effect, if a significant effect exists, on a Tribal Cultural Resource or (2) A party, acting in good faith after reasonable effort, concludes that mutual agreement cannot be reached.</p> <p><b>D.</b> If avoidance is unnecessary or infeasible, other appropriate measures such as removal and reburial of the Tribal Cultural Resource in an alternate location with tribal cultural monitor such as removal and reburial of the Tribal Cultural Resource in an alternate location with tribal cultural monitors may be instituted. Work may proceed on other parts of the Project site while mitigation measures for cultural resources is carried out.</p> <p><b>E.</b> If significant materials are recovered, the Registered Professional Archeologist shall prepare a report on the findings for submittal to the Northwest Information Center.</p>			
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**CONDITIONS OF APPROVAL**

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<p>5.</p>	<p><b>Discovery of Human Remains.</b> In the event that human skeletal remains are uncovered at the Project site during ground-disturbing activities, all work shall immediately halt and the Alameda County Coroner shall be contacted to evaluate the remains, and following the procedures and protocols pursuant to Section 15064.5 (e)(1) of the CEQA Guidelines</p> <p>Upon the discovery of the Native American remains, the landowner shall ensure that the immediate vicinity, according to generally accepted cultural or archaeological standards or practices, where the Native American human remains are located, is not damaged or disturbed by further development activity until the landowner has discussed and conferred, as prescribed in this section, with the most likely descendants regarding their recommendations, if applicable, taking into account the possibility of multiple human remains. The landowner shall discuss and confer with the descendants all reasonable options regarding the descendants' preferences for treatment.</p> <p><b>A.</b> The descendants' preferences for treatment may include the following:</p> <ul style="list-style-type: none"> <li>i. The nondestructive removal and analysis of human remains and items associated with Native American human remains.</li> <li>ii. Preservation of Native American human remains and associated items in place.</li> <li>iii. Relinquishment of Native American human remains and associated items to the descendants for treatment.</li> <li>iv. Other culturally appropriate treatment.</li> </ul> <p><b>B.</b> The parties may also mutually agree to extend discussions, taking into account the possibility that additional or multiple Native American human remains, as defined in this section, are located in the Project area providing a basis for additional treatment measures.</p>	<p>City of Berkeley</p>	<p>During Demolition/Construction</p>	<p>Land Use Planning</p>
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**CONDITIONS OF APPROVAL**

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<p><b>C.</b> For the purposes of this section, “conferral” or “discuss and confer” means the meaningful and timely discussion and careful consideration of the views of each party, in a manner that is cognizant of all parties’ cultural values, and where feasible, seeking agreement. Each party shall recognize the other’s needs and concerns for confidentiality of information provided to the other.</p> <ul style="list-style-type: none"> <li>i. Human remains of a Native American may be an inhumation or cremation, and in any state of decomposition or skeletal completeness.</li> <li>ii. Any items associated with human remains that are placed or buried with Native American human remains are to be treated in the same manner as the remains, but do not by themselves constitute human remains.</li> </ul> <p><b>D.</b> Whenever the commission is unable to identify a descendant, or the descendants identified fail to make a recommendation, or the landowner or his or her authorized representative rejects the recommendation of the descendants and the mediation provided for in subdivision (k) of Public Resources Code Section 5097.94. if invoked, fails to provide measures acceptable to the landowner, the landowner or his or her authorized representative shall inter the human remains and items associated with Native American human remains with appropriate dignity on the property in a location not subject to further and future subsurface disturbance. To protect these sites, that landowner shall do one or more of the following:</p> <ul style="list-style-type: none"> <li>i. Record the site with the commission or the appropriate Information Center.</li> <li>ii. Utilize an open-space or conservation zoning designation or easement.</li> <li>ii. Record a document with the county in which the property is located.</li> </ul>			
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### CONDITIONS OF APPROVAL

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	<p>F. Upon the discovery of multiple Native American human remains during a ground disturbing land development activity, the landowner may agree that additional conferral with descendants is necessary to consider culturally appropriate treatment of multiple Native American human remains. Culturally appropriate treatment of such a discovery may be ascertained from review of the site utilizing cultural and archaeological standards. Where the parties are unable to agree on the appropriate treatment measures the human remains and buried with Native American human remains shall be reinterred with appropriate dignity, pursuant to subdivision (e).</p> <p>G. Per State law, any action taken to implement an agreement developed pursuant to this Condition of Approval shall be exempt from the CEQA.</p>			
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**CONDITIONS OF APPROVAL**

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<b>IV. During Demolition/Construction: C. Public Works</b>		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/Monitoring</u>
1.	<b>Debris.</b> All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter thick and secured to the ground.	City of Berkeley	During Construction	Public Works
2.	<b>Excavation.</b> The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.	City of Berkeley	During Construction	Public Works
3.	<b>Sandbags.</b> The Project sponsor shall maintain sandbags or other devices around the site perimeter during the rainy season to prevent on-site soils from being washed off-site and into the storm drain system. The Project sponsor shall comply with all City ordinances regarding construction and grading.	City of Berkeley	During Construction	Public Works
4.	<b>Fire Hydrant.</b> The removal or obstruction of any fire hydrant shall require the submission of a plan to the City's Public Works Department for the relocation of the fire hydrant during construction.	City of Berkeley	During Construction	Public Works
5.	<b>Underground Utilities.</b> If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.	City of Berkeley	During Construction	Public Works



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<b>V. During Demolition/Construction: C. Public Works</b>		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/Monitoring</u>
6.	<p><b>Public Works - Implement Bay Area Air District Recommended Measures during Construction.</b> For all proposed projects, the Bay Area Air District recommends implementing all the Basic Construction Mitigation Measures, listed below to meet the best management practices threshold for fugitive dust:</p> <ul style="list-style-type: none"> <li><b>A.</b> All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.</li> <li><b>B.</b> All haul trucks transporting soil, sand, or other loose material off-site shall be covered.</li> <li><b>C.</b> All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.</li> <li><b>D.</b> All vehicle speeds on unpaved roads shall be limited to 15 mph.</li> <li><b>E.</b> All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.</li> <li><b>F.</b> Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.</li> <li><b>G.</b> All construction equipment shall be maintained and properly tuned in accordance with manufacturer specifications. All equipment shall be checked by a certified visible emissions evaluator.</li> </ul>	City of Berkeley/ Bay Area Air District	During Construction	Public Works



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	<p><b>H.</b> Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Bay Area Air District’s phone number shall also be visible to ensure compliance with applicable regulations.</p>			
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<b>VI. Prior to Final Inspection</b>		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/Monitoring</u>
1.	<p><b>Construction and Demolition Diversion Receipt Reporting.</b> Divert debris according to your plan and collect required documentation. Get construction debris receipts from sorting facilities in order to verify diversion requirements. Upload recycling and disposal receipts if using <a href="#">Green Halo</a> and submit online for City review and approval prior to final inspection. Alternatively, complete the <a href="#">Construction Waste Management Plan</a> and present it, along with your construction debris receipts, to the Building Inspector by the final inspection to demonstrate diversion rate compliance. The Zoning Officer may request summary reports at more frequent intervals, as necessary to ensure compliance with this requirement.</p>	City of Berkeley	Prior to Final Inspection	Building & Safety Division

**CODE COMPLIANCE**

- CALIFORNIA RESIDENTIAL CODE 2022
- CALIFORNIA BUILDING CODE 2022
- CALIFORNIA PLUMBING CODE 2022
- CALIFORNIA MECHANICAL CODE 2022
- CALIFORNIA ELECTRICAL CODE 2022
- CALIFORNIA ENERGY CODE 2022
- CALIFORNIA GREEN BUILDING STANDARDS CODE 2022
- EDITION OF TITLE 24 STANDARDS 2022

**ARCHITECTURAL ABBREVIATIONS**

&	AND	HOR.	HORIZONTAL
@	AT	HT.	HEIGHT
ACOUS.	CENTERLINE	HML.	HOLLOW METAL
ADJ.	ACOUSTICAL	LD.	INSIDE DIAMETER
A.F.F.	ADJACENT	I.G.	INSULATED GLASS
A.F.G.	ABOVE FINISH FLOOR	INSUL.	INSULATION
AL.	ABOVE FINISH GRADE	INT.	INTERIOR
APPROX.	ALUMINUM	LAM.	LAMINATE
ARCH.	APPROXIMATE	LAV.	LAVATORY
BD.	ARCHITECTURAL	LT.	LIGHT
BLDG.	BOARD	K.E.C.	KITCHEN EQUIPMENT CONTRACTOR
BK.	BUILDING	MAX.	MAXIMUM
BK.G.	BLOCK	M.C.	MECHANICAL CONTRACTOR
BK.	BLOCKING	MECH.	MECHANICAL
B.O.	BEAM	M.E.P.	MECHANICAL ELECTRICAL PLUMBING
C.B.	BOTTOM OF	MFR.	MANUFACTURER
CEM.	CATCH BASIN	MGR.	MANAGER
CER.	CEMENT	MIN.	MINIMUM
CL.	CERAMIC	MISC.	MISCELLANEOUS
CLR.	CLOSET	MTD.	MOUNTED
CLG.	CLEAR	MTL.	METAL
COL.	CEILING	N.I.C.	NOT IN CONTRACT
CONC.	COLUMN	N.I.K.E.C.	NOT IN KITCHEN EQUIP. CONTRACT
CONN.	CONCRETE	N.T.S.	NOT TO SCALE
CONN.	CONNECTION	O.C.	ON CENTER
CONST.	CONSTRUCTION	O.D.	OUTSIDE DIAMETER
CONT.	CONTINUOUS	OPP.	OPPOSITE
CONTR.	CONTRACTOR	P.C.	PLUMBING CONTRACTOR
CNTR.	COUNTER	PL.	PLATE
CTR.	CENTER	PLAM	PLASTIC LAMINATE
D.F.	DOUGLAS FIR	PLAS.	PLASTER
DBL.	DOUBLE	PLYWD.	PLYWOOD
DEPT.	DEPARTMENT	PR.	PRESSURE TREATED
DET.	DETAIL	P.T.	PAINTED
DIA.	DIAMETER	PTD.	PRESSED
DIM.	DIMENSION	R.	RADIUS
DISP.	DISPENSER	R.D.	ROOF DRAIN
DN.	DOWN	REF.	REFRIGERATOR
D.S.	DOWN SPOUT	RIM.	ROOM
DWG.	DRAWING	RWD.	REDWOOD
(E)	EXISTING	R.W.L.	RAINWATER LEADER
EA.	EACH	S.A.	SMOKE ALARM
E.C.	ELECTRICAL CONTRACTOR	S.C.	SOLID CORE
EL.	ELEVATION	SCHED.	SCHEDULE
ELEC.	ELECTRICAL	SECT.	SECTION
ELEV.	ELEVATOR	SHT.	SHEET
EMER.	EMERGENCY	SIM.	SIMILAR
ENCL.	ENCLOSURE	SPEC.	SPECIFICATION
EQ.	EQUA.	SG.	SQUARE
EQP.	EQUIPMENT	S&R	SHelf AND ROD
EXT.	EXTERIOR	S.S.	STAINLESS STEEL
F.A.	FIRE ALARM	STD.	STANDARD
F.D.	FLOOR DRAIN	STL.	STEEL
F.F.	FLOOR FINISH	STR.	STRUCTURE
F.R.P.	FIBER REINFORCED PANEL	SUSP.	SUSPENDED
F.T.	FIRE TREATED	T.V.	TELEVISION
FDN.	FOUNDATION	T.O.	TOP OF
FIN. FL.	FINISH FLOOR	TRAN.	TRANSOM
FLUOR.	FLUORESCENT	TYP.	TYPICAL
FRF.	FIRE PROOF	U.O.N.	UNLESS OTHERWISE NOTED
FT.	FOOT/ FEET	V.I.F.	VERIFY IN FIELD
FTG.	FOOTING	VERT.	VERTICAL
GA.	GAUGE	W/.	WITH
GALV.	GALVANIZED	W.C.	WATER CLOSET
G.B.	GRAB BAR	WD.	WOOD
G.C.	GENERAL CONTRACTOR	W/O.	WITHOUT
GL.	GLASS	W.R.	WATER RESISTANT
GND.	GROUND	WT.	WEIGHT
GYP.	GYPNUM	WWM	WELDED WIRE MESH

# SECOND STORY ADDITION

2145 GRANT ST,  
BERKELEY, CA 94703



**SHEET INDEX**

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**REVISION SCHEDULE**

NO.	DESCRIPTION	DATE
1	REVISION 1	12/09/2024
2	REVISION 2	03/19/2025
3	REVISION 3	05/14/2025

**CLIENT NAME**

MAI NGUYEN

**PROJECT NAME**

SECOND STORY ADDITION

**PROJECT ADDRESS**

2145 GRANT ST,  
BERKELEY, CA 94703

**CONTACT INFORMATION**

DESIGNER OF RECORD:  
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**CLINET:**

MAI NGUYEN  
2145 GRANT ST,  
BERKELEY, CA 94703  
MAITHNGUYEN@PROTONMAIL.COM  
(510)859-7139

**PROJECT INFORMATION**

ADDRESS:  
2145 GRANT ST,  
BERKELEY, CA 94703

**LOT AREA** 7,171 SF

**ACCESSORS PARCEL NUMBER** 57-2015-22

**OCCUPANCY GROUP** R-2

**ZONING DISTRICT** R-2

**YEAR BUILT** 1924

**SCOPE OF WORK AREA** 1,223 SF EXISTING, 2,356 SF PROPOSED

**FIRE SPRINKLER** NO

**LOT COVERAGE** 45.09% EXISTING, 44.79% PROPOSED, 40% ORDINANCE

**TOTAL FLOOR AREA** 3,610 SF EXISTING, 4,890 SF PROPOSED

**BUILDING FOOTPRINT** 2,356 SF EXISTING, 2,518 SF PROPOSED

**FRONT BUILDING HEIGHT** 14' - 3 1/2" EXISTING, 22' - 0 1/2" PROPOSED, 28' - 0" ORDINANCE

**DWELLING UNIT NUMBER** 2 EXISTING, 2 PROPOSED, 3 ORDINANCE

**CONSTRUCTION TYPE** VB EXISTING, VB PROPOSED, VB ORDINANCE

**FAR** 0.5 EXISTING, 0.68 PROPOSED

**SHEET NO.**

A000

**ASSESSORS MAP**



**SCOPE OF WORK**

SECOND STORY ADDITION

RAISING THE FRONT BUILDING'S FIRST FLOOR TO THE SECOND FLOOR LEVEL AND ADDING A NEW FIRST FLOOR LEVEL

NO WORK IN THE REAR BUILDING  
NO CHANGE IN THE LANDSCAPE

STATEMENT OF CHANGE

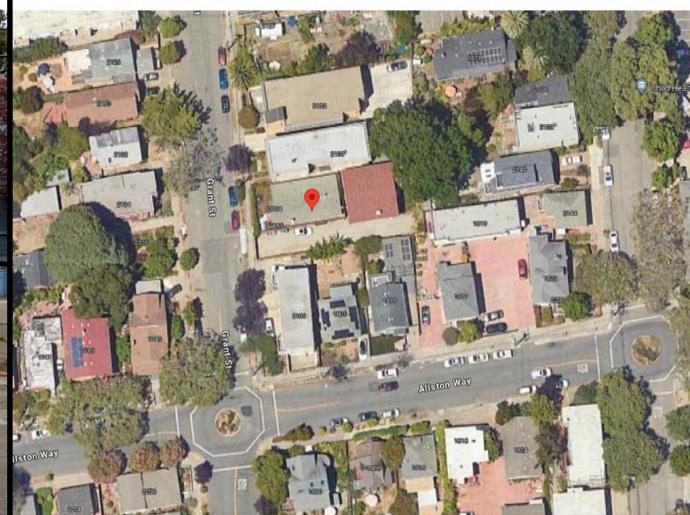
WE ARE SUBMITTING THIS STATEMENT TO FORMALLY REQUEST A MODIFICATION TO OUR PREVIOUSLY SUBMITTED ZONING PERMIT APPLICATION FOR THE PROPERTY LOCATED AT 2145 GRANT ST., BERKELEY, CA 94703. INITIALLY, OUR PROPOSAL INVOLVED LIFTING THE EXISTING HOUSE AND CONSTRUCTING A NEW UNIT UNDERNEATH AS A SEPARATE DWELLING. HOWEVER, AFTER FURTHER CONSIDERATION, WE HAVE DECIDED TO REVISE THE PROJECT'S SCOPE INSTEAD OF CREATING A SEPARATE UNIT, WE PROPOSE TO ADD A NEW FLOOR BENEATH THE EXISTING STRUCTURE AND CONVERT THE BUILDING INTO A TWO-STORY SINGLE-FAMILY HOME. THIS MODIFICATION DOES NOT CHANGE THE OVERALL FOOTPRINT OF THE BUILDING BUT ADJUSTS ITS USE TO REMAIN AS A SINGLE-FAMILY RESIDENCE. THE REVISED PLANS REFLECT THESE CHANGES ACCORDINGLY.

THIS CHANGE ALIGNS WITH OUR GOAL OF MAINTAINING THE PROPERTY AS A SINGLE-FAMILY HOME WHILE OPTIMIZING THE USE OF SPACE. WE KINDLY REQUEST THE CITY OF BERKELEY TO REVIEW AND PROCESS THIS REVISION AS PART OF OUR EXISTING APPLICATION.

**STREET VIEW**



**SITE VIEW**



**SYMBOLS**

	SPOT ELEVATION SYMBOL		KEYNOTE SYMBOL - REF. KEYNOTES ON SHEET
	GRID LINE BUBBLE		CENTERLINE SYMBOL
	DETAIL REFERENCE/ PLAN CALLOUT SYMBOL		WALL TYPE TAG - REF. WALL TYPE SCHEDULE
	DENOTES SAFETY GAZING		WINDOW TYPE SYMBOL - REF. WINDOW SCHEDULE
	CLEAR DIMENSION SYMBOL - DENOTES DIMENSION FROM FACE OF FINISH TO FACE OF FINISH		DOOR TAG - REFERENCE DOOR SCHEDULE
	ELEVATION SYMBOL		SECTION CUT SYMBOL

**GENERAL NOTES**

- THIS BUILDING SHALL BE CONSTRUCTED TO MEET ALL REQUIREMENTS OF THE 2022 CALIFORNIA
- THE GENERAL CONTRACTOR SHALL GUARANTEE, BE RESPONSIBLE FOR, AND MAKE GOOD ALL DEFECTS DUE TO FAULTS OF LABOR OR MATERIALS IN THE WORK INCLUDED IN THE CONTRACT FOR ONE YEAR FOLLOWING THE COMPLETION OF THE STRUCTURE.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES CAUSED BY POOR WORKMANSHIP, SYSTEM FAILURES, BREAKAGE, AND/OR HIS SUBCONTRACTORS' ERRORS THAT CAUSE ADDITIONAL TIME AND EXPENSE TO THE OWNER AS THEY MAY OCCUR FOR A PERIOD OF ONE YEAR AFTER THE PROJECT WAS COMPLETED.
- ALL WORK SHALL MEET THE MINIMUM REQUIREMENTS OF CURRENT LOCAL CODES AND ADOPTED NATIONAL CODES, LATEST EDITIONS AT THE TIME OF THE BUILDING PERMIT.
- THE GENERAL CONTRACTOR SHALL PROVIDE AN OPERATIONS AND MAINTENANCE MANUAL TO INCLUDE ALL WARRANTIES AND GUARANTEES FOR ALL MATERIALS, FIXTURES, AND APPLIANCES PROVIDED UNDER THIS CONTRACT.
- THE GENERAL CONTRACTOR SHALL PROVIDE OWNER WITH A LIST OF ALL HEATING, COOLING, WATER HEATING, AND LIGHTING SYSTEM COMPONENTS OPERATING INSTRUCTIONS.
- NO STRUCTURAL MEMBER SHALL BE BORED OR NOTCHED UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE.
- THE GENERAL CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES IN THE DRAWINGS PRIOR TO CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS PRIOR TO START THE WORK.
- THE OWNER AND CONTRACTOR ARE RESPONSIBLE TO PERFORM EROSION PREVENTION AND SEDIMENTATION CONTROL IN ACCORDANCE WITH RELATED CODE.
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES AN ENCROACHMENT PERMIT.
- A NEW 1/2" WATER SERVICE, 1" METER AND BACK FLOW DEVICE MAY BE REQUIRED DEPENDING ON THE FIRE SPRINKLER REQUIREMENTS, IF ANY.

**CONSTRUCTION AND DEMOLITION:**

- DURING CONSTRUCTION AND DEMOLITION, ALL DEBRIS MUST BE REMOVED FROM THE SITE BY THE CITY'S ONLY APPROVED HAULER, USING THEIR DEBRIS BOX SERVICE. NO OTHER ENTITY IS AUTHORIZED TO COLLECT OR TRANSPORT MATERIAL GENERATED WITHIN FREMONT. THERE IS AN EXCEPTION FOR DEBRIS BOXES CONTAINING ONLY SEPARATED SOIL, CONCRETE OR ASPHALT.
- ALTERNATELY, THE CONSTRUCTION OR DEMOLITION CONTRACTOR MAY REMOVE MATERIALS FROM THE JOBSITE, USING THEIR OWN EQUIPMENT, VEHICLES AND EMPLOYEES, AS AN INCIDENTAL PART OF A TOTAL CONSTRUCTION SERVICE OFFERED BY THAT CONTRACTOR. CONTRACTORS WHO SELF-HAUL DEBRIS IN THEIR OWN VEHICLES MUST DELIVER THE MATERIAL TO AN APPROVED RECYCLING FACILITY.
- LOADS OF SEPARATED RECYCLABLE MATERIALS (ONLY SOIL, ASPHALT OR CONCRETE) CANNOT CONTAIN MORE THAN 10% GARBAGE OR OTHER NON-RECYCLABLE MATERIAL BY WEIGHT OR VOLUME.
- THE COMBINED WEIGHT OF NEW CONSTRUCTION DISPOSAL THAT DOES NOT EXCEED TWO POUNDS PER SQUARE FOOT OF BUILDING AREA MAY BE DEEMED TO MEET THE 65 PERCENT MINIMUM REQUIREMENT AS APPROVED BY THE ENFORCING AGENCY. (CGSBC 5.408.1.3)
- NO PROTECTED TREE SHALL BE REMOVED, CUT DOWN, OR OTHERWISE DESTROYED, UNLESS A PERMIT IS ISSUED BY THE COMMUNITY DEVELOPMENT DEPARTMENT. 100 PERCENT OF TREES, STUMPS, ROCKS AND ASSOCIATED VEGETATION AND SOILS RESULTING PRIMARILY FROM LAND CLEARING SHALL BE REUSED OR RECYCLED. (CGSBC 5.408.3)
- DURING CONSTRUCTION, 100% OF THE ASPHALT AND CONCRETE MUST BE REUSED OR RECYCLED, AND 65% OF THE REMAINING DEBRIS MUST BE REUSED OR RECYCLED. APPLICANT MUST SAVE ALL WEIGHT TAGS/RECEIPTS FROM DISPOSAL AND RECYCLING TO TURN IN AT THE COMPLETION OF THE PROJECT.
- ALL DISPOSAL AND RECYCLING RECEIPTS MUST BE COUNTED TOWARD THE DIVERSION REQUIREMENT.
- PRIOR TO THE FINAL INSPECTION, THE APPLICANT MUST FILE A DEBRIS DISPOSAL & DIVERSION REPORT DOCUMENTING ACTUAL TONS OF DEBRIS RECYCLED, ALONG WITH ALL DISPOSAL RECEIPTS OR WEIGHT TAGS FROM THE PROJECT. ALLOW THREE (3) BUSINESS DAYS FOR REVIEW OF THE DEBRIS DISPOSAL REPORT.

**SITE**

- THE GENERAL CONTRACTOR SHALL VERIFY AND LOCATE ALL PROPERTY CORNERS, SETBACKS, EASEMENTS, AND UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION WORK.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL GRADERS AND DIMENSIONS IN THE FIELD.
- THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES OR MISSING DIMENSIONS PRIOR TO START OF CONSTRUCTION. WHERE A SURVEYOR HAS PREPARED A SURVEY, THE SURVEYOR SHALL VERIFY THE BUILDING LAYOUT PRIOR TO START OF CONSTRUCTION.
- FINAL GRADERS SHALL BE PROVIDED WITH A 1/4 INCH PER FOOT SLOPE FOR THE FIRST 5 FEET FROM BUILDING POSITIVE GRADIENT AWAY FROM ALL FOUNDATIONS IN ORDER TO PROVIDE RAPID REMOVAL OF THE SURFACE RUNOFF FROM THE FOUNDATIONS TO AN ADEQUATE DISCHARGE POINT. SURFACE WATERS MUST NOT BE ALLOWED TO POND ADJACENT TO THE BUILDING FOUNDATION.
- CONTINUOUS ROOF GUTTERS SHALL BE PROVIDED. THE OUTLETS FROM THE DOWNSPOUTS SHALL BE PROVIDED WITH ADEQUATE CAPACITY TO CARRY STORM WATER AWAY FROM THE STRUCTURE TO REDUCE THE POSSIBILITY OF SOIL SATURATION AND EROSION.
- UTILITY TRENCHES THAT ARE PARALLEL TO THE SIDES OF THE BUILDING SHALL BE PLACED SO THAT THEY DO NOT EXTEND BELOW A PLANE SLOPING DOWN AND AWAY AT A ONE HORIZONTAL TO ONE VERTICAL SLOPE FROM THE BOTTOM EDGE OF ANY FOOTING.
- TRENCHES MAY BE BACKFILLED WITH ON-SITE MATERIAL COMPACTED UNIFORMLY TO A MINIMUM RELATIVE DRY DENSITY OF 90 PERCENT. JETTING OF THE TRENCH, BACKFILL SHALL NOT BE ALLOWED. CLEAN SAND SHALL NOT BE USED FOR TRENCH BACKFILL.
- TRENCHES SHALL BE SHORED AS REQUIRED BY THE LOCAL JURISDICTION AND THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY, CONSTRUCTION SAFETY ORDERS. CAL-OSHA PERMITS MUST BE OBTAINED BY THE GENERAL CONTRACTOR IF REQUIRED.

**DOORS**

- THE MINIMUM CLEAR WIDTH OF REQUIRED EGRESS DOORS IS 32 INCHES WITH A HEIGHT OF 80 INCHES.
- INTERIOR DOORS SHALL BE 1-3/8 INCH HOLLOW CORE UNLESS NOTED OTHERWISE.
- PROVIDE 1-3/4 INCH SOLID CORE DOOR WITH SELF-CLOSING HINGES BETWEEN THE INTERIOR CONDITIONED SPACE AND THE GARAGE.
- SLIDING DOORS SHALL HAVE TEMPERED GLASS PANELS AND OPERABLE SCREEN PANELS. SLIDING DOORS SHALL BE SIERRA PACIFIC QUALITY OR EQUAL.
- ALL DOORS SHALL BE SELECTED BY OWNER.

**DRYWALL**

- A COMPLETE GYPSUM BOARD CEILING AND WALL INSTALLATION SHALL BE PROVIDED. WALL BOARD SHALL BE 1/2-INCH FOR WALLS & 5/8-INCH FOR CEILING RECESSED EDGE TYPE BOARD SUCH AS MANUFACTURED BY US GYPSUM CO. OR EQUAL. NAILS SHALL BE 5D, 13 1/2 GAUGE, CEMENT COATED, FLAT-HEAD, 1-5/8 INCH LONG. GYPSUM BOARD SHALL BE TAPED USING "PERFATAPE" JOINT REINFORCING TAPE AND CEMENT AS MANUFACTURED BY THE US GYPSUM CO. OR EQUAL. USE 5/8-INCH TYPE "X" FIRE RATED GYPSUM BOARD BETWEEN GARAGE AND HOME, UNDER ALL STARWAYS, AND WHERE INDICATED ON DRAWINGS.
- THE BEST WORKMANSHIP AND CONSTRUCTION PRACTICES ARE REQUIRED. IN THE EVENT THE DRYWALL CONTRACTOR FINDS CROOKED WALLS OR BAD JOINTS OCCURRING IN THE FRAME STRUCTURE, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR SO THEY ARE FIXED PRIOR TO BEING COVERED BY DRYWALL.
- SPECIAL CARE MUST BE TAKEN TO PROTECT AND PRESERVE ALL FINISH WOOD SURFACES.
- ALL DOORS AND WINDOW SILLS SHALL BE TRIMMED FLUSH WITH OPENINGS.
- ALL SCRAPS SHALL BE REMOVED FROM THE INTERIOR OF THE BUILDING THE SAME DAY AS HANGING.
- JOINTS AT PLATES AND STAIRWELLS, HEADER CONNECTIONS, AND AT PLATES ON TWO-STORY HIGH WALLS SHALL NOT BE BROKEN.
- ALL RECESSED KITCHEN LIGHTS SHALL HAVE CLEAN STRAIGHT LINES.

8. SHEETROCK SHALL BE WITHIN 1/8" OF ALL ROUGH-IN BOXES.

**ELECTRICAL**

- THE ELECTRICAL CONTRACTOR SHALL PROVIDE A FULLY OPERATIONAL SYSTEM PER PLAN. THE DRAWINGS SHOW ONLY THE LOCATION AND TYPE OF OUTLETS, INCLUDING CONTROL SWITCHES. NO EXTRA CHARGES WILL BE PAID FOR PROVIDING ITEMS NOT SPECIFIED IN THE PLANS, BUT REQUIRED BY ALL REQUIRED ELECTRICAL CODES.
- ELECTRICAL SERVICE GROUNDING SHALL BE PER CODE.
- RECEPTACLE OUTLETS SHALL BE PROVIDED IN ALL HABITABLE ROOMS, ON ALL WALLS 2 FEET OR WIDER AND THE WALL SPACE OCCUPIED BY SLIDING PANELS IN EXTERIOR WALLS. NOT MORE THAN 6 FEET FROM OPENINGS AND 12 FEET MAXIMUM BETWEEN RECEPTACLES. (CEC 210.50 (A))
- ALL RECESSED, UNDER-COUNTER, AND SOFFIT LIGHTING SHALL BE PROVIDED AS INDICATED ON THE DRAWINGS.
- PROVIDE INTERNET AND ETHERNET CONNECTIONS WITH A SMART CLOSET TO BE LOCATED BY OWNER.
- ONE OR MORE 120-VOLT, 20-AMPERE BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM(S) RECEPTACLE OUTLET(S) (CEC 210.11(C)(3)).
- AT LEAST ONE RECEPTACLE OUTLET WITHIN 3 FT OF THE OUTSIDE EDGE OF EACH BASIN. THE RECEPTACLE OUTLET SHALL BE LOCATED ON A WALL THAT IS ADJACENT TO THE BASIN, OR ON THE SIDE OR FACE OF THE BASIN CABINET NOT MORE THAN 12 INCHES BELOW THE COUNTERTOP. (CEC 210.52(D)).
- GFCI PROTECTED OUTLETS FOR ALL BATHROOM, KITCHEN, OUTDOOR, LAUNDRY AREA, INDOOR DAMP LOCATIONS, ROOFTOP, CRAWL SPACE (CEC 210.8(A)).
- ALL ADDED/REPLACED 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (CEC 406.12)
- IN BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS AND WALK-IN CLOSETS, AT LEAST ONE INSTALLED LUMINAIRE SHALL BE CONTROLLED BY AN OCCUPANCY OR VACANCY SENSOR PROVIDING AUTOMATIC-OFF FUNCTION. (CEC1509.0(II))
- RECESSED LUMINARIES IN INSULATED CEILINGS SHALL BE RATED FOR ZERO CLEARANCE INSULATION COVER (IC), AND SHALL INCLUDE A LABEL CERTIFYING AIR-TIGHT (AT) DESIGNATION.
- IF THE REMODELED BATHROOM OR TOILET ROOM IS NOT EQUIPPED WITH A WINDOW THAT PROVIDES A VENTILATION OPENING OF AT LEAST 1.5 SQ.FT. SPECIFY MECHANICAL VENTILATION WITH AN EXHAUST CAPACITY OF AT LEAST 50 CFM. (CRC R303.3)
- EXHAUST FAN (IF PROVIDED) SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM. (CEES SEC1509(8))
- RECEPTACLE OUTLETS AT EACH KITCHEN COUNTER SPACE WIDER THAN 12", LOCATED SO THAT NO POINT ALONG THE COUNTER WALL IS MORE THAN 24" FROM A RECEPTACLE PER CEC ART.210-52;.
- AT LEAST ONE RECEPTACLE OUTLET AT EACH ISLAND OR PENINSULAR COUNTER SPACE WITH A LONG DIMENSION OF 24" OR GREATER AND A SHORT DIMENSION OF 12" OR GREATER PER CEC ART.210-52(C);.
- RECEPTACLES SHALL BE LOCATED WITHIN 20" ABOVE COUNTERTOPS.
- ALL ELECTRICAL OUTLETS SERVING COUNTERTOPS SHALL BE GFCI PROTECTED (CEC ART.210-12(B))
- AT LEAST TWO SEPARATE 20-AMP CIRCUITS (FOR SMALL KITCHEN APPLIANCES), WHICH ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS ONLY. (CEC ART.210-52)
- ALL ADDED/REPLACED 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (CEC ART.406.1.1)
- SMOKE DETECTORS SHALL BE INSTALLED: (A) IN EACH SLEEPING ROOM, (B) OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, (C) ON EACH STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. (CRC SEC.R31.4)
- PROVIDED A CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS: (A) OUTSIDE OF THE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S); (B) ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (CRC SEC.R31.5)
- ELECTRICAL RECEPTACLE OUTLETS, SWITCHES, AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION, AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS SHALL BE LOCATED NO MORE THAN 48 INCHES MEASURED TO THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR. (DEDICATED RECEPTACLE OUTLETS, FLOOR RECEPTACLE OUTLETS, CONTROLS MOUNTED ON CEILING FANS AND LIGHTS, AND CONTROLS LOCATED ON APPLIANCES ARE NOT REQUIRED TO COMPLY WITH THIS REQUIREMENT.) (CRC §R327.1.2)
- DOORBELL BUTTONS OR CONTROLS SHALL NOT EXCEED 48 INCHES ABOVE THE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY. (CRC §R327.1.4)

**ENERGY REQUIREMENTS - ALL WORK SHALL BE IN ACCORDANCE WITH THE CERTIFIED TITLE 24 ENERGY COMPLIANCE CERTIFICATE**

- MECHANICAL CONTRACTOR SHALL PROVIDE A COMPLETE AND OPERATING HEATING SYSTEM TO MEET ALL APPLICABLE CODE REQUIREMENTS. (AND COOLING IF SPECIFIED)
- ALL HEATING, VENTILATING, AIR CONDITIONING, AND WATER HEATING EQUIPMENT SHALL MEET ALL THE REQUIREMENTS OF THE APPLIANCE EFFICIENCY STANDARDS, BE CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION, AND BE ENERGY STAR RATED.
- COMPLYING HVAC EQUIPMENT SHALL BE PROVIDED AND VERIFIED FOR CERTIFICATION BY THE FIELD INSPECTOR.
- MECHANICAL CONTRACTOR SHALL PROVIDE THE PERMITTING JURISDICTION WITH A LIST OF ALL HEATING, VENTING, AND AIR CONDITIONING EQUIPMENT AND EFFICIENCY RATINGS PER SECTION TITLE 20 CAC PRIOR TO THE START OF WORK IF REQUIRED.
- EQUIPMENT WHICH REQUIRES PREVENTIVE MAINTENANCE TO MAINTAIN EFFICIENT OPERATION SHALL BE PROVIDED WITH ALL NECESSARY MAINTENANCE INFORMATION.
- MECHANICAL CONTRACTOR SHALL DETERMINE, WITH APPROVAL OF DESIGNER, THE EXACT LOCATIONS OF THERMOSTATS AND COLD AIR RETURNS.
- A TWO-STAGE THERMOSTAT, WHICH CONTROLS THE SUPPLEMENTARY HEAT ON ITS SECOND STAGE, SHALL BE PROVIDED FOR HEAT PUMPS.
- THERMOSTATS, EXCEPT THOSE CONTROLLING HEAT PUMPS, SHALL BE EQUIPPED WITH AN AUTOMATIC SETBACK.
- ALL GAS-FIRED FAN TYPE CENTRAL FURNACES AND ALL GAS APPLIANCES SHALL BE EQUIPPED WITH AN INTERMITTENT IGNITION DEVICE.
- LAMPS USED IN LUMINARIES OR GENERAL LIGHTING IN KITCHENS AND BATHROOMS SHALL HAVE AN EFFICIENCY OF NOT LESS THAN 40 LUMENS PER WATT.
- SHOWERS AND TUB/SHOWERS SHALL BE PROVIDED WITH PRESSURE-BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE CONTROLS PER CFC SECTION 418.0.
- NEW AND/OR REPLACEMENT FENESTRATION (I.E. WINDOWS, SKYLIGHTS, EXTERIOR DOORS WITH A GLAZED AREA OF MORE THAN ONE-HALF OF THE DOOR AREA) SHALL HAVE A U-FACTOR OF 0.40 OR LESS. (CEES SEC.152(B), TABLE 151-C)

13. FREEZERS, REFRIGERATORS, AND FLUORESCENT LAMP BALLASTS SHALL BE CEC CERTIFIED.

- ALL FAN SYSTEMS EXHAUSTING AIR TO THE OUTSIDE SHALL BE PROVIDED WITH BACKDRAFT DAMPERS.
- BATH, KITCHEN, AND LAUNDRY EXHAUST FANS SHALL HAVE DAMPER CONTROLS.
- ALL TRANSVERSE DUCT, PLENUM, AND FITTING JOINTS SHALL BE SEALED WITH PRESSURE SENSITIVE TAPE OR MASTIC TO PREVENT AIR LOSS AND SHALL BE INSULATED TO CONFORM TO THE PROVISIONS OF CALIFORNIA MECHANICAL CODE, CHAPTER 6.
- CAULKING, SEALANTS, OR WEATHERSTRIPPING MUST BE PROVIDED AT THE FOLLOWING LOCATIONS - EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN SILLS AND FLOORS, AROUND PENETRATIONS IN WALLS, CEILINGS, AND FLOORS FOR PLUMBING, ELECTRICAL, AND GAS LINES, AND AT OPENINGS IN ATTIC AND UNDERFLOOR ACCESS.
- ALL JOINTS AND PENETRATIONS OF CONDITIONED SPACES SHALL BE CAULKED AND SEALED.
- DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED TO MEET THE MINIMUM STANDARDS LISTED IN TABLE 2-53V, TITLE 24 CAC.
- GLASS AND GLAZING SHALL BE PER CBC CHAPTER 24. ALL WINDOWS SHALL BE LABELED FOR INFILTRATION PER THE REQUIREMENTS OF CALIFORNIA TITLE 24. THIS INCLUDES SKYLIGHTS AND GLAZING IN DOORS AND SLIDING GLASS DOORS.
- ALL MANUFACTURED WINDOWS AND SLIDING GLASS DOORS SHALL MEET THE CURRENT ANSI AIR INFILTRATION STANDARDS AND SHALL BE CERTIFIED AND LABELED.
- ALL WINDOWS AND SLIDING GLASS DOORS SHALL BE DUAL PANE.
- SKYLIGHTS SHALL COMPLY WITH CBC CHAPTER 24 FOR GLAZED SKYLIGHTS.
- ALL DOORS AND WINDOWS LEADING TO UNCONDITIONED AREAS SHALL BE FULLY WEATHERSTRIPPED, INCLUDING THE DOOR OPENING TO THE GARAGE FROM HOME.
- DOOR BETWEEN GARAGE AND HOME SHALL BE TIGHT-FITTING, SOLID CORE 1 3/4-INCH WITH A SELF-CLOSING DEVICE.
- MASONRY AND FACTORY-BUILT FIREPLACES SHALL HAVE ALL OF THE FOLLOWING PER CAC TITLE 24.2-5352DS - A. TIGHT-FITTING, CLOSEABLE METAL OR GLASS DOORS COVERING THE ENTIRE OPENING OF THE FIREBOX (THIS REQUIREMENT MAY BE OMITTED IF SUCH DOORS WOULD INTERFERE WITH DEVICES PERMANENTLY PROVIDED IN THE FIREPLACE WHICH ARE DESIGNED TO INCREASE THE CIRCULATION OF THE HEAT B. COMBUSTION AIR INTAKE TO DRAW AIR FROM OUTSIDE THE BUILDING DIRECTLY INTO THE FIREBOX, WHICH IS AT LEAST 6 SQUARE INCHES IN AREA AND IS EQUIPPED WITH A READILY ACCESSIBLE, OPERABLE, AND TIGHT-FITTING DAMPER, TIGHT-FITTING FLUE DAMPER WITH A READILY ACCESSIBLE CONTROL.
- ALL EXTERIOR WALL/FLOOR/ROOF FRAMING SPACES OPENED UP DURING THE COURSE OF REMODEL SHALL BE INSULATED WITH A MINIMUM OF R-13 (WALL), R-19 (FLOOR), R-30 (ROOF) INSULATION.
- INSULATION SHALL BE CERTAIN TEED GREENGUARD CERTIFIED UNFACED FIBERGLASS BATTS AS FOLLOWS UNLESS NOTED OTHERWISE:  
A. ATTIC/CEILING = 9-1/2 INCHES THICK R30  
B. EXTERIOR WALLS = 3-1/2 INCHES THICK R15  
C. UNDERFLOOR = 9-1/2 INCHES THICK R30
- INSULATION PROVIDED SHALL POST APPLICABLE CERTIFICATE STATING INSULATION CONFORMS TO MINIMUM REQUIREMENT OF TITLE 24, CHAPTER 2, SUBCHAPTER 4, ARTICLE 3 WITH MANUFACTURERS NAME, MATERIAL, AND R VALUES.
- HOT WATER HEATER SHALL HAVE R19 INSULATION BLANKET WRAP AND PIPE INSULATION THROUGHOUT UNCONDITIONED SPACE.
- ALL FURNACE DUCTS SHALL BE CONSTRUCTED, PROVIDED, AND INSULATED PER CALIFORNIA MECHANICAL CODE.

**EXTERIOR FINISHES**

- EXTERIOR 7/8-INCH TEXTURED STUCCO WALLS SHALL HAVE G1 WEEP SCREED PER CBC SECTION 2512 AT OR BELOW THE FOUNDATION PLATE LINE AND 4 INCHES MINIMUM ABOVE GRADE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR.
- A WEEP SCREED SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS. THE SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE GRADE AND SHALL BE A TYPE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTIVE BARRIER AND EXTERIOR FINISH MATERIAL SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE SCREED.
- EXTERIOR DOORS SHALL HAVE ALUMINUM OR STAINLESS STEEL THRESHOLD AND WEATHER-STRIPPING UNLESS NOTED OTHERWISE, GARAGE DOORS EXCEPT.
- EXTERIOR VENEER SHALL BE SELECTED BY OWNER.
- LATH AND PLASTER SHALL CONFORM TO CBC CHAPTER 25 AND TABLE 2507.2.
- TRIM SHALL BE 2X6 RESAWN TIGHT KNIT SPRUCE, TYPICAL AT DOORS, WINDOWS, AND CORNERS UNLESS NOTED OTHERWISE.
- BANDS SHALL BE 2X10 RESAWN, AS INDICATED ON DRAWINGS.
- DECKING SHALL BE 2X6 REDWOOD DECKING SECURED TO DECK JOISTS WITH A CONCEALED FASTENING SYSTEM.
- EXTERIOR WALL COVERING SHALL BE APPLIED AS SPECIFIED IN CBC CHAPTER 14.

**FIXED GLASS**

- ALL GLAZING SHALL BE GUARANTEED WATERTIGHT. GLASS WHICH LEAKS SHALL BE REGLAZED.
- SIZE GLASS TO MEET MINIMUM CBC REQUIREMENTS.
- ALL GLASS SHALL BE TEMPERED WHERE REQUIRED PER CBC REQUIREMENTS.

**FOUNDATION**

- REFER TO THE SPECIFIC SOILS REPORT PREPARED FOR THIS PROJECT IF APPLICABLE AND COORDINATE WITH THE SOILS ENGINEER TO OBTAIN THEIR APPROVAL LETTER.
- PROVIDE CONVENTIONAL FOOTINGS BEDDED INTO FIRM NATIVE SOIL OR ENGINEERED FILL WITH CONTINUOUS EXTERIOR FOOTINGS AND INTERIOR ISOLATED PADS, AND/OR CONCRETE SLABS ON GRADE.
- UNDERFLOOR AREAS SHALL BE VENTILATED BY APPROVED MECHANICAL MEANS OR BY OPENINGS IN EXTERIOR FOUNDATION WALLS. SUCH OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN 1 SQUARE FOOT FOR EACH 15 SQUARE FEET OF UNDERFLOOR AREA. OPENINGS SHALL BE LOCATED AS CLOSE TO CORNERS AS PRACTICAL TO PROVIDE CROSS-VENTILATION. THE REQUIRED AREA OF SUCH OPENINGS SHALL BE APPROXIMATELY EQUALLY DISTRIBUTED ALONG THE LENGTH OF TWO OPPOSITE SIDES. OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH OPENINGS OF 1/4-INCH IN DIMENSION.
- WOOD POSTS ON CONCRETE OR MASONRY FLOORS OR DECKS EXPOSED TO THE WEATHER OR WATER SPLASH SHALL BE SUPPORTED BY CONCRETE PIERS OR METAL PEDESTALS PROJECTING ABOVE THE FLOORS. UNLESS POSTS ARE APPROVED WOOD WITH NATURAL RESISTANCE TO DECAY OR TREATED WOOD. THE PEDESTALS SHALL PROJECT AT LEAST 8 INCHES ABOVE EXPOSED EARTH AND AT LEAST 1 INCH ABOVE SUCH FLOORS.
- INDIVIDUAL CONCRETE OR MASONRY PIERS SHALL PROJECT AT LEAST 8" ABOVE EXPOSED GROUND UNLESS THE COLUMNS OR POSTS WHICH THEY SUPPORT ARE OF APPROVED WOOD WITH NATURAL RESISTANCE TO DECAY OR TREATED WOOD.
- EARTH ON WHICH CONCRETE GRADE BEAMS ARE CONSTRUCTED MUST BE WETTED NOT LESS THAN 24 HOURS PRIOR TO PLACING CONCRETE. SHRINKAGE CRACKS SHALL NOT BE PERMITTED.
- PROVIDE A 1/8 INCH IN 12 INCH MINIMUM SLOPE AT GARAGE SLAB FOR DRAINAGE TO EXTERIOR.
- ALL EXPOSED CONCRETE SLABS SHALL BE LIGHT BROOM FINISH. GARAGE SLAB SHALL BE FINISHED SMOOTH.
- ALL FOOTINGS SHALL BE AT LEAST 12 INCHES WIDE FOR ONE-STORY STRUCTURES AND 15 INCHES WIDE FOR TWO-STORY STRUCTURES. ALL FOOTINGS AND INTERIOR PIERS SHALL BE TRENCHED A MINIMUM OF 24 INCHES BELOW ADJACENT GRADE OR PAD WHICHEVER IS LOWER. THIS TRENCHING SHALL BE INTO FIRM NATIVE SOIL OR COMPACTED ENGINEERED FILL SHALL LOCAL CODES REQUIRE DEEPER EMBEDMENT OR WIDER FOOTINGS, LOCAL CODES SHALL GOVERN.
- ALL FOOTINGS SHALL BEAR ON EXISTING, UNDISTURBED, SOLID GROUND 18 INCHES BELOW ADJACENT GRADE. STEM WALLS SHALL BE 8 INCHES WIDE FOR TWO STORY AND 6 INCHES WIDE FOR ONE STORY.

**FRAMING**

- LUMBER SHALL BE AT LEAST THE MINIMUM GRADE SHOWN IN CBC CHAPTER 23.
- PROVIDE 2X6 (OR 3X8 FOR 2X6 WALL FRAMING) PRESSURE TREATED DOUGLAS FIR CONTINUOUS MUDDL.
- MAINTAIN MINIMUM 12-INCH CLEARANCE BETWEEN INSIDE GRADE AND GIRDERS AND 18-INCH CLEARANCE BETWEEN GRADE AND JOISTS TYPICAL THROUGHOUT UNDERFLOOR.
- ALL WOOD FRAMING SHALL BE A MINIMUM OF 6 INCHES ABOVE FINISH GRADE.
- STUD BEARING WALL FOUNDATIONS SHALL CONFORM TO CBC CHAPTER 18 AND SECTION 2308.
- FLOOR JOISTS AND CEILING JOISTS SHALL BE SIDE-LAPPED AND NAILED OVER TOP PLATES.
- ALL FLOORS SHALL BE LEVEL WITHIN 1/8" ALL AROUND

**HEATING SYSTEM**

- THE HEATING SYSTEM SHALL BE DESIGNED BY THE MECHANICAL CONTRACTOR RESPONSIBLE FOR THE INSTALLATION AND BALANCING OF THE SYSTEM.
- PROVIDE HEATING EQUIPMENT SUFFICIENT TO MAINTAIN A TEMPERATURE OF 68 DEGREES FAHRENHEIT AT 3 FEET ABOVE THE FLOOR IN EACH HABITABLE ROOM.

**HUMAN FACTORS/SAFETY**

- ONE WINDOW IN EACH SLEEPING ROOM SHALL HAVE A NET CLEAR OPENABLE AREA NOT LESS THAN 5.0 SQUARE FEET WITH A MINIMUM NET CLEAR OPENING HEIGHT OF 24 INCHES, A MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES, AND THE BOTTOM OF THE CLEAR OPENING NO GREATER THAN 44 INCHES ABOVE THE FINISH FLOOR PER CBC 1026.2.
- APPROVED SMOKE DETECTORS SHALL BE PROVIDED PER PLAN.
- SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, NOT BATTERIES.
- CHIMNEYS SHALL EXTEND AT LEAST 2 FEET ABOVE ANY OTHER PART OF THE BUILDING WITHIN 10 FEET OF THE CHIMNEY.
- FIREPLACE CHIMNEY SHALL BE PROVIDED WITH AN ICBO-APPROVED SPARK ARRESTOR.
- THE GENERAL CONTRACTOR SHALL PROVIDE BUILDING OFFICIAL WITH ICBO NUMBER FOR FIREPLACE/WOOD STOVE PRIOR TO BEGINNING CONSTRUCTION IF REQUIRED.
- PROVIDE CLEARANCE OF 2 INCHES BETWEEN COMBUSTIBLE MATERIAL AND FIREPLACE PER CBC CHAPTER 21.
- HEARTH SHALL EXTEND AT LEAST 22 INCHES FROM THE FRONT OF THE FIREPLACE OPENING, AND AT LEAST 12 INCHES BEYOND EACH SIDE.
- HEARTH EXTENSIONS OF APPROVED FACTORY-BUILT FIREPLACES SHALL NOT BE LESS THAN 3/8" THICK CONCRETE, HOLLOW METAL, STONE, TILE, OR OTHER APPROVED NON-COMBUSTIBLE MATERIAL. SUCH HEARTH EXTENSIONS MAY BE PLACED ON THE SUBFLOORING OR FINISH FLOORING UNLESS THE FLOORING IS COMBUSTIBLE OR NOT.
- EXCEPT FOR FIREPLACES WHICH OPEN TO THE EXTERIOR OF THE BUILDING, THE HEARTH SLAB SHALL BE READILY DISTINGUISHABLE FROM THE SURROUNDING ADJACENT FLOOR.
- HEIGHT TO COMBUSTIBLE MATERIAL ABOVE KITCHEN RANGES SHALL BE 30 INCHES UNPROTECTED AND 24 INCHES PROTECTED PER CMC SECTION 9.13.
- RANGE, FURNACE AND WATER HEATER VENTS SHALL BE LINED PER CMC.
- DUMBWATER AND LAUNDRY CHUTES SHALL BE LINED TO ACHIEVE A 1-HOUR RATING.
- PROVIDE 1/2-INCH TYPE X SHEET ROCK WITH A 1-HOUR FIRE RATING AT UNDERSIDE OF STAIRS.
- FIRE BLOCKING SHALL BE PROVIDED AT FLOOR, CEILING, COVES, AND MID-HEIGHT OF WALLS OVER 10 FEET. INTERIOR WALL BETWEEN ADU UNIT AND THE MAIN RESIDENCE IS FIRE RATING: 1 HR. REF: LU 341 GA WP 3370, STC: 55, REF: CA-ONC 1.2.4.1.5.4 - TEST TL-93-265
- HEATING AIRID COOLING EQUIPMENT WHICH GENERATES A GLOW, SPARK, OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS SHALL BE PROVIDED WITH THE PILOTS AND BURNERS OR HEATING ELEMENTS AND SWITCHES AT LEAST 18 INCHES ABOVE THE FLOOR LEVEL. THE GARAGE IS NOT A HABITABLE ENVIRONMENT.
- COOKING HEAT PRODUCING APPLIANCES SHALL NOT BE OPERATED WITHIN A GARAGE THAT IS DESIGNED FOR THE STORAGE OF VEHICLES WHERE SUCH APPLIANCES PROVIDED WITHIN A GARAGE ARE ENCLOSED IN A SEPARATE APPROVED COMPARTMENT WITH ACCESS ONLY FROM OUTSIDE THE GARAGE. SUCH APPLIANCES MAY BE PROVIDED AT FLOOR LEVEL IF THE REQUIRED COMBUSTION AIR IS TAKEN FROM AND DISCHARGED TO THE EXTERIOR OF THE GARAGE.
- COMBUSTION AIR FOR THE FURNACE AND WATER HEATER SHALL BE PROVIDED AS REQUIRED. COMBUSTION AIR INTAKES SHALL BE LOCATED WITHIN 6" OF FLOOR AND CEILING, 6-INCH CLEARANCE BETWEEN FURNACE AND COMBUSTIBLES SHALL BE MAINTAINED.
- GLAZING ADJACENT TO A DOOR WHOSE NEAREST EDGE IS WITHIN 24 INCHES FROM THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS BELOW THE LEVEL OF THE TOP OF THE DOOR MUST BE TEMPERED SAFETY GLASS.
- GLASS WINDOWS AND DOORS SUBJECT TO HUMAN IMPACT MUST HAVE SAFETY GLAZING OR A PROTECTIVE GRILL OR PUSHBAR PER CBC SECTION 2406.
- GLAZING USED IN DOORS AND PANELS OF SHOWER OR TUB ENCLOSURES SHALL BE TEMPERED GLASS, LAMINATED SAFETY GLASS, OR APPROVED PLASTIC.
- STAIRWAYS SHALL HAVE A MAXIMUM RISE OF 7-3/4 INCHES AND A MINIMUM TREAD DEPTH OR RUN OF 11-1/4 INCHES.
- HEADROOM CLEARANCE OVER STAIRS SHALL BE A MINIMUM 7'-0".
- STAIRWAYS OPEN ON ONE OR BOTH SIDES SHALL HAVE GUARDRAILS AS REQUIRED BY CBC SECTION 1013.
- HANDRAILS SHALL BE BETWEEN 34-38 INCHES ABOVE THE NOSING OF THE TREAD AND BE CONTINUOUS THE FULL LENGTH OF THE STAIRS PER CBC SECTION 1012. HANDRAIL EXTENSIONS SHALL BE PROVIDED PER COMMERCIAL CODES.
- ALL REQUIRED GUARDRAILS SHALL BE 42 INCHES HIGH. THEY SHALL BE CONSTRUCTED TO WITHSTAND A HORIZONTAL FORCE OF 200 POUNDS PER LINEAL FOOT, APPLIED AT THE TOP OF THE RAILING.
- GUARDRAILS SHALL HAVE INTERMEDIATE RAILINGS SPACED SO THAT A 4-INCH DIAMETER SPHERE CANNOT PASS THROUGH PER CBC SECTION 1011.
- ENDS OF HANDRAILS SHALL BE RETURNED PER CBC SECTION 1012.
- HAND GRIP PORTION OF THE HANDRAIL AND CLEARANCE FROM THE WALL SHALL CONFORM TO CBC SECTION 1012 - NOT LESS THAN 1-1/4 INCHES NOR MORE THAN 2 INCHES IN CROSS SECTIONAL DIMENSION.
- IN LIEU OF REQUIRED EXTERIOR OPENINGS FOR NATURAL VENTILATION, A MECHANICAL VENTILATION SYSTEM SHALL BE PROVIDED. THE SYSTEM SHALL BE CAPABLE OF PROVIDING TWO AIR CHANGES PER HOUR FOR ALL GUEST ROOMS, DOMITORIES, HABITABLE ROOMS, AND IN PUBLIC CORRIDORS. ONE FIFTH OF THE AIR SUPPLY SHALL BE TAKEN FROM OUTSIDE THE BUILDING. IN BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS, AND SIMILAR ROOMS, A MECHANICAL VENTILATION SYSTEM CONNECTED DIRECTLY TO THE OUTSIDE, CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR SHALL BE PROVIDED



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**REVISION SCHEDULE**

NO.	DESCRIPTION	DATE

**CLIENT NAME**

MAI NGUYEN

**PROJECT NAME**

SECOND STORY ADDITION

**PROJECT ADDRESS**

2145 GRANT ST,  
BERKELEY, CA 94703

**PROJECT NO.**

18-0524

**PERMIT NO.**

**DATE**

05/16/2025

**SCALE**

**SHEET TITLE**

GENERAL NOTES

**SHEET NO.**

A001



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GENERAL NOTES

**SHEET NO.**

A002

31. PER CALIFORNIA CARBON MONOXIDE POISONING PREVENTION ACT OF 2010 CALIFORNIA'S CARBON MONOXIDE POISONING PREVENTION ACT OF 2010 REQUIRES THAT ALL RESIDENTIAL PROPERTY BE EQUIPPED WITH A CARBON MONOXIDE DETECTOR WHEN THE PROPERTY HAS A FOSSIL FUEL BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE.
32. SHOWER STALLS AND TUB ENCLOSURES SHALL CONFORM TO THE REQUIREMENTS OF CPC SECTION 411, 1024 SQUARE INCHES MINIMUM FLOOR AREA WITH 30 INCHES MINIMUM IN ANY DIMENSION.
33. MAXIMUM FLOOR LEVEL CHANGE AT ANY DOOR SHALL BE 1 INCH, EXCEPT IF STAIRS END AT DOORWAY AND THE DOOR DOES NOT SWING OVER TOP STEP, CBC SECTION 1009.
34. APPLIANCES PROVIDED IN GARAGE, WAREHOUSE, OR OTHER AREAS WHERE THEY MAY BE SUBJECTED TO MECHANICAL DAMAGE SHALL BE SUITABLY GUARDED AGAINST SUCH DAMAGE BY BEING BEHIND PROTECTIVE BARRIERS OR BY BEING ELEVATED OR LOCATED OUT OF THE NORMAL PATH OF VEHICLES.
35. ATTIC ACCESS SHALL BE AT LEAST 20 INCHES X 30 INCHES NET CLEAR OPENING WITH A MINIMUM 30 INCHES HEAD ROOM. THERE IS NO HEAT PRODUCING EQUIPMENT IN ATTIC SPACE
36. UNDERFLOOR ACCESS SHALL BE AT LEAST 18 INCHES X 24 INCHES NET CLEAR OPENING WITHOUT PIPE OR DUCT INTERFERENCE.
37. ACCESS FOR BATHTUB TRAP AND ALL CLEANOUTS SHALL BE PROVIDED WITH A MAXIMUM 20 FEET DISTANCE TO ALL PLUMBING IN CRAWL SPACE OR A CLEANOUT SHALL BE PROVIDED AT THE EXTERIOR WALL.
17. COMBUSTION AIR FOR THE FURNACE AND WATER HEATER SHALL BE PROVIDED AS REQUIRED. COMBUSTION AIR INTAKES SHALL BE LOCATED WITHIN 6" OF FLOOR AND CEILING, 6-INCH CLEARANCE BETWEEN FURNACE AND COMBUSTIBLES SHALL BE MAINTAINED.
18. ALL EXTERIOR RECEPTACLES, GARAGE RECEPTACLES, AND BATHROOM RECEPTACLES SHALL HAVE GROUND FAULT INTERRUPTER CIRCUIT PROTECTION, CEC CHAPTER 2.
19. GLAZING ADJACENT TO A DOOR WHOSE NEAREST EDGE IS WITHIN 24 INCHES FROM THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS BELOW THE LEVEL OF THE TOP OF THE DOOR MUST BE TEMPERED SAFETY GLASS.
20. GLASS WINDOWS AND DOORS SUBJECT TO HUMAN IMPACT MUST HAVE SAFETY GLAZING OR A PROTECTIVE GRILL OR PUSHBAR PER CBC SECTION 2406.
21. GLAZING USED IN DOORS AND PANELS OF SHOWER OR TUB ENCLOSURES SHALL BE TEMPERED GLASS, LAMINATED SAFETY GLASS, OR APPROVED PLASTIC.
22. STAIRWAYS SHALL HAVE A MAXIMUM RISE OF 7-3/4 INCHES AND A MINIMUM TREAD DEPTH OR RUN OF 11-1/4 INCHES.
23. HEADROOM CLEARANCE OVER STAIRS SHALL BE A MINIMUM 7'-0".
24. STAIRWAYS OPEN ON ONE OR BOTH SIDES SHALL HAVE GUARDRAILS AS REQUIRED BY CBC SECTION 1013.
25. HANDRAILS SHALL BE BETWEEN 34-38 INCHES ABOVE THE NOSING OF THE TREAD AND BE CONTINUOUS THE FULL LENGTH OF THE STAIRS PER CBC SECTION 1012. HANDRAIL EXTENSIONS SHALL BE PROVIDED PER COMMERCIAL CODES.
26. ALL REQUIRED GUARDRAILS SHALL BE 42 INCHES HIGH. THEY SHALL BE CONSTRUCTED TO WITHSTAND A HORIZONTAL FORCE OF 200 POUNDS PER LINEAL FOOT, APPLIED AT THE TOP OF THE RAILING.
27. GUARDRAILS SHALL HAVE INTERMEDIATE RAILINGS SPACED SO THAT A 4-INCH DIAMETER SPHERE CANNOT PASS THROUGH PER CBC SECTION 1013.
28. ENDS OF HANDRAILS SHALL BE RETURNED PER CBC SECTION 1012.
29. HAND GRIP PORTION OF THE HANDRAIL AND CLEARANCE FROM THE WALL SHALL CONFORM TO CBC SECTION 1012 - NOT LESS THAN 1-1/4 INCHES NOR MORE THAN 2 INCHES IN CROSS SECTIONAL DIMENSION.
30. IN LIEU OF REQUIRED EXTERIOR OPENINGS FOR NATURAL VENTILATION, A MECHANICAL VENTILATING SYSTEM MAY BE PROVIDED. SUCH SYSTEM SHALL BE CAPABLE OF PROVIDING TWO AIR CHANGES PER HOUR FOR ALL GUEST ROOMS, DORMITORIES, HABITABLE ROOMS, AND IN PUBLIC CORRIDORS. ONE FIFTH OF THE AIR SUPPLY SHALL BE TAKEN FROM OUTSIDE THE BUILDING. IN BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS, AND SIMILAR ROOMS, A MECHANICAL VENTILATION SYSTEM CONNECTED DIRECTLY TO THE OUTSIDE, CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR SHALL BE PROVIDED.
31. PER CALIFORNIA CARBON MONOXIDE POISONING PREVENTION ACT OF 2010 CALIFORNIA'S CARBON MONOXIDE POISONING PREVENTION ACT OF 2010 REQUIRES THAT ALL RESIDENTIAL PROPERTY BE EQUIPPED WITH A CARBON MONOXIDE DETECTOR WHEN THE PROPERTY HAS A FOSSIL FUEL BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE.
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33. MAXIMUM FLOOR LEVEL CHANGE AT ANY DOOR SHALL BE 1 INCH, EXCEPT IF STAIRS END AT DOORWAY AND THE DOOR DOES NOT SWING OVER TOP STEP, CBC SECTION 1009.
34. APPLIANCES PROVIDED IN GARAGE, WAREHOUSE, OR OTHER AREAS WHERE THEY MAY BE SUBJECTED TO MECHANICAL DAMAGE SHALL BE SUITABLY GUARDED AGAINST SUCH DAMAGE BY BEING BEHIND PROTECTIVE BARRIERS OR BY BEING ELEVATED OR LOCATED OUT OF THE NORMAL PATH OF VEHICLES.
35. ATTIC ACCESS SHALL BE AT LEAST 22 INCHES X 30 INCHES NET CLEAR OPENING WITH A MINIMUM 30 INCHES HEAD ROOM. THERE IS NO HEAT PRODUCING EQUIPMENT IN ATTIC SPACE
36. UNDERFLOOR ACCESS SHALL BE AT LEAST 18 INCHES X 24 INCHES NET CLEAR OPENING WITHOUT PIPE OR DUCT INTERFERENCE.
37. ACCESS FOR BATHTUB TRAP AND ALL CLEANOUTS SHALL BE PROVIDED WITH A MAXIMUM 20 FEET DISTANCE TO ALL PLUMBING IN CRAWL SPACE. UNDERFLOOR CLEAN-OUT SHALL BE WITHIN 5 FT. MAXIMUM FROM A CRAWSPACE ACCESS OPENING.

**MASONRY**

1. MASONRY VENEER SHALL COMPLY WITH CBC CHAPTERS 21 AND 23.
2. VENEER TIES AND A WEATHERPROOF COVERING SHALL BE PROVIDED AS REQUIRED

**MIRRORS**

1. MIRRORS SHALL BE 1/8-INCH POLISHED PLATE GLASS, A\* QUALITY.

**INSULATION**

1. ALL INSULATION BATTS SHALL BE PROVIDED WITH VAPOR BARRIER AGAINST HEATED SIDE.
2. R15 WALL INSULATION BATTS ARE REQUIRED IN ALL STUD CAVITIES EXPOSED TO THE EXTERIOR AND COMMON WALLS BETWEEN THE INTERIOR CONDITIONED SPACE AND THE GARAGE.
3. R30 UNDERFLOOR INSULATION BATTS SHALL BE Laid OVER NYLON NETTING OR METAL WIRES.
4. EXCEPT WHEN ENCLOSED, USABLE SPACE UNDER STAIRS IS PROHIBITED BY CBC SECTION 1009. THE WALLS AND SOFFITS OF THE ENCLOSED SPACE SHALL BE PROTECTED ON THE ENCLOSED SIDE AS REQUIRED FOR ONE-HOUR FIRE-RESISTIVE CONSTRUCTION.
5. INSULATION SHALL NOT BLOCK REQUIRED VENTILATION IN RAFTER CAVITIES, ATTICS, OR FOUNDATIONS.

**KITCHEN APPLIANCES**

1. THE FOLLOWING APPLIANCES SHALL BE PROVIDED: WALL OVEN RANGE COMPLETE WITH EXHAUST FAN SYSTEM DISHWASHER GARBAGE DISPOSAL.
2. APPLIANCES SHALL BE SELECTED BY OWNER.
3. WATER HEATER SHALL BE ON-DEMAND TYPE MANUFACTURED BY RENNAI. THE GENERAL CONTRACTOR SHALL PROVIDE MODEL NUMBER AND COMPLETE SPECIFICATIONS FOR OWNERS REVIEW PRIOR TO ORDERING.

**PAINTING**

1. NO PAINTING OR FINISHING SHALL BE DONE UNDER CONDITIONS WHICH JEOPARDIZE THE QUALITY OF THE WORK. SURFACES TO BE FINISHED SHALL BE IN PROPER CONDITION TO RECEIVE FINISH. EACH COAT SHALL BE APPLIED AT THE PROPER CONSISTENCY, FREE OF RUNS, SAGS, BRUSH MARKS, SPATTERING, OR ANY EVIDENCE OF POOR WORKMANSHIP.
2. SURFACES SHALL BE SANDED SMOOTH. NAILS HOLES AND IMPERFECTIONS IN THE WOOD SHALL BE FILLED WITH MATERIAL OF THE SAME COLOR AS THE FINISH.
3. ALL ITEMS HAVING A FACTORY FINISH SHALL NOT BE PAINTED. ALL OTHER SURFACES SHALL BE PAINTED OR FINISHED WHETHER SPECIFICALLY MENTIONED HEREIN OR NOT.
4. PAINT MATERIALS SHALL BE APPROVED BY OWNER.
5. DRYWALL IN KITCHEN, BATHS, LAUNDRY, AND GARAGE SHALL BE ENAMELED. ALL OTHER DRYWALL AREAS SHALL HAVE ONE COAT OF INTERIOR LATEX WALL FINISH. INTERIOR TRIM SHALL BE ENAMELED.
6. NATURAL WOODS SHALL BE FINISHED WITH SEMI-TRANSPARENT STAIN AND SEALER. CABINETS AND WOOD DOORS SHALL BE SANDED, STAINED, AND SEALED.
7. WOOD SIDING, TRIM, FASCIA, BEAMS, AND RAILINGS SHALL BE TREATED WITH A SEMITRANSPARENT OR HEAVY BODY PENETRATING LATEX FINISH.
8. EXTERIOR DOORS SHALL HAVE TWO COATS OF EXTERIOR TYPE SPAR FINISH.
9. ALL GALVANIZED METAL SHALL BE COATED WITH EXTERIOR LATEX.
10. SPECIAL CARE SHALL BE TAKEN TO PRESERVE NATURAL WOODWORK. WORK SHALL BE NEAT, CLEAN, AND ACCURATE SO AS NOT TO DAMAGE FINISH OF NATURAL WOOD SURFACES. ALL SURFACES NOT INTENDED TO HAVE PAINT SHALL BE LEFT IN A CLEAN CONDITION.

**PLUMBING**

1. THE PLUMBING CONTRACTOR SHALL DESIGN AND PROVIDE A COMPLETE PLUMBING SYSTEM AS INDICATED ON THE DRAWINGS.
2. PIPES SHALL BE SIZED ADEQUATELY TO ACCOMMODATE THE FIXTURES SERVED. THE PLUMBING CONTRACTOR SHALL MAKE ALL NECESSARY CONNECTIONS TO UTILITIES SHOWN ON PLOT PLAN AND PROVIDE ALL PIPING, ETC. REQUIRED.
- STOP VALVES SHALL BE AT EACH FIXTURE OR APPLIANCE.
3. PROVIDE PLUMBING FOR AUTOMATIC WASHER. PLUMB ROUGH FOR FUTURE SOFT WATER SYSTEM AT HOT SIDE ONLY. PLUMB FOR AT LEAST 4 EXTERIOR HOSE BIBBS.
4. PROVIDE A PRESSURE RELIEF VALVE AT THE WATER HEATER. PROVIDE A PRESSURE REDUCER IF WATER PRESSURE EXCEEDS 60 PSI.
5. PROVIDE ALL GI MATERIAL OR LEAD ROOF JACKS FOR PLUMBING VENTS, ETC., AS REQUIRE AND LOCATE ALL ROOF VENTS SO THEY ARE NOT VISIBLE FROM THE STREET OR ENTRY WALK.
6. REINFORCEMENT SHALL BE NOT LESS THAN SOLID 2X8 NOMINAL LUMBER, FLUSH WITH THE WALL FRAMING, AND LOCATED BETWEEN 32 INCHES AND 39 1/4 INCHES ABOVE THE FINISH FLOOR.
7. WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ONE SIDE WALL AND THE BACK WALL.
8. SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.
9. BATHTUB AND COMBINATION BATHTUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHTUB AND BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 4 INCHES ABOVE THE BATHTUB RIM.
10. SHOWER AND TUB-SHOWER COMBINATIONS SHALL HAVE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. CPC 408.9.
11. MAXIMUM WATER TEMPERATURE DISCHARGING FROM AN INDIVIDUAL SHOWERHEAD SHALL BE LIMITED TO 120 DEGREES FAHRENHEIT. SPECIFY ONE OF THE TEMPERATURE-LIMITING METHODS LISTED IN CPC 408.3.2.
12. INFORMATION AND/OR DRAWINGS IDENTIFYING THE LOCATION OF GRAB BAR REINFORCEMENT SHALL BE PLACED IN THE OPERATION AND MAINTENANCE MANUAL IN ACCORDANCE WITH CALIFORNIA GREEN BUILDING STANDARDS CODE CHAPTER 4, DIVISION 4.4. [CRC 8927.1.1.1]
13. A BACKFLOW PREVENTER WITH INTERMEDIATE ATMOSPHERIC VENT CONSISTS OF TWO INDEPENDENTLY ACTING CHECK VALVES, FORCE LOADED TO A NORMALLY CLOSED POSITION, AND AN INTERMEDIATE CHAMBER WITH A MEANS FOR AUTOMATICALLY VENTING TO ATMOSPHERE, FORCE LOADED TO A NORMALLY OPEN POSITION.

**PLUMBING FIXTURES**

1. THE FOLLOWING PLUMBING FIXTURES SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR: LOW-FLOW DUAL-FLUSH WATER CLOSETS LAVATORY SINKS WITH LOW-FLOW FAUCETS SHOWER TUBS
2. PLUMBING FIXTURES SHALL BE SELECTED BY OWNER AND INSTALLED BY THE CONTRACTOR
3. NO PLUMBING FIXTURE, DEVICE, OR CONSTRUCTION SHALL BE INSTALLED OR MAINTAINED, OR SHALL BE CONNECTED TO A DOMESTIC WATER SUPPLY, WHERE SUCH INSTALLATION OR CONNECTION PROVIDES A POSSIBILITY OF POLLUTING SUCH WATER SUPPLY OR CROSS-CONNECTION BETWEEN A DISTRIBUTING SYSTEM OF WATER FOR DRINKING AND DOMESTIC PURPOSES AND WATER THAT BECOMES CONTAMINATED BY SUCH PLUMBING FIXTURE, DEVICE, OR CONSTRUCTION UNLESS THERE IS PROVIDED A BACKFLOW PREVENTION DEVICE APPROVED FOR THE POTENTIAL HAZARD.

603.3 BACKFLOW PREVENTION DEVICES, ASSEMBLIES, AND METHODS SHALL COMPLY WITH SECTION 603.3.1 THROUGH SECTION 603.3.12.

**603.1 AIR GAP**

THE MINIMUM AIR GAP TO ADDORD BACKFLOW PROTECTION SHALL BE ACCORDANCE WITH TABLE 603.3.1.

TABLE 603.3.1  
MINIMUM AIR GAPS FOR WATER DISTRIBUTION

FIXTURES	WHERE NOT AFFECTED BY SIDEWALLS (INCHES)	WHERE NOT AFFECTED BY SIDEWALLS (INCHES)
EFFECTIVE OPENINGS NOT GREATER THAN 1/2 OF AN INCH IN DIAMETER	1	1 1/2
EFFECTIVE OPENINGS NOT GREATER THAN 3/4 OF AN INCH IN DIAMETER	1 1/2	2 1/4
EFFECTIVE OPENINGS NOT GREATER THAN 1 INCH IN DIAMETER	2	3
EFFECTIVE OPENINGS GREATER THAN 1 INCH IN DIAMETER	TWO TIMES THE DIAMETER OF EFFECTIVE OPENING	THREE TIMES THE DIAMETER OF EFFECTIVE OPENING

FOR 50 UNITS 1 INCH = 25.4MM

**NOTES:**

1. SIDEWALLS, RIBS, OR SIMILAR OBSTRUCTIONS DO NOT AFFECT AIR GAP WHERE SPACED FROM THE INSIDE EDGE OF SPOUT OPENING A DISTANCE EXCEEDING THREE TIMES THE DIAMETER OF THE EFFECTIVE OPENING FOR A SINGLE WALL, OR A DISTANCE EXCEEDING FOUR TIMES THE EFFECTIVE OPENING FOR TWO INTERSECTING WALLS.
2. VERTICAL WALLS, RIBS, OR SIMILAR OBSTRUCTIONS EXTENDING FROM THE WATER SURFACE TO OR ABOVE THE HORIZONTAL PLANE OF THE SPOUT OPENING OTHER THAN SPECIFIED IN FOOTNOTE 1 ABOVE. THE EFFECT OF THREE OR MORE SUCH VERTICAL WALL OR RIBS HAS NOT BEEN DETERMINED. IN SUCH CASES, THE AIR GAP SHALL BE MEASURED FROM THE TOP OF THE WALL.
3. THE EFFECTIVE OPENING SHALL BE THE MINIMUM CROSS-SECTIONAL AREA AT THE SEAT OF THE CONTROL VALVE OR THE SUPPLY PIPE OR TUBING THAT FEEDS THE DEVICE OR OUTLET. WHERE TWO OR MORE LINES SUPPLY ONE OUTLET, THE EFFECTIVE OPENING SHALL BE THE SUM OF THE CROSS-SECTIONAL AREAS OF THE INDIVIDUAL SUPPLY LINES OR THE AREA OF THE SINGLE OUTLET, WHICHEVER IS SMALLER.
4. AIR GAP LESS THAN 1 INCH (25.4 MM) SHALL BE APPROVED AS PERMANENT PART OF A LISTED ASSEMBLY THAT HAS BEEN TESTED UNDER ACTUAL BACKFLOW CONDITIONS WITH VACUUM OF 0 TO 25 INCHES OF MERCURY(85 KPA)

**TILE**

1. TILE SHALL BE INSTALLED IN ACCORDANCE WITH BEST METHODS AND CONSTRUCTION PRACTICES. JOINTS SHALL BE KEPT NEAT AND SYMMETRICAL AND ALL LINES SHALL BE TRUE AND STRAIGHT.
2. JOINTS AND TILE SHALL BE THOROUGHLY WASHED.
3. OWNER SHALL SELECT COLOR, FINISH, AND PATTERN OF ALL TILE AND GROUT.

**TRIM WORK**

1. ALL EXTERNAL FASCIAS SHALL BE SCARFED. NO BUTT JOINTS OR SPACED BOARDS WILL BE ALLOWED. ALL TRIM CONNECTIONS SHALL BE TIGHT AND FIT FLUSH AGAINST THE EXTERIOR.
2. ALL EXTERIOR REDWOOD DECKING SHALL BE INSTALLED IN A CRAFTSMANLIKE MANNER. SAND ALL MITERED CORNERS AND EXPOSED EDGES. REMOVE ALL SHARP EDGES FROM HANDRAILS.
3. CLOSETS SHALL HAVE SHELVES OF 1/2 INCH SIERRAPINE "AREIS", SOLID PINE SHELVES MAY BE USED AS A SUBSTITUTE. CLOTHES POLE MADE OF PINE, 1-3/8 INCH DIAMETER. AN INTERMEDIATE SUPPORT FOR SPANS LONGER THAN 40 INCHES SHALL BE PROVIDED AND A 1X4 HOOK STRIP TO ALSO ACT AS A SHELF SUPPORT.
4. 3/8-INCH SIERRAPINE "AREIS" MDF SHALL BE USED AS UNDERLAYMENT UNDER ALL RESILIENT FLOORING EXCEPT FOR SLAB AREAS.
- NAIL 3 INCHES ON CENTER 1/2" IN FROM EDGE, 6 INCHES ON CENTER FIELD.

**VENTILATION**

1. BEDROOMS, LIVING ROOM, KITCHEN, DINING ROOM, FAMILY ROOM, AND ALL OTHER HABITABLE ROOMS SHALL HAVE A WINDOW AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF THE ROOM WITH A MINIMUM AREA OF 4 PERCENT OPERABLE FOR NATURAL VENTILATION, OR A MECHANICAL VENTILATION SYSTEM CAPABLE OF PROVIDING 2 AIR CHANGES PER HOUR, CBC CHAPTER 3.
2. MECHANICAL VENTILATION SYSTEMS MUST SUPPLY 5 CHANGES PER HOUR IN BATHROOMS AND LAUNDRY ROOMS, 2 CHANGES PER HOUR IN OTHER HABITABLE ROOMS.
3. CLOTHES DRYER SHALL BE VENTED TO EXTERIOR OF BUILDING.
4. VENTS SHALL BE PROVIDED FOR KITCHEN FANS, BATH FANS, GAS RANGES, GAS HEATERS, AND ANY OTHER AREA INDICATED ON THE DRAWINGS.
5. ATTIC VENTILATION SHALL BE PROVIDED EQUAL TO 1/150 OF AREA TO BE VENTILATED. VENT ATTIC PER CBC SECTION 1203.
6. PROVIDE 6" X14" SCREENED GI FOUNDATION VENTS AT 4 FEET ON CENTER EQUAL TO NOT LESS THAN 1/150 OF UNDERFLOOR AREA BEGINNING 3 FEET FROM CORNERS. LOCATE ON OPPOSING WALLS TO PROVIDE CROSS-VENTILATION.
7. PROVIDE 90 SQUARE INCHES FRIED VENTILATION PER CAR TO OUTSIDE AIR, 6 INCHES ABOVE THE GARAGE FINISHED FLOOR NEAR THE GARAGE DOOR IF POSSIBLE.

**WATER HEATERS**

1. WATER HEATER SHALL BE APPROVED WITH A TEMPERATURE AND PRESSURE RELIEF VALVE HAVING A FULL SIZE DRAIN OF GALVANIZED STEEL OR HAND-DRAWN COPPER TO THE OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE NOT MORE THAN 2 FEET OR LESS THAN 6 INCHES ABOVE GRADE, POINTING DOWNWARD AND WITH THE TERMINAL END BEING UNTHREADED.
2. PROVIDE A 1/4-HORSE POWER RECIRCULATION PUMP ON THE HOT WATER LOOP. IF REQUESTED BY OWNER
3. ON DEMAND WATER HEATERS SHALL BE INSTALLED IN COMPLIANCE WITH MANUFACTURERS REQUIREMENTS

**WATER HEATER BRACING**

1. WATER HEATER STRAP, SHALL BE LOCATED BETWEEN 6 INCHES AND 12 INCHES FROM THE TOP OF THE WATER HEATER TANK CASE. THIS STRAP SHALL BE GALVANIZED 3/4 INCH WIDE MINIMUM PERFORATED STEEL STRAP AND HAVE MAXIMUM 5/16" SIZE HOLES. PROVIDE 1/4"X 3" LAG BOLTS WITH WASHERS LOCATED AT EACH END OF STRAP TO STUD.
2. WATER HEATER BASE ANCHORAGE SHALL NOT BE CONSTRUED TO BE USED IN LIEU OF THE UPPER STRAP.
3. MINIMUM 2 INCHES NONCOMBUSTIBLE SPACER BETWEEN WATER HEATER TANK AND WALL STUD UNLESS WATER HEATER IS APPROVED FOR A LESSES CLEARANCE FROM COMBUSTIBLES.

**WATER-RESISTANT WALL MATERIAL**

1. SHOWER AREA WALLS SHALL BE PROVIDED WITH A NONABSORBENT SURFACE TO A MINIMUM HEIGHT OF 70 INCHES.
2. WALL SURFACES BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIAL SHALL BE CONSTRUCTED OF MATERIAL NOT ADVERSELY AFFECTED BY WATER. IF GYPSUM BOARD IS USED, IT MUST BE APPROVED WITH BOND PROVIDED ACCORDING TO CBC CHAPTER 25.

**WINDOWS**

1. WINDOWS SHALL BE SIERRA PACIFIC QUALITY OR EQUAL.
2. WINDOWS SHALL BE DUAL THERMAL PANE SELECTED BY OWNER.
3. SCREENS AND LOCKS SHALL BE PROVIDED FOR ALL OPENINGS.
4. WINDOWS SHALL BE STRAIGHT, PLUMB, AND TRUE, AND SHALL OPERATE EASILY WITHOUT BINDING, AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTION







**STUDIO  
 ETUDE**

460 N CIVIC DR, APT 209  
 WALNUT CREEK, CA 94596  
 AMIR@STUDIOETUDE.DESIGN  
 (315)727-2147



**REVISION SCHEDULE**

NO.	DESCRIPTION	DATE

**CLIENT NAME**

MAI NGUYEN

**PROJECT NAME**

SECOND STORY ADDITION

**PROJECT ADDRESS**

2145 GRANT ST,  
 BERKELEY, CA 94703

**PROJECT NO.**

18-0524

**PERMIT NO.**

**DATE**  
 05/16/2025

**SCALE**

**SHEET TITLE**

PHOTOS

**SHEET NO.**

A005

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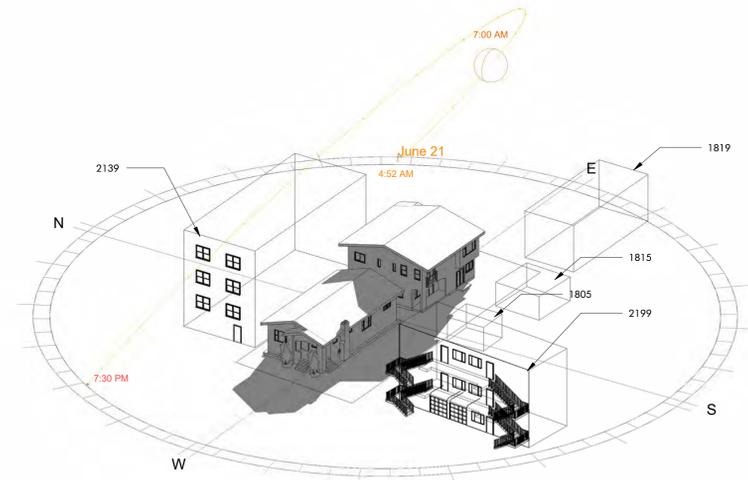
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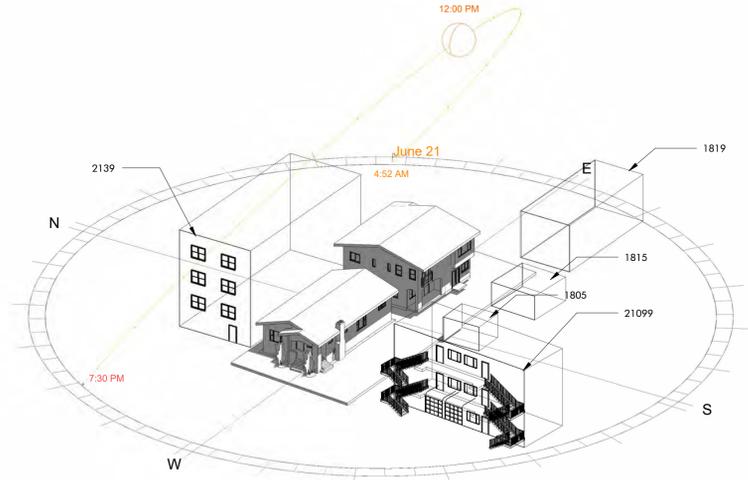
SUMMER SHADOW STUDY

**SHEET NO.**

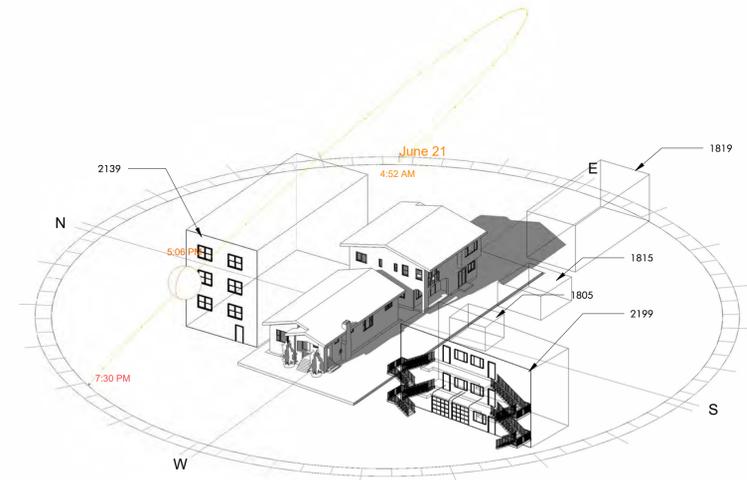
**A006**



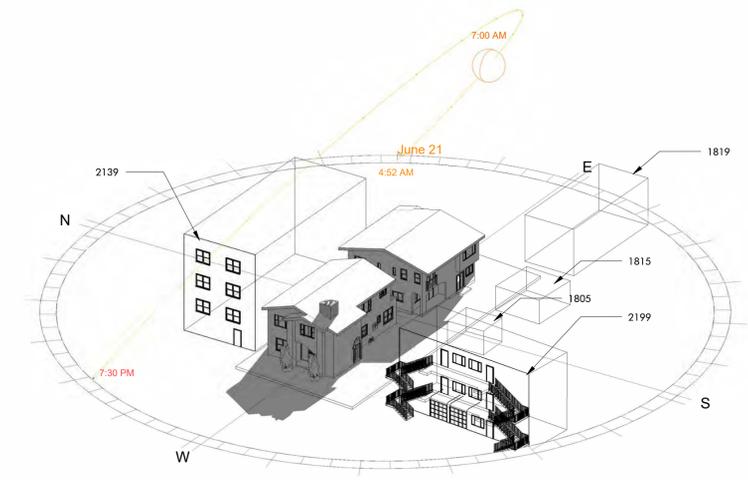
① EXISTING SUMMER 2HR AFTER SUNRISE



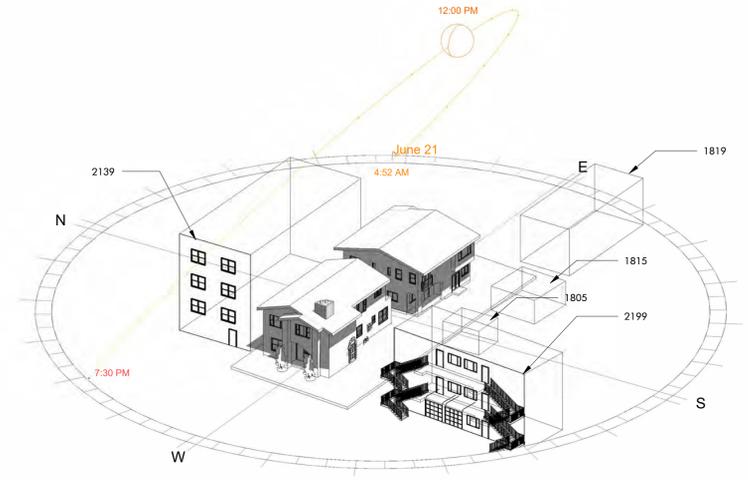
③ EXISTING SUMMER NOON



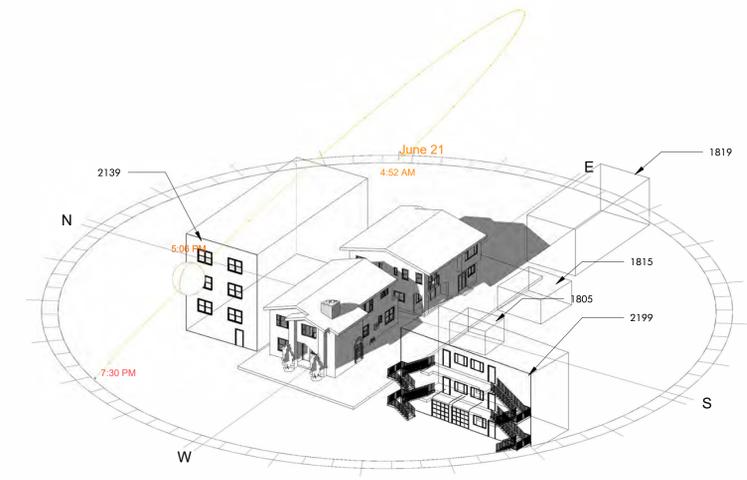
⑤ EXISTING SUMMER 2HR BEFORE SUNSET



② PROPOSED SUMMER 2HR AFTER SUNRISE



④ PROPOSED SUMMER NOON



⑥ PROPOSED SUMMER 2HR BEFORE SUNSET

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18-0524

### PERMIT NO.

### DATE

05/16/2025

### SCALE

### SHEET TITLE

WINTER SHADOW STUDY

### SHEET NO.

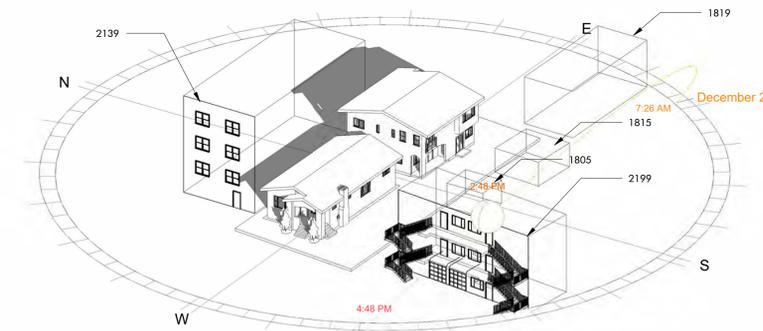
A007



① EXISTING WINTER 2HR AFTER SUNRISE



③ EXISTING WINTER NOON



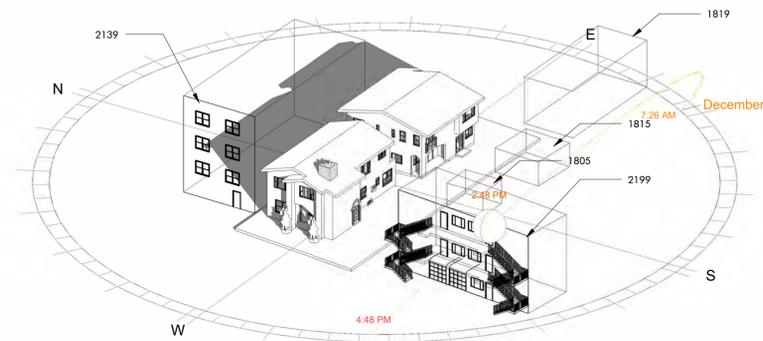
⑤ EXISTING WINTER 2HR BEFORE SUNSET



② PROPOSED WINTER 2HR AFTER SUNRISE



④ PROPOSED WINTER NOON



⑥ PROPOSED WINTER 2HR BEFORE SUNSET

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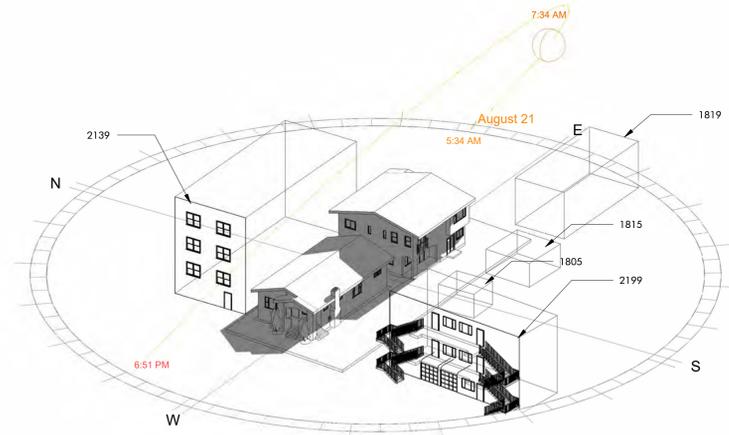
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**SHEET TITLE**

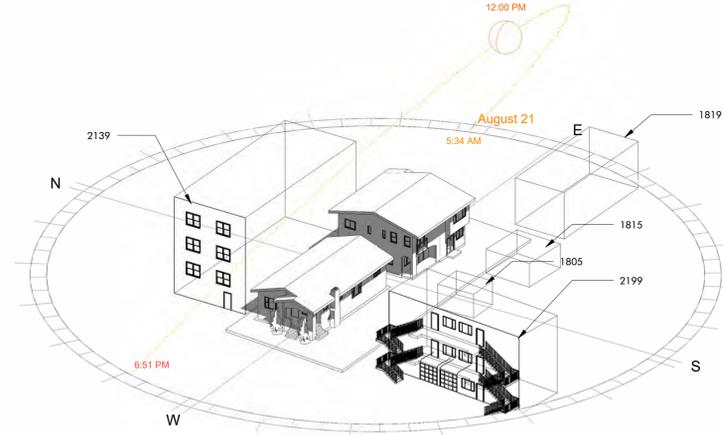
AUGUST SHADOW STUDY

**SHEET NO.**

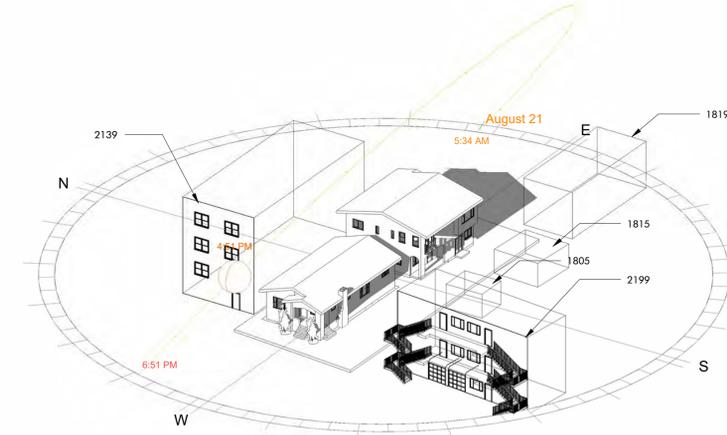
**A008**



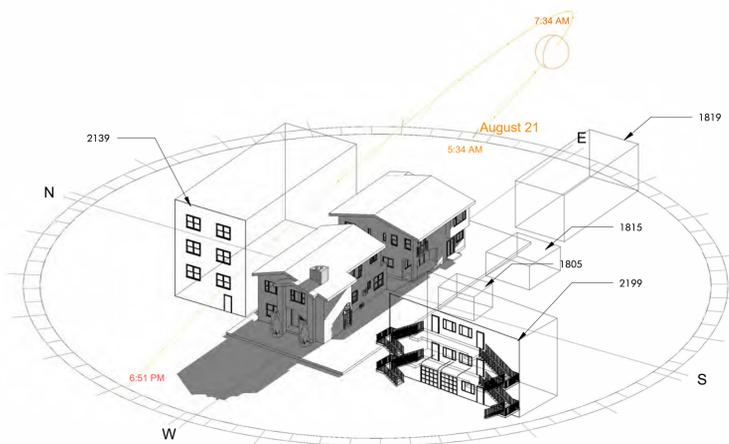
① EXISTING AUGUST 2HR AFTER SUNRISE



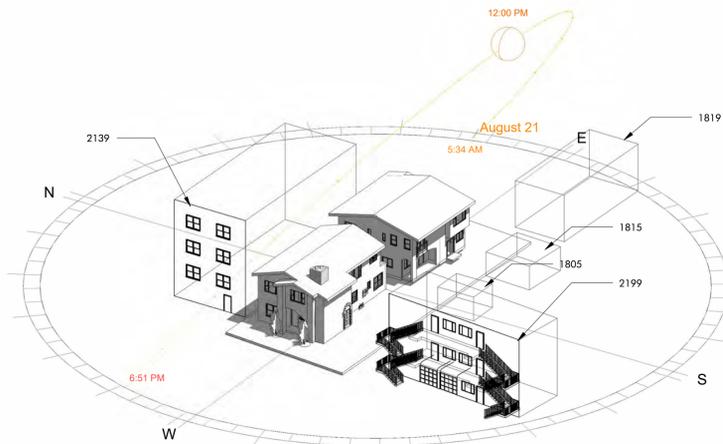
③ EXISTING AUGUST NOON



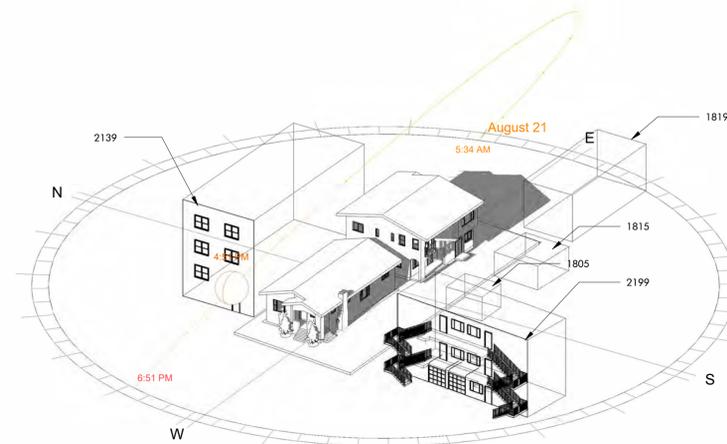
⑤ EXISTING AUGUST 2HR BEFORE SUNSET



② PROPOSED AUGUST 2HR AFTER SUNRISE



④ PROPOSED AUGUST NOON



⑥ PROPOSED AUGUST 2HR BEFORE SUNSET



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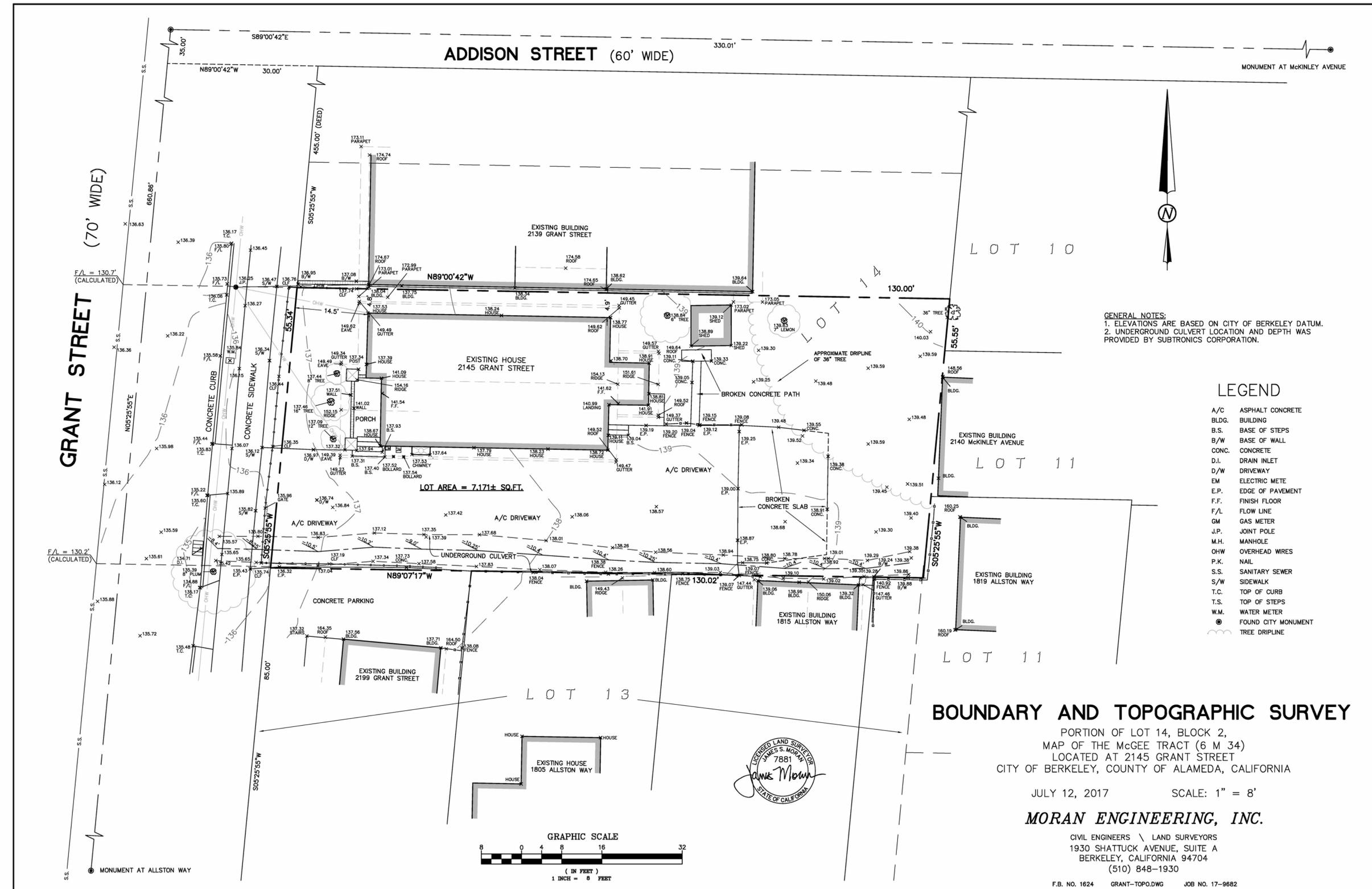
SCALE

SHEET TITLE

BOUNDARY AND TOPOGRAPHIC SURVEY

SHEET NO.

A009



GENERAL NOTES:  
 1. ELEVATIONS ARE BASED ON CITY OF BERKELEY DATUM.  
 2. UNDERGROUND CULVERT LOCATION AND DEPTH WAS PROVIDED BY SUBTRONICS CORPORATION.

LEGEND

- A/C ASPHALT CONCRETE
- BLDG. BUILDING
- B.S. BASE OF STEPS
- B/W BASE OF WALL
- CONC. CONCRETE
- D.I. DRAIN INLET
- D/W DRIVEWAY
- EM ELECTRIC METER
- E.P. EDGE OF PAVEMENT
- F.F. FINISH FLOOR
- F/L FLOW LINE
- GM GAS METER
- J.P. JOINT POLE
- M.H. MANHOLE
- OHW OVERHEAD WIRES
- NAIL
- S.S. SANITARY SEWER
- S/W SIDEWALK
- T.C. TOP OF CURB
- T.S. TOP OF STEPS
- W.M. WATER METER
- FOUND CITY MONUMENT
- TREE DRIPLINE

BOUNDARY AND TOPOGRAPHIC SURVEY

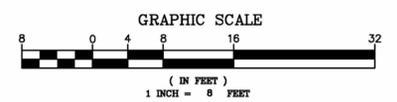
PORTION OF LOT 14, BLOCK 2,  
 MAP OF THE MCGEE TRACT (6 M 34)  
 LOCATED AT 2145 GRANT STREET  
 CITY OF BERKELEY, COUNTY OF ALAMEDA, CALIFORNIA

JULY 12, 2017 SCALE: 1" = 8'

**MORAN ENGINEERING, INC.**

CIVIL ENGINEERS \ LAND SURVEYORS  
 1930 SHATTUCK AVENUE, SUITE A  
 BERKELEY, CALIFORNIA 94704  
 (510) 848-1930

F.B. NO. 1624 GRANT-TOPO.DWG JOB NO. 17-9682



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**REVISION SCHEDULE**

NO.	DESCRIPTION	DATE
3	REVISION 3	05/14/2025

**CLIENT NAME**

MAI NGUYEN

**PROJECT NAME**

SECOND STORY ADDITION

**PROJECT ADDRESS**

2145 GRANT ST,  
 BERKELEY, CA 94703

**PROJECT NO.**

18-0524

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**DATE**

05/16/2025

**SCALE**

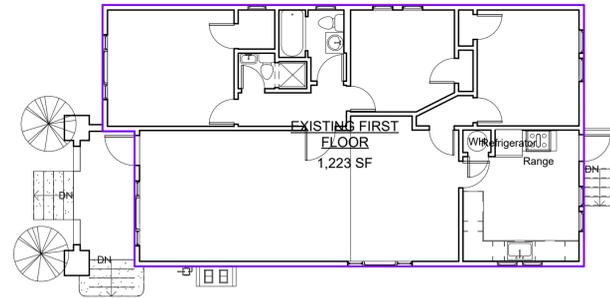
As indicated

**SHEET TITLE**

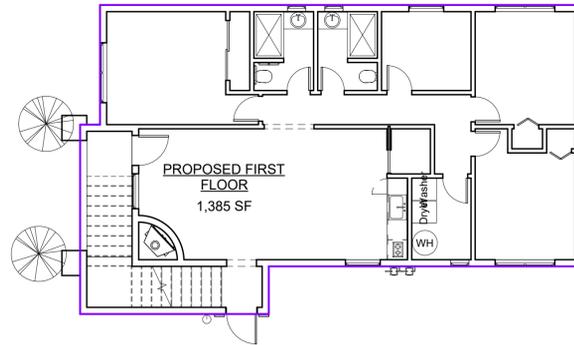
EXISTING & PROPOSED AREA PLAN

**SHEET NO.**

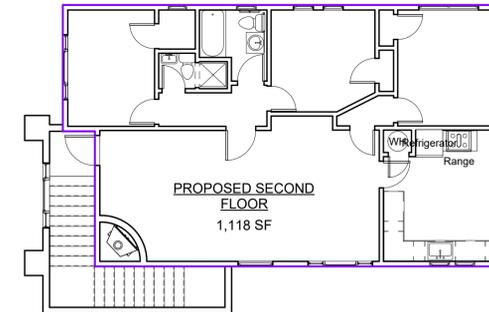
A010



① EXISTING FIRST FLOOR (FRONT HOUSE)  
 1/8" = 1'-0"



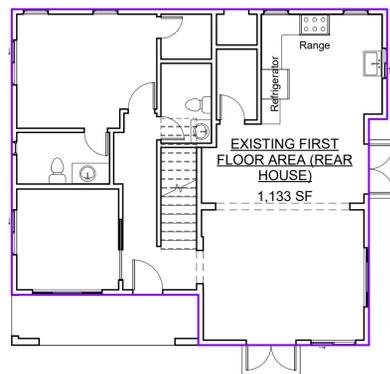
② PROPOSED FIRST FLOOR (FRONT BUILDING)  
 1/8" = 1'-0"



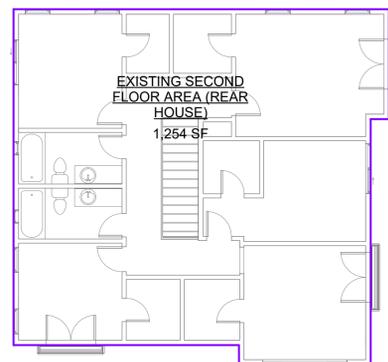
③ PROPOSED SECOND FLOOR (FRONT BUILDING)  
 1/8" = 1'-0"

AREA SCHEDULE EXISTING & PROPOSED FOR FRONT HOUSE	
Name	Area
EXISTING FIRST FLOOR	1,223 SF
PROPOSED FIRST FLOOR	1,385 SF
PROPOSED SECOND FLOOR	1,118 SF

TOTAL EXISTING FOOTPRINT EXISTING FRONT BUILDING FOOTPRINT : 1223 SF REAR BUILDING FOOTPRINT : 1133 SF 1223 SF + 1133 SF = 2,356 SF	TOTAL PROPOSED FOOTPRINT PROPOSED FRONT BUILDING FOOTPRINT : 1385 SF REAR BUILDING FOOTPRINT : 1133 SF 1385 SF + 1133 SF = 2,518 SF
--	--



④ EXISTING FIRST FLOOR (REAR HOUSE)  
 1/8" = 1'-0"



⑤ EXISTING SECOND FLOOR (REAR HOUSE)  
 1/8" = 1'-0"

AREA SCHEDULE EXISTING & PROPOSED FOR REAR HOUSE	
Name	Area
EXISTING FIRST FLOOR AREA (REAR HOUSE)	1,133 SF
EXISTING SECOND FLOOR AREA (REAR HOUSE)	1,254 SF



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**REVISION SCHEDULE**

NO.	DESCRIPTION	DATE
1	REVISION 1	12/09/2024
2	REVISION 2	03/19/2025
3	REVISION 3	05/14/2025

**CLIENT NAME**

MAI NGUYEN

**PROJECT NAME**

SECOND STORY ADDITION

**PROJECT ADDRESS**

2145 GRANT ST,  
 BERKELEY, CA 94703

**PROJECT NO.**

18-0524

**PERMIT NO.**

DATE

05/16/2025

**SCALE**

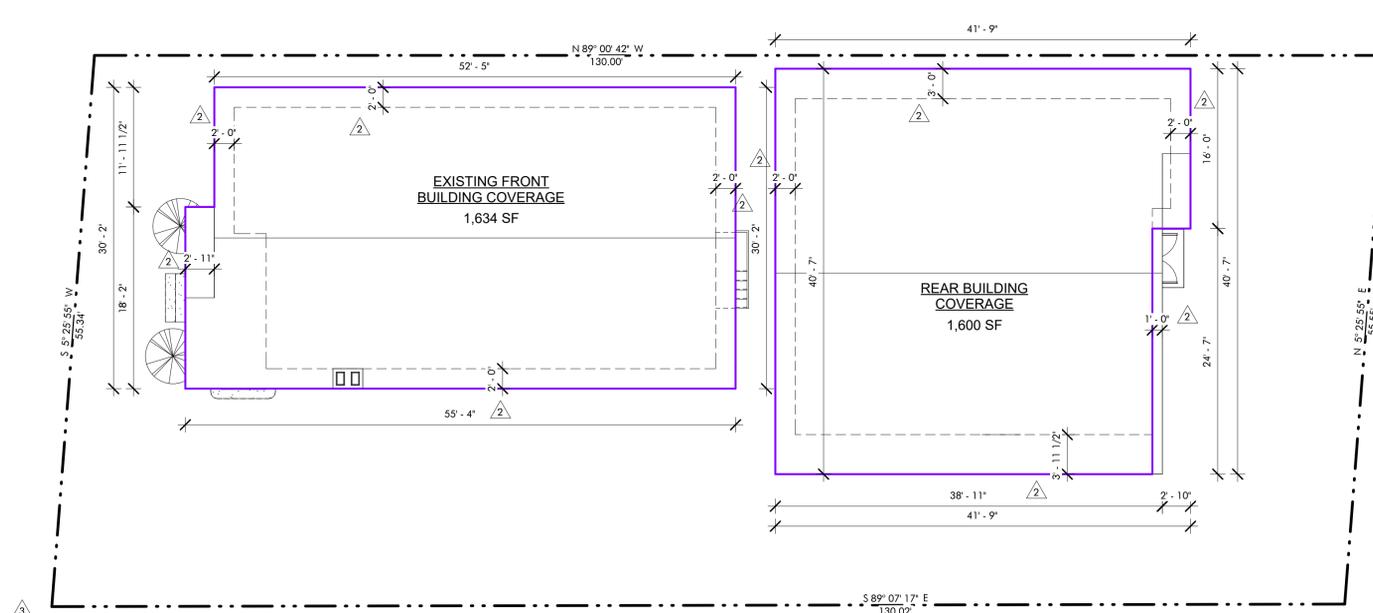
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**SHEET TITLE**

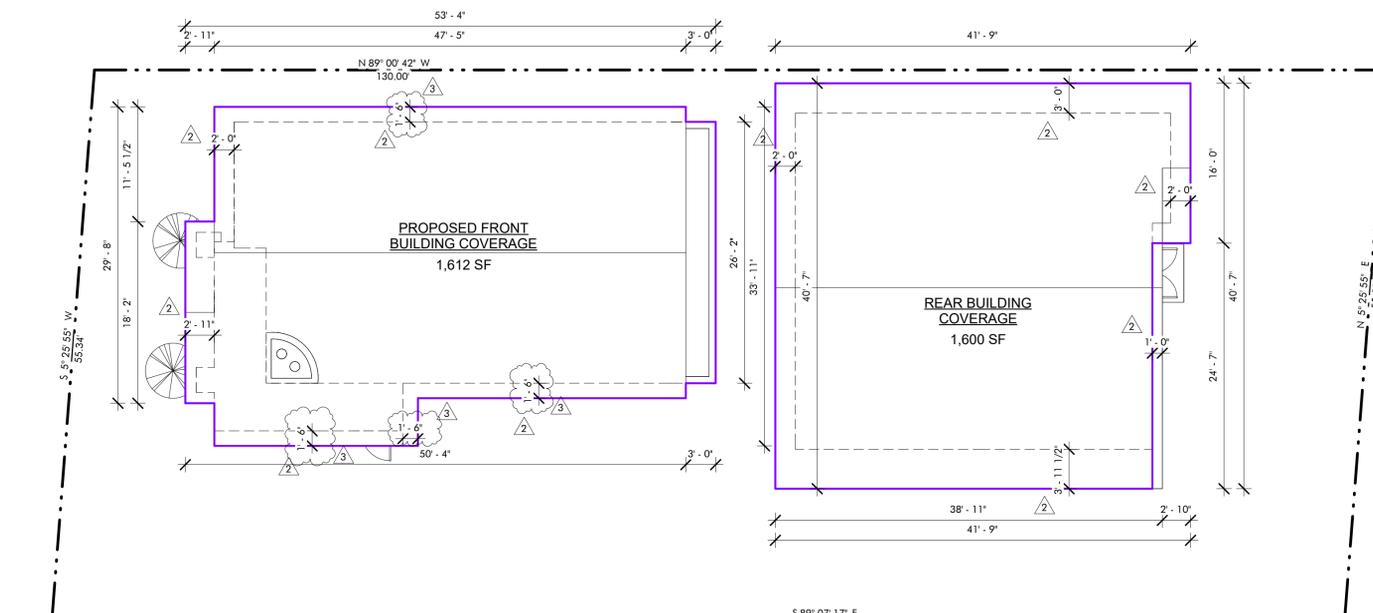
EXISTING & PROPOSED LOT  
 COVERAGE CALCULATIONS

**SHEET NO.**

A011



2 EXISTING LOT COVERAGE  
 1/8" = 1'-0"



1 PROPOSED LOT COVERAGE  
 1/8" = 1'-0"

**EXISTING FOOTPRINT SCHEDULE**

Name	Area
EXISTING FRONT BUILDING COVERAGE	1,634 SF
REAR BUILDING COVERAGE	1,600 SF
Grand total: 2	3,234 SF

LOT AREA: 7,171 SF  
 LOT COVERAGE 1,634 SF + 1,600 SF / 7,171 = 0.4509 x 100 = 45.09% NON-CONFORMING LOT COVERAGE

LOT COVERAGE DEFINED: LOT COVERAGE MEANS ALL THE AREA OF A LOT, AS PROJECTED ON A HORIZONTAL PLANE, WHICH IS:

- ENCLOSED BY THE EXTERIOR WALLS OF BUILDINGS OR ENCLOSED ACCESSORY STRUCTURES; OR
- COVERED BY DECKS, PORCHES, STAIRS AND/OR LANDINGS WHICH COVER AN ENCLOSED SPACE OR PAVED GROUND AREA.

B. EXCLUSIONS: THE LOT COVERAGE CALCULATION EXCLUDES:

- UNCOVERED PORCHES, LANDINGS AND STAIRS;
- UNCOVERED DECKS, EXCEPT THAT A DECK ON THE ROOF OF A BUILDING OR ACCESSORY STRUCTURE OR OVER AN ENCLOSED SPACE OR PAVED GROUND AREA IS INCLUDED IN THE LOT COVERAGE CALCULATION; AND
- THE AREA OF THE ROOF OF A SUBTERRANEAN STRUCTURE, WHEN SUCH A STRUCTURE IS NOT MORE THAN 3 FEET ABOVE FINISHED GRADE.
- THE AREA OF ANY EXISTING OR PROPOSED ACCESSORY DWELLING UNIT OR JUNIOR ACCESSORY DWELLING UNIT, UP TO 800 SQUARE FEET PER LOT. SEE 23.306 ACCESSORY DWELLING UNITS. (ORD. 7888-NS § 4, 2023; ORD. 7787-NS § 2 (EXH. A), 2021)

**PROPOSED FOOTPRINT SCHEDULE**

Name	Area
PROPOSED FRONT BUILDING COVERAGE	1,612 SF
REAR BUILDING COVERAGE	1,600 SF
Grand total: 2	3,212 SF

LOT AREA: 7,171 SF  
 LOT COVERAGE 1,612 SF + 1,600 SF / 7,171 = 0.4479 x 100 = 44.79% NON-CONFORMING LOT COVERAGE

BOUNDARY AREA LINE



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**REVISION SCHEDULE**

NO.	DESCRIPTION	DATE
1	REVISION 1	12/09/2024
3	REVISION 3	05/14/2025

**CLIENT NAME**

MAI NGUYEN

**PROJECT NAME**

SECOND STORY ADDITION

**PROJECT ADDRESS**

2145 GRANT ST,  
 BERKELEY, CA 94703

**PROJECT NO.**

18-0524

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**DATE**

05/16/2025

**SCALE**

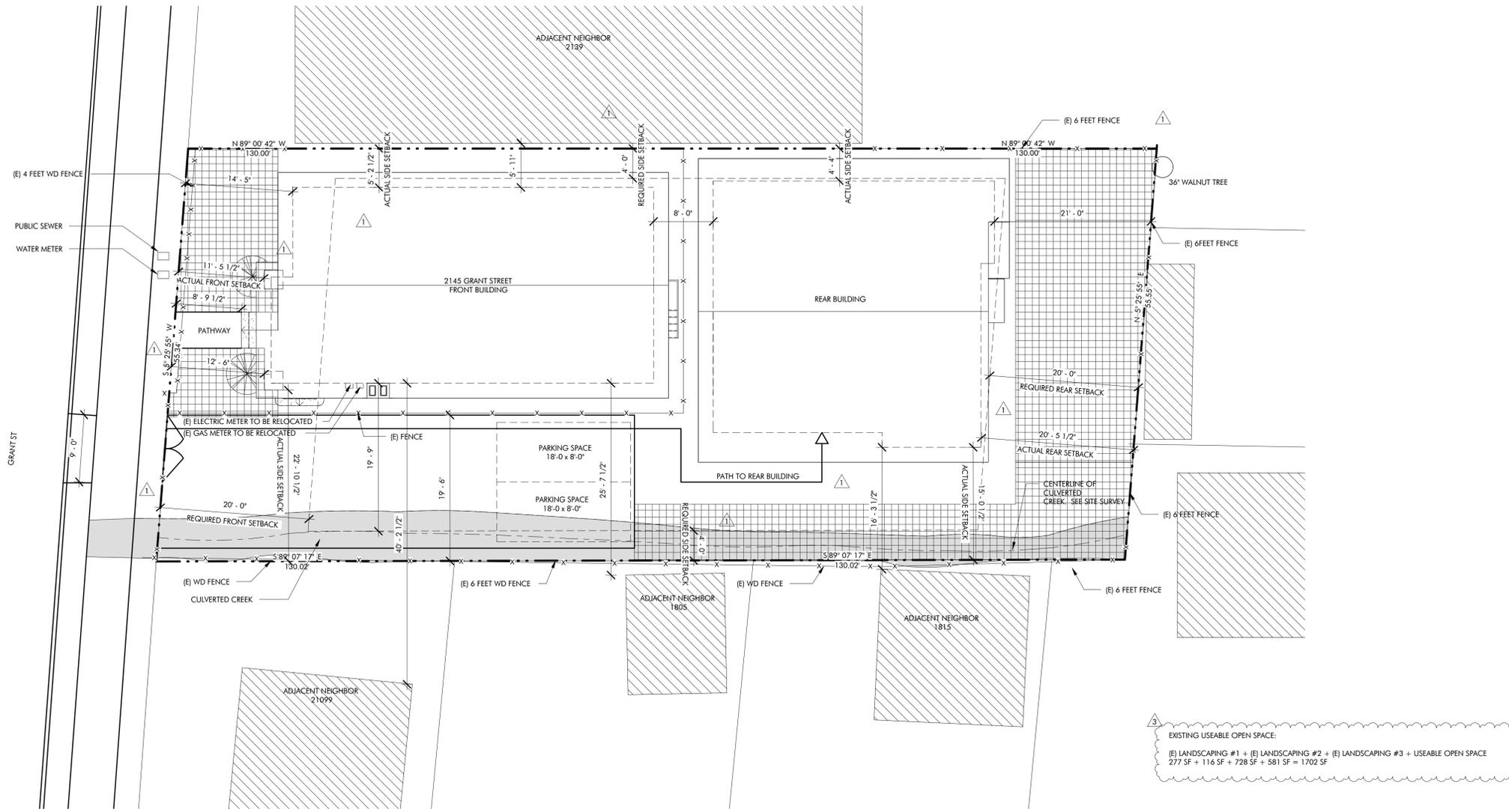
1/8" = 1'-0"

**SHEET TITLE**

EXISTING SITE PLAN

**SHEET NO.**

A101



① EXISTING SITE PLAN  
 1/8" = 1'-0"



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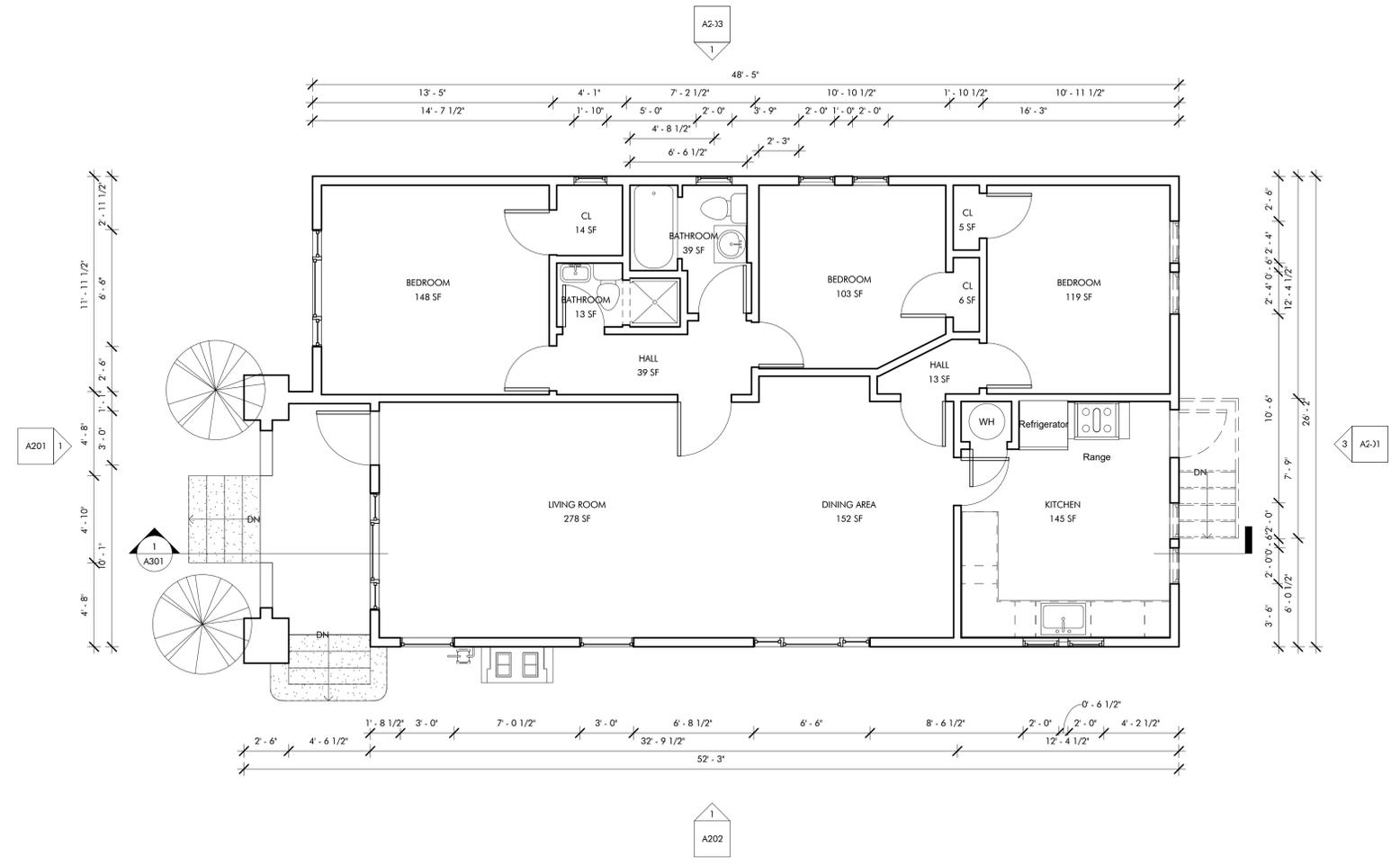
1/4" = 1'-0"

**SHEET TITLE**

EXISTING FRONT BUILDING FLOOR  
 PLAN

**SHEET NO.**

**A103**



① EXISTING FIRST FLOOR PLAN  
 1/4" = 1'-0"





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**PERMIT NO.**

**DATE**

05/16/2025

**SCALE**

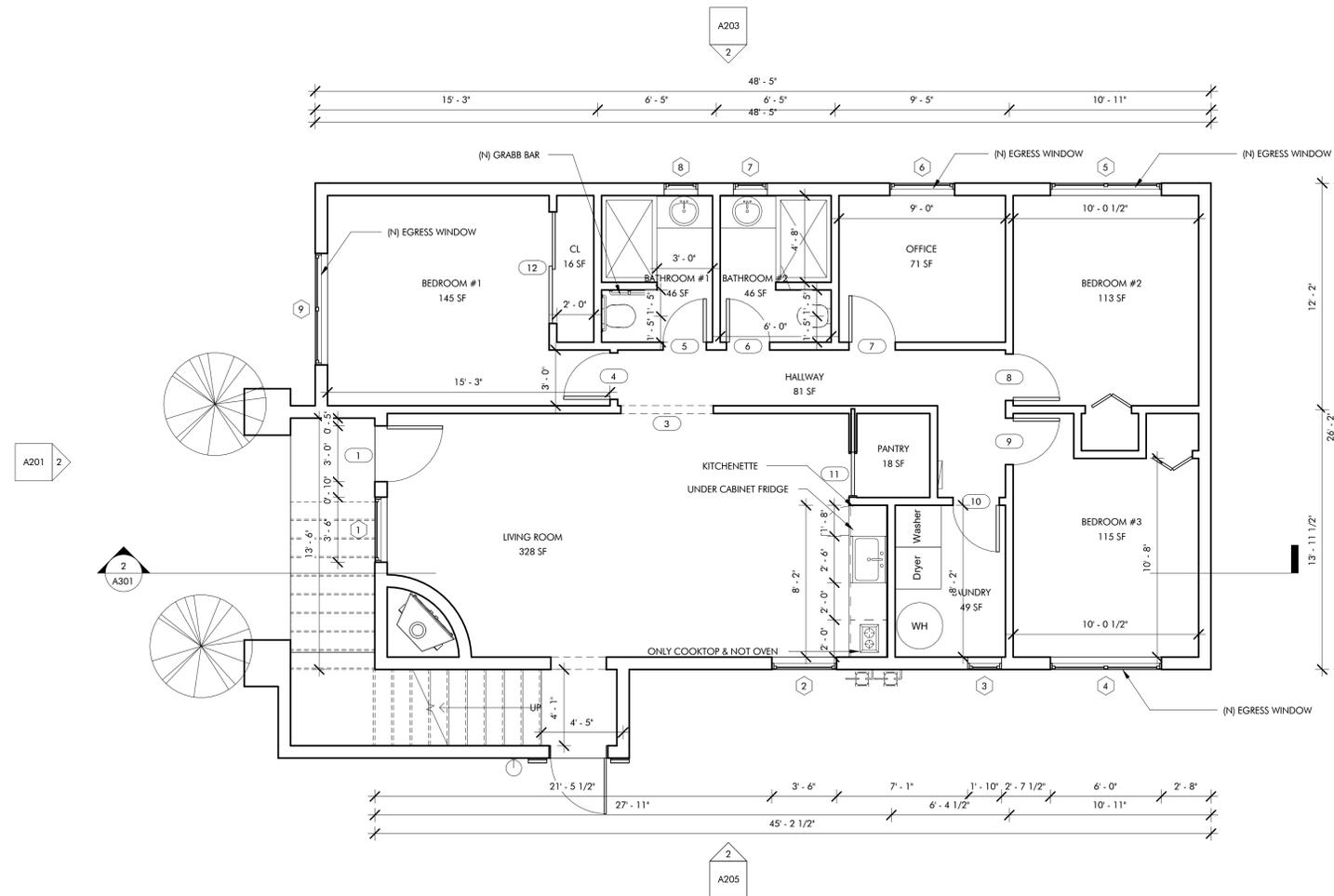
As indicated

**SHEET TITLE**

PROPOSED FIRST FLOOR PLAN  
 (FRONT BUILDING)

**SHEET NO.**

A104



- R327.1.1 REINFORCEMENT FOR GRAB BARS
1. REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.
  2. REINFORCEMENT SHALL NOT BE LESS THAN 2 BY 8 INCH (51 MM BY 203 MM) NOMINAL LUMBER, (1 1/2 INCH BY 7 1/4 INCH (38 MM BY 184 MM) ACTUAL DIMENSION) OR OTHER CONSTRUCTION MATERIAL PROVIDING EQUAL HEIGHT AND LOAD CAPACITY. REINFORCEMENT SHALL BE LOCATED BETWEEN 32 INCHES (812.8 MM) AND 39 1/4 INCHES (997 MM) ABOVE THE FINISHED FLOOR FLUSH WITH THE WALL FRAMING.
  3. WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ONE SIDE WALL AND THE BACK WALL.
  4. SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.
  5. BATHTUB AND COMBINATION BATHTUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHTUB AND THE BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6 INCHES (152.4 MM) ABOVE THE BATHTUB RIM.

① PROPOSED FIRST FLOOR PLAN ( FRONT BUILDING)  
 1/4" = 1'-0"



**STUDIO  
 ETUDE**

460 N CIVIC DR, APT 209  
 WALNUT CREEK, CA 94596  
 AMIR@STUDIOETUDE.DESIGN  
 (315)727-2147



**REVISION SCHEDULE**

NO.	DESCRIPTION	DATE

**CLIENT NAME**

MAI NGUYEN

**PROJECT NAME**

SECOND STORY ADDITION

**PROJECT ADDRESS**

2145 GRANT ST,  
 BERKELEY, CA 94703

**PROJECT NO.**

18-0524

**PERMIT NO.**

**DATE**

05/16/2025

**SCALE**

1/4" = 1'-0"

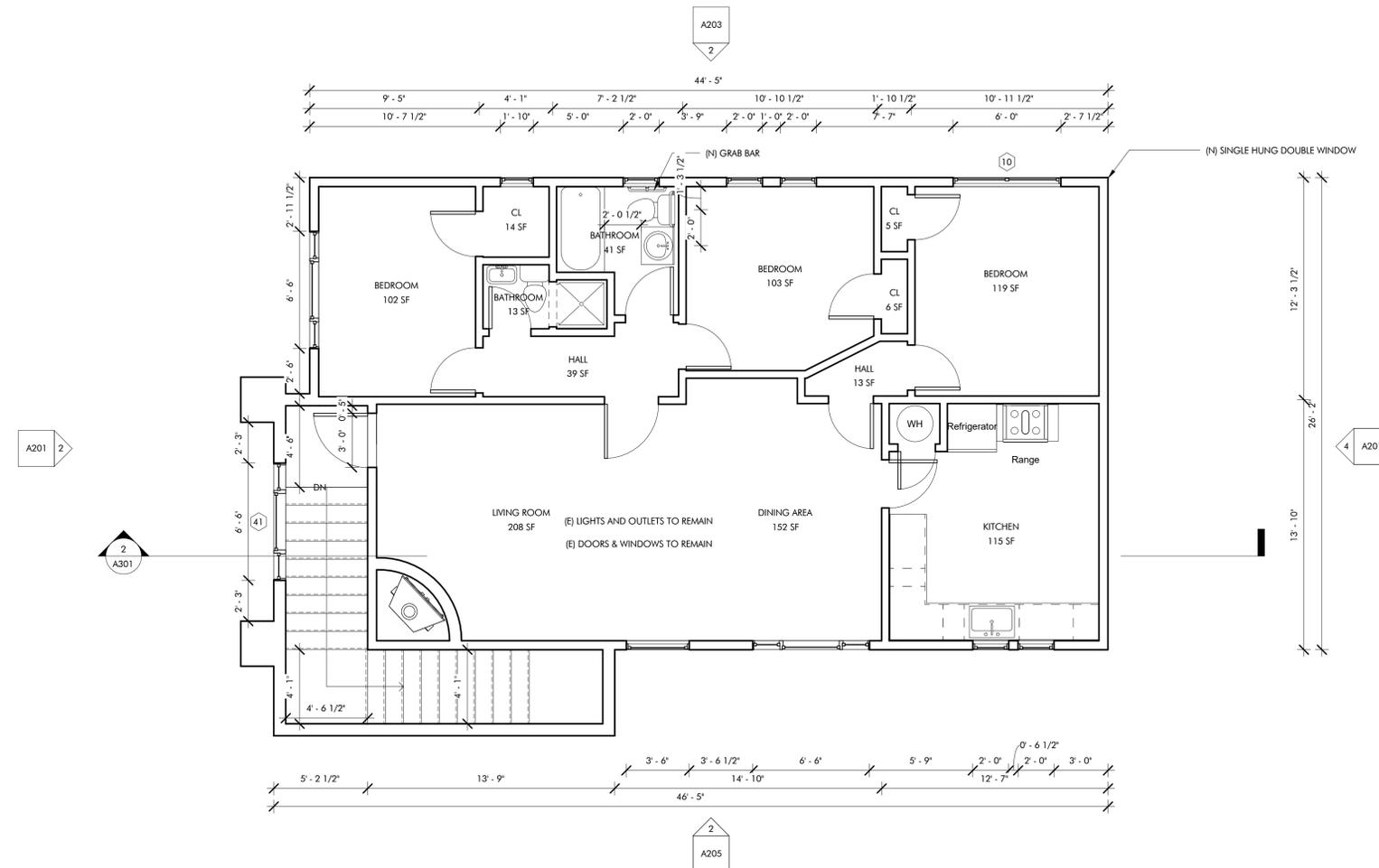
**SHEET TITLE**

PROPOSED SECOND FLOOR PLAN  
 (FRONT BUILDING)

**SHEET NO.**

**A105**

① PROPOSED SECOND FLOOR (FRONT BUILDING)  
 1/4" = 1'-0"



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18-0524

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### DATE

05/16/2025

### SCALE

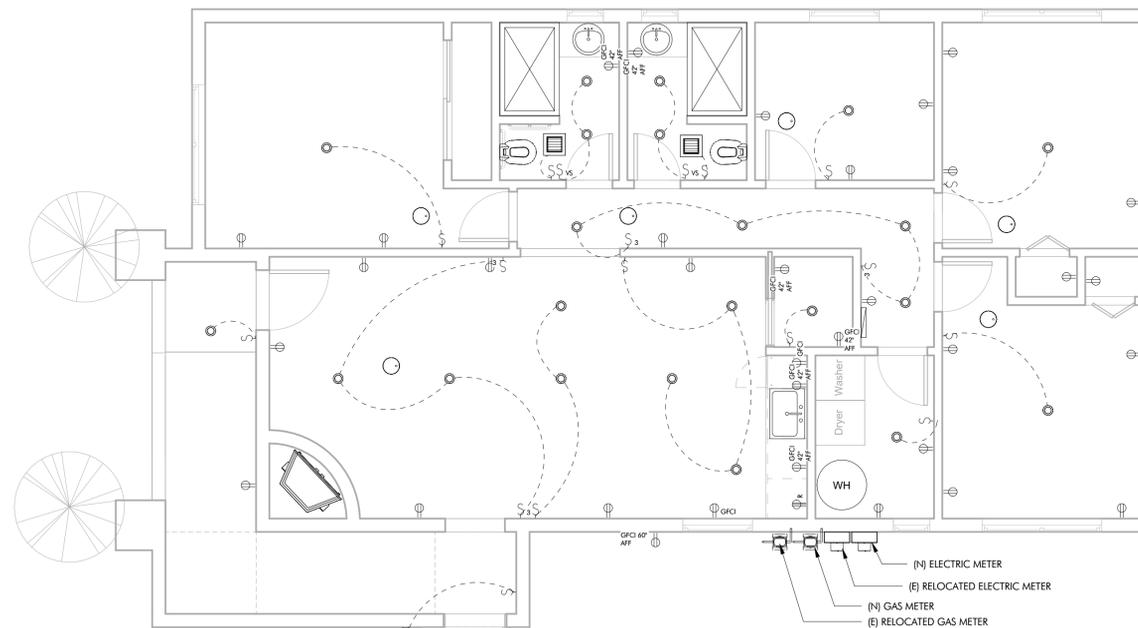
1/4" = 1'-0"

### SHEET TITLE

PROPOSED FIRST FLOOR CEILING  
 & ELECTRICAL PLAN

### SHEET NO.

A106



① PROPOSED FIRST FLOOR PLAN ( FRONT BUILDING)  
 1/4" = 1'-0"

EXTERIOR LIGHTING TO BE HIGH EFFICACY, HAVE MANUAL ON AND OFF SWITCH,  
 AND CONTROLLED BY MOTION SENSOR.

- (N) ELECTRIC METER
- (E) RELOCATED ELECTRIC METER
- (N) GAS METER
- (E) RELOCATED GAS METER

- S SWITCH SINGLE
- S<sub>3</sub> THREE-WAY SWITCH
- S<sub>VS</sub> SWITCH VACANCY SENSOR
- ⊕ OUTLET DUPLEX
- ⊕<sub>GFCI</sub> OUTLET GFCI
- ⊕<sub>GFCI 42"</sub> OUTLET GFCI 42" ABOVE FINISHED FLOOR
- ⊕<sub>GFCI 60"</sub> OUTLET GFCI 60" ABOVE FINISHED FLOOR
- ⊕<sub>WH</sub> WATER HEATER
- ⊙ 4" RECESSED LIGHT
- ⊠ EXHAUST FAN
- ⊙ COMBINED CO/SMOKE DETECTOR
- - - WIRE
- ▭ ELECTRICAL PANEL





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MAI NGUYEN

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SECOND STORY ADDITION

**PROJECT ADDRESS**

2145 GRANT ST,  
 BERKELEY, CA 94703

**PROJECT NO.**

18-0524

**PERMIT NO.**

**DATE**

05/16/2025

**SCALE**

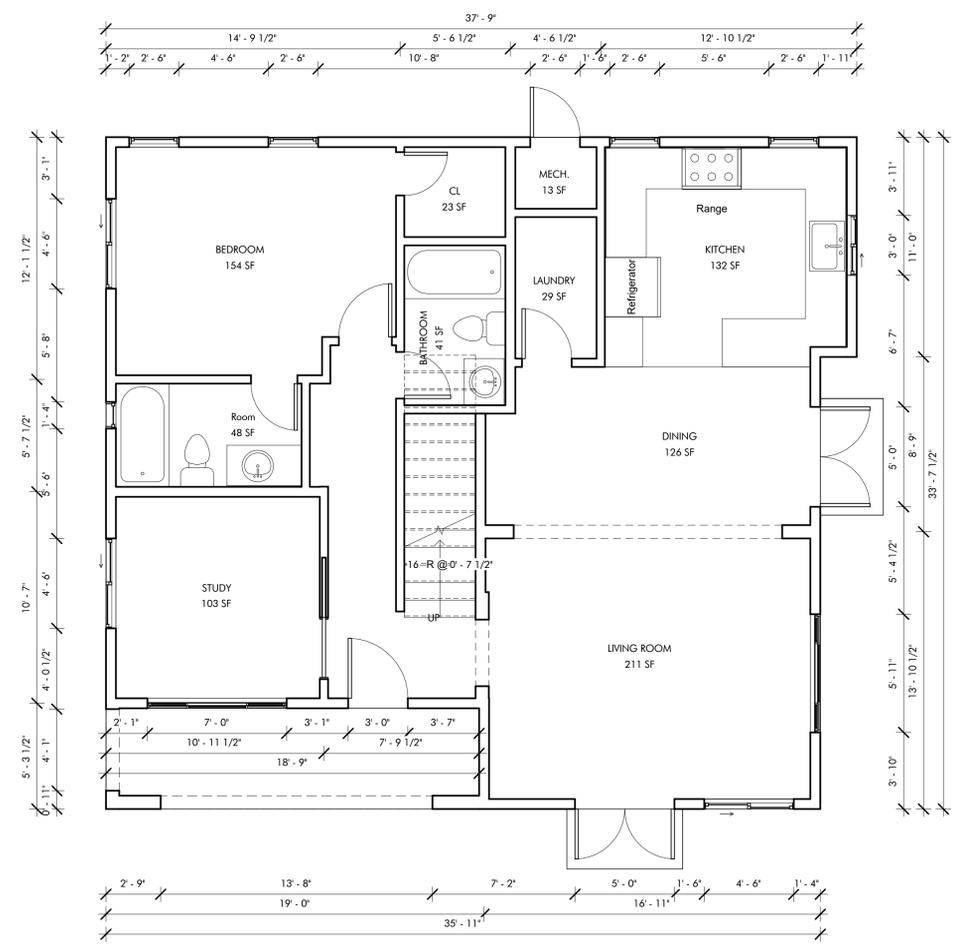
1/4" = 1'-0"

**SHEET TITLE**

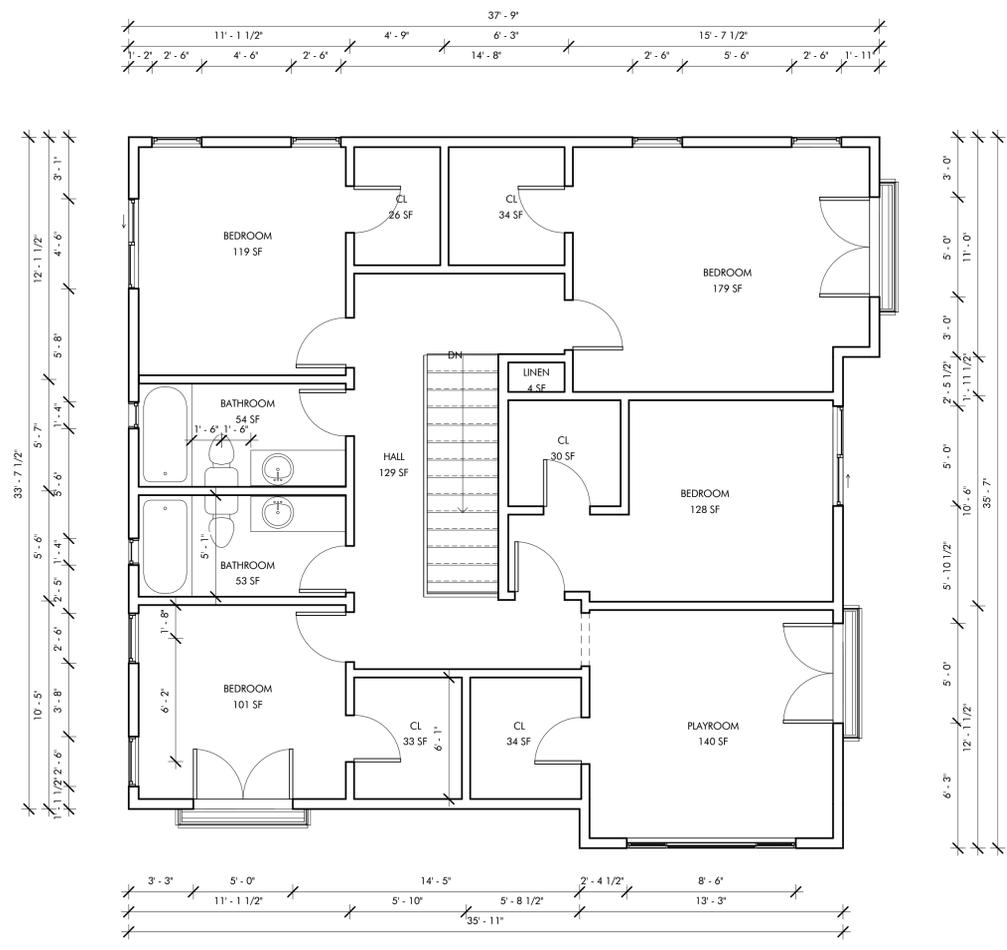
EXISTING REAR BUILDING FLOOR  
 PLANS

**SHEET NO.**

A107



① FIRST FLOOR (REAR HOUSE)  
 1/4" = 1'-0"



② EXISTING SECOND FLOOR (REAR HOUSE)  
 1/4" = 1'-0"



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**REVISION SCHEDULE**

NO.	DESCRIPTION	DATE

**CLIENT NAME**

MAI NGUYEN

**PROJECT NAME**

SECOND STORY ADDITION

**PROJECT ADDRESS**

2145 GRANT ST,  
 BERKELEY, CA 94703

**PROJECT NO.**

18-0524

**PERMIT NO.**

**DATE**

05/16/2025

**SCALE**

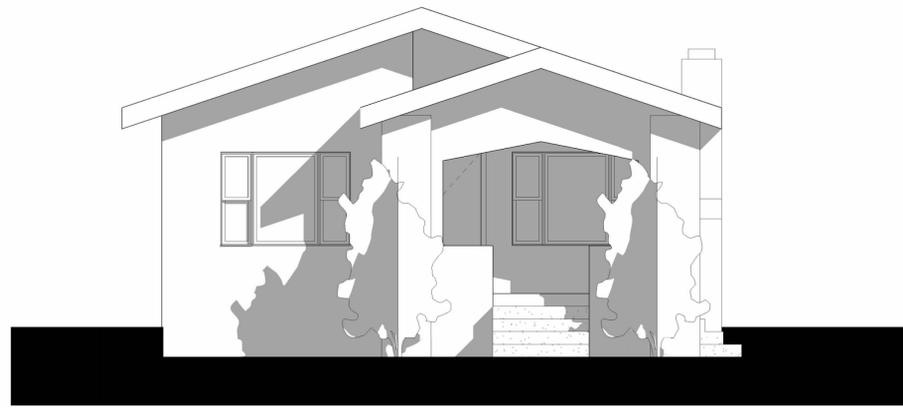
1/4" = 1'-0"

**SHEET TITLE**

EXISTING & PROPOSED FRONT  
 BUILDING ELEVATIONS NO. 1

**SHEET NO.**

A201



EXISTING T.O. ROOF  
 (FRONT BUILDING)  
 17' - 6 1/2"

EXISTING T.O.P  
 (FRONT BUILDING)  
 12' - 1"

EXISTING FIRST  
 FLOOR (FRONT  
 HOUSE)  
 3' - 7"

GRADE  
 0' - 0"

① EXISTING FRONT ELEVATION (FRONT BUILDING)  
 1/4" = 1'-0"



PROPOSED  
 T.O. ROOF  
 25' - 6"

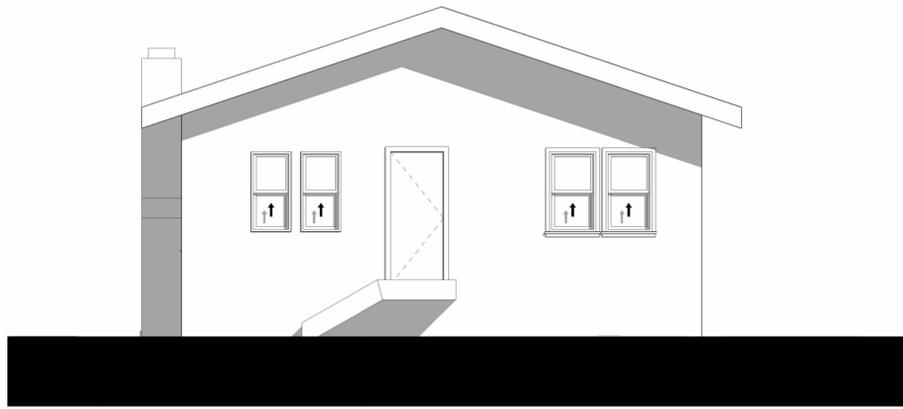
PROPOSED T.O.P  
 (FRONT BUILDING)  
 20' - 1"

PROPOSED SECOND  
 FLOOR (FRONT  
 BUILDING)  
 11' - 7"

PROPOSED FIRST  
 FLOOR PLAN (FRONT  
 BUILDING)  
 0' - 7"

GRADE  
 0' - 0"

② PROPOSED FRONT ELEVATION (FRONT BUILDING)  
 1/4" = 1'-0"



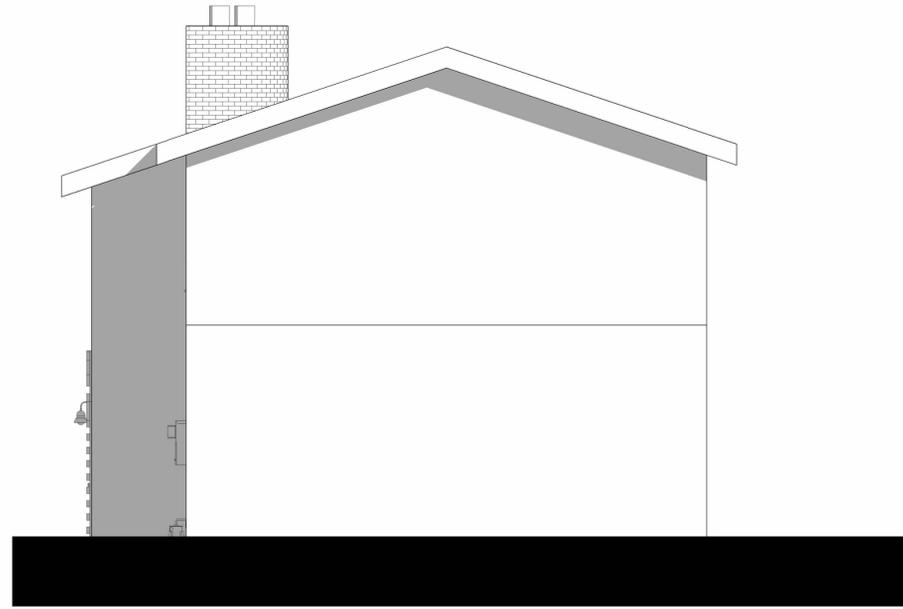
EXISTING T.O. ROOF  
 (FRONT BUILDING)  
 17' - 6 1/2"

EXISTING T.O.P  
 (FRONT BUILDING)  
 12' - 1"

EXISTING FIRST  
 FLOOR (FRONT  
 HOUSE)  
 3' - 7"

GRADE  
 0' - 0"

③ EXISTING REAR ELEVATION (FRONT BUILDING)  
 1/4" = 1'-0"



PROPOSED  
 T.O. ROOF  
 25' - 6"

PROPOSED T.O.P  
 (FRONT BUILDING)  
 20' - 1"

PROPOSED SECOND  
 FLOOR (FRONT  
 BUILDING)  
 11' - 7"

PROPOSED FIRST  
 FLOOR PLAN (FRONT  
 BUILDING)  
 0' - 7"

GRADE  
 0' - 0"

④ PROPOSED REAR ELEVATION (FRONT BUILDING)  
 1/4" = 1'-0"

# STUDIO ETUDE

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 AMIR@STUDIOETUDE.DESIGN  
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### REVISION SCHEDULE

NO.	DESCRIPTION	DATE
1	REVISION 1	12/09/2024

### CLIENT NAME

MAI NGUYEN

### PROJECT NAME

SECOND STORY ADDITION

### PROJECT ADDRESS

2145 GRANT ST,  
 BERKELEY, CA 94703

### PROJECT NO.

18-0524

### PERMIT NO.

DATE  
 05/16/2025

SCALE  
 1/4" = 1'-0"

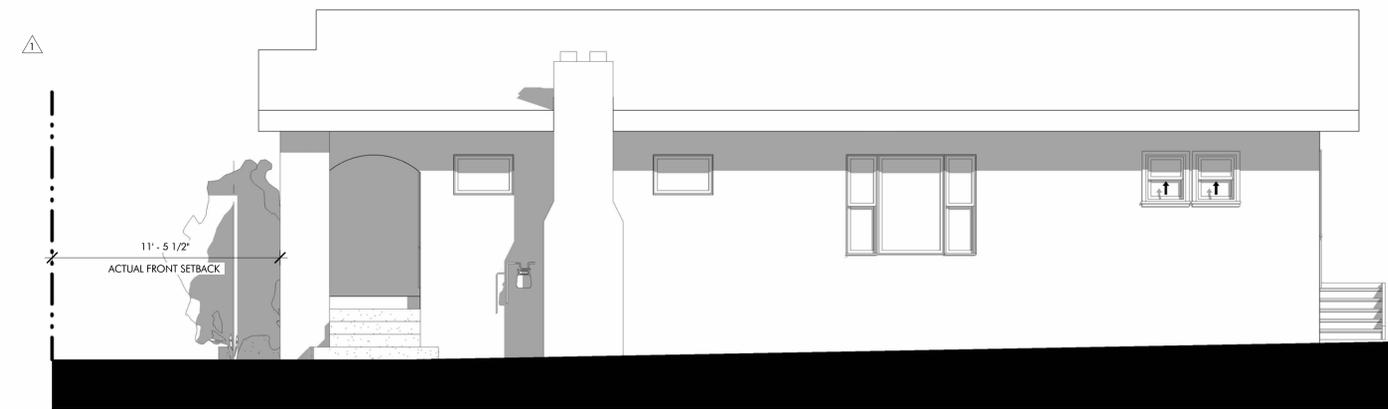
### SHEET TITLE

EXISTING & PROPOSED FRONT  
 BUILDING ELEVATIONS NO.2

### SHEET NO.

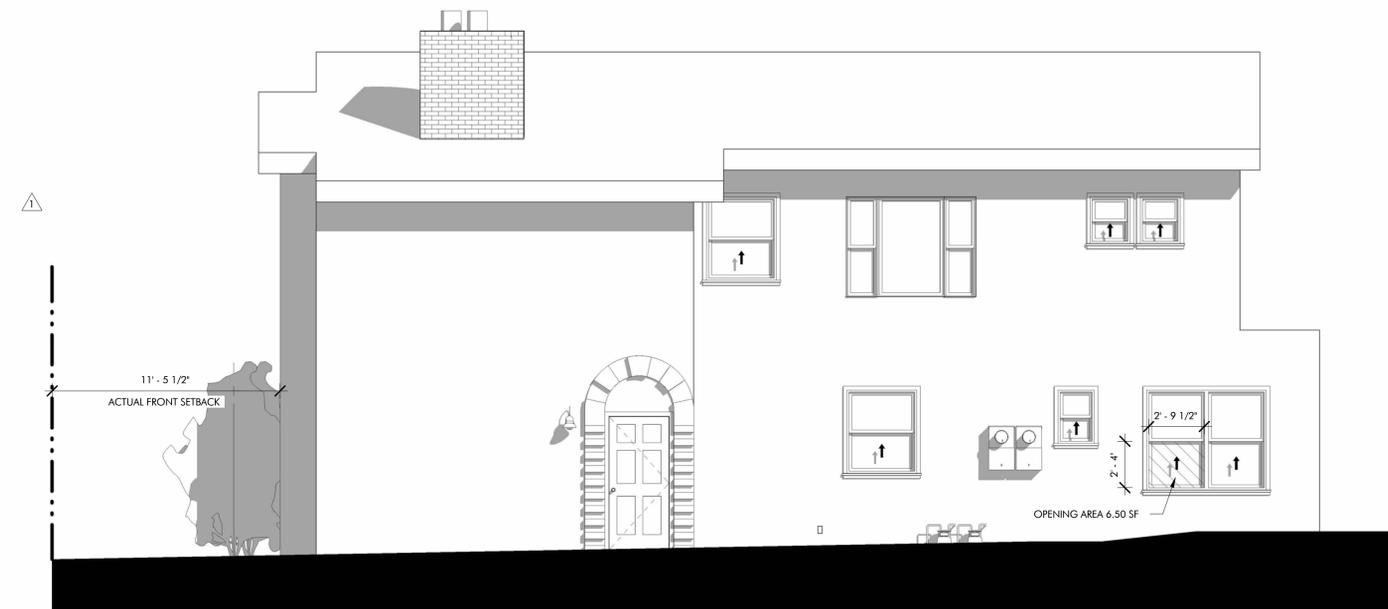
A202

- EXISTING T.O. ROOF (FRONT BUILDING) 17'-6 1/2"
- EXISTING T.O.P (FRONT BUILDING) 12'-1"
- EXISTING FIRST FLOOR (FRONT HOUSE) 3'-7"
- GRADE 0'-0"



① EXISTING RIGHT SIDE ELEVATION (FRONT BUILDING)  
 1/4" = 1'-0"

- PROPOSED T.O. ROOF 25'-6"
- PROPOSED T.O.P (FRONT BUILDING) 20'-1"
- PROPOSED SECOND FLOOR (FRONT BUILDING) 11'-7"
- PROPOSED FIRST FLOOR PLAN (FRONT BUILDING) 0'-7"
- GRADE 0'-0"



② PROPOSED RIGHT SIDE ELEVATION (FRONT BUILDING)  
 1/4" = 1'-0"

**STUDIO  
 ETUDE**

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 WALNUT CREEK, CA 94596  
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**REVISION SCHEDULE**

NO.	DESCRIPTION	DATE

**CLIENT NAME**

MAI NGUYEN

**PROJECT NAME**

SECOND STORY ADDITION

**PROJECT ADDRESS**

2145 GRANT ST,  
 BERKELEY, CA 94703

**PROJECT NO.**

18-0524

**PERMIT NO.**

**DATE**

05/16/2025

**SCALE**

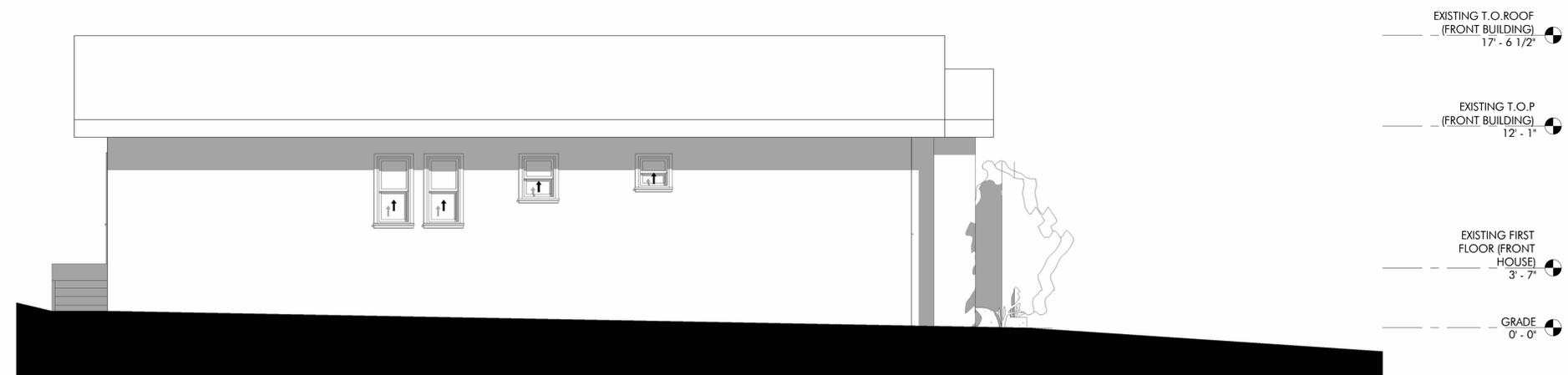
1/4" = 1'-0"

**SHEET TITLE**

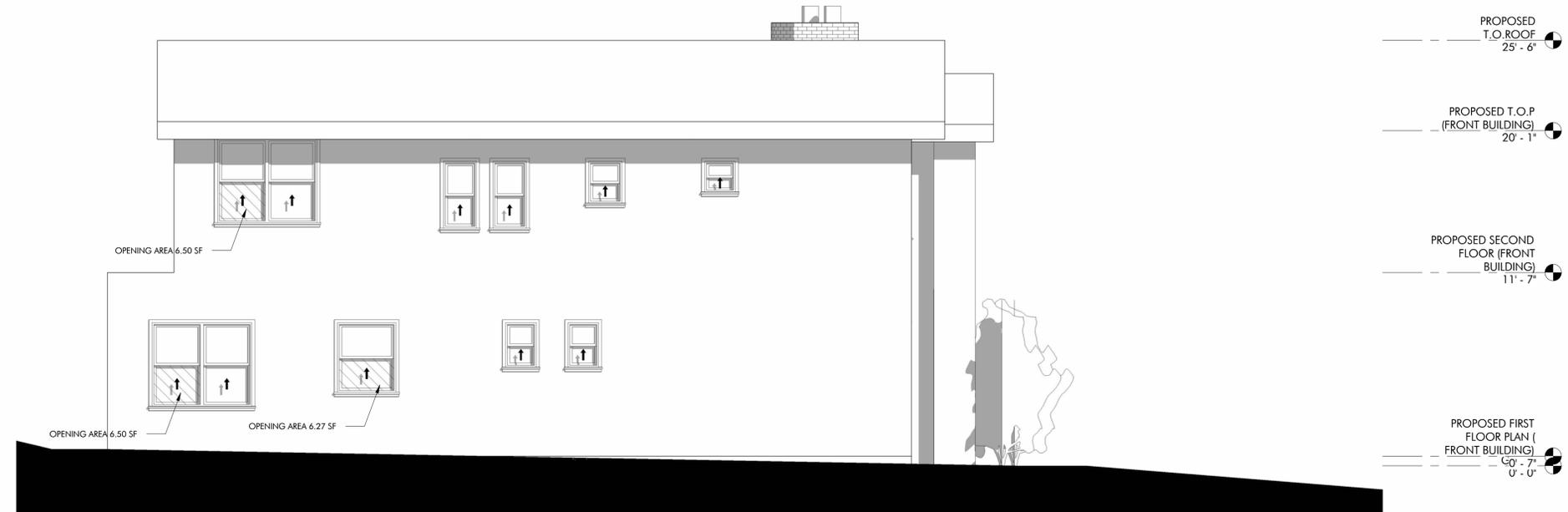
EXISTING & PROPOSED FRONT  
 BUILDING ELEVATIONS NO.3

**SHEET NO.**

A203



① EXISTING LEFT SIDE ELEVATION (FRONT BUILDING)  
 1/4" = 1'-0"



② PROPOSED LEFT SIDE ELEVATION (FRONT BUILDING)  
 1/4" = 1'-0"

- EXISTING T.O. ROOF (FRONT BUILDING) 17'-6 1/2"
- EXISTING T.O.P (FRONT BUILDING) 12'-1"
- EXISTING FIRST FLOOR (FRONT HOUSE) 3'-7"
- GRADE 0'-0"
- PROPOSED T.O. ROOF 25'-6"
- PROPOSED T.O.P (FRONT BUILDING) 20'-1"
- PROPOSED SECOND FLOOR (FRONT BUILDING) 11'-7"
- PROPOSED FIRST FLOOR PLAN (FRONT BUILDING) 40'-7" / 0'-0"

**STUDIO  
 ETUDE**

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**REVISION SCHEDULE**

NO.	DESCRIPTION	DATE

**CLIENT NAME**

MAI NGUYEN

**PROJECT NAME**

SECOND STORY ADDITION

**PROJECT ADDRESS**

2145 GRANT ST,  
 BERKELEY, CA 94703

**PROJECT NO.**

18-0524

**PERMIT NO.**

**DATE**

05/16/2025

**SCALE**

1/8" = 1'-0"

**SHEET TITLE**

STREET VIEW ELEVATIONS

**SHEET NO.**

A204



① EXISTING STREET VIEW ELEVATION  
 1/8" = 1'-0"

ADJACENT NEIGHBOR  
 2139

ADJACENT NEIGHBOR  
 2199



② PROPOSED STREET VIEW ELEVATION  
 1/8" = 1'-0"

ADJACENT NEIGHBOR  
 2139

ADJACENT NEIGHBOR  
 2199

**STUDIO  
 ETUDE**

460 N CIVIC DR, APT 209  
 WALNUT CREEK, CA 94596  
 AMIR@STUDIOETUDE.DESIGN  
 (315)727-2147



**REVISION SCHEDULE**

NO.	DESCRIPTION	DATE
1	REVISION 1	12/09/2024

**CLIENT NAME**

MAI NGUYEN

**PROJECT NAME**

SECOND STORY ADDITION

**PROJECT ADDRESS**

2145 GRANT ST,  
 BERKELEY, CA 94703

**PROJECT NO.**

18-0524

**PERMIT NO.**

**DATE**

05/16/2025

**SCALE**

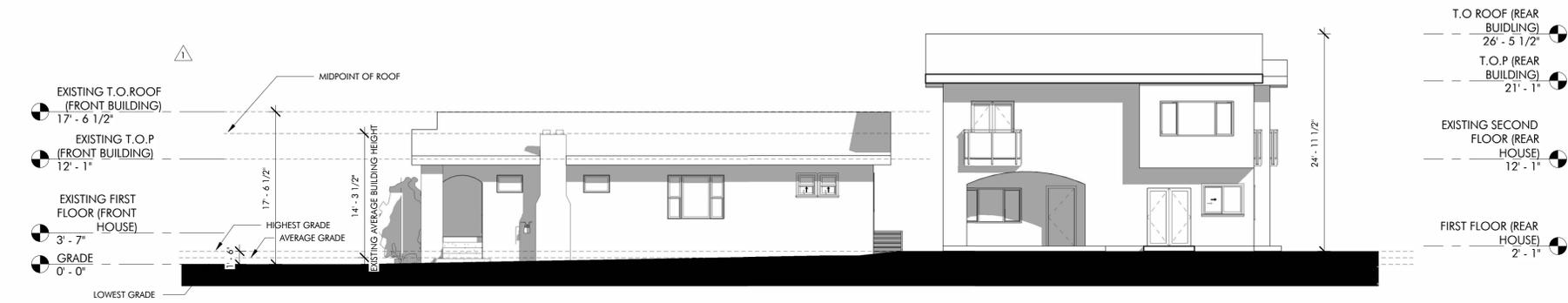
1/8" = 1'-0"

**SHEET TITLE**

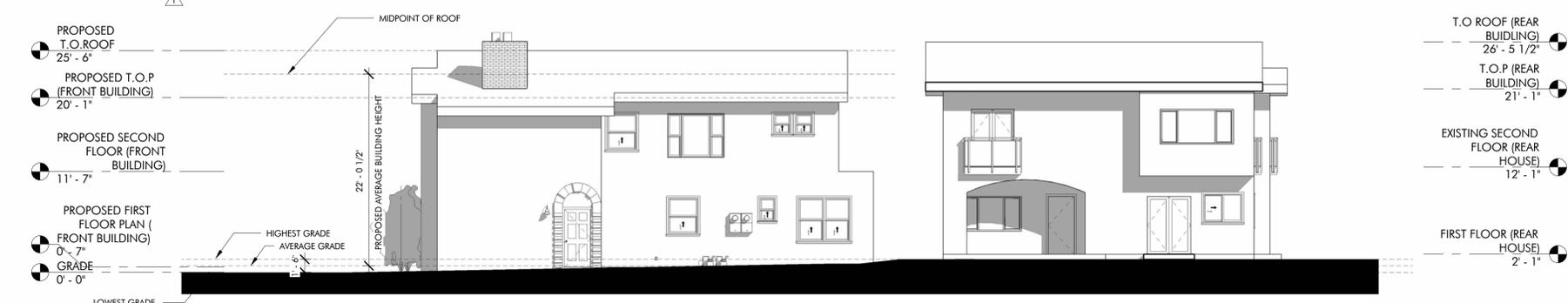
EXISTING AND PROPOSED SITE ELEVATIONS

**SHEET NO.**

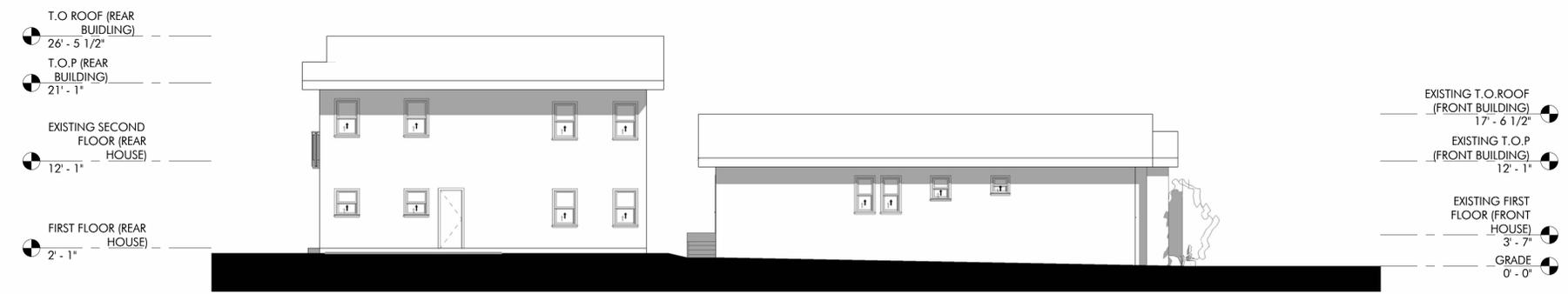
A205



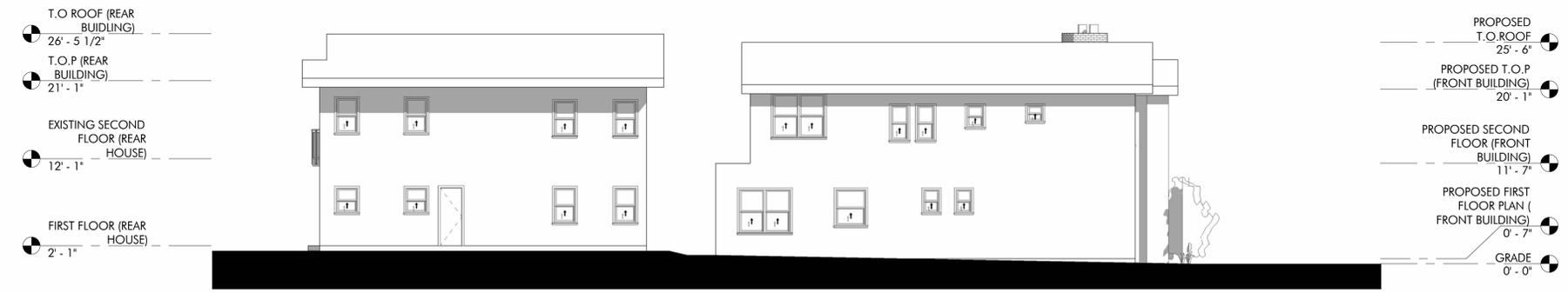
① EXISTING RIGHT SIDE SITE ELEVATION  
 1/8" = 1'-0"



② PROPOSED RIGHT SIDE SITE ELEVATION  
 1/8" = 1'-0"



③ EXISTING LEFT SIDE SITE ELEVATION  
 1/8" = 1'-0"



④ PROPOSED LEFT SIDE SITE ELEVATION  
 1/8" = 1'-0"

**STUDIO  
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**REVISION SCHEDULE**

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SECOND STORY ADDITION

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18-0524

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**SCALE**

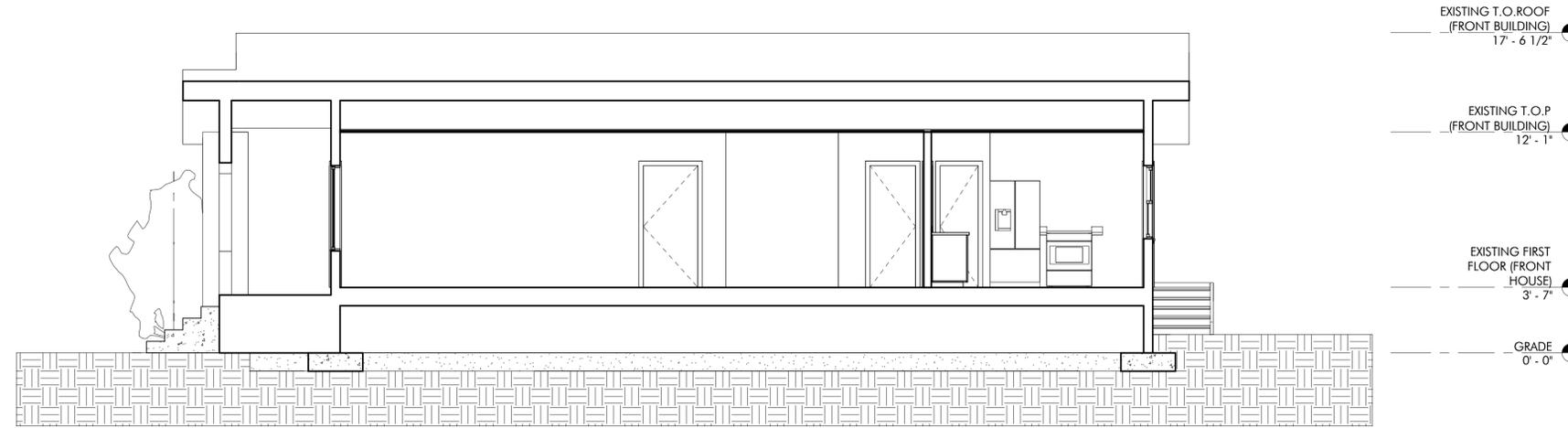
1/4" = 1'-0"

**SHEET TITLE**

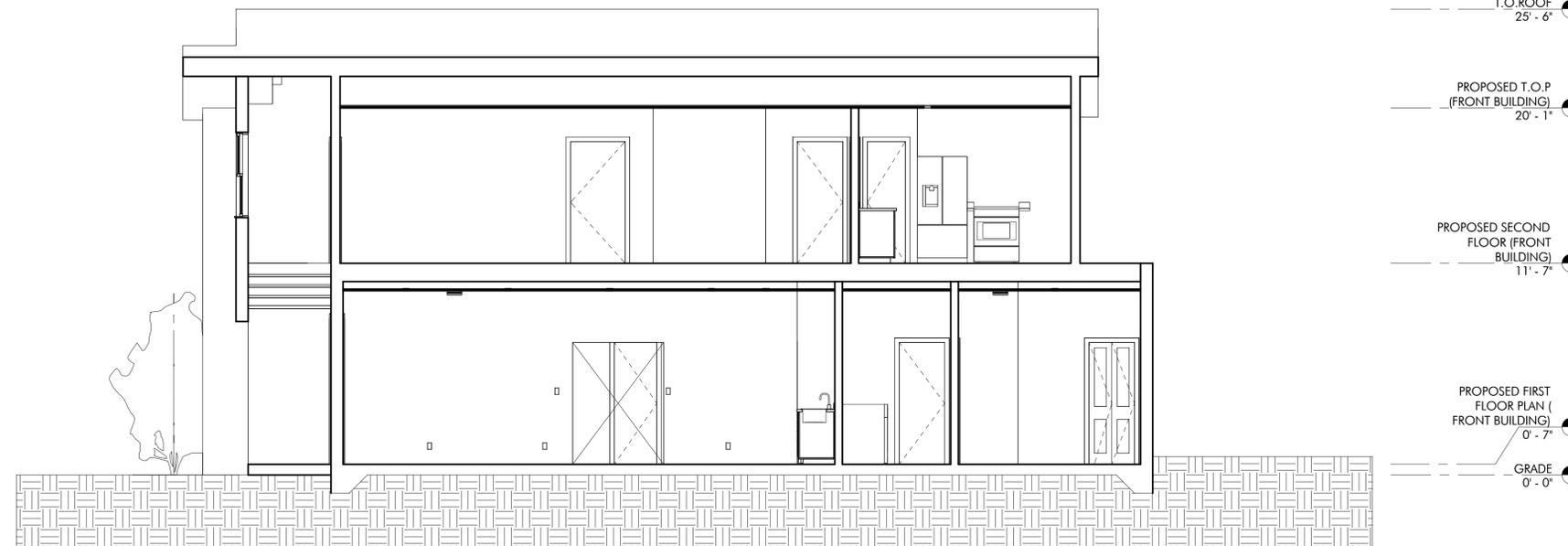
EXISTING & PROPOSED SECTIONS

**SHEET NO.**

A301



① EXISTING SECTION A  
 1/4" = 1'-0"



② PROPOSED SECTION A  
 1/4" = 1'-0"

**STUDIO  
 ETUDE**

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18-0524

**PERMIT NO.**

**DATE**

05/16/2025

**SCALE**

1/4" = 1'-0"

**SHEET TITLE**

DOOR & WINDOW SCHEDULES

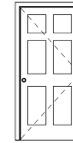
**SHEET NO.**

**A401**

**DOOR SCHEDULE**

MARK	LEVEL	WIDTH	HEIGHT	HEAD HEIGHT	OPERATION	PHASE CREATED
1	PROPOSED FIRST FLOOR PLAN ( FRONT BUILDING)	3' - 0"	8' - 0"	8' - 0"		New Construction
3	PROPOSED FIRST FLOOR PLAN ( FRONT BUILDING)	5' - 0"	6' - 8"	6' - 8"	SINGLE FLUSH	New Construction
4	PROPOSED FIRST FLOOR PLAN ( FRONT BUILDING)	2' - 6"	6' - 8"	6' - 8"	SINGLE FLUSH	New Construction
5	PROPOSED FIRST FLOOR PLAN ( FRONT BUILDING)	2' - 4"	6' - 8"	6' - 8"	SINGLE FLUSH	New Construction
6	PROPOSED FIRST FLOOR PLAN ( FRONT BUILDING)	2' - 4"	6' - 8"	6' - 8"	SINGLE FLUSH	New Construction
7	PROPOSED FIRST FLOOR PLAN ( FRONT BUILDING)	2' - 6"	6' - 8"	6' - 8"	SINGLE FLUSH	New Construction
8	PROPOSED FIRST FLOOR PLAN ( FRONT BUILDING)	2' - 6"	6' - 8"	6' - 8"	SINGLE FLUSH	New Construction
9	PROPOSED FIRST FLOOR PLAN ( FRONT BUILDING)	2' - 6"	6' - 8"	6' - 8"	SINGLE FLUSH	New Construction
10	PROPOSED FIRST FLOOR PLAN ( FRONT BUILDING)	2' - 6"	6' - 8"	6' - 8"	SINGLE FLUSH	New Construction
11	PROPOSED FIRST FLOOR PLAN ( FRONT BUILDING)	2' - 4"	6' - 8"	6' - 8"	POCKET DOOR	New Construction
12	PROPOSED FIRST FLOOR PLAN ( FRONT BUILDING)	6' - 0"	6' - 8"	6' - 8"	SLIDING DOOR	New Construction
49	PROPOSED FIRST FLOOR PLAN ( FRONT BUILDING)	3' - 0"	6' - 8"	6' - 8"	SINGLE FLUSH	New Construction

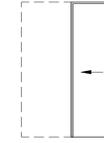
**DOOR LEGEND**



SINGLE FLUSH ENTRY DOOR



SINGLE FLUSH



POCKET DOOR



SLIDING DOOR

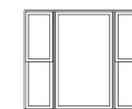
**WINDOW SCHEDULE**

MARK	LEVEL	WIDTH	HEIGHT	SILL HEIGHT	HEAD HEIGHT	OPERATION	PHASE CREATED
1	PROPOSED FIRST FLOOR PLAN ( FRONT BUILDING)	3' - 6"	4' - 2"	3' - 10"	8' - 0"	SINGLE HUNG	New Construction
2	PROPOSED FIRST FLOOR PLAN ( FRONT BUILDING)	3' - 6"	4' - 2"	3' - 10"	8' - 0"	SINGLE HUNG	New Construction
3	PROPOSED FIRST FLOOR PLAN ( FRONT BUILDING)	1' - 10"	2' - 8"	5' - 4"	8' - 0"	SINGLE HUNG	New Construction
4	PROPOSED FIRST FLOOR PLAN ( FRONT BUILDING)	6' - 0"	5' - 0"	3' - 0"	8' - 0"	SINGLE HUNG DOUBLE	New Construction
5	PROPOSED FIRST FLOOR PLAN ( FRONT BUILDING)	6' - 0"	5' - 0"	3' - 0"	8' - 0"	SINGLE HUNG DOUBLE	New Construction
6	PROPOSED FIRST FLOOR PLAN ( FRONT BUILDING)	3' - 6"	4' - 2"	3' - 10"	8' - 0"	SINGLE HUNG	New Construction
7	PROPOSED FIRST FLOOR PLAN ( FRONT BUILDING)	1' - 10"	2' - 8"	5' - 4"	8' - 0"	SINGLE HUNG	New Construction
8	PROPOSED FIRST FLOOR PLAN ( FRONT BUILDING)	1' - 10"	2' - 8"	5' - 4"	8' - 0"	SINGLE HUNG	New Construction
9	PROPOSED FIRST FLOOR PLAN ( FRONT BUILDING)	6' - 0"	5' - 0"	3' - 0"	8' - 0"	SINGLE HUNG DOUBLE	New Construction
10	PROPOSED SECOND FLOOR (FRONT BUILDING)	6' - 0"	5' - 0"	3' - 0"	8' - 0"	SINGLE HUNG DOUBLE	New Construction

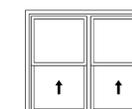
**WINDOW LEGEND**



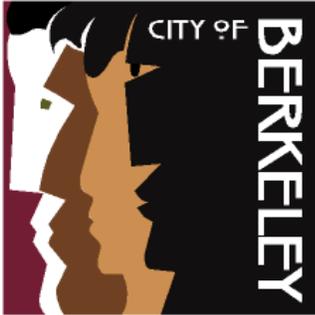
SINGLE HUNG



TRIPLE WINDOW UNIT FIXED WINDOW SINGLE HUNG FLANKERS



SINGLE HUNG DOUBLE



Z O N I N G  
A D J U S T M E N T S  
B O A R D  
NOTICE OF PUBLIC HEARING

## 2145 Grant Street

Use Permit #ZP2024-0138 to construct a major residential addition (1,133 square feet) with an average height of 22 feet 10 inches by adding a second story to the front building within the nonconforming front setback on a lot that currently exceeds maximum lot coverage. The project will result in a total of seven bedrooms and four bathrooms in the building, and 13 total bedrooms on the lot.

The Zoning Adjustments Board of the City of Berkeley will hold a public hearing on the above matter, pursuant to Zoning Ordinance, Section [23.404.050 \(Public Hearings and Decisions\)](#)

**When:** Thursday, February 26, 2026, 7:00 pm

**Where:** Berkeley Unified School District meeting room, 1231 Addison Street, (wheelchair accessible) with remote/hybrid option (via Zoom).

Please visit: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board> and click on the hearing date to access the most up-to-date meeting information, or call the Land Use Planning division (510) 981-7410.

**PUBLIC ADVISORY: THIS MEETING WILL BE CONDUCTED IN A HYBRID MODEL WITH BOTH IN-PERSON ATTENDANCE AND VIRTUAL PARTICIPATION AVAILABLE FOR MEMBERS OF THE PUBLIC.**

*For in-person attendees, face coverings or masks that cover both the nose and mouth are encouraged. If you're feeling sick, please do not attend the meeting in-person as a public health precaution.*

*Currently, there are no physical distancing requirements in place by the State of California or the Local Health Officer for an indoor event similar to a Commission meeting. However, all attendees are requested to be respectful of the personal space of other attendees. An area of the public seating area will be designated as "distanced seating" to accommodate persons that need to distance for personal health reasons.*

**A. Land Use Designations:**

- General Plan: Medium Density Residential
- Zoning: Residential Multi-Unit 2 District (R-2), previously Restricted Two-Family Residential District.

2145 Grant Street  
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NOTICE OF PUBLIC HEARING  
Posted February 11, 2026

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**B. Zoning Permits Required:**

- **Existing Nonconformity.** BMC Section 23.324.050(D)(3)(a) “**Nonconforming Coverage, FAR, and Density**” to add and enlarge a structure on a lot that currently exceeds maximum lot coverage.
- **New Bedrooms.** BMC Section 23.202.030(B) “**Adding Bedrooms**” to add a bedroom to a lot above the fifth bedroom.
- **Major Residential Addition.** BMC Section 23.202.030(A)(1)(b) “**Residential Additions**” to add more than 600 square feet of floor area to a lot.
- **Height Increase.** BMC Section 23.202.080(D)(2) “**Development Standards**” to construct a residential addition above 14 feet in average height.
- **Nonconforming Setbacks.** BMC Section 23.324.050(D)(2) “**Nonconforming Setbacks and Height**” to vertically extend a building wall projecting into a minimum required front setback.
- **Fence.** BMC Section 23.304.080(A) “**Permits Required for Fences**” to construct a fence over 6 feet in height within a required front setback.

**D. CEQA Recommendation:** Categorically exempt pursuant to Section 15301 of the CEQA Guidelines (“Existing Facilities”).

**E. Project Recommendation:** Approve Use Permit #ZP2024-0138 pursuant to BMC Section 23.406.040(D)

**F. Parties Involved:**

- Applicant AmirHossein Jafari, Berkeley, CA
- Property Owner Mai Nguyen, Berkeley, CA

**Further Information:**

All application materials are available online at:

<https://aca.cityofberkeley.info/CitizenAccess/Welcome.aspx>.

The Zoning Adjustments Board final agenda and staff reports will be available online 6 days prior to this meeting at: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board>.

Questions about the project should be directed to the project planner, Boshi Fu, at (510) 981-7544 or [bfu@berkeleyca.gov](mailto:bfu@berkeleyca.gov).

Written comments or a request for a Notice of Decision should be directed to the Zoning Adjustments Board Secretary at [zab@berkeleyca.gov](mailto:zab@berkeleyca.gov).

**Communication Disclaimer:**

Communications to Berkeley boards, commissions or committees are public record and will become part of the City's electronic records, which are accessible through the City's website. **Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, will become part of the public record.** If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service or in person to the secretary of the relevant board, commission or committee. If you do not want your contact information included in the public record, please do not include that information in your communication. Please contact the secretary to the relevant board, commission or committee for further information.

**Written Comments, Communications, and Reports:**

Written comments must be directed to the ZAB Secretary at the Land Use Planning Division (Attn: ZAB Secretary), or via e-mail to: [zab@berkeleyca.gov](mailto:zab@berkeleyca.gov). All materials will be made available via the Zoning Adjustments Board Agenda page online at this address: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board>

All persons are welcome to attend the hearing and will be given an opportunity to address the Board. Comments may be made verbally at the public hearing and/or in writing before the hearing. The Board may limit the time granted to each speaker.

**Correspondence received by 5:00 PM, eight days before this public hearing, will be provided with the agenda materials provided to the Board.** Note that if you submit a hard copy document of more than 10 pages, or in color, or with photos, you must provide 15 copies. Correspondence received after this deadline will be conveyed to the Board in the following manner:

- **Correspondence received by 5:00 PM, two days before** this public hearing, will be conveyed to the Board in a Supplemental Communications and Reports #1, which is released around noon one day before the public hearing.
- **Correspondence received by 12:00 PM, the day of** this public hearing, will be conveyed to the Board in a Supplemental Communications and Reports #2, which is released around noon the day of the public hearing.
- **Correspondence received after 12:00 PM, the day of** this public hearing will be saved in the project administrative record.



**Accessibility Information / ADA Disclaimer:**

To request a disability-related accommodation(s) to participate in the meeting, including auxiliary aids or services, please contact the Disability Services specialist at 981-6342 (V) or 981-6345 (TDD) at least three business days before the meeting date.

**SB 343 Disclaimer:**

Any writings or documents provided to a majority of the Commission regarding any item on this agenda will be made available to the public. Please contact the Land Use Planning Division ([zab@berkeleyca.gov](mailto:zab@berkeleyca.gov)) to request hard-copies or electronic copies.

**Notice Concerning Your Legal Rights:**

If you object to a decision by the Zoning Adjustments Board regarding a land use permit project, the following requirements and restrictions apply:

1. If you challenge the decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice.
  2. You must appeal to the City Council within 14 days after the Notice of Decision of the action of the Zoning Adjustments Board is mailed. It is your obligation to notify the Land Use Planning Division in writing of your desire to receive a Notice of Decision when it is completed.
  3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than 90 days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that 90-day period will be barred.
  4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
  5. If you believe that this decision or any condition attached to it denies you any reasonable economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a "taking" of property for public use without just compensation under the California or United States Constitutions, the following requirements apply:
    - a. That this belief is a basis of your appeal.
    - b. Why you believe that the decision or condition constitutes a "taking" of property as set forth above.
    - c. All evidence and argument in support of your belief that the decision or condition constitutes a "taking" as set forth above. If you do not do so, you will waive any legal right to claim that your property has been taken, both before the City Council and in court.
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C. Use-Specific Regulations. Uses subject to supplemental regulations are shown in Table 23.202-1: Allowed Land Uses in Residential Districts with an asterisk (\*) following the permit requirement (e.g., UP\*). The Use-Specific Regulations column in Table 23.202-1: Allowed Land Uses in Residential Districts identifies the location of these regulations in the Zoning Ordinance. (Ord. 7898-NS § 1, 2024; Ord. 7890-NS § 3, 2023; Ord. 7882-NS § 1, 2023; Ord. 7850-NS § 2, 2023; Ord. 7815-NS § 3, 2022; Ord. 7787-NS § 2 (Exh. A), 2021)

**23.202.030 Additional Permit Requirements.**

A. Residential Additions. See Section 23.502.020.A--Defined Terms ("A" Terms) for residential addition definitions.

1. Permits Required.

(a) In the ES-R district, residential additions require permits as follows:

i. Residential additions up to 10 percent of lot area or 200 square feet, whichever is less: Zoning Certificate.

ii. Major residential additions more than 10 percent of lot area or 200 square feet, whichever is less: Use Permit.

(b) In the R-3, R-S, R-SMU and C-T districts within the Southside Plan boundaries, any residential addition requires a Zoning Certificate.

(c) In all other Residential Districts, residential additions require permits as follows:

i. Residential additions (up to 15 percent of lot area or 600 square feet, whichever is less): Zoning Certificate.

ii. Major residential additions (all other residential additions) AUP.

2. Basis for AUP Decision.

(a) To deny an AUP for a residential addition in all residential districts except for the ES-R district, the review authority must find that although the proposed residential addition satisfies all other Zoning Ordinance requirements, the residential addition would unreasonably obstruct sunlight, air, or views.

(b) To approve an AUP for a residential addition in the ES-R district, the review au-

thority must make the finding in Subsection 23.202.070.H.6--ES-R Environmental Safety-Residential District (Land Use Intensification).

B. Adding Bedrooms.

1. In the R-1, R-1A, R-2, R-2A, and R-3 districts outside of the Southside Plan boundaries, adding a bedroom to a lot requires permits as follows:

(a) Adding a first, second, third, or fourth bedroom to a lot: no permit required.

(b) Adding a fifth bedroom to a lot: AUP.

(c) Adding a bedroom to a lot beyond the fifth: Use Permit.

2. See Section 23.502.020(B) - Defined Terms ("B" Terms) for bedroom definition.

3. In the ES-R district, any alteration to create a new bedroom in a single-family detached home on a single lot requires an AUP. See Section 23.202.070(H)(6) (Land Use Intensification) for required finding.

4. In the R-3, R-S, or R-SMU districts within the Southside Plan boundaries, adding any bedroom to a lot requires a Zoning Certificate.

C. Changes to Nonconforming Structures. See Section 23.324.050--Nonconforming Structures and Buildings for permits required to modify structures that do not conform to setback, height, and other development standards.

D. Accessory Structures. For accessory structure permit requirements, see the following:

1. Section 23.304.060--Accessory Buildings and Enclosed Accessory Structures.

2. Section 23.304.070--Unenclosed Accessory Structures in Residential Districts.

3. Section 23.304.080--Fences. (Ord. 7890-NS §§ 4, 5, 2023; Ord. 7787-NS § 2 (Exh. A), 2021)

**23.202.040 Use-Specific Regulations.**

A. Community Care Facilities.

1. Permits Required. Community care facilities in a Residential District require permits as follows:

(a) Change of use: Zoning Certificate.

(b) New construction: Use Permit.



[2] Height greater than 14 ft. up to 28 ft. allowed with a Use Permit. Height greater than 28 ft up to 35 ft allowed with an additional Use Permit. See 23.202.070.H.5 for findings.

3. Minimum Lot Area Per Dwelling Unit Exception. A legally-created lot less than 25,000 square feet may be developed in compliance with ES-R district requirements if, on the effective date of the regulations that made it substandard, it was in single ownership separate from any abutting lot under the same ownership.

4. Lots Under 5,000 Square Feet. Lots less than 5,000 square feet are allowed no more than one dwelling unit of no more than 1,000 square feet of gross floor area. Accessory Dwelling Units as defined in Section 23.306 (Accessory Dwelling Units) are not subject to this restriction.

5. Height Increases. To approve an AUP or Use Permit to allow an increase in building height, the review authority must find that the increased height is:

(a) Justified due to the topography of the site; and

(b) Consistent with the purposes of the ES-R district as stated in Section 23.202.070.A--ES-R Environmental Safety-Residential District (District Purpose).

6. Land Use Intensification. To approve any project that increases habitable floor area, increases the size or number of bedrooms, may increase vehicular trips in the area, or will otherwise intensify the use of land in the ES-R district, the review authority must find that the project individually or together with other projects within or adjacent to the ES-R district will not threaten the safety and general welfare of Panoramic Hill residents.

7. Nonconforming Uses and Structures.

(a) Additions and enlargements to structures that contain a nonconforming use are not permitted.

(b) Alteration, addition, or enlargement of a nonconforming structure that contains a conforming use is allowed provided that:

i. The project complies with Section 23.324.050.D--Nonconforming Structures and Buildings (Expansion); and

ii. All findings required for the project by the Zoning Ordinance can be made. (Ord. 7787-NS § 2 (Exh. A), 2021)

**23.202.080 R-2 Restricted Two-Family Residential District.**

A. District Purpose. The purpose of the Restricted Two-Family Residential (R-2) district is to:

1. Implement the General Plan by encouraging the development of low medium-density residential areas characterized by a reasonably open and spacious type of development with a pattern of housing types ranging from single-family to duplexes and small apartment structures;

2. Make available housing for persons who desire a range of housing choice with a relatively large amount of open space; and

3. Protect adjacent properties from unreasonable obstruction of light and air.

B. Allowed Land Uses. See Table 23.202-1: Allowed Land Uses in Residential Districts.

C. Additional Permit Requirements. See Subsection A of Section 23.202.030 (Residential Additions) and Subsection B of 23.202.030 (Adding Bedrooms).

D. Development Standards.

1. Basic Standards. See Table 23.202-5: R-2 Lot and Height Standards, Table 23.202-6: R-2 Setback and Building Separation Standards, and Table 23.202-7: R-2 Lot Coverage Standards for development standards in the R-2 district.

2. Supplemental Standards. Supplemental development standards that apply in the R-2 district are noted in Table 23.202-5: R-2 Lot and Height Standards, Table 23.202-6: R-2 Setback and Building Separation Standards, and Table 23.202-7: R-2 Lot Coverage Standards.

**Table 23.202-5. R-2 LOT AND HEIGHT STANDARDS**

BASIC STANDARDS		SUPPLEMENTAL STANDARDS
Lot Area, Minimum		23.304.020--Lot Requirements
New Lots	5,000 sq. ft.	
Per Dwelling Unit	2,500 sq. ft. [1]	
Usable Open Space Per Dwelling Unit, Minimum	400 sq. ft.	23.304.090--Usable Open Space
Floor Area Ratio, Maximum	No maximum	
Main Building Height, Average		23.304.050--Building Height
New Buildings and Non-Residential Additions	28 ft. and 3 stories [2]	
Residential Additions	14 ft. [3]	

**Notes:**

[1] One additional dwelling unit is allowed for any remaining lot area between 2,000 and 2,500 square feet.

[2] Maximum 35 ft. with an AUP.

[3] Addition height greater than 14 ft. up to 28 ft. allowed with an AUP. Addition height greater than 28 ft up to 35 ft allowed with an additional AUP.

**Table 23.202-6. R-2 SETBACK AND BUILDING SEPARATION STANDARDS**

	STANDARDS BY BUILDING STORY			SUPPLEMENTAL STANDARDS
	1ST	2ND	3RD	
Lot Line Setbacks, Minimum				
Front	20 ft.	20 ft.	20 ft.	23.304.030--Setbacks
Rear	20 ft.	20 ft.	20 ft.	
Interior	4 ft.	4 ft.	6 ft.	
Street Side	10 ft.	10 ft.	10 ft.	
Building Separation, Minimum	8 ft.	12 ft.	16 ft.	23.304.040--Building Separation in Residential Districts

**Table 23.202-7. R-2 LOT COVERAGE STANDARDS**

	STANDARD BASED ON BUILDING HEIGHT			SUPPLEMENTAL STANDARDS
	1 STORY	2 STORIES	3 STORIES	
Lot Coverage, Maximum				23.304.120--Lot Coverage
Interior and Through Lot	45%	40%	35%	
Corner Lot	50%	45%	40%	

(Ord. 7787-NS § 2 (Exh. A), 2021)

**23.202.090 R-2A Restricted Multiple-Family Residential District.**

A. District Purpose. The purpose of the Restricted Multiple-Family Residential (R-2A) district is to:

1. Implement the General Plan by encouraging the development of medium-density residential areas characterized by small multiple-family and garden-type apartment structures with a maximum of open space consistent with this type of development;
2. Make available housing for persons who desire apartment-type accommodations with a maximum of open space;
3. Protect adjacent properties from unreasonable obstruction of light and air; and
4. Permit only land use intensity which is compatible with existing low-density residential structures and is not detrimental to the immediate neighborhood.

B. Allowed Land Uses. See Table 23.202-1: Allowed Land Uses in Residential Districts.

C. Additional Permit Requirements. See Subsection A of Section 23.202.030 (Residential Additions) and Subsection B of 23.202.030 (Adding Bedrooms).

D. Development Standards.

1. Basic Standards. See Table 23.202-8: R-2A Lot and Height Standards, Table 23.202-9: R-2A Setback and Building Separation Standards, and Table 23.202-10: R-2A Lot Coverage Standards.

2. Supplemental Standards. Supplemental development standards that apply in the R-2A district are noted in Table 23.202-8: R-2A Lot and Height Standards, Table 23.202-9: R-2A Setback and Building Separation Standards, and Table 23.202-10: R-2A Lot Coverage Standards.

**Table 23.202-8. R-2A LOT AND HEIGHT STANDARDS**

BASIC STANDARDS		SUPPLEMENTAL STANDARDS
Lot Area, Minimum		
New Lots	5,000 sq. ft.	23.304.020
Per Dwelling Unit	1,650 sq. ft. [1]	
Usable Open Space Per Dwelling Unit, Minimum	300 sq. ft.	23.304.090
Main Building Height, Average		23.304.050--Building Height



i. Repair that does not change the nature of the license premises or increase the square footage of the business used for alcoholic beverages sales; or

ii. Restoration of premises made totally or partially unusable by an act of nature, fire, accident, or other involuntary cause where the restoration does not increase the square footage of the business used for alcoholic beverage sales. (Ord. 7898-NS § 20, 2024; Ord. 7787-NS § 2 (Exh. A), 2021)

**23.324.050 Conforming and Nonconforming Structures and Buildings.**

A. Maintenance and Repair. A lawful nonconforming structure or building may be maintained and repaired, as long as such maintenance or repair does not result in a change to the use of the structure or building.

B. Replacement. Replacing portions of a nonconforming structure or building is allowed if the removed portions were lawfully constructed and are replaced to the same size, height, extent, and configuration as previously existed.

C. Removal.

1. A nonconforming portion of a nonconforming structure or building may be removed by right if such removal does not constitute demolition.

2. For a structure or building subject to the Landmarks Preservation Ordinance, the regulations under Municipal Code Section 3.24 (Landmarks Preservation Commission) apply.

D. Expansion and Alteration.

1. General. An addition to or enlargements of a lawful nonconforming structure or building is allowed if:

(a) The addition or enlargement complies with all applicable laws;

(b) The existing use of the structure or building is conforming, except as provided below in Paragraph 4 (Property with Nonconforming Use); and

(c) The addition or enlargement obtains all permits required by this subsection.

2. Nonconforming Setbacks and Height.

(a) An AUP is required for an addition or enlargement that:

i. Vertically or horizontally extends a building wall projecting into a minimum required setback;

ii. Horizontally extends the portion of a building exceeding the height limit;

iii. Alters the portion of a building (including windows and other openings) projecting into a minimum required setback; or

iv. Alters the portion of a building exceeding the height limit.

(b) The Zoning Officer may approve the AUP only if:

i. The addition or enlargement does not increase or exacerbate any nonconforming setbacks; and

ii. The addition or enlargement does not exceed maximum or calculated height limits.

3. Nonconforming Coverage, FAR, and Density.

(a) A Use Permit is required for an addition to and/or enlargement of a structure or building that exceeds the maximum allowed lot coverage, floor area ratio, or residential density.

(b) The ZAB may approve the Use Permit only if the project does not:

i. Increase or exacerbate the nonconformity; or

ii. Exceed the height limit.

4. Property with Nonconforming Use.

(a) A Use Permit is required for an addition to and/or enlargement of a lawful nonconforming structure or building on a property with a lawful nonconforming use.

(b) The Use Permit is required whether or not the nonconforming use occupies the subject structure or building.

E. Tenant Space Reconfigurations.

1. The reconfiguration of non-residential tenant space in a nonconforming structure or building requires permits as follows:

(a) AUP for structures or buildings nonconforming to setback, height, or lot coverage standards.