



D E S I G N  
R E V I E W  
C O M M I T T E E  
S T A F F R E P O R T

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For Committee Decision  
MARCH 18, 2026

## 2700 Shattuck Avenue

### PRELIMINARY DESIGN REVIEW

**Design Review #DRCP2024-0006 to demolish two single-story commercial structures (22,273 square feet) and construct an 8-story (90 feet and 4 inches) 281,960 square-foot mixed-use residential development with 359 dwelling units (including 38 Very Low Income units), 5,136 square feet of ground floor commercial space, 141 off-street vehicle parking spaces, and 158 bicycle parking spaces.**

#### I. Introduction

This eight-story mixed use project is proposed on the west side of Shattuck Avenue between Derby and Ward Streets in the C-AC Adeline Corridor Commercial District.

This project is applying under the Housing Crisis Act, SB 330, which seeks to boost homebuilding throughout the State with a focus on urbanized zones by expediting the approval process for and suspending or eliminating restrictions on housing development and limiting the number of public meetings. Housing development is defined as a project that is: all residential; a mixed-use project with at least two-thirds of the square-footage residential; or for transitional or supportive housing.

The demolition referral went before the Landmarks Preservation Commission on April 3, 2025, where the Commission took no action. The project will go before the Zoning Adjustments Board on an upcoming agenda for approval of its Use Permit.

The project is before the Design Review Committee this month for Preliminary Design Review.

#### II. Background

The proposed project would demolish two existing single-story commercial buildings to construct a new 281,960 square foot mixed-use residential development. The project utilizes the State Density Bonus and includes the following primary

components:

- 8 stories, 90 feet and 4 inches in height, plus 3-foot roof parapet
- 359 dwelling units – 124 studios, 184 one-bedroom, and 51 two-bedroom (410 bedrooms total)
- 38 Very Low-Income (VLI) dwelling units
- 13,049 square feet of usable open space, including:
  - 1,652 square foot roof deck
  - 8,700 square foot podium level courtyard
  - 2,697 square foot podium level private patios
- 5,136 square feet of ground-floor commercial space
- 141 off-street vehicle parking spaces – for residential use
- 158 bicycle parking spaces – 144 residential long-term, 10 residential short-term, and 4 commercial short-term
- New street trees on Shattuck, Derby and Ward
- Retain one curb cut on Derby for parking entrance and remove all other existing curb cuts on Shattuck, Derby, and Ward.

### III. Project Setting

#### A. Neighborhood/Area Description:

The project site is located in the Adeline Corridor Commercial District (C-AC) and within the Adeline Corridor Specific Plan, South Shattuck subarea. This subarea functions as an extension of Downtown Berkeley. It includes a range of land uses, including retail and commercial businesses, small offices, housing, and car dealerships. The site is surrounded by Berkeley Fire Station #5 and a UC Berkeley facilities services building to the north, new residential buildings and a mini-storage to the east, multi-family residential to the south, and a retail store to the west. Buildings in the area range from one to six stories tall. The site is served by multiple Alameda County Transit bus lines and is within a half-mile of the Ashby Bay Area Rapid Transit (BART) Station, and less than a mile from the Downtown Berkeley BART Station.

#### B. Site Conditions:

The 1.17-acre, trapezoid-shaped lot consists of two parcels (Assessor's Parcel Numbers 54-1723-1 and 54-1723-30). It fronts Derby Street to the north, Shattuck Avenue to the east, and Ward Street to the south. The site is relatively flat and is developed with two single-story commercial buildings (22,273 square feet) located at the northeast and southeast corners of the lot. Both buildings front east on Shattuck Avenue and are separated by a paved surface lot that wraps around the rear of the northern building. The northern building was built in 1926 (with a 1945 addition) and the southern building in 1933 (with a 1942 addition). Both buildings have been used for auto service and sales, and the paved lot has been used for vehicle parking and storage.

The site has multiple curb cuts along all three street frontages. There is no landscaping within the project site. There are three mature street trees along Derby Street, one mature street tree on Ward Street, and planted round planters at the northeast (Derby and Shattuck) and southeast (Ward and Shattuck) corners of the lot.

**C. C-AC District Regulatory Context**

In the C-AC District, development standards are based on the percentage of affordable units provided onsite as part of all residential and mixed-use projects (BMC Section 23.204.150(E)(2)). The proposed project would be developed using the South Shattuck Subarea Tier 2 Development Standards for the State Density Bonus base project, with density bonus, concessions and waivers pursuant to State Density Bonus regulations.

**Figure 1: Vicinity Map**



**Table 1: Land Use Information**

Comparison of Adjacent Properties			
Vicinity	GP Land Use	Zoning	Current Use
<b>Subject Property</b>	Adeline Corridor Mixed Use (ACMU)	Adeline Corridor Commercial (C-AC)	Auto dealership
<b>North</b>	Adeline Corridor Mixed Use (ACMU), Mixed Use Residential (MDR)	Adeline Corridor Commercial (C-AC) and Restricted Multiple-Family Residential (R-2A)	Fire station #5 and UC facilities services building
<b>South</b>	Adeline Corridor Mixed Use (ACMU)	Adeline Corridor Commercial (C-AC)	Multi-family residential
<b>East</b>			Mixed-use/multi-family residential and self-storage/mini-storage
<b>West</b>			Retail store

**Table 2: Development Standards**

Standard		Existing	Addition/ (Reduction)	Proposed Total	Permitted/ Required
Lot Area (sq. ft.)		51,066	No change	No change	N/A
Gross Floor Area (sq. ft.)		22,273	(259,687)	281,960	N/A
Commercial Floor Area (sq. ft.)		22,273	(17,137)	5,136	N/A
Floor Area Ratio		.44	5.1	5.5	4.0
Dwelling Units	Total	0	359	359	247 units (consistent with base project)
	Affordable	0	38	38	35 (At least 14% of total units for a Tier 2 project in the South Shattuck Subarea)
Building Height	Maximum (ft.)	-	-	90'-4" (plus 3'-6" parapet)	65' (plus 5' parapet by right)
	Stories	1	7	8	6
Building Setbacks (ft. - in.)	Front (South) (Ward Street)	0'	No change	No change	0'
	Street Side (East) (Shattuck Ave)	0'	No change	No change	0'

Standard		Existing	Addition/ (Reduction)	Proposed Total	Permitted/ Required
	Interior Side (West)	0'	0' to 5'	0' to 5'	0'
	Rear (North) (Derby Street)	0'	No change	0'	0'; 10' when height exceeds 45'
Lot Coverage (%)		44	55	99	90
Usable Open Space (sq. ft.)		0	13,049	13,049	14,360
Parking	Automobile – Commercial	0	No change	0	0 min. <sup>a</sup>
	Automobile – Residential	0	141	141	0 min. <sup>a</sup> /180 max. <sup>b</sup>
	Bicycle – Commercial	0	4	4	3 (1 per 2,000 sq. ft)
	Bicycle – Short Term	0	10	10	10 (1 space per 40 bedrooms)
	Bicycle – Long Term	0	144	144	137 (1 space per 3 bedrooms)
<p>█ = Concession or Waiver requested to modify the district standard</p> <p>Abbreviations: sq. ft. = square feet; max. = maximum; min. = minimum; n/a = not applicable; % = percent; avg. = average, ft = feet (’), in. = inches (”)</p> <p>Notes:</p> <p><sup>a</sup> <a href="#">AB-2097</a>, effective January 1, 2023, prohibits local jurisdictions from requiring minimum parking for most non-residential uses located within a 1/2 mile of public transit.</p> <p><sup>b</sup> Pursuant to BMC Section 23.322.070, the maximum number of off-street parking spaces is 0.5 spaces per dwelling unit</p>					

## IV. Project Description

### A. Requested Use Permits

- Demolition. Use Permit under BMC Section 23.326.070(A) “Main Non-Residential Building” to demolish a non-residential building.
- New Construction. Use permit under BMC Section 23.204.020(A) “Allowed Land Uses” to construct a new Multi-Unit Residential building.
- New Construction. Use permit under BMC Section 23.204.020(A) “Allowed Land Uses” to construct a new Mixed-Use Residential building.
- New Floor Area. Use permit under BMC Section 23.204.030(A)(1) “Floor Area Permit Requirements” to create a new main building in the C-AC District.
- Building Height. Administrative Use Permit under BMC Section 23.304.050(A) “Projections Above Height Limits” to exceed the allowed height limit with a rooftop projection.

## B. CEQA Determination

The applicant is requesting statutory exemption pursuant to Public Resources Code Section 21080.66 (AB 130).

## C. Density Bonus Information

- Height. Waiver of BMC Section 23.204.150(E) to exceed building height limit – to be 90 feet and 4 inches (plus 3-foot parapet) and 8 stories, where 65 feet (plus 5-foot parapet by right) and 6 stories is the allowable height with a Use Permit.
- Lot Line Setback. Waiver of BMC Section 23.204.150(E)(5)(a)(i) to reduce the rear setback to 0 feet, where 10 feet is required for any portion of new construction that exceeds 45 feet on lots abutting or confronting a residential district.
- Floor Area Ratio. Waiver of BMC Section 23.204.150(E) to exceed the FAR – to be 5.5, where 4 is the maximum allowable.
- Lot Coverage. Waiver of BMC Section 23.204.150(E) to exceed the lot coverage – to be 99%, where 90% is the maximum allowable.
- Usable Open Space. Waiver of BMC Section 23.204.130(E) to reduce the usable open space requirement – to provide 13,0049 square feet, where 14,360 square feet is required.
- Projections Above Height Limits. Waiver of BMC Section 23.304.050 to exceed the allowed height limit with a rooftop projection.
- Concession. Exemption from the requirement of BMC Section 23.304.150 “Bird Safe Building.”
- Concession: Exemption from BMC Section 23.328.030(B) “Option to Pay In-Lieu Fee” for the portion of the City’s affordable housing in-lieu fee that exceeds the on-site affordable units required under the State Density Bonus

## V. Design Review Guidelines

The following Design Guidelines from the Adeline Corridor Specific Plan apply to the proposed project. The complete document can be found at:

<https://berkeleyca.gov/sites/default/files/2022-03/Adeline-Corridor-Specific-Plan.pdf>

### 3.3 BUILDING DESIGN

#### 1. Building Bulk and Mass

Incorporate the following design strategies to reduce the perceived mass and bulk of new buildings:

- Modulate Length on New Buildings. Modulate the length of individual new buildings (i.e. the linear distance of the building facade along the street) on

any single block face by incorporating large and small massing breaks at regular intervals (50 to 100 feet) along street frontages.

- Reduce Bulk of Large Buildings. Design large buildings to appear as an aggregation of smaller buildings rather than a single large block or box.
- Use Building Mass. Use building mass to frame adjoining streets, plazas, open spaces, and pathways. Upper story step back and unique corner treatment.
- Use Ground Floor Articulation. Use ground floor articulation (recesses, structural bays, varied setbacks, etc.) to create a pedestrian scale along the sidewalk.
- Distinct Building Levels. Design buildings with a distinct ground floor, middle, and top.
- Vary Facade Details for Visual Interest. Vary materials, color, texture, ornamentation, and/or other facade details to provide visual interest, reduce the perception of height, and distinguish between upper and ground floors.

## **2. Horizontal and Vertical Articulation**

Incorporate the following design strategies for horizontal and vertical articulation in new buildings:

- Vary Horizontal Length of Facades. Incorporate massing breaks, projections, architectural details, and variations in materials and color to break up the horizontal length of facades. Provide some form of architectural articulation every 25 to 50 feet to promote visual interest and a comfortable pedestrian scale.
- Varied Architectural Elements or Roof Forms. Integrate architectural elements or varied roof forms at regular intervals to articulate long horizontal rooflines along street frontages.
- Break Up Vertical Height of Buildings. Use step backs, recesses, structural bays, articulation in wall planes, architectural details, and variations in materials and color to break up the vertical height of buildings.

## **4. Corner Building Treatment**

Treat corner buildings with unique attention and emphasis using the following strategies:

- Setbacks and Massing. Minimize setbacks and focus massing towards the corner.
- Public Entrances. Locate public entrances near the corner and avoid driveways and garage entries within 75 feet of the corner.
- Distinct Architectural Elements. Include distinctive architectural elements such as height projections, articulation, variation in materials, facade transparency, and unique roof silhouettes.
- Plazas or Open Space. As an alternative treatment, provide publicly accessible plazas or open spaces in place of building frontage.

### 3.5 Ground Floor Frontages and Facades

#### 1. Guidelines for All Ground Floor Uses

The following design guidelines apply to all types of ground floor frontages in the Plan Area:

- **Minimum Setback.** When possible, build to the minimum setback to establish a street wall close to the pedestrian realm. Minor variations in building facade and publicly accessible plazas or open spaces are also encouraged.
- **Facades Facing Public Street.** For nonresidential space, design all facades facing a public space (street, sidewalk, open space, or walkway) to be active, transparent, and visually interesting. Variations such as changes in color, material, and/or texture are encouraged.
- **Reduced Blank Walls.** Blank walls (facades without doors, windows, landscaping treatments, or other elements of pedestrian interest) should be less than 30 feet in length along sidewalks, pedestrian paths, or open space.
- **Humanizing Design Elements.** Provide awnings, signage, and other humanizing design elements to generate a pedestrian scale.
- **Vary Ground Floor Facades from Upper Floors.** Design the street-facing facades of ground floors with a distinctly different character from upper floors (distinguished by a greater floor-to-ceiling height, greater articulation, finer design details, unique colors, enhanced ground floor entrances, and/or architectural variation).

## VI. Issues and Analysis

### A. Design Review Issues:

**Neighborhood Context** This neighborhood is between the Downtown and Ashby BART stations and has both commercial and neighborhood uses nearby. The historic Iceland Sports Basement structure is directly adjacent to this project to the west.

**Building Design/ Massing** This eight-story mixed-use development is designed to meet the property lines on all sides of its parcel with a strong urban downtown aesthetic and generous pedestrian scaled street edges. While the proposed design does meet all property lines, storefront windows and pedestrian and vehicular entrances are setback. Level 2 and above is setback from the west edge by 10' and an outside roof deck is located on the southwest corner of the eighth floor allowing for a break in massing from distant views.

**Encroachments** The project proposes encroachments over the sidewalk for commercial and entry canopies as well as some minor horizontal building details further up on the structure. The applicant will work with Public Works to obtain any necessary encroachment permits for these conditions.

**Ground Floor Design** This project site is in between the Commercial and Active Commercial areas delineated in the Adeline Corridor Plan and achieve a high percentage of glazing on the Shattuck Street frontage. It exceeds its 30% requirement from 3' – 10' above the sidewalk grade. The ground floor height is more than the 12' required for this area in the Adeline Corridor Plan.

**Landscape/Open Space** The project proposes open space on the second floor with a central courtyard, a roof deck on the eighth floor in the southwest corner and an enclosed two-story solarium space at the northeast corner on the seventh floor. There are also resident lounge spaces located in the middle of the west façade on the 3<sup>rd</sup>, 5<sup>th</sup>, and 7<sup>th</sup> floors. Landscape plans are included for your review.

**Colors and Materials** Materials for the project include thin brick in two colors, integral stucco, metal infill panels, and wood-patterned siding. Material notes can be found on the rendered elevations, pages A3.1 and A3.2 as well as the materials legend on the last architectural pages in the plan set before the landscape sheets begin.

**B. Issues for Discussion:**

- Massing
- Neighborhood Context
- Building Design
- Open Space Design
- Colors and Materials

**VII. Recommendation**

Staff recommends that the DRC discuss the above issues and forward a favorable recommendation to ZAB with any conditions as necessary and specific direction for Final Design Review.

**Attachments:**

1. Project Plans, received March 5, 2026
2. Correspondence Received

**Staff Planner:** Anne Burns, aburns@berkeleyca.gov, (510) 981-7410

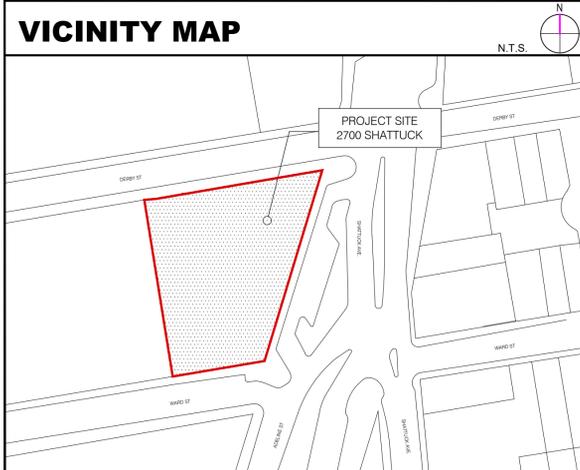
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# 2700 SHATTUCK

2700 Shattuck Ave  
 Berkeley, CA

- 10.18.2023 SB-330 SUBMITTAL PLANS
- 05.10.2024 ZONING APPLICATION
- 09.10.2024 ZONING RESUBMITTAL
- 01.06.2025 ZONING RESUBMITTAL
- 12.22.2025 ZONING RESUBMITTAL
- 03.18.2026 DRC HEARING SET



**PROJECT DIRECTORY**

**OWNER/APPLICANT:**  
 2700 Shattuck LLC  
 1600 Shattuck Ave.  
 Berkeley, CA 94709

**ARCHITECT:**  
 Isaiah Stackhouse, Principal  
**SDT ARCHITECTS**  
 2421 Fourth Street  
 Berkeley, CA 94710  
 510.649.1414  
 www.TrachtenbergArch.com

**LANDSCAPE ARCHITECT:**  
 Jesse Markman  
**JETT LANDSCAPE ARCHITECTURE + DESIGN**  
 2 Theatre Square, Suite 218  
 Orinda, CA 94563  
 925.254.5422  
 www.jett.land

**PROJECT DESCRIPTION**

**PROJECT ADDRESS:** 2700 Shattuck Ave.  
 Berkeley, CA 94705 (APN: 54-1723-1) (APN: 54-1723-3)

**SCOPE OF WORK:**  
 REMOVAL OF EXISTING COMMERCIAL STRUCTURES & CONSTRUCTION OF A NEW 8-STORY MIXED-USE RESIDENTIAL DEVELOPMENT WITH 359 DWELLING UNITS, GROUND LEVEL LOBBIES, COMMERCIAL SPACE, AND PARKING WITH STATE OF CALIFORNIA DENSITY BONUS.

**PROJECT TO COMPLY WITH BERKELEY ENERGY CODE (BMC Chapter 19.36) AND BERKELEY GREEN CODE (BMC Chapter 19.37).**

**DRAWING LIST**

SHEET NO. & TITLE		
<b>ARCHITECTURAL</b>		
A0.0 GENERAL INFORMATION	A2.3 FLOOR PLANS	A3.11 CONCEPTUAL RENDERING
A0.1A ZONING INFORMATION	A2.4 FLOOR PLANS	A3.12 CONCEPTUAL RENDERING
A0.1B ZONING DIAGRAMS	A2.5 FLOOR PLANS	MAT BUILDING MATERIALS
A0.1C FACADE DIAGRAMS	A2.6 FLOOR PLANS	A4.0 GRADING & STORMWATER PLANS
A0.1D CBC HEIGHT DIAGRAMS	A2.7 FLOOR PLANS	
A0.3 SITE PHOTOS	A2.8 UNIT PLANS	<b>LANDSCAPE</b>
A0.4A SHADOW STUDIES	A3.0 BUILDING SECTIONS	L1.01 LANDSCAPE PLANS
A0.4B SHADOW STUDIES	A3.1 BUILDING ELEVATIONS	L1.02 LANDSCAPE PLANS
A0.4C SHADOW STUDIES	A3.2 BUILDING ELEVATIONS	L1.03 LANDSCAPE PLANS
A0.6 VICINITY MAP	A3.3 STREET STRIP ELEVATIONS	L3.01 PLANTING IMAGES, NOTES & CALCS.
A0.7A AFFORDABLE HOUSING PLAN	A3.4 PHOTO MATCH VIEWS	L4.01 PLANTING PLANS
A0.7B AFFORDABLE HOUSING PLAN	A3.5 PHOTO MATCH VIEWS	L4.02 PLANTING PLANS
A1.0 SURVEY	A3.6 CONCEPTUAL RENDERING	L4.03 PLANTING PLANS
A2.0A EXISTING SITE PLAN	A3.7 CONCEPTUAL RENDERING	L5.01 IRRIGATION PLANS
A2.0B PROPOSED SITE PLAN	A3.8 CONCEPTUAL RENDERING	L5.02 IRRIGATION PLANS
A2.1 FLOOR PLANS	A3.9 CONCEPTUAL RENDERING	L5.03 IRRIGATION PLANS
A2.2 FLOOR PLANS	A3.10 CONCEPTUAL RENDERING	

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JOB: 2307

SHEET:

GENERAL INFORMATION

# A0.0

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# 2700 SHATTUCK

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- 10.18.2023 SB-330 SUBMITTAL PLANS
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JOB: 2307

SHEET:

ZONING  
 INFORMATION

# A0.1A

## SB330 20% CONSISTENCY COMPLIANCE

### SB330 20% CONSISTENCY CALCULATIONS

#### UNIT COUNT CALCULATIONS

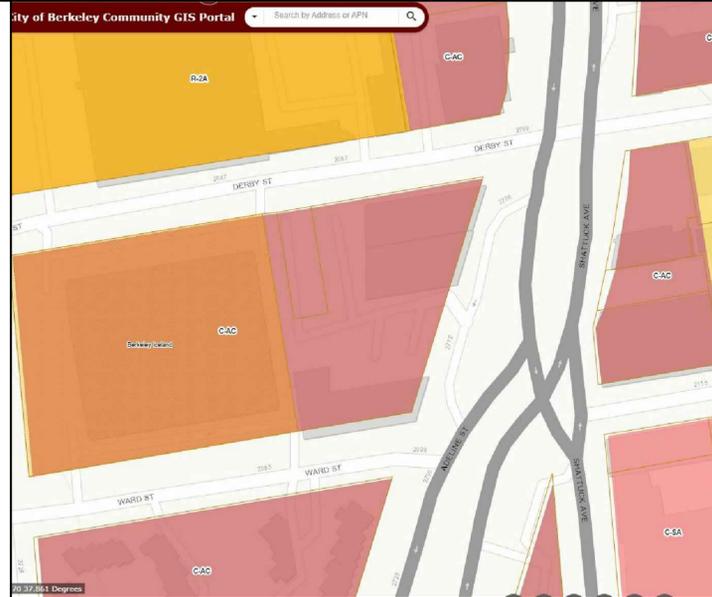
	BONUS UNITS IN SB330	BONUS UNITS IN PROPOSED	TOTAL UNITS	% CHANGE FROM SB330	
SB330 UNITS			293		NA
TOTAL PROPOSED PROJECT UNITS			359		NA
UNIT COUNT CHANGE INCLUDING DENSITY BONUS CHANGES			66		NA
MINUS UNIT COUNT CHANGE AS A RESULT OF A CHANGE IN THE BONUS*	98	112	-14		NA
UNIT COUNT CHANGE EXCLUSIVE OF THE RESULT OF A DENSITY BONUS*			52		18%

\*The housing development project is revised following submittal of a preliminary application pursuant to Section 65941.1 such that the number of residential units or square footage of construction changes by 20 percent or more, **exclusive of any increase resulting from the receipt of a density bonus**, incentive, concession, waiver, or similar provision. For purposes of this subdivision, "square footage of construction" means the building area, as defined by the California Building Standards Code (Title 24 of the California Code of Regulations).

#### CONSTRUCTION AREA CALCULATIONS

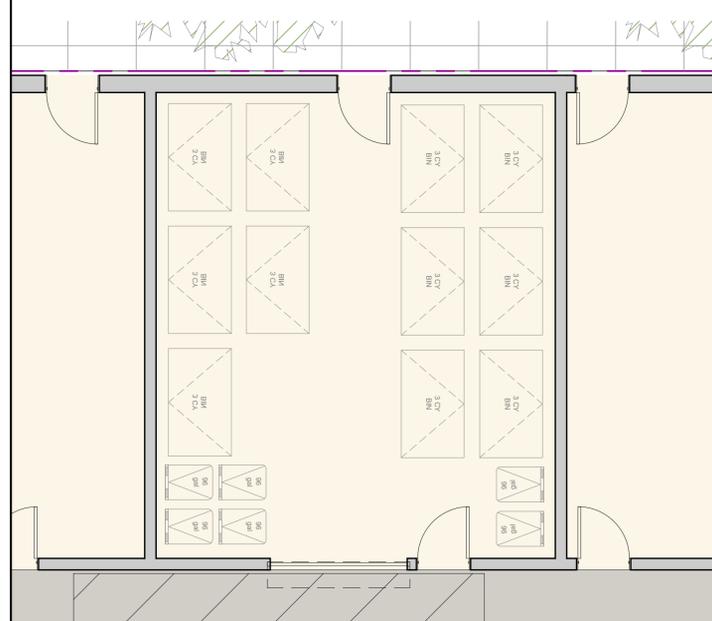
	RESIDENTIAL AREA	COMMERCIAL AREA	GARAGE AREA	TOTAL CONSTRUCTION AREA	% CHANGE FROM SB330	
SB-330 (10.18.2023)	271,049	3,935	26,574	301,558		NA
PROPOSED PROJECT	276,824	5,136	36,470	318,430		NA
CONSTRUCTION AREA CHANGE FROM SB330				16,872		6%

## ZONING MAP



## REFUSE

Waste and Recycling Calculation									
# of Bedrooms	Factor	Occupants	Total cuft required (.25cy or 50 gallons / 3 occ)	Waste (40%)	Recycling - Container (10%)	Recycling - Paper (30%)	Organics (20%)	Additional Increase for Operation	
410	1.00	410	34.17 cy 6,833 gal	13.67 cuft 2,733 gal	683 gal	2,050 gal	1,367 gal		
Space Calculation									
		Container Quantities			Space Required		Additional Increase for Operation		
	Waste	Recycling - Container	Recycling - Paper	Organics	Factor/container	Space/ Container	20% Excess	35% Excess	Provided
3 cy bin (606 gal)	5	1	3	2	28 sf	308 sf			
96 gallon cart		1	3	2	7 sf	42 sf			
64 gallon cart					6 sf	sf			
Total capacity	3030 gal	702 gal	2106 gal	1404 gal		350 sf	420 sf	473 sf	631 sf



## C-AC ZONING COMPLIANCE TABLE

### DENSITY BONUS CALCULATIONS

ZONING: C-AC SOUTH SHATTUCK SUBAREA, TIER 2

SITE AREA (SF)	51,066	
SITE AREA (ACRES)	1.1723	
ALLOWABLE DENSITY (DU/AC)	210	
BASE PROJECT UNITS	246.186	
BASE PROJECT UNITS (ROUNDS UP)	247	
% TOTAL BMR UNITS (VLI)	15%	3 CONCESSIONS
# TOTAL BMR UNITS (VLI)	37.05	
# TOTAL BMR UNITS (VLI)(ROUNDS UP)	38	
% BONUS EARNED	50%	
BONUS UNITS EARNED	123.50	
BONUS UNITS EARNED (ROUNDS UP)	124	
ALLOWABLE DENSITY BONUS PROJECT	371	
PROPOSED DENSITY BONUS PROJECT	359	

SEE DENSITY BONUS STATEMENT FOR SUMMARY OF CONCESSIONS AND WAIVERS

	BASE ZONING * ALLOWABLE/REQUIRED	PROPOSED W/ DENSITY BONUS	COMPLIANCE
NUMBER OF DWELLING UNITS	SEE TABLE	359	COMPLIES
COMMERCIAL AREA	N/A	5,136	COMPLIES
PARKING	SEE TABLE	141	COMPLIES
BIKE PARKING	SEE TABLE	158	COMPLIES
FRONT YARD SETBACK (WARD)	0'	0'	COMPLIES
STREET SIDE YARD SETBACK (SHATTUCK)	0'	0'	COMPLIES
SIDE YARD SETBACK	0'	0' to 5'	COMPLIES
REAR YARD SETBACK (DERBY)	0', 10' ABOVE 45'	0'	COMPLIES W/WAIVER
BUILDING HEIGHT (PER ZONING)	65'	90'-4"	COMPLIES W/WAIVER
BUILDING HEIGHT (PER CBC)	N/A	85'-0"	COMPLIES
BUILDING STORIES	6	8	COMPLIES W/WAIVER
LOT AREA (ACRES)	1.1723	1.1723	COMPLIES
LOT AREA	51,066	51,066	COMPLIES
PROJECT FAR	4.0	5.5	COMPLIES W/WAIVER
GFA BASED ON FAR	204,264	281,960	COMPLIES W/WAIVER
LOT COVERAGE	90%	99%	COMPLIES W/WAIVER
USABLE OPEN SPACE (SEE TABLE)	14,360	13,049	COMPLIES W/WAIVER
PERMITTED GROUND FLOOR USES (TABLE 23.204-42)	N/A FOR THIS SITE	N/A FOR THIS SITE	COMPLIES
MIN. GROUND LEVEL FLOOR TO FLOOR HEIGHT	12'	VARIES, 13'-6" TO 17'	COMPLIES
GROUND LEVEL CEILING HEIGHT FOR USES PER TABLE 23.204-42	N/A FOR THIS SITE	N/A FOR THIS SITE	COMPLIES

### UNIT COUNTS

UNIT TYPE	STUDIOS	1-BR	2-BR	TOTAL
LEVEL 8	16	27	5	48
LEVEL 7	18	26	6	50
LEVEL 6	18	27	8	53
LEVEL 5	18	26	8	52
LEVEL 4	18	27	8	53
LEVEL 3	18	26	8	52
LEVEL 2	18	25	8	51
GROUND LEVEL				
<b>TOTAL</b>	<b>124</b>	<b>184</b>	<b>51</b>	<b>359</b>
PERCENT OF TOTAL	35%	51%	14%	100%
TOTAL BEDROOM COUNT	124	184	102	410
BMR UNITS				
#VLI UNITS	14	19	5	38
PERCENT OF TOTAL VLI UNITS	37%	50%	13%	100%

### PROPOSED FLOOR AREA WITH DENSITY BONUS

	COMMERCIAL	RESIDENTIAL	TOTAL	REF. GARAGE AREA (EXCLUDED FROM GFA)
LEVEL 8		35,240	35,240	
LEVEL 7		39,064	39,064	
LEVEL 6		39,064	39,064	
LEVEL 5		39,064	39,064	
LEVEL 4		39,064	39,064	
LEVEL 3		39,064	39,064	
LEVEL 2		38,200	38,200	
GROUND LEVEL (EXCLUDES PARKING)	5,136	8,064	13,200	36,470
TOTAL FLOOR AREA W/ DENSITY BONUS	5,136	276,824	281,960	36,470
FAR (FLOOR AREA RATIO)			5.5	

### OPEN SPACE TABLE

	UNITS	RATIO	TOTAL	40% LANDSCAPING
TOTAL UNITS	359	40	14,360	
<b>TOTAL REQUIRED</b>			<b>14,360</b>	
<b>TOTAL AREA PROVIDED</b>			<b>13,049</b>	<b>5,220</b>
ROOFDECK OPEN SPACE			1,652	
PODIUM LEVEL COURTYARD			8,700	
PODIUM LEVEL PRIVATE PATIOS			2,697	

### BICYCLE PARKING CALCULATIONS

	BEDROOMS/SF	SPACES	PER	TOTAL REQ	PROVIDED
NEW COMMERCIAL (SHORT TERM)	5,136	1	2000	3	4
RESIDENTIAL (SHORT TERM)	410	0.025	1	10	10
RESIDENTIAL (LONG TERM)	410	1	3	137	144
<b>TOTAL PARKING</b>				<b>150</b>	<b>158</b>

### PARKING TABLE

	UNITS/SF	SPACES	PER	TOTAL
RESIDENTIAL (MIN.)	359	-	-	0
COMMERCIAL (1ST 1,000 SF EXEMPT)	4,136	-	-	0
RESIDENTIAL (MAX)	359	0.5	1	180
TOTAL REQUIRED / MAX ALLOWED				0 REQ. / 180 ALLOWED
<b>TOTAL PROVIDED</b>	<b>45</b>	<b>92</b>	<b>4</b>	<b>141</b>

### ROOFTOP ARCHITECTURAL ELEMENTS CALCS

AVERAGE AREA OF FLOORS	39,804
TOTAL AREA OF ROOFTOP ELEMENTS	605
% AREA OF ROOFTOP ARCH. FEATURES	1.5%
ALLOWABLE % (PER 23E.04.020C)	15.0%

**OPEN SPACE DIAGRAM**

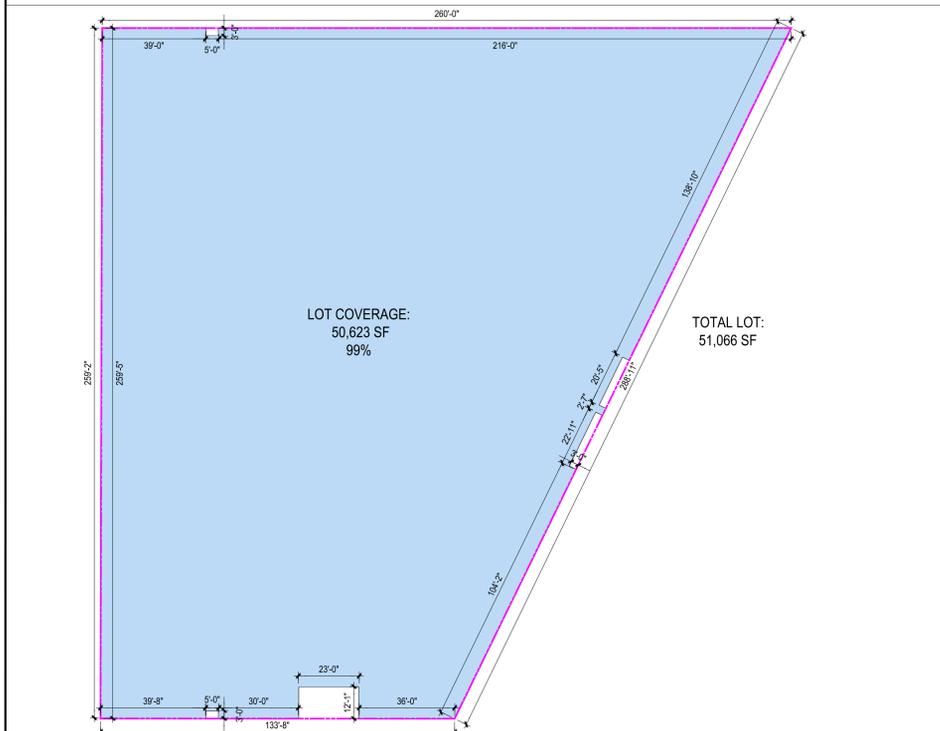


**LEVEL 8**



**PODIUM LEVEL**

**LOT COVERAGE DIAGRAM**



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JOB: 2307

SHEET:

ZONING  
 DIAGRAMS

**A0.1B**

**FACADE BLANK WALLS DIAGRAM**



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

NO BLANK WALL EXCEEDS 30' MAX LENGTH ALLOWABLE = COMPLIES

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**FACADE TRANSPARENCY DIAGRAM** N.T.S.



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

TOTAL LENGTH OF FACADES ALONG SIDEWALKS: 681'-3"  
 TOTAL LENGTH OF FACADES FULLY TRANSPARENT BETWEEN 3' - 10' ABOVE GRADE: 278'-11"  
 PERCENTAGE OF FACADE TRANSPARENCY: 41% (>30% MINIMUM REQUIRED, COMPLIES)

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FACADE  
 DIAGRAMS

**A0.1C**

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SHEET:

CALIFORNIA  
 BUILDING CODE  
 HEIGHT  
 DIAGRAMS

# A0.1D

CBC GRADEPLAN CALCULATIONS				
SEGMENT	EL. 1	EL. 2	LENGTH	AVG EL. x L
A	149.5	143.5	259.75	38053.375
B	143.5	145.77	179.5	25961.983
C	145.77	141	79.17	11351.79
D	141	145	133.17	19043.31
E	145	149.5	288	42408
TOTAL PERIMETER			939.59	136818.46
GRADE PLANE ELEVATION				145.62

### 4 CALIFORNIA BUILDING CODE - GRADE PLAN CALCULATIONS

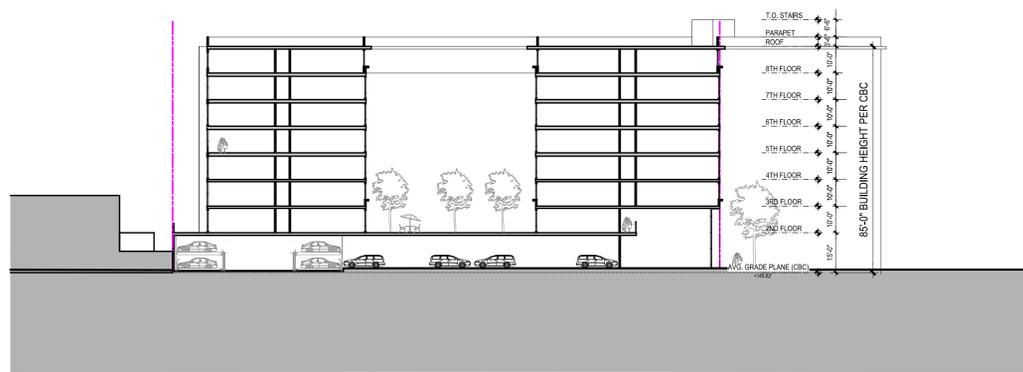
1/64" = 1'-0" @ 11x17 1/32" = 1'-0" @ 24x36

[H] HEIGHT, BUILDING. The vertical distance from grade plane to the average height of the highest roof surface.

[BG] GRADE PLANE. A reference plane representing the average of finished ground level adjoining the building at exterior walls. Where the finished ground level slopes away from the exterior walls, the reference plane shall be established by the lowest points within the area between the building and the lot line or, where the lot line is more than 6 feet (1829 mm) from the building, between the building and a point 6 feet (1829 mm) from the building.

### 3 CALIFORNIA BUILDING CODE - HEIGHT DEFINITIONS

1/64" = 1'-0" @ 11x17 1/32" = 1'-0" @ 24x36



### 2 CALIFORNIA BUILDING CODE - HEIGHT DIAGRAM

1/64" = 1'-0" @ 11x17 1/32" = 1'-0" @ 24x36



### 1 CALIFORNIA BUILDING CODE - GRADE PLAN DIAGRAM

1/64" = 1'-0" @ 11x17 1/32" = 1'-0" @ 24x36

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JOB: 2307

SHEET:

SITE  
 PHOTOS

**A0.3**

2701 SHATTUCK BAYROCK (MULTI-FAMILY)  
 2700 SHATTUCK PROJECT SITE  
 2700 SHATTUCK PROJECT SITE  
 2640 SHATTUCK AQUATIC (MULTI-FAMILY)



4 VIEW FROM SHATTUCK LOOKING SOUTH

2773 SHATTUCK HONDA (COMMERCIAL)  
 2700 SHATTUCK PROJECT SITE  
 2640 SHATTUCK AQUATIC (MULTI-FAMILY)  
 2721 SHATTUCK SECURESPEACE SELF STORAGE (COMMERCIAL)  
 2777 SHATTUCK HONDA (COMMERCIAL)



2 VIEW FROM SHATTUCK LOOKING NORTH

2100 WARD KIRALA (COMMERCIAL)  
 2700 SHATTUCK PROJECT SITE  
 ICELAND SPORTS BASEMENT (COMMERCIAL)  
 2721 SHATTUCK SECURESPEACE SELF STORAGE (COMMERCIAL)



3 VIEW FROM WARD LOOKING WEST

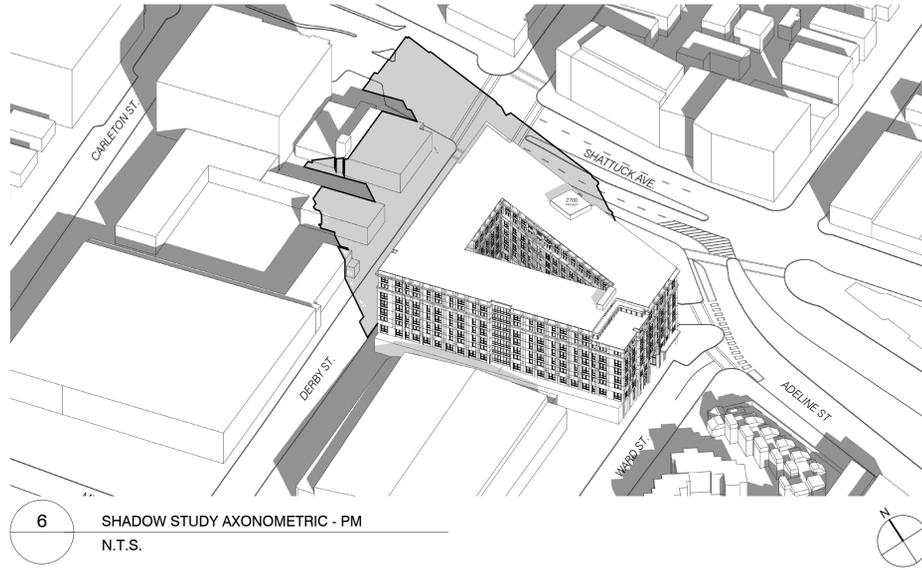
PROJECT SITE  
 2700 SHATTUCK AVE



1 GOOGLE EARTH BIRD'S EYE CONTEXT VIEW

**WINTER SOLSTICE**  
 DEC 21ST:  
 2-HRS BEFORE SUNSET (PM)

- DARK TONE GREY INDICATES SHADOWS FROM EXISTING BUILDINGS
  - LIGHTER TONE GREY INDICATES SHADOWS FROM PROPOSED BUILDING
  - NEW SHADOW AT RESIDENTIAL BUILDING
- ALL RESIDENTIAL BUILDINGS BEING SHADOWED SHOWN IN THESE DIAGRAMS



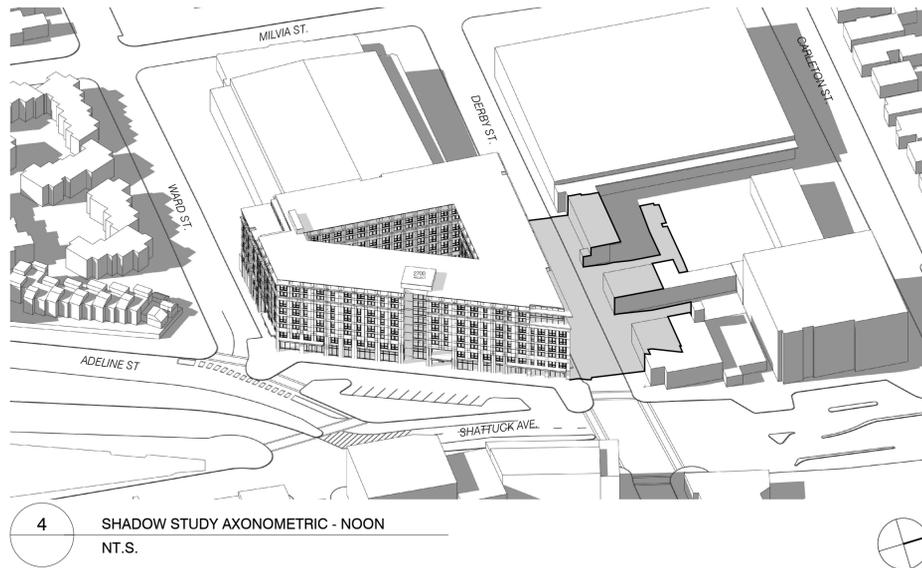
6 SHADOW STUDY AXONOMETRIC - PM  
 N.T.S.



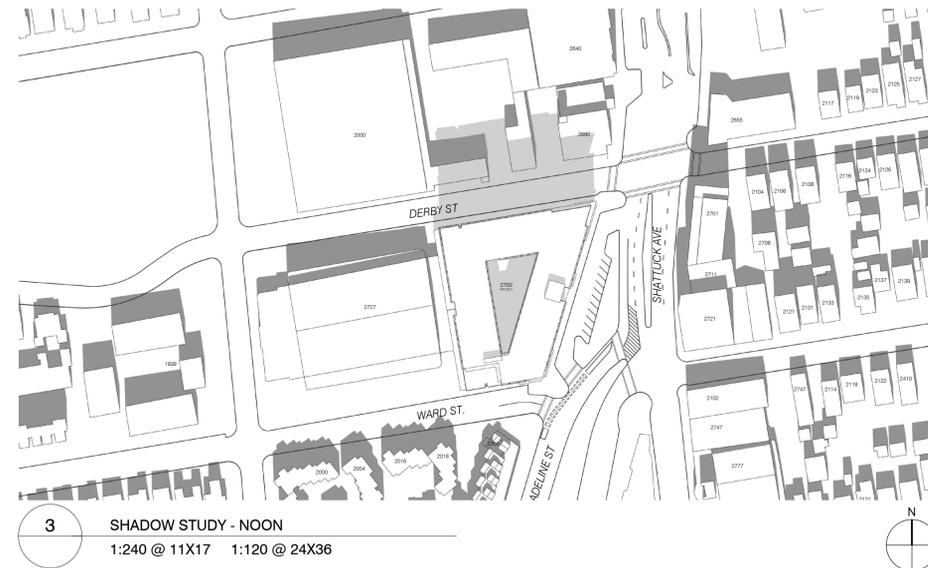
5 SHADOW STUDY - PM  
 1:240 @ 11X17 1:120 @ 24X36

**WINTER SOLSTICE**  
 DEC 21ST:  
 NOON

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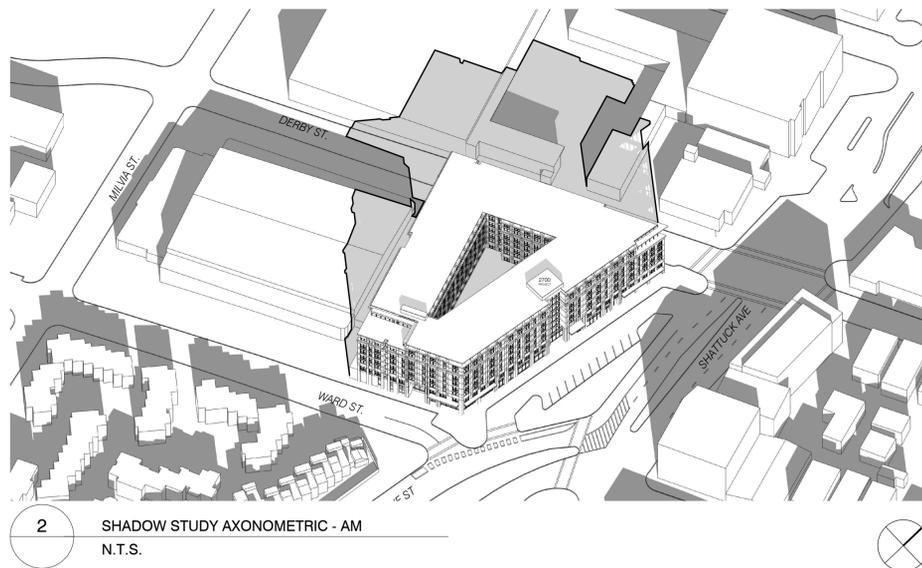
4 SHADOW STUDY AXONOMETRIC - NOON  
 N.T.S.



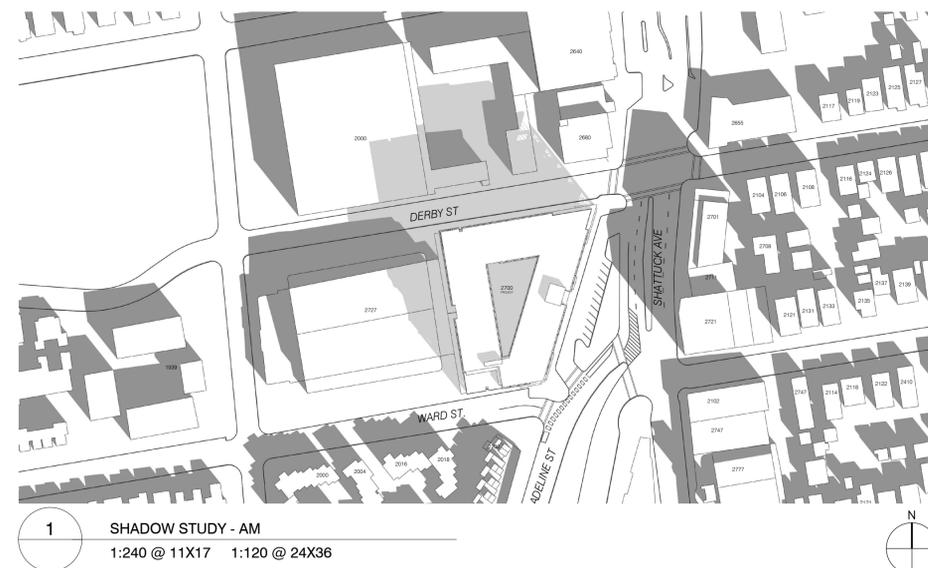
3 SHADOW STUDY - NOON  
 1:240 @ 11X17 1:120 @ 24X36

**WINTER SOLSTICE**  
 DEC 21ST:  
 2-HRS AFTER SUNRISE (AM)

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2 SHADOW STUDY AXONOMETRIC - AM  
 N.T.S.



1 SHADOW STUDY - AM  
 1:240 @ 11X17 1:120 @ 24X36

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JOB: 2307

SHEET:

SHADOW STUDIES  
 DECEMBER 21ST

**A0.4A**

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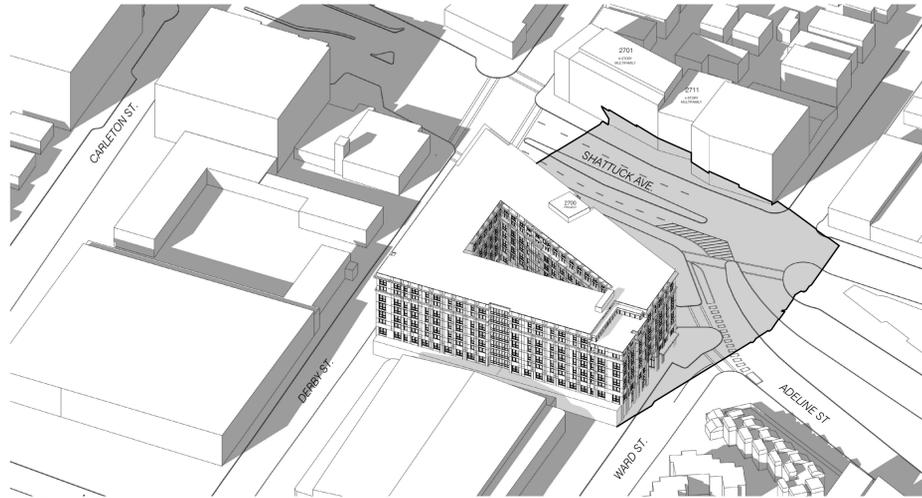
SHEET:

SHADOW STUDIES  
 JUNE 21ST

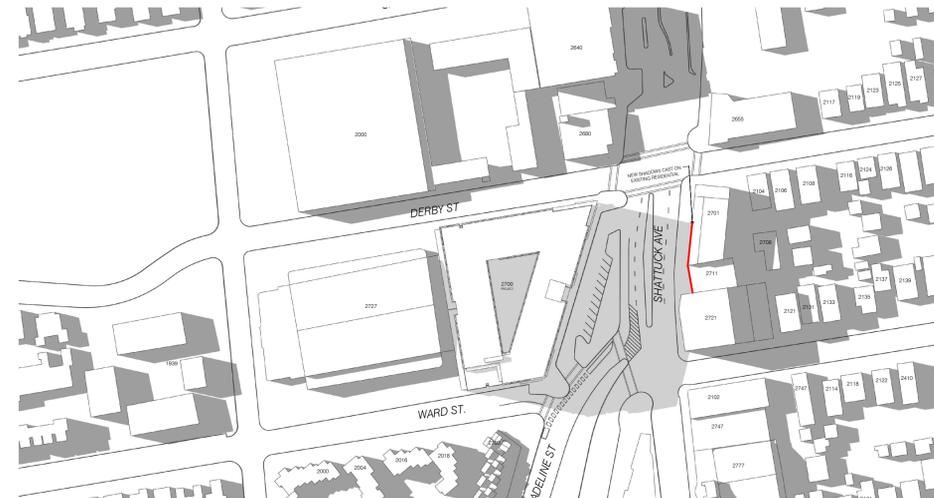
A0.4B

**SUMMER SOLSTICE**  
 JUN 21ST:  
 2-HRS BEFORE SUNSET (PM)

- DARK TONE GREY INDICATES SHADOWS FROM EXISTING BUILDINGS
  - LIGHTER TONE GREY INDICATES SHADOWS FROM PROPOSED BUILDING
  - NEW SHADOW AT RESIDENTIAL BUILDING
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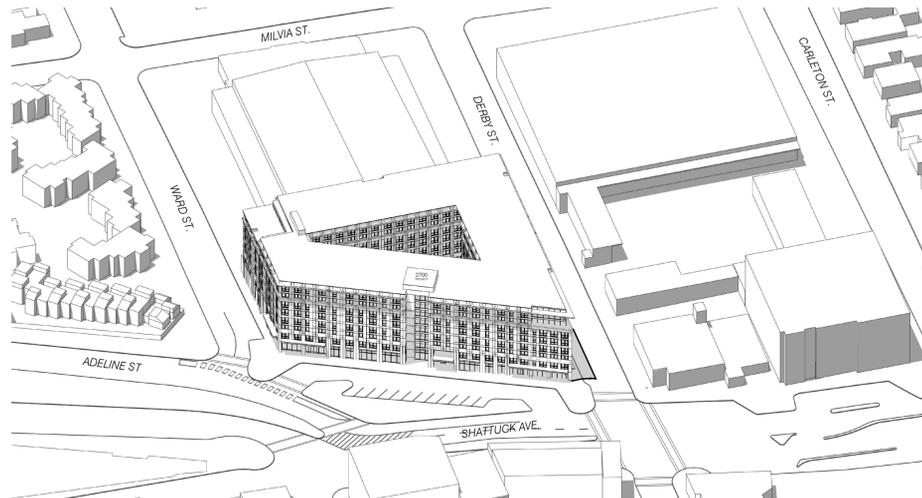
6 SHADOW STUDY AXONOMETRIC - PM  
 N.T.S.



5 SHADOW STUDY - PM  
 1:240 @ 11X17 1:120 @ 24X36

**SUMMER SOLSTICE**  
 JUN 21ST:  
 NOON

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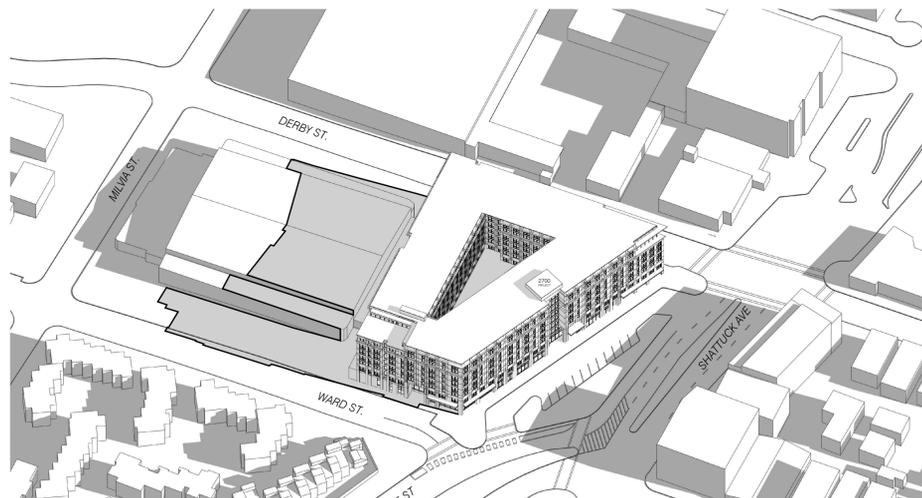
4 SHADOW STUDY AXONOMETRIC - NOON  
 N.T.S.



3 SHADOW STUDY - NOON  
 1:240 @ 11X17 1:120 @ 24X36

**SUMMER SOLSTICE**  
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 2-HRS AFTER SUNRISE (AM)

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2 SHADOW STUDY AXONOMETRIC - AM  
 N.T.S.



1 SHADOW STUDY - AM  
 1:240 @ 11X17 1:120 @ 24X36

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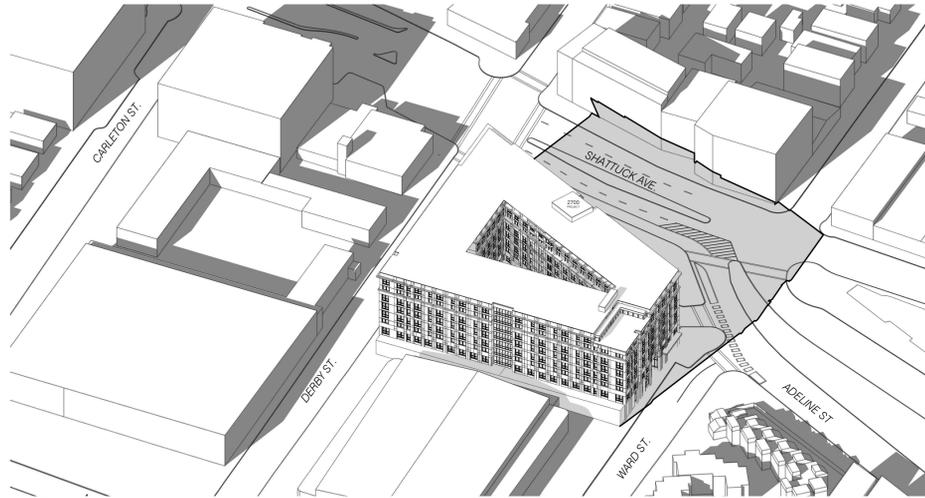
SHEET:

SHADOW STUDIES  
 MAY 12TH

A0.4C

ON DATE OF SUBMITTAL  
 MAY 12TH  
 2-HRS BEFORE SUNSET (PM)

- DARK TONE GREY INDICATES SHADOWS FROM EXISTING BUILDINGS
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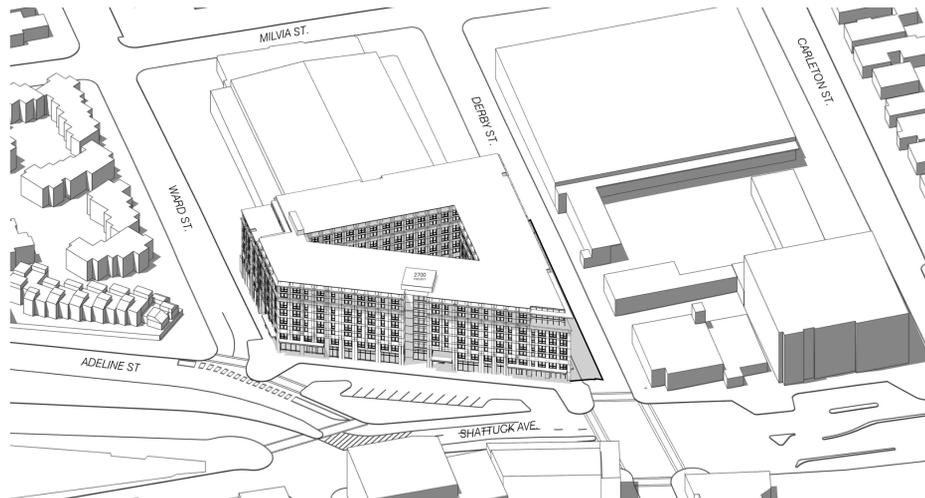
6 SHADOW STUDY AXONOMETRIC - PM  
 N.T.S.



5 SHADOW STUDY - PM  
 1:240 @ 11X17 1:120 @ 24X36

ON DATE OF SUBMITTAL  
 MAY 12TH  
 NOON

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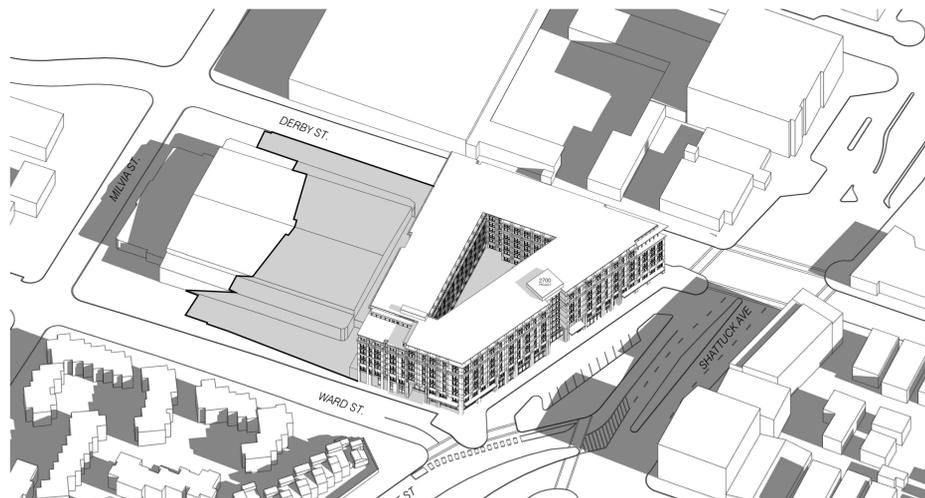
4 SHADOW STUDY AXONOMETRIC - NOON  
 N.T.S.



3 SHADOW STUDY - NOON  
 1:240 @ 11X17 1:120 @ 24X36

ON DATE OF SUBMITTAL  
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2 SHADOW STUDY AXONOMETRIC - AM  
 N.T.S.



1 SHADOW STUDY - AM  
 1:240 @ 11X17 1:120 @ 24X36

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- 09.18.2024 ZONING RESUBMISSION
- 04.02.2025 ZONING RESUBMISSION
- 05.02.2025 DRC HEARING SET
- 07.24.2025 ZAB HEARING SET

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JOB: 2341

SHEET:  
**VICINITY MAP**



**1**  
 VICINITY MAP  
 NTS



**A0.6**

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JOB: 2307

SHEET:

AFFORDABLE  
 HOUSING PLAN

**A0.7A**



LEVELS 3 & 5

UNIT TYPE	QTY	AREA (SF)	TOTAL (SF)
STUDIO	18	392	7,056
1BR	20	616	12,320
1BR	3	516	1,548
2BR	2	910	1,820
<b>UNIQUE UNITS:</b>			
1BR	1	578	578
1BR	1	580	580
1BR	0	584	-
1BR	1	666	666
2BR	1	864	864
2BR	2	924	1,848
2BR	1	1,000	1,000
2BR	1	1,128	1,128
2BR	1	1,251	1,251
<b>TOTAL:</b>			<b>30,659</b>



LEVEL 2

UNIT TYPE	QTY	AREA (SF)	TOTAL (SF)
STUDIO	18	392	7,056
1 BR	18	616	11,088
1BR	3	516	1,548
2BR	2	910	1,820
<b>UNIQUE UNITS:</b>			
1BR	1	578	578
1BR	1	580	580
1BR	1	584	584
1BR	1	666	666
2BR	1	864	864
2BR	2	924	1,848
2BR	1	1,000	1,000
2BR	1	1,128	1,128
2BR	1	1,251	1,251
<b>TOTAL:</b>			<b>30,011</b>



FIRST FLOOR

KEY

- RESIDENTIAL UNIT FLOOR AREA
- MEP / MISC.
- DWELLING UNITS
- USABLE OPEN SPACE
- COMMERCIAL
- PARKING
- RESIDENTIAL AMENITY

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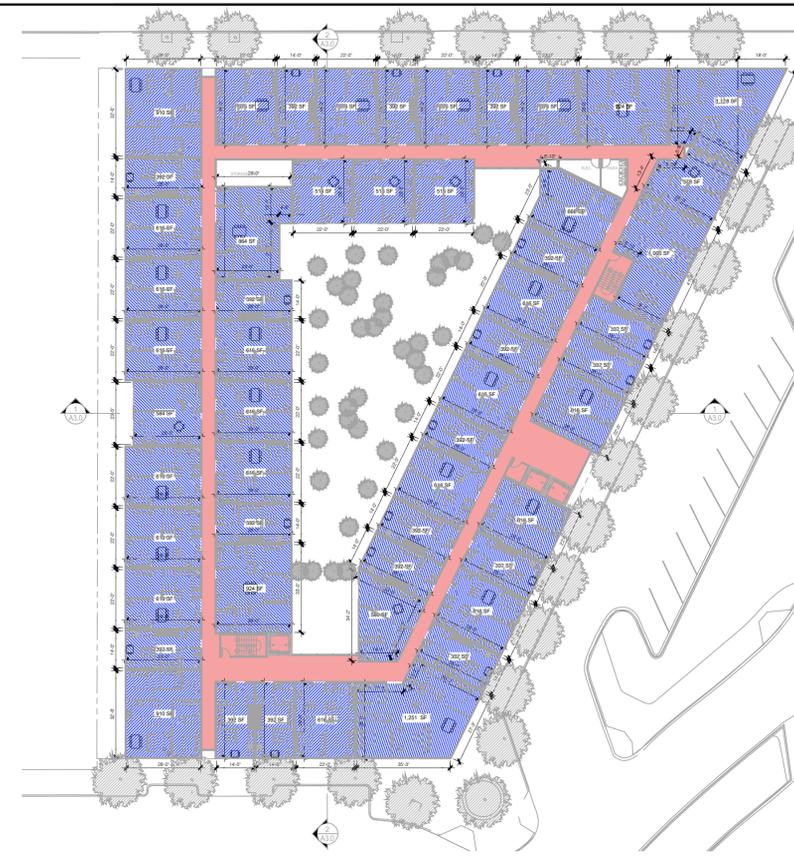
LEVEL 8

UNIT TYPE	QTY	AREA (SF)	TOTAL (SF)
STUDIO	16	392	6,272
1BR	20	616	12,320
1BR	3	516	1,548
2BR	1	910	910
<b>UNIQUE UNITS:</b>			
1BR	1	578	578
1BR	1	580	580
1BR	1	584	584
1BR	1	666	666
2BR	1	864	864
2BR	1	924	924
2BR	1	1,000	1,000
2BR	0	1,128	-
2BR	1	1,251	1,251
<b>TOTAL:</b>			<b>27,497</b>



LEVEL 7

UNIT TYPE	QTY	AREA (SF)	TOTAL (SF)
STUDIO	18	392	7,056
1BR	20	616	12,320
1BR	3	516	1,548
2BR	2	910	1,820
<b>UNIQUE UNITS:</b>			
1BR	1	578	578
1BR	1	580	580
1BR	0	584	-
1BR	1	666	666
2BR	1	864	864
2BR	1	924	924
2BR	1	1,000	1,000
2BR	0	1,128	-
2BR	1	1,251	1,251
<b>TOTAL:</b>			<b>28,607</b>



LEVELS 4 & 6

UNIT TYPE	QTY	AREA (SF)	TOTAL (SF)
STUDIO	18	392	7,056
1BR	20	616	12,320
1BR	3	516	1,548
2BR	2	910	1,820
<b>UNIQUE UNITS:</b>			
1BR	1	578	578
1BR	1	580	580
1BR	1	584	584
1BR	1	666	666
2BR	1	864	864
2BR	2	924	1,848
2BR	1	1,000	1,000
2BR	1	1,128	1,128
2BR	1	1,251	1,251
<b>TOTAL:</b>			<b>31,243</b>

**KEY**

- RESIDENTIAL UNIT FLOOR AREA
- MEP / MISC.
- DWELLING UNITS
- USABLE OPEN SPACE
- COMMERCIAL
- PARKING
- RESIDENTIAL AMENITY

**ulation of the Final Proposed Residential Unit Floor Area:**

Floor	Proposed Project Res. Unit Area	Proposed Project Residential Units
LEVEL 8	30,011	48
LEVEL 7	30,659	50
LEVEL 6	31,243	53
LEVEL 5	30,659	52
LEVEL 4	31,243	53
LEVEL 3	28,607	52
LEVEL 2	27,497	51
LEVEL 1	-	-
<b>Final Proposed Residential Unit Floor Area</b>	<b>209,919</b>	<b>359</b>

**Calculation of Base Project Residential Floor Area:**

Final Proposed DB Residential Unit Floor Area	209,919	
1 + 50% Density Bonus percentage taken	1,5000	Ref. Bonus Area
	=	69,973
<b>Base Project Residential Unit Floor Area</b>	<b>139,946</b>	

**Calculation of the Affordable Housing Fee:**

A Total Base Project Residential Unit Floor Area	139,946
B Total Base Project Units	247
C Total VLI and LI Requirements (20% of Base)	49.40
D Total VLI and LI Units Proposed	38
Fee per Square Foot	\$62.83
	X
Total Base Project Residential Unit Floor Area	139,946
	X
In Lieu Fee Percentage Calculation (C-D)/C	23.0769231%
	=
<b>Total Fee Due</b>	<b>\$2,029,109.35</b>

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JOB: 2307

SHEET:

**AFFORDABLE  
 HOUSING PLAN**

**A0.7B**

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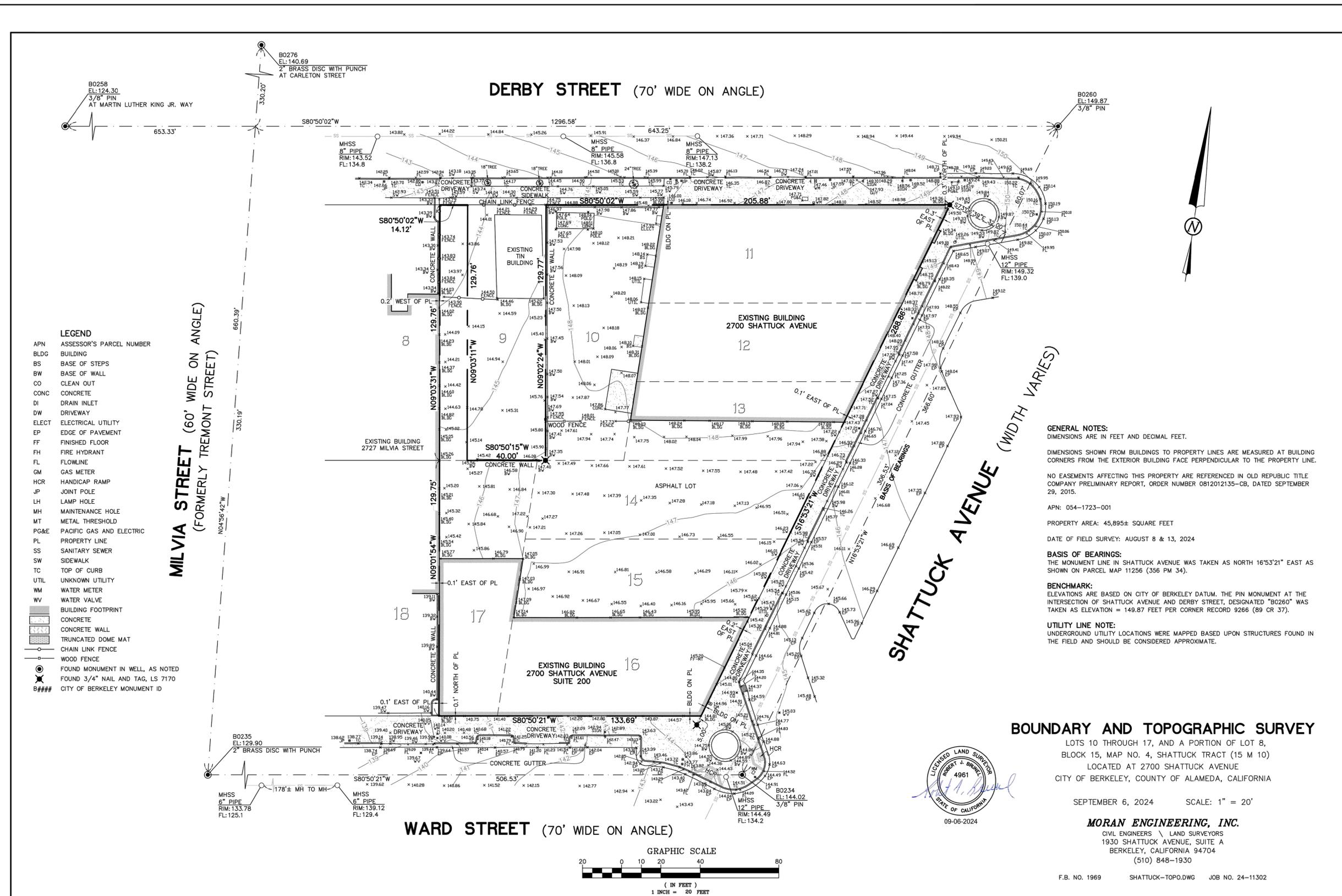
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JOB: 2307

SHEET:

SURVEY

**A1.0**



- LEGEND**
- APN ASSESSOR'S PARCEL NUMBER
  - BLDG BUILDING
  - BS BASE OF STEPS
  - BW BASE OF WALL
  - CO CLEAN OUT
  - CONC CONCRETE
  - DI DRAIN INLET
  - DW DRIVEWAY
  - ELECT ELECTRICAL UTILITY
  - EP EDGE OF PAVEMENT
  - FF FINISHED FLOOR
  - FH FIRE HYDRANT
  - FL FLOWLINE
  - GM GAS METER
  - HCR HANDICAP RAMP
  - JP JOINT POLE
  - LH LAMP HOLE
  - MH MAINTENANCE HOLE
  - MT METAL THRESHOLD
  - PG&E PACIFIC GAS AND ELECTRIC
  - PL PROPERTY LINE
  - SS SANITARY SEWER
  - SW SIDEWALK
  - TC TOP OF CURB
  - UTIL UNKNOWN UTILITY
  - WM WATER METER
  - WV WATER VALVE
  - Building Footprint
  - Concrete
  - Concrete Wall
  - Truncated Dome Mat
  - Chain Link Fence
  - Wood Fence
  - Found Monument in Well, as Noted
  - Found 3/4" Nail and Tag, LS 7170
  - City of Berkeley Monument ID

**GENERAL NOTES:**  
 DIMENSIONS ARE IN FEET AND DECIMAL FEET.  
 DIMENSIONS SHOWN FROM BUILDINGS TO PROPERTY LINES ARE MEASURED AT BUILDING CORNERS FROM THE EXTERIOR BUILDING FACE PERPENDICULAR TO THE PROPERTY LINE.  
 NO EASEMENTS AFFECTING THIS PROPERTY ARE REFERENCED IN OLD REPUBLIC TITLE COMPANY PRELIMINARY REPORT, ORDER NUMBER 0812012135-CB, DATED SEPTEMBER 29, 2015.  
 APN: 054-1723-001  
 PROPERTY AREA: 45,895± SQUARE FEET  
 DATE OF FIELD SURVEY: AUGUST 8 & 13, 2024  
**BASIS OF BEARINGS:**  
 THE MONUMENT LINE IN SHATTUCK AVENUE WAS TAKEN AS NORTH 16°53'21" EAST AS SHOWN ON PARCEL MAP 11256 (356 PM 34).  
**BENCHMARK:**  
 ELEVATIONS ARE BASED ON CITY OF BERKELEY DATUM. THE PIN MONUMENT AT THE INTERSECTION OF SHATTUCK AVENUE AND DERBY STREET, DESIGNATED "B0260" WAS TAKEN AS ELEVATION = 149.87 FEET PER CORNER RECORD 9266 (89 CR 37).  
**UTILITY LINE NOTE:**  
 UNDERGROUND UTILITY LOCATIONS WERE MAPPED BASED UPON STRUCTURES FOUND IN THE FIELD AND SHOULD BE CONSIDERED APPROXIMATE.

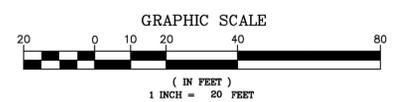
**BOUNDARY AND TOPOGRAPHIC SURVEY**

LOTS 10 THROUGH 17, AND A PORTION OF LOT 8,  
 BLOCK 15, MAP NO. 4, SHATTUCK TRACT (15 M 10)  
 LOCATED AT 2700 SHATTUCK AVENUE  
 CITY OF BERKELEY, COUNTY OF ALAMEDA, CALIFORNIA



SEPTEMBER 6, 2024 SCALE: 1" = 20'  
**MORAN ENGINEERING, INC.**  
 CIVIL ENGINEERS \ LAND SURVEYORS  
 1930 SHATTUCK AVENUE, SUITE A  
 BERKELEY, CALIFORNIA 94704  
 (510) 848-1930

F.B. NO. 1969 SHATTUCK-TOPO.DWG JOB NO. 24-11302



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SHEET:

EXISTING  
 SITE PLAN

**A2.0A**



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JOB: 2307

SHEET:

PROPOSED  
 SITE PLAN

**A2.0B**



1  
 PROPOSED SITE PLAN  
 1/64"=1'-0" @ 11x17    1/32"=1'-0" @ 24x36  
 0 8 16 32 64

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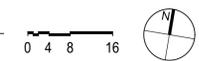
SHEET:

PLAN AT  
 GROUND LEVEL

**A2.1**



**1 PLAN AT GROUND LEVEL**  
 1/32" = 1' @ 11 X 17    1/16" = 1' @ 24 X 36



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JOB: 2307

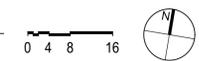
SHEET:

PLAN AT  
LEVEL 2

# A2.2



1 PLAN AT LEVEL 2  
1/32" = 1' @ 11 X 17 1/16" = 1' @ 24 X 36



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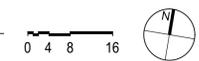
SHEET:

PLAN AT  
LEVELS 3 & 5

# A2.3



**1** PLAN AT LEVELS 3 & 5  
 1/32" = 1' @ 11 X 17    1/16" = 1' @ 24 X 36



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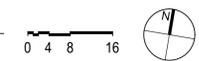
SHEET:

PLAN AT  
LEVELS 4 & 6

# A2.4



**1** PLAN AT LEVELS 4 & 6  
 1/32" = 1' @ 11 X 17    1/16" = 1' @ 24 X 36



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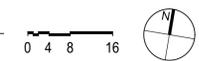
SHEET:

PLAN AT  
LEVEL 7

# A2.5



**1** PLAN AT LEVEL 7  
 1/32" = 1' @ 11 X 17    1/16" = 1' @ 24 X 36



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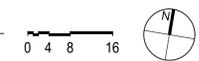
SHEET:

PLAN AT  
 LEVEL 8

**A2.6**



**1 PLAN AT LEVEL 8**  
 1/32" = 1' @ 11 X 17    1/16" = 1' @ 24 X 36



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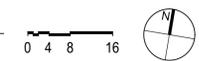
SHEET:

ROOF  
 PLAN

**A2.7**



**1 PLAN AT ROOF**  
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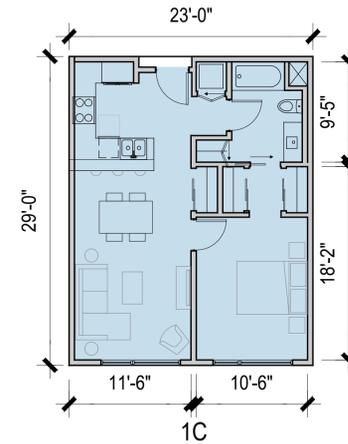
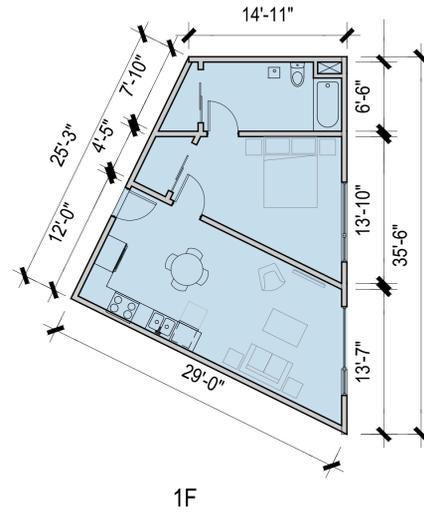
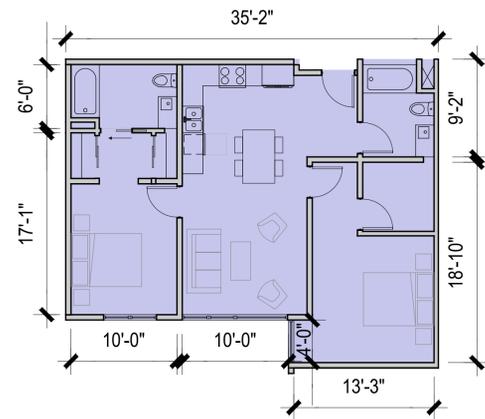
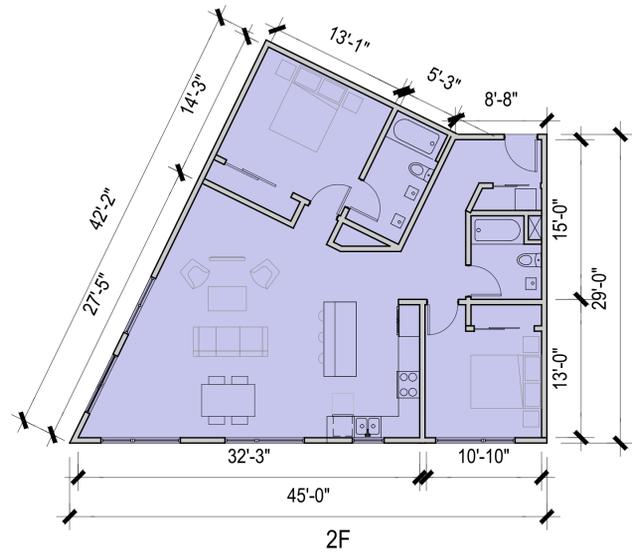
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SHEET:

TYPICAL UNIT  
 PLANS

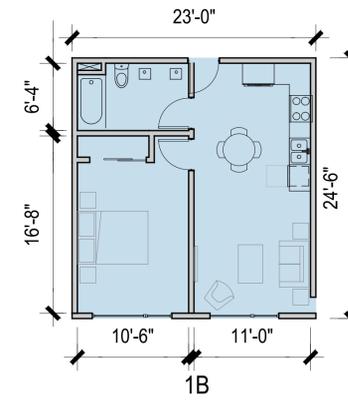
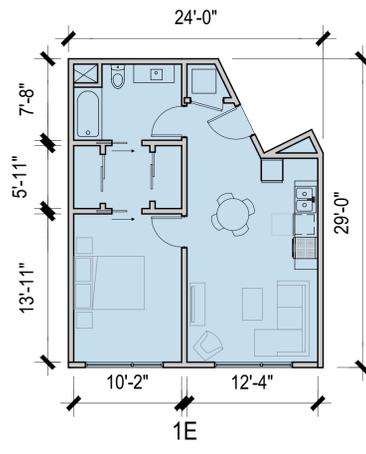
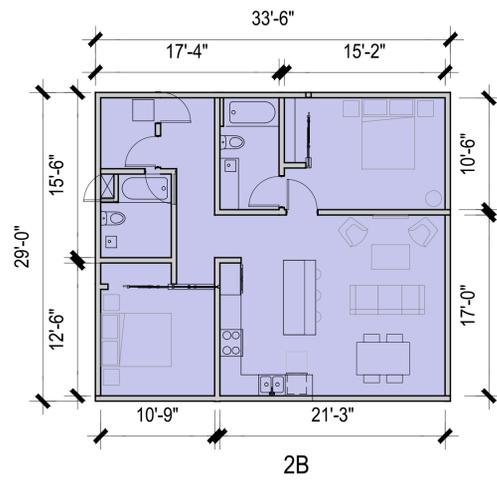
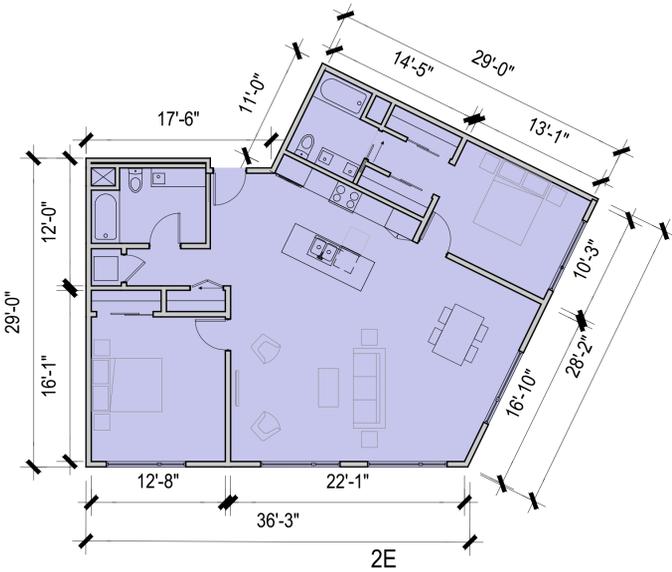
**A2.8**



2C

1F

1C

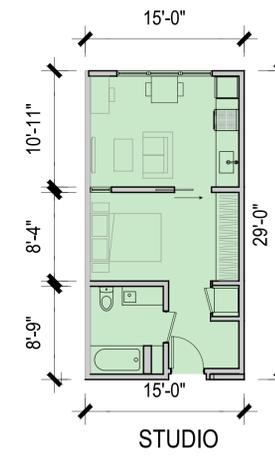
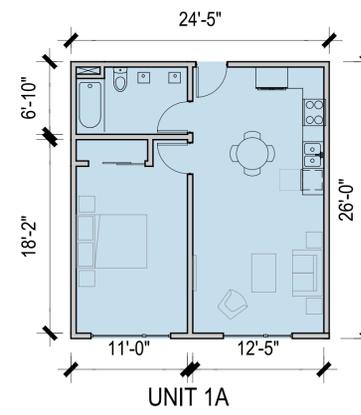
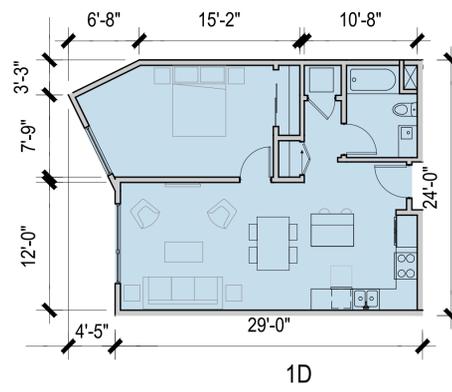
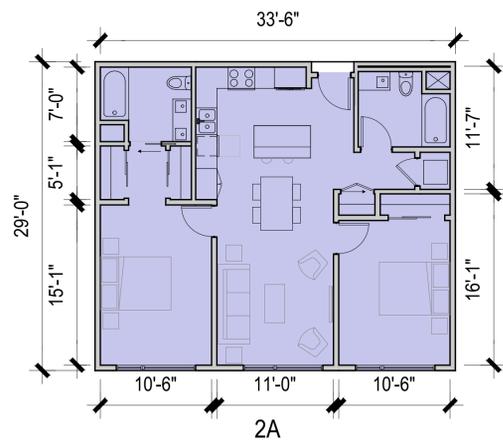
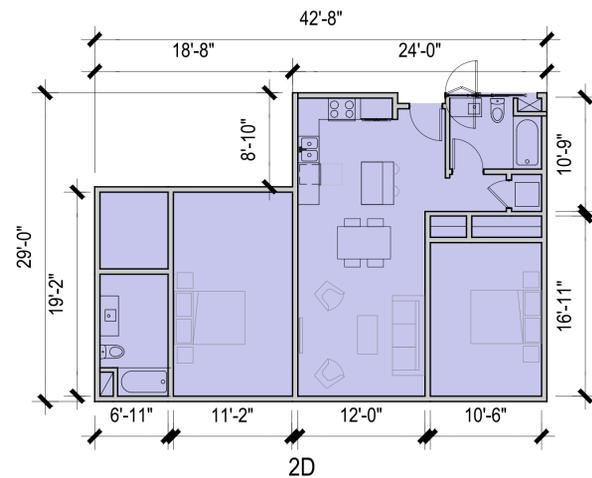


2E

2B

1E

1B



2D

2A

1D

UNIT 1A

STUDIO



**TYPICAL UNIT PLANS**

1/16" = 1' @ 11 X 17 1/8" = 1' @ 24 X 36

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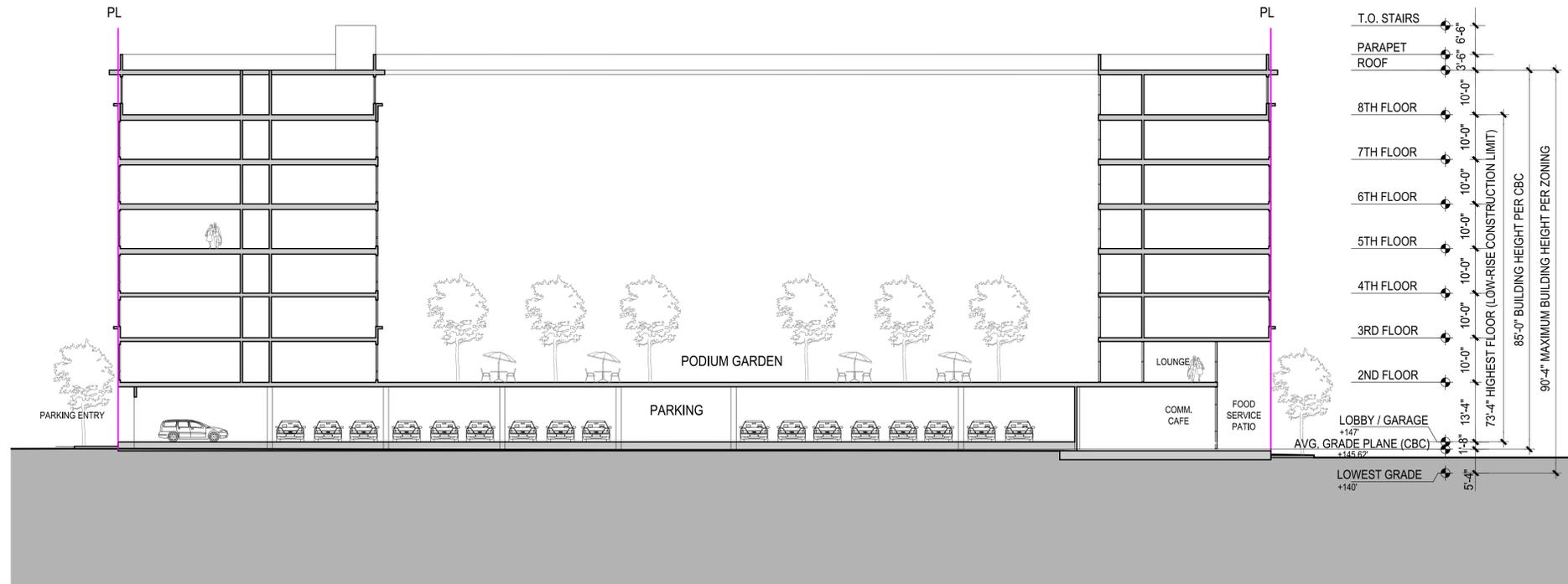
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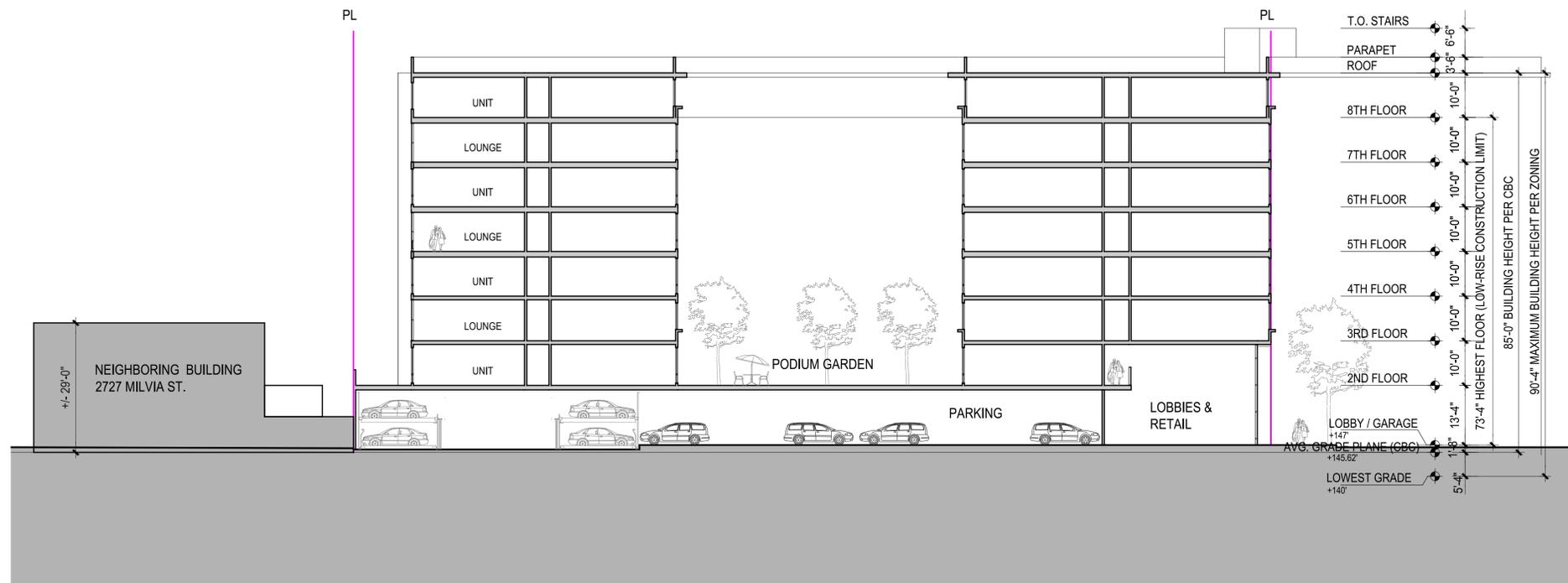
BUILDING  
 SECTIONS

**A3.0**



**2 NORTH-SOUTH BUILDING SECTION**  
 1/32" = 1' @ 11 X 17    1/16" = 1' @ 24 X 36

0 4 8 16



**1 EAST-WEST BUILDING SECTION**  
 1/32" = 1' @ 11 X 17    1/16" = 1' @ 24 X 36

0 4 8 16

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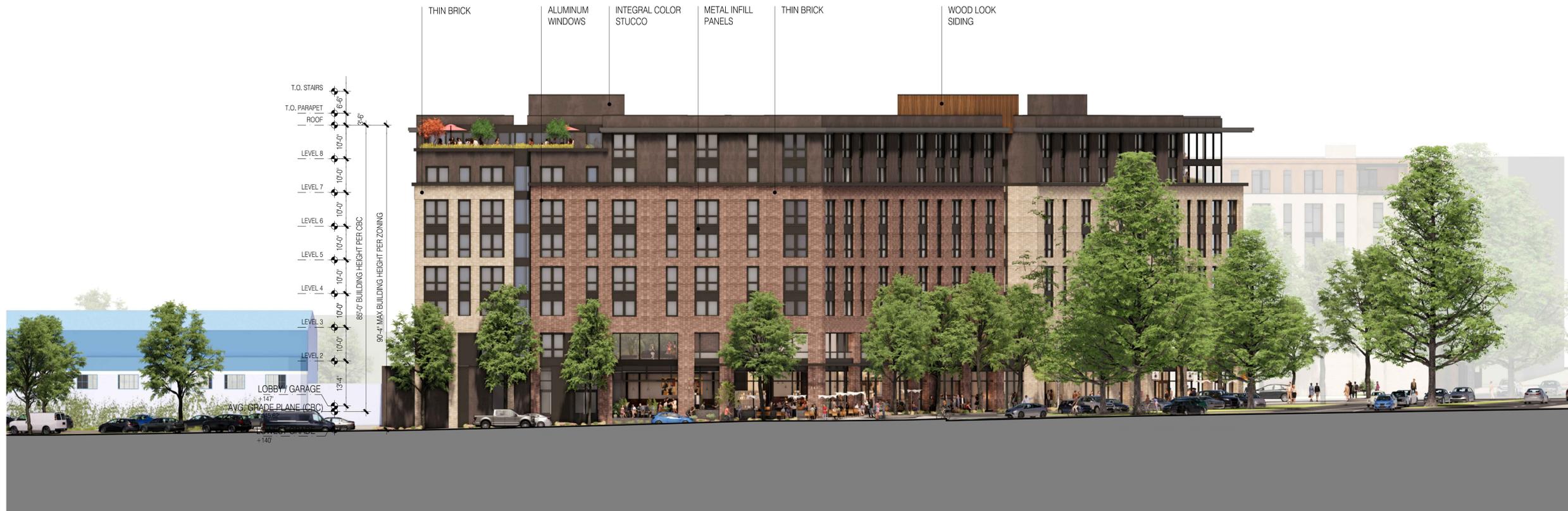
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SHEET:

BUILDING  
 ELEVATIONS

**A3.1**



**2 SOUTH ELEVATION - WARD ST.**  
 1/32"=1'-0" @ 11X17 1/16" = 1'-0" @ 24X36 0 4 8 16 32



**1 NORTH ELEVATION - DERBY ST.**  
 1/32"=1'-0" @ 11X17 1/16" = 1'-0" @ 24X36 0 4 8 16 32

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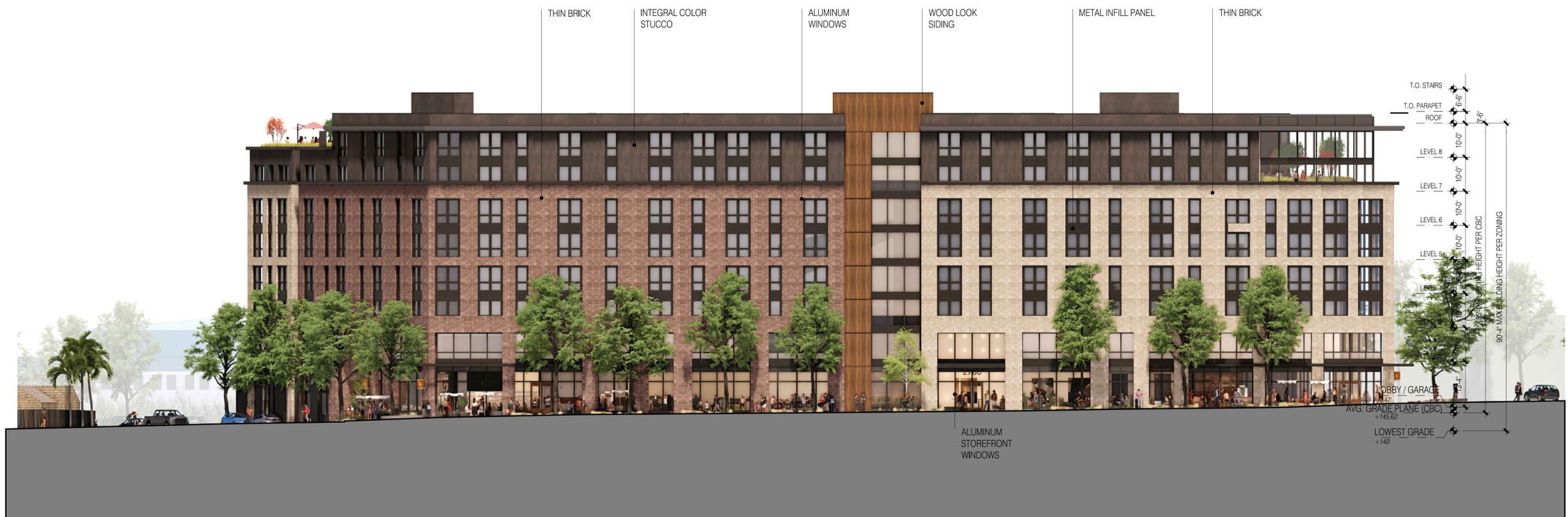
SHEET:

BUILDING  
 ELEVATIONS

**A3.2**



**2 WEST ELEVATION**  
 1/32" = 1'-0" @ 11X17 1/16" = 1'-0" @ 24X36



**1 EAST ELEVATION - SHATTUCK AVE**  
 1/32" = 1'-0" @ 11X17 1/16" = 1'-0" @ 24X36

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SHEET:

STREET STRIP  
ELEVATIONS

**A3.3**



2  
-

**DERBY STREET**

1/64" = 1'-0" @ 11X17    1/32" = 1'-0" @ 24X36



1  
-

**SHATTUCK AVE.**

1/64" = 1'-0" @ 11X17    1/32" = 1'-0" @ 24X36



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SHEET:

PHOTO MATCH  
VIEWS

**A3.4**



4 ADELINE LOOKING NORTH - AFTER



2 DERBY LOOKING WEST - AFTER



3 ADELINE LOOKING NORTH - BEFORE



1 DERBY LOOKING WEST- BEFORE



4 SHATTUCK LOOKING SOUTH - AFTER



2 WARD LOOKING EAST - AFTER



3 SHATTUCK LOOKING SOUTH - BEFORE



1 WARD LOOKING EAST- BEFORE

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SHEET:  
PHOTO MATCH  
VIEWS

**A3.5**

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SHEET:

CONCEPTUAL  
RENDERING

**A3.6**



1 PERSPECTIVE VIEW - SHATTUCK AND DERBY

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SHEET:

CONCEPTUAL  
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**A3.7**



1 PERSPECTIVE VIEW - ADELINE LOOKING NORTH WEST

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SHEET:

CONCEPTUAL  
RENDERING

**A3.8**



1 SIDEWALK VIEW - WARD LOOKING NORTHEAST

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SHEET:

CONCEPTUAL  
RENDERING

**A3.9**



1 SIDEWALK VIEW - DERBY LOOKING SOUTHEAST

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CONCEPTUAL  
RENDERING

**A3.10**



1

PERSPECTIVE VIEW - LOBBY ENTRY

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SHEET:

CONCEPTUAL  
RENDERING

**A3.11**



1

SIDEWALK VIEW - SHATTUCK AND DERBY

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CONCEPTUAL  
RENDERING

**A3.12**

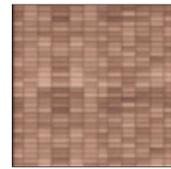


1 SIDEWALK VIEW - WARD LOOKING NORTHEAST

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PROPOSED EXTERIOR  
 MATERIALS



THIN BRICK



THIN BRICK



INTEGRAL STUCCO



METAL INFILL  
 PANEL



WOOD LOOK SIDING

PROPOSED EXTERIOR  
 LIGHTING FIXTURES



WALL DOWNLIGHT



RECESSED CANOPY  
 DOWNLIGHT



STEP LIGHT



THIN BRICK

INTEGRAL  
 COLOR STUCCO

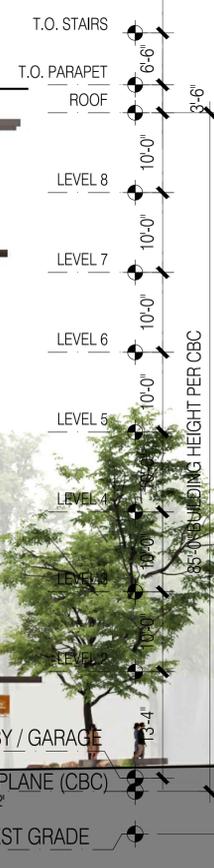
METAL INFILL  
 PANEL

WOOD LOOK  
 SIDING

ALUMINUM  
 WINDOWS

THIN BRICK

ALUMINUM  
 STOREFRONT  
 WINDOWS



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SHEET:

BUILDING  
 MATERIALS

**MAT**

1

EAST ELEVATION

3/64" = 1'-0" @ 11X17 3/32" = 1'-0" @ 24X36



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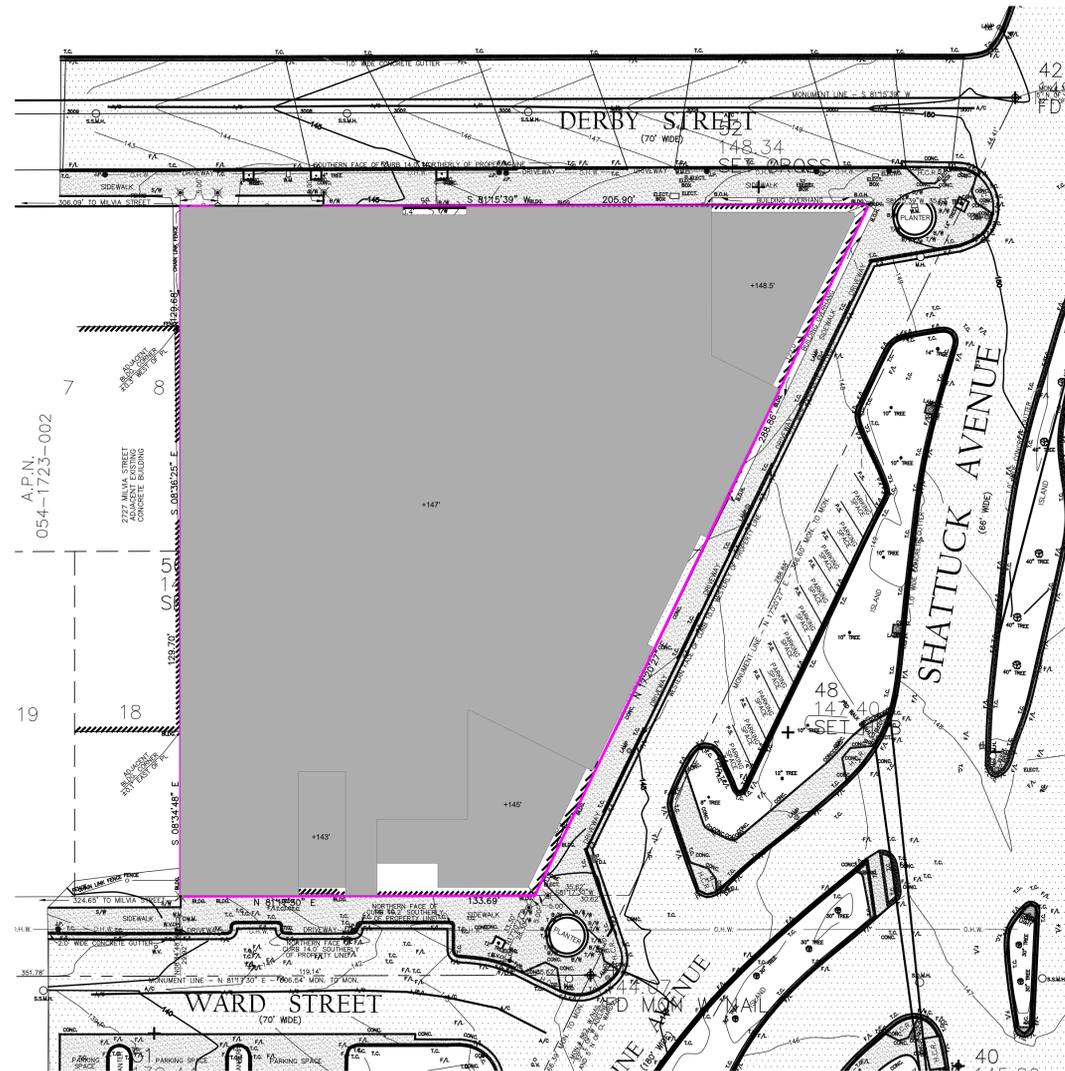
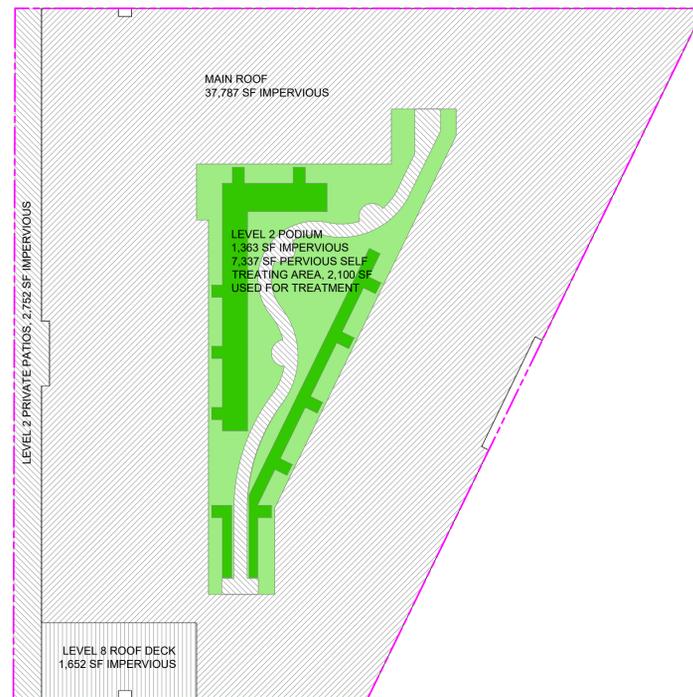
SHEET:

GRADING &  
 STORMWATER  
 PLANS

**A4.0**

STORMWATER CALCULATIONS								
C3 APPLICABILITY								
TOTAL SITE AREA	45,877 (1.05 ACRES)							
C3 THRESHOLD	10,000							
C3 REGULATED PROJECT	YES							
REQUIRED FLOW-THROUGH PLANTERS								
LOCATION	TOTAL GROSS SF	PERVIOUS SELF-TREATING AREA	IMPERVIOUS TREATMENT AREA	%	TOTAL REQ'D TREATMENT AREA	TOTAL PROVIDED PLANTER AREA	PERVIOUS PAVING	FILTER VAULT
MAIN ROOF AREA	37787	0	37787	4%	1511			
LEVEL 8 ROOF DECK	1652	0	1652	4%	66			
LEVEL 2 PODIUM	8700	7337	1363	4%	55	2100		
LEVEL 1			0	4%	0			
<b>TOTAL</b>	<b>48139</b>	<b>7337</b>	<b>40802</b>		<b>1632</b>	<b>2100</b>		
PROVIDED TREATMENT PLANTERS								
LEVEL	PLANTER AREA							
LEVEL 2 PODIUM PLANTER	2100							
<b>TOTAL PLANTERS</b>	<b>2100</b>							

ESTIMATED CUT AND FILL CALCULATIONS			
PROPOSED BUILDING	CUT / FILL AREA	CUT / FILL DEPTH (FT)	TOTAL VOLUME (CY)
	49,620	2	3,676
	24" mat slab foundation assumed		



2 STORMWATER PLAN  
 1/32" = 1'-0" @ 24X36 1/64" = 1'-0" @ 11X17

1 GRADING PLAN  
 1/32" = 1'-0" @ 24X36 1/64" = 1'-0" @ 11X17

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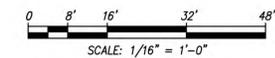
LANDSCAPE PLAN -  
 GROUND FLOOR

L1.01



**LEGEND**

- ① PLANTING AREA, TYP
- ② EXISTING PLANTER TO BE REFINISHED
- ③ EXISTING TREE TO REMAIN, TYP
- ④ PROPOSED STREET TREE, TYP
- ⑤ (9) SHORT TERM BIKE RACK PER CITY STANDARDS, TYP. (18 STALLS)
- ⑥ CITY STANDARD SIDEWALK
- ⑦ 4'X8' TREE WELL, PER CITY STANDARDS, TYP
- ⑧ EXISTING TREE TO BE REMOVED
- ⑨ ANGLED PARKING



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**LEGEND**

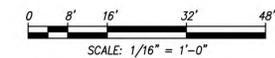
- ① SEATING AREA WITH CIRCULAR BENCH
- ② C3 PLANTERS
- ③ LOW PLANTER WITH A SPECIMEN PLANT(S)
- ④ PLEACHED TREE CANOPY

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SHEET:

**LANDSCAPE PLAN -  
 LEVEL 2 PODIUM**



**L1.02**



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**LEGEND**

- ① PREFAB RAISED PLANTER, TYP
- ② LOUNGE FURNITURE
- ③ SOLARIUM LOUNGE
- ④ COFFEE TABLE AND CHAIRS

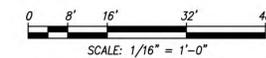
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LANDSCAPE PLAN -  
 LEVEL 7

**L1.03**



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### LEGEND

- ① OUTDOOR KITCHEN
- ② PREFAB RAISED PLANTER, TYP
- ③ LOUNGE FURNITURE
- ④ CHAISE LOUNGE CHAIRS
- ⑤ FAMILY STYLE DINING TABLE

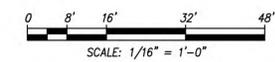
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### LANDSCAPE PLAN - LEVEL 8 ROOF DECK

# L1.04



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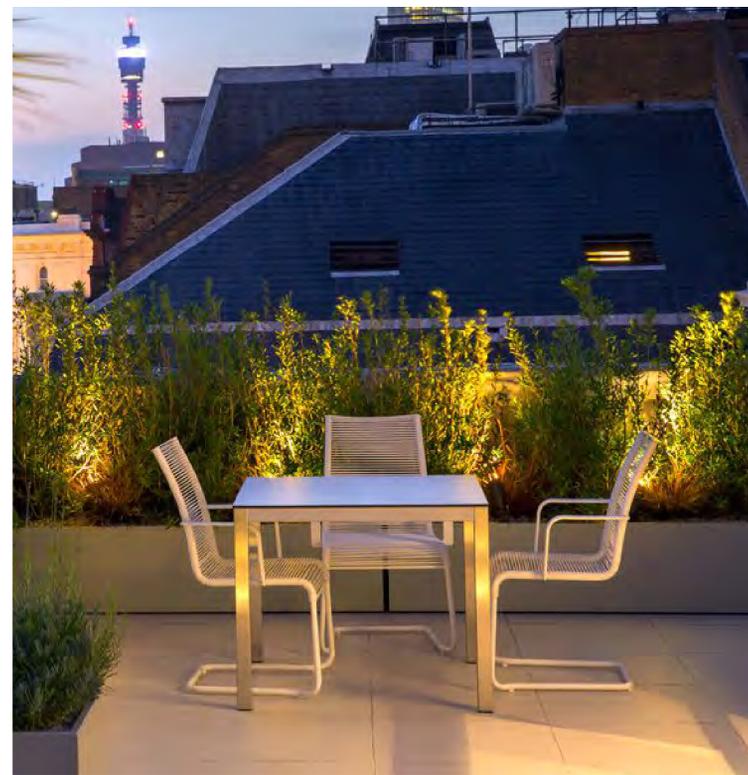
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- 03.18.2026 DRC HEARING SET

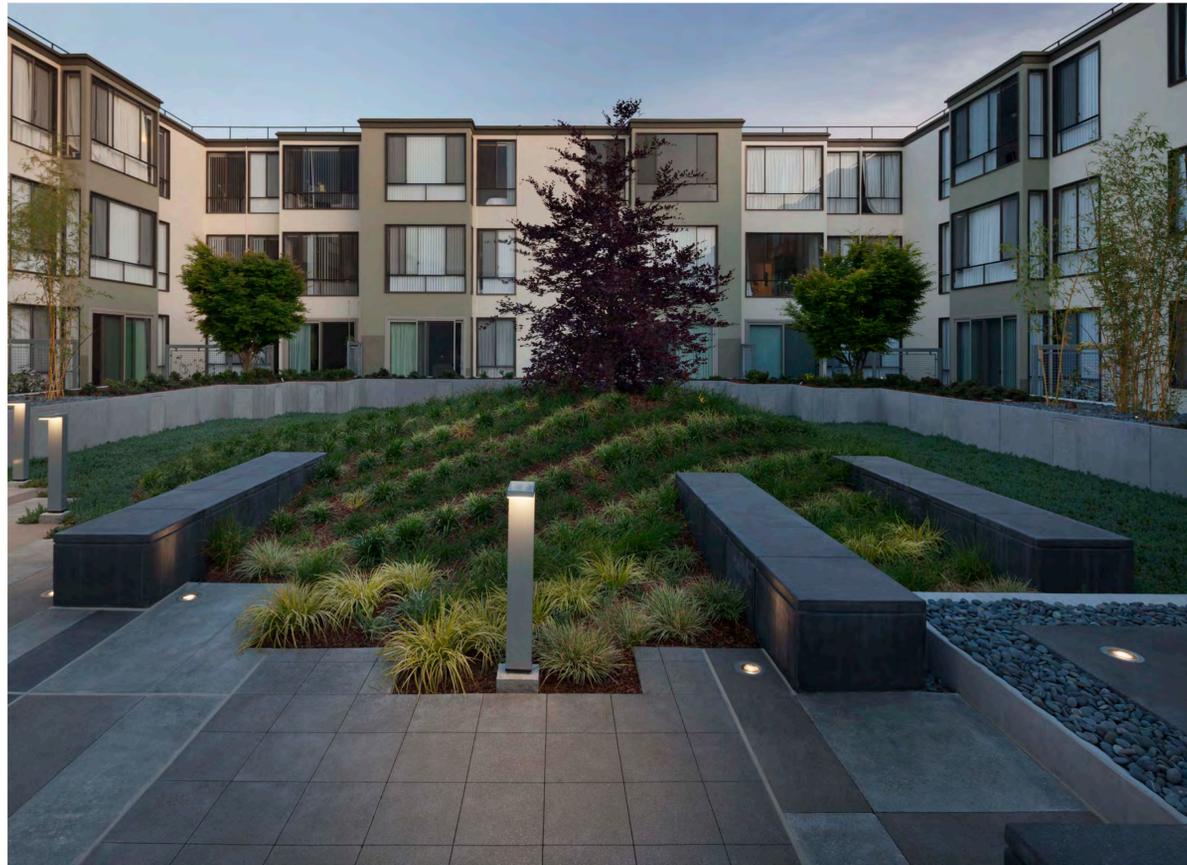
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PRECEDENT IMAGES

L2.01



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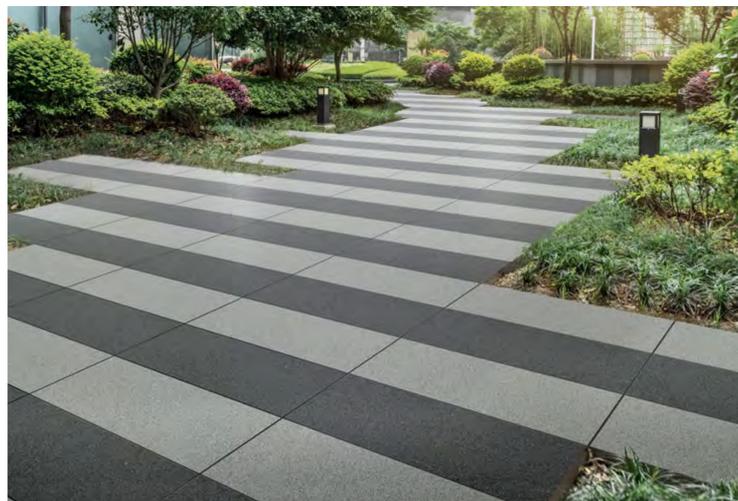
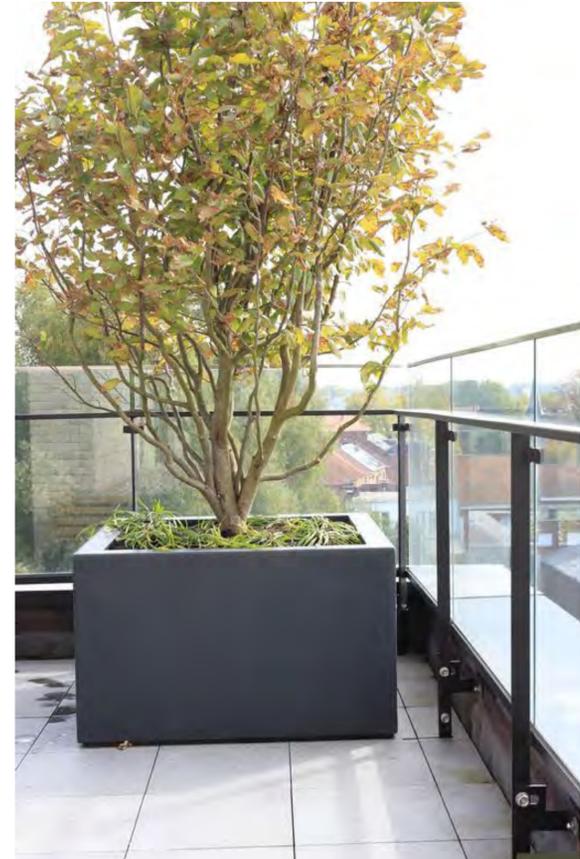
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**L2.02**





 DENOTES BUTTERFLY POLLINATED SPECIES

TREES



SHRUBS



GROUNDCOVER



VINES

GENERAL PLANTING AND IRRIGATION NOTES

1. LANDSCAPE AND IRRIGATION PLANS SHALL COMPLY WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENCY ORDINANCE AND APPLY THOSE CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.
2. LANDSCAPE AND IRRIGATION PLANS SHALL COMPLY WITH ALL APPLICABLE CITY CODES AND ORDINANCES.
3. ALL PLANTING AREAS SHALL BE TOP-DRESSED WITH A 3" LAYER OF ORGANIC, UN-DYED MULCH RECYCLED FROM LOCAL ORGANIC MATERIALS SUCH AS TREE TRIMMINGS, PLANT, OR CLEAN WOOD WASTE. COMPOST APPLICATION TO ACHIEVE A MINIMUM OF 6% ORGANIC MATTER IN SOIL COMPOSITION BASED ON MWEL0 SPECIFIED SOIL ANALYSIS RESULTS FOR THE SITE SOIL PER [CGBSC 4.304].
4. 50% OF ALL SHRUBS AND GROUNDCOVER SHALL BE A MINIMUM OF 5-GALLON SIZE OR LARGER.
5. IRRIGATION SYSTEM IS TO BE A FULLY AUTOMATIC WEATHER-BASED SYSTEM USING LOW FLOW DRIP AND BUBBLER SYSTEM.
6. STREET TREES SHALL BE TIED INTO IRRIGATION SYSTEM.
7. 58% OF ALL PLANTS PROPOSED ARE NATIVE AND WILD-LIFE SUPPORTING.
8. PLANT SELECTION AND DESIGN TO COMPLY WITH BAY-AREA FRIENDLY BASICS LANDSCAPE CHECKLIST.

IRRIGATION SYSTEM DESIGN INTENT

1. THIS PLAN SHALL COMPLY WITH THE REQUIREMENTS OF THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEL0), CITY OF BERKELEY, AND EAST BAY MUNICIPAL UTILITY DISTRICT (EBMUD) WATER DISTRICT.
2. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE THE MINIMUM AMOUNT OF WATER NECESSARY TO SUSTAIN GOOD PLANT HEALTH.
3. THE IRRIGATION SYSTEM IS TO BE A FULLY AUTOMATIC, WEATHER-BASED SYSTEM USING RAIN SENSOR, LOW FLOW DRIP, BUBBLER DISTRIBUTION, AND ROTOR WITH MATCHED PRECIPITATION RATE NOZZLES DESIGNED FOR HEAD-TO-HEAD COVERAGE.
4. ALL SELECTED COMPONENTS SHALL BE PERMANENT, COMMERCIAL GRADE, SELECTED FOR DURABILITY, VANDAL RESISTANCE AND MINIMUM MAINTENANCE REQUIREMENT, INSTALLED BELOW-GRADE, AND DESIGNED FOR 100% COVERAGE.
5. THE SYSTEM SHALL INCLUDE A MASTER CONTROL VALVE, RAIN SENSOR AND FLOW SENSING CAPABILITY CONNECTED TO THE IRRIGATION CONTROLLER WHICH WILL SHUT DOWN ALL OR PART OF THE SYSTEM IF LEAKS ARE DETECTED.
6. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO DELIVER WATER TO HYDROZONES BASED ON MOISTURE REQUIREMENTS OF THE PLANT GROUPING.
7. COLOR CODED HYDROZONE LANDSCAPING HYDROZONE MAP WITH GROUPING AND COLLOCATING PLANTING MATERIAS BY WUCOLS WATER USE CATEGORY VL, L, M, OR H, PER [CGBSC 4.304], TO BE PROVIDED IN PERMIT DRAWINGS.
8. RAIN SENSOR AND CONTROLLER LOCATION TO BE PROVIDED IN PERMIT DRAWINGS.

LANDSCAPE AREA CALCULATION:

	LANDSCAPE AREA
LEVEL 1:	871 SF
LEVEL 2:	6,675 SF
ROOF & 7TH LEVEL:	305 SF
TOTAL:	7,851 SF (60%)

STORMWATER TREATMENT AREA:

REQUIRED STORMWATER TREATMENT AREA=  
 4% OF THE BUILDING FOOTPRINT (43,500 SF) =1,740 SF  
 PROPOSED STORMWATER TREATMENT AREA= 2,265 SF

BIKE PARKING CALCULATIONS:

TOTAL SHORT TERM BIKE PARKING STALLS PROVIDED: 18  
 STALLS (9 BIKE RACKS)

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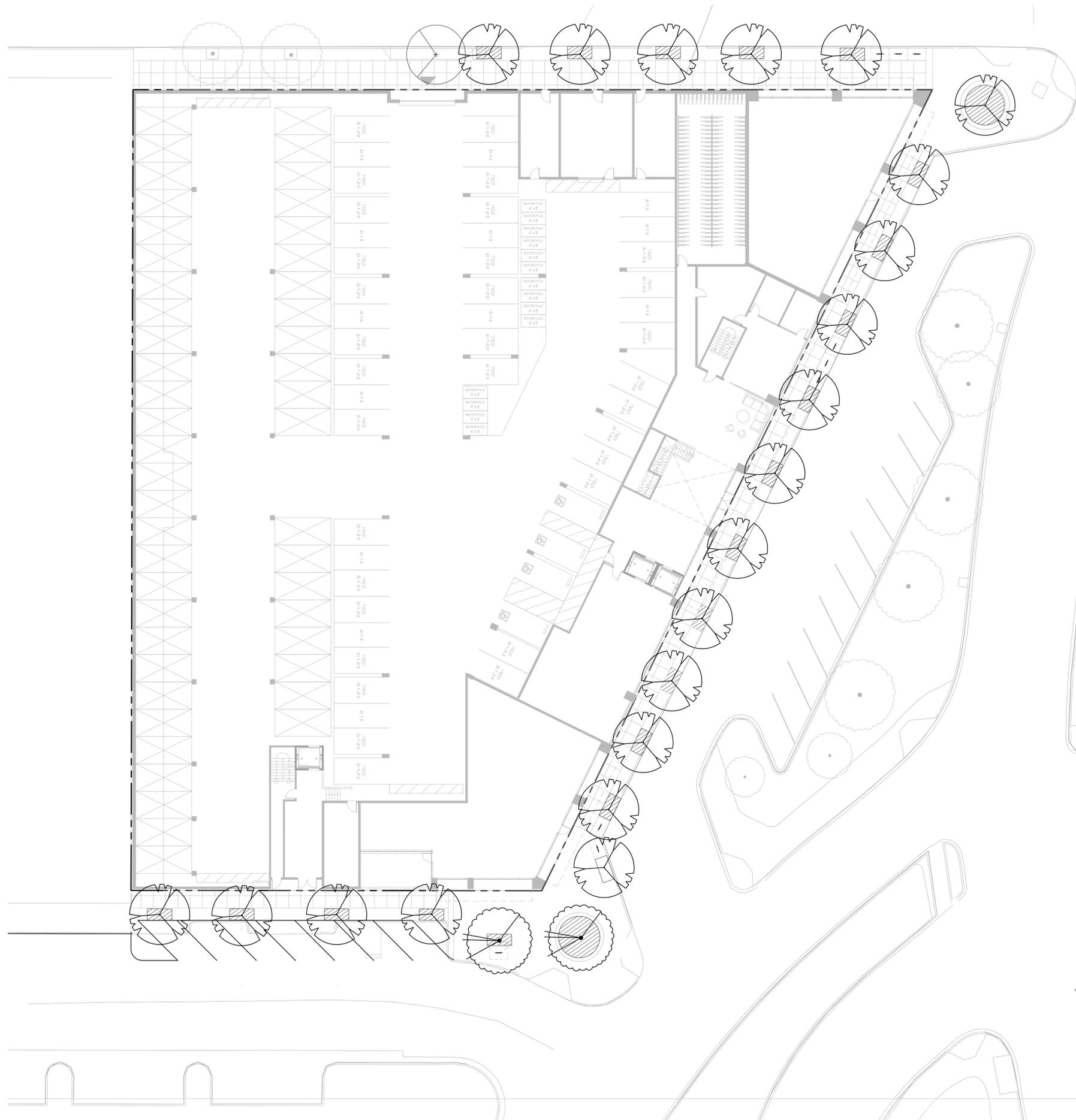
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JOB: 2307

SHEET:

PLANT IMAGES, NOTES  
 AND CALCULATIONS

L3.01



PLANT LIST						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	WUCOLS
<b>STREET TREES</b>						
⊗	ALBIZIA JULIBRISSIN	MIMOSA TREE	24" BOX	PER PLAN	N	L
⊗	GINKGO BILOBA	MAIDENHAIR TREE	24" BOX	PER PLAN	N	M
⊗	PLATANUS X ACERIFOLIA 'COLUMBIA'	LONDON PLANE TREE	24" BOX	PER PLAN	N	M
<b>SCREEN &amp; SHADE TREES</b>						
⊙	ARBUS UNEDO 'MARINA'	STRAWBERRY TREE	24" BOX	PER PLAN	N	L
⊙	ACER RUBRUM	RED MAPLE	24" BOX	PER PLAN	N	M
⊙	LAURUS NOBILIS	SWEET BAY	24" BOX	PER PLAN	N	M
⊙	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX	PER PLAN	N	M
⊙	PODOCARPUS MACROPHYLLUS 'MAKI'	SHRUBBY YEW PINE	24" BOX	PER PLAN	N	M
⊙	UMBELLULARIA CALIFORNICA	CALIFORNIA LAUREL	24" BOX	PER PLAN	Y	L
⊙	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	PER PLAN	Y	VL
<b>ACCENT TREES</b>						
⊗	ACER PALMATUM	JAPANESE MAPLE	24" BOX	PER PLAN	N	M
⊗	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX	PER PLAN	Y	L
⊗	LAGERSTROEMIA 'MUSKOGEE'	LAVENDER CRAPE MYRTLE	24" BOX	PER PLAN	N	L
<b>SHRUBS, GRASSES &amp; PERENNIALS</b>						
⊗	ACHILLEA MILLEFOLIUM 'CORONATION GOLD'	YELLOW YARROW	1 GAL	2'-0" OC	Y	L
⊗	ARCTOSTAPHYLOS DENSIFLORA 'MCMINN'	MANZANITA	5 GAL	5'-0" OC	Y	L
⊗	CEANOTHUS 'CONCHA'	CALIFORNIA LILAC	5 GAL	8'-0" OC	Y	L
⊗	ERIGONIUM RUBRA	RED BUCKWHEAT	1 GAL	3'-0" OC	Y	L
⊗	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL	3'-0" OC	Y	L
⊗	MIMULUS ARANTIACUS	STICKY MONKEYFLOWER	1 GAL	3'-0" OC	Y	L
⊗	RIBES SANGUINUM	RED FLOWERING CURRANT	1 GAL	4'-0" OC	Y	L
⊗	SISYRINCHIUM BELLUM 'NORTH COAST'	BLUE-EYED GRASS	1 GAL	SCATTER	Y	L
⊗	ZAUSCHNERIA	CA FUCHSIA	1 GAL	3'-0" OC	Y	L
<b>GROUNDCOVERS</b>						
⊗	ARCTOSTAPHYLOS 'EMERALD CARPET'	EMERALD CARPET MANZANITA	1 GAL	4'-0" OC	Y	L
⊗	LEYMUS TRITICOIDES 'LAGUNITA'	CREEPING WILD RYE	1 GAL	2'-6" OC	Y	L
<b>VINES</b>						
⊗	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	1 GAL	8'-0" OC	N	M
<b>STORMWATER GROUNDCOVER</b>						
⊗	ACHILLEA 'MOONSHINE'	MOONSHINE YARROW	1 GAL	2'-0" OC	Y	L
⊗	ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	1 GAL	2'-0" OC	Y	L
⊗	IRIS DOUGLASIANA	DOUGLAS IRIS	5 GAL	2'-0" OC	Y	L
⊗	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	4'-0" OC	Y	L
⊗	SALVIA ULIGINOSA	BLUE SPIKE SAGE	5 GAL	2'-0" OC	N	L
⊗	SYRINCHIUM BELLUM 'NORTH COAST'	BLUE-EYED GRASS	5 GAL	1'-0" OC	Y	L
<b>STORMWATER GROUNDCOVER</b>						
⊗	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	2'-0" OC	N	L
⊗	CHONDROPETALUM TECTORUM	CAPE RUSH	5 GAL	3'-0" OC	N	L
⊗	JUNCUS PATENS	CALIF. GRAY RUSH	1 GAL	2'-0" OC	Y	L

\* NOTE: 58% OF ALL PLANTS PROPOSED ARE NATIVE AND WILD-LIFE SUPPORTING

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PLANTING PLAN -  
 GROUND FLOOR

L4.01



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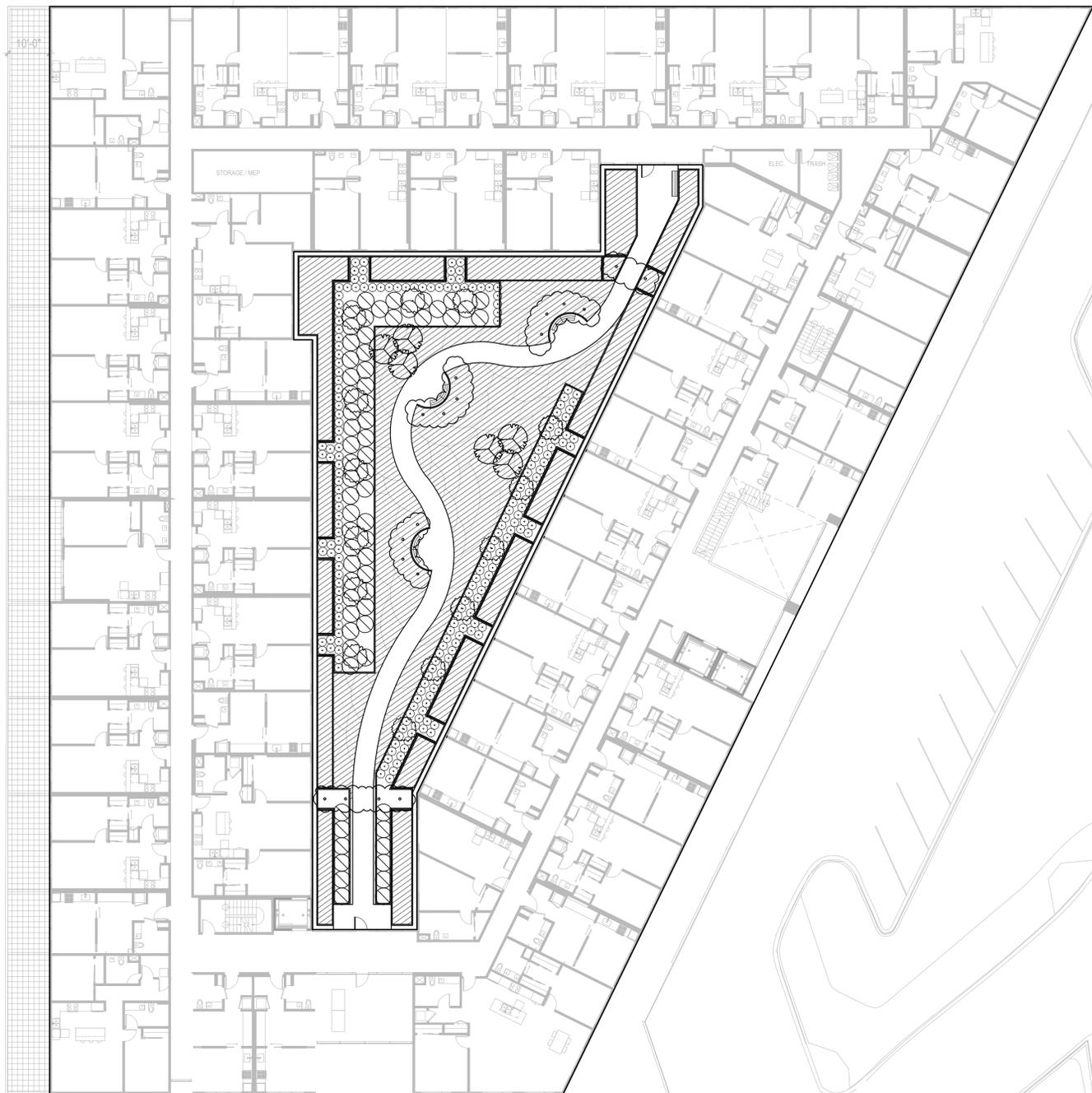
JOB: 2307

SHEET:

PLANTING PLAN -  
 LEVEL 2 PODIUM

L4.02

PLANT LIST						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	WUCOLS
<b>STREET TREES</b>						
	ALBIZIA JULIBRISSIN	MIMOSA TREE	24" BOX	PER PLAN	N	L
	GINKGO BILOBA	MAIDENHAIR TREE	24" BOX	PER PLAN	N	M
	PLATANUS X ACERIFOLIA 'COLUMBIA'	LONDON PLANE TREE	24" BOX	PER PLAN	N	M
<b>SCREEN &amp; SHADE TREES</b>						
	ARBUTUS UNEDO 'MARINA'	STRAWBERRY TREE	24" BOX	PER PLAN	N	L
	ACER RUBRUM	RED MAPL	24" BOX	PER PLAN	N	M
	LAURUS NOBILIS	BRISBANE BOX	24" BOX	PER PLAN	N	M
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX	PER PLAN	N	M
	PODOCARPUS MACROPHYLLUS 'MAKI'	SHRUBBY YEW PINE	24" BOX	PER PLAN	N	M
	UMBELLULARIA CALIFORNICA	CALIFORNIA LAUREL	24" BOX	PER PLAN	Y	L
	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	PER PLAN	Y	VL
<b>ACCENT TREES</b>						
	ACER PALMATUM	JAPANESE MAPLE	24" BOX	PER PLAN	N	M
	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX	PER PLAN	Y	L
	LAGERSTROEMIA 'MUSKOGEE'	LAVENDER CRAPE MYRTLE	24" BOX	PER PLAN	N	L
<b>SHRUBS, GRASSES &amp; PERENNIALS</b>						
	ACHILLEA MILLEFOLIUM 'CORONATION GOLD'	YELLOW YARROW	1 GAL	2'-0" OC	Y	L
	ARCTOSTAPHYLOS DENSIFLORA 'MCMINN'	MANZANITA	5 GAL	5'-0" OC	Y	L
	CEANOTHUS 'CONCHA'	CALIFORNIA LILAC	5 GAL	8'-0" OC	Y	L
	ERIGONIUM RUBRA	RED BUCKWHEAT	1 GAL	3'-0" OC	Y	L
	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL	3'-0" OC	Y	L
	MIMULUS ARANTIACUS	STICKY MONKEYFLOWER	1 GAL	3'-0" OC	Y	L
	RIBES SANGUINIUM	RED FLOWERING CURRANT	1 GAL	4'-0" OC	Y	L
	SISYRINCHIUM BELLUM 'NORTH COAST'	BLUE-EYED GRASS	1 GAL	SCATTER	Y	L
	ZAUSCHNERIA	CA FUCHSIA	1 GAL	3'-0" OC	Y	L
<b>GROUNDCOVERS</b>						
	ARCTOSTAPHYLOS 'EMERALD CARPET'	EMERALD CARPET MANZANITA	1 GAL	4'-0" OC	Y	L
	LEYMUS TRITICOIDES 'LAGUNITA'	CREEPING WILD RYE	1 GAL	2'-6" OC	Y	L
<b>VINES</b>						
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	1 GAL	8'-0" OC	N	M
<b>STORMWATER GROUNDCOVER</b>						
	ACHILLEA 'MOONSHINE'	MOONSHINE YARROW	1 GAL	2'-0" OC	Y	L
	ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	1 GAL	2'-0" OC	Y	L
	IRIS DOUGLASIANA	DOUGLAS IRIS	5 GAL	2'-0" OC	Y	L
	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	4'-0" OC	Y	L
	SALVIA ULIGINOSA	BLUE SPIKE SAGE	5 GAL	2'-0" OC	N	L
	SYSYRINCHIUM BELLUM 'NORTH COAST'	BLUE-EYED GRASS	5 GAL	1'-0" OC	Y	L
<b>STORMWATER GROUNDCOVER</b>						
	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	2'-0" OC	N	L
	CHONDROPETALUM TECTORUM	CAPE RUSH	5 GAL	3'-0" OC	N	L
	JUNCUS PATENS	CALIF. GRAY RUSH	1 GAL	2'-0" OC	Y	L



LEVEL 2



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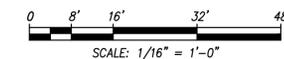
JOB: 2307

SHEET:

PLANTING PLAN -  
 LEVEL 7

L4.03

PLANT LIST						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	WUCOLS
STREET TREES						
	ALBIZIA JULIBRISSIN	MIMOSA TREE	24" BOX	PER PLAN	N	L
	GINKGO BILOBA	MAIDENHAIR TREE	24" BOX	PER PLAN	N	M
	PLATANUS X ACERIFOLIA 'COLUMBIA'	LONDON PLANE TREE	24" BOX	PER PLAN	N	M
SCREEN & SHADE TREES						
	ARBUTUS UNEDO 'MARINA'	STRAWBERRY TREE	24" BOX	PER PLAN	N	L
	ACER RUBRUM	RED MAPL	24" BOX	PER PLAN	N	M
	LAURUS NOBILIS	SWEET BAY	24" BOX	PER PLAN	N	M
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX	PER PLAN	N	M
	PODOCARPUS MACROPHYLLUS 'MAKI'	SHRUBBY YEW PINE	24" BOX	PER PLAN	N	M
	UMBELLULARIA CALIFORNICA	CALIFORNIA LAUREL	24" BOX	PER PLAN	Y	L
	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	PER PLAN	Y	VL
ACCENT TREES						
	ACER PALMATUM	JAPANESE MAPLE	24" BOX	PER PLAN	N	M
	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX	PER PLAN	Y	L
	LAGERSTROEMIA 'MUSKOGEE'	LAVENDER CRAPE MYRTLE	24" BOX	PER PLAN	N	L
SHRUBS, GRASSES & PERENNIALS						
	ACHILLEA MILLEFOLIUM 'CORONATION GOLD'	YELLOW YARROW	1 GAL	2'-0" OC	Y	L
	ARCTOSTAPHYLOS DENSIFLORA 'MCMINN'	MANZANITA	5 GAL	5'-0" OC	Y	L
	CEANOTHUS 'CONCHA'	CALIFORNIA LILAC	5 GAL	8'-0" OC	Y	L
	ERIGONIUM RUBRA	RED BUCKWHEAT	1 GAL	3'-0" OC	Y	L
	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL	3'-0" OC	Y	L
	MIMULUS ARANTIACUS	STICKY MONKEYFLOWER	1 GAL	3'-0" OC	Y	L
	RIBES SANGUINUM	RED FLOWERING CURRANT	1 GAL	4'-0" OC	Y	L
	SISYRINCHIUM BELLUM 'NORTH COAST'	BLUE-EYED GRASS	1 GAL	SCATTER	Y	L
	ZAUSCHNERIA	CA FUCHSIA	1 GAL	3'-0" OC	Y	L
GROUNDCOVERS						
	ARCTOSTAPHYLOS 'EMERALD CARPET'	EMERALD CARPET MANZANITA	1 GAL	4'-0" OC	Y	L
	LEYMUS TRITICOIDES 'LAGUNITA'	CREEPING WILD RYE	1 GAL	2'-6" OC	Y	L
VINES						
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	1 GAL	8'-0" OC	N	M
STORMWATER GROUNDCOVER						
	ACHILLEA 'MOONSHINE'	MOONSHINE YARROW	1 GAL	2'-0" OC	Y	L
	ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	1 GAL	2'-0" OC	Y	L
	IRIS DOUGLASIANA	DOUGLAS IRIS	5 GAL	2'-0" OC	Y	L
	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	4'-0" OC	Y	L
	SALVIA ULIGINOSA	BLUE SPIKE SAGE	5 GAL	2'-0" OC	N	L
	SYSYRINCHIUM BELLUM 'NORTH COAST'	BLUE-EYED GRASS	5 GAL	1'-0" OC	Y	L
STORMWATER GROUNDCOVER						
	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	2'-0" OC	N	L
	CHONDROPETALUM TECTORUM	CAPE RUSH	5 GAL	3'-0" OC	N	L
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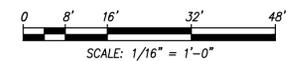
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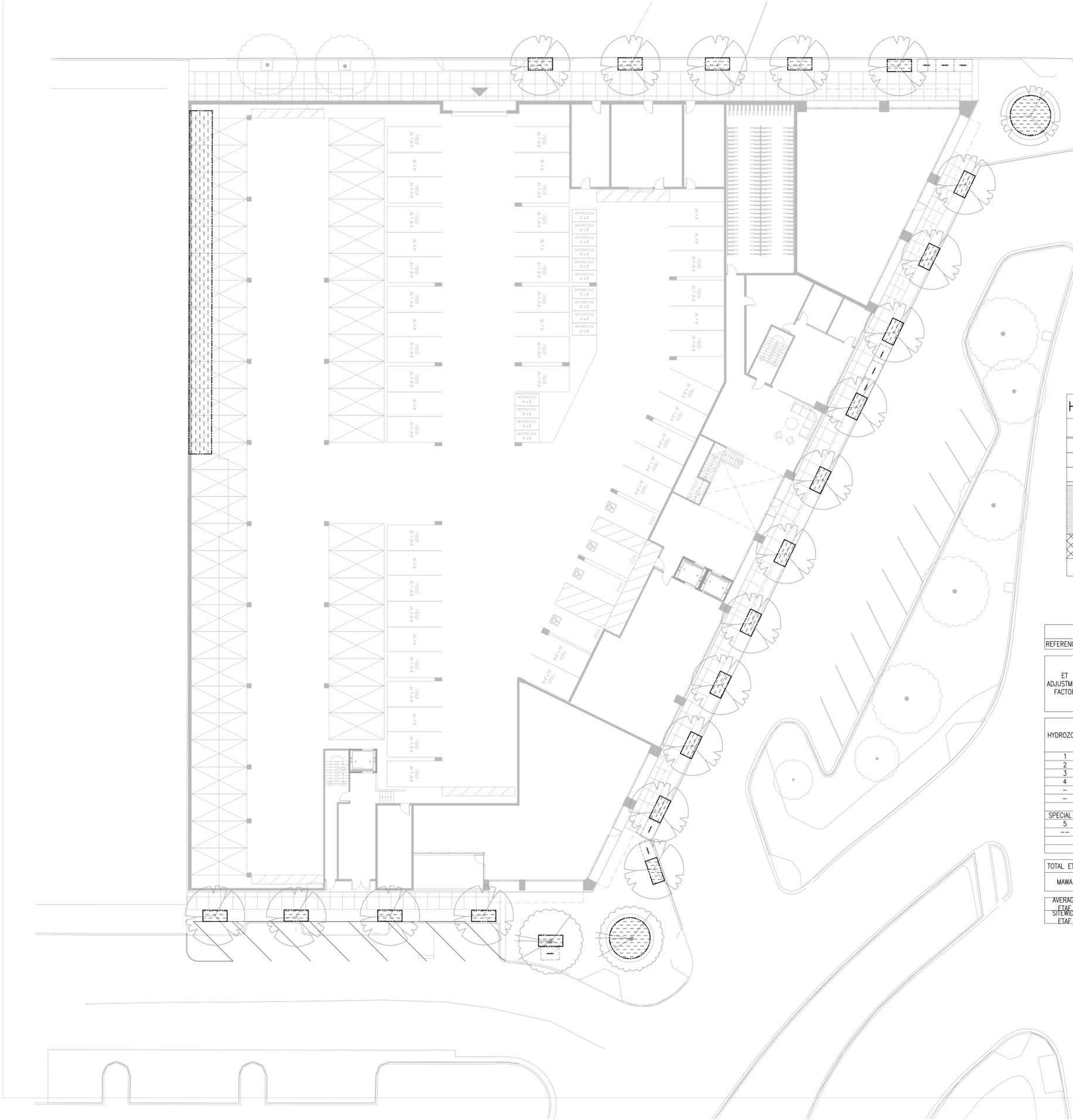
SHEET:

PLANTING PLAN -  
 LEVEL 8 ROOF DECK

L4.04

PLANT LIST							
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	WUCOLS	
STREET TREES							
	ALBIZIA JULIBRISSIN	MIMOSA TREE	24" BOX	PER PLAN	N	L	
	GINKGO BILOBA	MAIDENHAIR TREE	24" BOX	PER PLAN	N	M	
	PLATANUS X ACERIFOLIA 'COLUMBIA'	LONDON PLANE TREE	24" BOX	PER PLAN	N	M	
SCREEN & SHADE TREES							
	ARBUTUS UNEDO 'MARINA'	STRAWBERRY TREE	24" BOX	PER PLAN	N	L	
	ACER RUBRUM	RED MAPL	24" BOX	PER PLAN	N	M	
	LAURUS NOBILIS	SWEET BAY	24" BOX	PER PLAN	N	M	
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX	PER PLAN	N	M	
	PODOCARPUS MACROPHYLLUS 'MAKI'	SHRUBBY YEW PINE	24" BOX	PER PLAN	N	M	
	UMBELLULARIA CALIFORNICA	CALIFORNIA LAUREL	24" BOX	PER PLAN	Y	L	
	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	PER PLAN	Y	VL	
ACCENT TREES							
	ACER PALMATUM	JAPANESE MAPLE	24" BOX	PER PLAN	N	M	
	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX	PER PLAN	Y	L	
	LAGERSTROEMIA 'MUSKOGEE'	LAVENDER CRAPE MYRTLE	24" BOX	PER PLAN	N	L	
SHRUBS, GRASSES & PERENNIALS							
	ACHILLEA MILLEFOLIUM 'CORONATION GOLD'	YELLOW YARROW	1 GAL	2'-0" OC	Y	L	
	ARCTOSTAPHYLOS DENSIFLORA 'MCMINN'	MANZANITA	5 GAL	5'-0" OC	Y	L	
	CEANOTHUS 'CONCHA'	CALIFORNIA LILAC	5 GAL	8'-0" OC	Y	L	
	ERIGONIUM RUBRA	RED BUCKWHEAT	1 GAL	3'-0" OC	Y	L	
	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL	3'-0" OC	Y	L	
	MIMULUS ARANTIACUS	STICKY MONKEYFLOWER	1 GAL	3'-0" OC	Y	L	
	RIBES SANGUINUM	RED FLOWERING CURRANT	1 GAL	4'-0" OC	Y	L	
	SISYRINCHIUM BELLUM 'NORTH COAST'	BLUE-EYED GRASS	1 GAL	SCATTER	Y	L	
	ZAUSCHNERIA	CA FUCHSIA	1 GAL	3'-0" OC	Y	L	
GROUNDCOVERS							
	ARCTOSTAPHYLOS 'EMERALD CARPET'	EMERALD CARPET MANZANITA	1 GAL	4'-0" OC	Y	L	
	LEYMUS TRITICOIDES 'LAGUNITA'	CREEPING WILD RYE	1 GAL	2'-6" OC	Y	L	
VINES							
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	1 GAL	8'-0" OC	N	M	
STORMWATER GROUNDCOVER							
	ACHILLEA 'MOONSHINE'	MOONSHINE YARROW	1 GAL	2'-0" OC	Y	L	
	ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	1 GAL	2'-0" OC	Y	L	
	IRIS DOUGLASIANA	DOUGLAS IRIS	5 GAL	2'-0" OC	Y	L	
	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	4'-0" OC	Y	L	
	SALVIA ULIGINOSA	BLUE SPIKE SAGE	5 GAL	2'-0" OC	N	L	
	SYSYRINCHIUM BELLUM 'NORTH COAST'	BLUE-EYED GRASS	5 GAL	1'-0" OC	Y	L	
STORMWATER GROUNDCOVER							
	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	2'-0" OC	N	L	
	CHONDROPETALUM TECTORUM	CAPE RUSH	5 GAL	3'-0" OC	N	L	
	JUNCUS PATENS	CALIF. GRAY RUSH	1 GAL	2'-0" OC	Y	L	





- IRRIGATION DESIGN INTENT**
1. THIS PLAN SHALL COMPLY WITH THE REQUIREMENTS OF THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), CITY OF BERKELEY, AND EAST BAY MUNICIPAL DISTRICT (EBMUD) WATER DISTRICT.
  2. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE THE MINIMUM AMOUNT OF WATER NECESSARY TO SUSTAIN GOOD PLANT HEALTH.
  3. THE IRRIGATION SYSTEM IS TO BE A FULLY AUTOMATIC, WEATHER-BASED SYSTEM USING RAIN SENSOR, LOW FLOW DRIP, BUBBLER DISTRIBUTION, AND ROTOR WITH MATCHED PRECIPITATION RATE NOZZLES DESIGNED FOR HEAD-TO-HEAD COVERAGE.
  4. ALL SELECTED COMPONENTS SHALL BE PERMANENT, COMMERCIAL GRADE, SELECTED FOR DURABILITY, VANDAL RESISTANCE AND MINIMUM MAINTENANCE REQUIREMENT, INSTALLED BELOW-GRADE, AND DESIGNED FOR 100% COVERAGE.
  5. THE SYSTEM SHALL INCLUDE A MASTER CONTROL VALVE AND FLOW SENSING CAPABILITY WHICH WILL SHUT DOWN ALL OR PART OF THE SYSTEM IF LEAKS ARE DETECTED.
  6. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO DELIVER WATER TO HYDROZONES BASED ON MOISTURE REQUIREMENTS OF THE PLANT GROUPING.

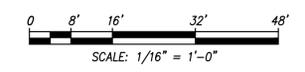
**HYDROZONE LEGEND**

SYMBOL	ZONE	HYDROZONE	PLANT TYPE	IRRIGATION TYPE	AREA (SF)	TOTAL (SF)	% LANDSCAPE
[Symbol 1]	1	LOW WATER USE	SHRUB & GROUNDCOVER	DRIP	7,376	7,568.0	89%
[Symbol 2]	2	LOW WATER USE	TREES	BUBBLER	192		
[Symbol 3]	3	MODERATE WATER USE	SHRUB & GROUNDCOVER	DRIP	820	968	11%
[Symbol 4]	4	MODERATE WATER USE	TREES	BUBBLER	148		
[Symbol 5]	5	EDIBLE GARDEN		DRIP	0	0	0%
TOTAL					8,536.0	8,536.0	100%

**HYDROZONE INFORMATION TABLE**

REFERENCE ANNUAL ET <sub>0</sub> FOR:	BERKELEY (MWELO REF. ET TABLE)		41.8				
ET ADJUSTMENT FACTOR	0.55	ET ADJ FACTOR PER MWELO: 0.80= EXISTING NON-REHABILITATED LANDSCAPE, 0.65= SCHOOL 0.55= RESIDENTIAL, 0.45= NON-RESIDENTIAL	SLA ADDITIONAL WATER ALLOWANCE (1.0-ETAF) 0.45				
HYDROZONE	WUCOLS IV PLANT FACTOR (PF)	IRR METHOD DRIP & BUBB.: 0.81 SPRAY & ROTOR: 0.75	IRRIGATION EFFICIENCY (IE)	ETAF <sub>2</sub> (PF/IE)	LANDSCAPE AREA (SQ FT)	ETAF <sub>2</sub> x AREA	ESTIMATED TOTAL WATER USE (ETWU)
1	0.3	D	0.81	0.37	7376	2731.85	70798.67
2	0.3	B	0.81	0.37	192	71.11	1842.92
3	0.6	D	0.81	0.74	820	607.41	15741.57
4	0.6	B	0.81	0.74	148	109.63	2841.16
-	0	D	.81	0.00	0	0.00	0.00
-	0	D	.81	0.00	0	0.00	0.00
TOTAL					8536.00	3520.00	91,224.32
<b>SPECIAL LANDSCAPE AREAS</b>							
5				1	0	0.00	0.00
--				0	0	0.00	0.00
TOTAL					0	0.00	0.00
TOTAL LANDSCAPE AREA (LA + SLA)					8,536.00		
TOTAL ETWU	TOTAL ETWU ALL AREAS (SLA AND REGULAR LA)					TOTAL ETWU	91,224.32
MAWA	(ANNUAL ET <sub>0</sub> )(0.62 CONVERSION FACTOR) [(ET ADJUSTMENT FACTOR)(TOTAL LANDSCAPE AREA) + (1-ETAF)*SLA]]					MAWA	121,670.44
AVERAGE ETAF	SUM(ETAF <sub>2</sub> x AREA) / TOTAL AREA (AVERAGE ETAF AS DESIGNED, EXCLUSIVE OF SLA <sub>s</sub> )						0.41
SITELWIDE ETAF	TOTAL ETAF x AREA / TOTAL LANDSCAPE AREA (INCLUDES SLA <sub>s</sub> )						0.41

IRRIGATION PLAN -  
GROUND FLOOR



L5.01

SEE SHEET L5.01 FOR IRRIGATION NOTES AND CALCULATION

STACKHOUSE  
DE LA PEÑA  
TRACHTENBERG  
ARCHITECTS

2421 Fourth Street  
Berkeley, California 94710  
510.649.1414  
www.sdtarch.com



## 2700 SHATTUCK

2700 Shattuck Ave  
Berkeley, CA

- 10.18.2023 SB-330 SUBMITTAL PLANS
- 05.10.2024 ZONING APPLICATION
- 09.10.2024 ZONING RESUBMITTAL
- 01.06.2025 ZONING RESUBMITTAL
- 12.22.2025 ZONING RESUBMITTAL
- 03.18.2026 DRC HEARING SET

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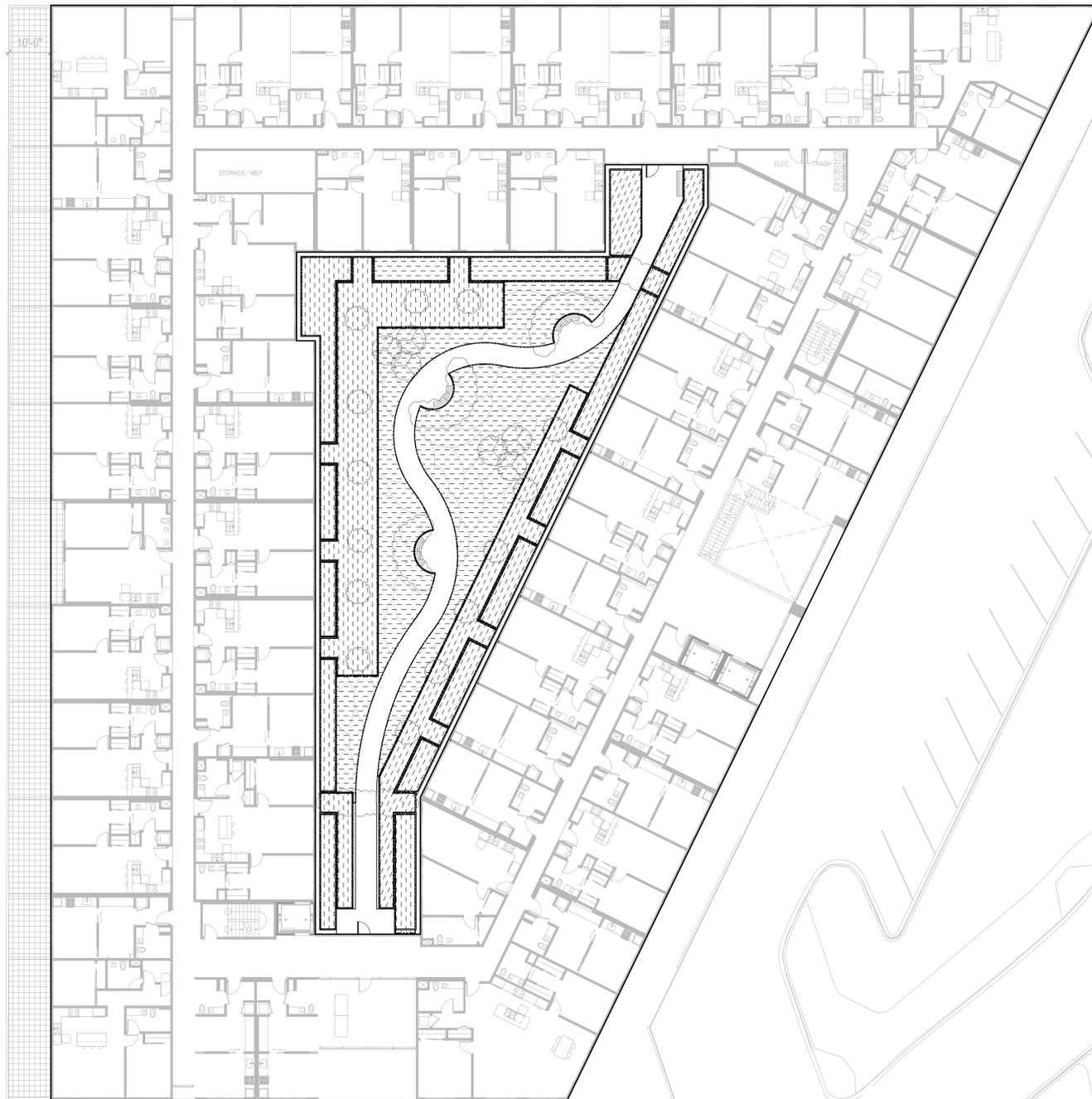
JOB: 2307

SHEET:

IRRIGATION PLAN -  
LEVEL 2 PODIUM



# L5.02



SEE SHEET L5.01 FOR IRRIGATION NOTES AND CALCULATION

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- 12.22.2025 ZONING RESUBMITTAL
- 03.18.2026 DRC HEARING SET

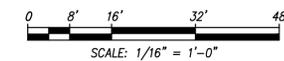
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JOB: 2307

SHEET:

IRRIGATION PLAN -  
LEVEL 7

# L5.03



SEE SHEET L5.01 FOR IRRIGATION NOTES AND CALCULATION

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- 03.18.2026 DRC HEARING SET

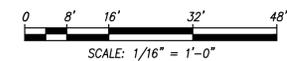
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JOB: 2307

SHEET:

IRRIGATION PLAN -  
LEVEL 8 ROOF DECK

## L5.04



**Burns, Anne M**

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**From:** David Rumberg <drumberg@sportsbasement.com>  
**Sent:** Thursday, June 12, 2025 3:21 PM  
**To:** Lisa Gordon  
**Cc:** Sanchez, Marytonae  
**Subject:** Fwd: 2700 - 2729 Shattuck Ave APN#54-1723-1

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Mrs Gordon,

Please be aware of an email I sent to the general Planning email account for Berkeley, CA. Assistant Planner, Mrs Sanchez, provided a response to my inquiry as to how to research what decisions and actions have been taken as it relates to this project. I read your response "**Application Consistency and Review Comments – Use Permit #ZP2024-0058 for 2700 Shattuck Avenue**" and wanted to make sure my comments are part of any future discussions. I have a few concerns about this project and any variance potential granted that negatively impact my adjacent property.

Regards,  
Dave

David Rumberg  
Sports Basement  
[drumberg@sportsbasement.com](mailto:drumberg@sportsbasement.com)  
cell (415)286-3674  
[www.sportsbasement.com](http://www.sportsbasement.com)

----- Forwarded message -----

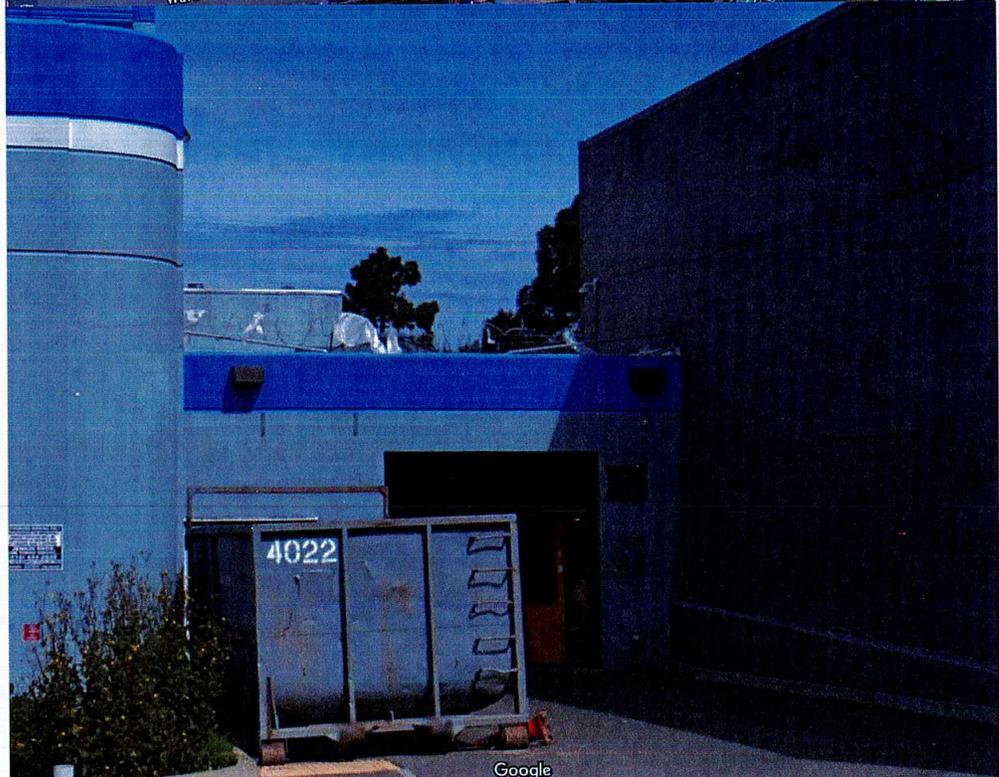
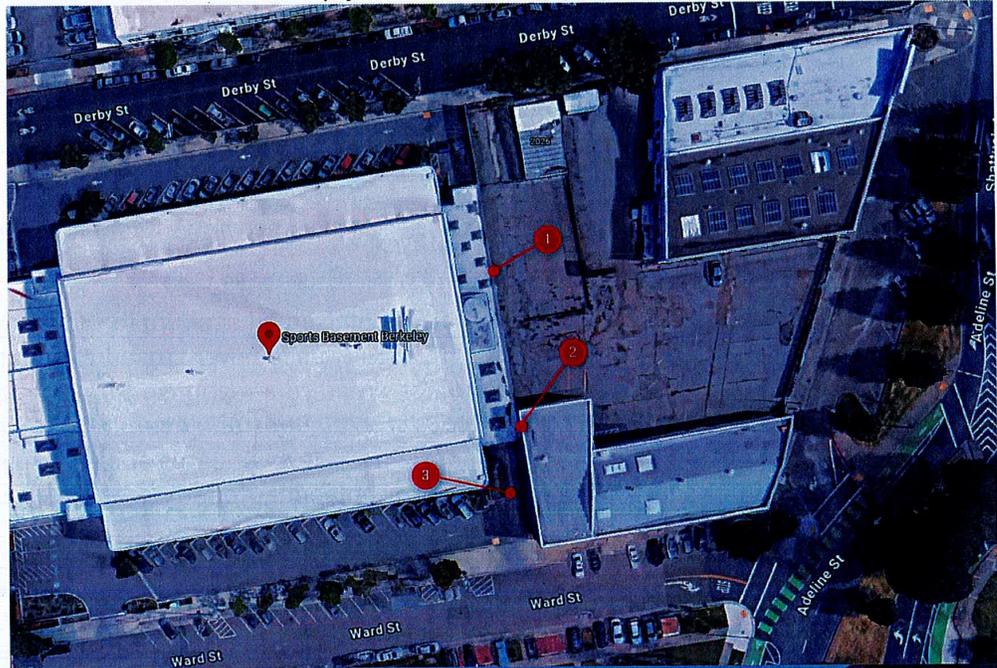
**From:** David Rumberg <[drumberg@sportsbasement.com](mailto:drumberg@sportsbasement.com)>  
**Date:** Fri, Jun 6, 2025 at 10:29 AM  
**Subject:** 2700 - 2729 Shattuck Ave APN#54-1723-1  
**To:** <[planning@berkeleyca.gov](mailto:planning@berkeleyca.gov)>

Hello,

I own the adjacent property, formerly the Berkeley Iceland, and have a couple of questions regarding the future development of the former McKeivitt Auto site. I tried to navigate the City's web portal, but admit to being unsure how to draw out the relevant information. Any help would be greatly appreciated.

- I see an application (#ZP2024-0058) to demolish the buildings. Was this demolition work officially approved? The buildings and hardscape for both my property and the adjacent property seem to share common points of connection. Does the scope of the demolition include removing hardscape surfaces like the asphalt parking area? There is a gradual change in elevation where the McKeivitt hardscape interacts with a wall in my building. For years, water pooling on the West end of the McKeivitt property during severe downpours leaks into my building. I'm concerned about the demolition work creating issues to my building where leaks and concrete spalling are known problems.
  - Bullet 1 - The asphalt abuts up against a wall on my building.

- Bullet 2 - These two properties have buildings that are touching at a minimum, but I have no idea to what extent there are any further complications.
- Bullet 3 - Demolition seems to imply access from my property will be required?



- With regard to the future development of the site, have the plans been approved? The historic Berkley Iceland building was designed to take in the rising Eastern sun and the setting Western sun. The Iceland building also currently enjoys full visibility from pedestrians and vehicular traffic

on Shattuck Ave. Lastly, there is a rooftop sign that is clearly visible to the East of our building. The proposed building negatively impacts all of these areas and more creating irreparable harm. Has this been discussed? I am unaware of anyone reaching out to us at Sports Basement to discuss these matters.



What is the best source for me to catch up on where the City of Berkeley is at in its review and approval of this project? Am I able to meet with anyone from the Planning Department or Building Department to discuss our concerns?

Thanks,  
Dave

--

David Rumberg  
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