



## Zoning Adjustments Board Staff Report

**APP #ZP2025-0103**

**May 14, 2026**

**Use Permit for 1101 University Avenue**



<b>Quick Facts</b>	<b>Project Description:</b>
<b>Applicant:</b> Steven Appel	The applicant is seeking approval to change the use of 5,516 square feet of an existing vacant unit, last approved for a cannabis retailer, to a Vehicle Parts Store (O’Reilly), on a 13,100 square foot lot within a Designated Node of the C-W zoning district.
<b>Project Address:</b> 1101 University Avenue	
<b>Site Size:</b> 13,100 sqft.	<b>Zoning Permits Requested:</b>
<b>GP Land Use:</b> Avenue Commercial	A Use Permit Public Hearing is required for the following permit: <ul style="list-style-type: none"> <li>• <b>New Use.</b> BMC Section 23.204.020(A) <b>“Allowed Land Use”</b> to establish a new Vehicle Parts Store in the C-W zoning district, within a Node*</li> </ul>
<b>Zoning:</b> C-W (Node 3)	*Denotes required findings.
<b>CEQA:</b> Section 15301 (Existing Facilities)	<b>Staff Recommendation:</b>
<b>Date Submitted:</b> November 19, 2025	Staff recommends that ZAB determine the project is exempt from CEQA pursuant to Section 15301 of the CEQA Guidelines (“Existing Facilities”) and approve ZP2025-0103 pursuant to Section 23.406.040 (E) (1-5) <b>“Findings for Approval”</b> and subject to the attached Findings and Conditions of Approval.
<b>Date Deemed Complete:</b> January 20, 2026	
<b>Project Planner:</b> Boshi Fu	

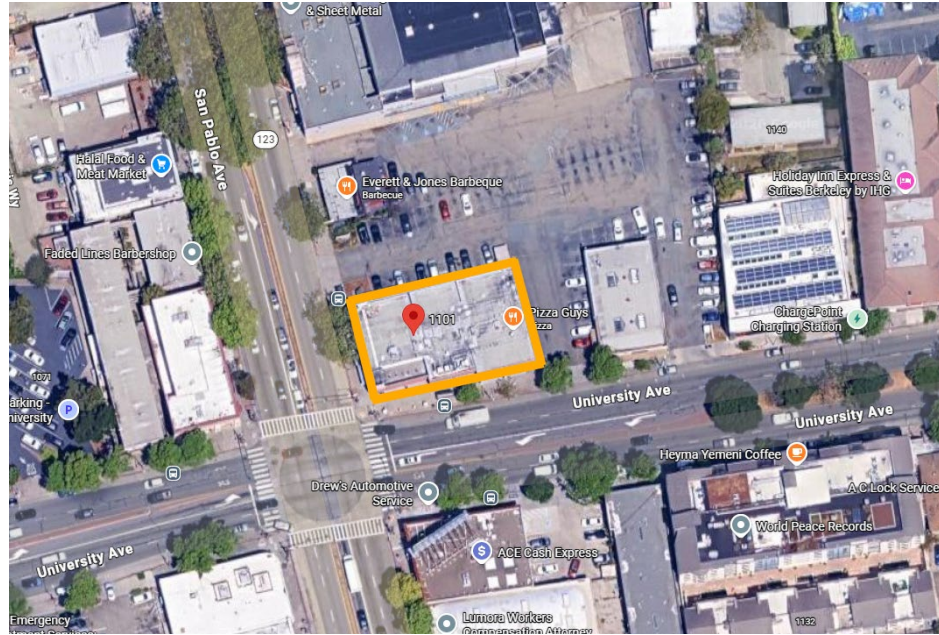
**ZONING MAP & NODE MAP**



**Figure 1: Vicinity and Zoning Districts Map**

Comparison of Adjacent Properties			
Vicinity	GP Land Use	Zoning	Current Use
North	Avenue Commercial	West Berkeley Commercial District (C-W)	Parking
South	Avenue Commercial	West Berkeley Commercial District (C-W)	Retail & Mixed Commercial
East	Avenue Commercial	University Commercial District (C-U)	Retail
West	Avenue Commercial	West Berkeley Commercial District (C-W)	Mixed Commercial (vacant)

**AERIAL**



**STREET ELEVATION**

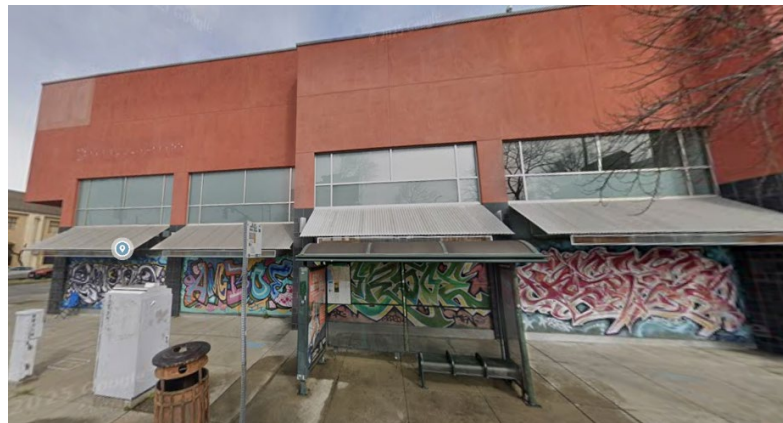


Image 1: University Avenue Side Facade (South)



Image 2: San Pablo Avenue Side Facade (West)

## **BACKGROUND**

### **Subject Site**

The subject site is a corner lot located in the northeast of the University Avenue and San Pablo Avenue intersection. The 13,100 square foot lot is developed with a one-story multi-tenant space commercial building with four units. The project scope is limited to the western most unit of the building (1101 University Avenue), which has a floor area of approximately 5,516 square feet and is currently vacant.

The adjacent unit to the east (1105 University Avenue) of the project unit is currently vacant and was last approved as a food service establishment. The unit to the east (1109 University Avenue) is also approved for a food service establishment. The remaining tenant space (1107 University Avenue), located to the north of 1109 University Avenue, was last approved as a personal or household service use.

The parcel is located within the C-W zoning district and in a Designated Node (Node 3). Designated Nodes are specific areas along major intersections on San Pablo Avenue, to encourage greater concentration of retail, commercial, and other mixed-use activity. These areas are intended to reinforce pedestrian oriented development, support activity near transit transfer points, and help define the urban form of the corridor. The proposed business is a retail use, which is one of the types of land uses allowed on the ground floor within a node.

The property includes 10 off street parking spaces located along the northern side of the building, two of which are accessible parking and owned by an adjacent parcel through a parking agreement. Primary vehicular access is provided from both University Avenue and San Pablo Avenue. Additionally, pursuant to BMC Section 23.322.020(D) and [California Government Code Section 65863.2](#), off-street parking spaces are not required for a new use that is located within 0.5 miles of a major transit stop.

### **Site History**

The property was previously used as a gasoline service station by at least 1965, which was later approved for demolition in 1986 under Zoning Permit UP#A1182, to build a new 920 square foot building for the same use. In 1988, additional approvals were issued to demolish the former service station, including UP #A1485 and ZP #9182.

The current commercial building was approved under Use Permit #A2081 in 1993, which allowed the demolition of a vacant 4,000 square foot commercial building and to construct a 15,388 square feet retail building with a 3,500 square feet video rental store. Use Permit #A2081 was later modified twice, once in July of 1995 to reduce the size of the original proposal to 8,500 square feet and to allow a food service establishment. Then again in September of 1995 to extend the hours of operation of the video rental store to midnight.

- In 1998, Use Permit #A2225 was issued as a transfer permit to allow Subway Sandwiches to operate as a food service establishment in Suite B, which is now 1105 University Avenue.
- In 2003, AUP#03-20000066 was approved to establish a retail pet store (Pet Food Express) in the subject unit.
- In 2019, the subject unit obtained Zoning Certificates #ZCBL2019-0437 to establish a

Halloween retail store.

- In 2020, the subject unit obtained Zoning Certificate #ZCBL2020-0031 for a cannabis retailer. However, the cannabis retailer never began operation, and the space has remained vacant since this approval.
- Various interior improvement and exterior alteration permits have been issued to the property; however, the building has largely retained its design and mass.

In July of 2025, the current project applicants applied for a Building Permit (B2025-02775) for tenant improvements within 1101 University Avenue. This triggered the Use Permit application for a new Vehicle Parts Store when involving 5,000 square feet or more of floor area and 10,000 square feet or more of lot area.

## **ANALYSIS**

### **Project Scope**

The proposed project is for a change of use to establish a new Vehicle Parts Store, specifically O'Reilly Auto Parts. The change of use will occur within the 5,516 square foot tenant space with no expansion to the building footprint. The proposed business will include display counters for general retail sales of automotive parts, accessories, and other vehicle-related products. The remaining tenant space will be used for storage of those items and service counter areas. The business will not offer any vehicle repair services or installation of parts sold.

Exterior alterations are limited to new doors, and the building will otherwise remain largely unchanged. Proposed signage will be reviewed and processed under a separate Sign Permit and is not part of this approval.

### **Findings**

Full draft findings for approval can be found in Attachment 2 to the staff report.

The project meets the findings required to recommend approval because the proposed use will not result in detrimental impact to the surrounding area, is consistent with the intent of the C-W District, and is an allowed land use in a Designated Node. The project would activate a vacant commercial tenant space while maintaining the existing building's height, footprint, and mass. Additionally, the proposed business is compatible with surrounding commercial development and complies with the General Plan and West Berkeley Specific Plan. The proposed project is not expected to create significant off-site impacts in terms of traffic, parking, or use compatibility.

### **Environmental Review**

#### **Categorical Exemption**

The project is categorically exempt from the requirements of CEQA pursuant to Section 15301 because it involves a change of use within an existing commercial building with no expansion of the building footprint or floor area.

### **ADVISORY BODY REVIEW**

#### **Landmarks Preservation Commission Review**

This project is not subject to Landmarks Preservation Review as the property is not a designated City landmark nor will the project involve demolition of a non-residential building over 40 years of age.

#### **Design Review Committee Review**

This project is not subject to additional Design Review. The proposed new sign will be reviewed under a Sign Permit separately. A condition of approval has also been imposed for new signage.

### **POLICY CONSISTENCY**

#### **General Plan Consistency**

- **Land Use Element: Avenue Commercial Areas: LU-27** - Maintain and improve Avenue Commercial areas, such as University, San Pablo, Telegraph, and South Shattuck, as pedestrian-friendly, visually attractive areas of pedestrian scale and ensure that Avenue areas fully serve neighborhood needs as well as a broader spectrum of needs.

Action A: Require ground-floor commercial uses to be oriented to the street and sidewalks to encourage a vital and appealing pedestrian experience.

Action E: Maintain and encourage a wide range of community and commercial services, including basic goods and services.

**Staff Analysis:** The project will establish a retail use along University Avenue and San Pablo Avenue, both of which are designated Avenue Commercial corridors and will maintain an active storefront that are oriented to the sidewalks. The project will also support a range of commercial services by establishing a retail use to provide basic goods to nearby residents and customers.

- **Urban Design and Preservation Element: Policy UD-16 – Context** – The design and scale of new or remodeled buildings should respect the built environment in the area, particularly where the character of the built environment is largely defined by an aggregation of historically and architecturally significant buildings.

**Staff Analysis:** The project will not introduce new building massing or changes to the overall scale of the structure. The project involves minor exterior alterations and interior tenant improvements within an existing commercial building which will improve the building aesthetics. The change of use will maintain the existing building form and also the relationship to the surrounding built environment.

#### **West Berkeley Specific Plan**

- **Land Use Element:** Goal 1 *‘Over the economically active area of West Berkeley, provide for a continued economic and land use mix, incorporating manufacturing, other industrial, retail and office/laboratory uses, to benefit Berkeley residents and business economically, benefit the City government fiscally, and promotes the varied and interest character of the area.’*

Policy C – Providing space for, and designating appropriate locations for – in planning and zoning policies – both neighborhood and regional serving retail businesses.

- **Land Use Element:** Goal 2 *‘Channel development – both new businesses and residences and the expansion of existing businesses – to districts various which are appropriate for the various existing elements of the West Berkeley land use mix.’*

Policy E – Create a Commercial district which will foster the continued vitality of West Berkeley’s neighborhood and regional serving retail trade, in as pedestrian-friendly a manner as possible

**Staff Analysis:** The proposed project will establish a retail use within a designated node. The current location will serve the retail activity of the adjacent neighborhood. The project will also not displace any manufacturing or other industrial uses and contributes to maintaining a mix of uses in West Berkeley. The project will activate a vacant tenant space and support the commercial activity along a major transit corridor where several nearby commercial units are currently vacant.

- **Economic Development Element:** Goal 3 *‘Improve the level of neighborhood serving retail in West Berkeley’*

Policy A: – Explore how neighborhood serving retail uses might be brought to San Pablo Avenue

**Staff Analysis:** The business is a neighborhood serving retail store along the San Pablo Avenue corridor. The proposed Vehicle Parts Store provides goods and services to local residents and contributes to improving access to retail use in West Berkeley. The project will activate a vacant tenant space and will also support the commercial activity along a major corridor. This is consistent with the Specific Plan’s intent to strengthen retail presence in commercial areas.

### **RECOMMENDATION**

Because of the project's consistency with the Zoning Ordinance and General Plan, and minimal impact on surrounding properties, staff recommends that the Zoning Adjustments Board:

1. **FIND** that the project is categorically exempt from the provisions of CEQA pursuant to Section 15301 of the CEQA Guidelines ("Existing Facilities"); and
2. **APPROVE** ZP2025-0103 pursuant to BMC Section 23.406.040(D) and subject to the attached Findings and Conditions (see Attachments 2 and 3).

### **Attachments**

1. Tables:
  - a. Table 1: Project Chronology
  - b. Table 2: Special Characteristics
  - c. Table 3: Development Standards
2. Draft Findings
3. Draft Conditions of Approval
4. Project Plans, dated February 3, 2026.
5. Notice of Public Hearing

**Attachment 1**

**Table 1: Project Chronology**

Date	Action
January 20, 2026	Application deemed complete
February 3, 2026	CEQA Exempt Recommendation by Staff
	Application processing <sup>a</sup>
April 30, 2026	Public hearing notices mailed/posted
May 14, 2026	ZAB hearing
Notes: a. Application processing reflects the project compliance review after the application is deemed complete. Submittals are reviewed within 30 days of receipt, pursuant to the Permit Streamlining Act.	

**Table 2: Special Characteristics**

Characteristic	Applicability	Explanation
Affordable Child Care Fee for qualifying non-residential projects (Per Resolution 66,618-N.S.)	No	These fees apply to net newly constructed nonresidential gross floor area over 7,500 square feet. The project includes less than 7,500 square feet of new net commercial space. Therefore, the project is not subject to this fee.
Affordable Housing Fee for qualifying non-residential projects (Per Resolution 66,617-N.S.)		
Affordable / Inclusionary Housing Requirements (BMC Chapter 23.328)	No	The project is not a housing development project, as defined in BMC 23.328.020 <sup>a</sup> .
Alcohol Sales/Service	No	The project will not propose any alcohol sales or service with this permit.
Bird Safe Buildings (BMC Section 23.304.150)	No	The project will not include any new construction or addition and is not proposing to replace any transparent or reflective material on the existing building.
Coast Live Oak Trees (BMC Chapter 6.52)	No	There are no Coast Live Oak ( <i>Quercus agrifolia</i> ) trees on the project site.
Creeks	No	No creek or culvert, as defined by BMC Chapter 17.08, exists on or within 30 feet of the project site.
Density Bonus	No	The project will not propose any new residential housing units and therefore not subject to State or Local Density Bonus.
Hard Hats (BMC Chapter 13.107)	No	The project does not meet the definition of a “ <a href="#">Covered Project</a> ” which includes construction, alteration, or demolition of 50,000 square feet or more of floor area which has not received its final permits, variances, approvals and/or other entitlements.
Historic Resources	No	The project does not involve any alteration or demolition of a non-commercial building over 40 years old. The property is also not designated as a City Landmark, Structure of Merit, or within a Historic District.

Characteristic	Applicability	Explanation
Housing Accountability Act (HAA) (Gov't Code Section 65589.5(j))	No	The project is a proposed retail use in a commercial building, and does not meet the definition of a "Housing Development Project" per Government Code Section 65589.5(h)(2) <sup>b</sup> . Therefore, the HAA regulations do not apply.
Housing Crisis Act of 2019 (SB 330)	No	The project does not meet the definition of a "Housing Development Project" per Government Code Section 65589.5(h)(2) <sup>b</sup> .
Opportunity Sites	No	The subject site is not identified as an opportunity site in the Adopted 2023-2031 Housing Element.
Rent Controlled Units	No	The project does not involve the demolition of residential or non-residential structures; no rent-controlled units would be demolished
Residential Preferred Parking (RPP)	No	The site is not located in an RPP zone. The project is not eligible for RPP permits per BMC Section 14.72.080(C)(1) as no permits shall be issued to residents in newly constructed residential units.
Seismic Hazards (SHMA)	No	The project site is not located within an area susceptible to landslide/liquefaction/fault rupture as shown on the <a href="#">State Seismic Hazard Zones</a> map. <sup>c</sup>
Soil/Groundwater Contamination	No	The site is not on the Cortese List. <sup>d</sup> The property has a prior case as a Leaking Underground Storage Tank (LUST) cleanup site, which was associated with the former Chevron gas station ( <a href="#">Case No. T0600100289</a> ). However, that case was closed and completed on March 8, 2005.  The property is located within the City's Environmental Management Area. However, the project does not include any structural alterations, ground excavation, or other site disturbances that would have the potential to affect soil or groundwater conditions.
Transit	Yes	The project site is served by multiple AC Transit bus lines (local and Transbay) that operate within ¼ mile of the site, and is approximately 0.55 miles west from the North Berkeley Bay Area Rapid Transit (BART) Station.
<p>Notes:</p> <p>a. BMC 23.328.020(E) defines a "Housing Development Project" for purposes of inclusionary housing requirements as "a development project, including a Mixed-Use Residential project involving the new construction of at least one Residential Unit. Projects with one or more buildings or projects including multiple contiguous parcels under common ownership or control shall be considered as a sole Housing Development Project and not as individual projects.</p> <p>b. Government Code Section 65589.5(h)(2) "Housing development project" means a use consisting of any of the following: (A) residential units only, (B) mixed-use developments consisting of residential and nonresidential uses in which at least two-thirds of the square footage is designated for residential use, and (C) transitional or supportive housing. Government Code Section 65905.5(b)(3)(C) "Housing development project" includes a proposal to construct a single dwelling unit. This subparagraph shall not affect the interpretation of the scope of paragraph (2) of subdivision (h) of Section 65589.5.</p> <p>c. California Department of Conservation. DOC Maps: Geologic Hazards. Available: <a href="https://maps.conservation.ca.gov/geologic Hazards/">https://maps.conservation.ca.gov/geologic Hazards/</a></p> <p>d. Cortese List is an annually updated list of hazardous materials sites compiled pursuant Government Code Section 65962.5.</p>		

**Table 3: West Berkeley Commercial District (C-W) Zoning District Development Standards  
BMC Sections 23.204.140 and 23.322 Parking and Loading**

Standard		Existing	Addition/ (Reduction)	Proposed Total	Permitted/ Required
Lot Area (sq. ft.)		13,100	No change	13,100	No min.
Gross Floor Area (sq. ft.)		5,516 (unit only)	No change	5,516	No min.
Floor Area Ratio		0.63 (entire building)	No change	0.63	3.0 max.
Lot Coverage (%)		63 (entire building)	No change	63	100 max.
Commercial Floor Area		5,516 (unit only)	No change	5,516	No min.
Dwelling Units	Total	0	No change	0	n/a.
Building Height (ft. - in.)	Maximum	33'-6" (entire building)	No change	33'-6"	40 ft. max.
	Stories	1 (entire building)	No change	1	3 stories max.
Building Setbacks (ft. - in.)	Front (West) (San Pablo)	0'-0" (entire building)	No change	0'-0"	No min.
	Left Interior Side (North)	34'-1" (entire building)	No change	34'-1"	No min.
	Right Street Side (South)	0'-0" (entire building)	No change	0'-0"	No min.
	Rear (East)	0'-0" (entire building)	No change	0'-0"	No min.
Usable Open Space (sq. ft.)		0	No change	0	n/a.
Automobile Parking		8 <sup>1</sup>	No change	8	n/a <sup>2</sup>
Bicycle Parking		n/a	No change	n/a	n/a
Abbreviations: sq. ft. = square feet; max. = maximum; min. = minimum; n/a = not applicable; % = percent; avg. = average, ft = feet ('), in. = inches (")					
Notes:					
1. The lot contains 10 parking spaces, with 2 extra accessible parking spaces on the property owned by a neighboring property through a parking agreement.					
2. <a href="#">AB-2097</a> , effective January 1, 2023, prohibits local jurisdictions from requiring minimum parking for most non-residential uses located within a 1/2 mile of public transit.					



# Zoning Adjustments Board Findings

**APP #ZP2025-0103**

**May 14, 2026**

## Use Permit for 1101 University Avenue



<b>Quick Facts</b>	<b>Project Description:</b>
<b>Applicant:</b> Steven Appel	The applicant is seeking approval to change the use of 5,516 square feet of an existing vacant unit, last approved for a cannabis retailer, to a Vehicle Parts Store (O’Reilly), on a 13,100 square foot lot within a Designated Node of the C-W zoning district.
<b>Project Address:</b> 1101 University Avenue	
<b>Site Size:</b> 13,100 sqft.	<b>Zoning Permits Requested:</b>
<b>GP Land Use:</b> Avenue Commercial	A Use Permit Public Hearing is required for the following permit:
<b>Zoning:</b> C-W (Node 3)	<ul style="list-style-type: none"> <li><b>New Use.</b> BMC Section 23.204.020(A) <b>“Allowed Land Use”</b> to establish a new Vehicle Parts Store in the C-W zoning district, within a Node*</li> </ul>
<b>CEQA:</b> Section 15301 (Existing Facilities)	*Denotes required findings.
<b>Date Submitted:</b> November 19, 2025	<b>Staff Recommendation:</b>
<b>Date Deemed Complete:</b> January 20, 2026	Staff recommends that ZAB determine the project is exempt from CEQA pursuant to Section 15301 of the CEQA Guidelines (“Existing Facilities”) and approve ZP2025-0103 pursuant to Section 23.406.040 (E) (1-5) <b>“Findings for Approval”</b> and subject to the attached Findings and Conditions of Approval.
<b>Project Planner:</b> Boshi Fu	



## Zoning Adjustments Board Findings

### CEQA

#### Categorical Exemption

The project is categorically exempt from the requirements of CEQA pursuant to Section 15301 'Existing Facilities'

Evidence: The proposed project is categorically exempt from the requirements of CEQA Section 15301 as it includes interior alterations involving such things as interior partitions, plumbing, and electrical conveyances. The project will only involve change of use within an existing commercial building with no expansion of the building footprint or floor area.

### FINDINGS FOR APPROVAL

As required by BMC Section 23.406.040(E) (1-5) "Findings for Approval," the following findings shall be made:

#### **1. To approve a Use Permit, the ZAB shall find that the proposed project or use:**

- a. Will not be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or visiting in the area or neighborhood of the proposed use; and

Evidence: The proposed project will not be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in the area or neighborhood, of the proposed use because the project mainly involves a change of use within an existing building. There are no changes to the building's footprint, and no physical additions will occur. The proposed use is permitted under the permitted uses for the district and will not result in excessive negative impacts on the neighboring properties. The proposed project is not expected to create off-site impacts beyond those typically associated with a retail use. Therefore, the project will be compatible with the surrounding commercial and residential uses and will not result in detrimental impact to the area.

- b. Will not be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City.

Evidence: The proposed project will not be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood or to the general welfare of the City because it maintains the existing building height, footprint, massing, lot coverage, and façade configuration. The proposal is



## Zoning Adjustments Board Findings

consistent with the purpose of the C-W district, as noted in Finding 2(b) below. By introducing a new retail use to a vacant unit, it will help support the district's purpose to implement the West Berkeley Plan Commercial District designation and enhance the wide range of commercial services. The project will also activate an underutilized tenant space and improve the overall appearance of the property, which is currently in a somewhat deteriorated condition.

### 2. To approve the Use Permit, the ZAB must also make any other Use Permit findings specifically required by the Zoning Ordinance for the proposed project:

- a. Pursuant to BMC Section 23.204.140(D)(5) '*Findings in a Designated Node*', to approve a Use Permit or AUP for a project in a designated node, the review authority must find that the project supports the development of a strong retail commercial and pedestrian-oriented environment at the node. Factors the review authority should consider when making this finding include:

- i. The placement of store entrances relative to the street and parking lots; and

Evidence: This finding is met because the project space includes entrances that front onto the public sidewalk along University Avenue and an additional entrance facing the parking lot to the north. These entrances provide direct pedestrian access from the street and parking areas and support visibility from the public right-of-way. As reflected on the project plans, no changes are proposed to the existing building configuration.

- ii. The size and prominence of display windows and areas facing the sidewalk.

Evidence: This finding is met because the project space includes storefront windows along the street frontage and portions of the parking lot frontage. The existing building façade already includes a high level of visibility, which allows viewing of retail goods within the space and contributes to a pedestrian-oriented environment.

- b. Pursuant to BMC Section 23.204.140(F) '*General Findings for C-W Districts*', to approve an AUP or Use Permit for a project in the C-W district, the review authority must make the findings in Section 23.406.040 (Use Permits) and find that the proposed use or structure:

- i. Is consistent with the purposes of the district;



## Zoning Adjustments Board Findings

Evidence: The project proposal is consistent with the purpose of the C-W district because the project will activate a retail use to provide goods to the neighboring residents and businesses. This will support a mix of commercial uses on a major intersection and will also utilize a vacant tenant space in a designated commercial node. The project is believed to contribute to the overall increase of commercial activity and will support a pedestrian-oriented environment.

In addition to consistency with the purposes of the base district, the project also aligns with the purpose of a Designated Node. The project will use a vacant commercial tenant space at a major intersection and will support the concentration of retail activity in a designated node. The proposed use contributes to an active, pedestrian-oriented environment by supporting the existing commercial activity along University Avenue and San Pablo Avenue. The proposed land use of Vehicle Parts Store is categorized as Retail Sales and is one of the allowed uses on the ground floor of a designated node, as outlined in BMC Section 23.204.140(D)(3).

- ii. Is compatible with the surrounding uses and buildings;

Evidence: This finding is met because the project maintains the active ground floor commercial use and will continue to support a positive mixture of commercial businesses in the surrounding properties. The surrounding buildings range from retail, office space, personal goods and services, and food services. The project will continue to promote a positive mixture of commercial use will not introduce any new incompatible mass or use.

- iii. Complies with the adopted West Berkeley Plan;

Evidence: This finding is met as the project complies with the adopted West Berkeley Plan to establish retail use within a commercial corridor without further replacing manufacturing, warehousing, or other mixed-use industrial uses. The project will utilize a vacant space and will further contribute to the variety of commercial uses in the neighborhood.

The Project also aligns with the purpose of Designated Nodes to intensify retail, commercial, and mixed-use activity around major intersections.



## Zoning Adjustments Board Findings

- iv. Supports an increase in the continuity of retail and service facilities at the ground level to the degree feasible;

Evidence: This finding is met because the project will use a tenant space that has previously been vacant with a retail use, which will contribute to the continuity of retail and services at the ground level along the street.

- v. Does not substantially degrade the existing urban fabric of the street and area;

Evidence: This finding is met because the proposal will not introduce any exterior modifications to the building beyond minor alterations to windows and doors. Therefore, the project will not substantially degrade the existing urban fabric of the street and area.

- vi. If the project includes the construction of new floor area, provides an intensity of development which does not underutilize the property;

Evidence: N/A.

- vii. Meets any applicable performance standards for off-site impacts; and

Evidence: This finding is met because the proposed vehicle parts store is not expected to generate off-site impacts beyond those of standard retail use. Additionally, the business will not be offering any repair or installation of retail goods.

- viii. Does not exceed the amount and intensity of use that can be served by available traffic capacity and potential parking supply.

Evidence: This finding is met because the proposed retail use is consistent with the existing commercial condition and is not expected to generate traffic or parking beyond what is typical for similar retail uses. The site currently and will continue to provide on-site parking spaces for customers, although parking is no longer required under State Law.<sup>1</sup> The project site is also located along the University Avenue and San Pablo Avenue which both are major corridors served by high-quality public transportation. The proximity to high-quality transit will

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<sup>1</sup> [AB-2097](#), effective January 1, 2023, prohibits local jurisdictions from requiring minimum parking for most non-residential uses located within a 1/2 mile of public transit.



## Zoning Adjustments Board Findings

also support access to the space by providing alternative modes of transportation.

- c. BMC Section 23.204.030(A)(3) 'Additional Findings for C-W Districts', to approve an AUP or Use Permit for new floor area in the C-W district, the review authority (Zoning Adjustments Board) must find that the new use or structure provides an intensity of development which does not underutilize the property.

Evidence: N/A. The project will not propose any new floor area.

### 3. When taking action on a Use Permit, the ZAB shall consider in its findings:

- a. The proposed land use; and

Evidence: This finding is met because the proposed Vehicle Parts Store is a retail commercial use that will operate within an existing tenant space that has historically been used for retail. The proposed business will include the sale of automotive parts and accessories and will not include vehicle parts repair or installation. Therefore, proposed use is consistent with other commercial uses in the area and along the University and San Pablo Avenue corridors.

- b. The structure or addition that accommodates the use.

Evidence: This finding is met because the proposed use will be contained entirely within an existing commercial unit with no expansion of the building footprint or floor area. The project includes only minor interior tenant improvements and limited exterior alterations, and the existing structure is suitable to support the proposed retail use.

### 4. Required findings shall be made based on the circumstances existing at the time a decision is made on the application.

Evidence: The required findings are satisfied because the project has been determined to be fully compliant with all applicable regulations based on the project plans submitted on February 3, 2026, and evaluated based on the existing conditions of the subject site and surrounding neighborhood at the time of decision.

### 5. The ZAB shall deny a Use Permit application if it determines that it is unable to make any of the required findings



## Zoning Adjustments Board Findings

Evidence: N/A



**Site Address:** 1101 University Avenue  
**Application Number:** ZP2025-0103

**Project Description:** The applicant is seeking approval to change the use of 5,516 square feet of an existing vacant unit, last approved for a cannabis retailer, to a Vehicle Parts Store (O'Reilly), on a 13,100 square foot lot within a Designated Node of the C-W zoning district.

### **STANDARD CONDITIONS OF APPROVAL APPLICABILITY**

Development projects approved through the City of Berkeley are subject to Standard Conditions of Approval (Standard COAs). The City of Berkeley has established Standard COAs that identify requirements for the construction and operation of the approved project. This includes general administrative conditions, permitting requirements, project construction and the regulation of on-going, and on-site uses. Compliance requirements with the Berkeley Municipal Code, building permit review and issuance process, construction, final inspection requirements, certificate of occupancy, and on-going operations of the approved use are included in this document.

The Standard COAs may vary based on site size, location, environmental settings, topography, historic alteration or approved uses. Variations in the application of the Standard COAs may occur based on the project scope and site-specific characteristics including but not limited to parcel size, location, topography, and use.

Conditions which have specified thresholds due to size, uses, and other characteristics are identified.

#### **Part I. Administrative Conditions**

- A. General Project Conditions
- B. Project Specific Conditions

#### **Part II. Prior to Issuance of Demolition Permit**

#### **Part III. At the Time of Building Permit Submittal**

#### **Part IV. During Demolition/Construction**

- A. Building & Safety
- B. Land Use Planning
- C. Public Works

#### **Part V. Prior to Final Inspection**



### CONDITIONS OF APPROVAL

**Property Address:** 1101 University Avenue

**Application Number:** ZP2025-0103

<b>I. Administrative Conditions A. General Project Conditions</b>		<u>Regulation Source</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>
1.	<p><b>Project Approval.</b> This Project approval is for 1101 University Avenue, as substantially shown and described on the Project plans dated February 3, 2026, except as required to be modified by Conditions of Approval herein and plans as presented to the Zoning Adjustments Board on May 14, 2026 (“Approval Date.”). For any Condition herein that requires preparation of a Final Plan where the project applicant has submitted a conceptual plan, the Project applicant shall submit final plan(s) in substantial conformance with the conceptual plan and incorporate any required modifications.</p>	City of Berkeley	On-Going	Land Use Planning
2.	<p><b>Approval Limited to Proposed Project and Replacement of Existing Uses.</b> This Use Permit authorizes only the Proposed Project described in the application. This project approval does not authorize other uses, structures or activities not included in the Project Description.</p> <p>When the City approves a new use that replaces an existing use, any prior approval of the existing use becomes null and void when permits for the new use are exercised (e.g., building permit or business license issued). To reestablish the previously existing use, an applicant shall obtain all permits required by the Zoning Ordinance for the use. (BMC Sections 23.404.060.B.1 and 2).</p>	City of Berkeley <a href="#">BMC Section 23.404.060</a>	On-Going	Land Use Planning
3.	<p><b>Compliance Required.</b> All land uses and structures in the City of Berkeley must comply with the Zoning Ordinance and all applicable City ordinances and regulations.</p>	City of Berkeley <a href="#">BMC Section 23.102.050(B)</a>	On-Going	Land Use Planning
4.	<p><b>Other Regulations.</b> Compliance with the Zoning Ordinance does not relieve an applicant from requirements to comply with other federal, state, and City regulations that also apply to the property.</p>	City of Berkeley <a href="#">BMC Section 23.102.050 (E)</a>	On-Going	Land Use Planning



**CONDITIONS OF APPROVAL**

**Property Address:** 1101 University Avenue

**Application Number:** ZP2025-0103

<b>I. Administrative Conditions A. General Project Conditions</b>		<u>Regulation Source</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>
5.	<b>Conformance with Approved Plans.</b> All work performed under an approved Use Permit shall follow the approved plans as presented to ZAB on May 14, 2026, and any Conditions of Approval.	City of Berkeley <a href="#">BMC Section 23.404.060 (B)(4)</a>	On-Going	Land Use Planning
6.	<b>Permit Modifications.</b> No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Zoning Adjustments Board. The Zoning Officer may approve changes to plans approved by the Board which reduce the size of the Project, consistent with the Board’s policy adopted on May 24, 1978.	City of Berkeley <a href="#">BMC Section 23.404.070</a>	On-Going	Land Use Planning
7.	<b>Permit Revocation.</b> The City may revoke or modify a discretionary permit for completed projects due to: 1. Violations of permit requirements; 2. Changes to the approved project; and/or 3. Vacancy for one year or more.  No lawful residential use can lapse, regardless of the length of time of the vacancy. Proceedings to revoke or modify a permit may be initiated by the Zoning Officer, Zoning Adjustments Board, or City Council referral.	City of Berkeley <a href="#">BMC Section 23.404.080</a>	On-Going	Land Use Planning
8.	<b>Permit Remains Effective for Vacant Property.</b> Once a permit for a use is exercised and the use is established, the permit authorizing the use remains effective even if the property becomes vacant. The same use as allowed by the original permit may be re-established without obtaining a new permit, except as set forth in Standard COA #5 above.	City of Berkeley <a href="#">BMC Section 23.404.060</a>	On-Going	Land Use Planning



**CONDITIONS OF APPROVAL**

**Property Address:** 1101 University Avenue

**Application Number:** ZP2025-0103

<b>I. Administrative Conditions</b>		<u>Regulation Source</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>
<b>A. General Project Conditions</b>				
9.	<p><b>Exercise and Expiration of Permits</b> A permit authorizing a land use is exercised when both a valid City business license is issued (if required) and the land use is established on the property.</p> <p>A. A permit authorizing a land use is exercised when both a valid City business license is issued (if required) and the land use is established on the property.</p> <p>B. A permit authorizing construction is exercised when both a valid City building permit (if required) is issued and construction has lawfully begun.</p> <p>C. The Zoning Officer may declare a permit lapsed if it is not exercised within one year of its issuance, except if the applicant has applied for a building permit or has made a substantial good faith effort to obtain a building permit and begin construction. The Zoning Officer may declare a permit lapsed only after 14 days written notice to the applicant. A determination that a permit has lapsed may be appealed to the Zoning Adjustments Board in accordance with Chapter 23.410 (Appeals and Certification).</p> <p>D. A permit declared lapsed shall be void and of no further force and effect. To establish the use or structure authorized by the lapsed permit, an applicant must apply for and receive City approval of a new permit.</p>	<p>City of Berkeley  <a href="#">BMC Section 23.404.060 (C)</a></p>	On-Going	Land Use Planning



**CONDITIONS OF APPROVAL**

**Property Address:** 1101 University Avenue

**Application Number:** ZP2025-0103

<b>I. Administrative Conditions A. General Project Conditions</b>		<u>Regulation Source</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>
10.	<p><b>Hold Harmless.</b> The permittee agrees as a Condition of Approval of this application to indemnify, protect, defend with counsel selected by the City, and hold harmless, the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents, from and against any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorney’s fees and disbursements (collectively, “Claims”) arising out of or in any way relating to the approval of this application, any actions taken by the City related to this entitlement, or any environmental review conducted under the California Environmental Quality Act, Public Resources Code Section 210000 et seq., for this entitlement and related actions. The indemnification shall include any Claims that may be asserted by any person or entity, including the permittee, arising out of or in connection with the approval of this application, whether or not there is concurrent, passive or active negligence on the part of the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents. The permittee’s duty to defend the City shall not apply in those instances when the permittee has asserted the Claims, although the permittee shall still have a duty to indemnify, protect and hold harmless the City.</p>	City of Berkeley	On-Going	Land Use Planning
11.	<p><b>Compliance with Conditions of Approval.</b> The Building Permit application is subject to verification of compliance of these Conditions of Approval. The applicant shall be responsible for demonstrating compliance with all Conditions of Approval per the timeline set forth by this Permit.</p>	City of Berkeley	On-Going	Land Use Planning



### CONDITIONS OF APPROVAL

**Property Address:** 1101 University Avenue

**Application Number:** ZP2025-0103

I. Administrative Conditions B. Project Specific Conditions		Regulation Source	Timing/Implementation	Enforcement/ Monitoring
1.	Pursuant to BMC 23.404.050(H), the Zoning Adjustments Board attaches the following additional Conditions of Approval to this Permit: <ul style="list-style-type: none"> <li>All new signage and awnings associated with the business shall be subject to Design Review approval, prior to installation.</li> </ul>	City of Berkeley <a href="#">BMC Section 23.040.050 (H)</a>		

I. Administrative Conditions C. On-Going Operational Conditions		Regulation Source	Timing/Implementation	Enforcement/ Monitoring
1.	<b>Exterior Lighting.</b> All exterior lighting shall be energy efficient where feasible; and shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.	City of Berkeley	On-Going	Land Use Planning

II. At the Time of Building Permit Submittal		Regulation Source	Timing/Implementation	Enforcement/ Monitoring
1.	<b>Conditions of Approval Included in Building Permit Plan Submittal</b>  <b>A. Use Permit.</b> The Conditions of Approval for this Permit shall be printed on the <i>second</i> sheet of each plan set submitted for a building permit pursuant to this Permit, under the title ‘Use Permit Conditions.’  <i>Additional sheets may also be used if the second sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; (8-1/2” by 11” sheets are not acceptable)</i>	City of Berkeley	Prior to Demolition Permit Issuance	Building & Safety/Land Use Planning



**CONDITIONS OF APPROVAL**

**Property Address:** 1101 University Avenue

**Application Number:** ZP2025-0103

2.	<p><b>Project Liaison.</b> The applicant shall include in all building permit plans and post onsite the name, e-mail address, and telephone number of an individual empowered to manage construction-related complaints generated from the Project. The individual’s name, telephone number, and responsibility for the Project shall be posted at the project site for the duration of the Project in a location easily visible to the public. The individual shall record all complaints received and actions taken in response and submit written reports of such complaints and actions to the project planner on a weekly basis.</p> <p><b>Please designate the name of this individual below:</b></p> <p><input type="checkbox"/> <b>Project Liaison</b> _____                  Name Phone #</p>	City of Berkeley	Prior to Demolition Permit Issuance	Building & Safety/Land Use Planning
3.	<p><b>Construction Noise Management - Public Notice Required.</b> At least two weeks prior to initiating any construction activities at the site, the applicant shall provide notice to businesses and residents within <b>500 feet</b> of the project site. This notice shall at a minimum provide the following:</p> <ol style="list-style-type: none"> <li>1. Project Description</li> <li>2. Description of construction activities during extended work hours and reason for extended hours,</li> <li>3. Daily construction schedule (i.e., time of day) and expected duration (number of months),</li> <li>4. The name, e-mail, and phone number of the Project Liaison for the Project that is responsible for responding to any local complaints, and</li> <li>5. Construction work is about to commence. The liaison would determine the cause of all construction-related complaints (e.g., starting too early, bad muffler, worker parking, etc.) and institute reasonable measures to correct the problem. A copy of such notice and methodology for distributing the notice shall be provided in advance to the City for review and approval.</li> </ol>	City of Berkeley	Prior to Demolition Permit Issuance (At least Two Weeks Prior to Construction Commencement)	Building & Safety Division
4.	<p><b>Public Works ADA.</b> Plans submitted for building permit shall include replacement of sidewalk, curb, gutter, and other streetscape improvements, as necessary to comply with current City of Berkeley standards for accessibility.</p>	City of Berkeley	At Building Permit Submittal	Public Works



**CONDITIONS OF APPROVAL**

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<p>5.</p>	<p><b>National Pollution Discharge Elimination System (NPDES).</b> The applicant shall demonstrate compliance with the City’s National Pollution Discharge Elimination System (NPDES) permit as described in BMC Section 17.20. The following conditions apply:</p> <p><b>A.</b> The Project plans shall identify and show site-specific Best Management Practices (BMPs) appropriate to activities conducted on-site to limit to the maximum extent practicable the discharge of pollutants to the City's storm drainage system, regardless of season or weather conditions.</p> <p><b>B.</b> Trash enclosures and/or recycling areas shall be covered, and no other areas shall drain onto these areas. Drains in any wash or process area shall not discharge to the storm drain system; these drains should connect to the sanitary sewer. Applicant shall contact the City of Berkeley and the East Bay Municipal Utility District (EBMUD) for specific connection and discharge requirements. Discharges to the sanitary sewer are subject to the review, approval and conditions of the City of Berkeley and EBMUD.</p> <p><b>C.</b> Landscaping shall be designed with efficient irrigation to reduce runoff, promote surface infiltration and minimize the use of fertilizers and pesticides that contribute to stormwater pollution. Where feasible, landscaping should be designed and operated to treat runoff. When and where possible, xeriscape and drought tolerant plants shall be incorporated into new development plans.</p> <p><b>D.</b> Design, location and maintenance requirements and schedules for any stormwater quality treatment structural controls shall be submitted to the Department of Public Works for review with respect to reasonable adequacy of the controls. The review does not relieve the property owner of the responsibility for complying with BMC Chapter 17.20 and future revisions to the City's overall stormwater quality ordinances. This review shall be conducted prior to the issuance of a building permit.</p> <p><b>E.</b> All paved outdoor storage areas shall be designed to reduce/limit the potential for runoff to contact pollutants.</p>	<p>City of Berkeley  <a href="#">BMC Section 17.20</a></p>	<p>At Building Permit          Submittal</p>	<p>Public Works</p>
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**CONDITIONS OF APPROVAL**

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<p><b>F.</b> All on-site storm drain inlets/catch basins shall be cleaned at least once a year immediately prior to the rainy season. The property owner shall be responsible for all costs associated with proper operation and maintenance of all storm drainage facilities (pipelines, inlets, catch basins, outlets, etc.) associated with the Project, unless the City accepts such facilities by Council action. Additional cleaning may be required by City of Berkeley Public Works Engineering Department.</p> <p><b>G.</b> All on-site storm drain inlets must be labeled “No Dumping – Drains to Bay” or equivalent using methods approved by the City.</p> <p><b>H.</b> Washing and/or steam cleaning shall be done at an appropriately equipped facility that drains to the sanitary sewer. Any outdoor washing or pressure washing shall be managed in such a way that there is no discharge of soaps or other pollutants to the storm drain. Sanitary connections are subject to the review, approval and conditions of the East Bay Municipal Utility District.</p> <p><b>I.</b> All loading areas shall be designated to minimize run-on or run-off from the area. Accumulated wastewater that may contribute to the pollution of stormwater must be drained to the sanitary sewer or intercepted and pretreated prior to discharge to the storm drain system. The property owner shall ensure that BMPs are implemented to prevent potential stormwater pollution. These BMPs shall include, but are not limited to, a regular program of sweeping, litter control and spill cleanup.</p> <p><b>J.</b> Sidewalks and parking lots shall be swept regularly to prevent the accumulation of litter and debris. If pressure washed, debris must be trapped and collected to prevent entry to the storm drain system. If any cleaning agent or degreaser is used, wash water shall not discharge to the storm drains; wash waters should be collected and discharged to the sanitary sewer. Discharges to the sanitary sewer are subject to the review, approval and conditions of the sanitary district with jurisdiction for receiving the discharge.</p> <p><b>K.</b> The applicant is responsible for ensuring that all contractors and sub-contractors are aware of and implement all stormwater quality control measures. Failure to comply with the approved construction BMPs shall result in the issuance of correction notices, citations, or a project stop work order.</p>			
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**CONDITIONS OF APPROVAL**

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<b>V. During Demolition/Construction A. Building &amp; Safety</b>		<u>Regulation Source</u>	<u>Timing/Implementation</u>	<u>Enforcement/ Monitoring</u>
1.	<b>Construction Hours.</b> Construction activity shall be limited to between the hours of 7:00 AM and 6:00 PM on Monday through Friday, and between 9:00 AM and 4:00 PM on Saturday. No construction-related activity shall occur on Sunday or any Federal holiday.	City of Berkeley <a href="#">BMC 13.40.070 (B) (7)</a>	During Demolition/Construction	Building & Safety
2.	<b>Construction Hours Exceptions.</b> Prior to initiating any activity that might require a longer period, the applicant shall notify the Zoning Officer in writing and request an exception for a specific period of time. If an exception is approved, then the applicant shall notify businesses and residents within 500 feet of the Project site describing the expanded construction hours two weeks prior to the expanded schedule start. The Project shall only be allowed 15 extended working days.	City of Berkeley	During Demolition/Construction	Environmental Health/ Land Use Planning
3.	<b>Project Construction Website.</b> The applicant shall establish a project construction website with the following information clearly accessible and updated monthly or more frequently as changes warrant: <ul style="list-style-type: none"> <li>• Contact information (i.e. “hotline” phone number, and email address) for the Project construction manager</li> <li>• Calendar and schedule of daily/weekly/monthly construction activities</li> <li>• The final Conditions of Approval, Mitigation Monitoring and Reporting Program, Transportation Construction Plan, Construction Noise Reduction Program, and any other reports or programs related to construction noise, air quality, and traffic.</li> </ul>	City of Berkeley	During Demolition/Construction	Building & Safety
4.	<b>Construction / No Parking Permits.</b> If “Construction/No Parking Permits” are required, the applicant shall contact the Permit Service Center for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). The Zoning Officer and/or Traffic Engineer may limit off-site parking of construction-related vehicles if necessary to protect the health or safety of the surrounding neighborhood.	City of Berkeley	During Demolition/Construction	Building & Safety



**CONDITIONS OF APPROVAL**

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<b>V. During Demolition/Construction: B. Land Use Planning</b>		<u>Regulation Source</u>	<u>Timing/Implementation</u>	<u>Enforcement/ Monitoring</u>
1.	<p><b>Avoid Disturbance of Nesting Birds.</b> Initial site disturbance activities, including vegetation and concrete removal, shall be prohibited during the general avian nesting season (February 1 to August 30), if feasible. If nesting season avoidance is not feasible, the applicant shall retain a qualified biologist to conduct a preconstruction nesting bird survey to determine the presence/absence, location, and activity status of any active nests on or adjacent to the Project site. The extent of the survey buffer area surrounding the site shall be established by the qualified biologist to ensure that direct and indirect effects to nesting birds are avoided. To avoid the destruction of active nests and to protect the reproductive success of birds protected by the Migratory Bird Treaty Act and the California Fish &amp; Game Code, nesting bird surveys shall be performed not more than 14 days prior to scheduled vegetation and concrete removal. In the event that active nests are discovered, a suitable buffer (typically a minimum buffer of 50 feet for passerines and a minimum buffer of 250 feet for raptors) shall be established around such active nests and no construction shall be allowed inside the buffer areas until a qualified biologist has determined that the nest is no longer active (e.g., the nestlings have fledged and are no longer reliant on the nest). No ground-disturbing activities shall occur within this buffer until the qualified biologist has confirmed that breeding/nesting is completed and the young have fledged the nest. Nesting bird surveys are not required for construction activities occurring between August 31 and January 31.</p>	<p>California Department of Fish &amp; Wildlife (CDFW)/ City of Berkeley</p>	<p>During Demolition/Construction</p>	<p>Land Use Planning</p>



**CONDITIONS OF APPROVAL**

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2.	<p><b>Unanticipated Discovery of Paleontological Resources.</b> In the event of an unanticipated discovery of a paleontological resource during construction, excavations within 50 feet of the find shall be temporarily halted or diverted until the discovery is examined by a qualified archeologist (per Secretary of Professional Qualification Standards National Park Service 1983). The qualified paleontologist shall document the discovery as needed, evaluate the potential resource, and assess the significance of the find. The archeologist shall notify the appropriate agencies to determine procedures that would be followed before construction is allowed to resume at the location of the find. If the City determines that avoidance is not feasible, the archeologist shall prepare an excavation plan for mitigating the effect of the Project on the qualities that make the resource important, and such plan shall be implemented. The plan shall be submitted to the City for review and approval.</p>	City of Berkeley	During Demolition/Construction	Land Use Planning
3.	<p><b>Unanticipated Discovery of Tribal Cultural Resources.</b> In the event that Tribal Cultural Resources are identified during construction, all work within 50 feet of the discovery shall be redirected. The Project applicant and Project construction contractor shall notify the Land Use Planning Division within 24 hours. The City will contact any tribes who have requested consultation under AB 52 (if applicable), as well as contact a qualified archaeologist, to evaluate the resources and situation and provide recommendations. If it is determined that the resource is a Tribal Cultural Resource and thus significant under CEQA, a mitigation plan shall be prepared and implemented in accordance with State guidelines and in consultation with Native American groups. If the resource cannot be avoided, additional measures to avoid or reduce impacts to the resource and to address tribal concerns may be required.</p>	City of Berkeley	During Demolition/Construction	Land Use Planning



### CONDITIONS OF APPROVAL

**Property Address:** 1101 University Avenue

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<b>V. During Demolition/Construction: C. Public Works</b>		<u>Regulation Source</u>	<u>Timing/Implementation</u>	<u>Enforcement/ Monitoring</u>
1.	<b>Debris.</b> All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter thick and secured to the ground.	City of Berkeley	During Construction	Public Works
2.	<b>Excavation.</b> The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.	City of Berkeley	During Construction	Public Works
3.	<b>Sandbags.</b> The Project sponsor shall maintain sandbags or other devices around the site perimeter during the rainy season to prevent on-site soils from being washed off-site and into the storm drain system. The Project sponsor shall comply with all City ordinances regarding construction and grading.	City of Berkeley	During Construction	Public Works
4.	<b>Fire Hydrant.</b> The removal or obstruction of any fire hydrant shall require the submission of a plan to the City's Public Works Department for the relocation of the fire hydrant during construction.	City of Berkeley	During Construction	Public Works
5.	<b>Underground Utilities.</b> If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.	City of Berkeley	During Construction	Public Works
6.	<b>Public Works - Implement Bay Area Air District Recommended Measures during Construction.</b> For all proposed projects, the Bay Area Air District recommends implementing all the Basic Construction Mitigation Measures, listed below to meet the best management practices threshold for fugitive dust: All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day. All haul trucks transporting soil, sand, or other loose material off-site shall be covered. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited. All vehicle speeds on unpaved roads shall be limited to 15 mph.	City of Berkeley/ Bay Area Air District	During Construction	Public Works



**CONDITIONS OF APPROVAL**

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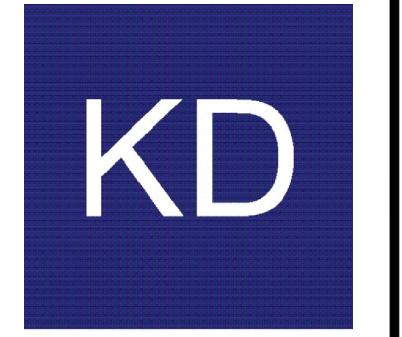
<p>All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.</p> <p>All construction equipment shall be maintained and properly tuned in accordance with manufacturer specifications. All equipment shall be checked by a certified visible emissions evaluator.</p> <p>Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Bay Area Air District’s phone number shall also be visible to ensure compliance with applicable regulations</p>			
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# O'Reilly AUTO PARTS

## BERKELEY, CA 94702



THE PROPOSED SIGN IS FOR REFERENCE ONLY AND WILL NOT BE APPROVED UNDER THIS ZONING PROJECT (ZP2025-0103).



Kinetic Design

29833 Santa Margarita Pkwy Suite 300  
Rancho Santa Margarita, CA 92688  
Main: 951.710.6334  
Web: kineticdesign.net  
Email: info@kineticdesign.net

PROJECT:  
O'REILLY AUTO PARTS STORE - BE1  
1101 UNIVERSITY AVENUE  
BERKELEY, CA 94702

COVER SHEET



### PROJECT INFORMATION

BUILDING ADDRESS:	1101 UNIVERSITY AVENUE BERKELEY, CA 94702
CONSTRUCTION TYPE:	V-B
DESCRIPTION OF USE:	M - MERCANTILE / RETAIL
OCCUPANCY CLASSIFICATION:	EXISTING - B PROPOSED - M / S-2
OCCUPANCY LOAD:	48 OCCUPANTS (REFER TO SHEET A0.1 FOR CALC'S)
SPRINKLERED BUILDING:	NO
FIRE ALARM SYSTEM:	YES
NUMBER OF FLOORS:	1
BUILDING HEIGHT:	±33'-6"
AREA OF WORK:	5,516 SF
TENANT:	O'REILLY AUTO ENTERPRISES, LLC 233 S PATTERSON AVENUE SPRINGFIELD MO 65802 CONTACT: 417.862.2674
ARCHITECT:	KINETIC DESIGN INC. 29833 SANTA MARGARITA PKWY., SUITE 300 RANCHO SANTA MARGARITA, CA. 92688 CONTACT: 951.710.6334
MEP ENGINEER:	KINETIC DESIGN INC. 29833 SANTA MARGARITA PKWY., SUITE 300 RANCHO SANTA MARGARITA, CA. 92688 CONTACT: 951.710.6334
STRUCTURAL ENGINEER:	KINETIC DESIGN INC. 29833 SANTA MARGARITA PKWY., SUITE 300 RANCHO SANTA MARGARITA, CA. 92688 CONTACT: 951.710.6334
FIRE PROTECTION ENGINEER:	KCI TECHNOLOGIES, INC. 11830 WEST MARKET PLACE, STE. F FULTON, MD 20759 CONTACT: 410.316.7988

### PROJECT DESCRIPTION

REMODEL EXISTING UNIT. DEMOLITION OF CEILING, LIGHTING, POWER/DATA, RESTROOMS. CONSTRUCTION OF NEW PARTITIONS, CEILING, LIGHTING, POWER/DATA, DOORS, FINISHES, DUCTWORK DISTRIBUTION AND ACCESSIBLE RESTROOMS. EXTERIOR MODIFICATIONS TO INCLUDE NEW STOREFRONT SYSTEM, NEW EXTERIOR DOORS AND NEW OVERHEAD DOOR. REUSE EXISTING RTU'S ON EXISTING PAD. REUSE EXISTING ELECTRICAL PANELS. NEW EMS SYSTEMS.

#### LANDLORD SCOPE OF WORK

WITHIN THIRTY (30) DAYS AFTER LANDLORD'S RECEIPT OF THE WAIVER LETTER (DEFINED BELOW), LANDLORD, AT LANDLORD'S SOLE COST AND EXPENSE, SHALL COMPLETE THE FOLLOWING "LANDLORD'S WORK" PURSUANT TO TENANT'S SPECIFICATIONS AS DEPICTED ON TENANT'S PLANS (DEFINED BELOW):

- I. PROVIDE TENANT WITH ITS OWN 400 AMP ELECTRICAL SERVICE, INCLUDING METERS AND PANELS.
  - II. REMOVE ALL HAZARDOUS SUBSTANCES FROM THE DEMISED PREMISES, INCLUDING BUT NOT LIMITED TO ASBESTOS, TO THE EXTENT REQUIRED TO COMPLY WITH ALL APPLICABLE ENVIRONMENTAL LAWS AND REGULATIONS; AND
  - III. DELIVER THE DEMISED PREMISES IN A BROOM-CLEAN AND WATER-TIGHT CONDITION WITH ALL UTILITIES IN GOOD WORKING ORDER.
- IN THE EVENT LANDLORD DOES NOT COMPLETE LANDLORD'S WORK WITHIN THAT SIXTY( 60) DAY PERIOD, TENANT MAY SEND LANDLORD WRITTEN NOTICE (THE "SELF-HELP NOTICE") INFORMING LANDLORD OF TENANT'S INTENT TO COMPLETE LANDLORD'S WORK ON ITS BEHALF.

### BIDDING INFORMATION

REFER TO O'REILLY CONSTRUCTION'S WEBSITE FOR ADDITIONAL REQUIREMENTS: [HTTP://WWW.OREILLYPLANROOM.COM](http://WWW.OREILLYPLANROOM.COM)  
REFER TO CURRENT PROJECTS LIST, LOCATED AT BOTTOM OF SIGN IN PAGE, FOR INVITED GENERAL CONTRACTORS.

- REFER TO PLANS, SECTIONS, AND DETAILS FOR CONSTRUCTION OF FIRE RATED ASSEMBLIES. WHERE UNDERWRITERS LABORATORY (UL) TEST NUMBERS ARE REFERENCED, CONTRACTOR SHALL PROVIDE CONSTRUCTION MATERIALS, MEANS AND METHODS TO COMPLY WITH TESTED ASSEMBLY.
- REFER TO ALL INDEXED CONSULTANTS FOR ADDITIONAL REQUIREMENTS.
- O'REILLY CONSTRUCTION PROVIDED AND INSTALLED FURNISHINGS AND FIXTURES SHOWN FOR REFERENCE ONLY.
- CONTRACTOR TO PROVIDE PORTABLE FIRE EXTINGUISHERS DURING CONSTRUCTION AS REQUIRED TO PROTECT THE WORK AREA AND EACH STORAGE UNIT AND JOB TRAILER PER THE FIRE CODE.
- CONTRACTORS SHALL BE RESPONSIBLE FOR KNOWING THE QUALITY AND PUBLIC SAFETY REGULATIONS SET FORTH IN THE GOVERNING CODES AND OTHER APPLICABLE REGULATIONS OF LOCAL AND STATE AGENCIES HAVING JURISDICTION WHICH GOVERN EACH CONTRACTOR'S WORK.
- FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING WORK. NOTIFY THE ARCHITECT AND/OR ENGINEER OF RECORD IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN

• REFER TO PROJECT MANUAL, SECTION 01 45 16 - QUALITY CONTROL PROCEDURES, FOR ADDITIONAL REQUIREMENTS.

• WHERE REQUIRED, O'REILLY CONSTRUCTION SHALL PROVIDE THE SERVICES OF AN INDEPENDENT TESTING LABORATORY TO PERFORM TESTING AND SPECIAL INSPECTIONS INDICATED.

• ALL SUB-CONTRACTOR BIDS TO BE SUBMITTED TO INVITED GENERAL CONTRACTORS ONLY.

• CONTACT O'REILLY CONSTRUCTION'S DESIGNATED REPRESENTATIVE FOR ADDITIONAL PROJECT INFORMATION

• THE ARCHITECT AND/OR ENGINEER OF RECORD INDICATED HEREIN ARE PROVIDING A LIMITED SERVICE AND NOT PROVIDING CONTRACT ADMINISTRATION SERVICES FOR THIS PROJECT WHICH IS THE RESPONSIBILITY OF OTHERS. THE ARCHITECT AND/OR ENGINEER ARE NOT RESPONSIBLE FOR FIELD ACTIVITIES ON THIS PROJECT WITHOUT DIRECT INSPECTION OF THE WORK IN PROGRESS. IF FIELD CONDITIONS ARE UNCOVERED THAT REQUIRE A CHANGE OR ADDITIONAL INFORMATION, THE ARCHITECT AND/OR ENGINEER DOES NOT DELEGATE AUTHORITY TO ANYONE ELSE FOR DETERMINING THE MEANING OF PLANS OR SPECIFICATIONS AS AUTHENTICATED HEREIN.

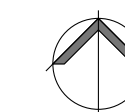
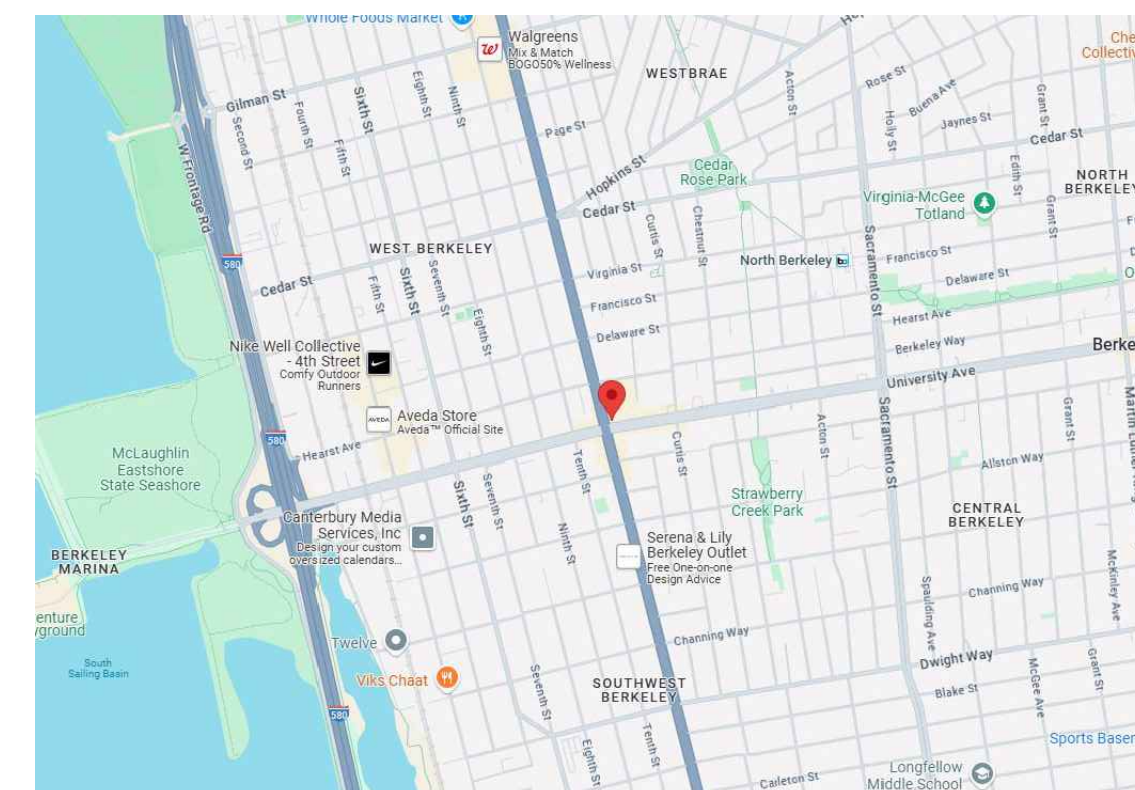
### DEFERRED SUBMITTAL

- FIRE ALARM

### SEPARATE SUBMITTAL

- EXTERIOR SIGNS

### LOCATION PLAN



### SHEET INDEX

- C.S. COVER SHEET

#### ARCHITECTURAL

- A0.2.1 EXISTING SITE PLAN
- A1.1 DEMOLITION PLAN
- A1.2 FLOOR PLAN
- A1.3 FINISH PLAN
- A1.4 REFLECTED CEILING PLAN
- A1.5 FIXTURE PLAN

- A2.2.1 EXTERIOR DEMOLITION ELEVATIONS
- A2.2.2 EXTERIOR ELEVATIONS

- SCG.2 BUILDING EXTERIOR SIGNS - FOR REFERENCE ONLY

Omitted from zoning project application as it is not part of the approval scope

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C.S.



**SYMBOLS LEGEND**

- → ACCESSIBLE PATH OF TRAVEL
- LIGHT POLE
- - - PROPERTY LINE

**GENERAL NOTES**

- A A LAND SURVEY HAS NOT BEEN PROVIDED. EXISTING SITE CONDITIONS INDICATED HEREIN ARE DIAGRAMMATIC ONLY AND PROVIDED FOR GENERAL REFERENCE.
- B SITE DIMENSIONS TO FACE OF BUILDING, SIDEWALK, CURB GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
- C EXISTING CONSTRUCTION TO REMAIN TO BE PROTECTED AS REQUIRED. REPLACE AND/OR REPAIR EXISTING CONSTRUCTION DAMAGED DUE TO CONTRACTOR ACTIVITIES.
- D ALL DEMOLITION MATERIALS SHALL BECOME PROPERTY OF CONTRACTOR FOR PROPER DISPOSAL UNLESS OTHERWISE NOTED.
- E PROVIDE SMOOTH ELEVATION AND GRADING TRANSITIONS FROM NEW CONSTRUCTION TO EXISTING CONSTRUCTION TO REMAIN.
- F CONTRACTOR TO ENSURE EXISTING LANDSCAPING IS FREE OF WEEDS, FREE OF OVERGROWTH AND IS WELL MANICURED.

**⊗ SITE KEYNOTES**

- 1 EXISTING TRASH ENCLOSURE AND DUMPSTER TO REMAIN.
- 2 EXISTING STREET LIGHT TO REMAIN.
- 3 EXISTING CONCRETE SIDEWALK TO REMAIN. IF GENERAL CONTRACTOR FIELD OBSERVATION NOTED THAT SIDEWALK IS HEAVILY DAMAGED OR CONTENTIOUS CRACKING, GENERAL CONTRACTOR TO NOTIFY O'REILLY PROJECT ADMINISTRATOR FOR REPLACEMENT IF REQUIRED.
- 4 NEW ACCESSIBLE PARKING AISLE. UNDER SEPARATE PERMIT BY LANDLORD
- 5 NEW STANDARD ACCESSIBLE PARKING SPACE, SEE 1/A0.2.2. UNDER SEPARATE PERMIT BY LANDLORD
- 6 NEW ACCESSIBLE PARKING SIGN, SEE 3/A0.2.2 & 5/A0.2.2. UNDER SEPARATE PERMIT BY LANDLORD
- 7 NEW VAN ACCESSIBLE PARKING SPACE, SEE 1/A0.2.2
- 8 EXISTING FIRE HYDRANT TO REMAIN.
- 9 EXISTING TRANSFORMER TO REMAIN.
- 10 EXISTING GAS METER TO REMAIN.
- 11 EXISTING WATER METER TO REMAIN.
- 12 EXISTING SWITCH GEAR ROOM TO REMAIN.
- 13 NEW 36" MIN. TRUNCATED DOME, 8/A0.2.2. UNDER SEPARATE PERMIT BY LANDLORD
- 14 NEW CURB RAMP, SEE 6/A0.2.2. UNDER SEPARATE PERMIT BY LANDLORD
- 15 EXISTING 5'-0" DEPTH METAL AWNING FRAME W/ CORRUGATED SHT. MTL. WITH 30° ANGLE
- 16 DASH LINES INDICATING EXISTING FLOOR PLAN BELOW ROOF. O'REILLY TENANT AREA

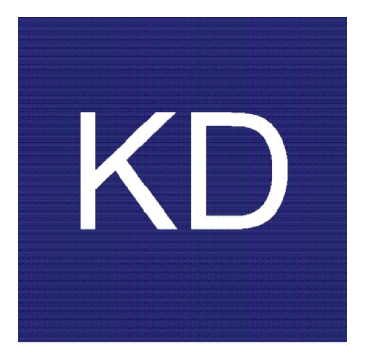
**ENVIRONMENTAL GENERAL NOTES**

AN ENVIRONMENTAL ANALYSIS HAS NOT BEEN PERFORMED ON THE EXISTING SITE. IF THIS PROJECT CONTAINS HAZARDOUS MATERIALS, CONTRACTOR TO PROVIDE WORK REQUIRED FOR PROPER REMOVAL, HANDLING, AND DISPOSAL PER ENVIRONMENTAL ANALYSIS RECOMMENDATIONS.



**Know what's below.  
 Call before you dig.**

**CAUTION:** INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



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**SITE PLAN**



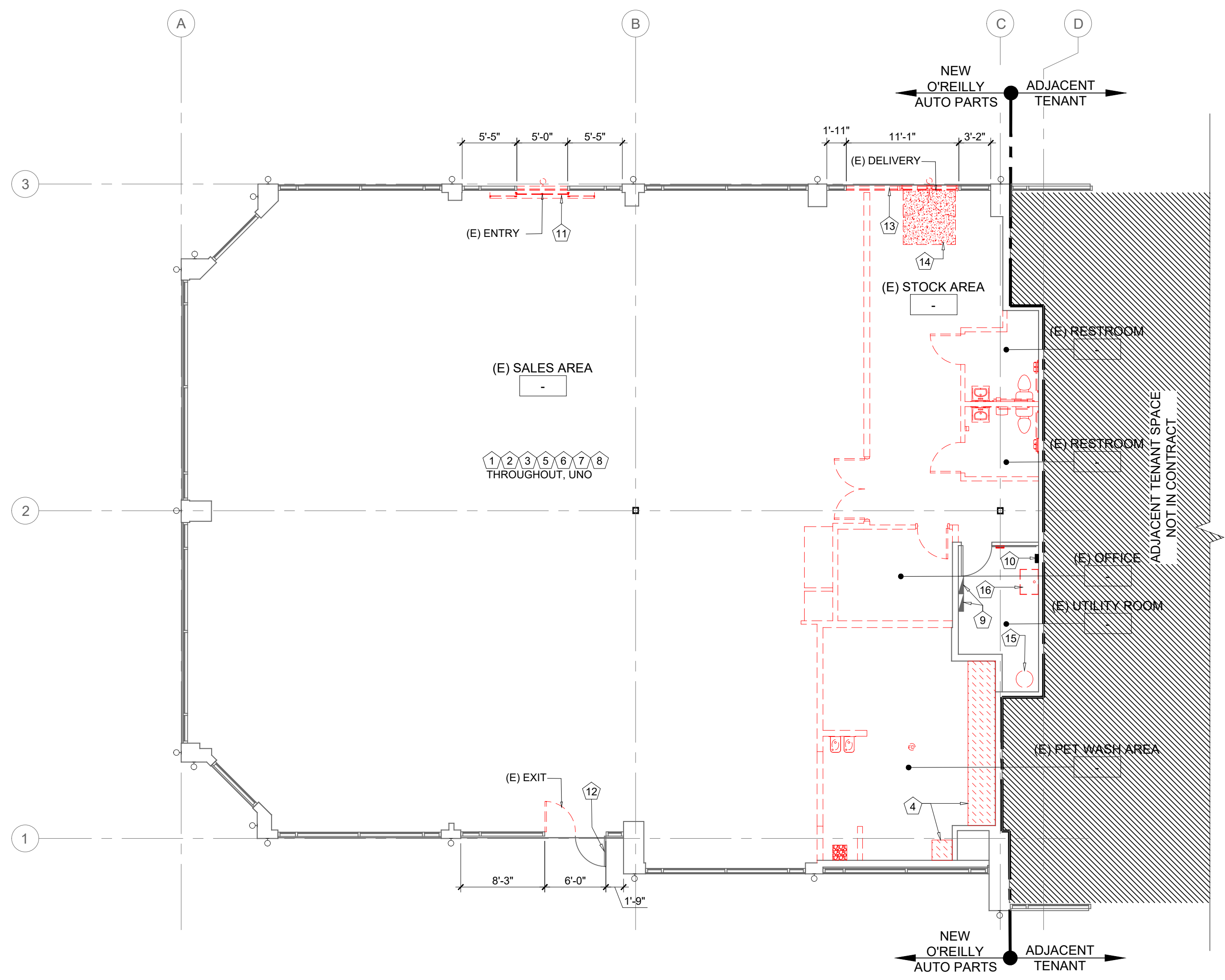
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**A0.2.1**

**3 SITE PLAN (NO CHANGE IN BUILDING SQUARE FOOTAGE OR PARKING)**  
 SCALE: 1" = 20'-0"



2 DEMOLITION PLAN  
 SCALE: 1/8"=1'-0"



KEYNOTE '10'  
 SCALE: NTS

LEGEND

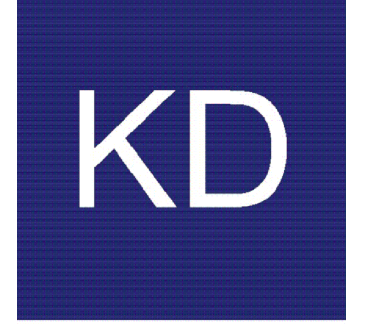
- EXISTING WALL TO BE REMOVED
- EXISTING DOOR TO BE REMOVED/RELOCATED
- TRENCHING AT CONCRETE SLAB FOR PLUMBING

GENERAL NOTES

- A INTENT OF THE DRAWING IS TO SHOW EXISTING BUILDING CONDITIONS WITH INFORMATION DEVELOPED FROM AVAILABLE DOCUMENTS.
- B CONTRACTOR TO MAINTAIN CLEAR UNOBSTRUCTED PATH OF EGRESS AND EXITS AT ALL TIMES BUILDING IS OCCUPIED DURING CONSTRUCTION. PROVIDE TEMPORARY EMERGENCY LIGHTING, EXIT SIGNS AND FIRE EXTINGUISHING SYSTEMS AS REQUIRED.
- C EXISTING CONSTRUCTION TO REMAIN TO BE PROTECTED AS REQUIRED. REMOVE AND REPLACE ANY DAMAGED CONSTRUCTION DUE TO CONTRACTOR'S ACTIVITIES.
- D EXISTING CONSTRUCTION TO BE REWORKED AS REQUIRED FOR INSTALLATION OF NEW CONSTRUCTION. PATCH AND REPAIR EXPOSED SURFACES OF EXISTING CONSTRUCTION TO REMAIN AT LOCATIONS WHERE CONSTRUCTION IS TO BE REMOVED. WORK SHALL INCLUDE REMOVAL OF ALL ATTACHMENT DEVICES (SHOT PINS, ANCHORS, LAB BOLTS, NAILS, NAILERS, SHIMS, ETC.)
- E PROVIDE TEMPORARY SHORING OR BRACING OF EXISTING STRUCTURAL SYSTEM AS REQUIRED FOR INSTALLATION OF NEW CONSTRUCTION.
- F PROVIDE TEMPORARY DUST PROTECTION AS REQUIRED.
- G ALL REMOVED MATERIAL OTHER THAN ITEMS TO BE SALVAGED OR REUSED SHALL BECOME CONTRACTOR'S PROPERTY UNO, AND SHALL BE REMOVED FROM O'REILLY CONSTRUCTION'S PROPERTY. CLEAN UP AND DISPOSE OF DEBRIS PROMPTLY AND CONTINUOUSLY AS THE WORK PROGRESSES. SECURE AND PAY FOR REQUIRED HAULING PERMITS, PAY DUMPING FEES AND CHARGES.
- H UNLESS OTHERWISE INDICATED IN CODE SUMMARY DRAWING, EXISTING CONSTRUCTION MATERIALS ARE ASSUMED TO BE CLASSIFIED AS NON-COMBUSTIBLE. IF CONTRACTOR ENCOUNTERS EXISTING MATERIALS CLASSIFIED AS COMBUSTIBLE OR NON-FIRE RATED GYPSUM BOARD IS FOUND IN REQUIRED FIRE RATED ASSEMBLIES, NOTIFY ARCHITECT IMMEDIATELY FOR ADDITIONAL WORK MODIFICATIONS REQUIREMENTS OR POTENTIAL BUILDING CODE CONSTRUCTION TYPE RECLASSIFICATION.
- I PRIOR TO MODIFICATIONS OF EXISTING CONCRETE CONSTRUCTION, INCLUDING BUT NOT LIMITED TO CUTTING, DRILLING OR ROUTING CONTRACTOR SHALL PROVIDE THE SERVICES OF A QUALIFIED CONCRETE SCANNING OR TESTING AGENCY TO SUBMIT A REPORT TO THE ARCHITECT ILLUSTRATING THE EXISTING CONDITIONS AND REINFORCEMENT LOCATIONS WITHIN THE PLANNED AREA OF WORK. EXISTING CONCRETE CONSTRUCTION SHALL NOT BE MODIFIED UNTIL ARCHITECT REVIEWS THE REPORT AND PROVIDES A WRITTEN DIRECTIVE.
- J ALL EXISTING UNUSED ELECTRICAL SYSTEMS TO BE COMPLETELY REMOVED AND PROPERLY TERMINATED, UNLESS OTHERWISE INDICATED. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- K ALL EXISTING PLUMBING SYSTEMS TO BE PROVIDED OR PROPERLY TERMINATED, UNLESS OTHERWISE INDICATED. CAP ALL WATER LINES AT ROOF. SANITARY SEWER SHALL BE CUT AT FLOOR AND PROVIDE CAP OR CLEAN OUT. CAP ALL VENT LINES AT ROOF AND SEAL VENT PIPES ABOVE ROOF. CONTRACTOR TO CAMERA SCOPE EXISTING SANITARY SEWER PIPES TO BE REUSED TO VERIFY PROPER OPERATION PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY ARCHITECT/ENGINEER IF DEFECTIVE CONDITIONS ARE DISCOVERED. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- L CONTRACTOR TO ASSESS CONDITION OF WALLS TO BE REMOVED AND/OR NEW OPENINGS TO BE CUT, FOR HIDDEN STRUCTURAL COMPONENTS, PRIOR TO DEMO. ADVISE O'REILLY CONSTRUCTION OF FINDINGS.
- M ALL EXISTING DIFFUSERS, REGISTERS, GRILLS, AND DUCTWORK TO BE COMPLETELY REMOVED, UNLESS OTHERWISE INDICATED. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.

DEMOLITION KEYNOTES

- 1 DEMO EXISTING CONSTRUCTION, AS INDICATED.
- 2 DEMO EXISTING MILLWORK AND CAP ANY RELATED PLUMBING. REFER TO PLUMBING DRAWINGS FOR FURTHER INFORMATION. PATCH & PREP WALLS FOR NEW FINISH.
- 3 DEMO EXISTING FLOOR AND BASE THROUGHOUT (UNO). HARD SCRAPER TO ROUGH FINISH. GRIND CONCRETE WITH 40 GRIT, PATCH CRACKS, HOLES AND GRIND WITH 80 GRIT. REFER TO SHEET A1.3 FOR ADDITIONAL SCOPE.
- 4 SAW CUT EXISTING CONCRETE SLAB, AS SHOWN. FOR NEW WASTE LINES. REFER TO PLUMBING DRAWINGS FOR FURTHER INFORMATION.
- 5 ALL EXISTING FLOOR SINKS AND FLOOR DRAINS THROUGHOUT THE ENTIRE STORE TO BE CAPPED AND INFILLED. FLOOR TO BE PREPARED FOR SMOOTH POLISHED CONCRETE.
- 6 DEMO ENTIRE CEILING SYSTEM AND LIGHT FIXTURES.
- 7 CONTRACTOR TO CONSULT RCP FOR OPEN CEILING CONDITIONS. AT THESE AREAS, GC SHALL REMOVE ALL UNUSED STRAPS, TIES, HANGERS & EQUIPMENT, AS WELL AS ALL UNUSED PIPING, CONDUIT, ETC. SEE FLOOR PLAN FOR ADDITIONAL DIRECTION.
- 8 DEMO EXISTING BLANK PLATES THROUGHOUT. REMOVE ALL CABLING BACK TO D-MARK.
- 9 LOCATION OF EXISTING ELECTRICAL PANEL.
- 10 LOCATION OF EXISTING FIRE ALARM PANEL.
- 11 DEMO EXISTING STOREFRONT GLAZING AS SHOWN FOR NEW STOREFRONT GLAZING WITH DOOR. REFER TO SHEET A1.2 FOR ADDITIONAL INFORMATION.
- 12 MODIFY EXISTING STOREFRONT DOOR TO SWING OUTWARD (IN THE DIRECTION OF EGRESS). REFER TO SHEET A1.2 FOR ADDITIONAL INFORMATION.
- 13 DEMO EXISTING STOREFRONT GLAZING AND DOOR AS SHOWN FOR NEW MAN DOOR AND OVERHEAD DOOR. REFER TO SHEET A1.2 FOR ADDITIONAL INFORMATION.
- 14 REMOVE EXISTING RAMP.
- 15 REMOVE EXISTING WATER HEATER, PREPARE FOR NEW WATER HEATER INSTALLATION.
- 16 REMOVE EXISTING SINK. PREPARE FOR NEW SINK INSTALLATION.




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**DEMOLITION PLAN**



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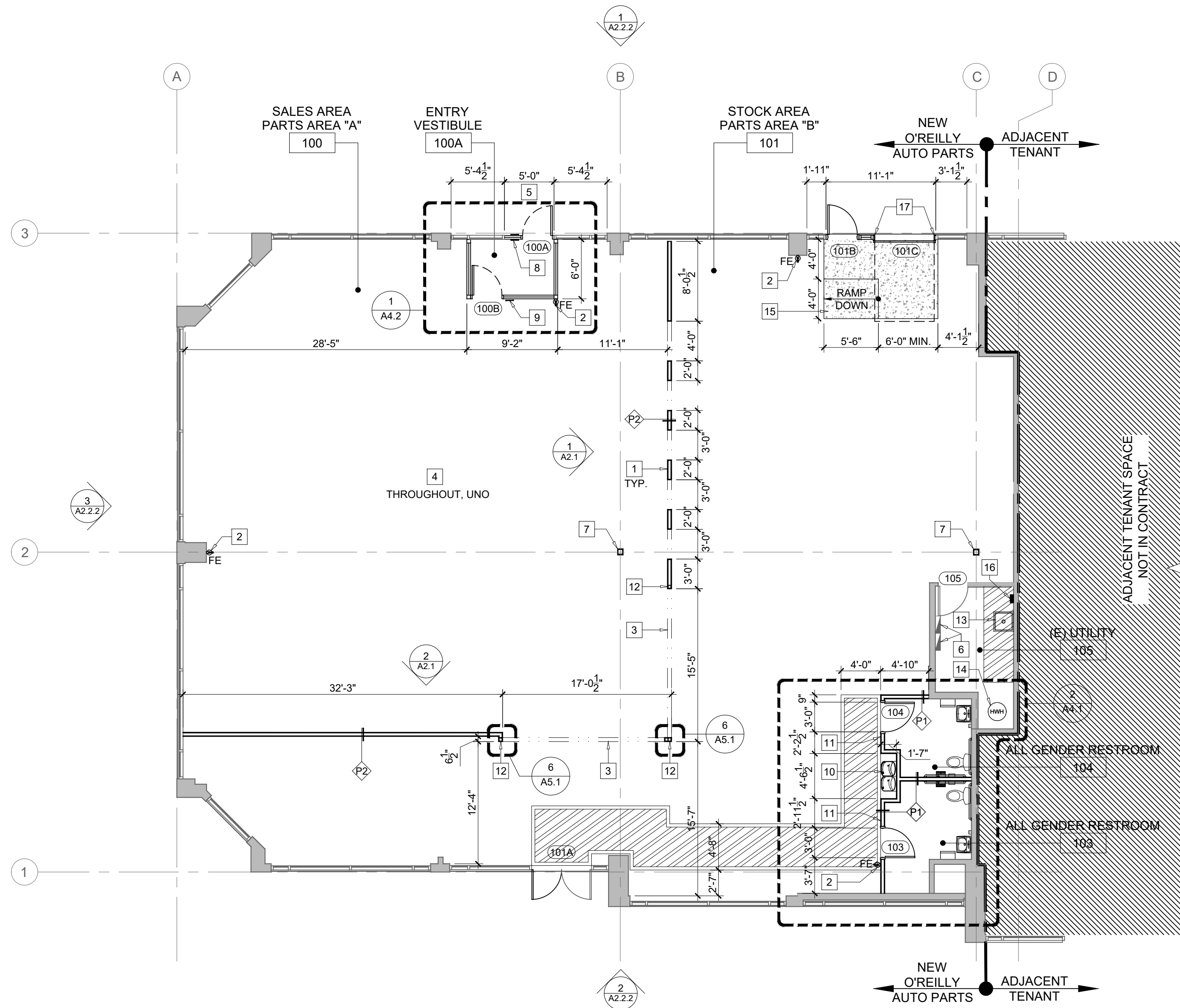
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A1.1



2 FLOOR PLAN  
 SCALE: 1/8"=1'-0"

**WALL LEGEND**

- EXISTING WALL TO REMAIN.
- ⊠ NEW INTERIOR WALL; REFER TO DETAIL #2/A5.1
- ⊠ NEW INTERIOR WALL; FLOOR TO STRUCTURE ABOVE; REFER TO DETAIL #5/A5.1
- ⊠ DOOR DESIGNATION, REFER TO DOOR SCHEDULE ON SHEET A6.1
- E INDICATES EXISTING
- HEADER ABOVE. REFER TO SHEET A1.4 FOR ADDITIONAL INFORMATION

**GENERAL NOTES**

- A REFER TO SHEET A5.1 FOR WALL CONSTRUCTION DETAILS.
- B ALL INTERIOR PARTITIONS SHALL BE TYPE P1, UNO, TAPED SMOOTH & SANDED TO RECEIVE NEW FINISH.
- C ALL NEW CONSTRUCTION IN SUITE TO MAINTAIN CONSISTENCY WITH EXISTING (STUD SIZE, ETC.), UNO
- D USE 5/8" THICK TYPE "X" GYPSUM BOARD THROUGHOUT, UNO.
- E PROVIDE EXTRA STUDS AS REQUIRED TO MOUNT ELECTRICAL OR MECHANICAL CONTROLS.
- F DOOR OPENINGS IN PARTITIONS NOT DIMENSIONED ARE TO HAVE THE HINGE SIDE LOCATED 4" OFF THE ADJACENT PARTITION.
- G REPLACE TINTING ON WINDOWS IF DAMAGE AS REQUIRED. COORDINATE WITH ARCHITECT.
- H PROVIDE BACKING IN WALLS FOR ALL WALL HUNG FIXTURES, TVS/MONITORS AND MILLWORK IF APPLICABLE.
- I ALL PENETRATIONS THROUGH RATED WALLS MUST BE FIRE SEALED PER UL METHODS.
- J ARCHITECT SHALL REVIEW PROVIDED SUBMITTALS FOR GENERAL CONFORMANCE WITH THE CONTRACT DOCUMENTS ONLY. REVIEW OF SUCH SUBMITTALS IS NOT FOR THE PURPOSE OF DETERMINING THE ACCURACY AND COMPLETENESS OF OTHER INFORMATION SUCH AS DIMENSIONS, QUANTITIES AND INSTALLATION OR PERFORMANCE OF EQUIPMENT OR SYSTEMS, WHICH ARE THE CONTRACTOR'S RESPONSIBILITY. THE ARCHITECT'S REVIEW SHALL NOT CONSTITUTE APPROVAL OF SAFETY PRECAUTIONS, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE OF PROCEDURES OF CONSTRUCTION, FABRICATION, TRANSPORTATION OR INSTALLATION. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY OF WHICH THE ITEM IS A COMPONENT.
- K REFER TO SHEET A0.1 FOR TACTILE SIGNAGE SCOPE.

**# KEYNOTES**

- 1 CONSTRUCT NEW WALLS, AS INDICATED.
- 2 SURFACE MOUNTED PORTABLE FIRE EXTINGUISHER. REFER TO LEGEND ON SHEET A0.1.
- 3 NEW HEADER ABOVE, SEE 2/A5.2.1.
- 4 EXISTING EXTERIOR AND DEMISING WALLS TO REMAIN. PATCH ANY DAMAGED WALLS WITH NEW 5/8" GYPSUM BOARD AS REQUIRED. IF DAMAGED WALL REQUIRING NEW GYPSUM BOARD IS MISSING INSULATION AT EXTERIOR WALLS, PROVIDE INSULATION TO MATCH EXISTING. VERIFY EXISTING WALLS ARE DRY AND FREE OF MOLD.
- 5 NEW STOREFRONT FRAME AND GLAZING TO MATCH EXISTING, SEE SHEET A4.2.
- 6 EXISTING ELECTRICAL PANELS TO REMAIN. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 7 EXISTING EXPOSED STEEL COLUMN, PREP TO RECEIVE NEW PAINT.
- 8 TACTILE EXIT SIGN AT EXIT DISCHARGE DOOR STATING "EXIT" WITH BRAILLE (GRADE 2 CONTRACTED) LETTERING. SIGN CONSTRUCTION AND LOCATION TO COMPLY WITH ANSI A117.1. MOUNT 48" MINIMUM ABOVE FINISH FLOOR TO BOTTOM OF LOWEST TACTILE CHARACTER AND 60" MAXIMUM ABOVE FINISH FLOOR TO BOTTOM OF HIGHEST TACTILE CHARACTER (SEE DETAIL #3/A0.1).
- 9 TACTILE EXIT SIGN AT EXIT DISCHARGE DOOR STATING "EXIT ROUTE" WITH BRAILLE (GRADE 2 CONTRACTED) LETTERING. SIGN CONSTRUCTION AND LOCATION TO COMPLY WITH ANSI A117.1. MOUNT 48" MINIMUM ABOVE FINISH FLOOR TO BOTTOM OF LOWEST TACTILE CHARACTER AND 60" MAXIMUM ABOVE FINISH FLOOR TO BOTTOM OF HIGHEST TACTILE CHARACTER (SEE DETAIL #3/A0.1).
- 10 NEW ACCESSIBLE DUAL DRINKING FOUNTAIN, SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- 11 TACTILE BRAILLE AND ROOM IDENTIFICATION SIGN.
- 12 NEW STRUCTURAL COLUMN, SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 13 NEW MOP SINK AT EXISTING LOCATION, SEE PLUMBING PLANS.
- 14 NEW 19 GAL. WATER HEATER. SEE PLUMBING PLANS.
- 15 NEW ACCESSIBLE CURB RAMP. SLOPE TO NOT EXCEED 8.33% IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE. GC TO VERIFY GRADES PRIOR TO CONSTRUCTION.
- 16 EXISTING FIRE ALARM PANEL TO REMAIN.
- 17 NEW STRUCTURAL C-CHANNEL, SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

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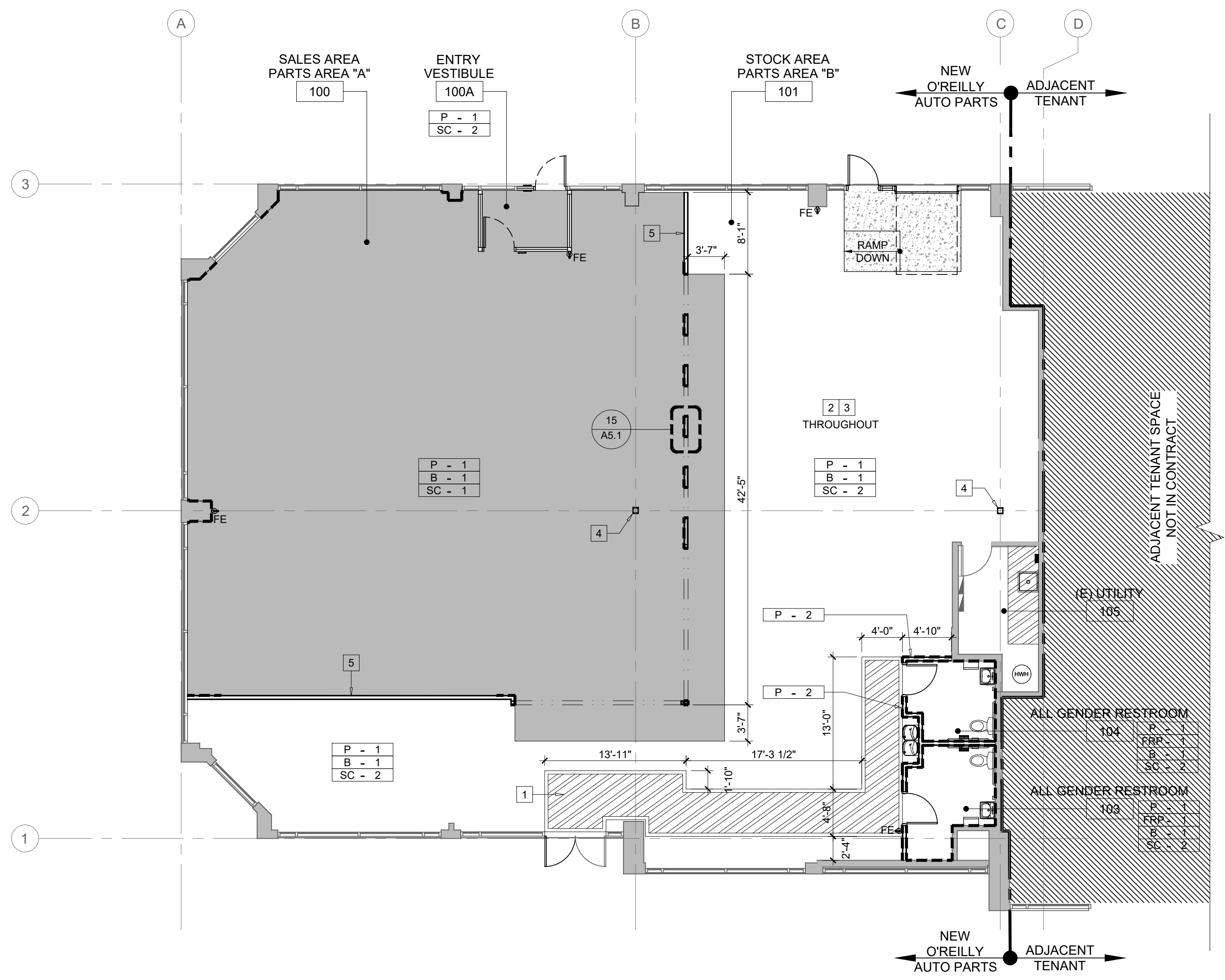
**O'Reilly**  
 AUTO PARTS

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**A1.2**

FLOOR PLAN



2 FINISH PLAN  
SCALE: 1/8"=1'-0"

**FINISH SCHEDULE**

NOTE: REFER TO PLAN FOR FINISH LOCATIONS

FLOORING	
<b>SC - 1</b> POLISHED CONCRETE FINISH	<b>SC - 2</b> TREATED CONCRETE FINISH
<b>COLOR:</b> NATURAL CONCRETE, CLEAR	<b>STYLE:</b> LIQUID DENSIFIER
<b>APP:</b> TWO COATS	<b>COLOR:</b> NATURAL CONCRETE, CLEAR
<b>NOTES:</b> PROJECT MANUAL - SECTION 03 35 43	<b>APP:</b> TWO COATS
	<b>NOTES:</b> PROJECT MANUAL - SECTION 03 30 00

<b>B - 1</b> RESILIENT BASE
<b>MFR:</b> VPI OR EQUAL
<b>COLOR:</b> BLACKJET 01
<b>SIZE:</b> 4" COVED
<b>APP:</b> PER MFR SPECS
<b>NOTES:</b> INDICATES LOCATION OF FINISH ON PLAN

WALLS	
<b>P - 1</b> PAINT	<b>P - 2</b> PAINT
<b>MFR:</b> SHERWIN WILLIAMS	<b>MFR:</b> SHERWIN WILLIAMS
<b>COLOR:</b> SW6126 NAVAJO WHITE	<b>COLOR:</b> SW6468 HUNT CLUB
<b>FINISH:</b> SEMI GLOSS LATEX	<b>FINISH:</b> SEMI GLOSS LATEX
<b>APP:</b> PER MFR SPECS FOR SURFACE	<b>APP:</b> PER MFR SPECS FOR SURFACE
<b>NOTES:</b> INCLUDES ALL GYP BD CEILINGS	<b>NOTES:</b> 2" BAND AT PERIMETER OF AREA 'A' & INTERIOR DOOR FRAMES & UNDERSIDE OF HEADER. SEE ELEVS.

<b>P - 3</b> PAINT	<b>FRP - 1</b> SANITARY WALL PANEL
<b>MFR:</b> SHERWIN WILLIAMS	<b>COLOR:</b> WHITE
<b>COLOR:</b> SW6258 TRICORN BLACK	<b>APP:</b> PER MFR SPECS
<b>FINISH:</b> SEMI GLOSS LATEX	<b>NOTES:</b> PROJECT MANUAL - SECTION 09 77 00
<b>APP:</b> PER MFR SPECS FOR SURFACE	<b>NOTES:</b> PROVIDE ALL REQUIRED MOULDING
<b>NOTES:</b> ALL COMPONENTS OF PEGBOARD AND FACE/SIDES OF WALL BEHIND	

SPECIALTY	
<b>WS - 1</b> WOOD STAIN	
<b>MFR:</b> FACTORY FINISHED	
<b>COLOR:</b> EQUAL TO "GRAHAM" #300, MEDIUM BROWN	
<b>NOTES:</b> REFER TO SHEET A6.1, DOOR TYPE 'C' OR 'CC'	


MILLWORK	
<b>SS - 1</b> SOLID SURFACE	
<b>MFR:</b> CORIAN OR EQUAL	
<b>COLOR:</b> DEEP BEDROCK	
<b>SIZE:</b> 3/4" THICK	
<b>NOTES:</b> REFER TO SHEET A4.3 FOR LOCATION	

**GENERAL NOTES**

- A FINISH SUBSTITUTION REQUESTS REQUIRE PRIOR O'REILLY CONSTRUCTION APPROVAL.
- B REFER TO SHEET A1.4 FOR CEILING TILE SPECIFICATIONS AND LAYOUT.
- C FLOAT ALL AREAS WHERE SLAB IS NOT LEVEL OR TRUE PRIOR TO FLOOR FINISH INSTALLATIONS. REFER TO SHEET A1.1 FOR CONCRETE PREPARATION INFORMATION.
- D BACK OF HOUSE EXPOSED STRUCTURE TO REMAIN AS-IS, UNO.

**FINISH KEYNOTES**

- 1 PROVIDE PAINTED PATH TO RESTROOMS FROM PARTS AREA "A". PATH SHALL REMAIN CLEAR OF FIXTURES AND BE MINIMUM 44" WIDE. STRIPE SPEC: 4" WIDE STRIPED OUTLINE WITH 36" STRIPED IN-FILL, SPACED 24" OC. COLOR SPEC: TO MATCH "OSHA YELLOW". COORDINATE FINAL FIXTURE LAYOUT WITH O'REILLY CONSTRUCTION.
- 2 PROVIDE PIECES OF 2' LENGTH BASE FOR INSTALLATION AT ENDS OF PARTS AREA "B" FIXTURES FACING PARTS AREA "A".
- 3 HARD SCRAPER TO ROUGH FINISH, GRIND FLOOR WITH 40 GRIT PATCH CRACKS, HOLES AND GRIND WITH 80 GRIT THEN SEAL WITH TWO COATS OF WATER BASED ACRYLIC SEALER.
- 4 PREP AND PAINT ALL EXPOSED STRUCTURAL STEEL COLUMNS P-2.
- 5 BAND AROUND PERIMETER OF SHOWROOM. REFERENCE 1 & 2/A2.1 FOR MORE INFORMATION.




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**FINISH PLAN**



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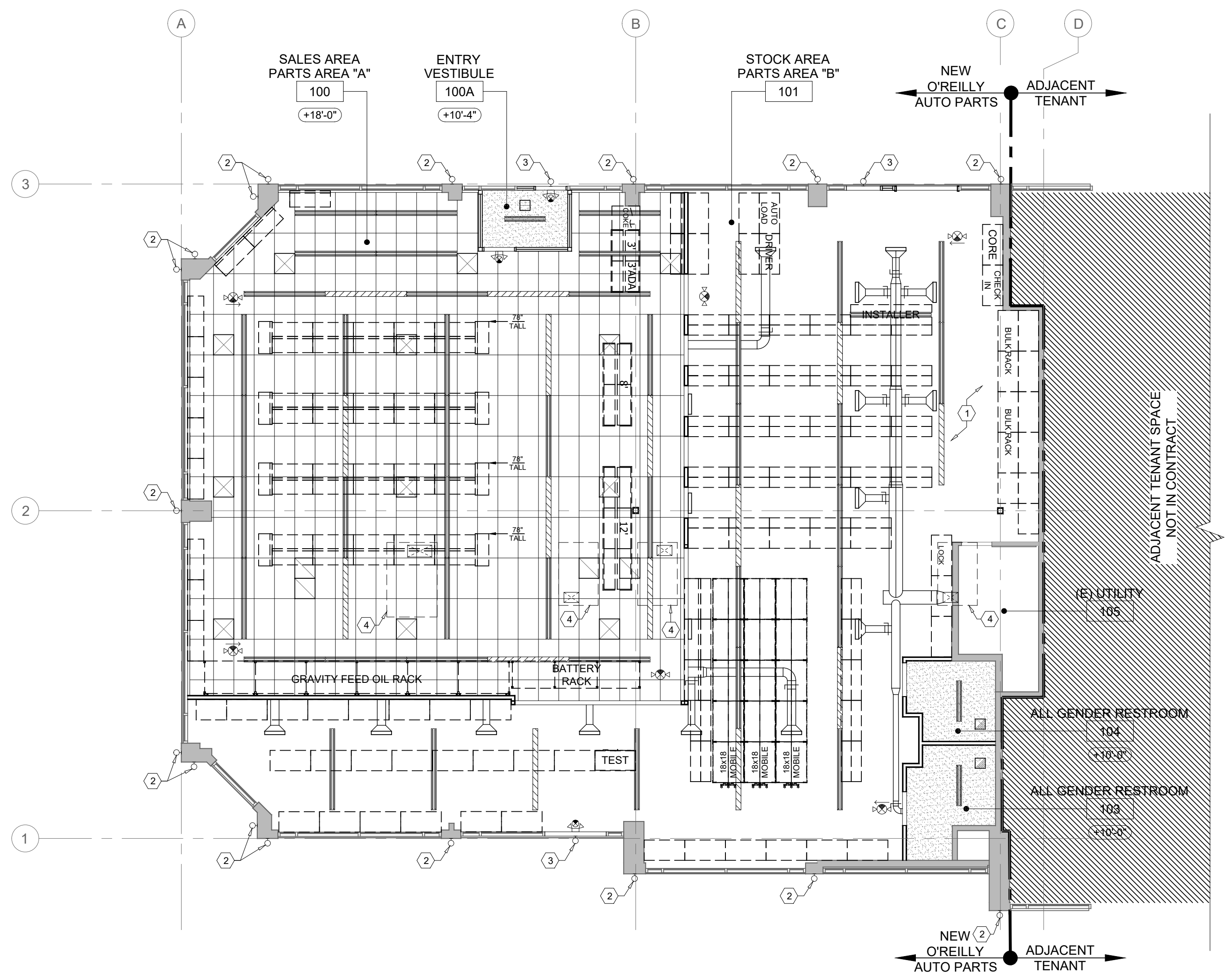
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**A1.3**



2 REFLECTED CEILING PLAN (FOR REFERENCE ONLY)  
 SCALE: 1/8"=1'-0"

REFLECTED CEILING LEGEND

- NEW 2X4 CEILING GRID & TILES.  
 GRID SPEC: ARMSTRONG, PRELUDE, 15/16", WHITE  
 TILE SPEC: ARMSTRONG, FINE FISSURED - 1729, SQUARE EDGE, WHITE  
 REFER TO DETAIL #3/A5.2.1
- NEW GYP BD CEILING. REFER TO DETAIL #4/A5.2.1
- INDICATES CEILING HEIGHT
- ILLUMINATED DIRECTIONAL EXIT / EMERGENCY LIGHTS. REFER TO ELECTRICAL DRAWINGS.
- EXTERIOR SOFFIT LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- LINEAR LED LIGHT FIXTURE. SUSPENDED AT 12'-0" AFF OR SURFACE MOUNTED. REFER TO ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.
- EMERGENCY LINEAR LED LIGHT FIXTURE. SUSPENDED AT 12'-0" AFF OR SURFACE MOUNTED. REFER TO ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.

REFLECTED CEILING GENERAL NOTES

- A THE GENERAL CONTRACTOR (GC) SHALL NOTIFY O'REILLY CONSTRUCTION OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL, ELECTRICAL OR MECHANICAL DRAWINGS AND OBTAIN CLARIFICATION BEFORE COMMENCING WORK.
- B CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE VARIOUS TRADE ITEMS WITHIN THE SPACE ABOVE ALL CEILINGS (INCLUDING, BUT NOT LIMITED TO: STRUCTURAL MEMBERS, MECHANICAL DUCTS AND INSULATION, CONDUITS, RACEWAYS, SPRINKLER SYSTEM, LIGHT FIXTURES, CEILING SYSTEMS, AND ANY SPECIAL STRUCTURAL SUPPORTS REQUIRED) AND SHALL BE RESPONSIBLE FOR MAINTAINING THE FINISH CEILING HEIGHT ABOVE THE FINISH FLOOR INDICATED ON THE DRAWING.
- C ALL CEILING INTERRUPTIONS, SUCH AS FURR DOWNS OR PARTITIONS, SHALL BE CHECKED AND THEIR CONSTRUCTIBILITY CONFIRMED BEFORE ANY RELATED ELEMENTS ARE CONSTRUCTED. IF THERE ARE ANY QUESTIONS REGARDING THESE OR ANY OTHER COORDINATION QUESTIONS, THE GC IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE O'REILLY CONSTRUCTION BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK.
- D CEILING SUSPENSION SYSTEMS SHALL BE CONNECTED AND BRACED DIRECTLY TO THE STRUCTURE AT THE MEANS OF EGRESS SERVING AN OCCUPANT LOAD OF 30 OR MORE. SPACING OF VERTICAL HANGERS SHALL NOT EXCEED 2'-0" ON CENTER ALONG THE ENTIRE LENGTH OF THE MEANS OF EGRESS OR LOBBY WHEN THE DISTANCE BETWEEN THE STRUCTURAL DECK AND THE SUSPENDED CEILING EXCEEDS 4'-0".
- E POSITIVE BRACING TO THE STRUCTURE SHALL BE PROVIDED AT CHANGES IN THE CEILING PLANE ELEVATION OR AT DISCONTINUITIES IN THE CEILING GRID SYSTEM.
- F PROVIDE SEISMIC BRACING AT SUSPENDED CEILING, WHERE REQUIRED. REFER TO DETAIL #10/A5.2.1

REFLECTED CEILING KEYNOTES

- 1 AT EXPOSED CEILING AREA, PROVIDE 'DRY FALL' PAINT, SW 7029 AGREEABLE GRAY, FLAT FINISH, APPLIED PER MFR RECOMMENDATIONS.
- 2 EXISTING WALL PACK LIGHT, SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 3 NEW EGRESS LIGHT ABOVE, SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 4 HVAC UNIT ABOVE, SEE MECHANICAL DRAWING FOR ADDITIONAL INFORMATION.



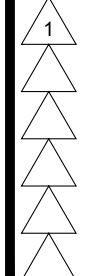
Kinetic Design  
 29833 Santa Margarita Pkwy Suite 300  
 Rancho Santa Margarita, CA 92688  
 Main: 951.710.6334  
 Web: kineticdesign.net  
 Email: info@kineticdesign.net

PROJECT:  
 O'REILLY AUTO PARTS STORE - BE1  
 1101 UNIVERSITY AVENUE  
 BERKELEY, CA 94702

REFLECTED CEILING PLAN

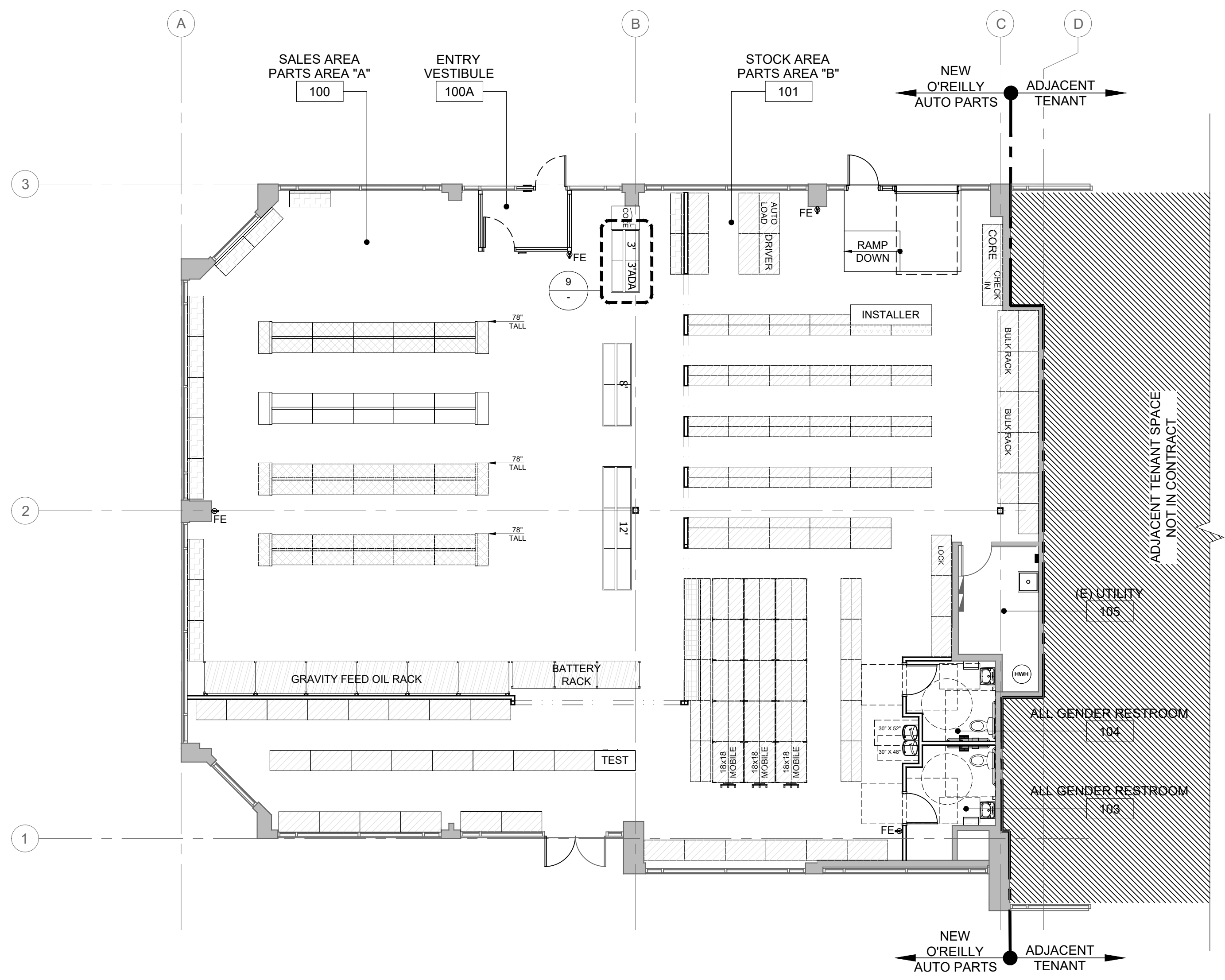


REV.	DESCRIPTION	DATE
FOR REVIEW		XX.XX.XX



DRAWN BY: HL	CHECKED BY:
DATE: 12/10/25	
PROJECT NUMBER: XX	
SHEET NUMBER:	

A1.4



2 FIXTURE PLAN (FOR REFERENCE ONLY)  
 SCALE: 1/8"=1'-0"

**FIXTURE LEGEND**

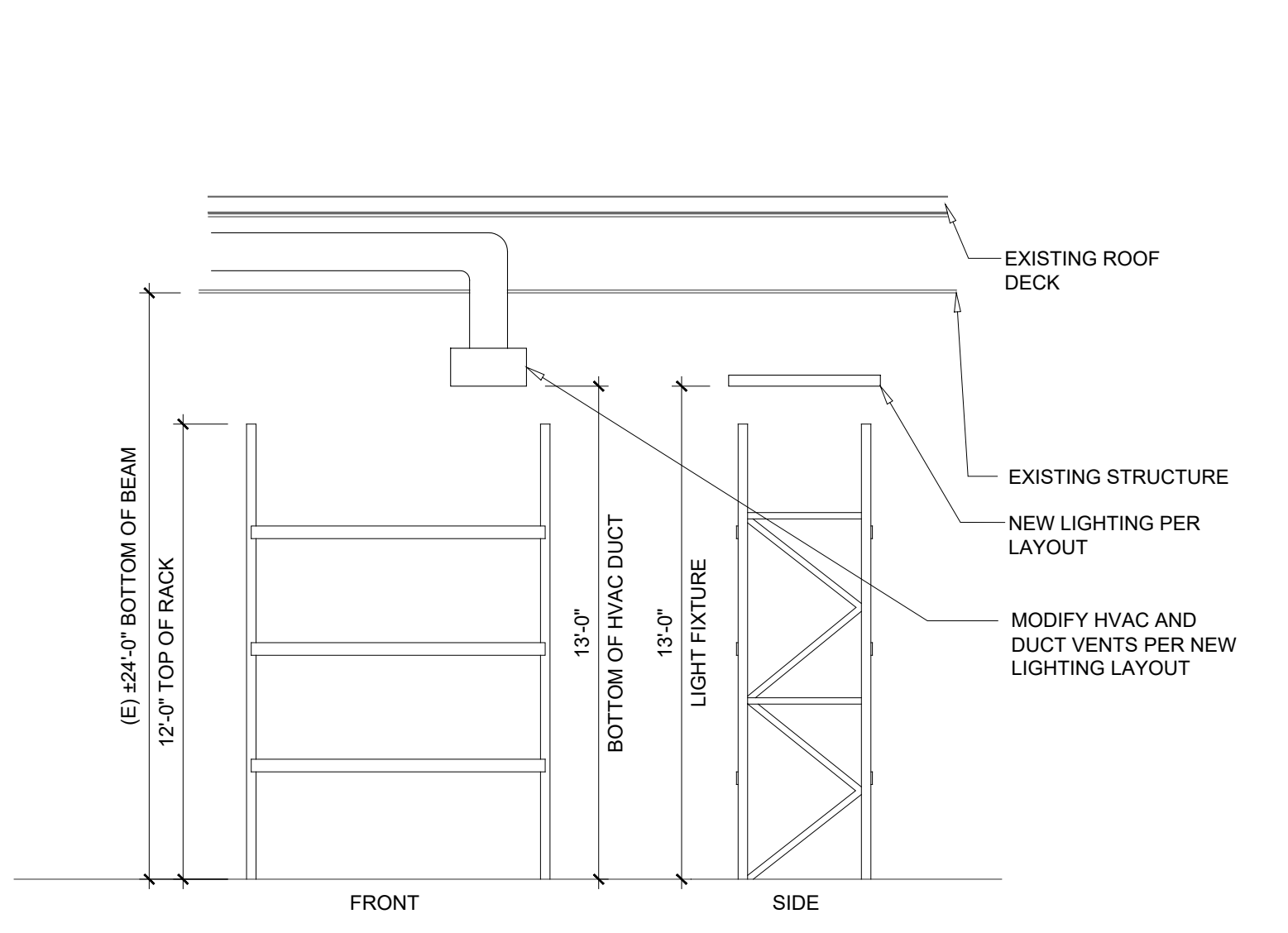
HGT	SECURED	MFR	DESCRIPTION	FIXTURE NO
≤60"	NO	LOZIER	L.D. GONDOLA	#2A
78"	YES	LOZIER	L.D. GONDOLA	#2A
84"	YES	LOZIER	GRAVITY FEED	#3A
84"	YES	LOZIER	L.D. GONDOLA	#2A
96"	YES	LOZIER	L.D. STORAGE	#1A
96"	YES	LOZIER	L.D. GONDOLA	#2A
120"	YES	LOZIER	L.D. STORAGE	#1A

**FIXTURE REQUIREMENTS**

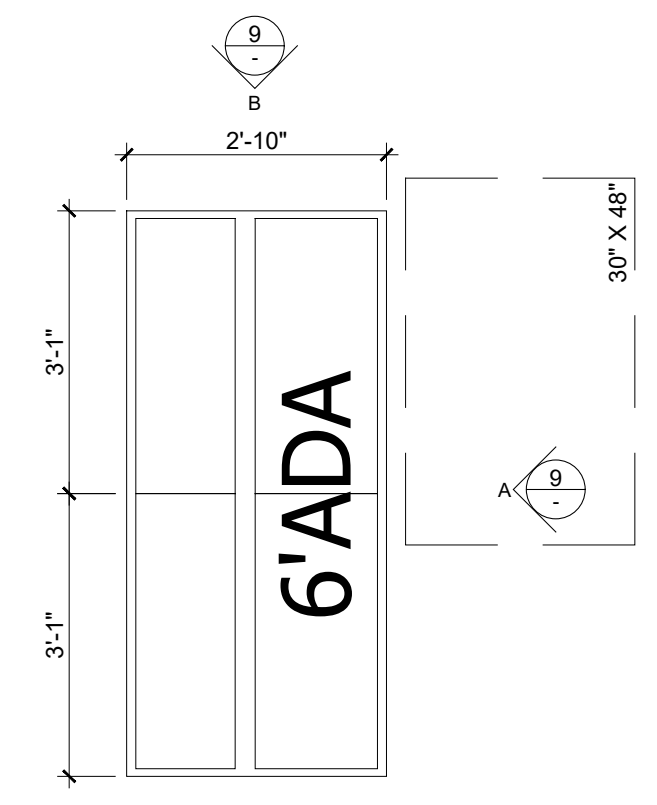
A SEPARATE FIXTURE PERMIT IS REQUIRED	NO
FIXTURE ANCHORAGE REQUIRED	YES
SEISMIC CALCULATIONS REQUIRED	YES
THIRD PARTY SEISMIC SPECIAL INSPECTION REQUIRED	-
FIXTURE INSTALLER IS REQUIRED TO BE LICENSED WITH THE CITY/COUNTY	-
A TEMPORARY CERTIFICATE OF OCCUPANCY CAN BE ISSUED TO ALLOW STOCKING OF THE STORE	NO

**FIXTURE GENERAL NOTES**

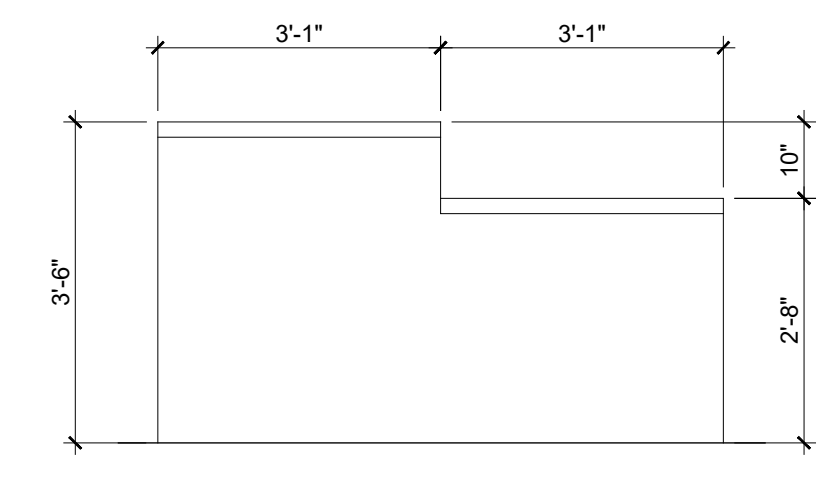
A PLAN IS FOR RACK HEIGHT REFERENCE ONLY. REFER TO STORE INSTALL PLAN FOR FINAL FIXTURE LAYOUT (NOT INCLUDED IN THIS SET).



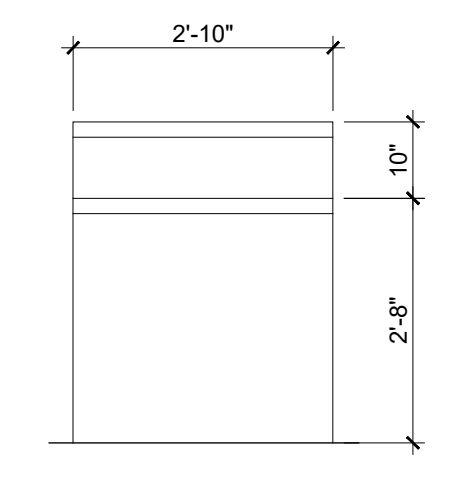
3 CEILING HEIGHT AND RACK SECTION (FOR REFERENCE ONLY)  
 SCALE: 1/4"=1'-0"




9 TYPICAL ACCESSIBLE CASH WRAP (FOR REFERENCE ONLY)  
 SCALE: 1/2"=1'-0"



ELEVATION A



ELEVATION B



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PROJECT:  
**O'REILLY AUTO PARTS STORE - BE1**  
 1101 UNIVERSITY AVENUE  
 BERKELEY, CA 94702

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**O'Reilly**  
 AUTO PARTS

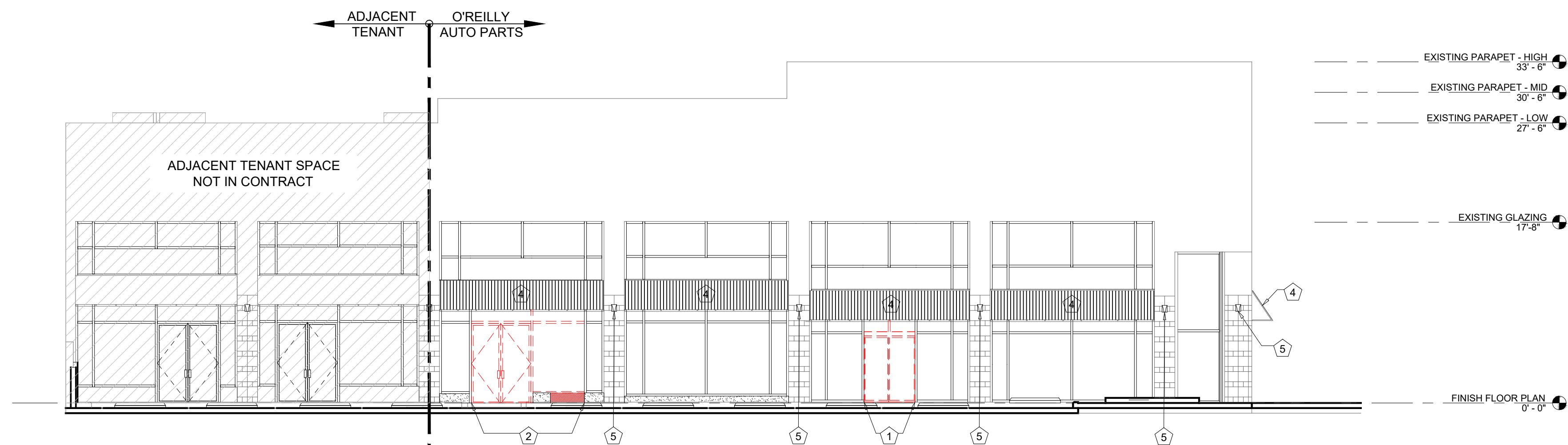
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REV.	DESCRIPTION	DATE
1	FOR REVIEW	XX.XX.XX

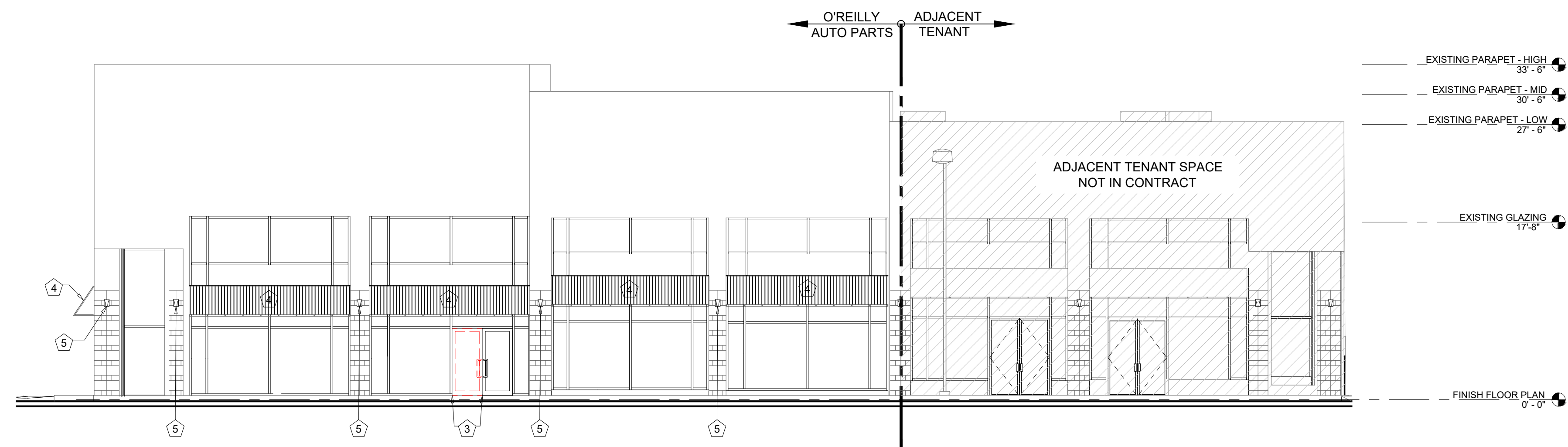
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PROJECT NUMBER: <b>XX</b>	
SHEET NUMBER:	

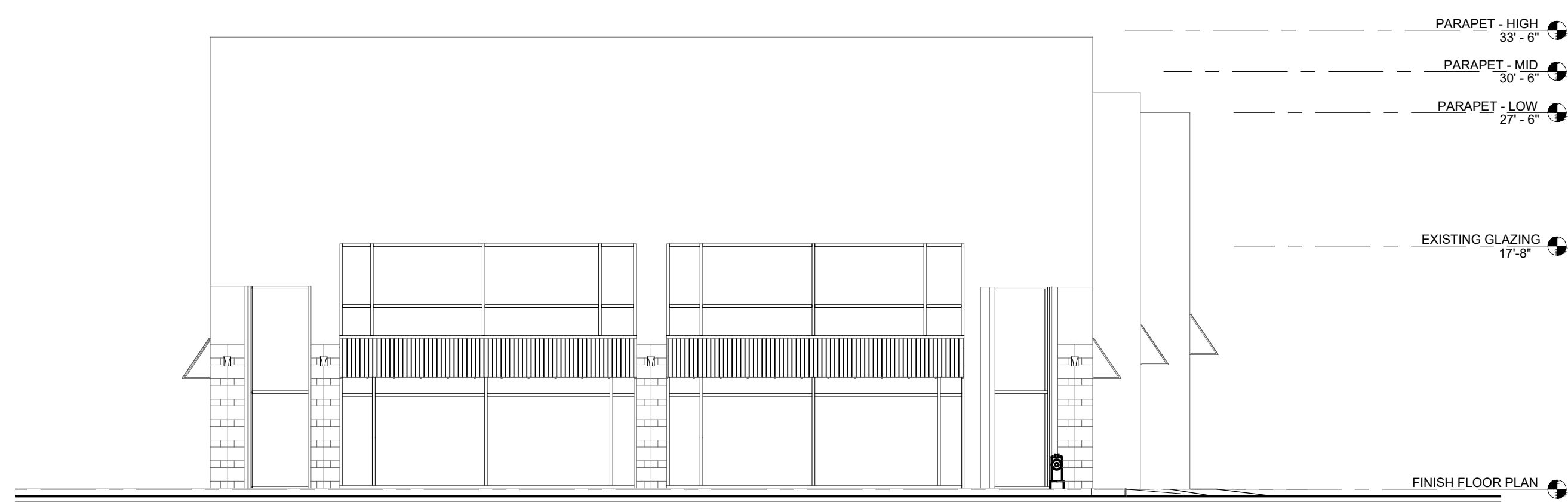
A1.5



1 NORTH EXTERIOR DEMOLITION ELEVATION  
 SCALE: 1/8"=1'-0"



2 SOUTH EXTERIOR EXISTING ELEVATION  
 SCALE: 1/8"=1'-0"



3 WEST EXTERIOR EXISTING ELEVATION - FOR REFERENCE ONLY  
 SCALE: 1/8"=1'-0"

LEGEND

- EXISTING TO BE REMOVED
- WALL CUT OUT, PER DEMOLITION PLAN

GENERAL NOTES

- A EXISTING CONDITIONS BASED UPON INFORMATION PROVIDED BY OTHERS OR ARCHITECT'S OBSERVATION.
- B EXISTING CONSTRUCTION TO REMAIN TO BE PROTECTED AS REQUIRED. REMOVE AND REPLACE DAMAGED CONSTRUCTION DUE TO CONTRACTOR'S ACTIVITIES.
- C EXISTING CONSTRUCTION TO BE REWORKED AS REQUIRED FOR INSTALLATION OF NEW CONSTRUCTION. PATCH AND REPAIR EXPOSED SURFACES OF EXISTING CONSTRUCTION TO REMAIN AT LOCATIONS OF EXISTING CONSTRUCTION TO BE REMOVED. FIELD VERIFY SCOPE OF WORK REQUIRED.
- D NEW CONSTRUCTION TO MATCH EXISTING CONSTRUCTION TYPE AND FINISH, UNLESS OTHERWISE NOTED.

DEMOLITION KEYNOTES

- 1 REMOVE EXISTING STOREFRONT SYSTEM FOR NEW VESTIBULE STOREFRONT SYSTEM. REFER TO SHEET A1.2 FOR ADDITIONAL INSTRUCTION.
- 2 REMOVE EXISTING STOREFRONT GLAZING AND DOOR FOR NEW OVERHEAD DOOR. NEW STOREFRONT GLAZING AND NEW STOREFRONT DOOR. CUT OPENING IN EXISTING STOREFRONT SILL FOR NEW STOREFRONT DOOR. REFER TO SHEET A1.2 FOR ADDITIONAL INFORMATION.
- 3 MODIFY EXISTING STOREFRONT DOOR TO SWING OUTWARD (IN THE DIRECTION OF EGRESS). REFER TO SHEET A1.2 FOR ADDITIONAL INFORMATION.
- 4 EXISTING METAL AWNING TO REMAIN, TYPICAL.
- 5 EXISTING EXTERIOR LIGHTS TO REMAIN, TYPICAL.

**KD**  
 Kinetic Design  
 29833 Santa Margarita Pkwy Suite 300  
 Rancho Santa Margarita, CA 92688  
 Main: 951.710.6334  
 Web: kineticdesign.net  
 Email: info@kineticdesign.net

PROJECT:  
 O'REILLY AUTO PARTS STORE - BE1  
 1101 UNIVERSITY AVENUE  
 BERKELEY, CA 94702

EXTERIOR DEMOLITION ELEVATIONS

**O'Reilly**  
 AUTO PARTS

REV.	DESCRIPTION	DATE
FOR REVIEW		XX.XX.XX

DRAWN BY: HHL  
 CHECKED BY:  
 DATE: 12/10/25  
 PROJECT NUMBER: XX  
 SHEET NUMBER:

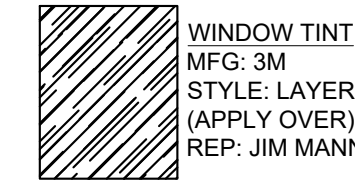
A2.2.1

### EXTERIOR FINISH SCHEDULE

NOTE: REFER TO ELEVATIONS FOR FINISH LOCATIONS

STEEL DOORS AND FRAMES  
MFG: REFER PROJECT MANUAL  
FINISH: FACTORY PRIMED AND FIELD PAINTED, SEMI-GLOSS FINISH  
COLOR: TO MATCH ADJACENT WALL COLOR, SHERWIN WILLIAMS OR APPROVED EQUAL

STOREFRONT SYSTEM  
MFG: EFCO, KAWNEER OR VISTA WALL (NO SUBSTITUTES)  
COLOR: TO MATCH EXISTING or IVY, DARK IVY OR INTERSTATE GREEN, RESPECTIVELY



WINDOW TINT  
MFG: 3M  
STYLE: LAYER 1 - NIGHT VISION 15 (APPLY FIRST); LAYER 2 - FASERA, MILANO (APPLY OVER)  
REP: JIM MANNIX | 612.325.6509

#### FACADE

##### EP - 1 PAINT

MFR: SHERWIN WILLIAMS  
STYLE: SHER-CRYL  
COLOR: SW6871 POSITIVE RED  
FINISH: GLOSS  
APP: PER MFR SPECS FOR SURFACE  
INCLUDE THREE COMPONENT (B65T105 / B65V105 / B65C105) CLEAR URETHANE

##### EP - 2 PAINT

MFR: SHERWIN WILLIAMS  
COLOR: SW6141 SOFTER TAN  
FINISH: SEMI GLOSS  
APP: PER MFR SPECS FOR SURFACE

##### EP - 3 PAINT

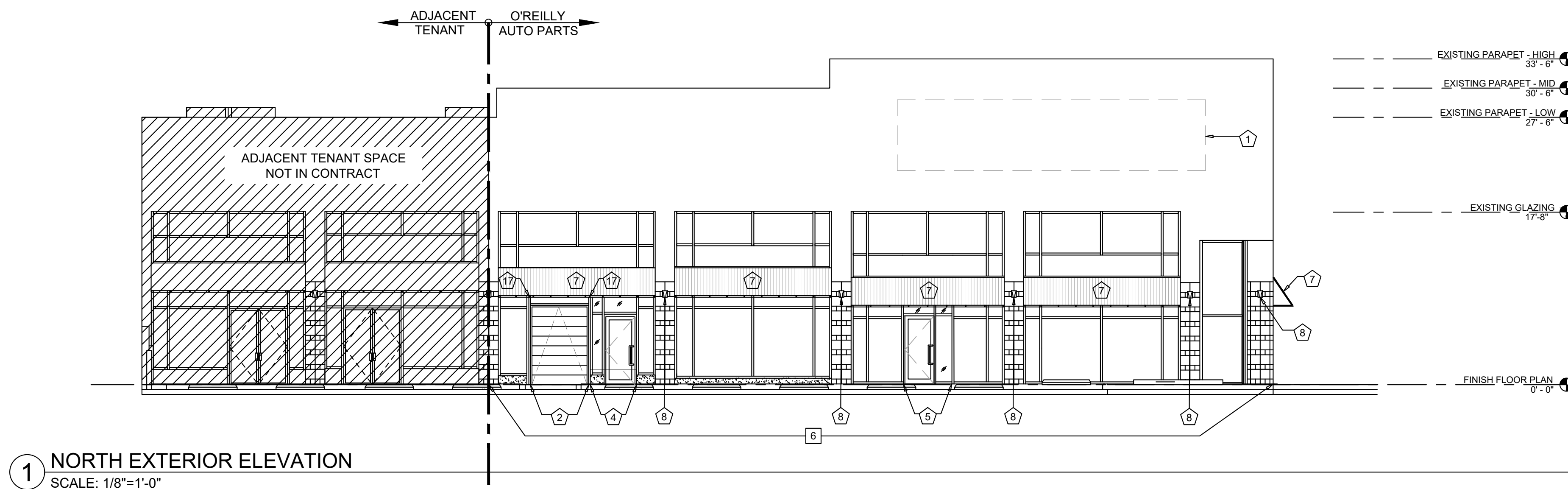
MFR: SHERWIN WILLIAMS  
COLOR: SW6468 HUNT CLUB  
FINISH: SEMI GLOSS  
APP: PER MFR SPECS FOR SURFACE

### EXTERIOR GENERAL NOTES

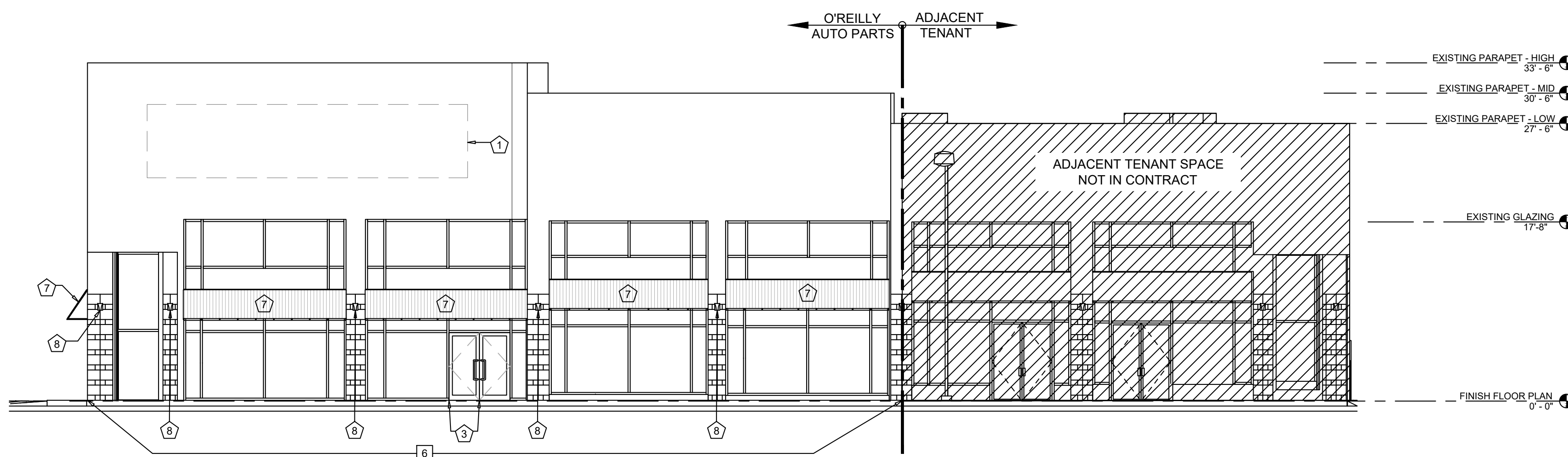
- A MANUFACTURER: SHERWIN WILLIAMS SPECIFIED. EQUAL PRODUCTS BY PPG INDUSTRIES ACCEPTABLE (NO SUBSTITUTES).
- B APPLICATION: INSTALL PER MANUFACTURER'S RECOMMENDATIONS FOR PROJECT CONDITIONS. EACH COAT SPECIFIED SHALL BE SPRAY APPLIED AND BACK ROLLED. COVERAGE THICKNESS INDICATED IN WET MIL UNITS, UNLESS OTHERWISE INDICATED.

### # EXTERIOR KEYNOTES

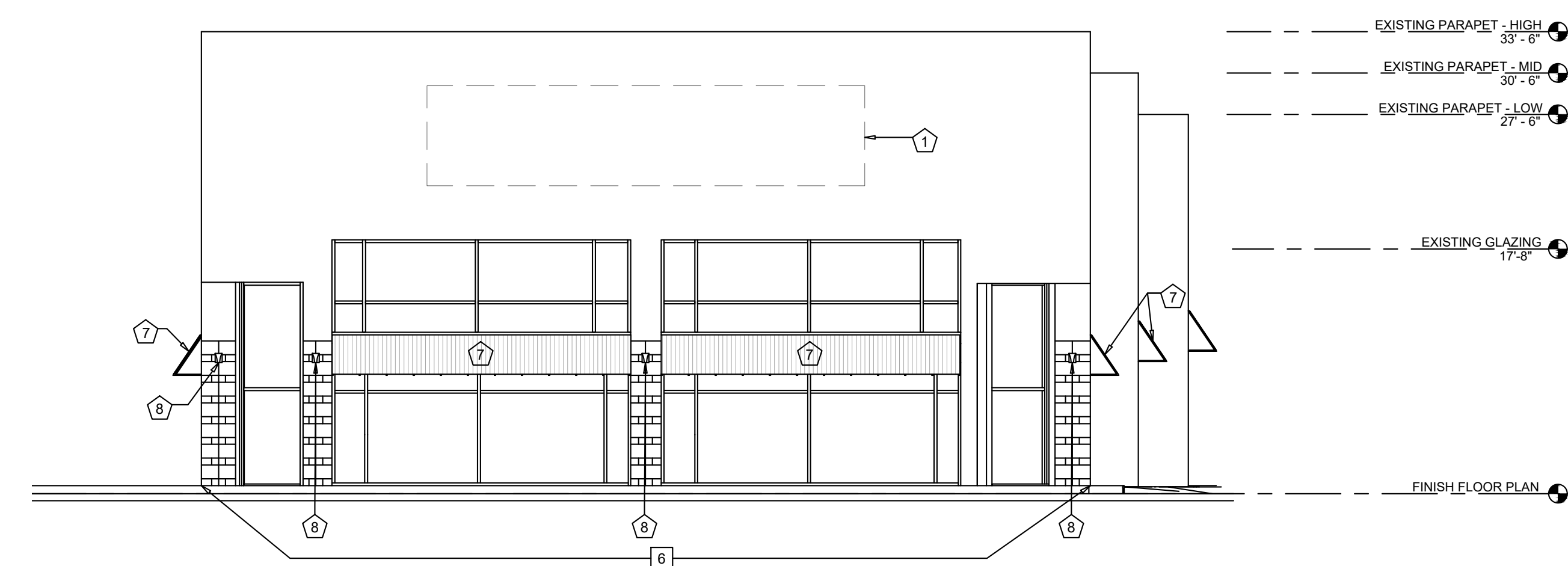
- 1 FUTURE SURFACE MOUNTED SIGN LOCATION - UNDER SEPARATE PERMIT. REFER TO SHEET **SG2.1** IN SEPARATE EXTERIOR DESIGN PACKAGE. THE PROPOSED SIGN SHALL NOT BE APPROVED UNDER THIS ZONING PERMIT ZP2025-0103
- 2 NEW OVERHEAD DOOR. REFER TO SHEET **A1.2** FOR FURTHER INFORMATION.
- 3 MODIFY EXISTING STOREFRONT DOOR TO SWING OUTWARD (IN THE DIRECTION OF EGRESS). REFER TO SHEET **A1.2** FOR ADDITIONAL INFORMATION.
- 4 NEW STOREFRONT DOOR AND GLAZING TO MATCH EXISTING. REFER TO SHEET **A1.2** FOR FURTHER INFORMATION.
- 5 NEW VESTIBULE STOREFRONT SYSTEM. REFER TO SHEET **A1.2** FOR FURTHER INFORMATION.
- 6 PATCH AND REPAIR ALL MISCELLANEOUS HOLES, RIPS, TEARS, PENETRATIONS, ETC. AS REQUIRED AND MAKE EXTERIOR WALL AND STOREFRONT SYSTEM WEATHERTIGHT.
- 7 EXISTING METAL AWNING TO REMAIN, TYPICAL.
- 8 EXISTING EXTERIOR LIGHTS TO REMAIN, TYPICAL.
- 17 NEW STRUCTURAL C-CHANNEL. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.



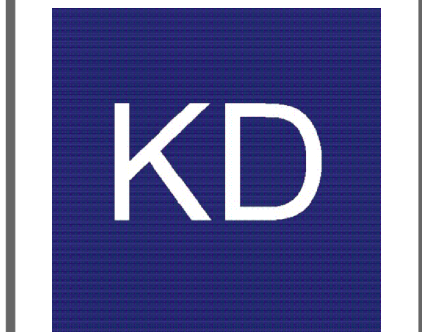
1 NORTH EXTERIOR ELEVATION  
SCALE: 1/8"=1'-0"



2 SOUTH EXTERIOR ELEVATION  
SCALE: 1/8"=1'-0"



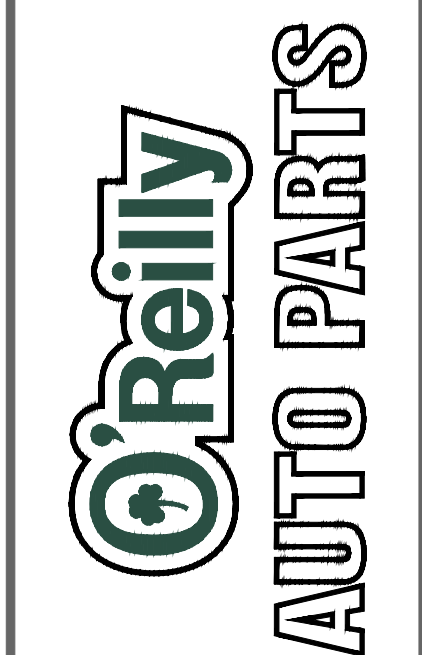
3 WEST EXTERIOR ELEVATION  
SCALE: 1/8"=1'-0"



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PROJECT:  
O'REILLY AUTO PARTS STORE - BE1  
1101 UNIVERSITY AVENUE  
BERKELEY, CA 94702

EXTERIOR ELEVATIONS



REV.	DESCRIPTION	DATE
	FOR REVIEW	XX.XX.XX



DRAWN BY: HL	CHECKED BY:
DATE: 12/10/25	
PROJECT NUMBER: XX	
SHEET NUMBER:	

**A2.2.2**



Z O N I N G  
A D J U S T M E N T S  
B O A R D  
NOTICE OF PUBLIC HEARING

## 1101 University Avenue

**Use Permit #ZP2025-0103 to change the use of 5,516 square feet of an existing vacant unit, last approved for a cannabis retailer, to a Vehicle Parts Store (O'Reilly), on a 13,100 square foot lot within a Designated Node of the C-W zoning district.**

The Zoning Adjustments Board of the City of Berkeley will hold a public hearing on the above matter, pursuant to Zoning Ordinance, Section [23.404.050 \(Public Hearings and Decisions\)](#)

**When:** Thursday, May 14, 2026, 7:00 pm

**Where:** Berkeley Unified School District meeting room, 1231 Addison Street, (wheelchair accessible) with remote/hybrid option (via Zoom).

Please visit: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board> and click on the hearing date to access the most up-to-date meeting information, or call the Land Use Planning division (510) 981-7410.

**PUBLIC ADVISORY: THIS MEETING WILL BE CONDUCTED IN A HYBRID MODEL WITH BOTH IN-PERSON ATTENDANCE AND VIRTUAL PARTICIPATION AVAILABLE FOR MEMBERS OF THE PUBLIC.**

*For in-person attendees, face coverings or masks that cover both the nose and mouth are encouraged. If you're feeling sick, please do not attend the meeting in-person as a public health precaution.*

*Currently, there are no physical distancing requirements in place by the State of California or the Local Health Officer for an indoor event similar to a Commission meeting. However, all attendees are requested to be respectful of the personal space of other attendees. An area of the public seating area will be designated as "distanced seating" to accommodate persons that need to distance for personal health reasons.*

### A. Land Use Designations:

- General Plan: General Plan: Avenue Commercial; West Berkeley Specific Plan
- Zoning: C-W (Node) – West Berkeley Commercial District – Designated Node 3

**B. Zoning Permits Required:**

- Use Permit pursuant to Berkeley Municipal Code Section 23.204.020(A) “*Allowed Land Use*” to establish a new Vehicle Parts Store in the C-W zoning district.

**C. CEQA Recommendation:** Categorically exempt pursuant to Section 15301 of the CEQA Guidelines (“Existing Facilities”).

**D. Project Recommendation:** Approve Use Permit #ZP2025-0103 pursuant to BMC Section 23.406.040(D)

**E. Parties Involved:**

- Applicant Steven Appel, Kinetic Design; Rancho Santa Margarita, CA
- Property Owner AZ DV Real Estate LLC; Berkeley, CA

**Further Information:**

All application materials are available online at:  
<https://aca.cityofberkeley.info/CitizenAccess/Welcome.aspx>.

The Zoning Adjustments Board final agenda and staff reports will be available online 6 days prior to this meeting at: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board>.

Questions about the project should be directed to the project planner, Boshi Fu, at (510) 981-7544 or [bfu@berkeleyca.gov](mailto:bfu@berkeleyca.gov).

Written comments or a request for a Notice of Decision should be directed to the Zoning Adjustments Board Secretary at [zab@berkeleyca.gov](mailto:zab@berkeleyca.gov).

**Communication Disclaimer:**

Communications to Berkeley boards, commissions or committees are public record and will become part of the City's electronic records, which are accessible through the City's website. **Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, will become part of the public record.** If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service or in person to the secretary of the relevant board, commission or committee. If you do not want your contact information included in the public record, please do not include that information in your communication. Please contact the secretary to the relevant board, commission or committee for further information.

**Written Comments, Communications, and Reports:**

Written comments must be directed to the ZAB Secretary at the Land Use Planning Division (Attn: ZAB Secretary), or via e-mail to: [zab@berkeleyca.gov](mailto:zab@berkeleyca.gov). All materials will be made available via the Zoning Adjustments Board Agenda page online at this address: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board>

All persons are welcome to attend the hearing and will be given an opportunity to address the Board. Comments may be made verbally at the public hearing and/or in writing before the hearing. The Board may limit the time granted to each speaker.

**Correspondence received by 5:00 PM, eight days before this public hearing, will be provided with the agenda materials provided to the Board.** Note that if you submit a hard copy document of more than 10 pages, or in color, or with photos, you must provide 15 copies. Correspondence received after this deadline will be conveyed to the Board in the following manner:

- **Correspondence received by 5:00 PM, two days before** this public hearing, will be conveyed to the Board in a Supplemental Communications and Reports #1, which is released around noon one day before the public hearing.
- **Correspondence received by 12:00 PM, the day of** this public hearing, will be conveyed to the Board in a Supplemental Communications and Reports #2, which is released around noon the day of the public hearing.
- **Correspondence received after 12:00 PM, the day of** this public hearing will be saved in the project administrative record.



**Accessibility Information / ADA Disclaimer:**

To request a disability-related accommodation(s) to participate in the meeting, including auxiliary aids or services, please contact the Disability Services specialist at 981-6342 (V) or 981-6345 (TDD) at least three business days before the meeting date.

**SB 343 Disclaimer:**

Any writings or documents provided to a majority of the Commission regarding any item on this agenda will be made available to the public. Please contact the Land Use Planning Division (zab@berkeleyca.gov) to request hard-copies or electronic copies.

**Notice Concerning Your Legal Rights:**

If you object to a decision by the Zoning Adjustments Board regarding a land use permit project, the following requirements and restrictions apply:

1. If you challenge the decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice.
  2. You must appeal to the City Council within 14 days after the Notice of Decision of the action of the Zoning Adjustments Board is mailed. It is your obligation to notify the Land Use Planning Division in writing of your desire to receive a Notice of Decision when it is completed.
  3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than 90 days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that 90-day period will be barred.
  4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
  5. If you believe that this decision or any condition attached to it denies you any reasonable economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a "taking" of property for public use without just compensation under the California or United States Constitutions, the following requirements apply:
    - a. That this belief is a basis of your appeal.
    - b. Why you believe that the decision or condition constitutes a "taking" of property as set forth above.
    - c. All evidence and argument in support of your belief that the decision or condition constitutes a "taking" as set forth above. If you do not do so, you will waive any legal right to claim that your property has been taken, both before the City Council and in court.
-