



D E S I G N
R E V I E W
C O M M I T T E E
S T A F F R E P O R T

For Committee Decision
MAY 28, 2026

2800 Telegraph Avenue

FINAL DESIGN REVIEW

Design Review #DRCF2026-0003 to demolish an existing non-residential structure and construct a 19,605 square-foot, six-story residential building containing 17 dwelling units (1 Very Low-Income unit) with 1 parking space and 19 bicycle parking spaces.

I. Introduction

This six story mixed use project is located in the C-C Corridor Commercial District at the intersection of Telegraph and Stuart.

The proposed demolition was brought before the Landmarks Preservation Commission (LPC) for review on March 2, 2023 where no action was taken. The project went before ZAB on April 27, 2023 where the use permit was approved. It was last before the Design Review Committee for Preliminary Design Review on March 16, 2023 where the Committee forwarded a favorable recommendation to ZAB with direction for Final Design Review. A summary from that meeting is provided further below for reference.

It is before the Design Review Committee this month for Final Design Review where the Committee will review construction details, final color and material palette, and landscape details for the project.

II. Background

The proposed project would demolish an existing non-residential structure and construct a new six-story residential building containing 17 dwelling units the six-unit residential building and accessory structure, and construct a new multifamily building with the following primary components:

- 17 dwelling units (6 four-bedroom, 10 three -bedroom, and one studio) for a total of 55 bedrooms;

- 17 long-term bicycle parking spaces on site and two short-term spaces on the sidewalk;
- On-site laundry facilities on each floor;
- Communal space on the ground floor, facing Telegraph Avenue; and
- 1,590 square feet of open space (roof deck).

III. Project Setting

A. Neighborhood/Area Description:

The project is located on the Southwest corner at the intersection of Telegraph and Stuart in the C-C Corridor Commercial district. Surrounding structures are primarily two- to three- story mixed use and commercial buildings. There is a hotel to the North across Stuart Street, Willard Middle School to the Northeast, and several small retail stores to the South and across Telegraph to the East.

B. Site Conditions:

The subject property is a corner lot with primary frontage on Telegraph Avenue (east) and secondary/side street frontage on Stuart Street (north). It features a single-story commercial building of wood frame construction that was completed in 1926. The stucco-clad building covers the approximately 3,650-sq. ft. parcel. The Telegraph building façade (east) has three storefront bays with large display windows set above a low, tiled bulkhead. The main entry door faces the corner of Telegraph/Stuart within a narrow wall plane that is set at an angle from the east and north building elevations. The secondary, Stuart façade (north) is primarily a solid wall with only a small window, a utility/egress door and several closet hatches. The building is currently vacant.

Figure 1: Vicinity Map

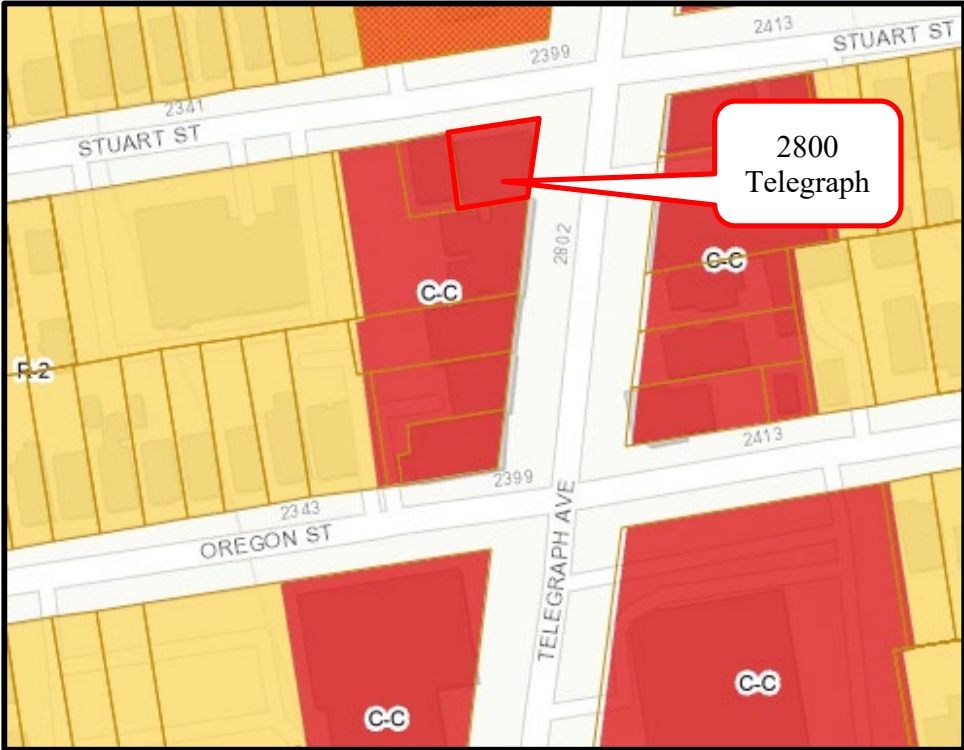


Table 1: Land Use Information

Location		Existing Use	Zoning District	General Plan Designation
Subject Property		Commercial	Corridor Commercial (C-C)	Avenue Commercial (A-C)
Surrounding Properties	North	Hotel (Rose Garden Inn)		
	South	Commercial (vacant)		
	East	Medical practitioner office		
	West	Commercial		

IV. Summary from March 16, 2023 DRC Meeting

Preliminary Design Review received a favorable recommendation to ZAB with the following conditions and recommendations for Final Design Review (FDR): MOTION: (Mitchell, Gaffney) VOTE (6-0-0-1) Kahn - absent.

Conditions

- *Provide window studies at FDR that recall the vertical window design initially proposed.*
- *Refine garage entry design, and reduce width if possible.*
- *Provide brick details and material samples at FDR.*

Recommendations

- *Consider a more rigorous study of the bays on Telegraph and better coordination between the ground floor and the upper floors.*
- *Recommend more detail at the pedestrian level.*
- *Provide more brick detail, including soldier courses, as shown in renderings.*
- *Recommend more color and detail overall, including the west façade.*
- *Recommend different window at the ground floor studio.*
- *Consider stucco finish for stair tower on Stuart.*
- *Recommend some artistic recall of bicycles from the street views in light of former business.*
- *Recommend skylight over bike storage.*
- *Recommend bird safe glass.*
- *Consider a curb at front planting areas, and taller plants in front of the ground floor studios.*
- *Explore options for more street trees.*

ZAB / Public Works / Interior Plan Issues.

- *Consider a retail space at the ground floor corner.*
- *Consider an alternate tree for Telegraph.*
- *Reconsider location of bathrooms directly adjacent to the kitchen.*

V. Issues and Analysis

A. Consistency with Approved Use Permit Design

This design submittal is consistent with the approved Use Permit design. It does include an additional residential unit on the ground floor in the northwest corner where parking was located in the approved use permit. The additional units are consistent with State law and we anticipate that this will be approved administratively.

B. Current Submittal includes:

- Floor plans, exterior elevations, building sections, and perspective renderings;
 - Although the Use Permit plans do have some variation in the window locations and proportions, an alternate design with fewer windows was also presented at the March 2023 Preliminary Design Review meeting. The applicant will provide additional information about the proposed windows and any design constraints they have encountered at the meeting.
- Construction details, and wall and window sections;
- Landscape plans and plant palette; and
- Colors and materials board.
 - Brick proposed in the renderings is darker than what was presented at Preliminary Design Review, but the applicant will bring samples to the meeting so that the DRC can see the depth and color variation in the proposed brick.

C. Issues for Discussion:

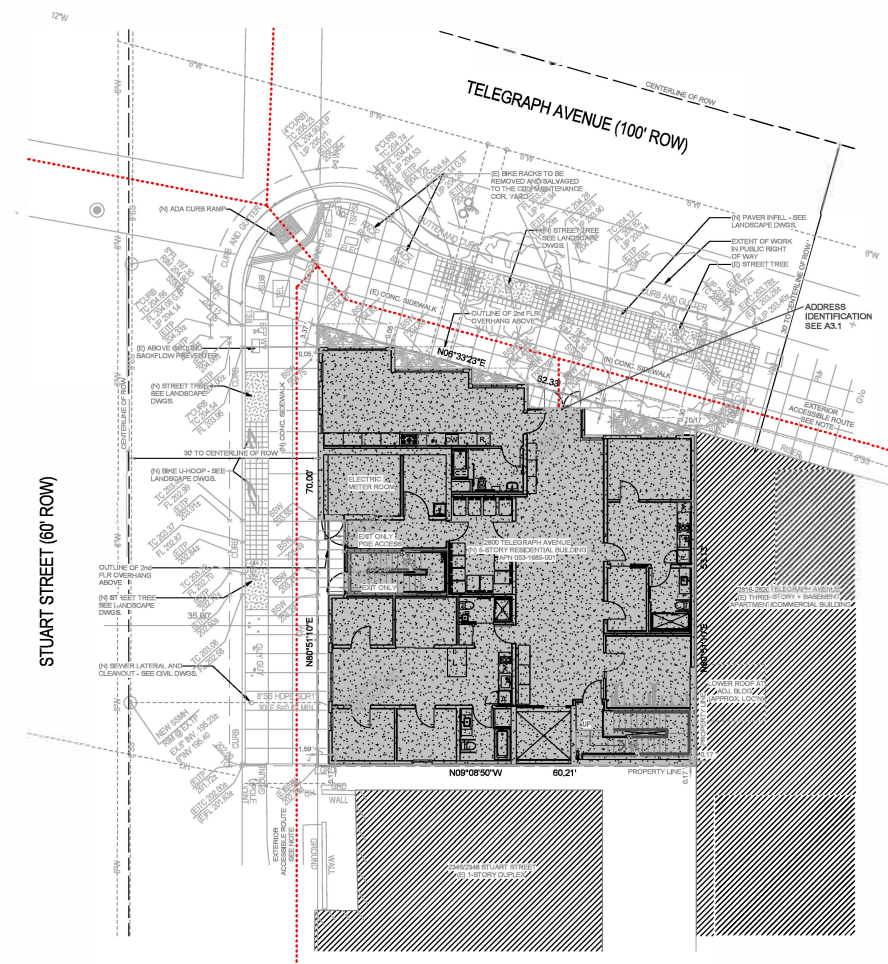
- Building details
- Colors and materials
- Landscape plan

VI. Recommendation

Staff recommends that the Committee discuss the issues outlined above and approve Final Design Review with Staff follow up as necessary.

Attachments:

1. Project Plans, Received May 11, 2026 (site plan exhibit only has been uploaded on-line consistent with SB1214 requirements)
2. Approved Use Permit Drawings, approved April 27, 2023



SITE PLAN
 1/8" = 1'-0"

KEYNOTES	
KEY NOTE	DESCRIPTION

- SITE LEGEND:**
- CONTINUOUS ACCESSIBLE PATH OF TRAVEL PER CBC-1110A
 MIN. 12" CHANGES IN ELEVATION
 MIN. WIDTH 48"
 MAXIMUM 5% RUNNING SLOPE
 MAXIMUM 1:4 FT CROSS SLOPE
 - NEW PLANTER SURFACE / GARDEN AREA. SEE LANDSCAPE PLANS
 - STAMPED CONCRETE
 - NEW BUILDING AREA

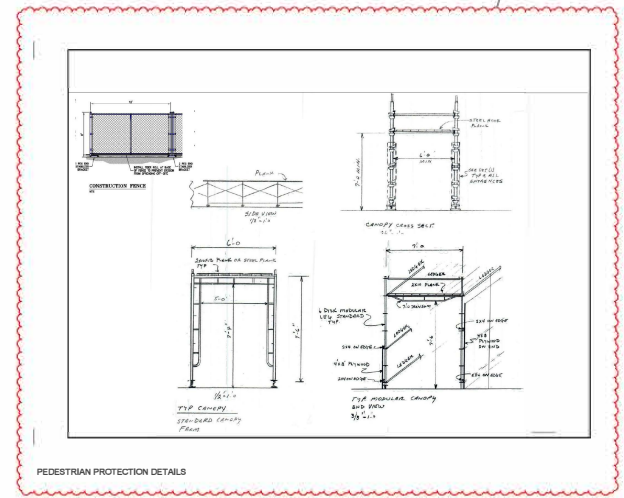
GENERAL SHEET NOTES:

1. AT THE TIME OF FOUNDATION INSPECTION CORNER STAKES OR OFFSET STAKES MUST BE ESTABLISHED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA AND VERIFIED BY THE FIELD INSPECTOR TO ENSURE THAT NEW CONSTRUCTION IS LOCATED IN ACCORDANCE WITH THE APPROVED PLANS, CSC SECTION 107

2. CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT 1-800-227-2800 PRIOR TO ANY EXCAVATION.

NOTES:

AN ENGINEERING PERMIT WILL BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO CONSTRUCTION STAGING, RESERVED CONSTRUCTION PARKING, SIDEWALK, DRAINAGE, OR SEWER WORK. THE ENGINEERING PERMIT CAN BE ISSUED AFTER THE BUILDING PERMIT IS APPROVED AND ISSUED. UTILITY WORK (GAS, ELECTRICAL, WATER) REQUIRES A SEPARATE ENGINEERING UTILITY PERMIT FROM THE ENGINEERING DIVISION. APPROVAL OF THIS BUILDING PERMIT DOES NOT AUTHORIZE WORK IN THE PUBLIC RIGHT-OF-WAY. REMOVAL OF EXISTING TREES REQUIRE A PERMIT FROM THE FORESTRY DIVISION.



WARREN BLEDSOE
 50523 LICENSE NO.
 LICENSED PROFESSIONAL ENGINEER
 STATE OF CALIFORNIA

ARAMON
 C-38104 LICENSE NO.
 LICENSED PROFESSIONAL SURVEYOR
 STATE OF CALIFORNIA

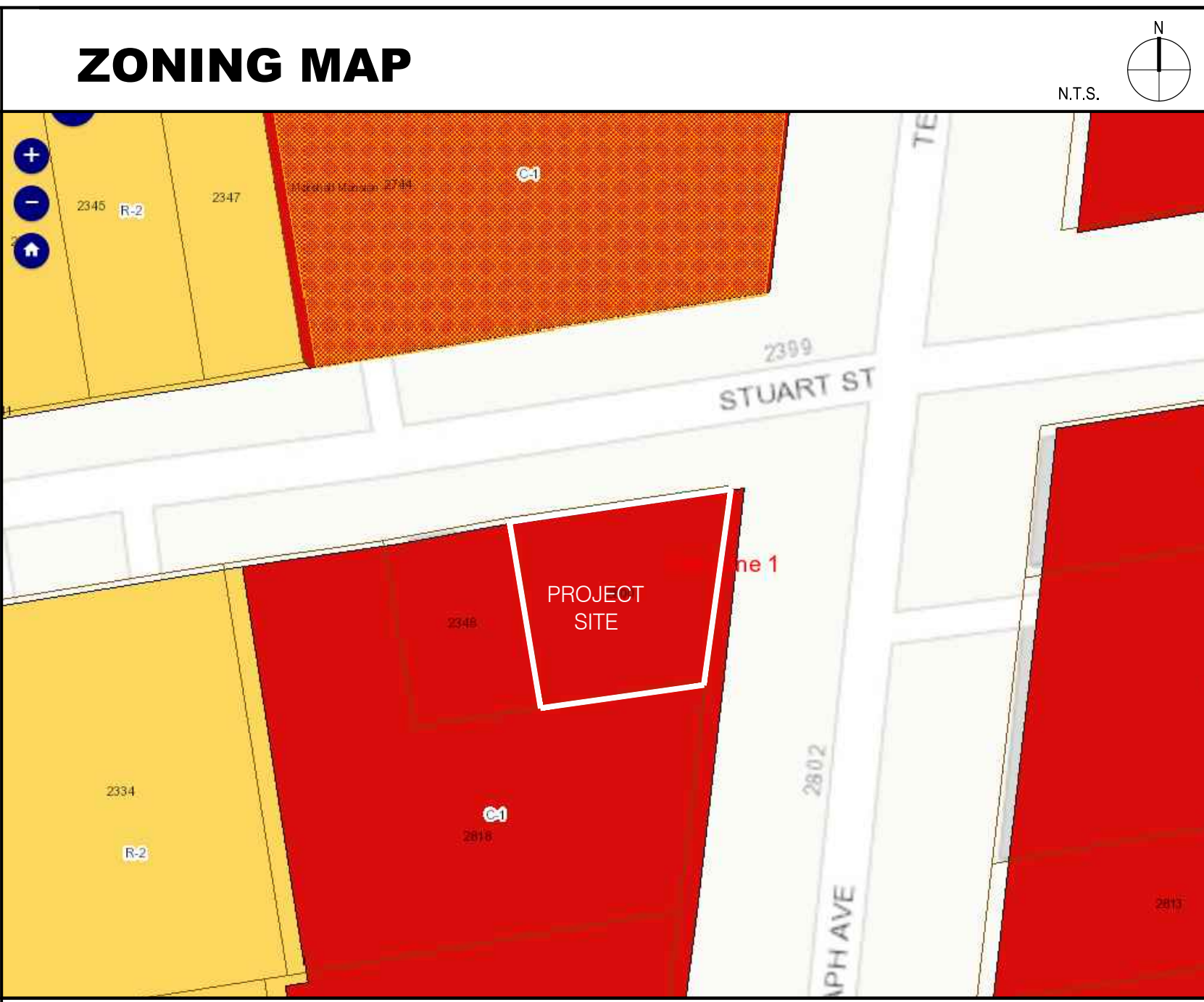
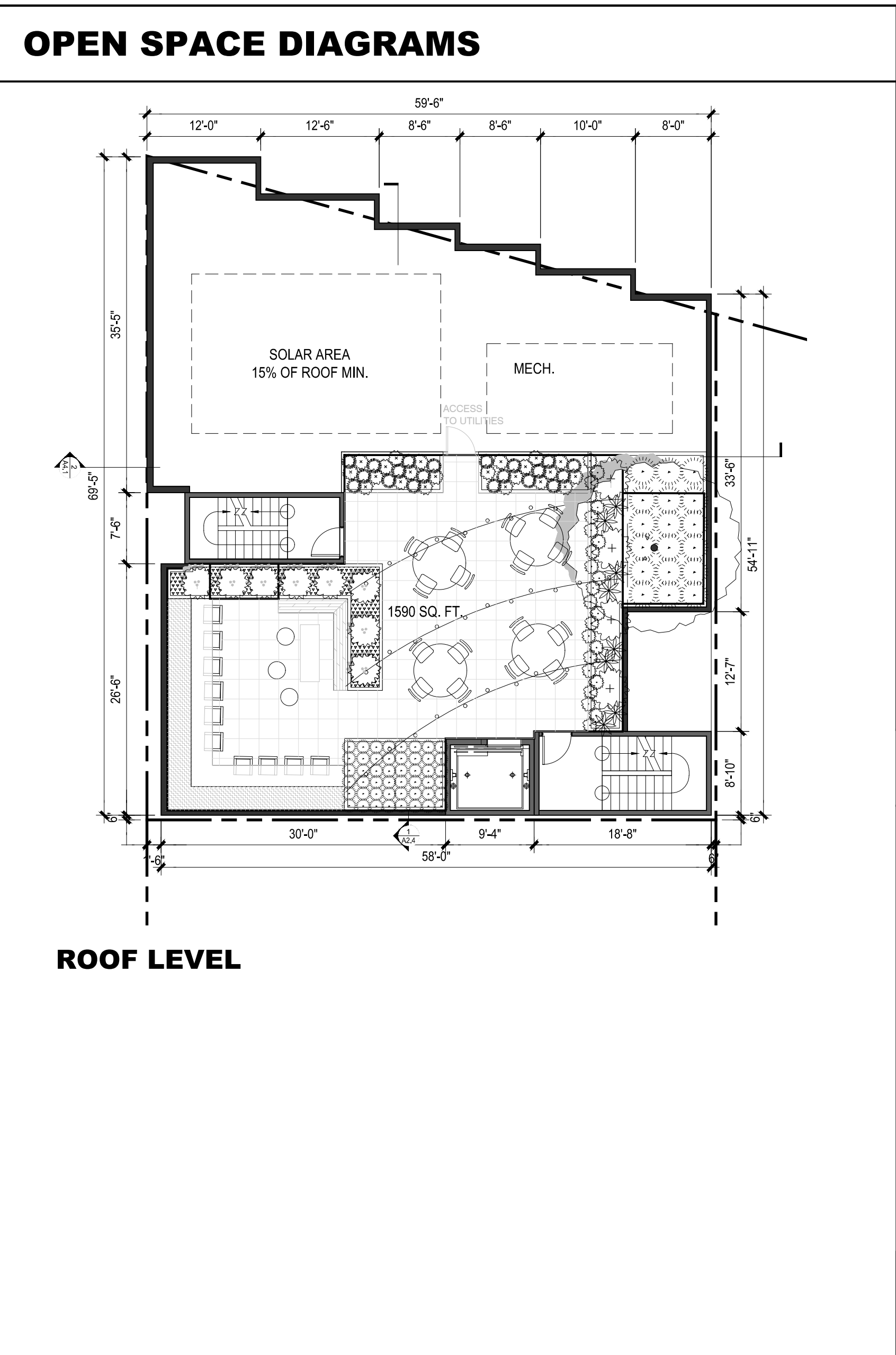
2800 TELEGRAPH
 2800 TELEGRAPH AVENUE
 BERKELEY, CA 94704

SITE PLAN

ISSUED: 1/2025
 REVIEW: 2/2025
 SUBMITTED: 11/31/25
 REVISION: 1/13/26

A1.1

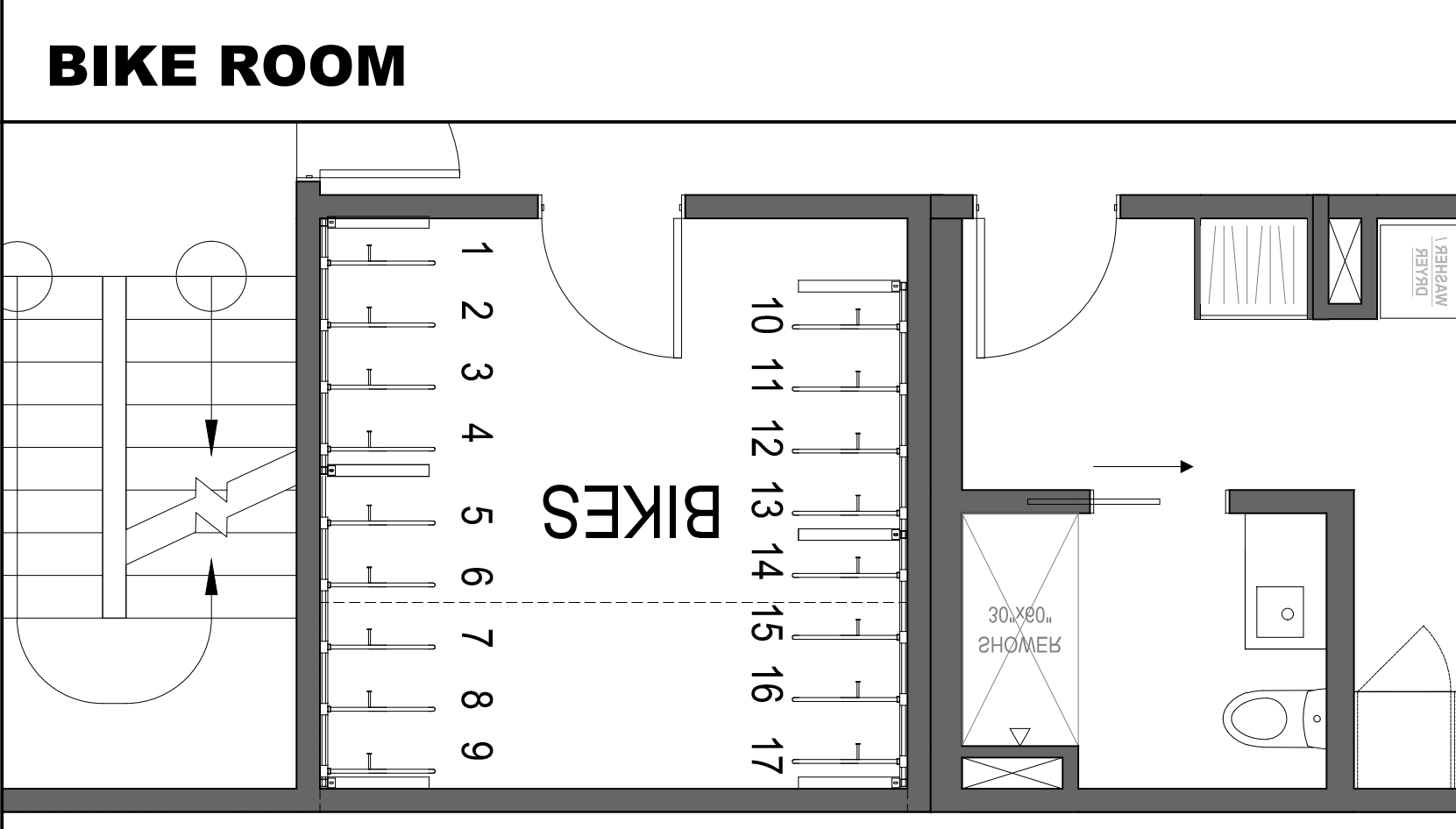
TRACHTENBERG
 ARCHITECTS



ZONING CODE DATA

CITY OF BERKELEY ZONING TABULATIONS

	BASE ZONING	ALLOWABLE W/ UP'S & AUP'S	PROPOSED W/ DENSITY BONUS	COMPLIANCE
ZONING	C-C			
LOT AREA	3,695	3,695	3,695	
LOT AREA (ACRES)	0.08	0.08	0.08	
NUMBER OF DWELLING UNITS	N/A	N/A	16	
SETBACK - FRONT (TELEGRAPH) 1ST - 3RD STORY	15'	No min.	0' to 3'-3"	COMPLIES W/UP
SETBACK - REAR 1ST - 3RD STORY	15'	No min.	6"	COMPLIES W/UP
SETBACK - INTERIOR SIDE 1ST - 2ND STORY	4'	No min.	6"	COMPLIES W/UP
SETBACK - INTERIOR SIDE 3RD STORY	6'	No min.	6"	COMPLIES W/UP
SETBACK - STREET SIDE (STUART ST) 1ST STORY	6'	No min.	0' to 1'-6"	COMPLIES W/UP
SETBACK - STREET SIDE (STUART ST) 2ND STORY	8'	No min.	0' to 1'-6"	COMPLIES W/UP
SETBACK - STREET SIDE (STUART ST) 3RD STORY	10'	No min.	0' to 1'-6"	COMPLIES W/UP
BUILDING SEPARATION 1ST STORY	8'	No min.	6"	COMPLIES W/UP
BUILDING SEPARATION 2ND STORY	12'	No min.	6"	COMPLIES W/UP
BUILDING SEPARATION 3RD STORY	16'	No min.	6"	COMPLIES W/UP
BUILDING HEIGHT	35'	35'	70'-5"	COMPLIES W/WAIVER
BUILDING STORIES	3	3	6	COMPLIES W/WAIVER
LOT COVERAGE (CORNER LOT, 3 STORIES)	45%	100%	93%	COMPLIES W/WAIVER
BUILDING FOOTPRINT	1,663	3,695	3,441	COMPLIES W/UP
FAR	2.7	no max.	5.19	COMPLIES
TOTAL GSF	9,811	NA	19,936	COMPLIES
USABLE OPEN SPACE (SEE TABLE)	200sf/unit	200sf/unit	SEE TABLE	COMPLIES W/ CONCESSION
PARKING	0	0	SEE TABLE	COMPLIES
BIKE PARKING	SEE TABLE	SEE TABLE	SEE TABLE	COMPLIES



Vertical Rack

Recommended Setbacks

Our Saris Infrastructure representatives can assist with custom layout and spacing to meet your room dimensions and desired bike capacity.

Saris Infrastructure 800.783.7257 www.sarisinfrastructure.com

REFUSE AND RECYCLING

# of Bedrooms	Factor	Occupants	Total cuft required (.25cy or 50gallons / 3)	Waste (40%)	Recycling (40%)	Organics (20%)
51	1.33	68	5.65 cy	1,131 gal	452 gal	226 gal

Container Quantities	Space Required	150% Additional
Waste	28 sf	
Recycling	70 sf	
Organics	22 sf	
Total capacity	480 gal	480 gal

PROPOSED FLOOR AREA WITH DENSITY BONUS

	RESIDENTIAL	TOTAL
LEVEL 6	3,140	3,140
LEVEL 5	3,140	3,140
LEVEL 4	3,140	3,140
LEVEL 3	3,140	3,140
LEVEL 2	3,140	3,140
GROUND LEVEL (EXCLUDES PARKING)	2,687	3,482
TOTAL FLOOR AREA W/ DENSITY BONUS	18,387	19,182

UNIT COUNTS

UNIT TYPE	STUDIO	3-BED	4-BED	TOTAL
LEVEL 6	0	2	1	3
LEVEL 5	0	2	1	3
LEVEL 4	0	2	1	3
LEVEL 3	0	2	1	3
LEVEL 2	0	2	1	3
GROUND LEVEL	1			1
TOTAL	1	10	5	16

	UNITS	RATIO	TOTAL	LANDSCAPE AREA (40%)
REQUIRED OPEN SPACE	16	200	3,200	
TOTAL CONCESSION REQUESTED			1,610	
TOTAL AREA PROVIDED			1,590	700
ROOF DECK			1,590	700

BIKE PARKING CALCULATIONS

	UNITS/SF	SPACES	PER	TOTAL REQ	PROPOSED
RESIDENTIAL (LONG TERM) (PER BEDROOM)	51	1	3	17	17
RESIDENTIAL (SHORT TERM) (PER BEDROOM)	51	1	40	2	2
TOTAL BICYCLE PARKING				19	19

PARKING TABLE

	UNITS/SF	SPACES	PER	TOTAL REQ	PROPOSED
RESIDENTIAL (none required per Table 23.322-2)	16	0	0	0	1
TOTAL				0	1

ROOFTOP ARCHITECTURAL ELEMENTS CALCS

AVERAGE AREA	3197
TOTAL AREA OF ROOFTOP ELEMENTS	299
% AREA OF ROOFTOP ARCH. FEATURES	9.4%
ALLOWABLE % (PER 23E.04.020C)	15.0%

Fourth Street
 Berkeley, California 94710
 549.1414
 v.TrachtenbergArch.com

PANORAMIC 2800 TELEGRAPH

Berkeley, CA

05.2022 ZONING APPLICATION
 07.2022 ZONING RESUBMISSION
 11.2022 ZONING RESUBMISSION

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ZONING DATA

A0.1



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PANORAMIC 2800 TELEGRAPH

Berkeley, CA

08.05.2022 ZONING APPLICATION
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JOB: 2140

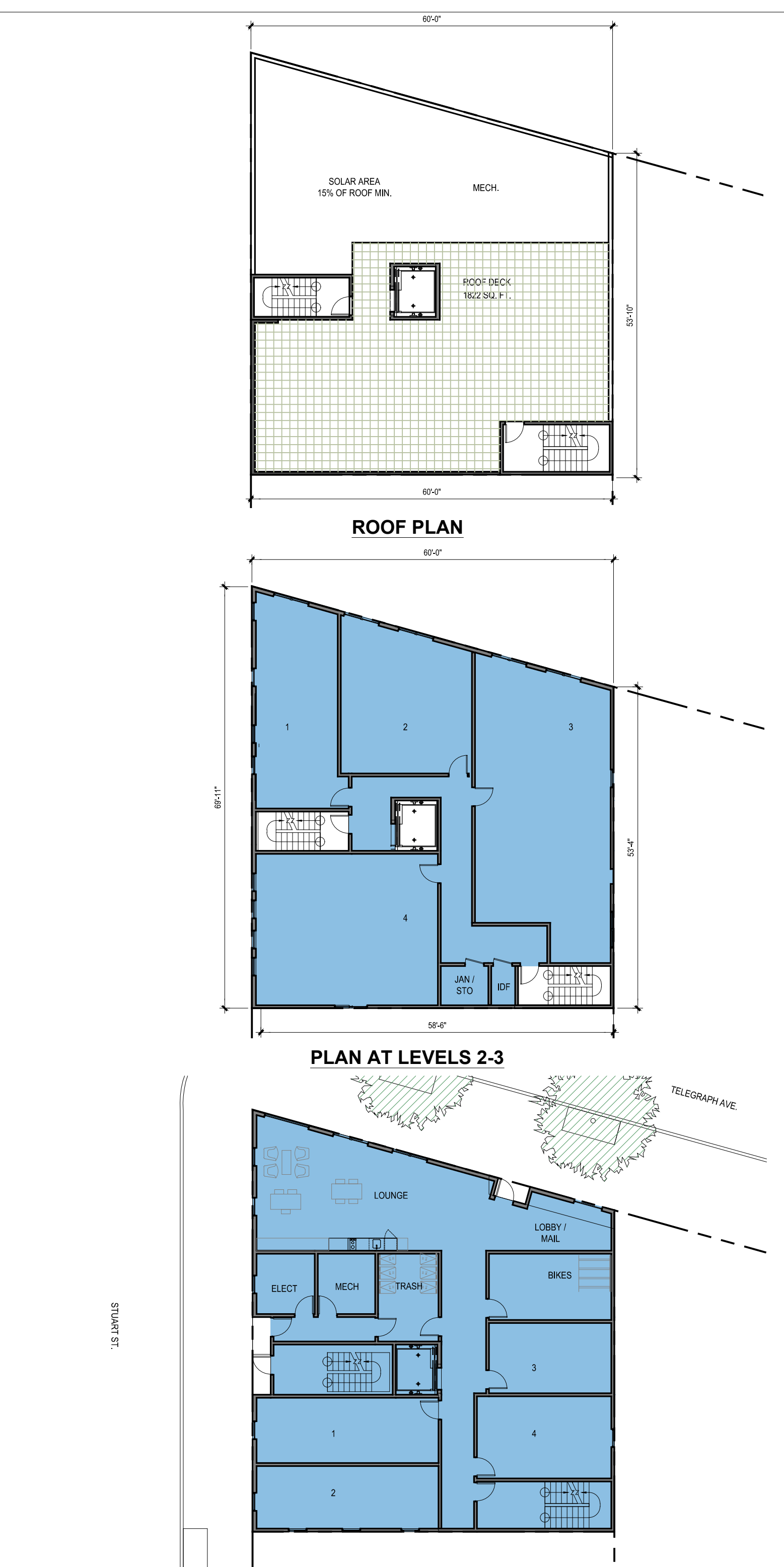
SHEET:

EXISTING
 DENSITY BONUS
 DIAGRAMS

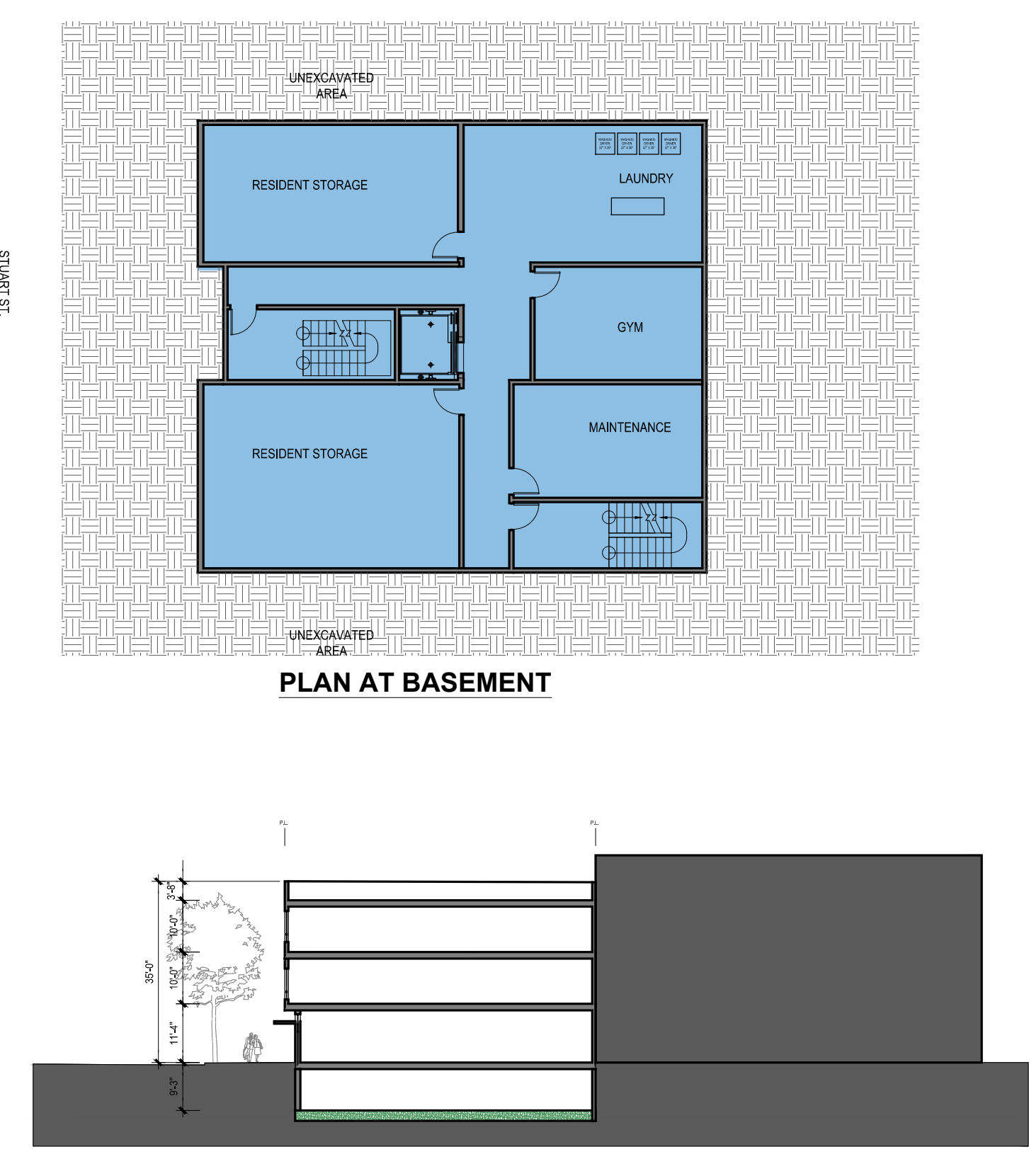
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PROPOSED DENSITY BONUS PROJECT



BASE PROJECT





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JOB: 2140

SHEET:

EXISTING
 DENSITY BONUS
 DIAGRAMS

A0.3B

DENSITY BONUS TABLE									
Base Project	Base# Units	Base # Units (round up)	% VLI units	# VLI Units	#VLI Units	Bonus %	# DB Units	# DB Units	Maximum DB Project
sq. ft. - see calculation below	base project area / avg. unit size	Base Units/Max. Residential Density (rounds up)	VLI = Very Low Income <50 AMI	% VLI x Base # Units			% Bonus x Base # Units	% Bonus x Base # Units (rounded up)	% Bonus x Base # Units (rounded up)
13,748	11.96	12	8%	0.96	1.00	27.5%	3.3000	4	16

Base Project Res. Area	Floor	Proposed Project Res. Area	#VLI	%VLI	%DB	#DB	#Concessions
			1	5%	20.0%	15	1
			1	6%	22.5%	15	1
	Sixth	3140	1	7%	25.0%	15	1
	Fifth	3140	1	8%	27.5%	16	1
	Fourth	3140	2	9%	30.0%	16	1
3,445	Third	3140	2	10%	32.5%	16	2
3,445	Second	3140	2	11%	35.0%	17	2
3,643	Ground	2687	2	12%	38.75%	17	2
3,215	Basement		2	13%	42.5%	18	2
13,748		18,387	2	14%	46.3%	18	2
		1.34	2	15%	50.0%	18	3

Total Floor Area:

Base Project # of Units	Floor	Proposed Project # of Units	Avg. Unit Size
	sixth	3	
	Fifth	3	
	Fourth	3	
4	Third	3	
4	Second	3	
4	Ground	1	
12		16	
1,146		1,149	

Proposed Area: 18,387

Proposed Units: 16

Average Unit Size: 1,149

Base Project - FAR		
	Res. Area	Total GFA
GFA	13,748	13,748
Site Area	3,695	
FAR		3.721

Base Project - Stormwater				
Area	Roof Area	%	Required	Provided
Area	3,600	4%	144	144

BASE PROJECT ZONING COMPLIANCE TABLE

	BASE ZONING ALLOWABLE / REQUIRED	ALLOWABLE W/ UP OR AUP MODIFICATION	CODE SECTION	PROPOSED BASE PROJECT	ZONING COMPLIANCE
ZONING			C-C		
TOTAL LOT SIZE (SQ. FT.)			3,750		
TOTAL LOT SIZE (ACRES)			0.09		
LOT COVERAGE	45%	100%		91%	COMPLIES
FLOOR AREA RATIO (FAR)	No max.	No max.		2.87	COMPLIES
HEIGHT - FEET	35'-0"	35'-0"		35'-0"	COMPLIES
HEIGHT - STORIES	3	3		3	COMPLIES
SETBACK - FRONT (TELEGRAPH) 1ST - 3RD STORY	15'	No min.	23.204.050.D.3.	0' AND 3'	COMPLIES
SETBACK - REAR 1ST - 3RD STORY	15'	No min.	23.204.050.D.3.	0'	COMPLIES
SETBACK - INTERIOR SIDE 1ST - 2ND STORY	4'	No min.	23.204.050.D.3.	0'	COMPLIES
SETBACK - INTERIOR SIDE 3RD STORY	6'	No min.	23.204.050.D.3.	0'	COMPLIES
SETBACK - STREET SIDE (STUART ST) 1ST STORY	6'	No min.	23.204.050.D.3.	0'	COMPLIES
SETBACK - STREET SIDE (STUART ST) 2ND STORY	8'	No min.	23.204.050.D.3.	0'	COMPLIES
SETBACK - STREET SIDE (STUART ST) 3RD STORY	10'	No min.	23.204.050.D.3.	0'	COMPLIES
BUILDING SEPARATION 1ST STORY	8'	No min.	23.204.050.D.3.	0'	COMPLIES
BUILDING SEPARATION 2ND STORY	12'	No min.	23.204.050.D.3.	0'	COMPLIES
BUILDING SEPARATION 3RD STORY	16'	No min.	23.204.050.D.3.	0'	COMPLIES
RESIDENTIAL PARKING (SEE TABLE)	0	0	Table 23.322-2	1	COMPLIES
RES. BIKE PARKING LONG TERM (SEE TABLE)	8	8		8	COMPLIES
RES. BIKE PARKING SHORT TERM (SEE TABLE)	1	1		1	COMPLIES
RESIDENTIAL OPEN SPACE (SEE TABLE)	1800	1800		1,822	COMPLIES

OPEN SPACE CALCULATIONS			
	UNITS	SF / UNIT	TOTAL
RESIDENTIAL REQUIREMENT	9	200	1,800
ROOF DECK			1,822
TOTAL PROVIDED			1,822

AREA TABLE (EXCLUDES PARKING)			
RESIDENTIAL			TOTAL
ROOF			
LEVEL 3	3,674		3,674
LEVEL 2	3,674		3,674
GROUND LEVEL	2,628		2,628
TOTAL	9,976	-	9,976

DWELLING UNIT TABLE				
	STUDIO	3-BR	4-BR	TOTAL
ROOF				
LEVEL 3	1	3		4
LEVEL 2	1	3		4
GROUND LEVEL			1	1
BASEMENT				
TOTAL UNITS	2	6	1	9
BEDROOMS / UNIT	1	3	4	
TOTAL BEDROOMS	2	18	4	24
BEDS / UNIT	1	3	4	
TOTAL BEDS	2	18	4	24

PARKING CALCULATIONS					
	QNTY	CARS	PER	REQ'D	PROVIDED
RESIDENTIAL (none required per Table 23.322-2)	0'			0	1

BICYCLE PARKING CALCULATIONS					
	QNTY	BIKES	PER	REQ'D	PROVIDED
RESIDENTIAL (LONG TERM)	24	1	3	8	8
RESIDENTIAL (SHORT TERM)	24	1	40	1	1



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PANORAMIC 2800 TELEGRAPH

Berkeley, CA

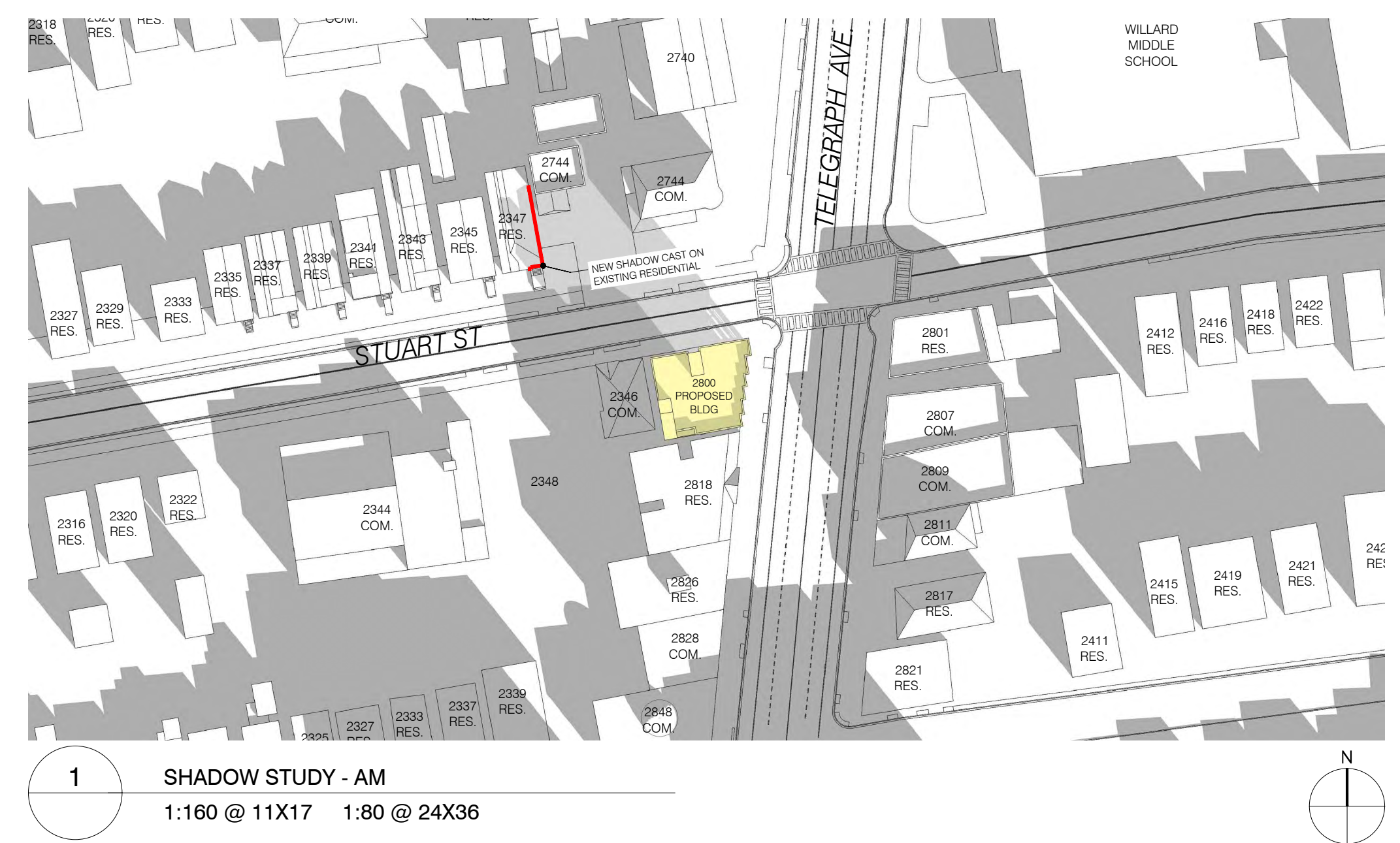
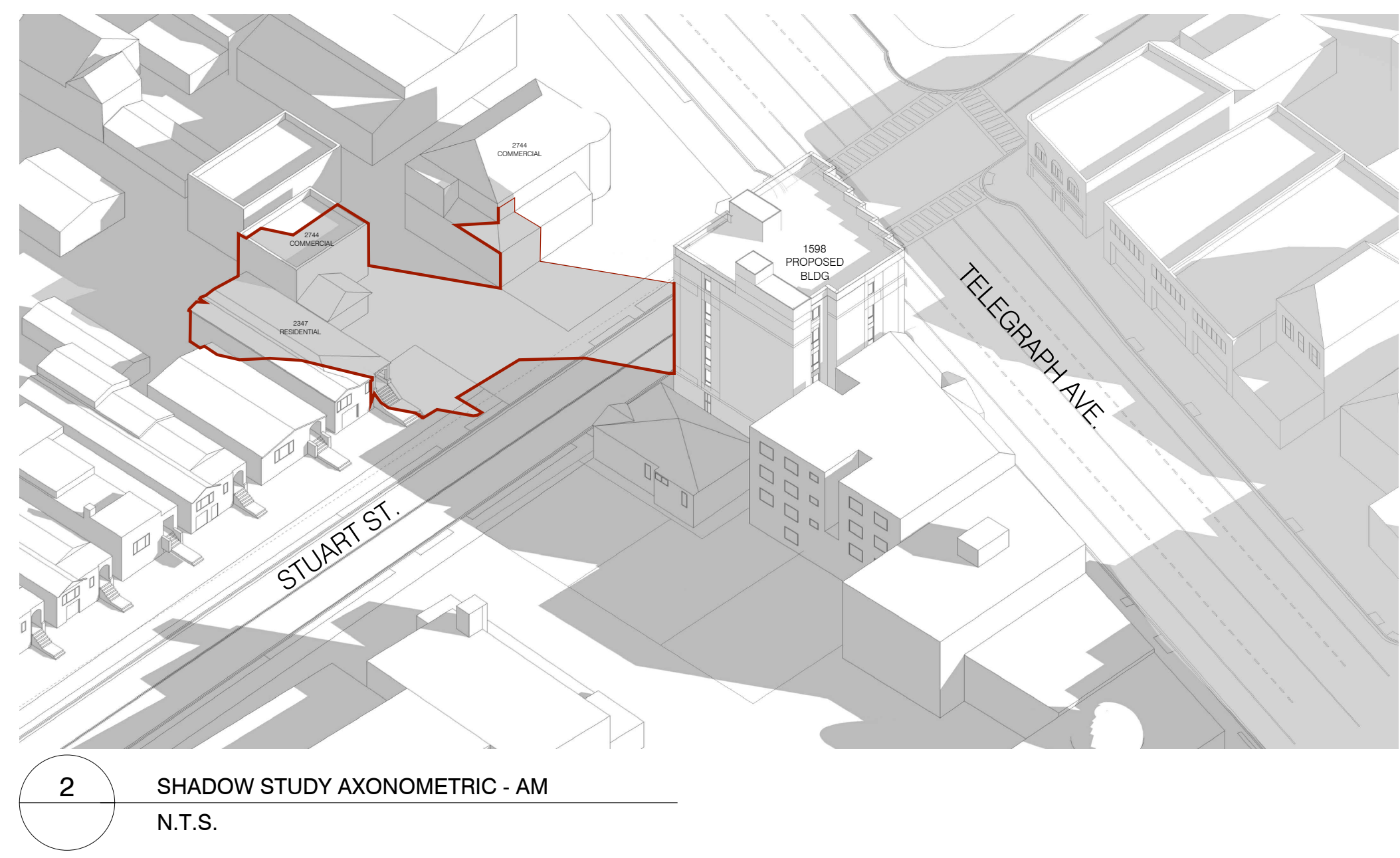
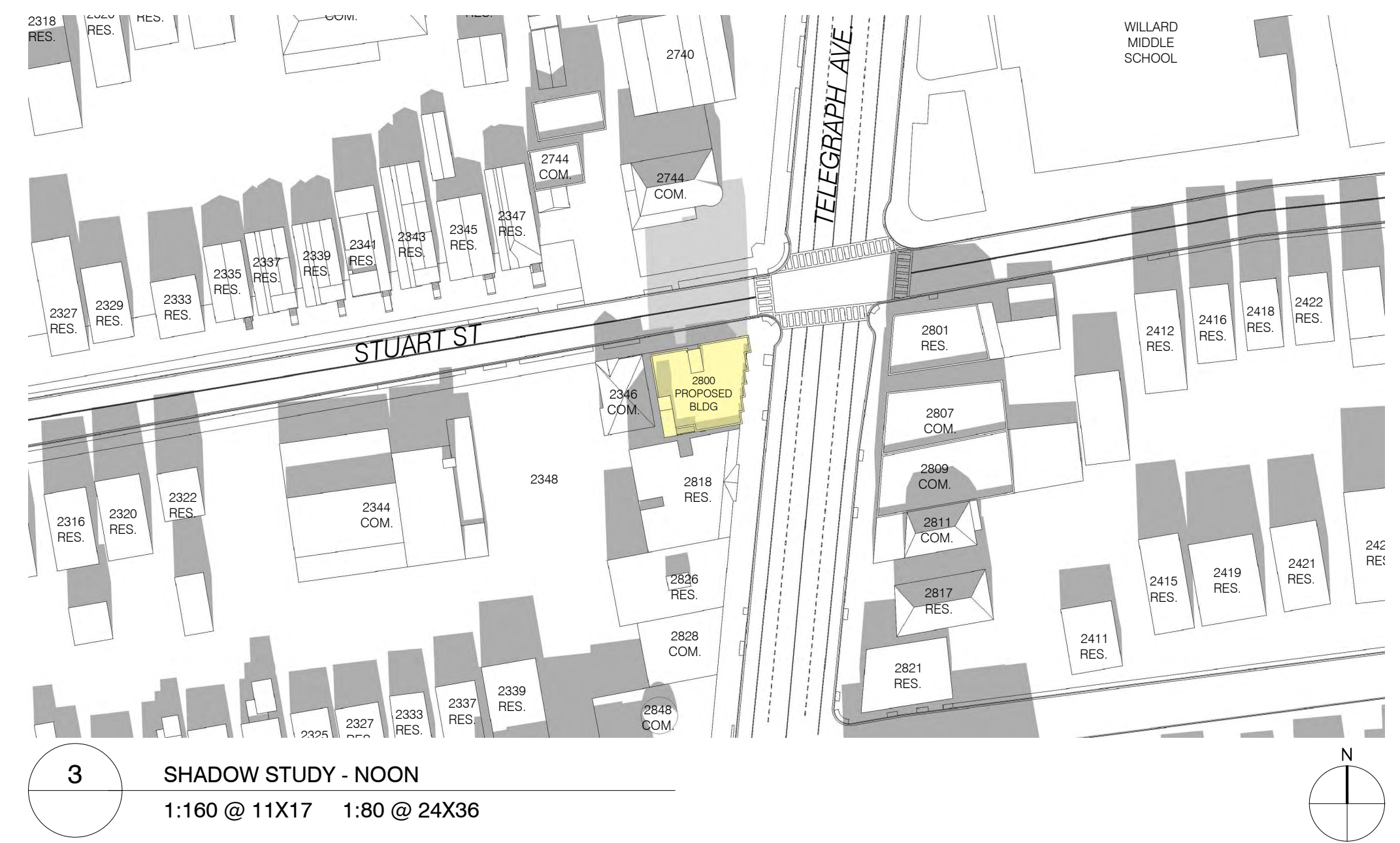
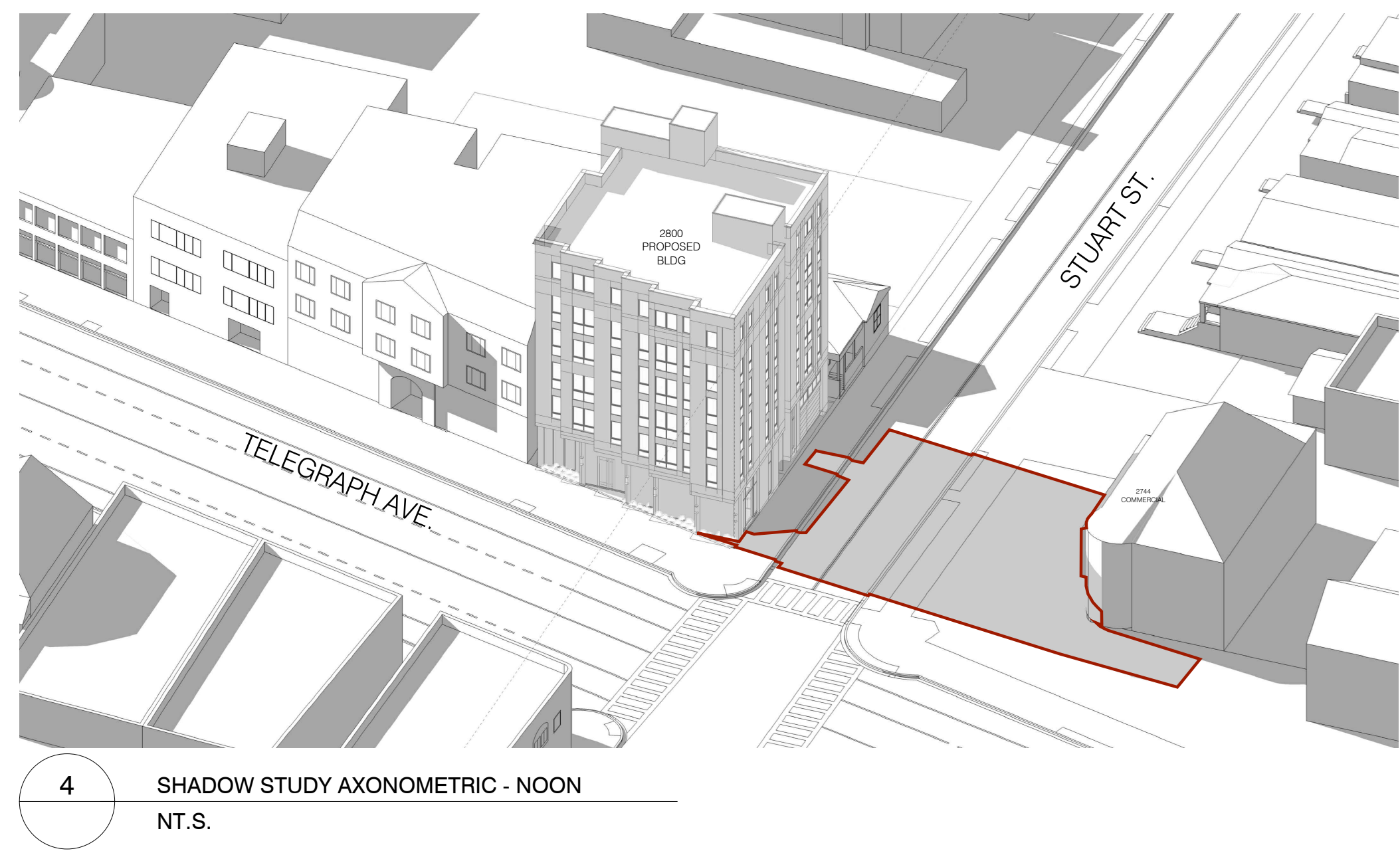
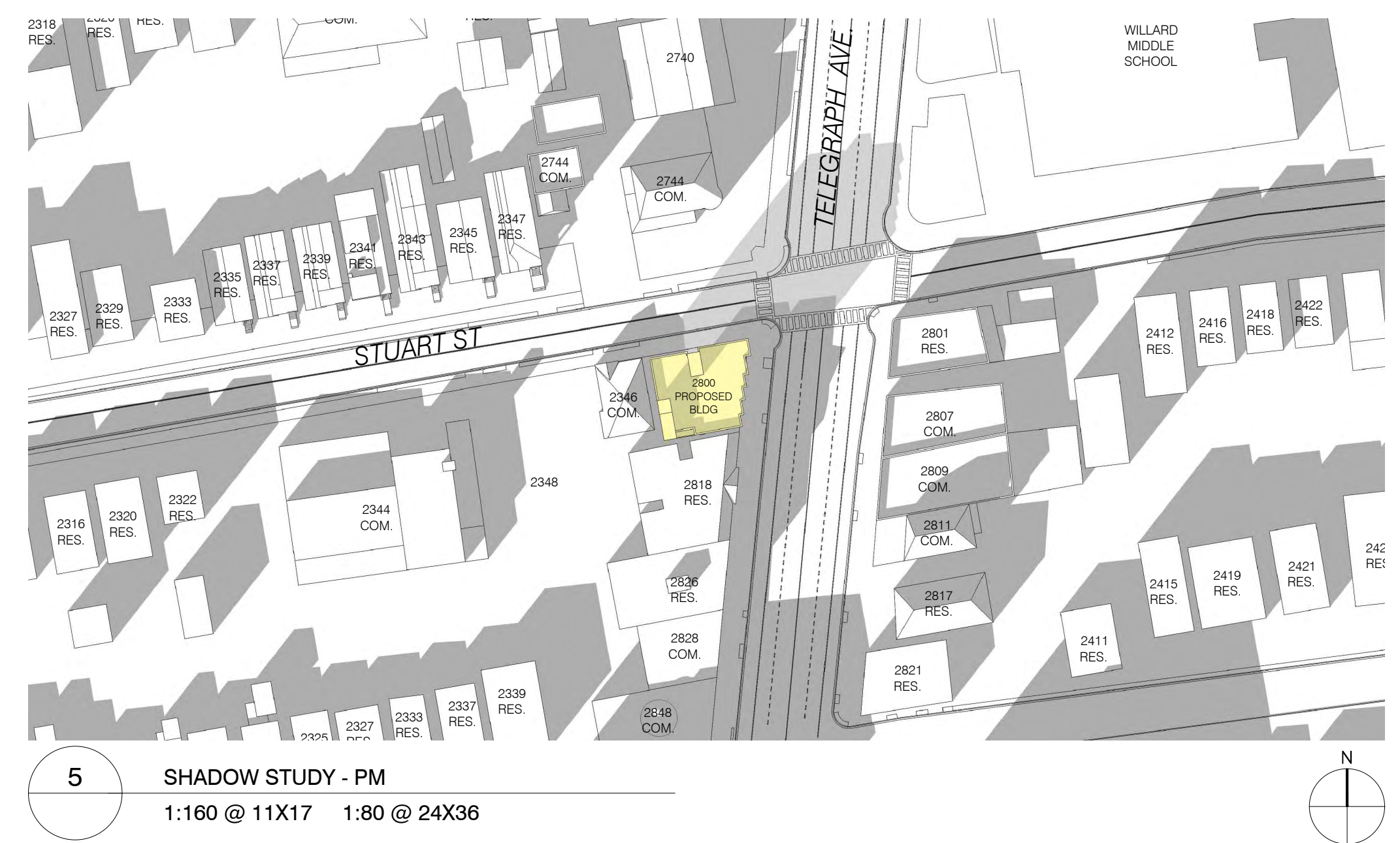
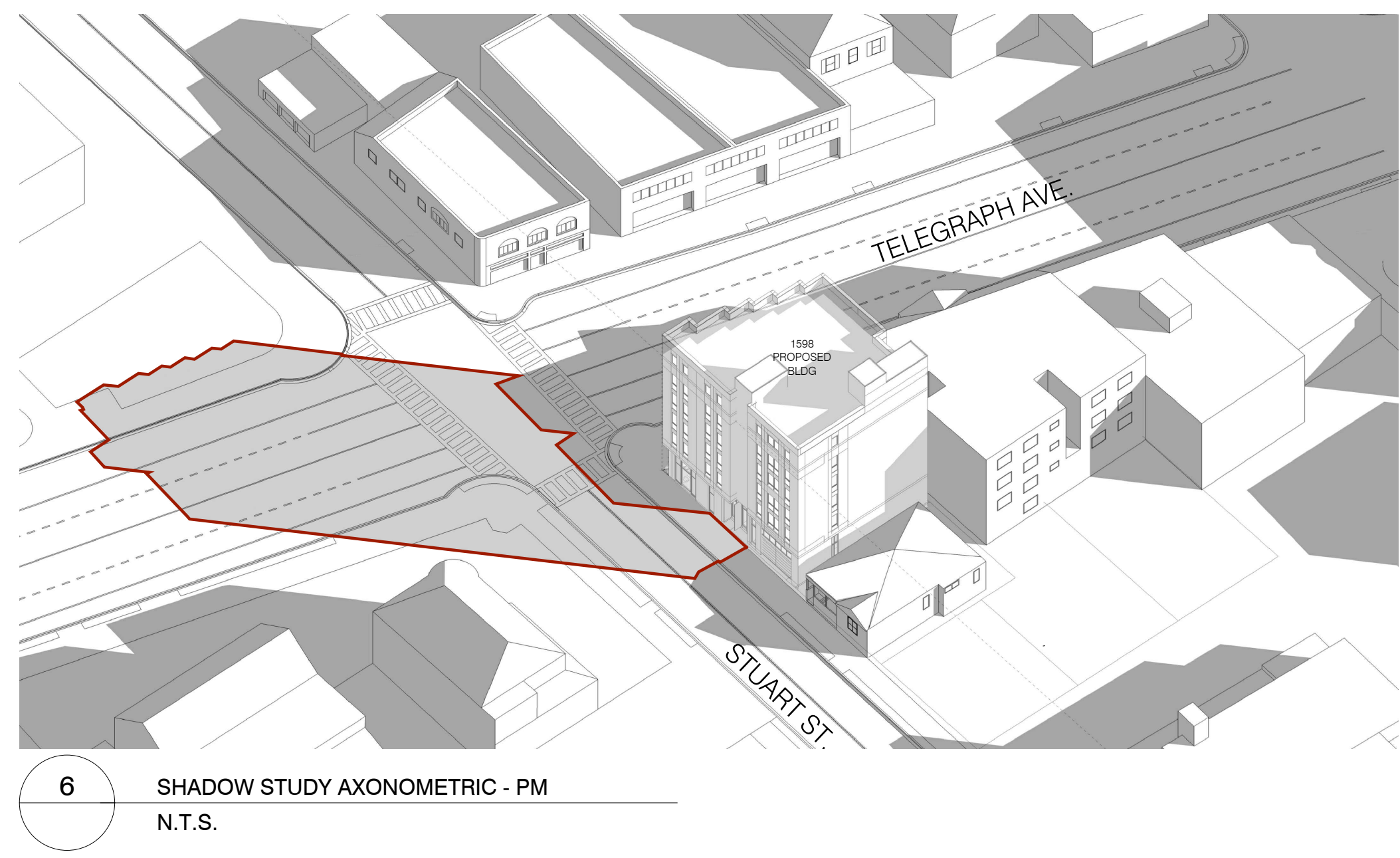
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JOB: 2140

SHEET:
 SHADOW STUDIES
 DECEMBER 21ST

A0.4A



**WINTER SOLSTICE
 DEC 21ST:
 2-HRS BEFORE SUNSET (PM)**

- DARK TONE GREY INDICATES SHADOWS FROM EXISTING BUILDINGS
 - LIGHTER TONE GREY INDICATES SHADOWS FROM PROPOSED BUILDING
 - NEW SHADOW AT RESIDENTIAL BUILDING
- ALL RESIDENTIAL BUILDINGS BEING SHADOWED SHOWN IN THESE DIAGRAMS

**WINTER SOLSTICE
 DEC 21ST:
 NOON**

- DARK TONE GREY INDICATES SHADOWS FROM EXISTING BUILDINGS
 - LIGHTER TONE GREY INDICATES SHADOWS FROM PROPOSED BUILDING
 - NEW SHADOW AT RESIDENTIAL BUILDING
- ALL RESIDENTIAL BUILDINGS BEING SHADOWED SHOWN IN THESE DIAGRAMS

**WINTER SOLSTICE
 DEC 21ST:
 2-HRS AFTER SUNRISE (AM)**

- DARK TONE GREY INDICATES SHADOWS FROM EXISTING BUILDINGS
 - LIGHTER TONE GREY INDICATES SHADOWS FROM PROPOSED BUILDING
 - NEW SHADOW AT RESIDENTIAL BUILDING
- ALL RESIDENTIAL BUILDINGS BEING SHADOWED SHOWN IN THESE DIAGRAMS

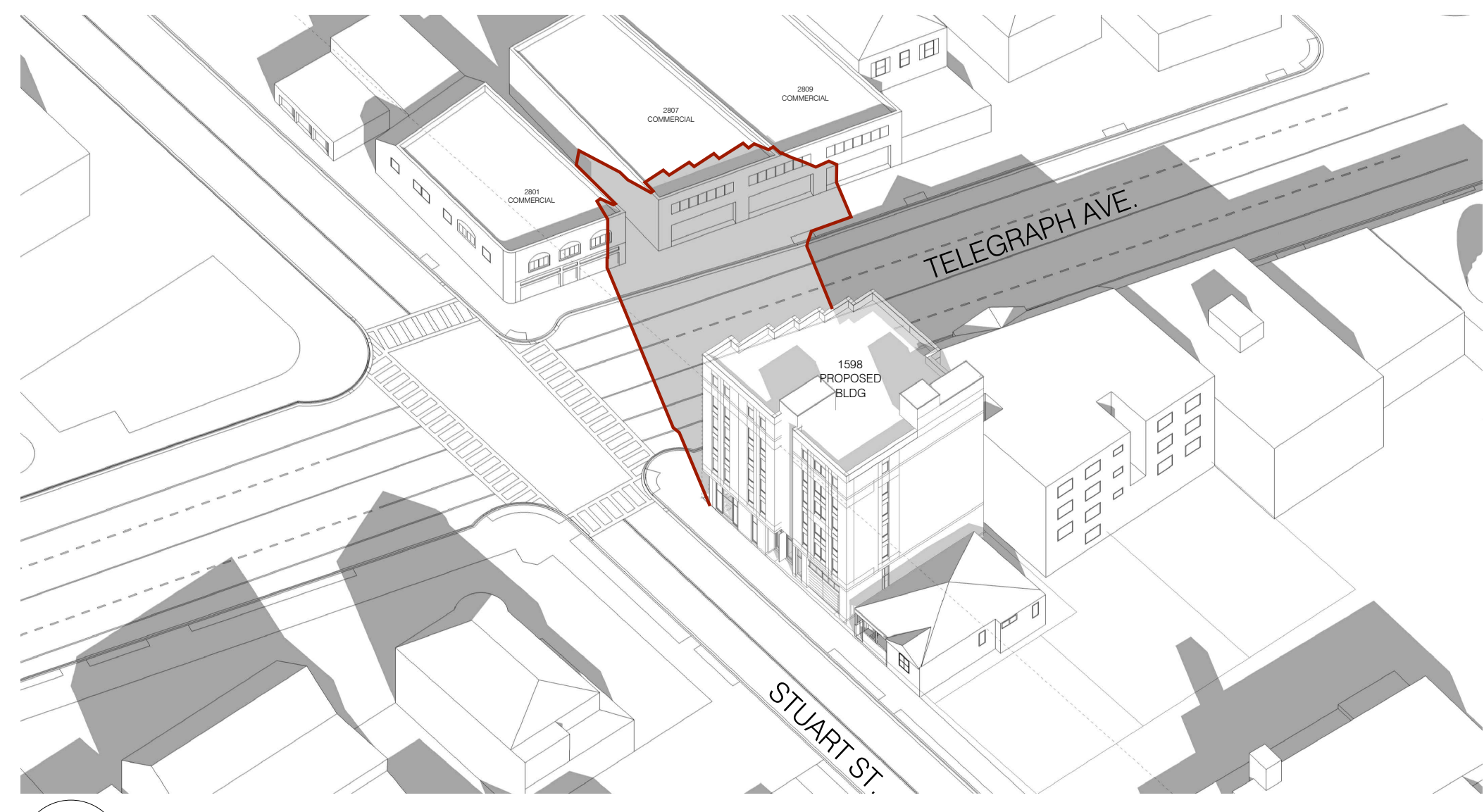


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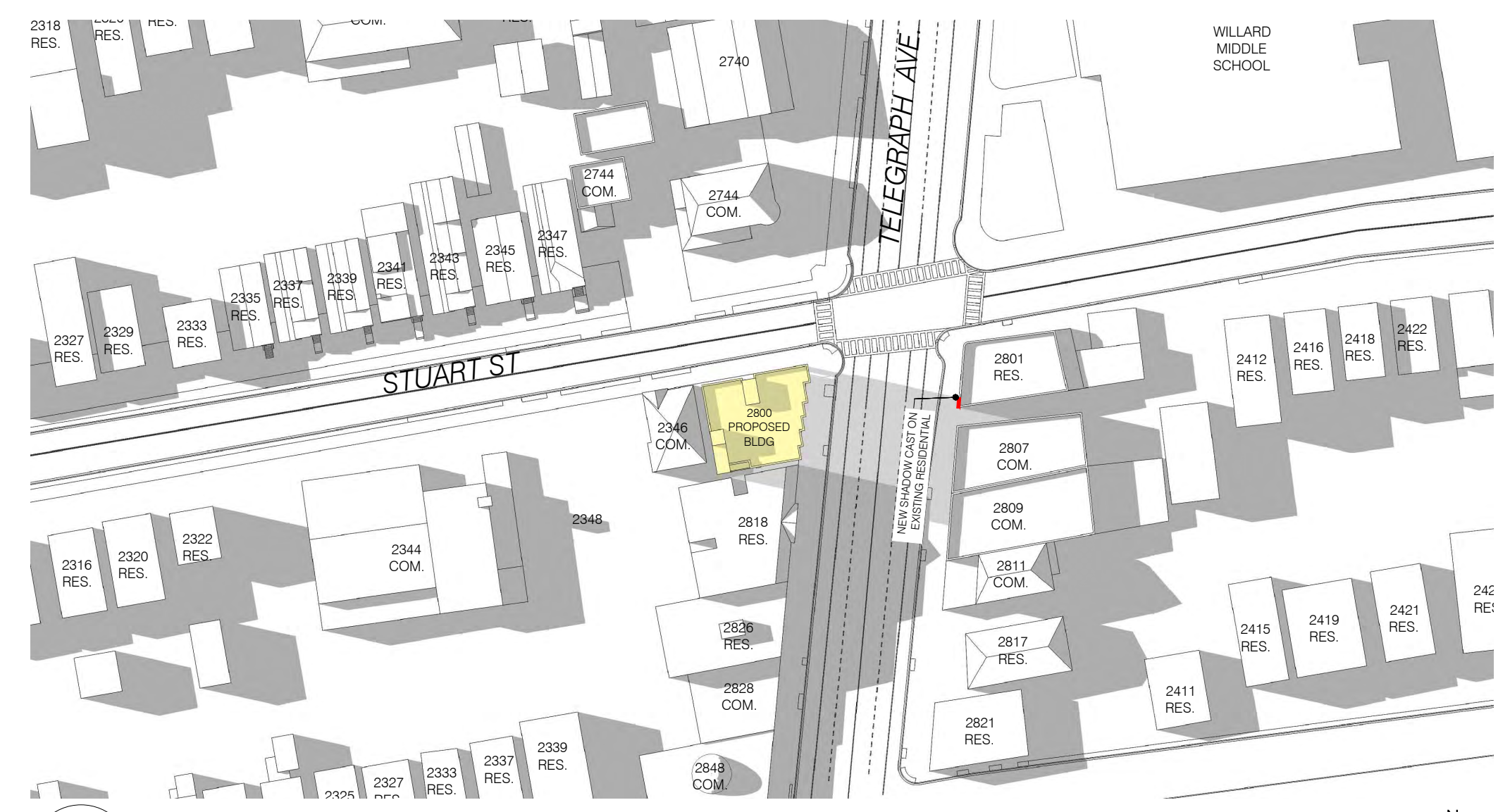
SUMMER SOLSTICE
 JUN 21ST:
 2-HRS BEFORE SUNSET (PM)

■ DARK TONE GREY INDICATES SHADOWS FROM EXISTING BUILDINGS
 ■ LIGHTER TONE GREY INDICATES SHADOWS FROM PROPOSED BUILDING
 ■ NEW SHADOW AT RESIDENTIAL BUILDING

ALL RESIDENTIAL BUILDINGS BEING SHADOWED SHOWN IN THESE DIAGRAMS



6 SHADOW STUDY AXONOMETRIC - PM
 N.T.S.

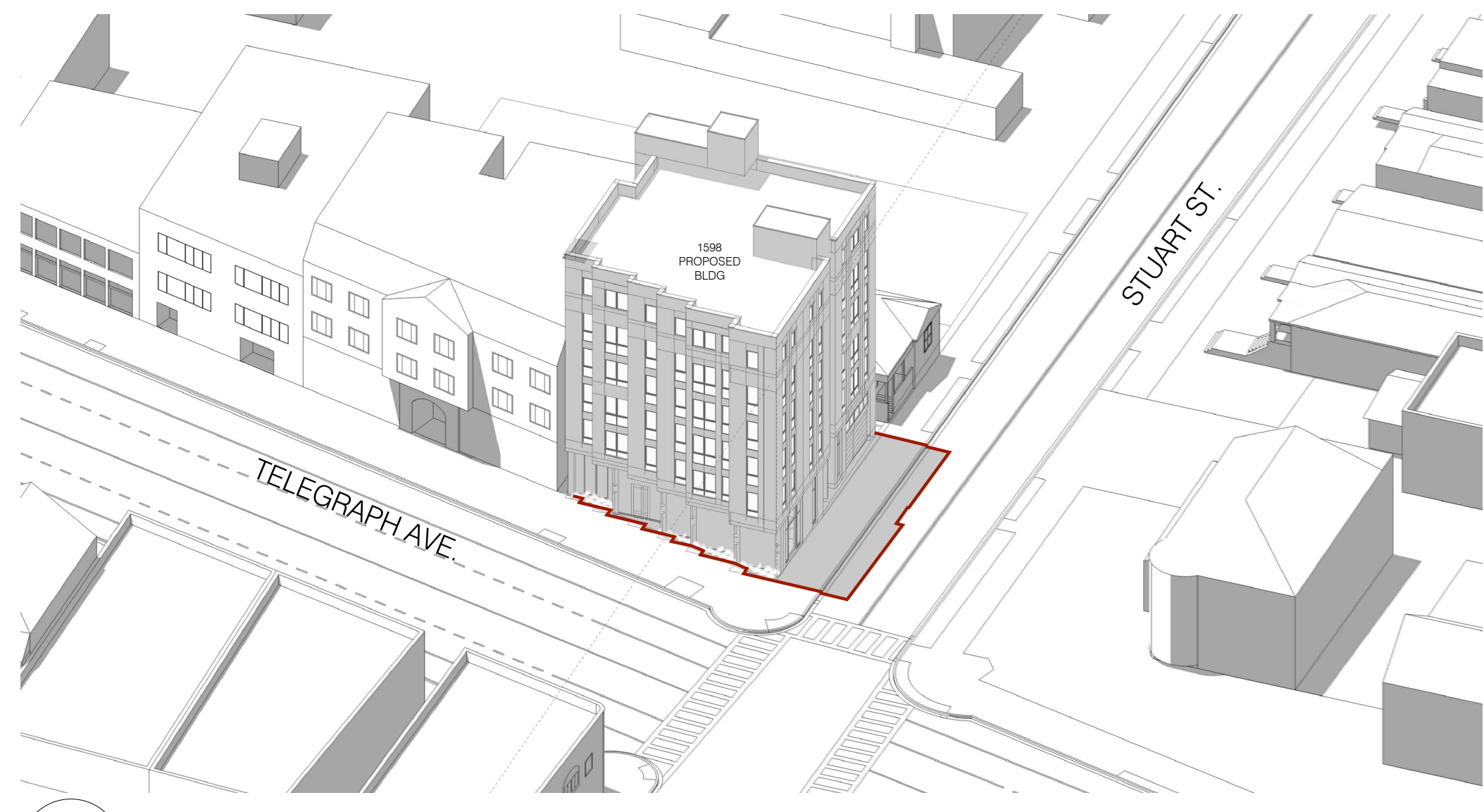


5 SHADOW STUDY - PM
 1:160 @ 11X17 1:80 @ 24X36

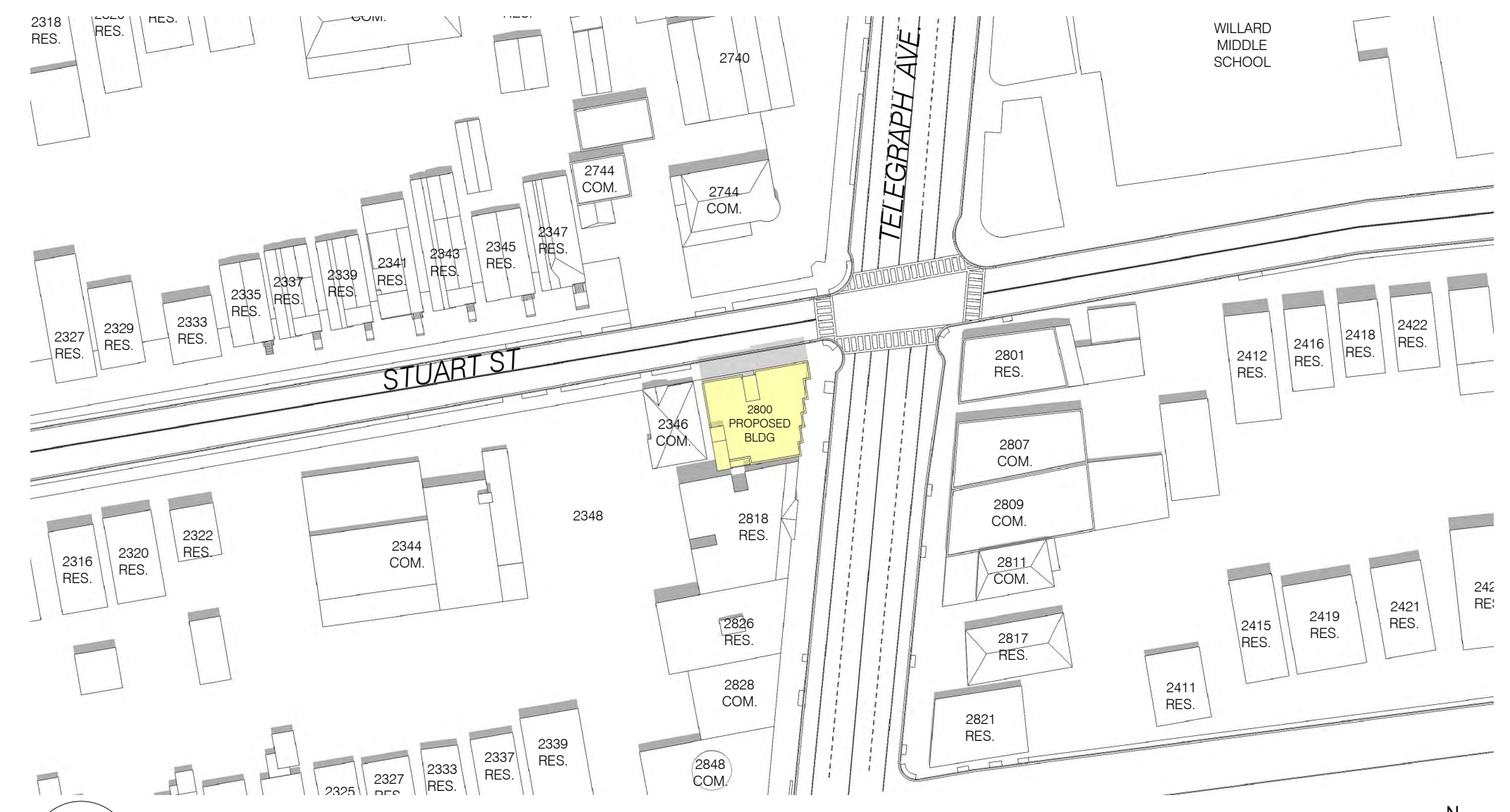
SUMMER SOLSTICE
 JUN 21ST:
 NOON

■ DARK TONE GREY INDICATES SHADOWS FROM EXISTING BUILDINGS
 ■ LIGHTER TONE GREY INDICATES SHADOWS FROM PROPOSED BUILDING
 ■ NEW SHADOW AT RESIDENTIAL BUILDING

ALL RESIDENTIAL BUILDINGS BEING SHADOWED SHOWN IN THESE DIAGRAMS



4 SHADOW STUDY AXONOMETRIC - NOON
 N.T.S.

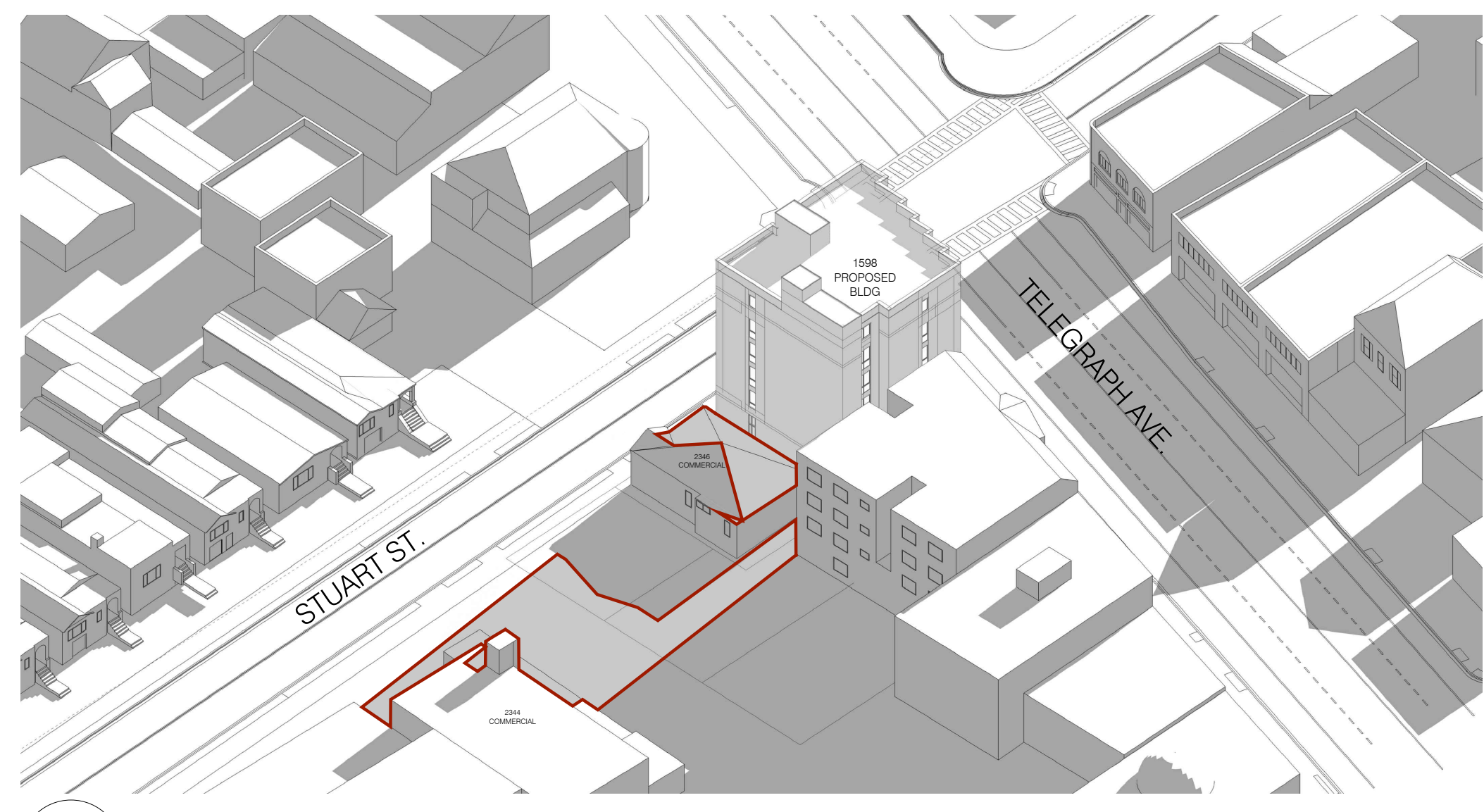


3 SHADOW STUDY - NOON
 1:160 @ 11X17 1:80 @ 24X36

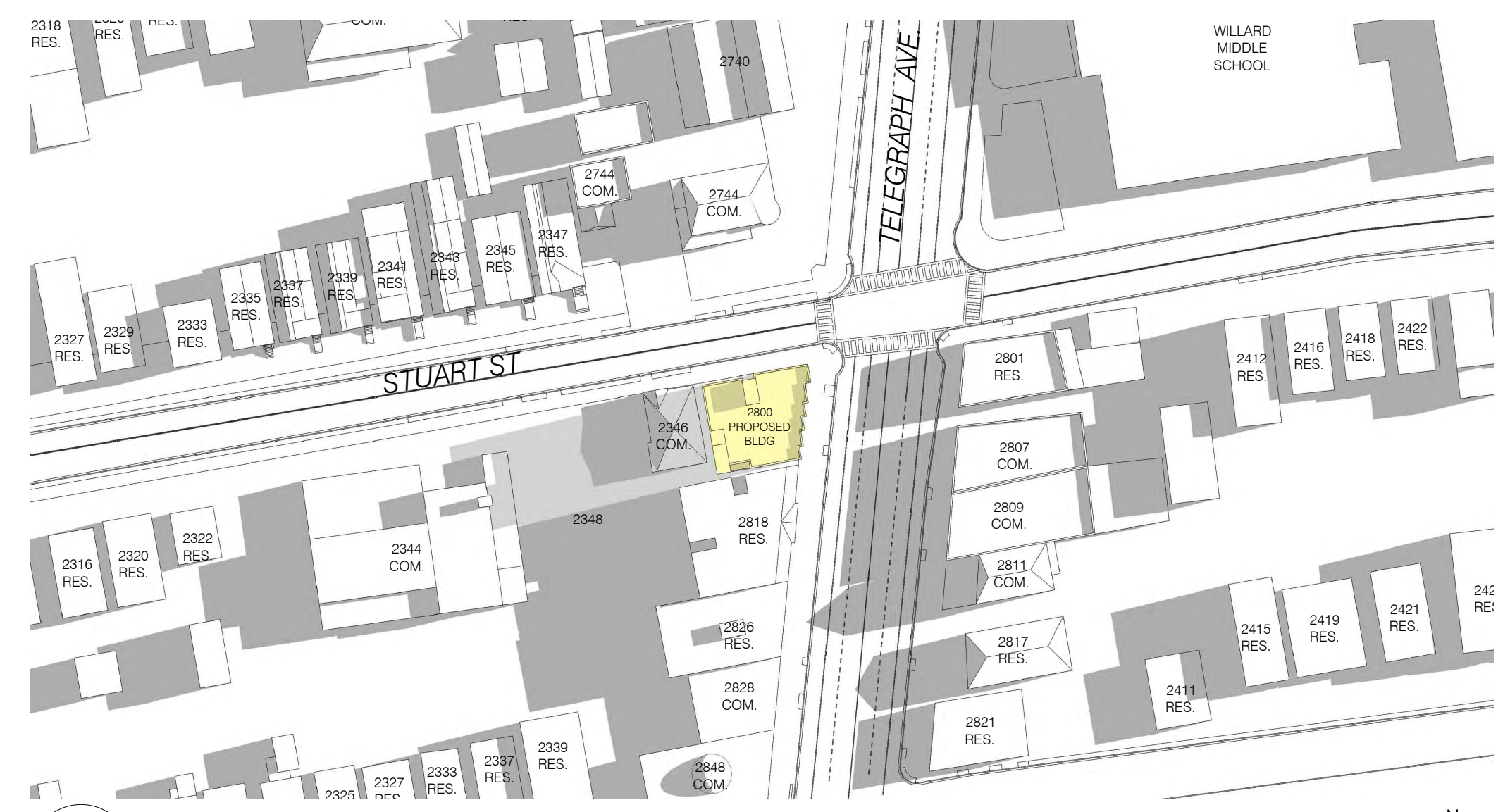
SUMMER SOLSTICE
 JUN 21ST:
 2-HRS AFTER SUNRISE (AM)

■ DARK TONE GREY INDICATES SHADOWS FROM EXISTING BUILDINGS
 ■ LIGHTER TONE GREY INDICATES SHADOWS FROM PROPOSED BUILDING
 ■ NEW SHADOW AT RESIDENTIAL BUILDING

ALL RESIDENTIAL BUILDINGS BEING SHADOWED SHOWN IN THESE DIAGRAMS



2 SHADOW STUDY AXONOMETRIC - AM
 N.T.S.



1 SHADOW STUDY - AM
 1:160 @ 11X17 1:80 @ 24X36

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JOB: 2140

SHEET:
 SHADOW STUDIES
 JUNE 21ST

A0.4B

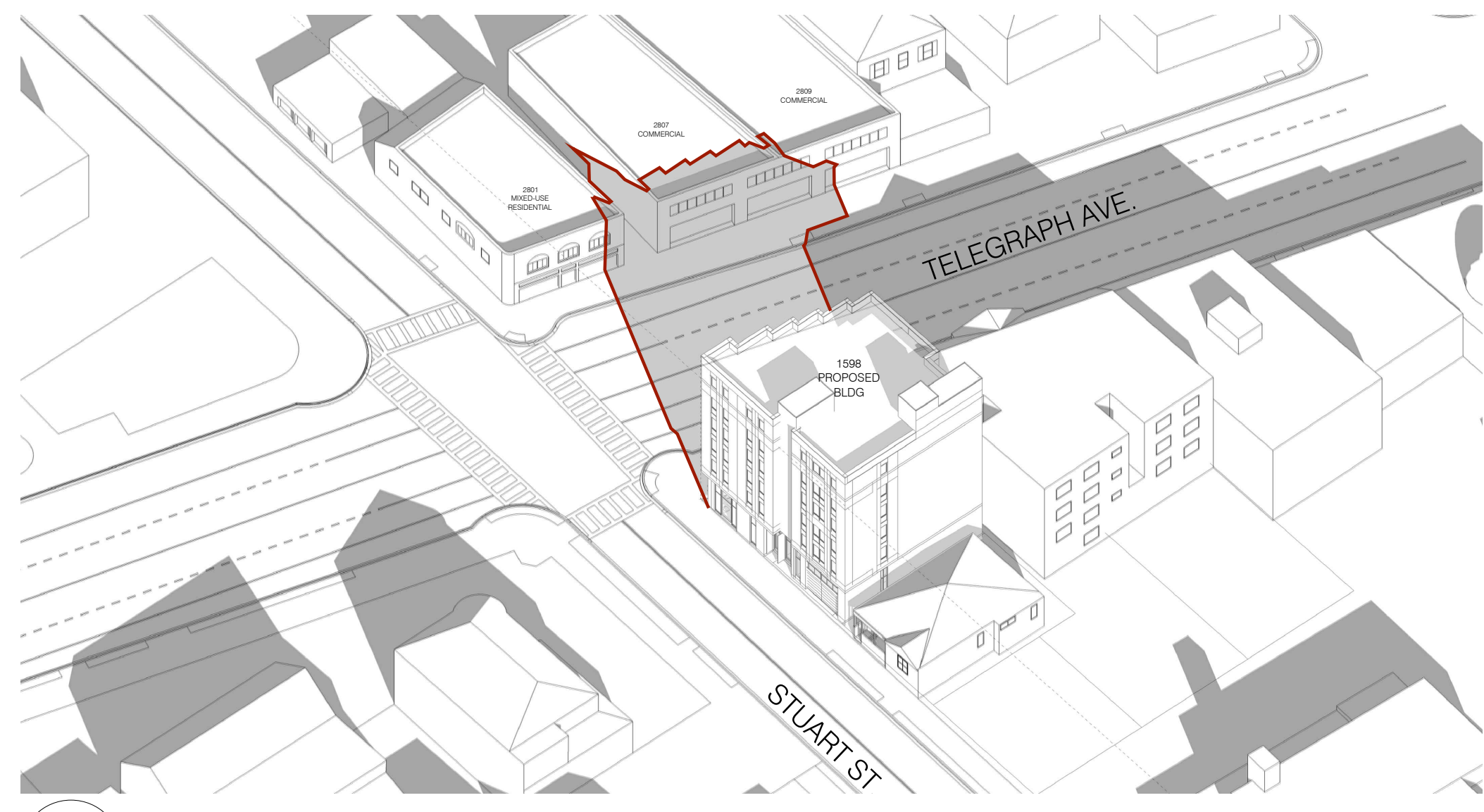


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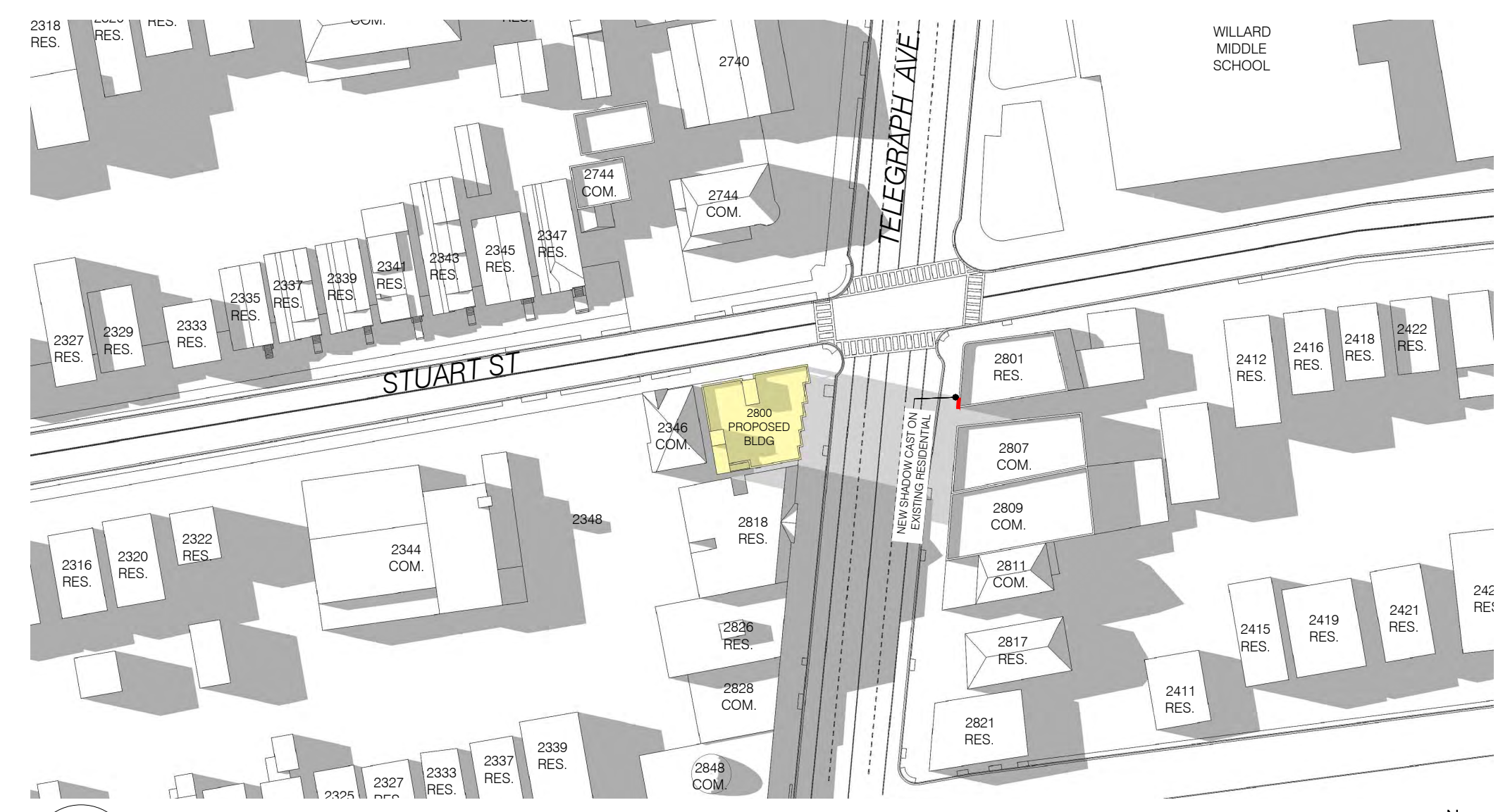
CURRENT
 JULY 29:
 2-HRS BEFORE SUNSET (PM)

■ DARK TONE GREY INDICATES SHADOWS FROM EXISTING BUILDINGS
 ■ LIGHTER TONE GREY INDICATES SHADOWS FROM PROPOSED BUILDING
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 N.T.S.

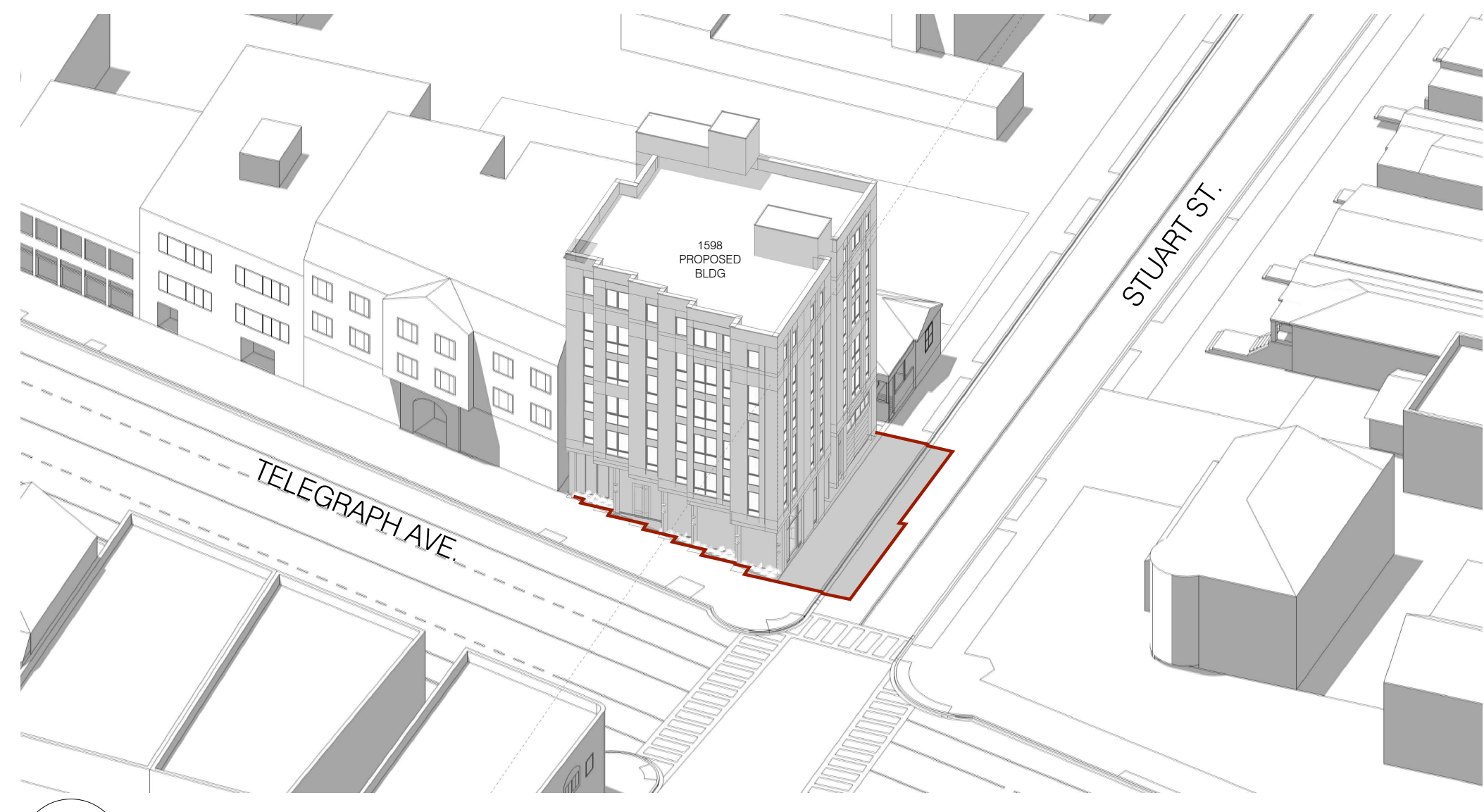


5 SHADOW STUDY - PM
 1:160 @ 11X17 1:80 @ 24X36

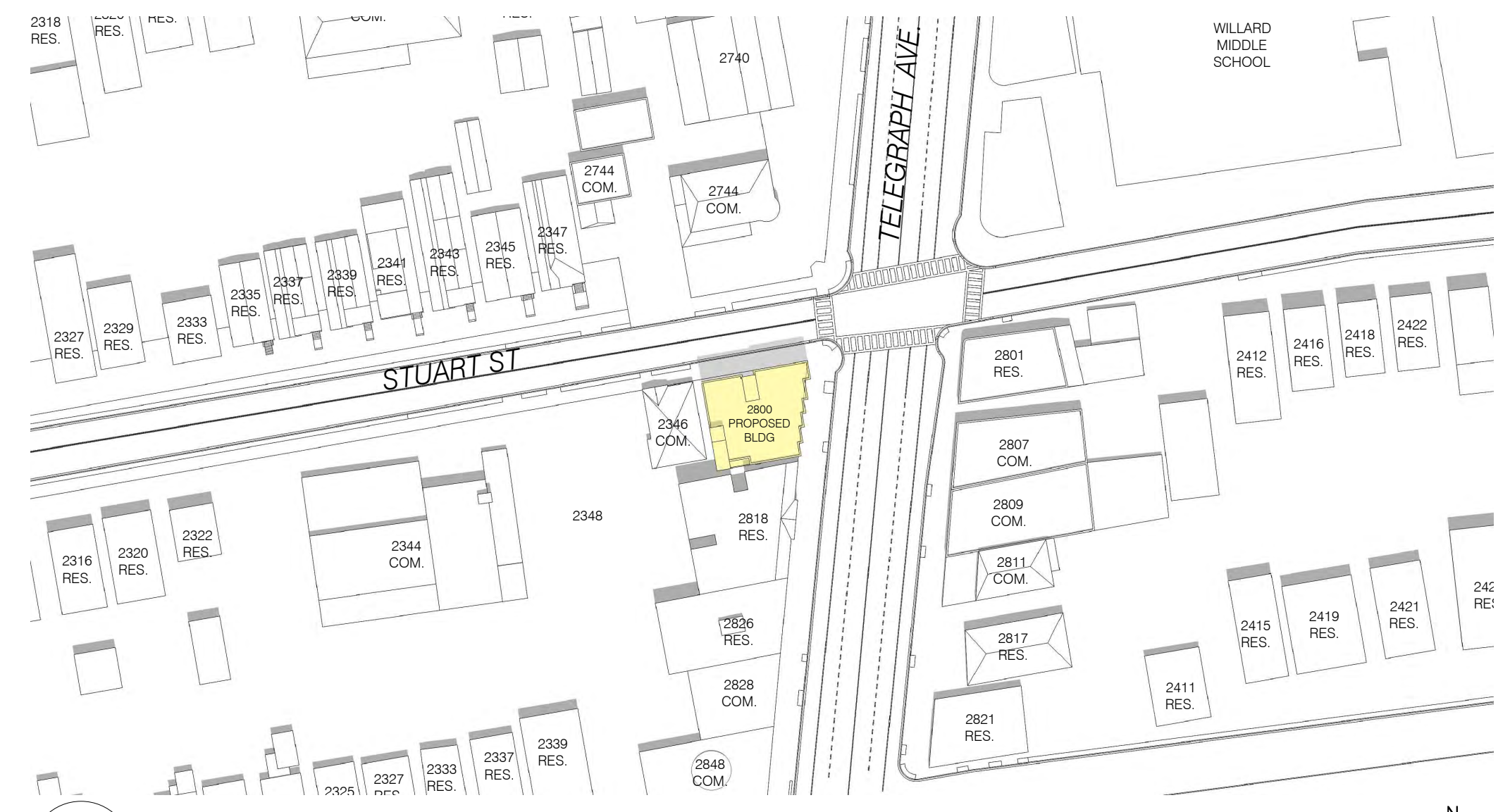
CURRENT
 JULY 29:
 NOON

■ DARK TONE GREY INDICATES SHADOWS FROM EXISTING BUILDINGS
 ■ LIGHTER TONE GREY INDICATES SHADOWS FROM PROPOSED BUILDING
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 N.T.S.

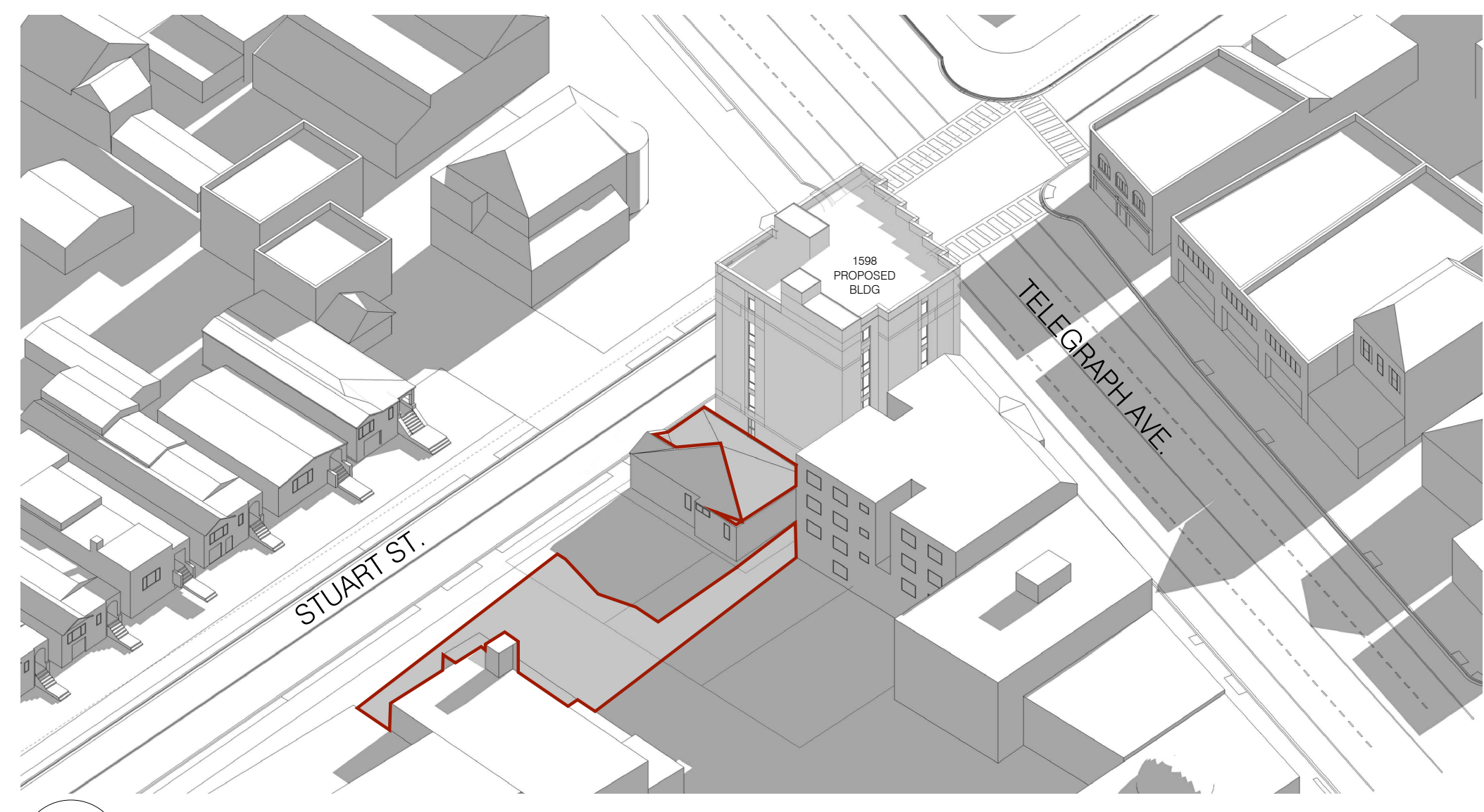


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 1:160 @ 11X17 1:80 @ 24X36

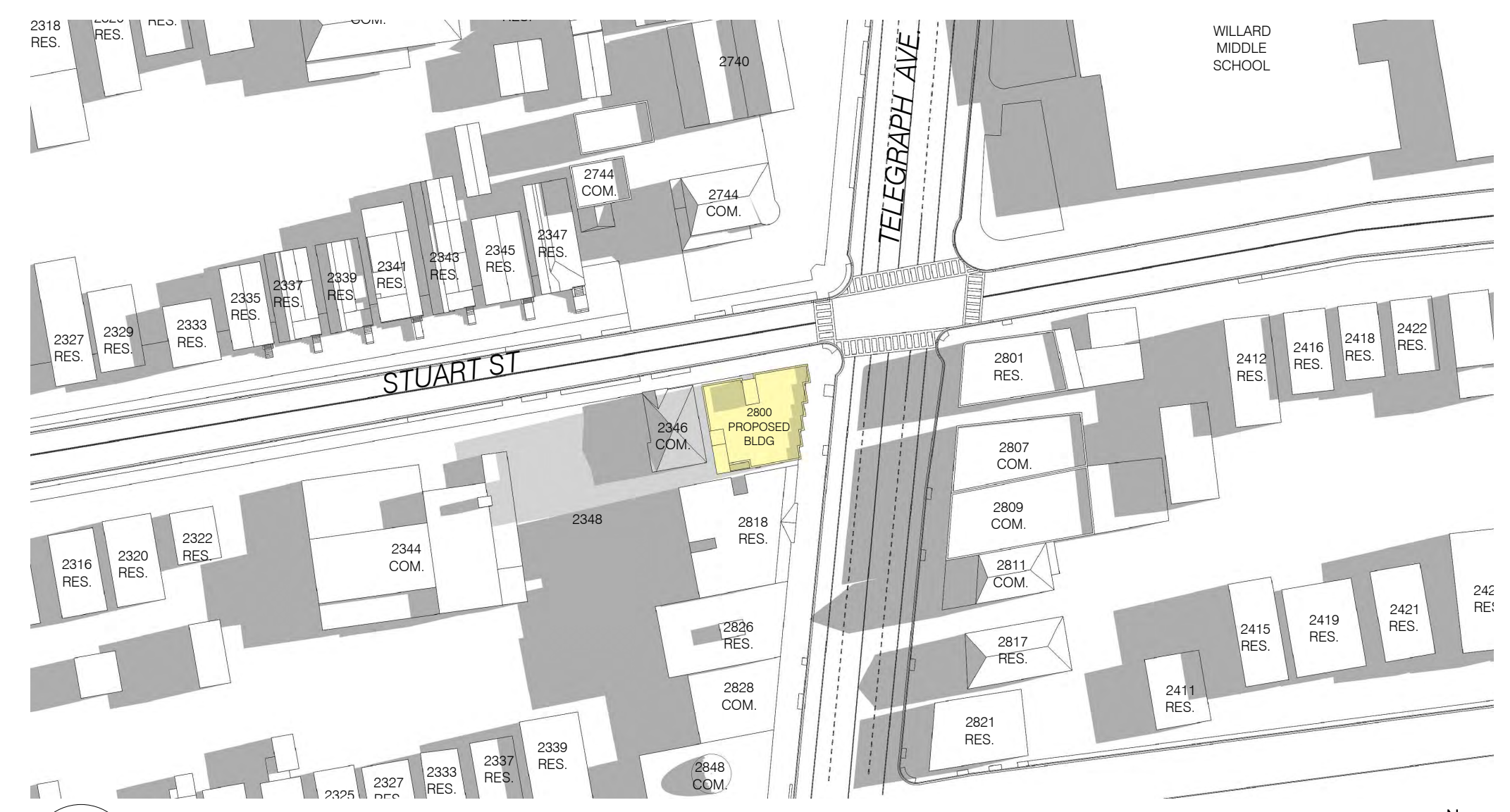
CURRENT
 JULY 29:
 2-HRS AFTER SUNRISE (AM)

■ DARK TONE GREY INDICATES SHADOWS FROM EXISTING BUILDINGS
 ■ LIGHTER TONE GREY INDICATES SHADOWS FROM PROPOSED BUILDING
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 N.T.S.



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 1:160 @ 11X17 1:80 @ 24X36

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SHEET:
 SHADOW STUDIES
 JULY 29

A0.4C



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JOB: 2140

SHEET:
 SITE CONTEXT
 PHOTOS

A0.5

2801 TELEGRAPH AVE (2-STORY COMMERCIAL)
 2800 TELEGRAPH PROJECT SITE
 2744 TELEGRAPH AVE (3-STORY COMMERCIAL)



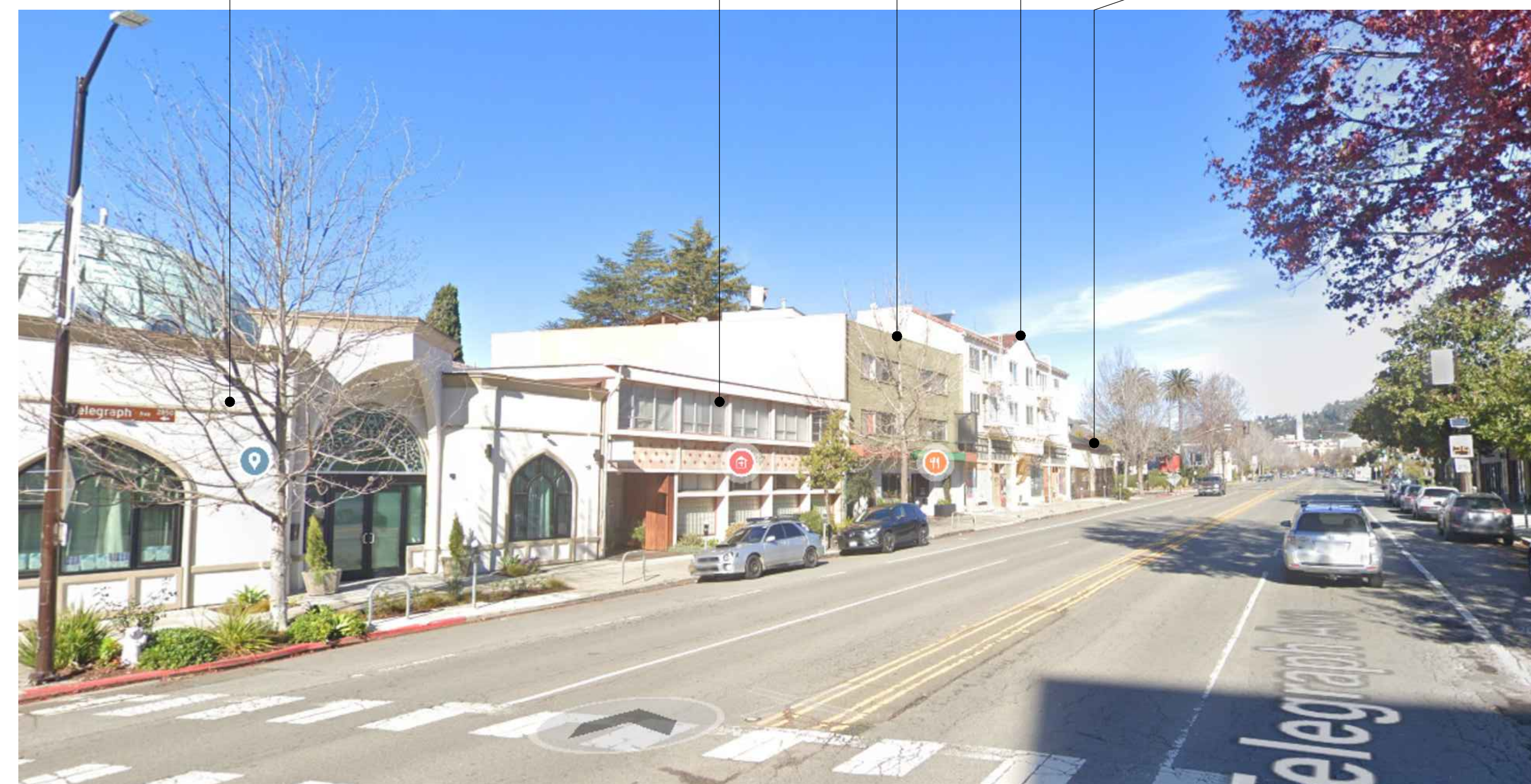
4 VIEW FROM STUART LOOKING WEST
 A0.5

2744 TELEGRAPH AVE (3-STORY COMMERCIAL)
 2425 TELEGRAPH AVE (2-STORY SCHOOL)
 2800 TELEGRAPH PROJECT SITE
 2348 STUART ST (2-STORY RESIDENTIAL)



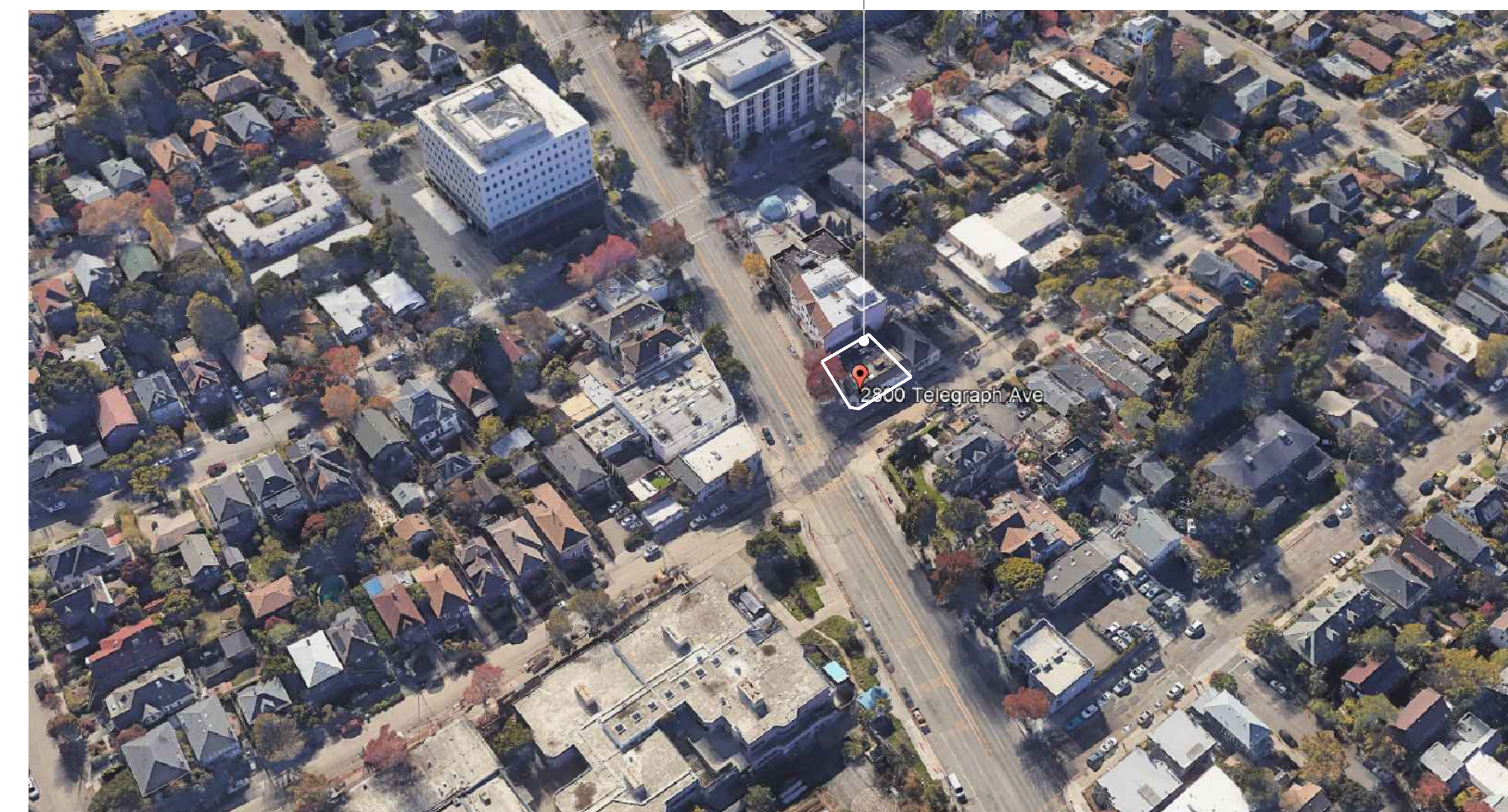
2 VIEW FROM STUART LOOKING EAST
 A0.5

2848 TELEGRAPH AVE (1-STORY COMMERCIAL)
 2828 TELEGRAPH AVE (2-STORY COMMERCIAL)
 2826 TELEGRAPH AVE (3-STORY MIXED-USE)
 2818 TELEGRAPH AVE (3-STORY MIXED-USE)
 2800 TELEGRAPH PROJECT SITE



3 VIEW FROM TELEGRAPH LOOKING NORTH
 A0.5

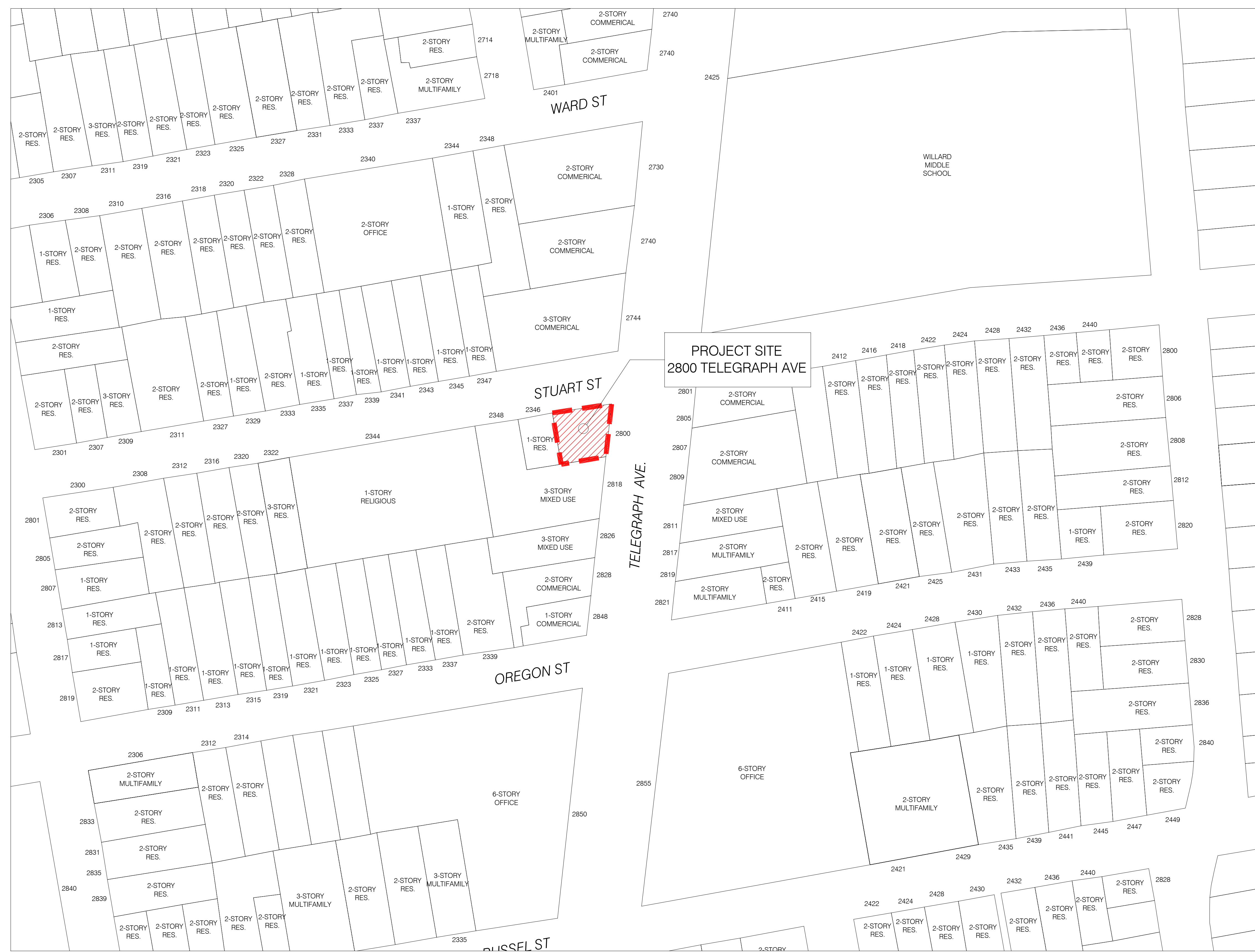
2800 TELEGRAPH PROJECT SITE



1 GOOGLE EARTH BIRD'S EYE CONTEXT VIEW
 A0.5



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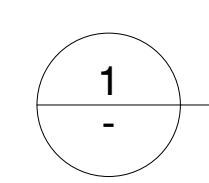
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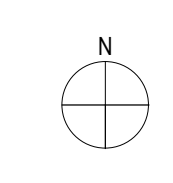
SHEET:

VICINITY MAP

A0.6



1
 -
 NTS



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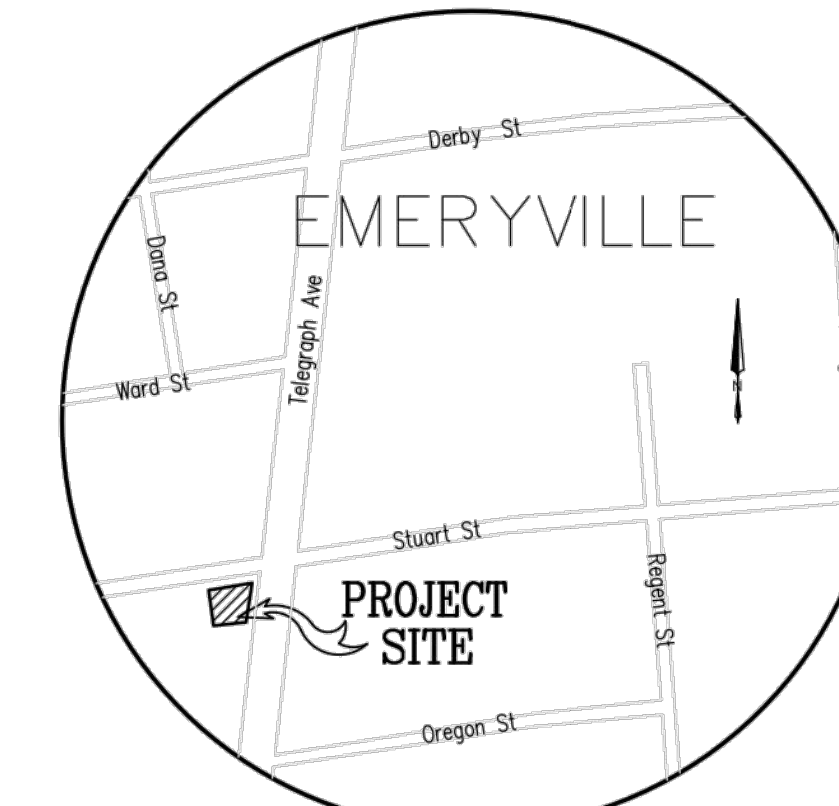
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JOB: 2140

SHEET:

SURVEY



VICINITY MAP
 NO SCALE

LEGEND	
SYMBOLS	DESCRIPTION
---	BOUNDARY OF SUBJECT PROPERTY
---	RIGHT OF WAY LINE
---	ADJACENT LOT LINE
---	MONUMENT LINE
---	TIE LINE
---	OLD LOT LINE
---	ASSESSOR'S PARCEL MAP
---	RIGHT OF WAY
---	TIE LINE TO MONUMENT
---	MONUMENT TO MONUMENT
---	STREET LIGHT
---	CLEAN OUT
---	GUY WIRE
---	TRAFFIC SIGNAL BOX
---	WATER VALVE
---	BACK FLOW PREVENTER
---	TRAFFIC SIGNAL POLE
---	WATER METER
---	TELECOMMUNICATION BOX
---	PARKING METER
---	ELECTRIC BOX
---	HANDICAP RAMP
---	TREE WELL
---	TOP OF CURB ELEVATION
---	BACK OF SIDEWALK ELEVATION
---	LIP OF GUTTER ELEVATION
---	TREE

SURVEYOR'S CERTIFICATE

TO ADLAI M. KARIM, AN UNMARRIED MAN, SUBJECT TO PROCEEDINGS PENDING IN U.S. BANKRUPTCY COURT OF THE NORTHERN CALIFORNIA DISTRICT OF CALIFORNIA, ENTITLED "ADLAI MONTAZ KARIM, DEBTOR, CASE NO. 18-40667, WHEREIN A PETITION FOR A RELIEF WAS FILED ON THE DATED OF 03/20/2018 CHAPTER 13; CONVERTED ON 05/09/2018 TO CHAPTER 11; AND OLD REPUBLIC TITLE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 6(B), 7(A), 7(B), 7(C), 8, 9, 10, 11(A), 13, 14, 16, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON FEBRUARY 18, 2022.

JACQUELINE LUK P.L.S. 8834
 FOR LUK & ASSOCIATES, INC.
 DATE MARCH 11, 2022



**ALTA/NSPS
 LAND TITLE SURVEY**
 OF
2800 TELEGRAPH AVENUE
 CITY OF BERKELEY, ALAMEDA COUNTY, CALIFORNIA
 MARCH 2022
 PREPARED BY
LUK AND ASSOCIATES
 CIVIL ENGINEER — LAND PLANNERS — LAND SURVEYORS
 738 ALFRED NOBEL DRIVE
 HERCULES, CALIFORNIA 94547
 (510) 724-3388

TITLE REPORT

THE TITLE REPORT USED IN THIS SURVEY WAS ISSUED BY OLD REPUBLIC TITLE COMPANY, PRELIMINARY REPORT ORDER NO. 0227027545-MN, EFFECTIVE DATE JANUARY 12, 2022 AT 7:30 A.M.

TITLE TO SAID ESTATE IS VESTED IN:

ADLAI M. KARIM, AN UNMARRIED MAN, SUBJECT TO PROCEEDINGS PENDING IN U.S. BANKRUPTCY COURT OF THE NORTHERN CALIFORNIA DISTRICT OF CALIFORNIA, ENTITLED "ADLAI MONTAZ KARIM, DEBTOR, CASE NO. 18-40667, WHEREIN A PETITION FOR A RELIEF WAS FILED ON THE DATED OF 03/20/2018 CHAPTER 13; CONVERTED ON 05/09/2018 TO CHAPTER 11

THE ESTATE OR INTEREST IN THE LAND IS:

FEE

LEGAL DESCRIPTION

THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE COUNTY OF ALAMEDA, CITY OF BERKELEY, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

A PORTION OF LOTS 5 AND 6, IN BLOCK "G", MAP OF THE LEONARD TRACT, BERKELEY, FILED SEPTEMBER 17, 1875, MAP BOOK 5, PAGE 11, ALAMEDA COUNTY RECORDS, DESCRIBED AS FOLLOWS:

BEGINNING AT THE POINT OF INTERSECTION OF THE SOUTHERN LINE OF STUART STREET WITH THE WESTERN LINE OF TELEGRAPH AVENUE, FORMERLY HUMBOLDT AVENUE, AS SAID STREET AND AVENUE ARE SHOWN ON THE MAP HEREIN REFERRED TO; RUNNING THENCE WESTERLY ALONG SAID LINE OF STUART STREET 70 FEET; THENCE AT RIGHT ANGLES SOUTHERLY 60 FEET; THENCE EASTERLY PARALLEL WITH SAID LINE OF STUART STREET 55 FEET, MORE OR LESS, TO THE WESTERN LINE OF TELEGRAPH AVENUE; THENCE NORTHERLY ALONG SAID LINE OF TELEGRAPH AVENUE 62 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

APN: 053-1689-001

EXCEPTIONS TO TITLE

- PROVISIONS OF THE BANKRUPTCY REFORM ACT OF 1978, AS AMENDED, AND OF THE TERMS, CONDITIONS AND PROVISIONS OF ANY ORDER WHICH MAY BE ENTERED IN THE FOLLOWING CASE NO. 18-40667, DISTRICT NORTHERN, DEBTOR ADLAI MONTAZ KARIM, CHAPTER CHAPTER 11 (EXC. 6 - NOT PLOTTABLE).
- MATTERS AS CONTAINED OR REFERRED TO IN AN INSTRUMENT ENTITLED ORDER GRANTING MOTION TO MODIFY PLAN, RECORDED FEBRUARY 18, 2021 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 2021069777 (EXC. 7 - NOT PLOTTABLE).

TABLE A NOTES

- FOUND MONUMENTS ARE SHOWN ON THIS SHEET OF THE SURVEY.
- THE STREET ADDRESS OF THE PROPERTY IS 2800 TELEGRAPH AVENUE, BERKELEY, CA 94705.
- FLOOD ZONE DESIGNATION: THE PREMISES ARE LOCATED IN ZONE "X" (NON-SHADED) DEFINED AS "AREAS OF MINIMAL FLOOD," PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 06001C00576, EFFECTIVE DATE: AUGUST 3, 2009.
- THE TOTAL GROSS LAND AREA IS: 3,694 SQUARE FEET +/- OR 0.085 ACRES MORE OR LESS.
- (A/B) ZONING REQUIREMENTS: PER THE CITY OF BERKELEY PLANNING AND ZONING DEPARTMENT, THE PROPERTY IS ZONED "C-C" DEFINED AS "CORRIDOR COMMERCIAL DISTRICT."

REFERENCE FOR "C-C" ZONING IS MADE HERE TO THE CITY OF BERKELEY CODE, CHAPTER 23.204.050, REGARDING PROPERTY DEVELOPMENT STANDARDS, BUILDING HEIGHT LIMITATION, BUILDING SETBACK AND PARKING REQUIREMENTS ARE AS FOLLOWS:

MINIMUM FRONT YARD: NONE REQUIRED
 MINIMUM INTERIOR SIDE YARD: NONE REQUIRED
 MINIMUM REAR YARD: NONE REQUIRED

MAXIMUM HEIGHT: 40 FEET

MINIMUM PARKING REQUIREMENTS: NONE REQUIRED

- (A/B1/C) EXTERIOR DIMENSIONS AND SQUARE FOOTAGE OF BUILDING AT GROUND LEVEL, AND NUMBER OF STORIES ARE SHOWN ON THIS SHEET OF THE SURVEY.
- SUBSTANTIAL IMPROVEMENTS OBSERVED IN THE PROCESS OF CONDUCTING THE SURVEY ARE SHOWN.
- THERE ARE NO PARKING SPACES LOCATED ON THE SUBJECT PROPERTY.
- THERE ARE NO DIVISIONS OR PARTY WALLS LOCATED ON THE SUBJECT PROPERTY WITH RESPECT TO ADJOINING PROPERTIES.
- (A) LOCATION OF UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY AS DETERMINED BY OBSERVED EVIDENCE TOGETHER WITH EVIDENCE FROM PLAN OBTAINED FROM UTILITY COMPANIES OR PROVIDED BY CLIENT ARE SHOWN ON THIS SHEET.
- NAMES OF ADJOINING OWNERS OF PLATTED LANDS ARE SHOWN ON THIS SHEET OF THE SURVEY.
- DISTANCE TO THE NEAREST INTERSECTING STREET IS SHOWN ON THIS SHEET OF THE SURVEY.
- THERE IS NO OBSERVABLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- THERE ARE NO OFFSITE EASEMENTS TO THE SUBJECT PROPERTY.
- PROFESSIONAL LIABILITY INSURANCE IN THE AMOUNT OF \$2,000,000 IS HELD BY THE SURVEYOR.

NOTES

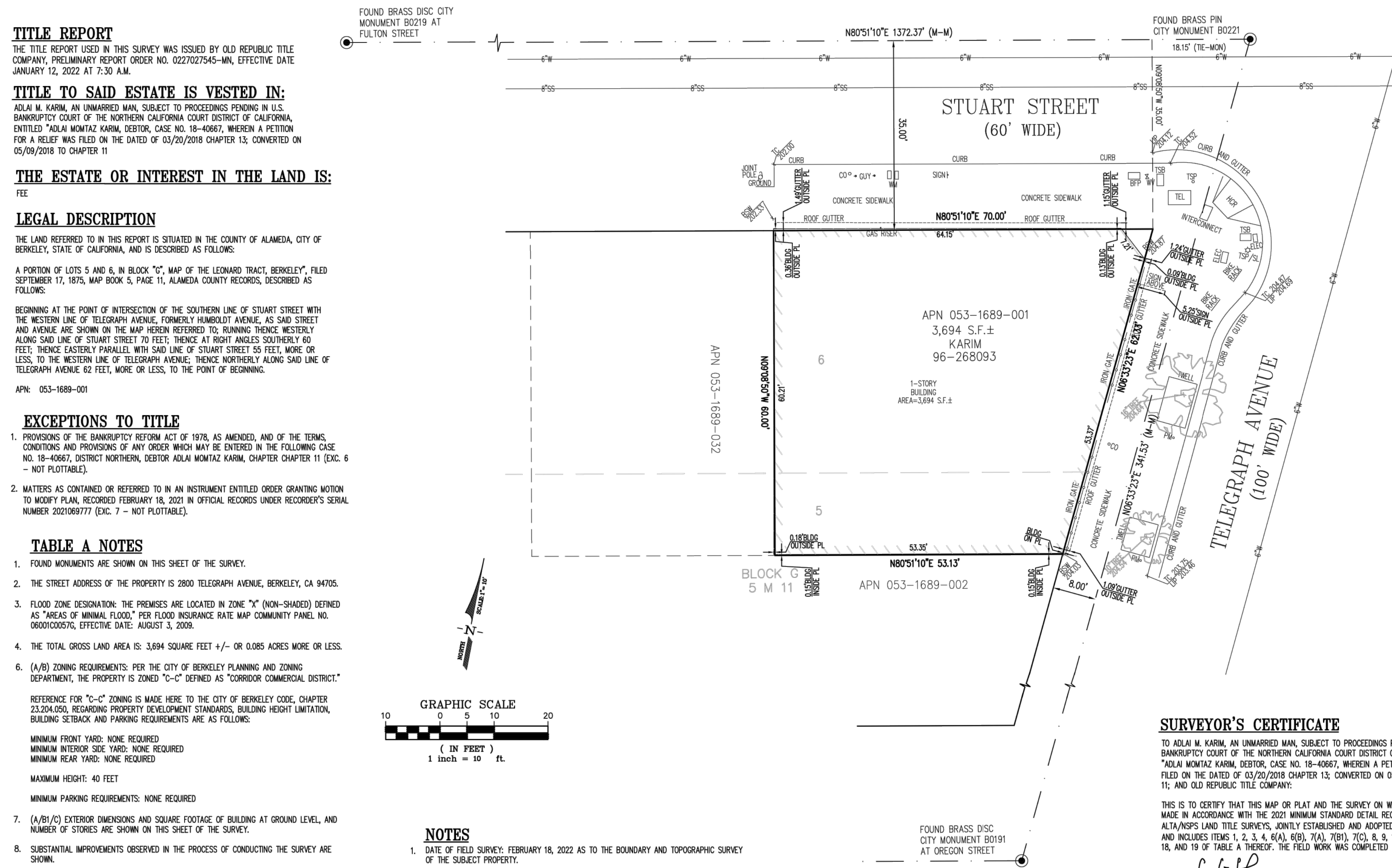
- DATE OF FIELD SURVEY: FEBRUARY 18, 2022 AS TO THE BOUNDARY AND TOPOGRAPHIC SURVEY OF THE SUBJECT PROPERTY.
- THE UTILITIES SHOWN HEREON ARE BY SURFACE OBSERVATION AND RECORD INFORMATION ONLY AND NO WARRANTY IS GIVEN HEREIN AS TO THEIR EXACT LOCATION. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR TO VERIFY THE EXACT LOCATION OF THE UTILITIES WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY.
- UTILITY JURISDICTIONS / PROVIDERS ARE AS FOLLOWS:
 STORM DRAINS: CITY OF BERKELEY
 SANITARY SEWER: CITY OF BERKELEY
 WATER: EAST BAY MUNICIPAL UTILITY DISTRICT (EBMUD)
 ELECTRICITY: PACIFIC GAS & ELECTRIC CO.
 NATURAL GAS: PACIFIC GAS & ELECTRIC CO.
 TELEPHONE: AT&T
- THERE ARE NO CEMETERIES ON OR WITHIN 100 FEET OF THE SUBJECT PROPERTY
- THE SURVEYED PROPERTY IS THE SAME PROPERTY DESCRIBED IN THE TITLE REPORT.
- THE LEGAL DESCRIPTION AS SHOWN IN THE TITLE REPORT MATHEMATICALLY CLOSES.
- THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- THERE ARE NO WETLAND AREAS IN THE SUBJECT PROPERTY

BASIS OF BEARINGS

THE BEARINGS BETWEEN FOUND MONUMENTS ON STUART STREET BETWEEN FULTON STREET AND TELEGRAPH AVENUE, TAKEN AS NORTH 80°51'10" EAST, AS SHOWN ON PARCEL MAP 7313, FILED AUGUST 3, 1998 IN BOOK 236 OF PARCEL MAPS, PAGES 38-40, ALAMEDA COUNTY RECORDS.

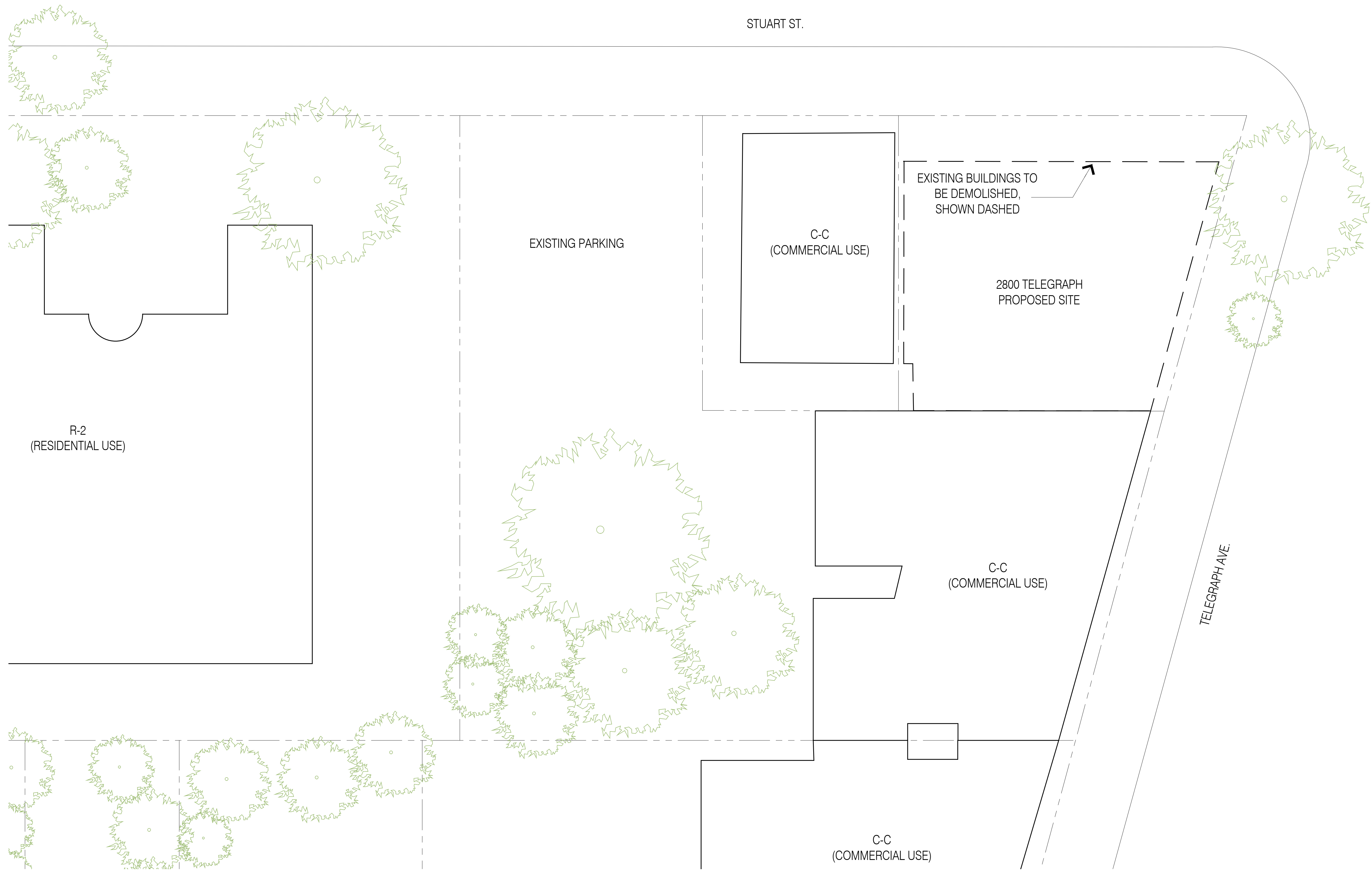
BENCHMARK

B0192 BEING A 2" DIAMETER BRASS DISC CITY WELL MONUMENT STAMPED B2184 L57893, LOCATED AT OREGON ST/FULTON ST, RESET IN 2015. ELEVATION = 162.74 FEET, CITY OF BERKELEY DATUM.



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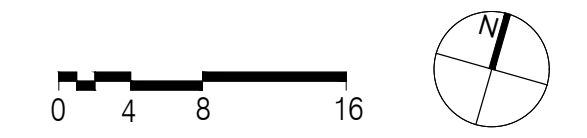
JOB: 2140

SHEET:

EXISTING
 SITE PLAN

A2.0

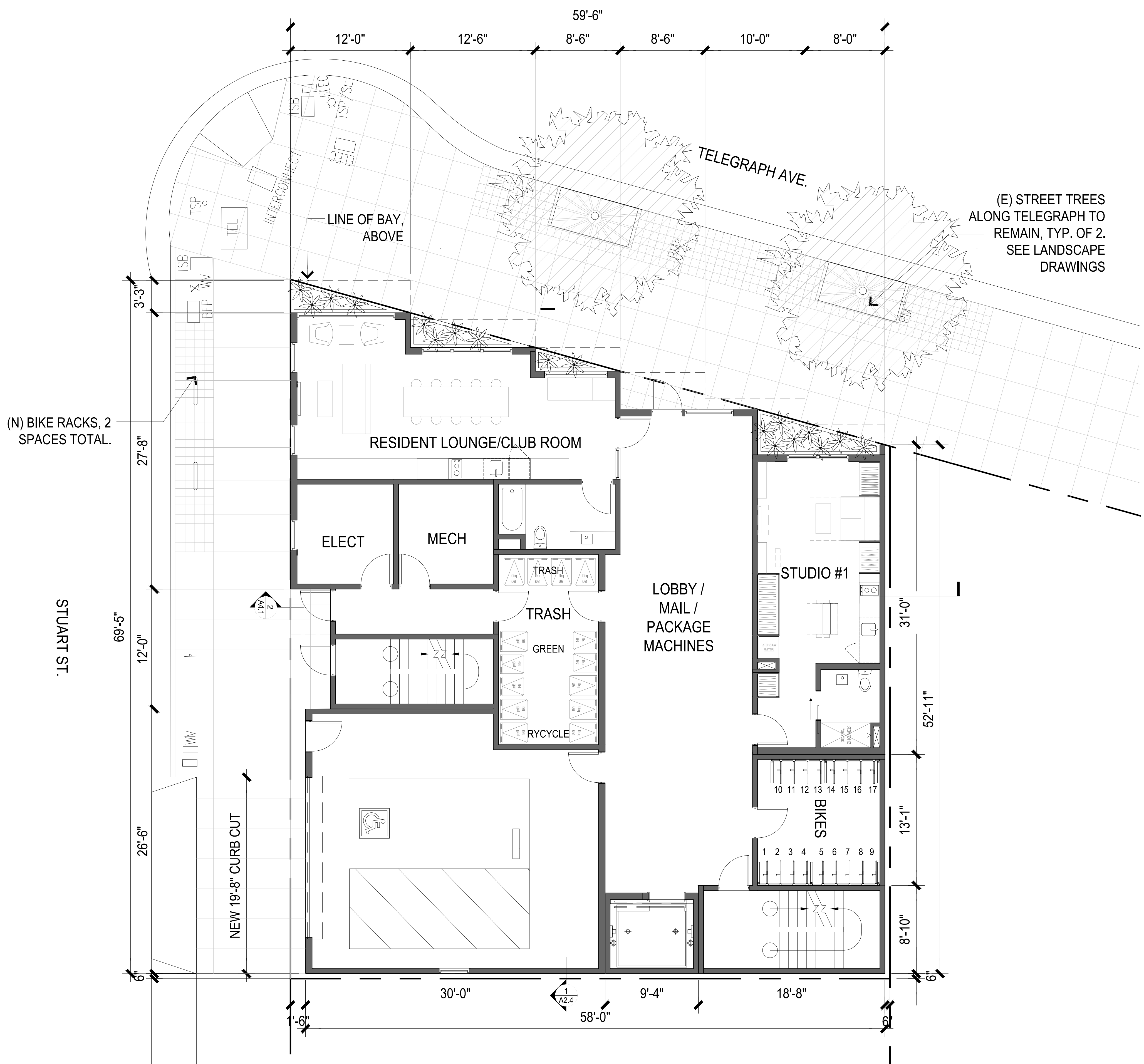
1 EXISTING SITE PLAN
 3/64"=1'-0" @ 11x17 3/32"=1'-0" @ 24x36



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(E) STREET TREES
 ALONG TELEGRAPH TO
 REMAIN, TYP. OF 2.
 SEE LANDSCAPE
 DRAWINGS



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JOB: 2140

SHEET:

GROUND FLOOR PLAN

A2.1

1
 2.1 GROUND LEVEL PLAN
 3/16" = 1'-0" @ 24X36 1/8" = 1'-0" @ 11X17

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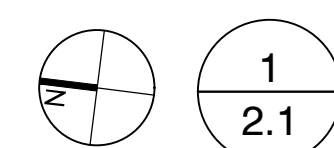
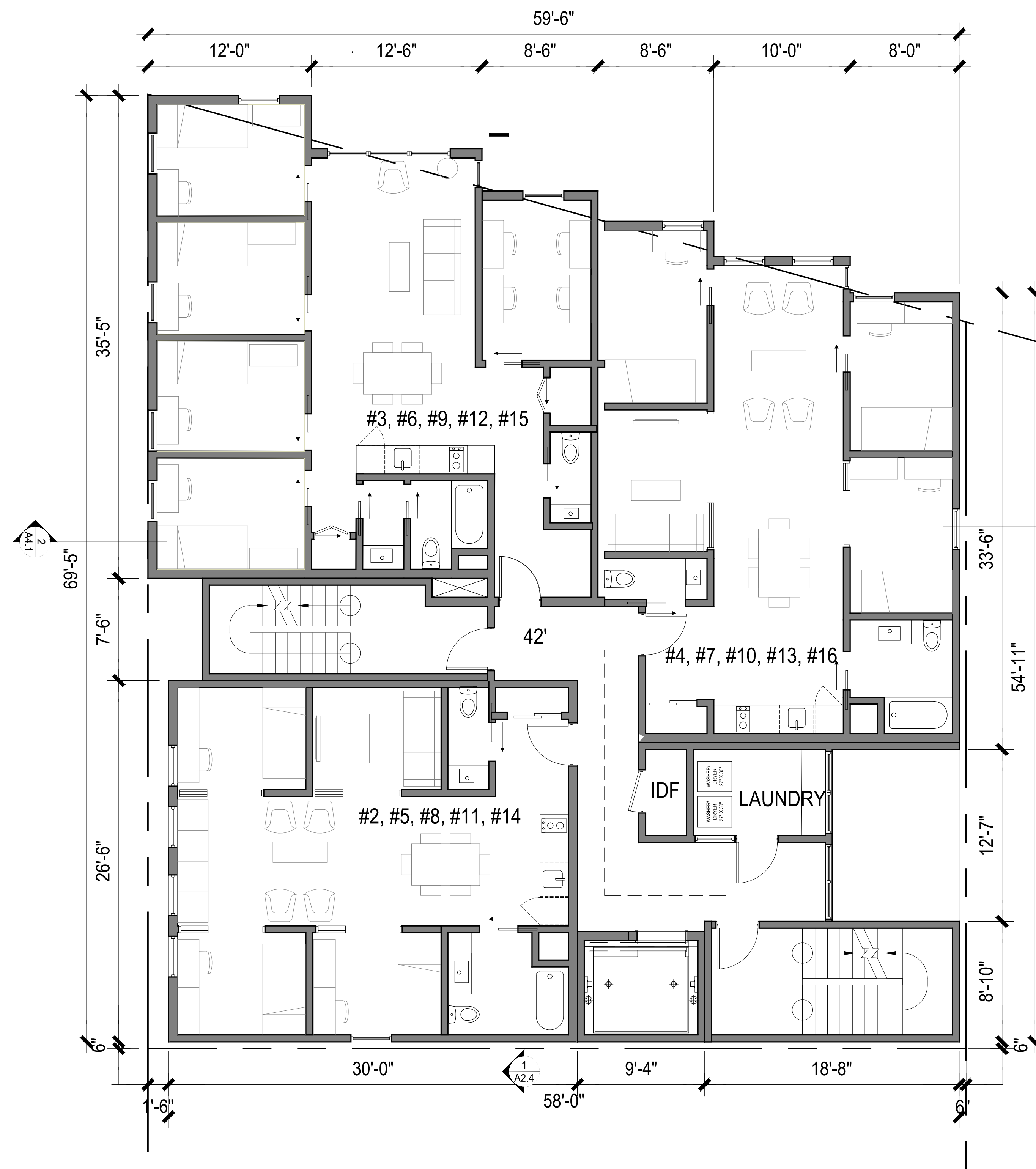
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JOB: 2140

SHEET:

PLAN AT LEVELS 2-6

A2.2



1 PLAN AT LEVELS 2-6

2.1 3/16" = 1'-0" @ 24X36 3/32" = 1'-0" @ 11X17

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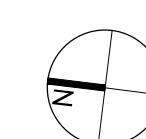
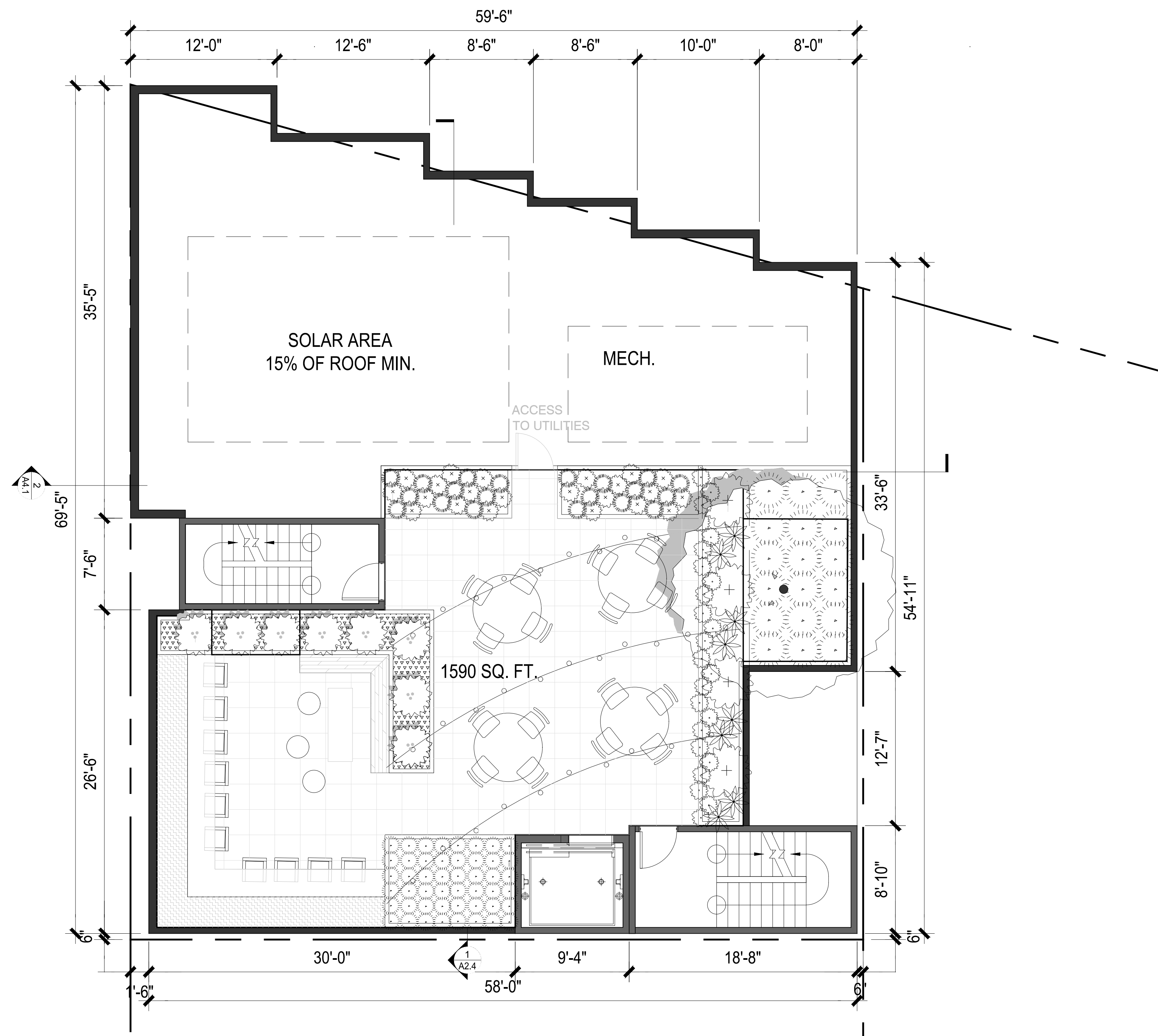
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JOB: 2140

SHEET:

ROOF PLAN

A2.3



1
 2.3

ROOF PLAN

3/16" = 1'-0" @ 24X36 3/32" = 1'-0" @ 11X17

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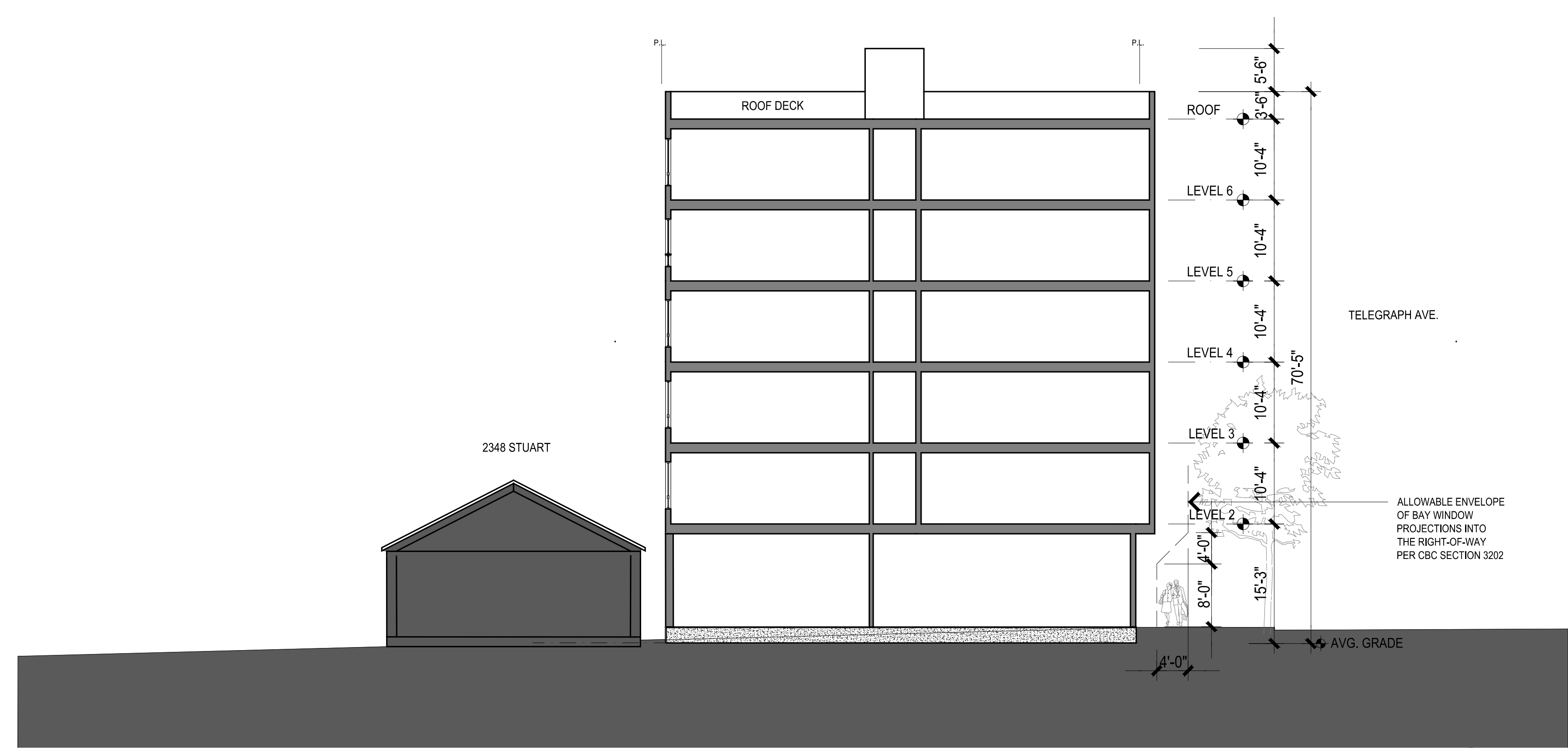
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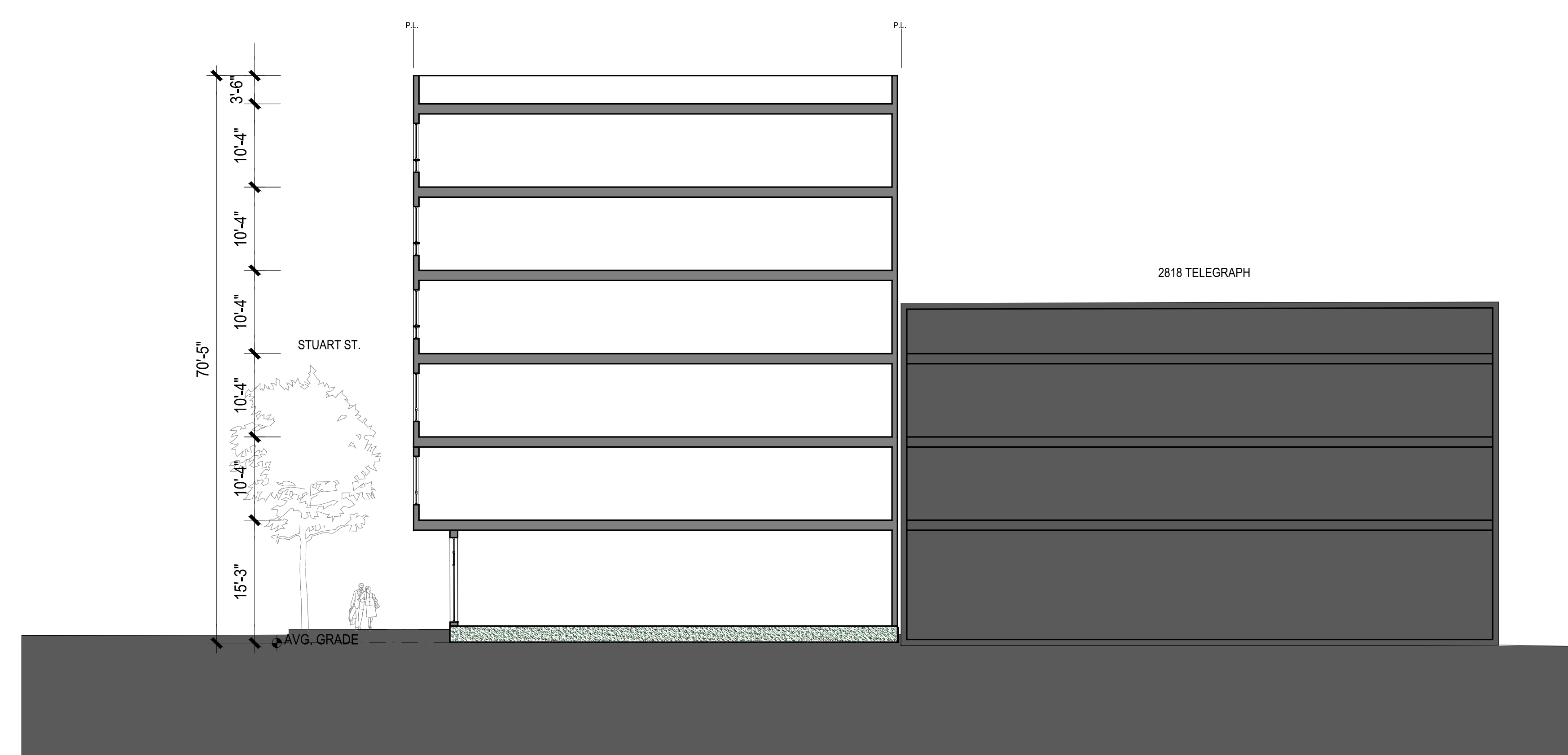
SHEET:

SECTIONS

A2.4



1 EAST WEST SECTION
 2.4 3/32" = 1'-0" @ 24X36 3/64" = 1'-0" @ 11X17



2 NORTH SOUTH SECTION
 2.4 3/32" = 1'-0" @ 24X36 3/64" = 1'-0" @ 11X17



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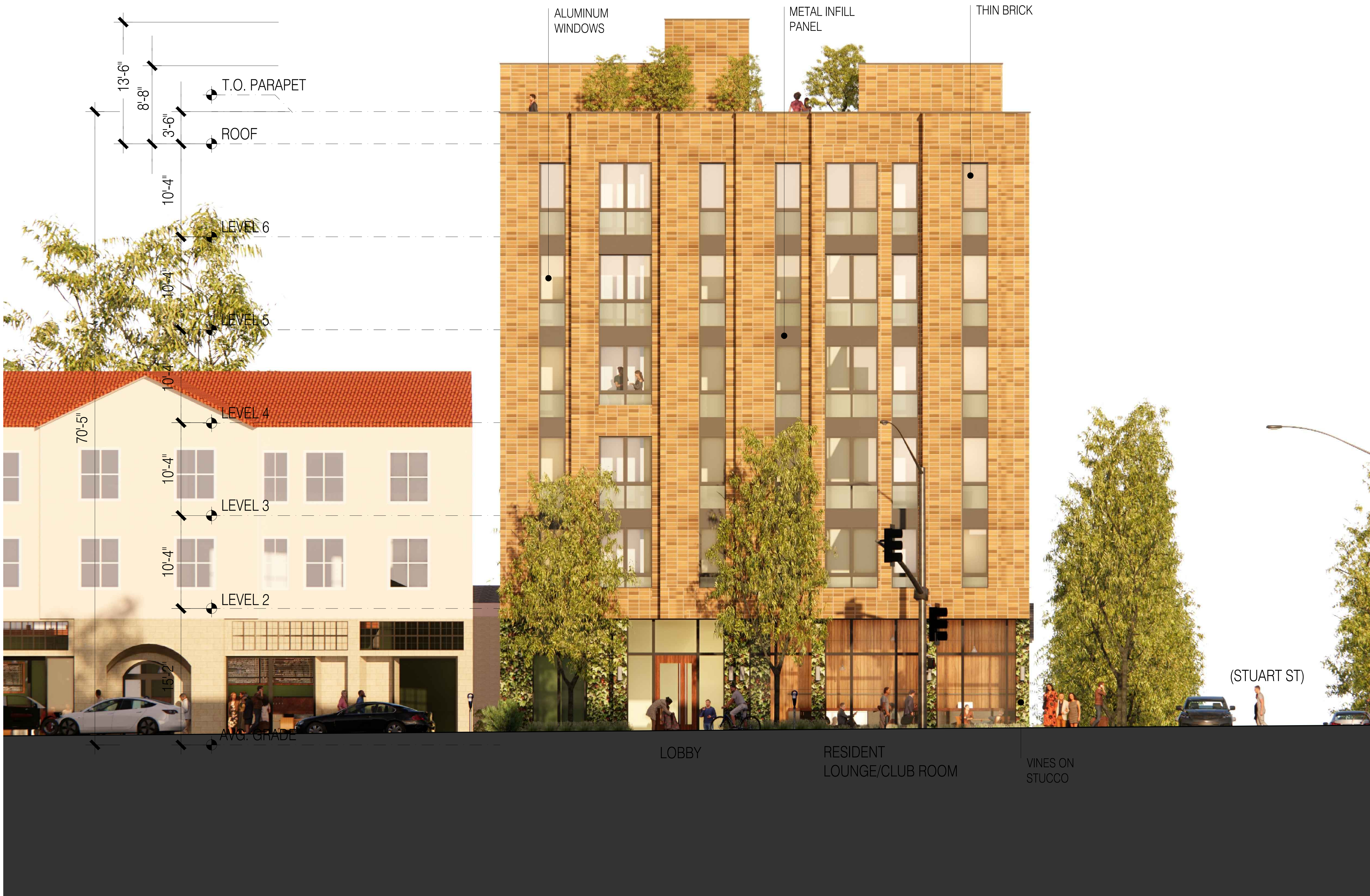
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SHEET:
 BUILDING
 ELEVATIONS

A3.1





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SHEET:

BUILDING
 ELEVATIONS

A3.2



ALUMINUM WINDOWS
 METAL INFILL PANEL
 THIN BRICK

VINES ON STUCCO
 GARAGE ENTRY

13'-6"
 8'-8"
 3'-6"
 10'-4"
 10'-4"
 10'-4"
 10'-4"
 10'-4"
 10'-4"
 10'-4"
 10'-4"
 15'-2"
 T.O. PARAPET
 ROOF
 LEVEL 6
 LEVEL 5
 LEVEL 4
 LEVEL 3
 LEVEL 2
 (TELEGRAPH AVE)
 AVG. GRADE

2.68 ft
 5.12 ft



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SHEET:

BUILDING
 ELEVATIONS

A3.3





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SHEET:
 BUILDING
 ELEVATIONS

A3.4





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2
A3.5 STREET STRIP ELEVATION @ STUART ST
 1/32" = 1'-0" @ 11X17 1/16" = 1'-0" @ 24X36

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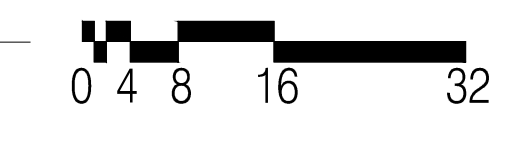
SHEET:

STREET STRIP
 ELEVATIONS

A3.5



1
A3.5 STREET STRIP ELEVATION @ TELEGRAPH AVENUE
 1/32" = 1'-0" @ 11X17 1/16" = 1'-0" @ 24X36





4 TELEGRAPH LOOKING NORTH - AFTER



2 TELEGRAPH LOOKING SOUTH - AFTER



3 TELEGRAPH LOOKING NORTH - BEFORE



1 TELEGRAPH LOOKING SOUTH - BEFORE

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SHEET:
PHOTO CONTEXT
VIEWS

A3.6



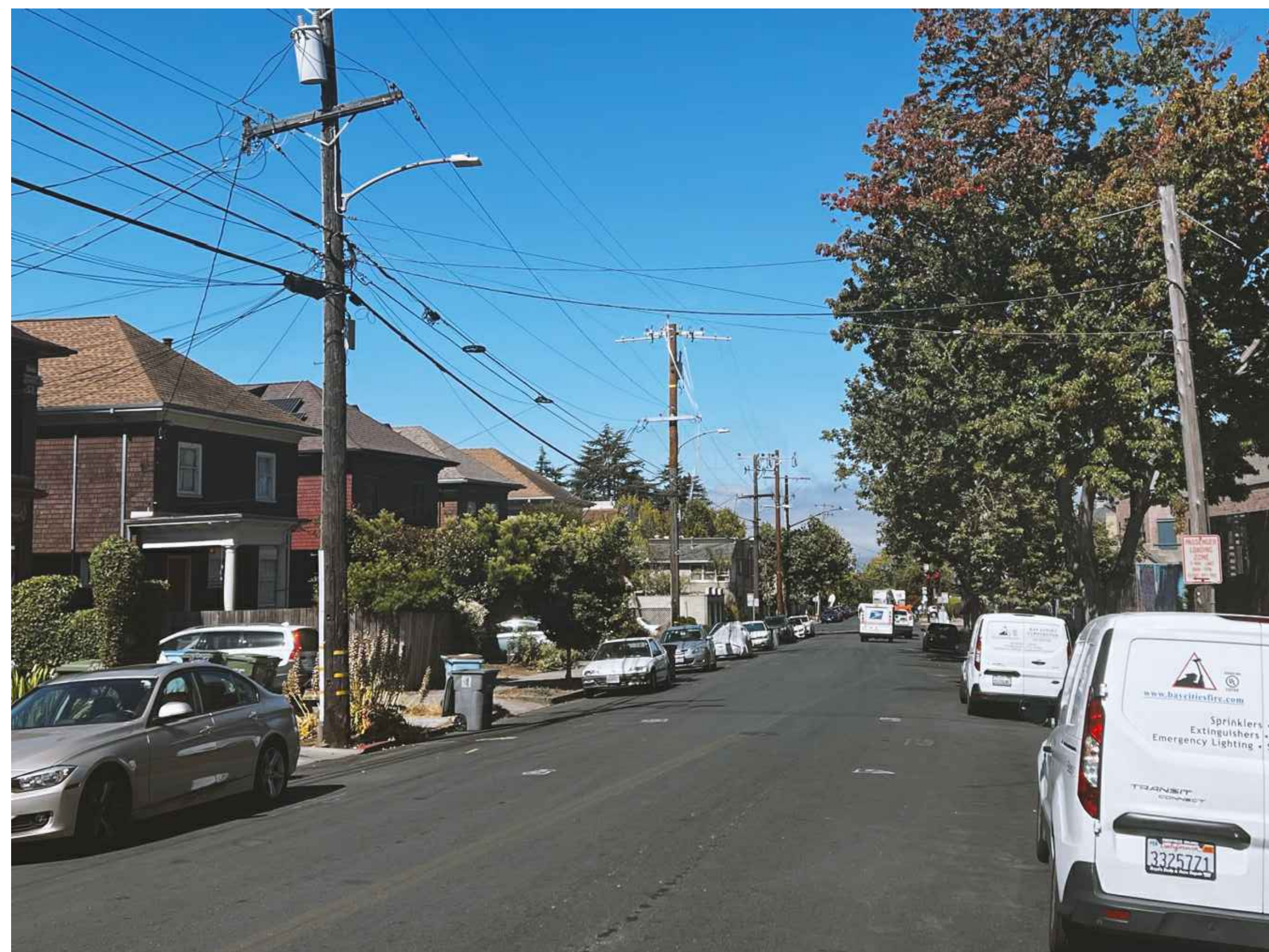
4
-
STUART LOOKING EAST - AFTER



2
-
STUART LOOKING WEST - AFTER



3
-
STUART LOOKING EAST - BEFORE



1
-
STUART LOOKING WEST - BEFORE

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SHEET:
 PHOTO CONTEXT
 VIEWS

A3.7

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JOB: 2140

SHEET:
CONCEPTUAL
RENDERING

A3.8



1 PERSPECTIVE VIEW - TELEGRAPH LOOKING SOUTH WEST

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SHEET:

CONCEPTUAL
RENDERING

A3.10



1 PERSPECTIVE VIEW - TELEGRAPH LOOKING NORTH WEST



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JOB: 2140

SHEET:

BUILDING
 MAT

MAT

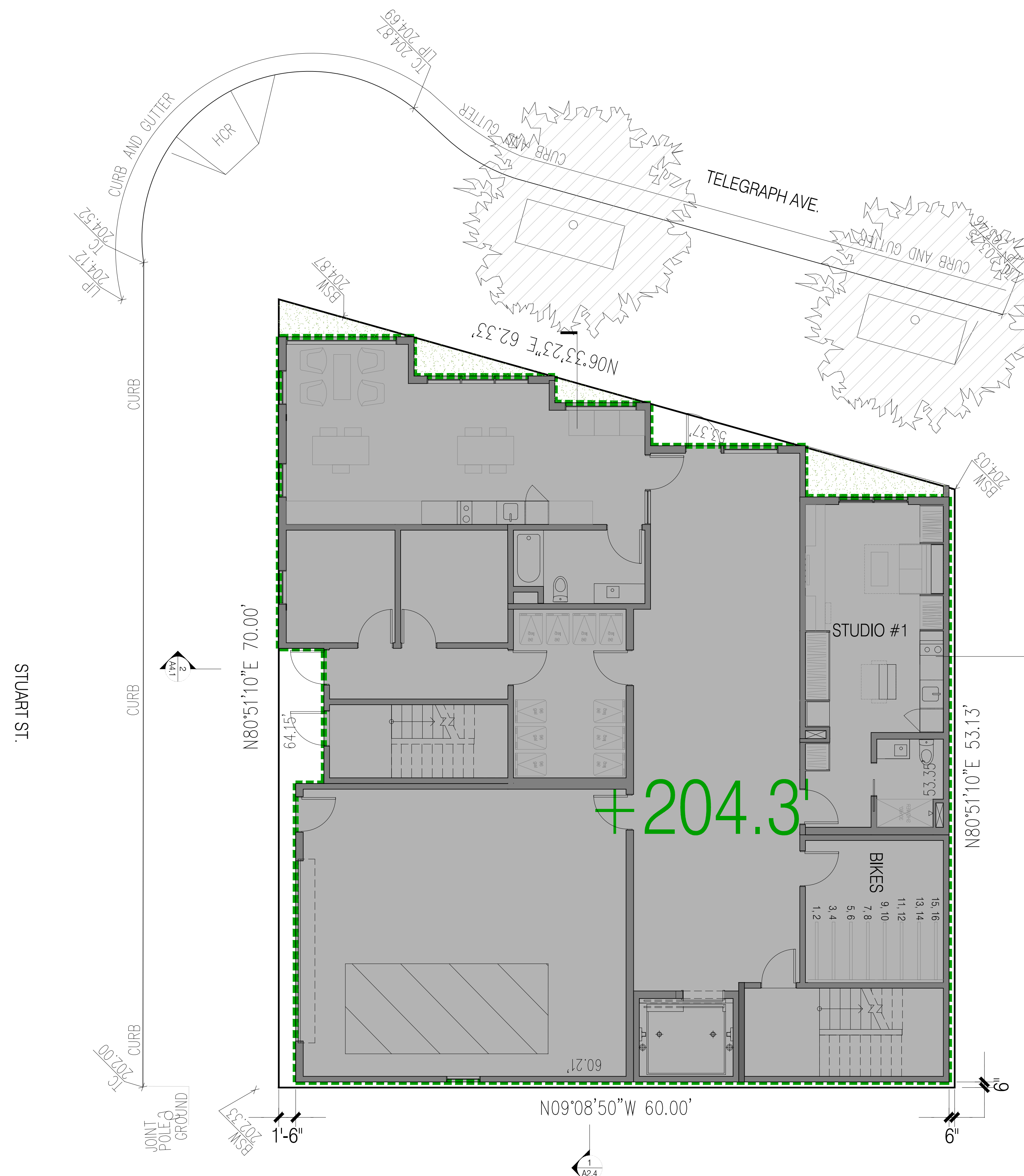


CUT AND FILL CALCULATIONS

	CUT/FILL AREA	AVERAGE CUT/FILL DEPTH (FT)	TOTAL VOLUME (CY)
PROPOSED BUILDING	3,411	2	253

EARTHWORK NOTES:

1. EARTHWORK QUANTITY IS A ROUGH ESTIMATE BASED ON A BUILDING PAD ELEVATION 12" BELOW FF OF GROUND FLOOR LEVEL. QUANTITIES MAY VARY DUE TO FINAL STRUCTURAL FOUNDATIONS AND PAVEMENT THICKNESS.
2. EARTHWORK QUANTITIES DO NOT TAKE INTO ACCOUNT SOIL SHRINKAGE, SOIL SWELLING, TRENCH SPOILS, SITE OVER-EXCAVATION REQUIREMENTS.



1
 1
GROUND LEVEL PLAN
 3/16" = 1'-0" @ 24X36



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SHEET:

CONCEPTUAL
 GRADING PLAN

A5.1



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LANDSCAPE SHEET INDEX

- L1.0 LANDSCAPE PLAN AT STREETSCAPE
- L2.0 LANDSCAPE PLAN AT ROOF DECK
- I1.0 HYDROZONE PLAN AT ROOF DECK

NOTES

1. CONTRACTOR SHALL VERIFY ALL GRADES, EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK. ALL DISCREPANCIES OR QUESTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION. REDIRECT WORK TO AVOID DELAY.
2. ALL CURVES AND ALL TRANSITIONS BETWEEN CURVES AND STRAIGHT EDGES SHALL BE SMOOTH
3. TAKE ALL DIMENSIONS PERPENDICULAR TO ANY REFERENCE LINE, WORK LINE, FACE OF BUILDING, FACE OF WALL OR CENTERLINE.
4. S.A.D. FOR ALL INFORMATION ON WATERPROOFING, DRAINAGE & GRADING ON STRUCTURES.

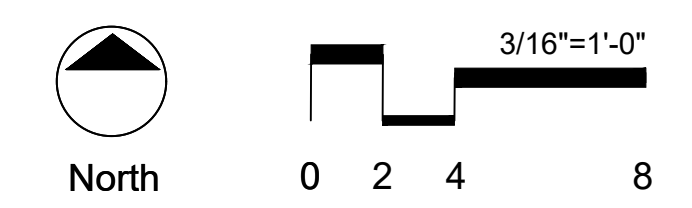
SEE L2 FOR GENERAL PLANTING NOTES

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JOB:

SHEET:

LANDSCAPE PLAN AT STREETSCAPE



L1.0

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**LANDSCAPE PLAN
 AT ROOF DECK**

L2.0



Burgundy Desert Willow (*Chilopsis linearis* 'Burgundy')



Jelly Bean Gold Monkeyflower (*Mimulus* spp.)



California White Sage (*Salvia apiana*)



Canyon Prince Wild Rye (*Leymus condensatus*)



Western Redbud (*Cercis occidentalis*)

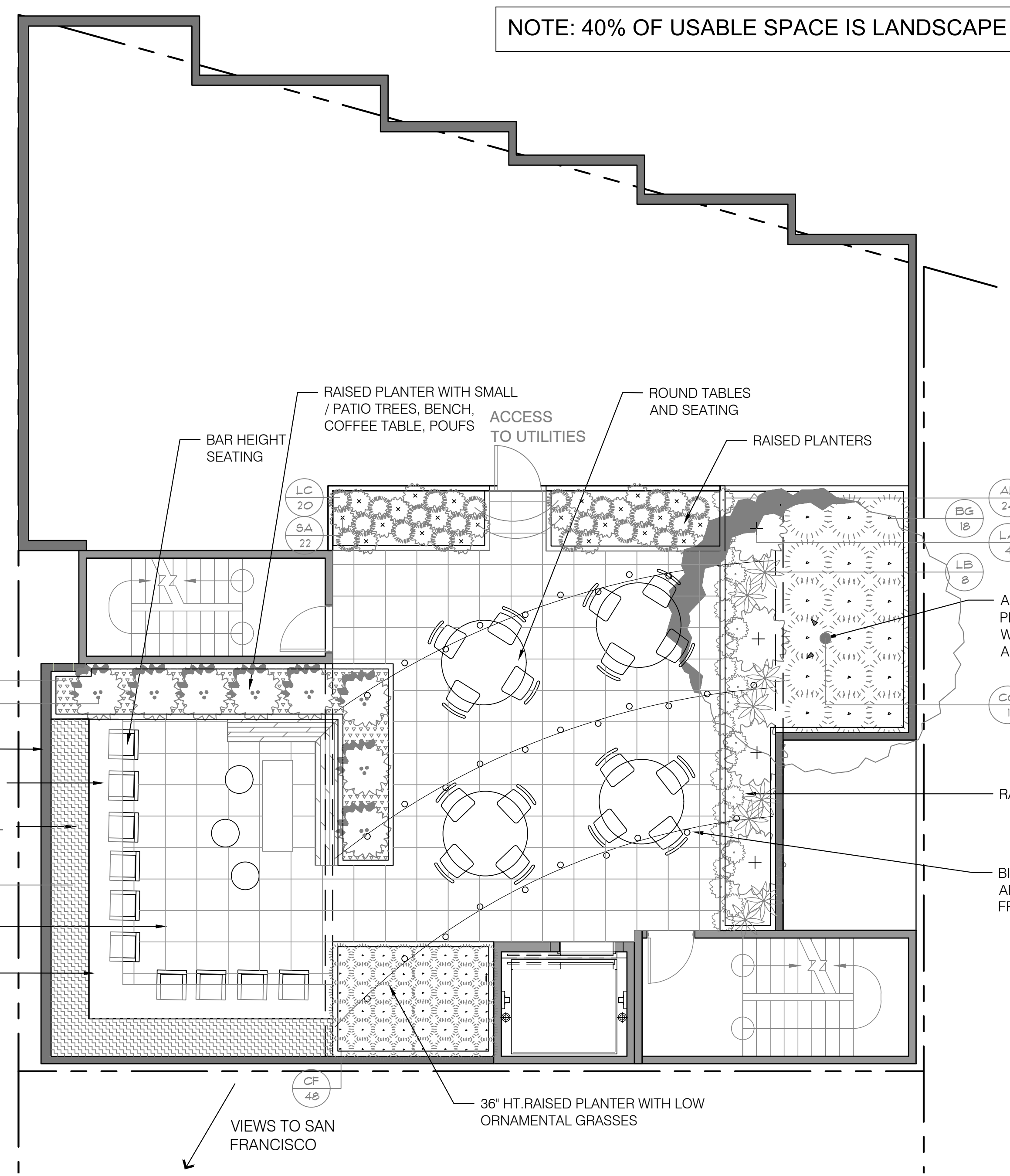
Plant List

Index	Latin Name	Common Name	Size	Quantity	Unit	Spacing	WELO	CN
Trees								
AH	Arctostaphylos 'Dr. Hurd'	Dr. Hurd Manzanita	24" box	1	ea	13" o.c.	L	X
CL	Chilopsis linearis 'Burgundy'	Burgundy Desert Willow	15 gal	7	ea	as shown	VL	X
CO	Cercis occidentalis	Western Redbud	36" box MT	1	ea	18" o.c.	VL	X
Shrubs								
LA	Lupinus arboreus	Yellow Bush Lupine	1 gal	4	ea	5'0" o.c.	L	X
SA	Salvia apiana	California White Sage	1 gal	22	ea	18" o.c.	VL	X
Groundcovers								
AL	Achillea millefolium 'Little Moonshine'	Little Moonshine Yarrow	1 gal	24	ea	18" o.c.	L	X
BG	Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama Grass	1 gal	18	ea	3'0" o.c.	L	X
CF	Calamagrostis foliosa	Mendocino Reed Grass	1 gal	48	ea	2'0" o.c.	M	X
LB	Lotus berthelotii 'Scarlet'	Scarlet Parrot's Beak	1 gal	8	ea	2'6" o.c.	L	X
LC	Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye	1 gal	20	ea	18" o.c.	L	X
MG	Mimulus - Jelly Bean Series 'Gold'	Jelly Bean Gold Monkeyflower	1 gal	12	ea	2'6" o.c.	VL	X
SC	Sedum carpet mix	Sedum carpet mix	trays	192 sf	sf	trays	L	

Note: all plantings will be watered by an automated irrigation system compliant with the City of Berkeley code.
 Note: approximately 80% of specified plants are California native (CN) and wildlife-supporting.
 Note: all landscape lighting will comply with the City of Berkeley Dark Skies ordinance and Bird Safe requirements.

GENERAL PLANTING NOTES

- SOIL PREPARATION:** The Landscape Contractor shall be responsible for finish grading and all planting area drainage. Positive drainage away from the building as per city codes shall be maintained. No low spots which hold standing water will be accepted. The Landscape Contractor shall incorporate soil preparation amendment into planting areas as noted below. Where roto-tilling is not possible, incorporate soil amendments into top 6 inches with hand tools. After installation of irrigation system, all planting areas are to be fine graded to within 2 inches and slightly mounded away from edges of top of planter, curb, walk, header, etc. and raked smooth with all rocks and debris over 1-inch in diameter removed.
- SOIL PREPARATION AMENDMENTS AND BACKFILL MIX:** The Landscape Contractor shall amend existing soil per the soils report.
- TREE PLANTING:** Trees shall be planted per detail on plan. Trees shall typically be located a minimum of 3 1/2 feet from curbs, walks, headers, buildings, and overhead structures within the project. Backfill per soils report. Thoroughly water trees immediately after planting.
- SHRUB PLANTING:** The shrubs shall be spotted as per plan, spotted at the shown locations, and approved by Landscape Architect prior to the digging of the holes. Shrub backfill shall be per soils report. Thoroughly water shrubs immediately after planting. Do not plant any shrub within 2 feet of any building wall.
- MAINTENANCE:** The Contractor shall maintain the project for 90 days (or as requested by owner) following the approval to begin the maintenance period. During the entire maintenance period, watering, cultivating, weeding, mowing, repair/tightening of stakes and ties, restoration of basins, provision of supplemental water by hand in addition to irrigation system is required as necessary. No pre-emergence herbicides shall be applied - hand remove weeds. Only organic fertilizers shall be applied such as those specified. Install per manufacturer's recommendations. At the end of the 90 day maintenance period all areas are to be weed free and all plant material shall be in a healthy, thriving condition. Integrated pest management practices shall be implemented.
- SUBSTITUTIONS:** Requests for plant substitutions shall be made to the Landscape Architect within 15 days after signing of contract.
- GUARANTEE:** All construction, trees and shrubs by the Landscape Contractor and/or subcontractors shall be guaranteed for (1) one year after start of maintenance period. The contractor shall replace, at no expense to the Owner, any and all landscape materials that are in an unacceptable condition for time of use, and trees or shrubs that are dead or not in a vigorous, healthy growing condition, within two weeks of notification of such condition. Replacement shall be of the same kind and size as the originally specified item and shall be replaced as originally described on the drawings. The Contractor shall not be held liable for loss of plant materials during the guarantee period due to vandalism, accidental causes or acts of neglect by others than the Contractor, his agents and employees.
- CLEAN UP:** At the end of each work day, at the inspection for substantial completion, and before acceptance of project - clean paved areas that are dirtied or stained by construction operations by sweeping or washing, and remove defacements and stains. Remove construction equipment, excess materials and tools. Haul from Owners property any debris resulting from construction, and dispose of it legally. Remove remaining temporary protection at time of acceptance by Owner unless otherwise agreed.
- FERTILIZERS:** Available from California Organic Fertilizers, Inc. 1-800-269-5690 www.organicag.com.



NOTE: 40% OF USABLE SPACE IS LANDSCAPE



Little Moonshine Yarrow (*Achillea millefolium*)



Yellow Bush Lupine (*Lupinus arboreus*)



Scarlet Parrot's Beak (*Lotus berthelotii* 'Scarlet')



Blonde Ambition Blue Grama (*Bouteloua gracilis*)



Dining and seating areas framed by raised planters



Sedum carpet behind rail with seating and views to SF



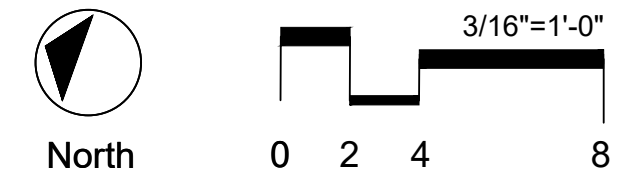
Select path and up lights, Dark Skies / Bird Safe compliant



Bar height seating and round moveable table seating



L-shaped bench seating with planting behind





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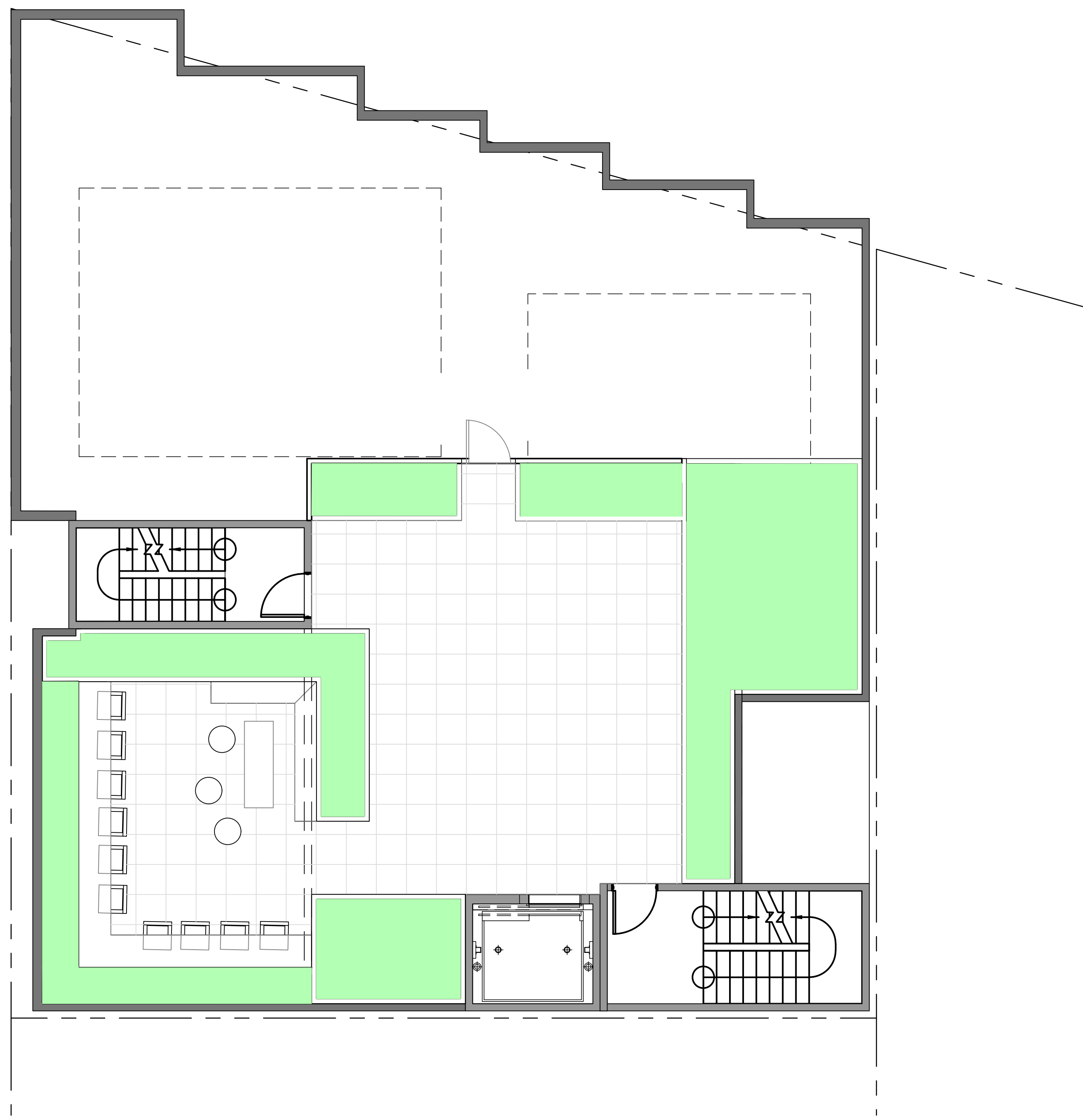
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JOB:

SHEET:

HYDROZONE PLAN AT ROOF DECK

11.0



Hydrozone Legend

HZ 1 - Shrub/GC - Sunny - Low

Water Efficient Landscape Worksheet

California Water Efficient Landscape Worksheet - 2800 Telegraph							
Reference Evapotranspiration (ET _o)	41.8		Project Type	Residential		ETAF	0.55
Hydrozone # / Planting Description*	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^d
Regular Landscape Areas							
HZ 1 - Shrub/GC - Sunny - L	0.2	Drip	0.81	0.25	638	158	4083
			0.75	0.00		0	0
					Totals	638	158
Special Landscape Areas							
					1	0	0
					1	0	0
					1	0	0
					1	0	0
					Totals	0	0
						ETWU Total	4083
						Maximum Allowed Water Allowance (MAWA) ^e	9094

ETAF Calculations

Regular Landscape Areas	
Total ETAF x Area	158
Total Area	638
Average ETAF	0.25
All Landscape Areas	
Total ETAF x Area	158
Total Area	638
Average ETAF	0.25

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

Total Landscape Area: 638 SQ. FT.

