



D E S I G N  
R E V I E W  
C O M M I T T E E  
S T A F F R E P O R T

For Committee Recommendation  
JULY 16, 2026

## 2330 PRINCE STREET

### PRELIMINARY DESIGN REVIEW

**Design Review #DRCP2026-0002 to demolish three main buildings, including a 6,800 square-foot two-story church, a 6,200 square-foot one-story school and paved playground, and a 2,500 square-foot one-story vacant commercial building, and construct a four-story (48'-0") 49,859 square-foot residential development with 23 units (including 1 Very Low-Income unit), 46 vehicle parking spaces, and 23 bicycle parking spaces.**

#### I. Introduction

The proposed project (Project) is a four-story residential development located at the southwest corner of Telegraph Avenue and Prince Street. The .74 acre site is split-zoned, with the Residential Multi-Unit District (R-2) in the west portion and the Corridor Commercial District (C-C) in the east portion.

The application for the Project is subject to the Housing Crisis Act of 2019 (Senate Bill 330), the State Density Bonus Law, the California Environmental Quality Act (CEQA) exemption for infill development specified in Assembly Bill 130, and the Housing Accountability Act (HAA).

The project is before the Design Review Committee this month for Preliminary Design Review.

#### II. Background

The Project would demolish three existing buildings to construct a new 49,859 square foot residential development. The Project utilizes the State Density Bonus Law and includes the following primary components:

- 4 stories, 48 feet
- 23 dwelling units – three-bedroom townhouses (2,167 square-foot average unit size) in a “small lot” subdivision
- 1 Below-Market Rate (BMR) dwelling unit designated for Very Low-Income (VLI)

- 5,841 square feet of usable open space, including private patios and roof decks
- 46 off-street vehicle parking spaces (2 tandem spaces in private garages)
- 23 bicycle parking spaces (1 secure space inside each unit's garage)
- Remove 7 street trees (4 on Prince Street and 3 on Telegraph Avenue) and add 4 new street trees (3 on Prince Street and 1 on Telegraph Avenue)
- Retain and expand the existing curbcut on Prince Street, add 3 new curbcuts on Prince Street, and retain and relocate the existing curbcut on Telegraph Avenue.

### III. Project Setting

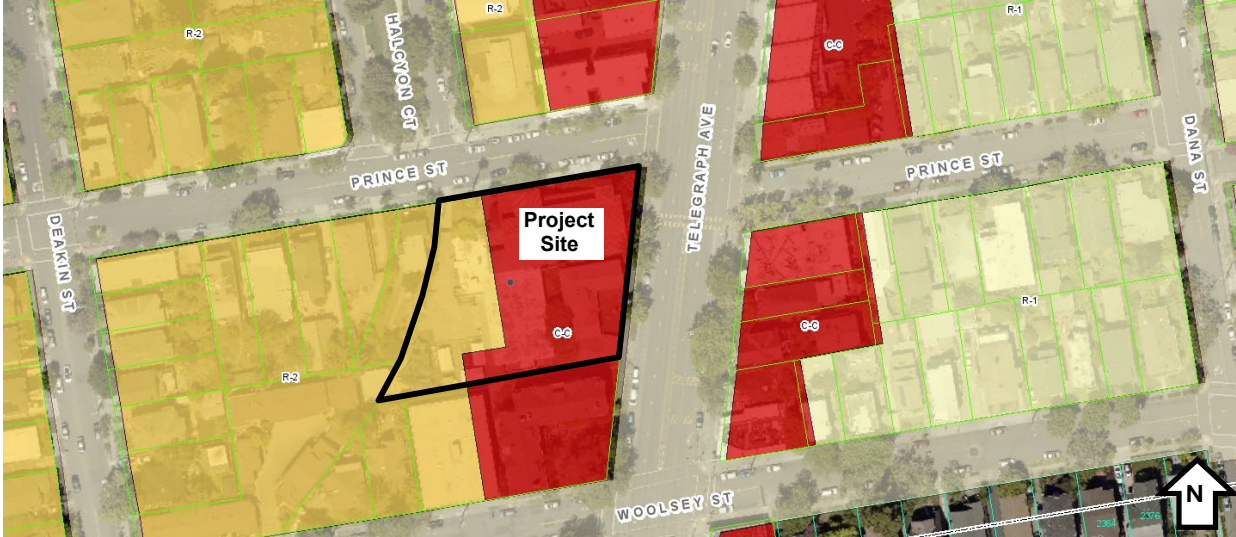
#### A. Neighborhood/Area Description:

The project site is located at the southwest corner of Telegraph Avenue and Prince Street. The surrounding area includes a mix of commercial and residential uses, with buildings ranging from one to three stories in height. Adjacent uses include multifamily residential to the north, multifamily residential and commercial to the south, commercial to the east, and multifamily residential to the west. The site is served by multiple AC Transit bus lines, is within a half-mile of the Ashby Bay Area Rapid Transit (BART) Station, and about one mile from the Downtown Berkeley BART Station.

#### B. Site Conditions:

The project site (APN 52-1557-1) is located on the west side of the 3100 block of Telegraph Avenue and fronts Prince Street to the north. The approximately 32,100-square-foot (0.74-acre) site is split-zoned: Residential Multi-Unit District (R-2) on the west portion and Corridor Commercial District (C-C) on the east. The site is relatively flat and currently developed with a two-story, approximately 6,800-square-foot church (3100 Telegraph), a 6,200-square-foot preschool building (2330 Prince), a 2,500-square-foot vacant building (3102 Telegraph), and a paved preschool playground. The church, built in 1951, occupies the northern portion of the site and includes a second-story worship hall, offices, a kitchen, and a partially unused basement. The preschool, built in 1952, is a one-story structure partially below grade in the site's center. The vacant building, built in 1951 on the eastern portion of the site, previously served the preschool. The playground is located on the west side of the site. All existing buildings, pavement, and landscaping would be removed. The site currently has two driveways, one on Prince Street and one on Telegraph Avenue.

**Figure 1: Vicinity Map**



**Table 1: Land Use Information**

Location		Existing Use	Zoning Districts	General Plan Designation
Subject Property		Church, school, and vacant commercial building	C-C and R-2	Avenue Commercial (AC) and Medium Density Residential (MDR)
Surrounding Properties	North	Multi-family residential	C-C and R-2	Avenue Commercial (AC) and Medium Density Residential (MDR)
	South	Multi-family residential and commercial/office	C-C and R-2	Avenue Commercial (AC) and Medium Density Residential (MDR)
	East	Commercial/retail	C-C	Avenue Commercial (AC)
	West	Multi-family residential and single-family residential	R-2	Medium Density Residential (MDR)

**Table 2: Development Standards**

<b>Residential Multi-Unit (R-2) Standards</b> BMC Sections 23.202.080(D), 23.322.070, 23.322.090		<b>Existing</b>	<b>Proposed</b>	<b>Permitted/ Required</b>
Lot Area (sq. ft.)		32,186 sf	1,259 sf	5,000 sf min.
Usable Open Space (sq. ft)		-	1,352 sf	900 sf min. (150 sf per 1,000 sf of gross residential floor area)
Main Building Height	Maximum (ft.)	-	48'	35 ft. max. <sup>1</sup>
	Stories	2 stories	4	3 stories max.
	Within 15 ft. of Rear Property Line	-	48'	22' max.
Residential Density (du/ac)		-	13.9 du/ac	Min. 10 du/ac; max. 70 du/ac
Lot Line Setbacks (ft.)	Front (East) (Telegraph Ave.)	-	N/A	N/A
	Rear (West)	-	Varies, 7'-6" to 15'-6"	5' min.
	Interior Side (South)	-	11'	4' min.
	Street Side (North) (Prince Street)	-	5'-2"	4' min.
Building Separation (ft.)		-	0'	5' min.
Lot Coverage (%)		43.5%	56.5%	60% max.
Parking	Vehicle	-	46 (2 spaces per unit)	12 (0.5 spaces per unit, max.)
	Bicycle – Long Term	-	23	23 (1 space per 3 bedrooms)
	Bicycle – Short Term	-	2	2 or 1 space per 40 bedrooms, whichever is greater
<p>■ = Waiver, pursuant to State Density Bonus Law, requested to modify the district standard.                      Abbreviations: sq. ft. = square feet; max. = maximum; min. = minimum; n/a = not applicable; % = percent; avg. = average, ft = feet ('), in. = inches ("), du/ac = dwelling units per acre</p>				
<p>NOTES:  <sup>1</sup> A project that includes a pitched roof is permitted a 35-foot maximum eave height and a maximum roof height of 38 feet. A project with a 35-foot flat roof is permitted an additional 5 feet height allowance for a stair, elevator or other rooftop access feature. Such a feature shall not exceed 15% of the average floor area of all of the building's stories.</p>				

Corridor Commercial (C-C) Standards BMC Sections 23.204.050(D), 23.304.030(C)(2)		Existing	Proposed	Permitted/ Required
Lot Area (sq. ft.)		32,186 sf	971 sf	5,000 sf min.
Usable Open Space (sq. ft)		-	4,489 sf	4000 sf min. (200 sf per dwelling unit)
Main Building Height	Maximum (ft.)	-	48'	35 ft. max.
	Stories	2 stories	4	3 stories max.
Lot Line Setbacks (ft.)	Front (East) (Telegraph Ave.)	-	Varies, 6" to 1'-6"	15' min.
	Rear (West)	-	N/A	N/A
	Interior Side (South)	-	11'	5' min.
	Street Side (North) (Prince Street)	-	5'-2"	4' min.
Building Separation (ft.)		-	0'	8' min. (1 <sup>st</sup> Story) 12' min. (2 <sup>nd</sup> Story) 16' min. (3 <sup>rd</sup> Story)
Lot Coverage (%)		43.5%	56.5%	50% max. (1 <sup>st</sup> & 2 <sup>nd</sup> Story); 45% max. (3 <sup>rd</sup> Story)
<p><span style="background-color: #cccccc; border: 1px solid black; display: inline-block; width: 1em; height: 1em; vertical-align: middle;"></span> = Waiver, pursuant to State Density Bonus Law, requested to modify the district standard.                      Abbreviations: sq. ft. = square feet; max. = maximum; min. = minimum; n/a = not applicable; % = percent; avg. = average, ft = feet ('), in. = inches ("), du/ac = dwelling units per acre</p>				

## IV. Project Description

### A. Requested Use Permits

- Use Permit, under BMC Section 23.326.070(A) to demolish a non-residential building
- Use Permit under BMC Section 23.204.020(A) to establish a multi-unit residential use in new building
- Use Permit under BMC Section 23.204.030(A)(1) to construct a new main building with 5,000 square feet or more of new floor area
- Use Permit under BMC Section 23.204.050(D)(3)(a)(ii) to reduce the setbacks and building separation, and increase the lot coverage standard for residential-only uses in the Corridor Commercial district

### B. CEQA Determination

The Project requests an exemption from CEQA under Assembly Bill (AB) 130. The City is conducting tribal consultation pursuant to AB 130. The CEQA determination is pending the conclusion of tribal consultation.

### C. Density Bonus Information

- **Lot Area.** Waiver of BMC Sections 23.202.080(D)(1) and 23.204.050(D)(1) to reduce the minimum lot area to 1,259 square feet in the R-2 district and 971 square feet in the C-C district, where 5,000 square feet is required in the R-2 and C-C districts.
- **Main Building Height.** Waiver of BMC Sections 23.202.080(D)(1) and 23.204.050(D)(1) to increase the maximum building height to 48 feet and 4 stories, where 35 feet and 3 stories (22 feet within 15 feet of rear property line) is the maximum allowed in the R-2 district, and 35 feet and 3 stories is the maximum allowed in the C-C district.
- **Lot Line Setback.** Waiver of BMC Section 23.204.050(D)(1) to reduce the minimum front setback to vary from 6 inches to 1 foot 6 inches, where 15 feet is required.
- **Building Separation.** Waiver of BMC Sections 23.202.080(D)(1) and 23.204.050(D)(1) to reduce the minimum building separation to 0 feet where 5 feet is required in the R-2 district and 8 feet (1 story), 12 feet (2 story), 16 feet (3 story) is required in the C-C district.
- **Lot Coverage.** Waiver of BMC Section 23.204.050(D)(1) to exceed the maximum lot coverage – to be 56.5% where 50% is the maximum allowed for 1 & 2 stories, and 45% is the maximum allowed for 3 stories.
- **Parking.** Waiver of BMC Section 23.322.070(B) to exceed the maximum off-street vehicle parking – to be 2 spaces per unit where 0.5 spaces per unit is the maximum allowed.
- **Concession.** Exemption from the Percentage for Public Art in-lieu fee per BMC Chapter 23.316.

### V. Design Review Guidelines

The City's Design Guidelines are applicable for this project. Excerpts from the City-wide Design Review Guidelines are included below for your reference:

- **Setbacks:** The street façade of commercial streets should be respected, in order to create or maintain the sense of urban space.
- **Parking and Driveways:** Conflict with pedestrian circulation should be prevented by the proper location and design of auto entrances.
- **Harmony with Surroundings:** The proposed design should be in harmony with its surroundings through the coordination of such design elements as cornice lines, eaves, and setbacks with those of existing neighborhood buildings.
- **Articulation:** Street facades in general and the ground floor level in particular should include elements of pedestrian scale and three-dimensional interest.
- **Lighting:** Lighting for circulation, security, building/sign identification should be non-obtrusive, except for lighting fixtures which are themselves decorative additions to the streetscape.
- **Walls and Fences:** Large, unarticulated expanses of any particular wall material that deaden the pedestrian environment should be avoided. The use of clear windows for ground floor retail projects is encouraged. Walls designed

to allow sitting areas for pedestrian or space for landscaping and artwork are encouraged, especially in areas of heavy pedestrian use. Landscaping and/or art work should be maximized if large expanses of wall must be left devoid of openings.

- **Landscape and Open Space:** Sidewalk areas should include landscaping that is coordinated with the neighborhood design.
- **Building Entrances:** Entrance points should be clearly defined and easily identifiable by pedestrians by appropriate locations and by elements such as awnings, signage, artwork or changes in paving material to define the entry point.

## VI. Issues and Analysis

### A. Design Review Issues:

**Neighborhood Context** The subject parcel is split-zoned, with the Residential Multi-Unit District (R-2) in the west portion and the Corridor Commercial District (C-C) in the east portion. The surrounding area includes a mix of commercial and residential uses, with buildings ranging from one to three stories in height.

**Building Design** This four-story project is designed as 23 townhome-style units and is divided into three distinct structures. One is oriented toward Prince Street, with the other two located parallel and further back from Prince, with the eastern end facing Telegraph, and the western end facing, as well as in, the R-2 Medium-density Residential Zoning district.

**Setbacks** The project has a 5'-2" setback from the North project property line at Prince. The project meets the property line at the East on Telegraph, but steps back from the angled property line allowing for some landscaped spaces between the three structures and the Telegraph sidewalk, as well as some landscape and pedestrian access on the west side of the project. The building is parallel to the South project property line. and a minimum setback of 6'-0" from the West property line where the property abuts a residential district.

**Streetscape** Seven street trees on Telegraph and Prince will be removed and four will be replaced. One new street tree is proposed on Telegraph and three new street trees are proposed on Prince. The applicant is working with Urban Forestry and Land Use Planning's Consultant for their recommendations and approvals.

**Landscape/ Open Space** The project proposes open space in individual patios for each townhome-style unit. Landscape plans are included in the plan set and show a preliminary plant list, as well as preliminary irrigation, stormwater, drainage, and water usage information.

**Colors and Materials** The project features a smooth stucco siding system, faux Spanish barrel tile roofing, vinyl windows with bird safe glazing, and stained wood architectural elements. See Sheets A3.1- A3.4 for color and material legend and rendered elevations.

**B. Issues for Discussion:**

- Massing
- Building Design
- Open Space / Landscape Plan
- Colors and Materials

**VII. Recommendation**

Staff recommends that the DRC discuss the above issues and forward a favorable recommendation to ZAB with specific direction for Final Design Review.

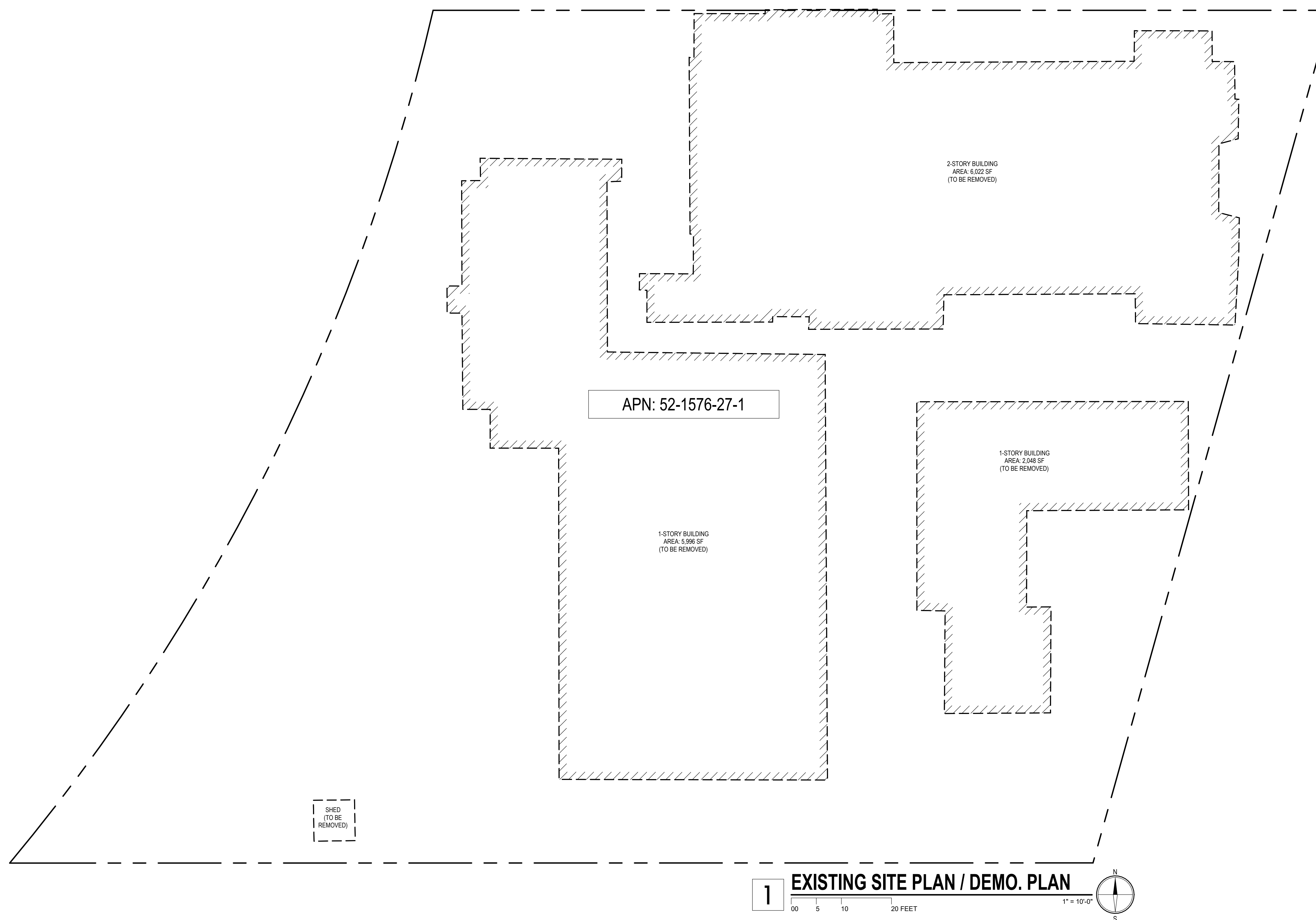
**Attachments:**

1. Project Plans, received June 26, 2026
2. Applicant Statement, received June 26, 2026

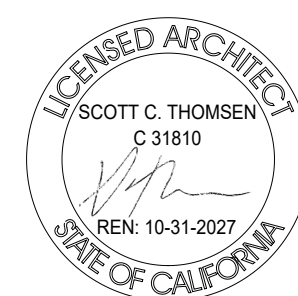
**Staff Planner:** Anne Burns, aburns@ci.berkeley.ca.us, (510) 981-7410







**2330 PRINCE STREET, BERKELEY CA**  
 ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3



3800 MT. DIABLO BLVD., SUITE 200  
 LAYFAYETTE, CA 94549  
 (925) 297-5688 leftcoastarch.com



2633 CAMINO RAMON, SUITE 350  
 SAN RAMON, CA 94583  
 (925) 866-0322 cbandg.com



2 THEATRE SQUARE, SUITE 218  
 ORINDA, CA 94563  
 (925) 254-5422 jett.land.com



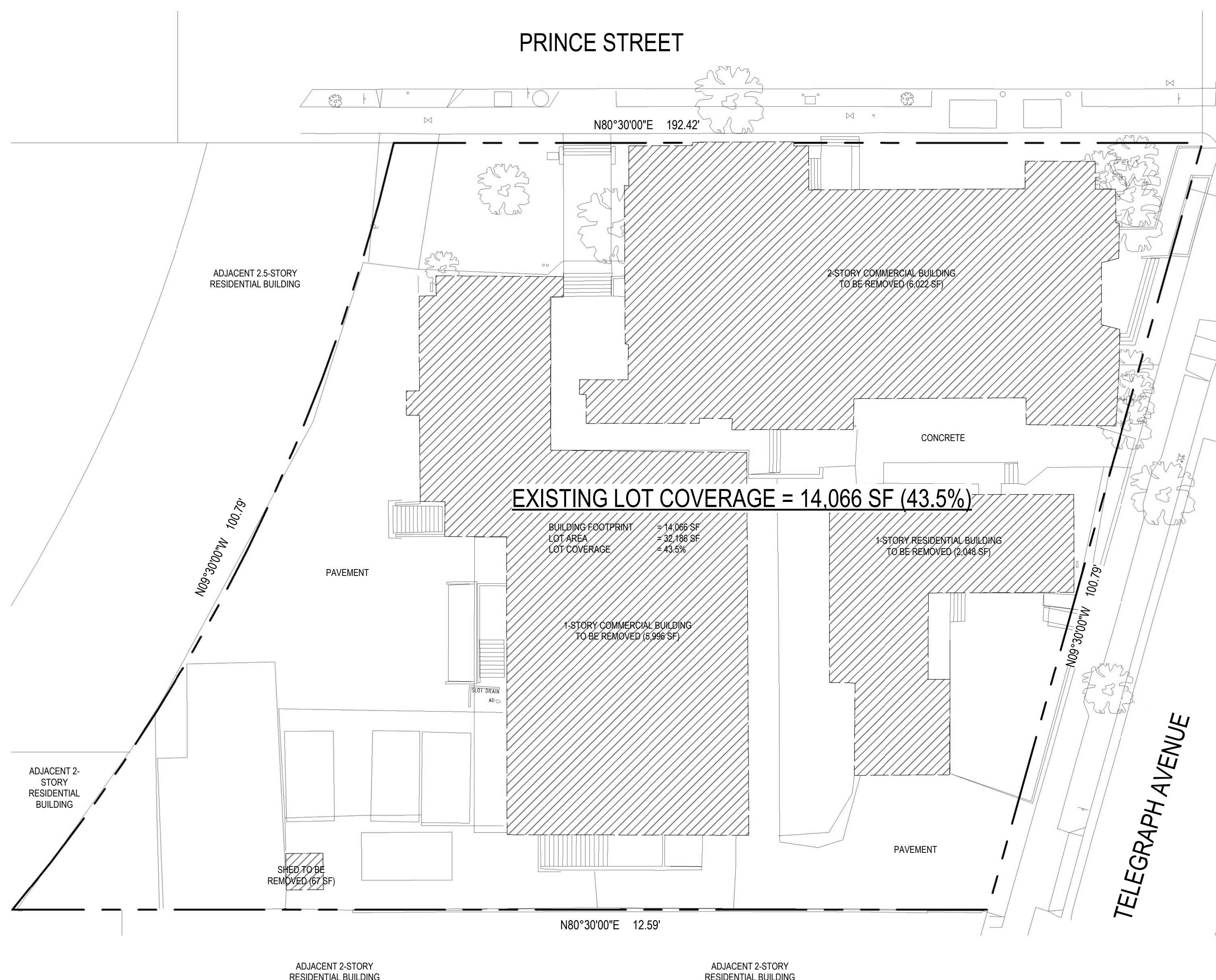
2744 E 11TH ST. OAKLAND, CA 94601  
 (510) 925-1908 riazcapital.com

SHEET TITLE  
**EXISTING SITE PLAN/DEMO PLAN**

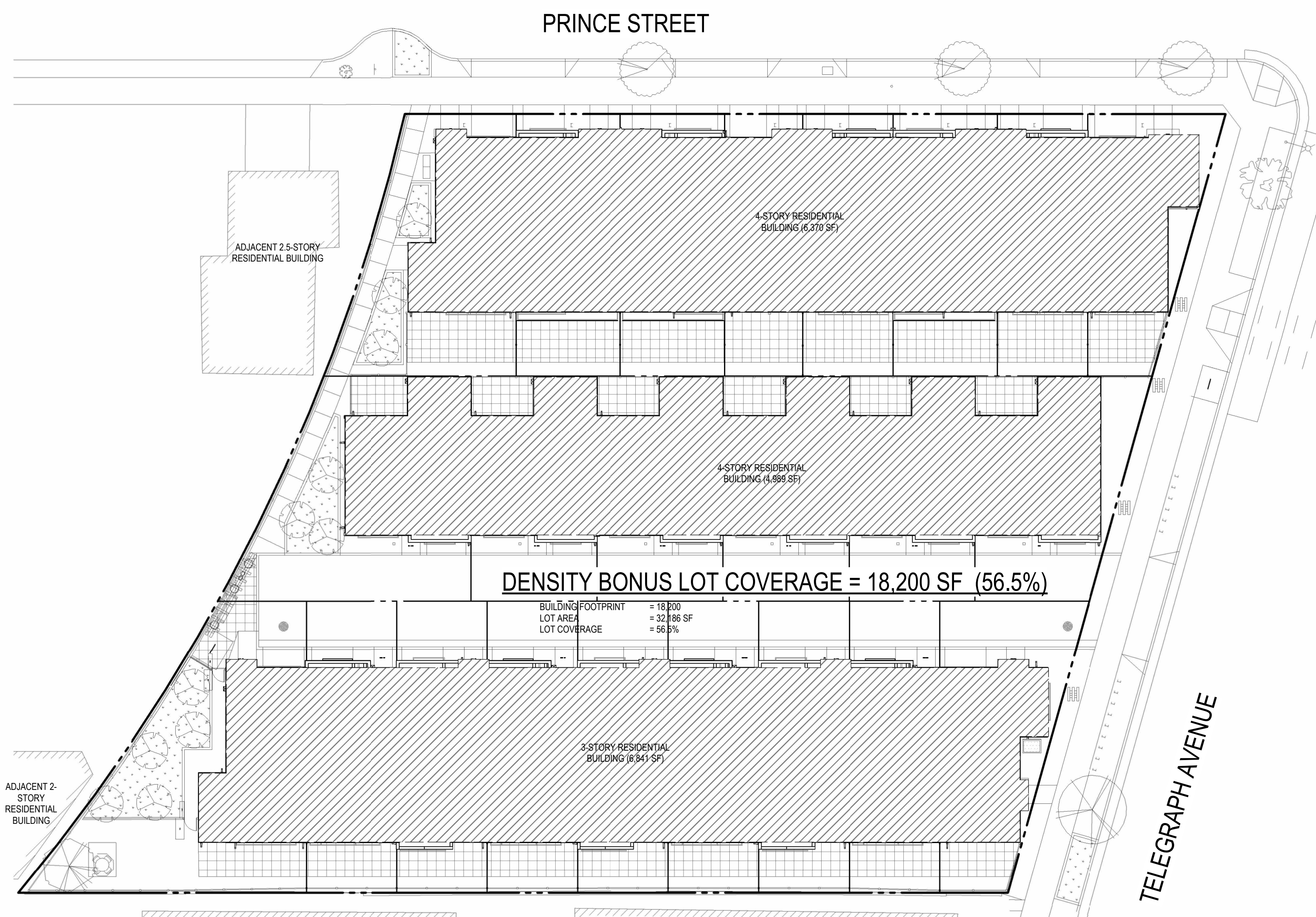
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 PLANNING SUBMITTAL

SCALE  
 1" = 10'-0"

**A-0.2**



**2 EXISTING LOT COVERAGE DIAGRAM**  
 1/16" = 1'-0"  
 00 08 16 32 FEET



**1 DENSITY BONUS LOT COVERAGE DIAGRAM**  
 1/16" = 1'-0"  
 00 08 16 32 FEET

**2330 PRINCE STREET, BERKELEY CA**  
 ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

**DENSITY BONUS PROJECT**



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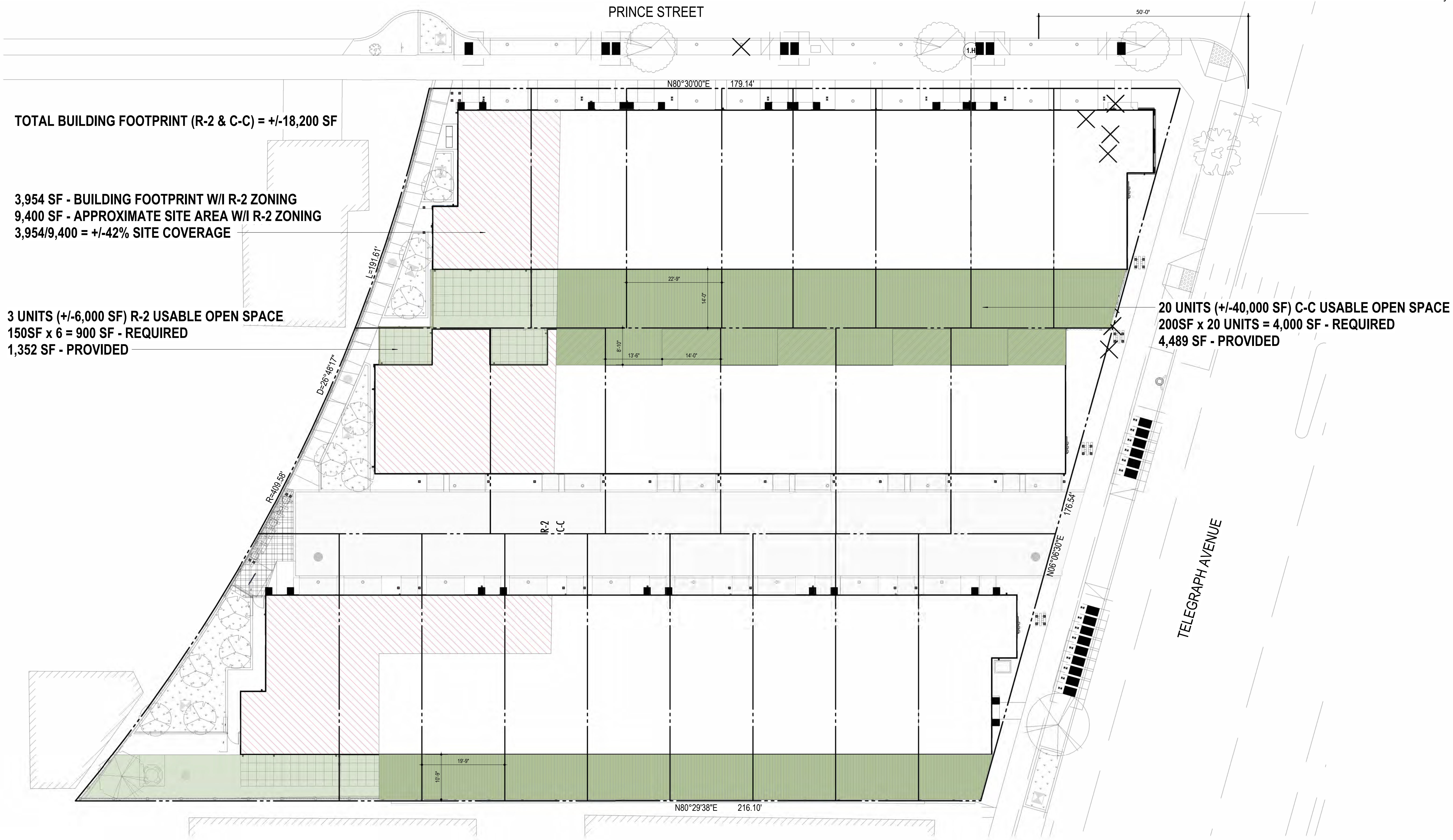
2 THEATRE SQUARE, SUITE 218  
 ORINDA, CA 94563  
 (925) 254-5422 jett.land.com



2744 E 11TH ST. OAKLAND, CA 94601  
 (510) 925-1908 riazcapital.com

SHEET TITLE  
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 PLANNING SUBMITTAL  
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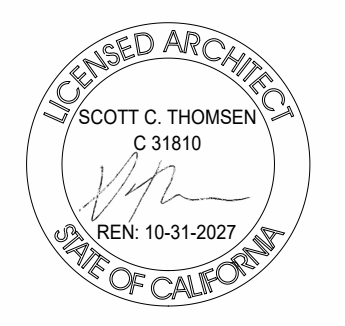
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**1 OPEN SPACE CALCS.**  
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**2330 PRINCE STREET, BERKELEY CA**  
 ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

**DENSITY BONUS PROJECT**



**LEFTCOAST ARCHITECTURE**  
 3800 MT. DIABLO BLVD., SUITE 200  
 LAYFAYETTE, CA 94549  
 (925) 297-5688 leftcoastarch.com

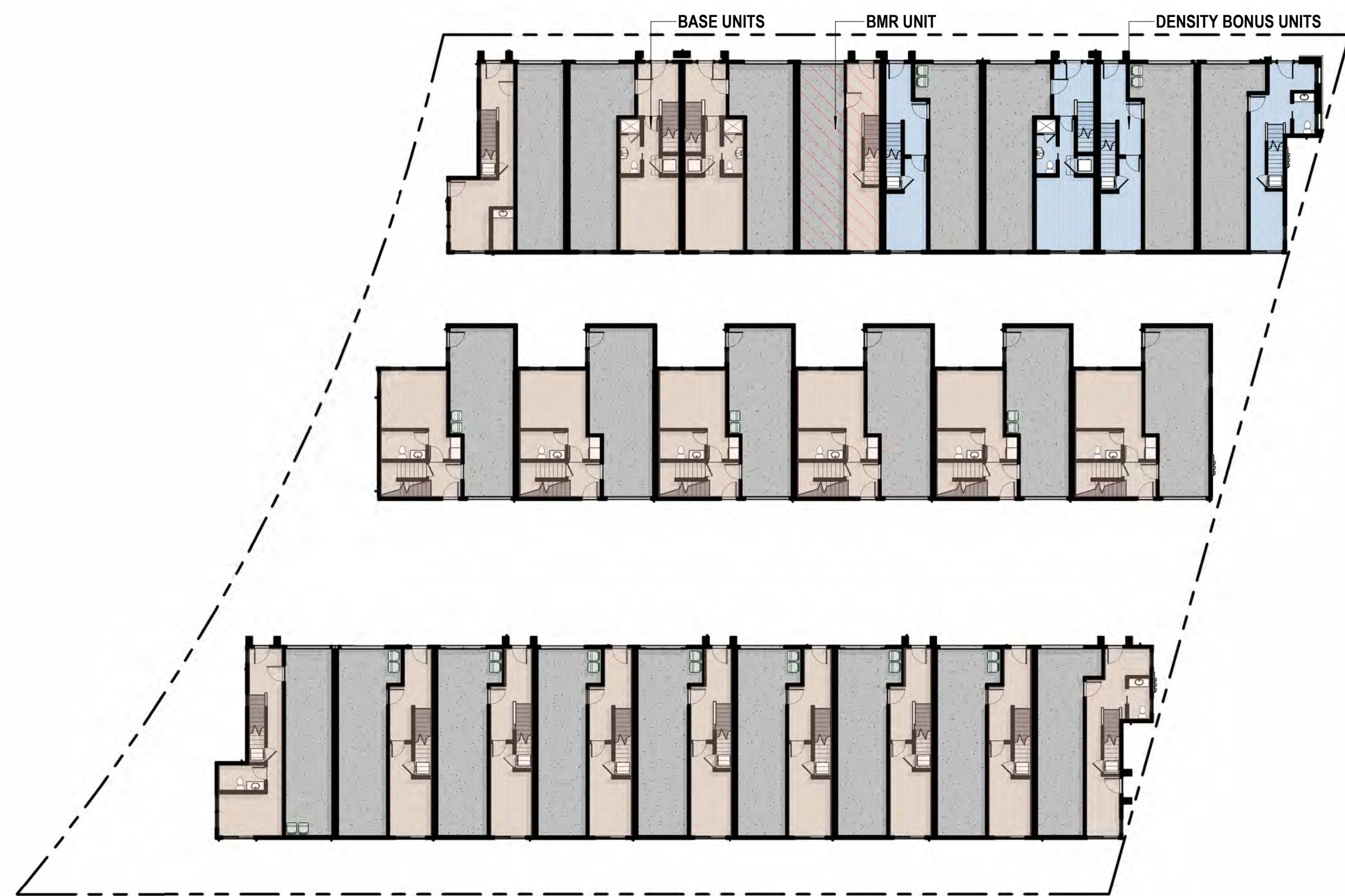
**cbg**  
 2633 CAMINO RAMON, SUITE 350  
 SAN RAMON, CA 94583  
 (925) 866-0322 cbandg.com

**JETT**  
 LANDSCAPE ARCHITECTURE + DESIGN  
 2 THEATRE SQUARE, SUITE 218  
 ORINDA, CA 94563  
 (925) 254-5422 jett.land.com

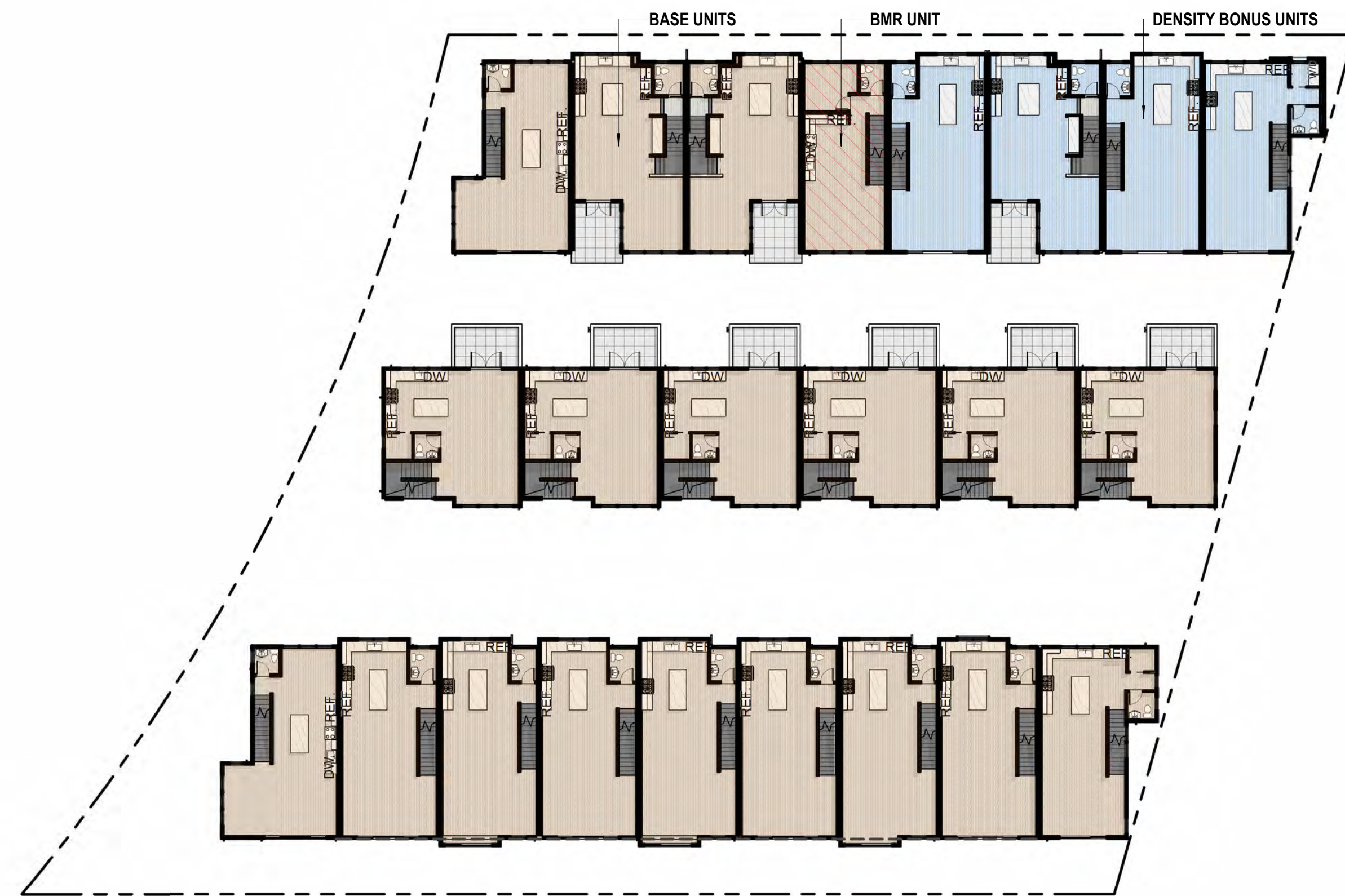
**ArtHaus Partners**  
 2744 E 11TH ST. OAKLAND, CA 94601  
 (510) 925-1908 riazcapital.com

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PLANNING SUBMITTAL	
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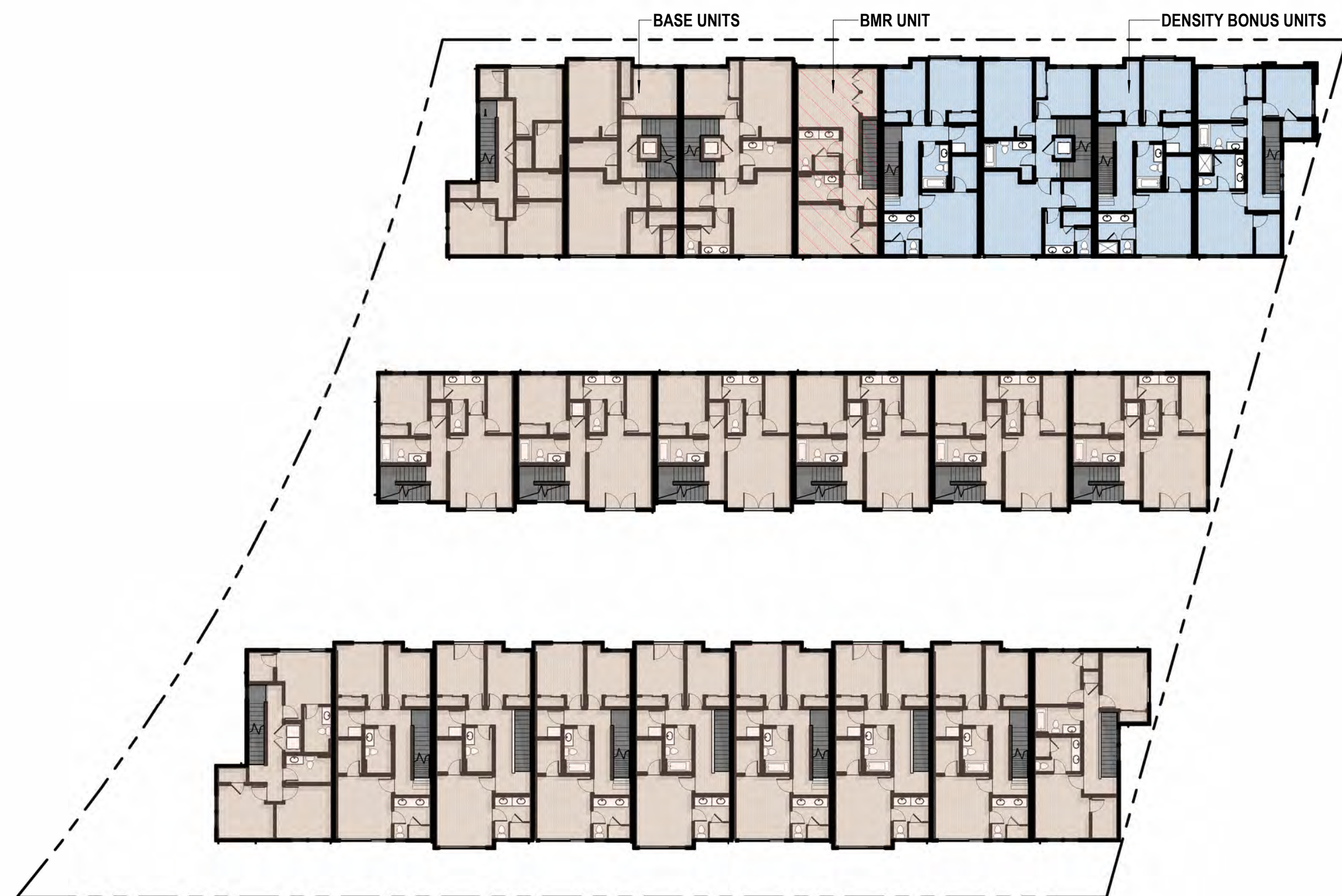
PRELIMINARY AFFORDABLE HOUSING COMPLIANCE PLAN	
Affordable Housing Requirements: Total number of residential units in project: 23 Units Total Base Units: 19 Total Density Bonus Units: 4 Total RUFAs in the project: 44,080 SF Total Base RUFAs: 35,633 SF Total Density Bonus RUFAs: 8,417 SF	
Option III: Providing a combination of BMR units and in-lieu fee: ((Required BMRs - Number of BMRs provided) / Total number of BMRs required) = Required BMR% Required BMR% X (Total RUFAs sq.ft.) = Required RUFAs sq.ft. Required RUFAs sq.ft. X 62.83 = Total In-Lieu Fee required	
Option III Number of BMRs provided: 1 4 (Number of Affordable Units Required) - 1 (Number of Affordable Units Provided) = 3 34 = 75% (Required BMR%) 75% X 35,633 sq.ft. base RUFAs = 26,724.75 sq.ft. 26,724.75 sq. ft. X 62.83 = \$1,679,116.04 in-lieu amount due	
BASE UNIT FLOOR AREA:	
1ST FLOOR:	6,252 SF
2ND FLOOR:	12,300 SF
3RD FLOOR:	12,470 SF
4TH FLOOR:	4,641 SF
TOTAL:	35,663 SF
DENSITY BONUS UNIT FLOOR AREA:	
1ST FLOOR:	1,269 SF
2ND FLOOR:	2,862 SF
3RD FLOOR:	2,742 SF
4TH FLOOR:	1,744 SF
TOTAL:	8,417 SF



1 1ST LEVEL RES. AREA PLAN  
 00 10 20 40 FEET 1" = 20'-0"



2 2ND LEVEL RES. AREA PLAN  
 00 10 20 40 FEET 1" = 20'-0"



3 3RD LEVEL RES. AREA PLAN  
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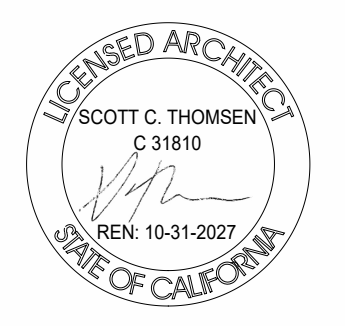


4 4TH LEVEL RES. AREA PLAN  
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# 2330 PRINCE STREET, BERKELEY CA

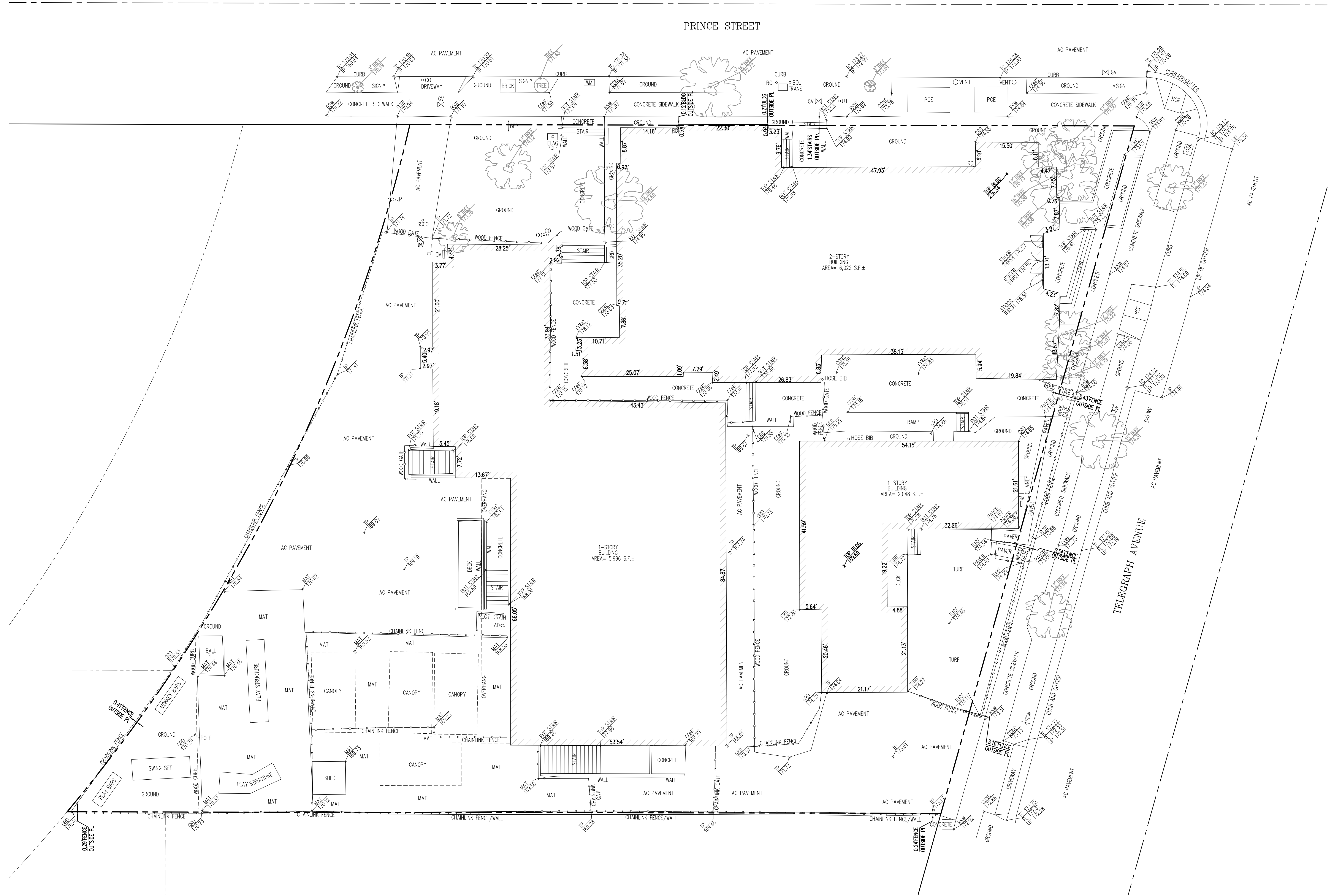
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 OCCUPANCY TYPE: R-3

## DENSITY BONUS PROJECT



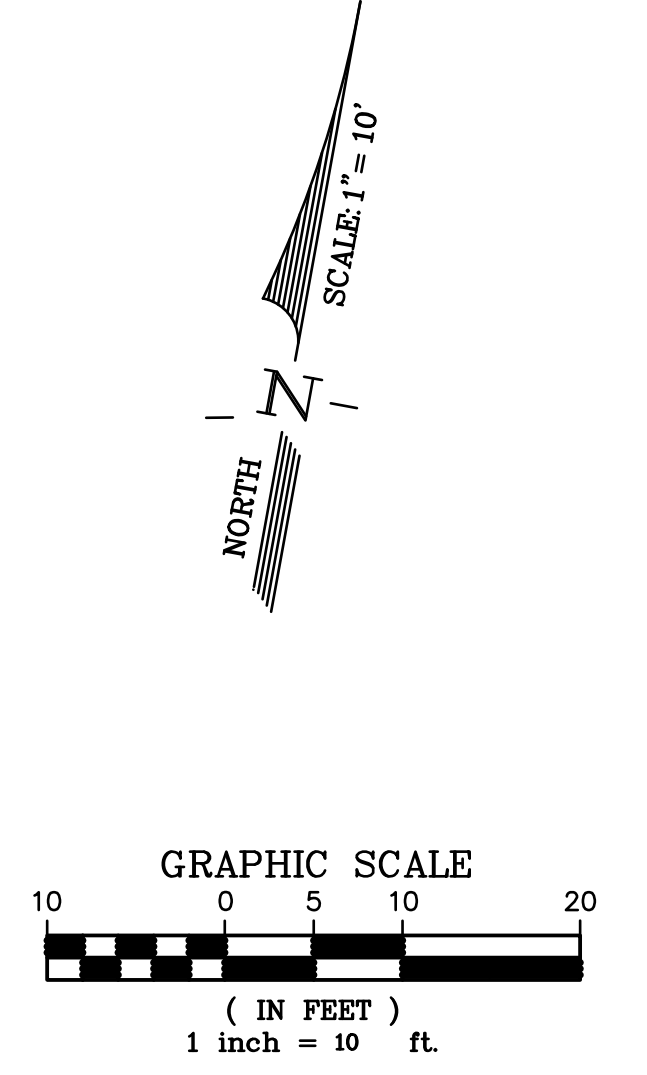
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PLANNING SUBMITTAL	
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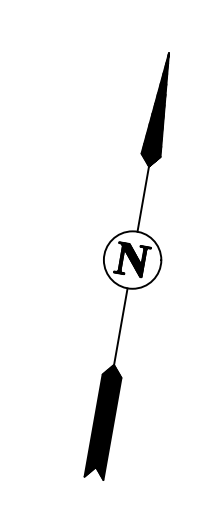
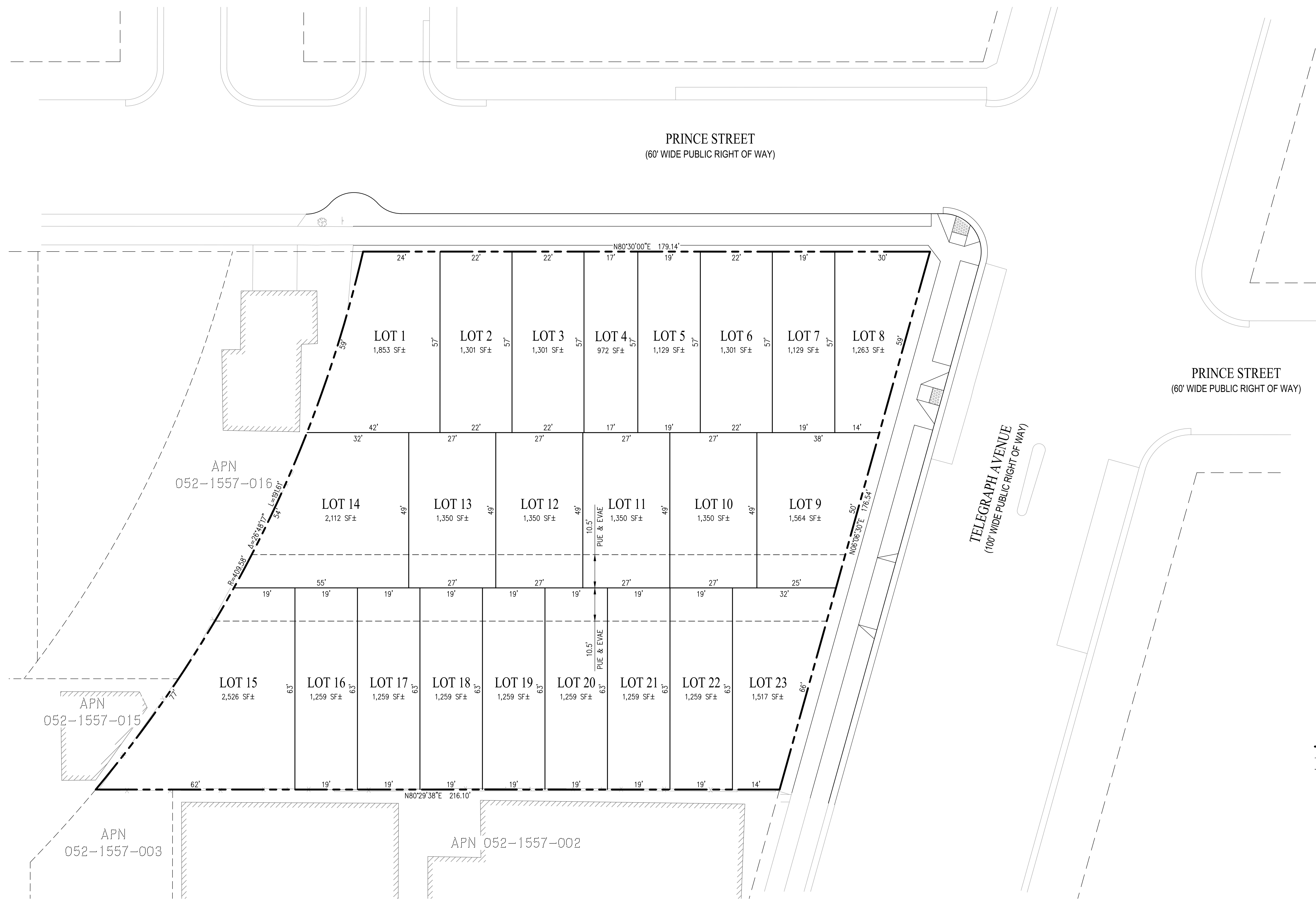


**LEGEND**

SYMBOLS	DESCRIPTION
---	BOUNDARY OF SUBJECT PROPERTY
---	RIGHT OF WAY LINE
---	ADJONER PROPERTY LINE
---	CENTERLINE
---	ASPHALT CONCRETE PAVEMENT
---	CLEANOUT
---	GAS VALVE
---	SANITARY SEWER CLEANOUT
---	CHAINLINK FENCE
---	GAS METER
---	GROUND
---	WATER METER
---	ROOF DRAIN
---	AREA DRAIN
---	UTILITY
---	BOLLARD
---	TRANSFORMER
---	STREET LIGHT
---	HANDICAP RAMP
---	HYDRANT
---	WATER VALVE
---	TREE
TC	TOP OF CURB ELEVATION
TP	TOP OF PAVEMENT ELEVATION
FL	FLOW LINE ELEVATION
BSW	BACK OF SIDEWALK ELEVATION
LIP	LIP OF GUTTER ELEVATION
THRESH	THRESHOLD ELEVATION
GD	GROUND ELEVATION
TOP BLDG	TOP OF BUILDING ELEVATION

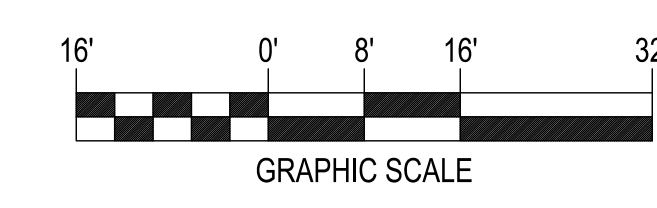


**ALTA/NSPS**  
**LAND TITLE SURVEY**  
 OF  
 2330 PRINCE STREET  
 CITY OF BERKLEY, ALAMEDA COUNTY, STATE CALIFORNIA  
 JANUARY 2025  
 PREPARED BY  
**LUK AND ASSOCIATES**  
 LAND PLANNERS - LAND SURVEYORS  
 738 ALFRED NOBEL DRIVE  
 HERCULES, CALIFORNIA 94547  
 (510) 724-3388



SHEET INDEX	
SHEET NO.	DESCRIPTION
C1.0	TENTATIVE MAP TRACT 8784
C2.0	GRADING & DRAINAGE PLAN
C3.0	UTILITY PLAN
C4.0	STORMWATER CONTROL PLAN
C5.0	SECTIONS & DETAILS

LEGEND	
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PROPOSED EASEMENT
	EMERGENCY VEHICLE ACCESS EASEMENT
	PUBLIC UTILITY EASEMENT



2330 PRINCE STREET  
 BERKELEY, CA  
 ZONING DISTRICT: C-C & R-2

# DENSITY BONUS PROJECT



**LEFT COAST ARCHITECTURE**  
 3800 MT. DIABLO BLVD. SUITE 200  
 LAYFAYETTE, CA 94549  
 (925) 297-5688 leftcoastarch.com

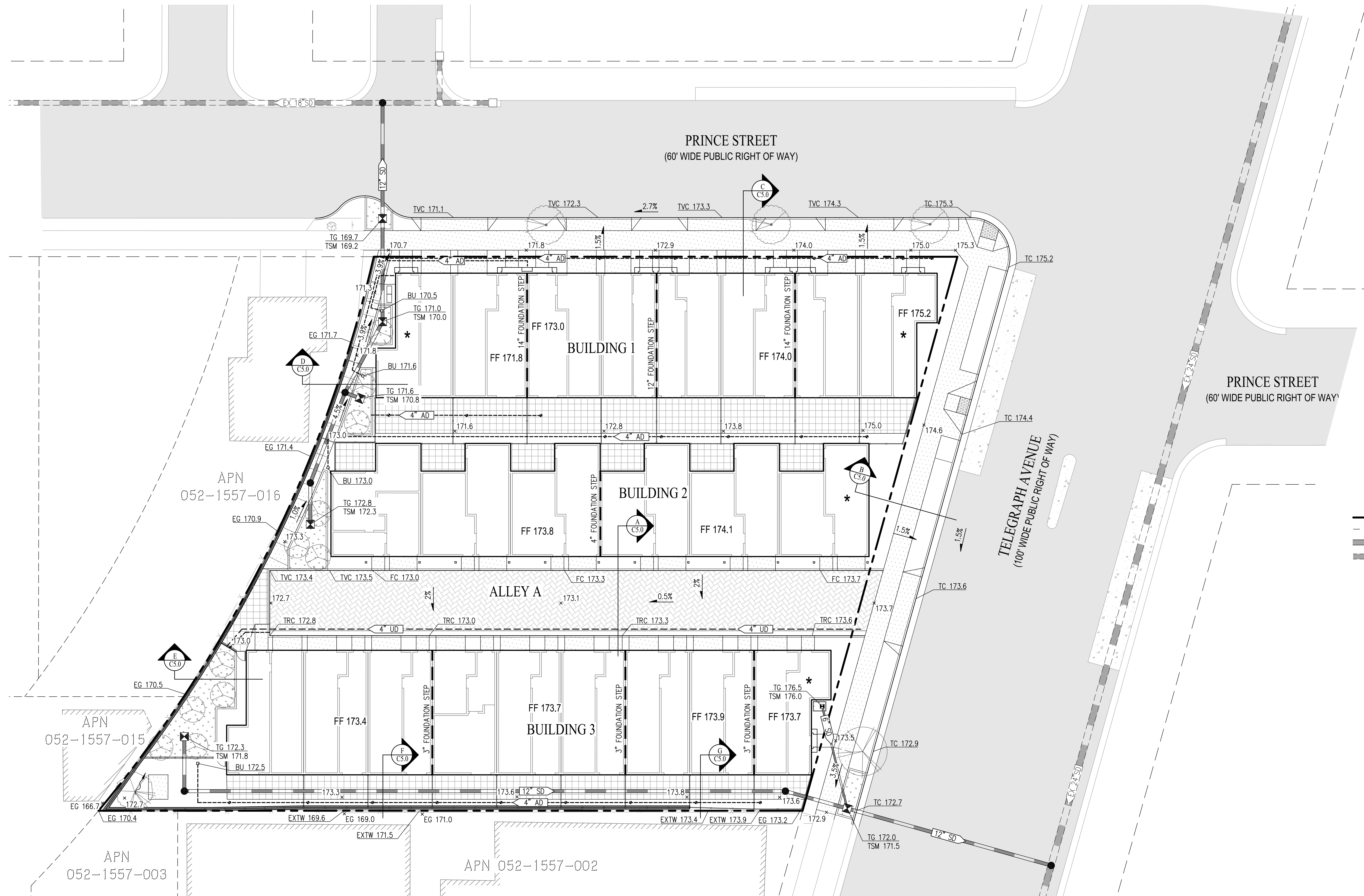
**cbg**  
 2633 CAMINO RAMON, SUITE 350  
 SAN RAMON, CA 94583  
 (925) 866-0322 cbandg.com

**JETT**  
 LANDSCAPE ARCHITECTURE + DESIGN  
 2 THEATRE SQUARE, SUITE 218  
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 (925) 254-5422 jett.land.com

**ArtHaus Partners**  
 2744 E 11TH ST. OAKLAND, CA 94601  
 (510) 925-1908 arthauspartners.com

SHEET TITLE  
**TENTATIVE MAP TRACT 8784**  
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 PLANNING SUBMITTAL  

# C1.0



**LEGEND**

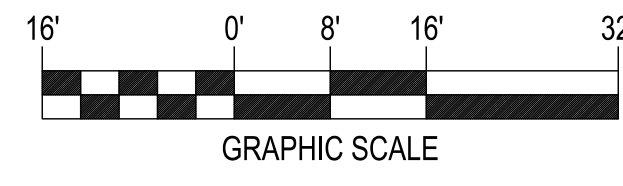
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- ADJACENT PROPERTY LINE
- PROPOSED STORM DRAIN
- EXISTING STORM DRAIN
- EXISTING INLET
- EXISTING MANHOLE
- PROPOSED FIELD INLET
- PROPOSED MANHOLE
- ACCESSIBLE UNIT
- PROPOSED BIORETENTION PLANTER
- PROPOSED SIDEWALK
- PROPOSED PERVIOUS PAVERS
- EXISTING PAVEMENT TO REMAIN
- EXISTING SIDEWALK TO REMAIN

**ABBREVIATIONS**

- BU BUBBLE UP
- EG EXISTING GROUND
- EX EXISTING
- FF FINISH FLOOR ELEVATION
- PL PROPERTY LINE
- TC TOP OF CURB
- TG TOP OF GRATE
- TP TOP OF PLANTER
- TSM TOP OF SOIL MIX

**PRELIMINARY EARTHWORK SUMMARY**

	CUT	FILL	NET VOLUME
RAW EARTHWORK	1,285 CY±	1,500 CY±	215 CY± (FILL)
EXISTING PAVEMENT REMOVAL (ASSUME 8" THICK)		210 CY±	210 CY± (FILL)
EXISTING BASEMENT FILL		2,645 CY±	2,645 CY± (FILL)
TOTAL	1,285 CY±	4,355 CY±	3,070 CY± (FILL)



2330 PRINCE STREET  
 BERKELEY, CA  
 ZONING DISTRICT: C-C & R-2

DENSITY BONUS PROJECT



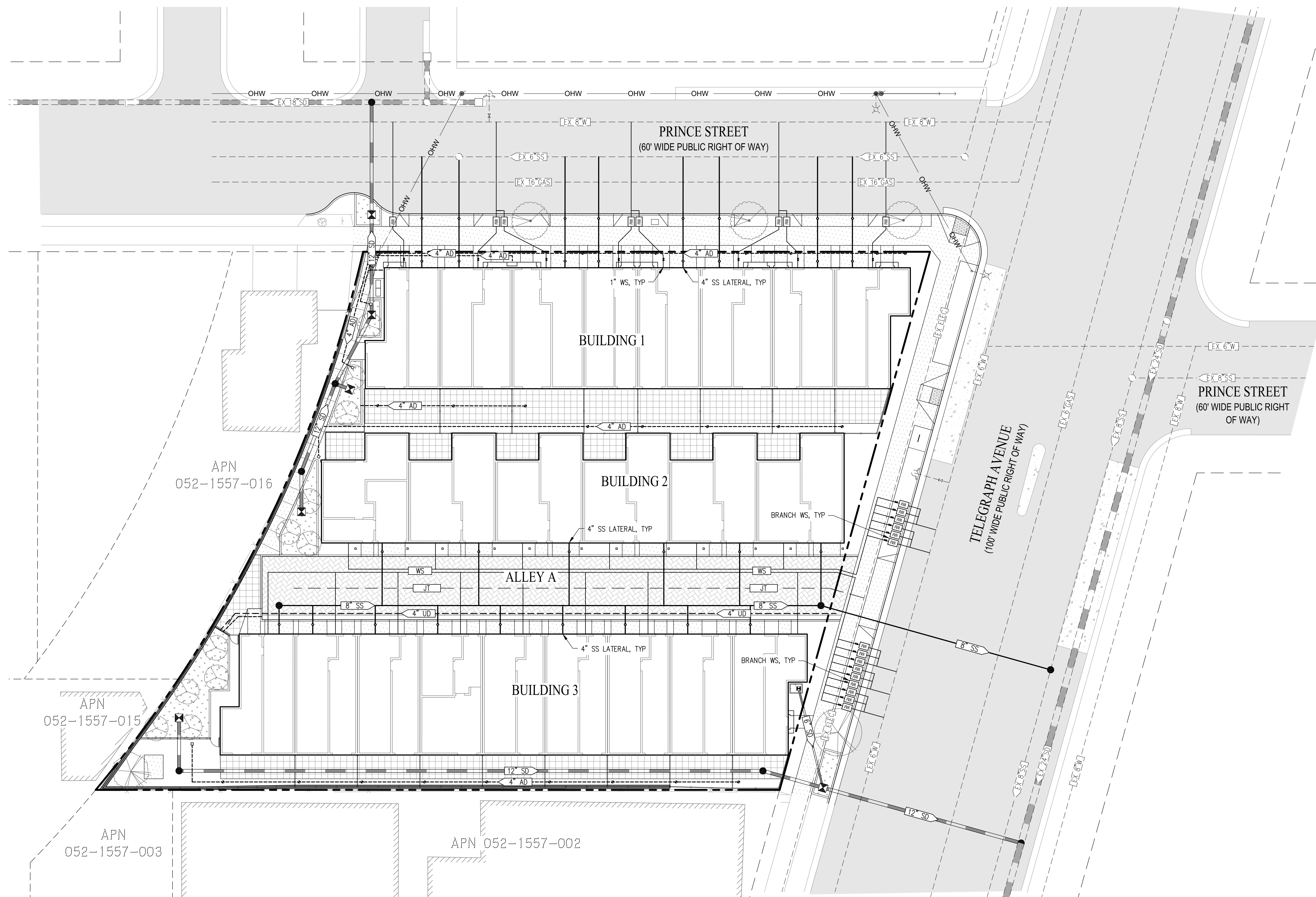
**LEFT COAST ARCHITECTURE**  
 3800 MT. DIABLO BLVD. SUITE 200  
 LAYFAYETTE, CA 94549  
 (925) 297-5688 leftcoastarch.com

**cbg**  
 2633 CAMINO RAMON, SUITE 350  
 SAN RAMON, CA 94583  
 (925) 866-0322 cbangd.com

**JETT**  
 LANDSCAPE ARCHITECTURE + DESIGN  
 2 THEATRE SQUARE, SUITE 218  
 ORINDA, CA 94563  
 (925) 254-5422 jett.land.com

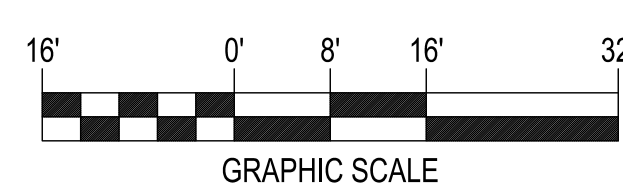
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 2744 E 11TH ST. OAKLAND, CA 94601  
 (510) 925-1908 arthauspartners.com

SHEET TITLE  
**GRADING & DRAINAGE PLAN**  
 DATE MARCH 24, 2026 SCALE 1"=16'  
 PLANNING SUBMITTAL  
**C2.0**



**LEGEND**

- PROJECT BOUNDARY
- ADJACENT PROPERTY LINE
- PROPOSED STORM DRAIN
- PROPOSED SANITARY SEWER
- PROPOSED WATER
- EXISTING STORM DRAIN
- EXISTING SANITARY SEWER
- EXISTING WATER
- EXISTING OVERHEAD WIRE
- EXISTING STREET LIGHT
- EXISTING MANHOLE
- EXISTING CATCH BASIN
- PROPOSED FIELD INLET
- PROPOSED MANHOLE
- PROPOSED BIORETENTION PLANTER
- PROPOSED SIDEWALK
- PROPOSED PERVIOUS PAVERS
- EXISTING PAVEMENT TO REMAIN
- EXISTING SIDEWALK TO REMAIN



2330 PRINCE STREET  
 BERKELEY, CA  
 ZONING DISTRICT: C-C & R-2

DENSITY BONUS PROJECT



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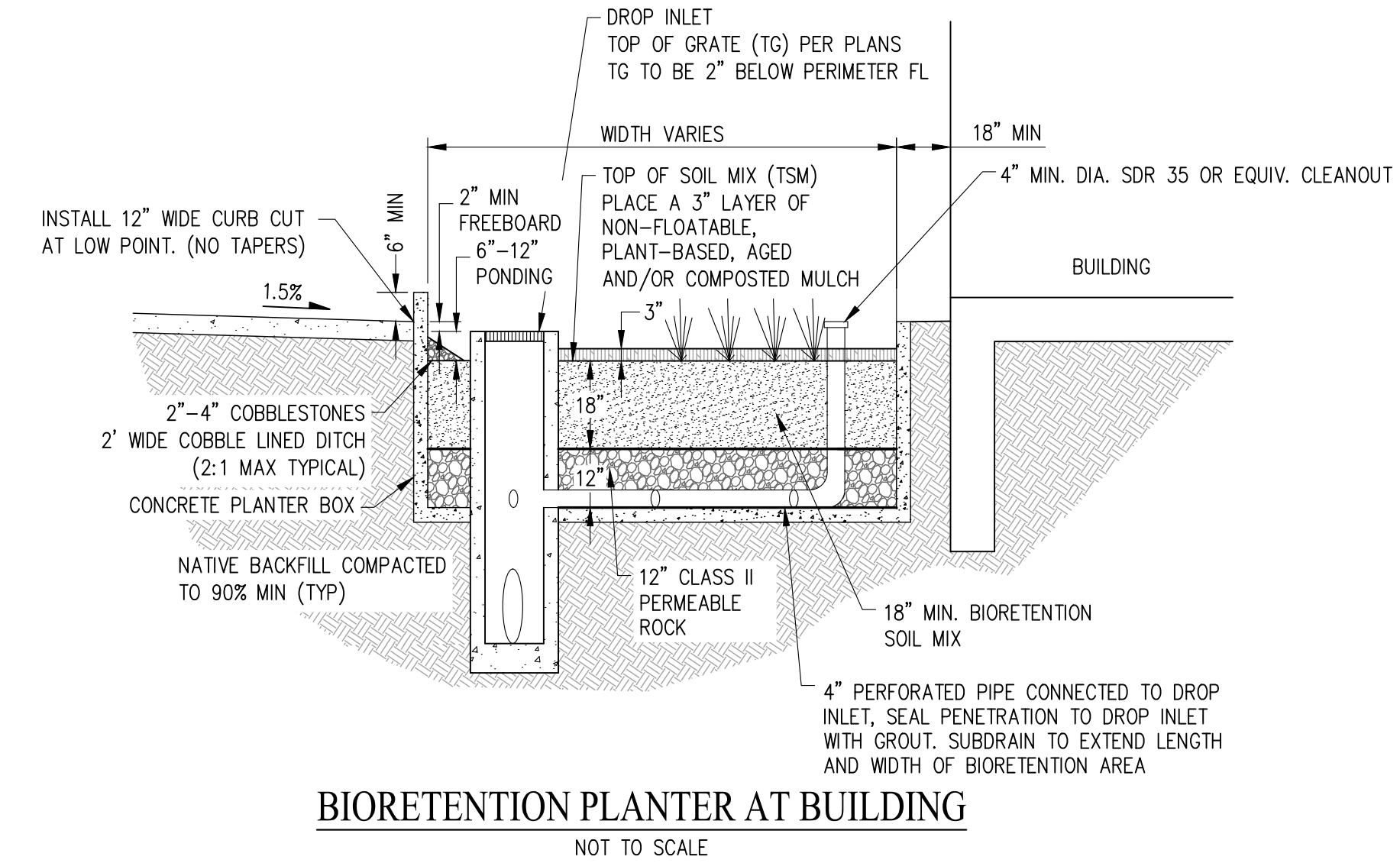
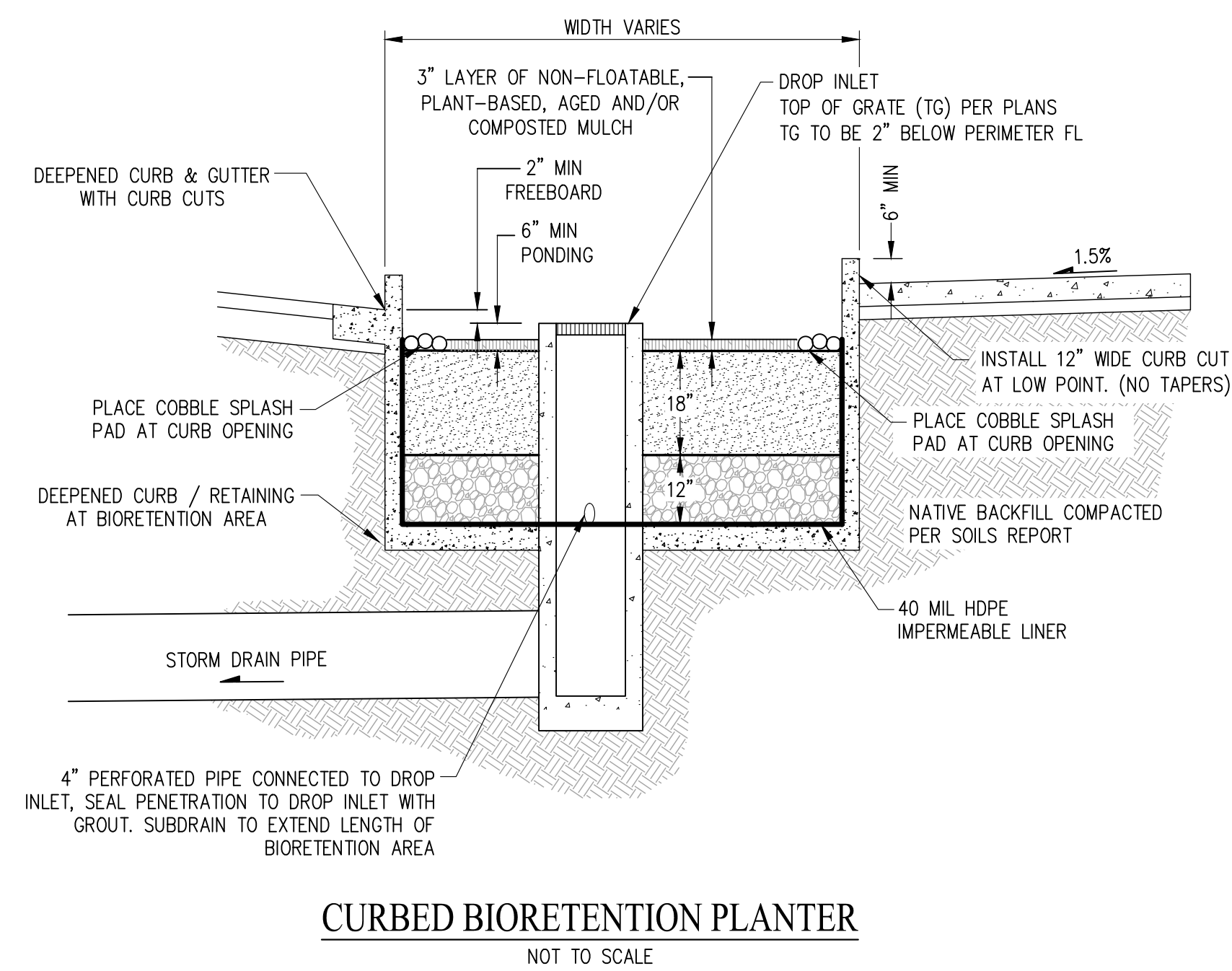
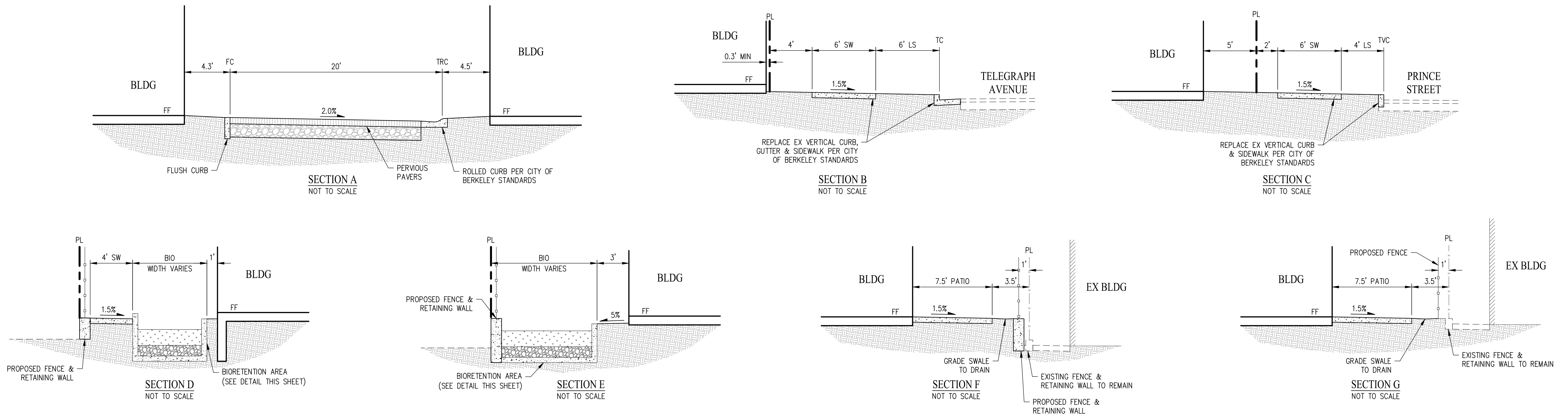
**cbg**  
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 (925) 866-0322 cbangd.com

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SHEET TITLE  
 UTILITY PLAN  
 DATE: MARCH 24, 2026 SCALE: 1"=16'  
 PLANNING SUBMITTAL  
**C3.0**





2330 PRINCE STREET  
 BERKELEY, CA  
 ZONING DISTRICT: C-C & R-2

DENSITY BONUS PROJECT



**LEFT COAST ARCHITECTURE**  
 3800 MT. DIABLO BLVD, SUITE 200  
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SHEET TITLE  
**SECTIONS & DETAILS**  
 DATE: MARCH 24, 2026  
 PLANNING SUBMITTAL

SCALE  
 NOT TO SCALE

**C5.0**

LEGEND

- ① EXISTING STREET TREE TO REMAIN. 2 TOTAL.
- ② NEW STREET TREE ALONG TELEGRAPH AVENUE
- ③ NEW STREET TREE ALONG PRINCE STREET, TYPICAL.
- ④ CITY STANDARD SIDEWALK
- ⑤ RIGHT-OF-WAY STORMWATER PLANTER
- ⑥ CURB RAMP, TYPICAL
- ⑦ DRIVEWAY SIGHT TRIANGLE
- ⑧ TRELLIS COLUMN WITH VINES AND FLOWERS
- ⑨ SCREENING LARGE PLANTS
- ⑩ FENCING AT UNIT PROPERTY LINES
- ⑪ PATIO PAVERS AT UNITS, TYPICAL
- ⑫ ON-SITE STORMWATER PLANTER
- ⑬ NEIGHBORHOOD PEDESTRIAN ACCESS WALKWAY
- ⑭ HOSE BIB AT UNIT PATIOS
- ⑮ OVERHEAD TRELLIS WITH FLOWER POTS AND BENCH
- ⑯ DECORATIVE GUARDRAIL FENCING ON PLANTER WALL
- ⑰ PERIMETER FENCING ON RETAINING WALL
- ⑱ PERIMETER FENCING IN-GROUND
- ⑲ CONCRETE PAD FOR FURNISHING
- ⑳ SHORT-TERM BIKE RACK
- ㉑ MAILBOXES
- ㉒ UTILITIES, SCD



2330 PRINCE STREET  
 BERKELEY, CA  
 ZONING DISTRICT:

DENSITY BONUS PROJECT



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SHEET TITLE  
 PRELIMINARY LANDSCAPE PLAN

DATE  
 MARCH 24, 2026  
 CONCEPT DESIGN

SCALE  
 1" = 10'-0"

L1



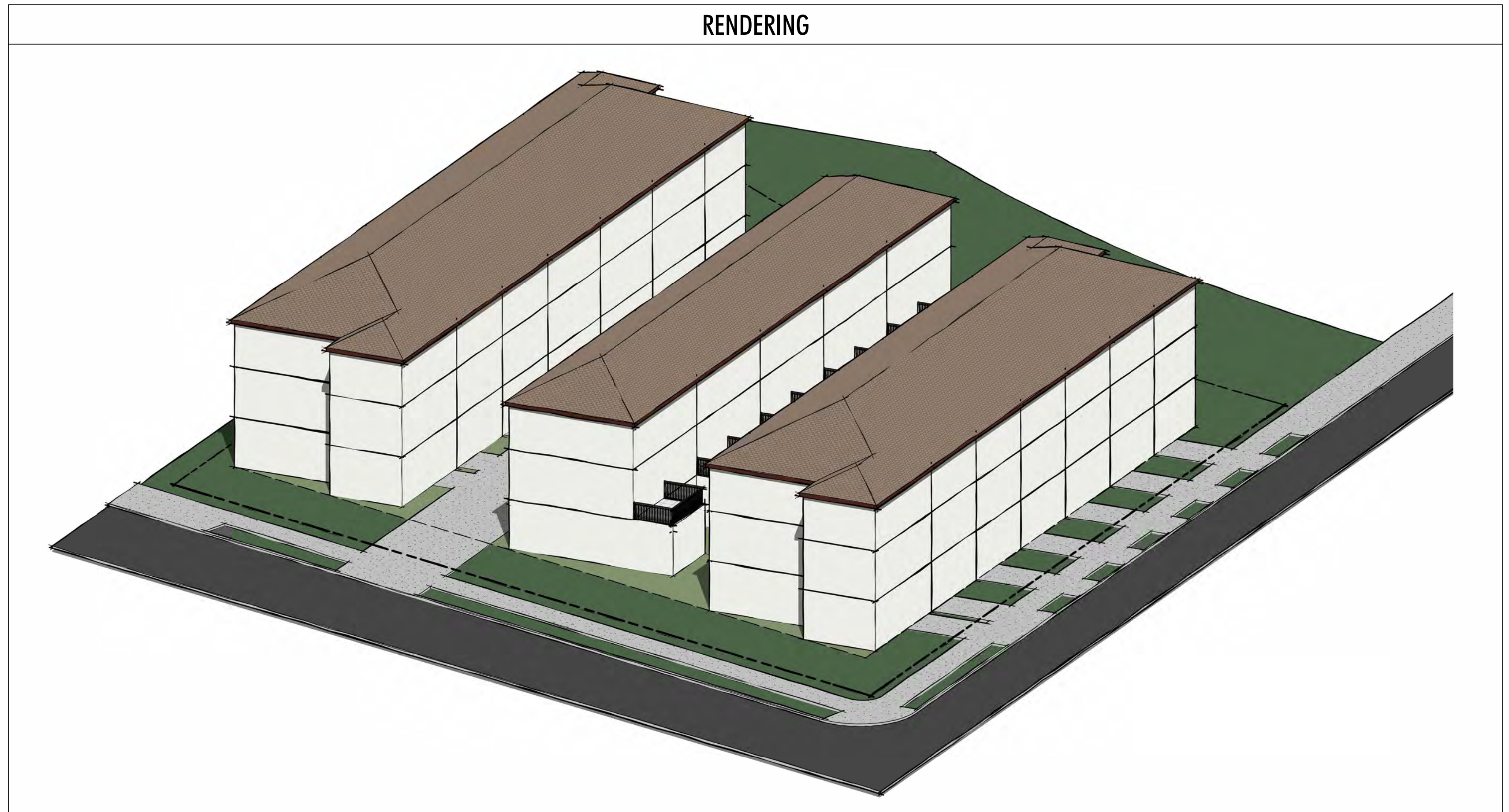








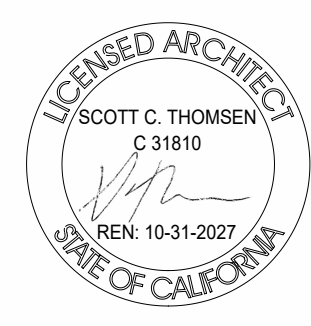
BASE PROJECT DATA					
BASE PROJECT CALCULATIONS					
FLOOR AREA & COVERAGE	SITE AREA:	32,186 SF (0.74 AC)			
	GROSS FLOOR AREA:	+/-42,940 SF			
PROPOSED FLOOR AREA	COMMERCIAL FLOOR AREA:	N/A			
	BUILDING FOOTPRINT:	14,980 SF (see sheet A-1.1)			
	LOT COVERAGE:	TOTAL: 46.5% (see sheet A-1.1) R-2: 27% (see sheet A-1.1)			
	PROJECT FAR:	N/A			
DWELLING UNIT COUNTS		RESIDENTIAL SF	GROSS SF		
	LEVEL 1:	12,980 SQ. FT	12,980 SQ. FT		
	LEVEL 2:	14,980 SQ. FT	14,980 SQ. FT		
	LEVEL 3:	14,980 SQ. FT	14,980 SQ. FT		
	GROSS FLOOR AREA:	42,940 SQ. FT	42,940 SQ. FT		
OPEN SPACE					



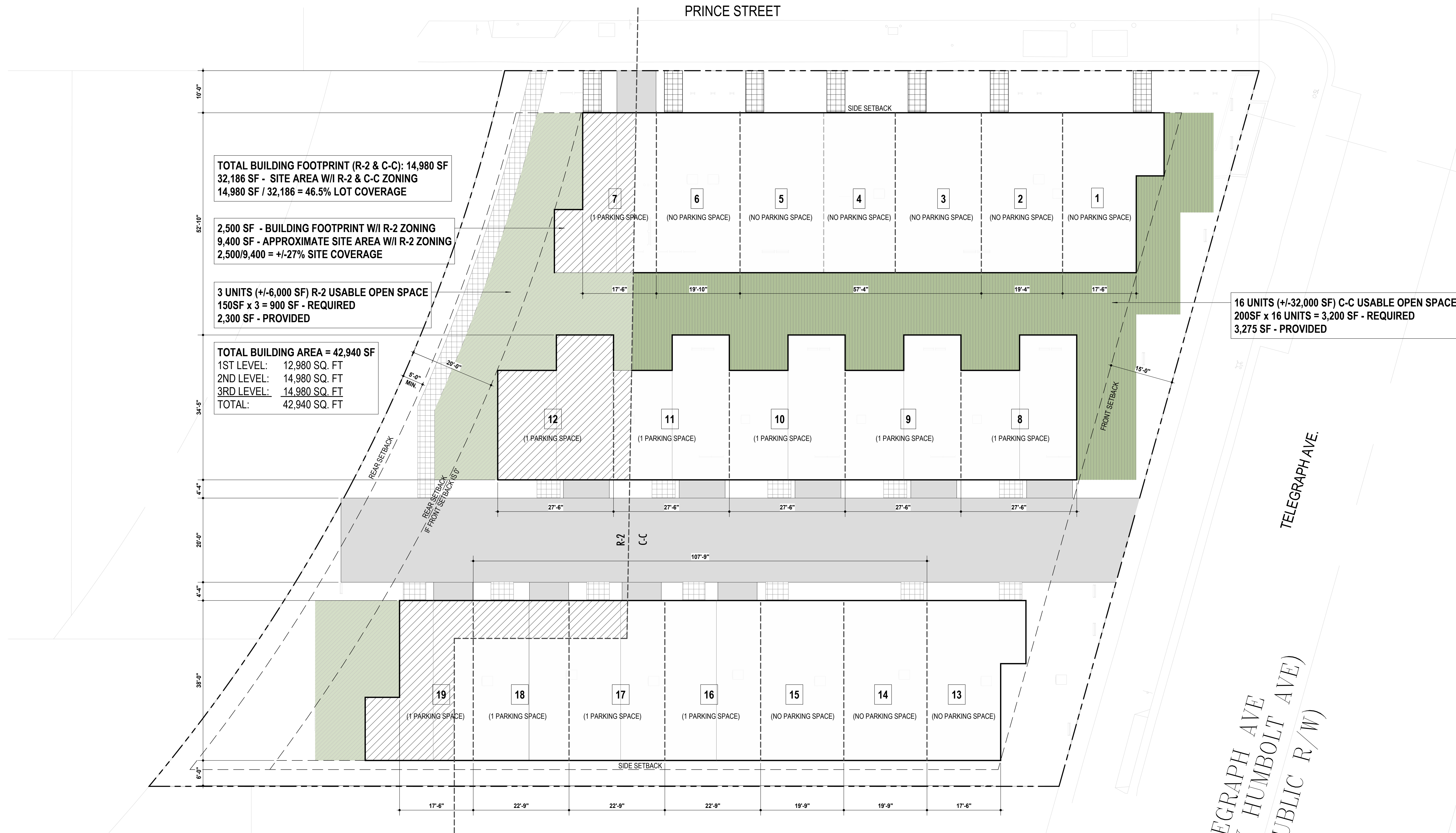
# 2330 PRINCE STREET, BERKELEY CA

ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

## BASE PROJECT



SHEET TITLE	
BASE PROJECT INFO.	
DATE	SCALE
MARCH 24, 2026	12" = 1'-0"
PLANNING SUBMITTAL	
<h1>A-1.0</h1>	



**TOTAL BUILDING FOOTPRINT (R-2 & C-C): 14,980 SF**  
 32,186 SF - SITE AREA W/ R-2 & C-C ZONING  
 14,980 SF / 32,186 = 46.5% LOT COVERAGE

**2,500 SF - BUILDING FOOTPRINT W/ R-2 ZONING**  
 9,400 SF - APPROXIMATE SITE AREA W/ R-2 ZONING  
 2,500/9,400 = +/-27% SITE COVERAGE

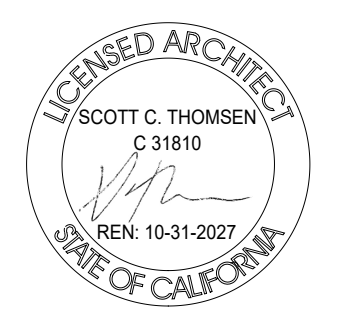
**3 UNITS (+/-6,000 SF) R-2 USABLE OPEN SPACE**  
 150SF x 3 = 900 SF - REQUIRED  
 2,300 SF - PROVIDED

**TOTAL BUILDING AREA = 42,940 SF**  
 1ST LEVEL: 12,980 SQ. FT  
 2ND LEVEL: 14,980 SQ. FT  
 3RD LEVEL: 14,980 SQ. FT  
 TOTAL: 42,940 SQ. FT

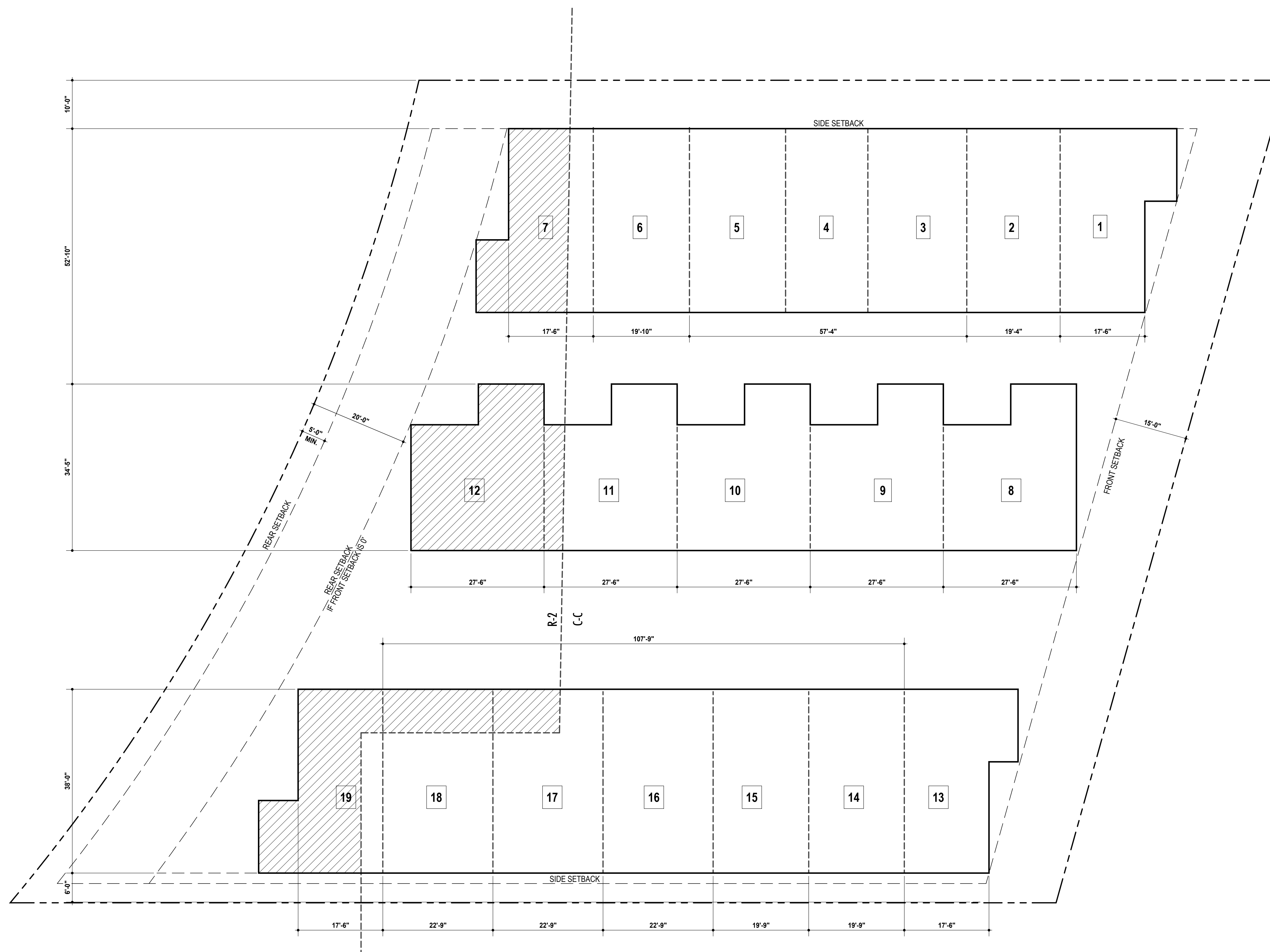
**16 UNITS (+/-32,000 SF) C-C USABLE OPEN SPACE**  
 200SF x 16 UNITS = 3,200 SF - REQUIRED  
 3,275 SF - PROVIDED

**1 1ST LEVEL FLOOR PLAN - BASE**  
 00 5 10 20 FEET 1" = 10'-0"

**2330 PRINCE STREET, BERKELEY CA**  
 ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3  
**BASE PROJECT**



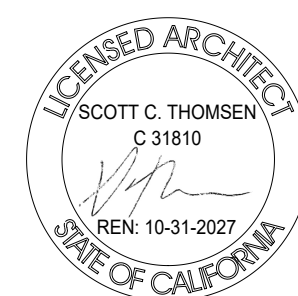
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**1ST LEVEL FLOOR PLAN - BASE**  
 DATE: MARCH 24, 2026  
 PLANNING SUBMITTAL  
 SCALE: 1" = 10'-0"  
**A-1.1**



**1 2ND LEVEL FLOOR PLAN - BASE**  
 00 5 10 20 FEET 1" = 10'-0"

**2330 PRINCE STREET, BERKELEY CA**  
 ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

**BASE PROJECT**



3800 MT. DIABLO BLVD., SUITE 200  
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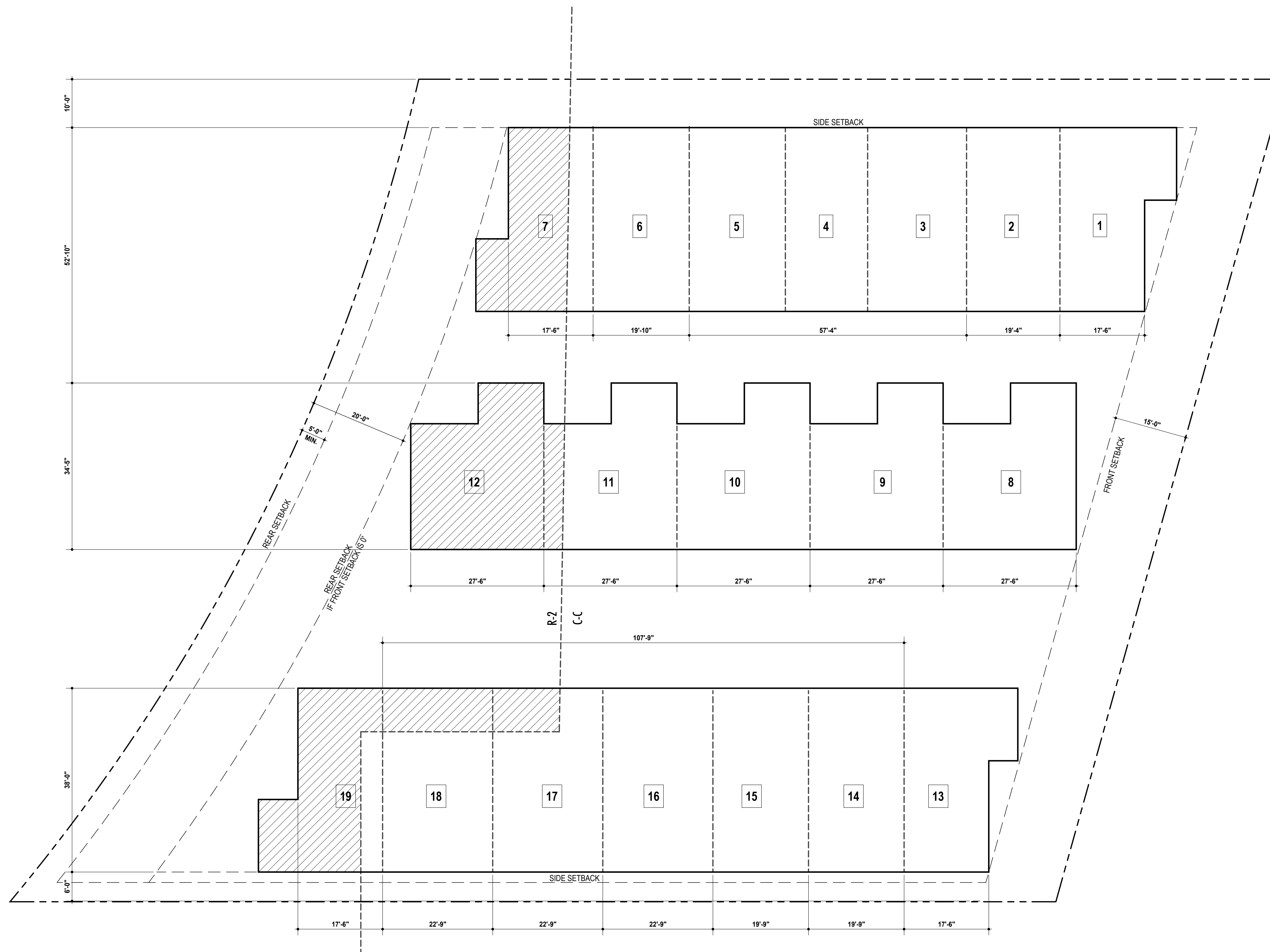
2 THEATRE SQUARE, SUITE 218  
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 (925) 254-5422 jett.land.com



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SHEET TITLE  
**2ND LEVEL FLOOR PLAN - BASE**  
 DATE: MARCH 24, 2026 SCALE: 1" = 10'-0"  
 PLANNING SUBMITTAL

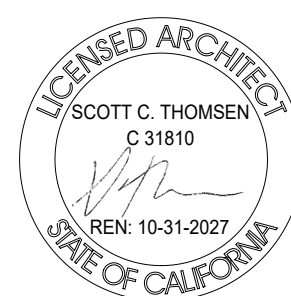
**A-1.2**



1 3RD LEVEL FLOOR PLAN - BASE  
 00 5 10 20 FEET 1" = 10'-0"

**2330 PRINCE STREET, BERKELEY CA**  
 ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

BASE PROJECT



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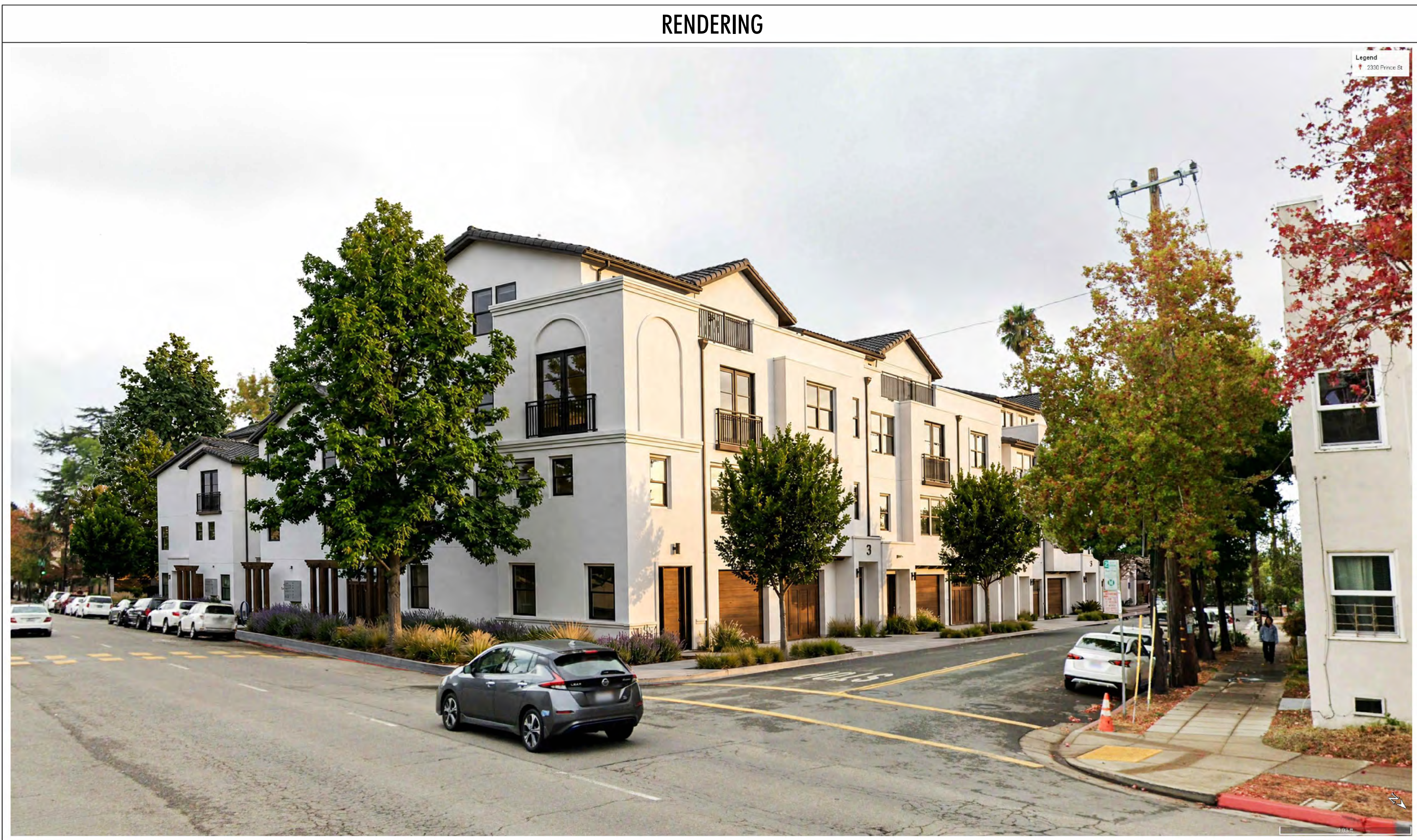
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SHEET TITLE  
**3RD LEVEL FLOOR PLAN - BASE**  
 DATE: MARCH 24, 2026 SCALE: 1" = 10'-0"  
 PLANNING SUBMITTAL  
**A-1.3**

20% DENSITY BONUS PROJECT DATA					
<b>DENSITY BONUS PROJECT CALCULATIONS</b>					
FLOOR AREA & COVERAGE	SITE AREA:	32,186 SF (0.74 AC)			
	GROSS FLOOR AREA:	49,859 SF			
PROPOSED FLOOR AREA	COMMERCIAL FLOOR AREA:	N/A			
	BUILDING FOOTPRINT:	18,200 SF (see sheet A-0.3)			
	LOT COVERAGE:	56.5% (see sheet A-0.3)			
	PROJECT FAR:	N/A			
UNIT COUNTS	RESIDENTIAL SF				
	LEVEL 1:	8,885 SQ. FT			
	LEVEL 2:	17,658 SQ. FT			
	LEVEL 3:	17,841 SQ. FT			
	LEVEL 4:	5,475 SQ. FT			
OPEN SPACE	GROSS FLOOR AREA:	49,859 SQ. FT *			
	<small>* DOES NOT INCLUDE GARAGES, STAIRS COUNTED ON 1ST LEVEL ONLY</small>				
	SMALL LOTS				
	C-C:	20			
R-2:	3				
TOTAL UNIT TYPE:	23				
OPEN SPACE	R-2: 150 SQ FT / 1000 GROSS RESIDENTIAL FLOOR AREA	R-2: 1,352 SF - PROVIDED			
	C-C: 200 SF / UNIT	(R-2: 3 UNITS @ 2,000 SF = 3,000 SF 150SF x 3 = 900 SF - REQUIRED) C-C: 20 UNITS = 4,000 SF PROVIDED (200 SF X 20 UNITS = 4,000 SF REQ'D)			



# 2330 PRINCE STREET, BERKELEY CA

ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

## DENSITY BONUS PROJECT



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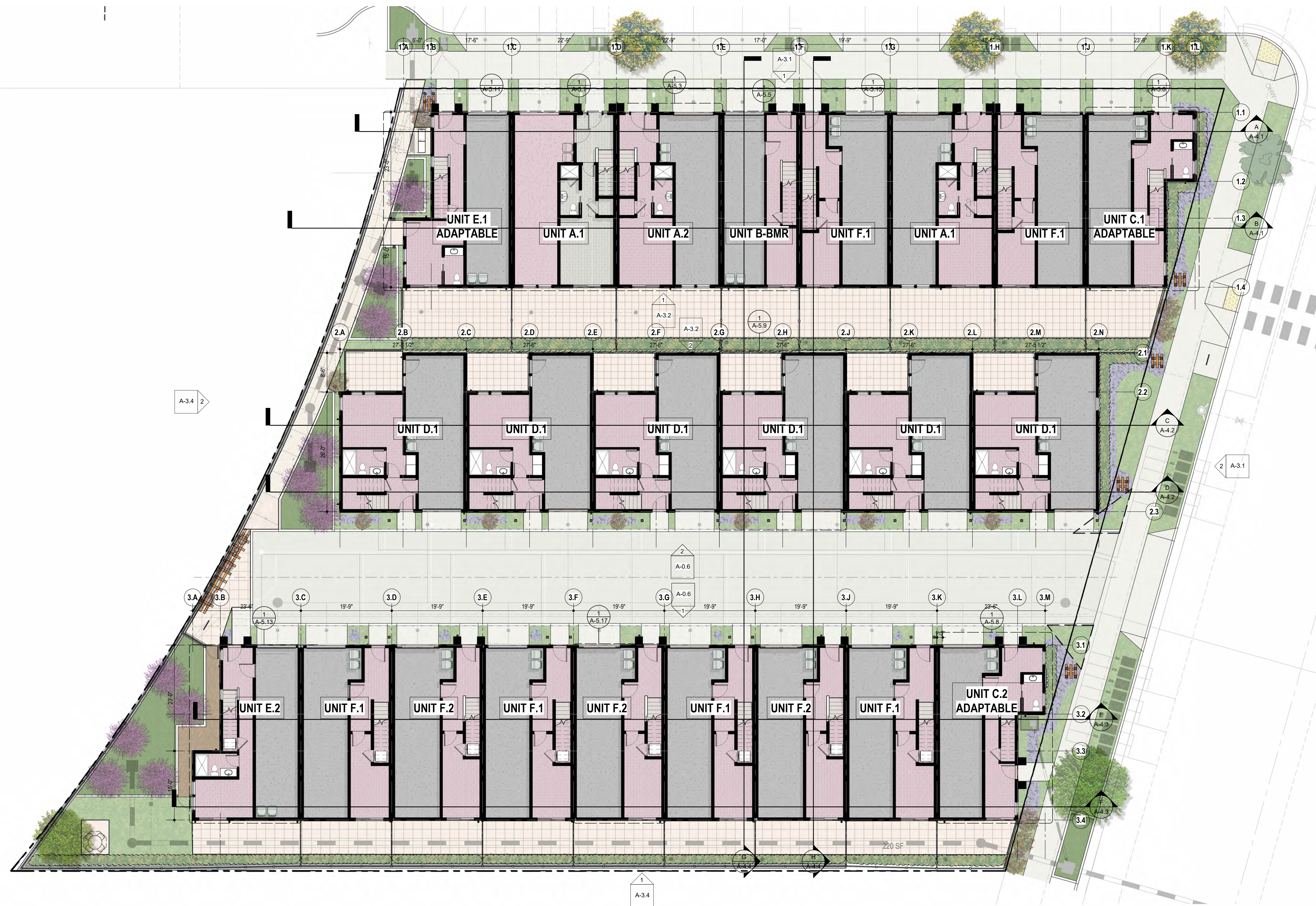
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SHEET TITLE	
DENSITY BONUS INFO.	
DATE	SCALE
JUNE 26, 2026	12" = 1'-0"
PLANNING SUBMITTAL	
<b>A-2.0</b>	





**1 1ST LEVEL FLOOR PLAN**  
 00 5 10 20 FEET  
 1" = 10'-0"

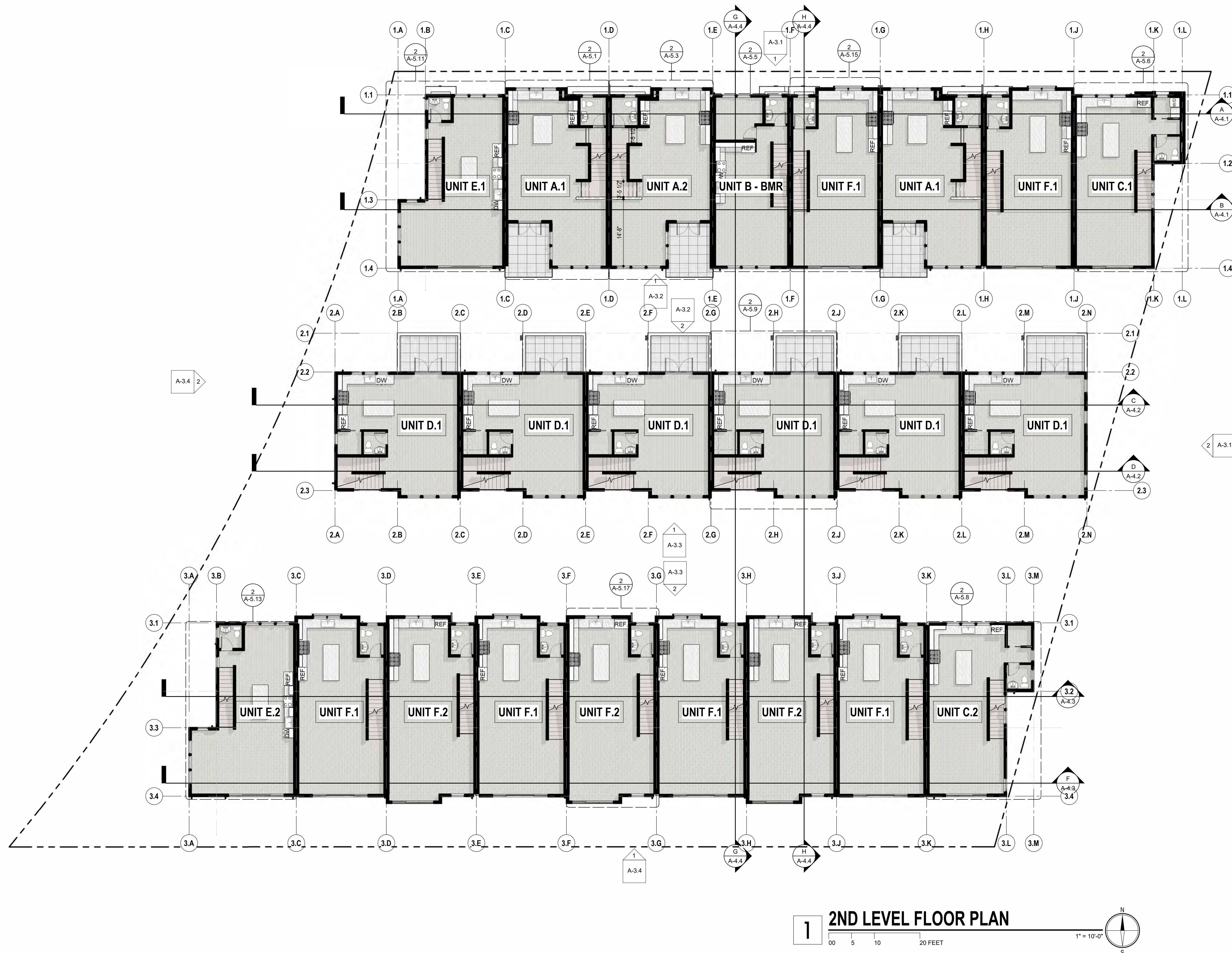
**2330 PRINCE STREET, BERKELEY CA**  
 ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

**DENSITY BONUS PROJECT**



SHEET TITLE  
**1ST LEVEL FLOOR PLAN**  
 DATE: JUNE 26, 2026  
 SCALE: 1" = 10'-0"  
 PLANNING SUBMITTAL

**A-2.2**



**1 2ND LEVEL FLOOR PLAN**  
 00 5 10 20 FEET  
 1" = 10'-0"  
 N  
 S

**2330 PRINCE STREET, BERKELEY CA**  
 ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

**DENSITY BONUS PROJECT**



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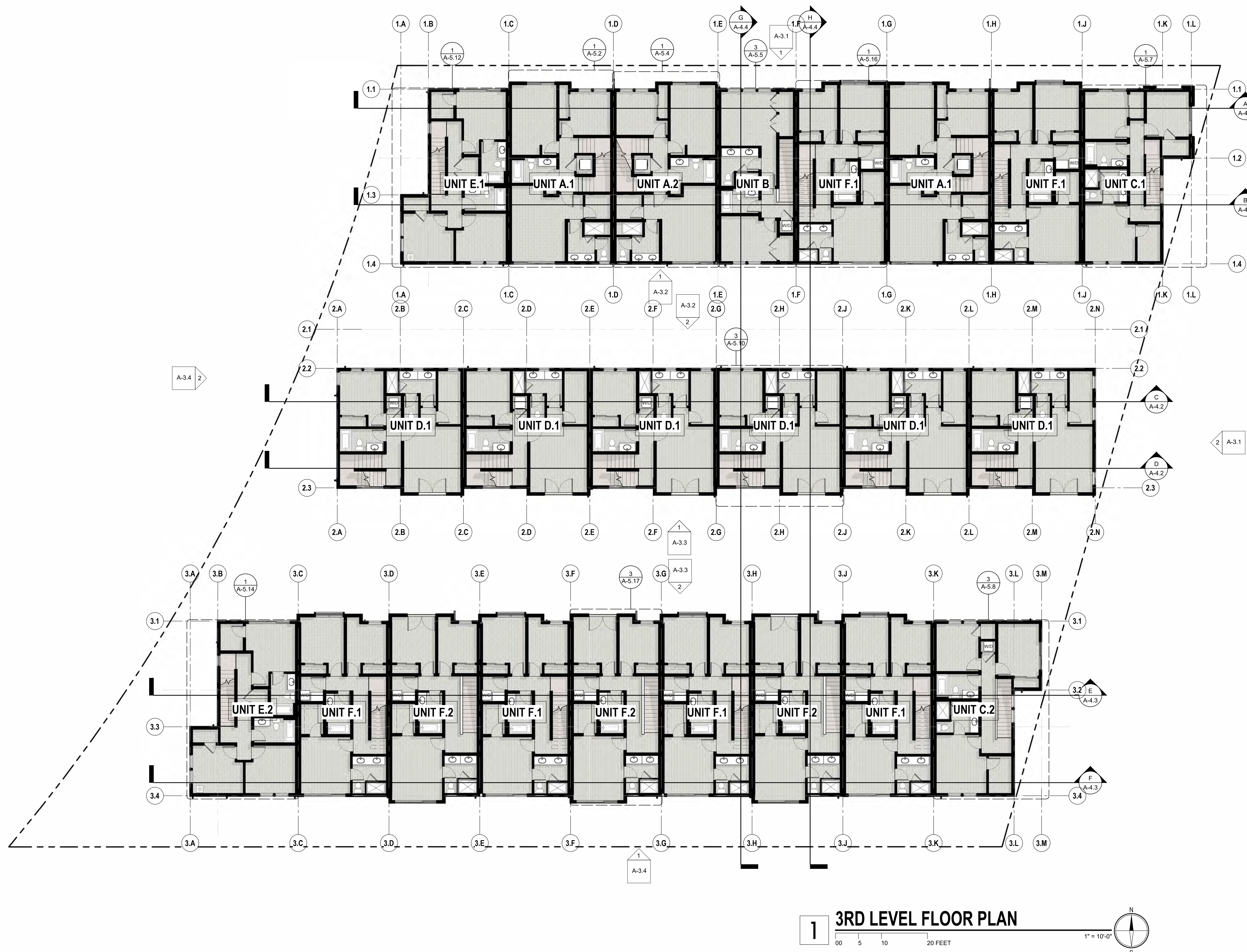
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SHEET TITLE  
**2ND LEVEL FLOOR PLAN**  
 DATE: MARCH 24, 2026  
 PLANNING SUBMITTAL

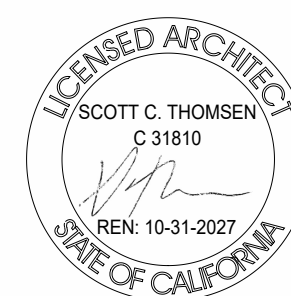
SCALE  
 1" = 10'-0"  
**A-2.3**



**1 3RD LEVEL FLOOR PLAN**  
 00 5 10 20 FEET  
 1" = 10'-0"  
 N  
 S

**2330 PRINCE STREET, BERKELEY CA**  
 ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

**DENSITY BONUS PROJECT**



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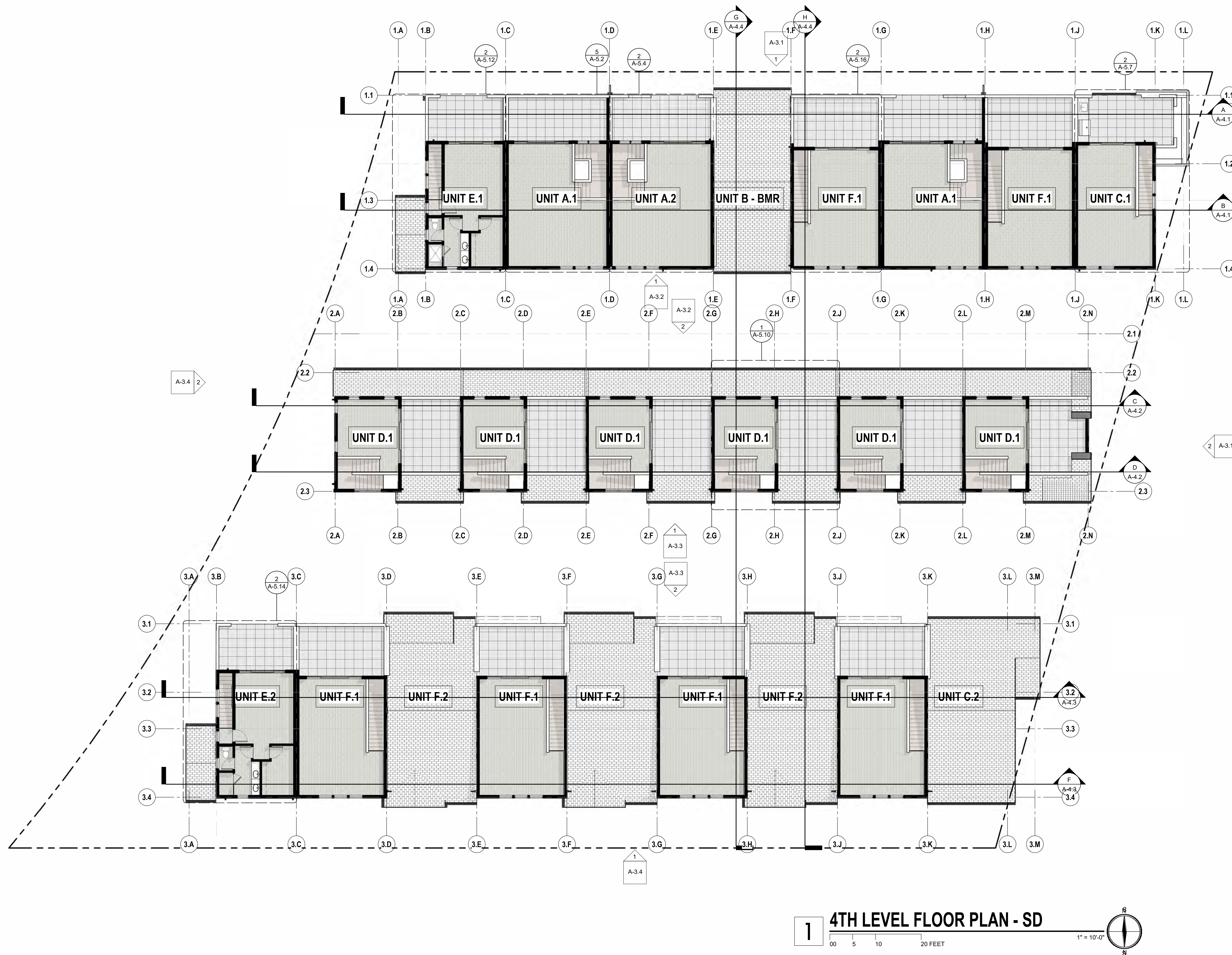


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SHEET TITLE  
**3RD LEVEL FLOOR PLAN**  
 DATE: MARCH 24, 2026  
 PLANNING SUBMITTAL

SCALE  
 1" = 10'-0"

**A-2.4**



**1 4TH LEVEL FLOOR PLAN - SD**  
 00 5 10 20 FEET  
 1" = 10'-0"

**2330 PRINCE STREET, BERKELEY CA**  
 ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

**DENSITY BONUS PROJECT**



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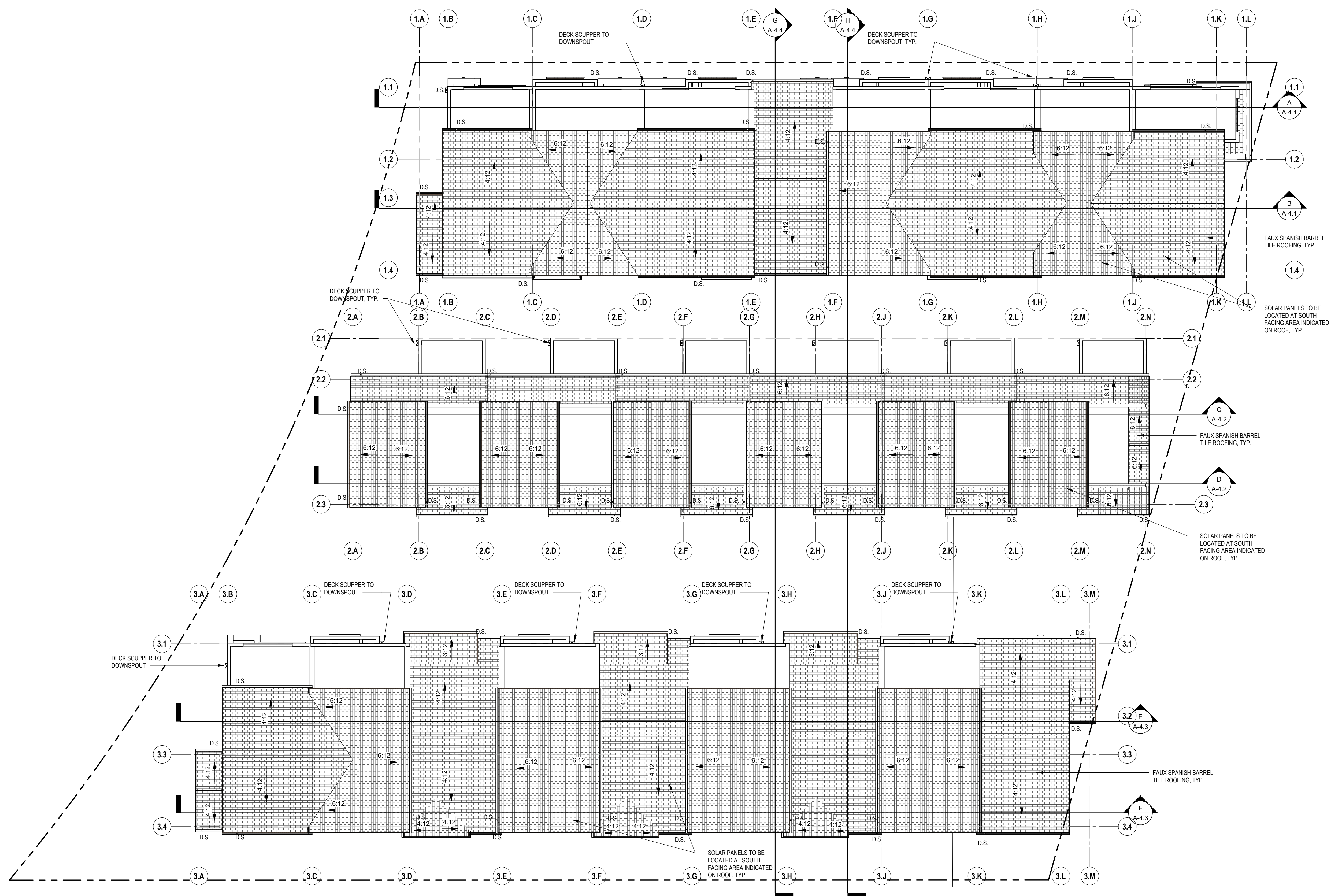


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SHEET TITLE  
**4TH LEVEL FLOOR PLAN**  
 DATE: MARCH 24, 2026 SCALE: 1" = 10'-0"  
 PLANNING SUBMITTAL  
**A-2.5**



**1 ROOF PLAN**  
 00 5 10 20 FEET  
 1" = 10'-0"  
 N  
 S

**2330 PRINCE STREET, BERKELEY CA**  
 ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

**DENSITY BONUS PROJECT**



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SHEET TITLE  
**ROOF PLAN**  
 DATE: MARCH 24, 2026  
 PLANNING SUBMITTAL  
 SCALE: 1" = 10'-0"

**A-2.6**









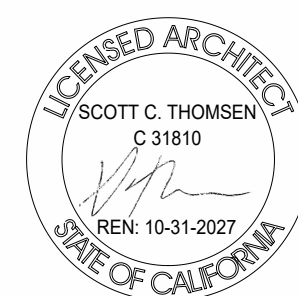




# 2330 PRINCE STREET, BERKELEY CA

ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

## DENSITY BONUS PROJECT



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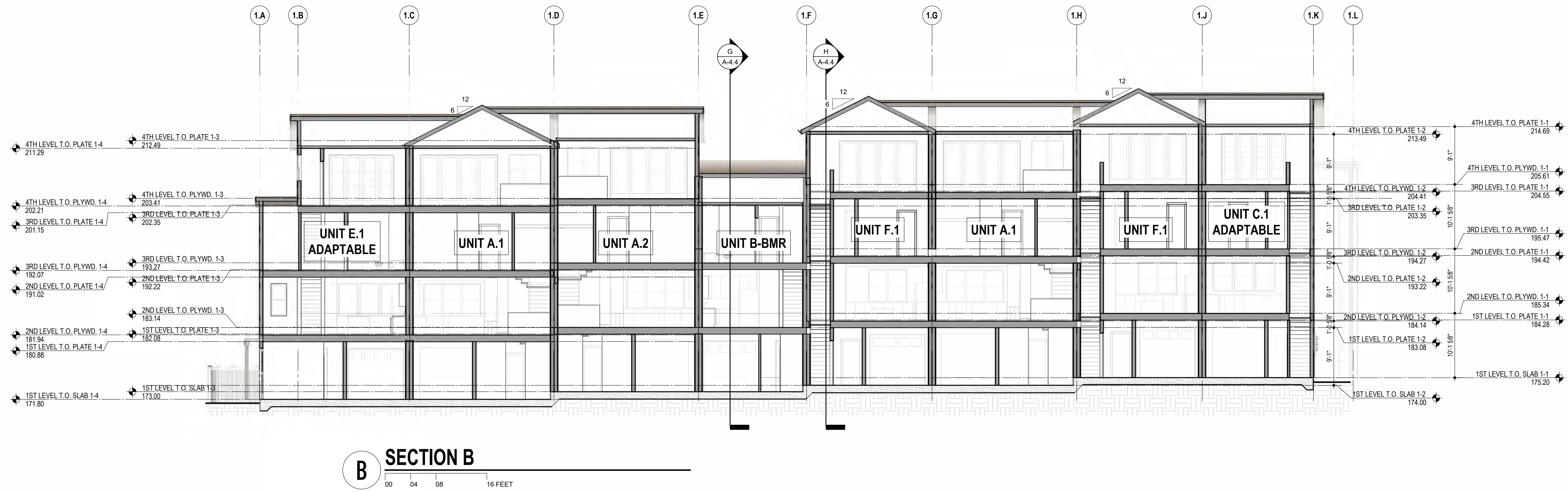
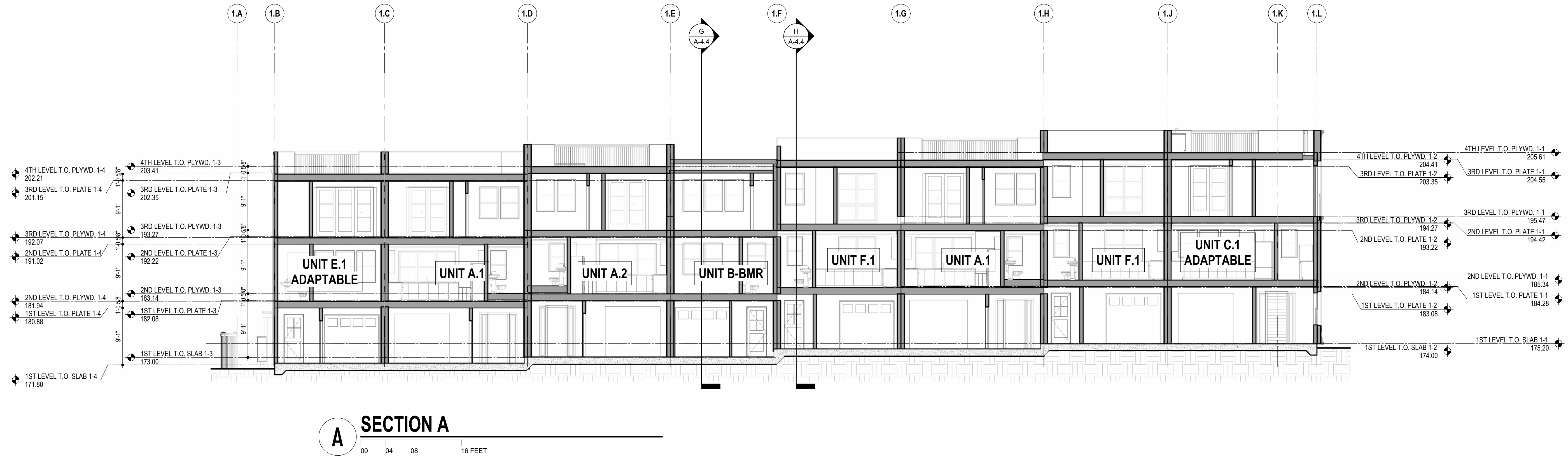


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SHEET TITLE  
**RENDERINGS & INSPIRATION**

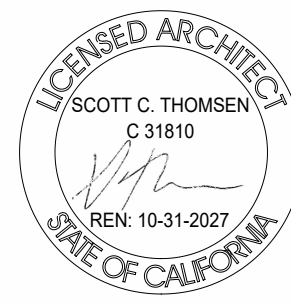
DATE: JUNE 26, 2026  
 SCALE: 12" = 1'-0"  
 PLANNING SUBMITTAL

# A-3.6



**2330 PRINCE STREET, BERKELEY CA**  
 ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

**DENSITY BONUS PROJECT**



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 (925) 866-0322 cbandg.com



2 THEATRE SQUARE, SUITE 218  
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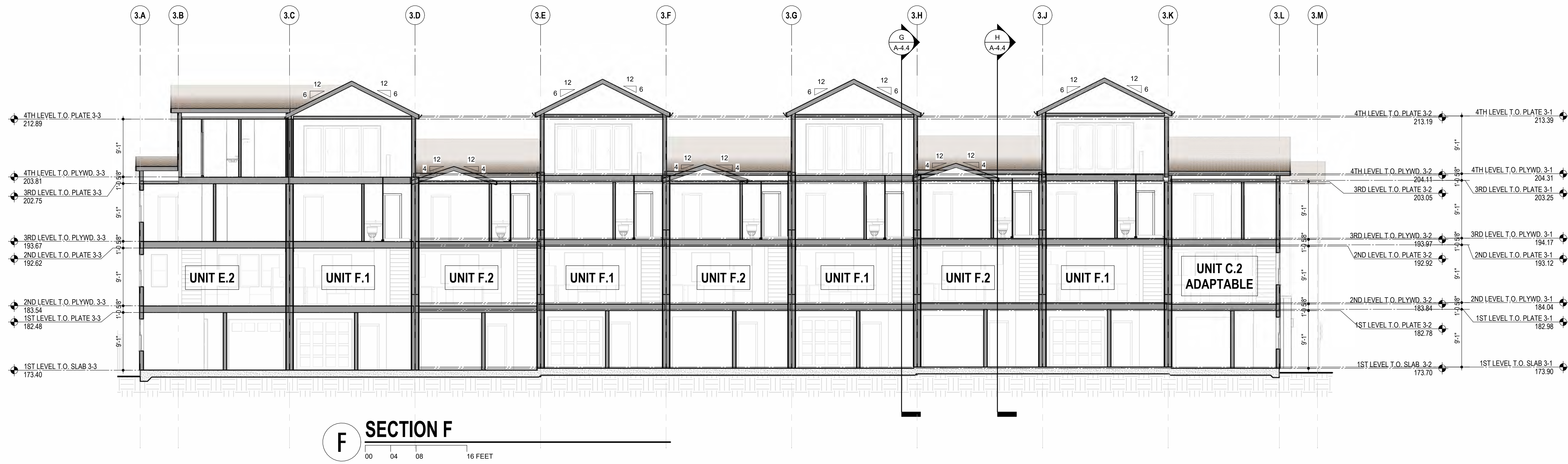
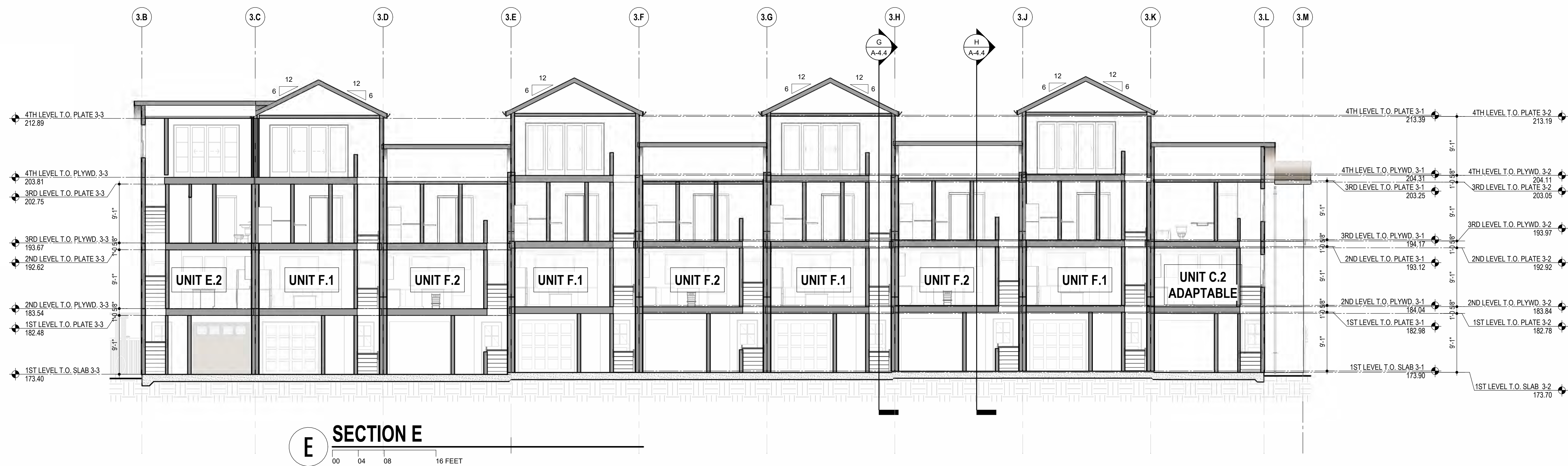


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SHEET TITLE  
**BUILDING SECTIONS**  
 DATE: MARCH 24, 2026  
 PLANNING SUBMITTAL

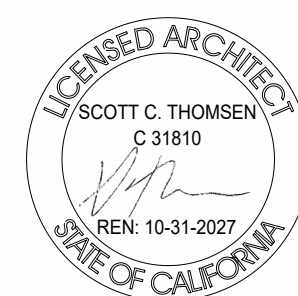
SCALE  
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**A-4.1**





**2330 PRINCE STREET, BERKELEY CA**  
 ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

**DENSITY BONUS PROJECT**



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 (925) 866-0322 cbandg.com



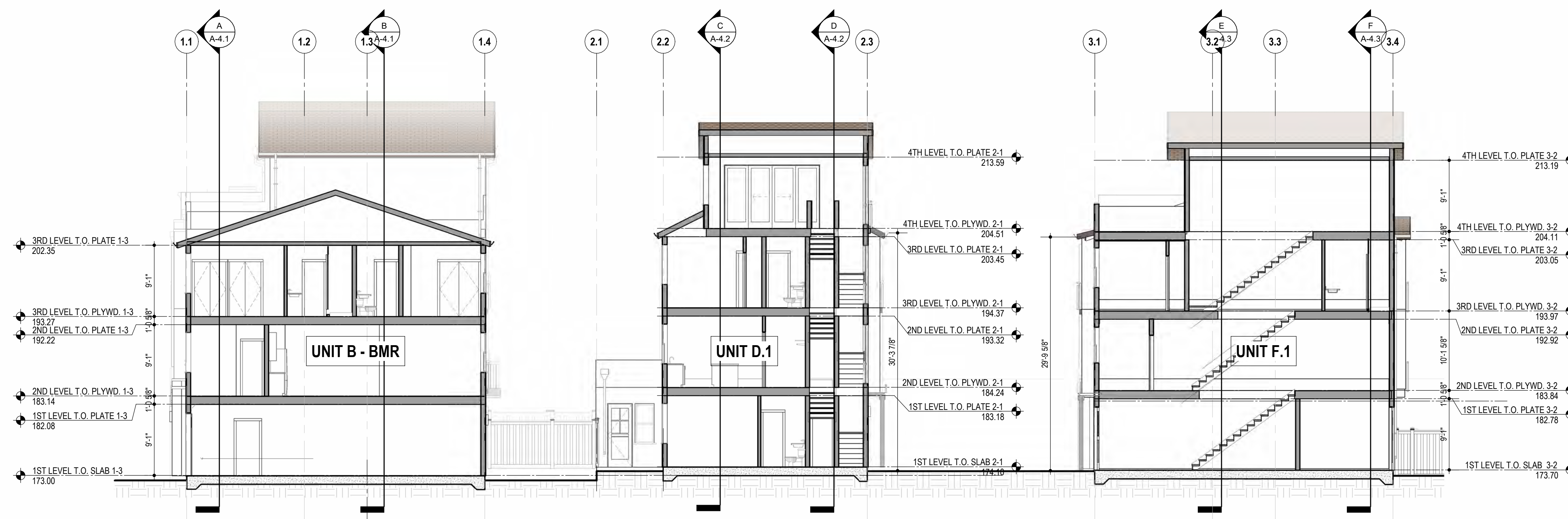
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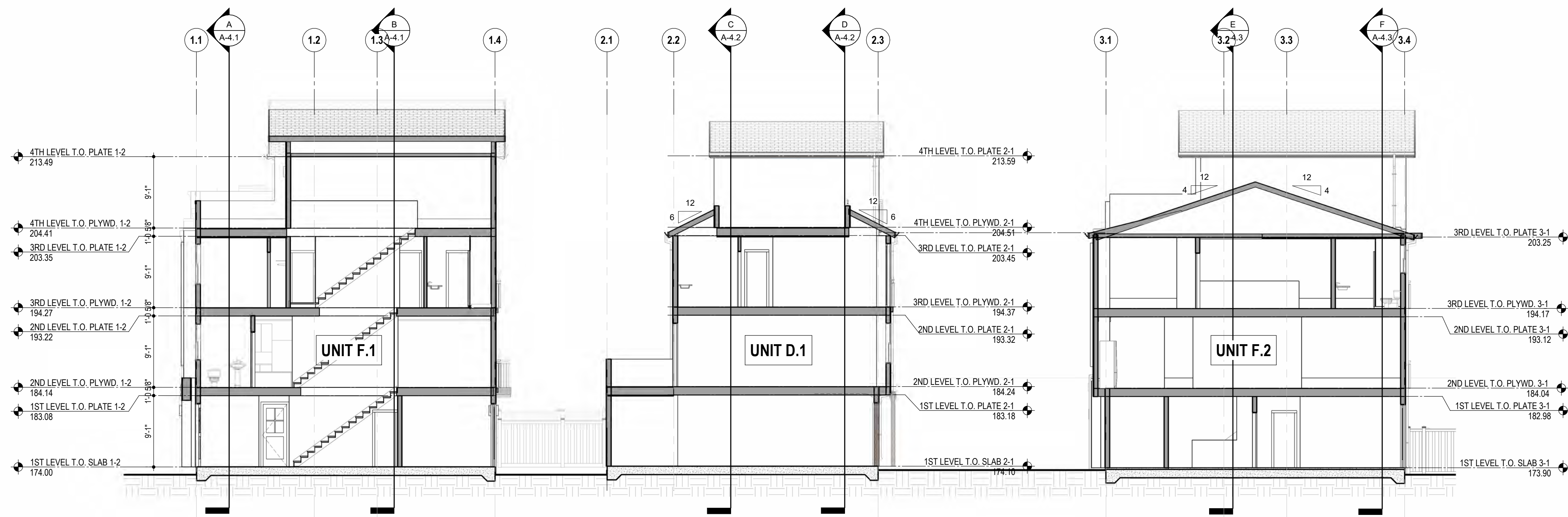
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SHEET TITLE  
**BUILDING SECTIONS**  
 DATE: MARCH 24, 2026  
 SCALE: 1/8" = 1'-0"  
 PLANNING SUBMITTAL

**A-4.3**



**G SECTION G**  
 00 04 08 16 FEET



**H SECTION H**  
 00 04 08 16 FEET

**2330 PRINCE STREET, BERKELEY CA**  
 ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

**DENSITY BONUS PROJECT**



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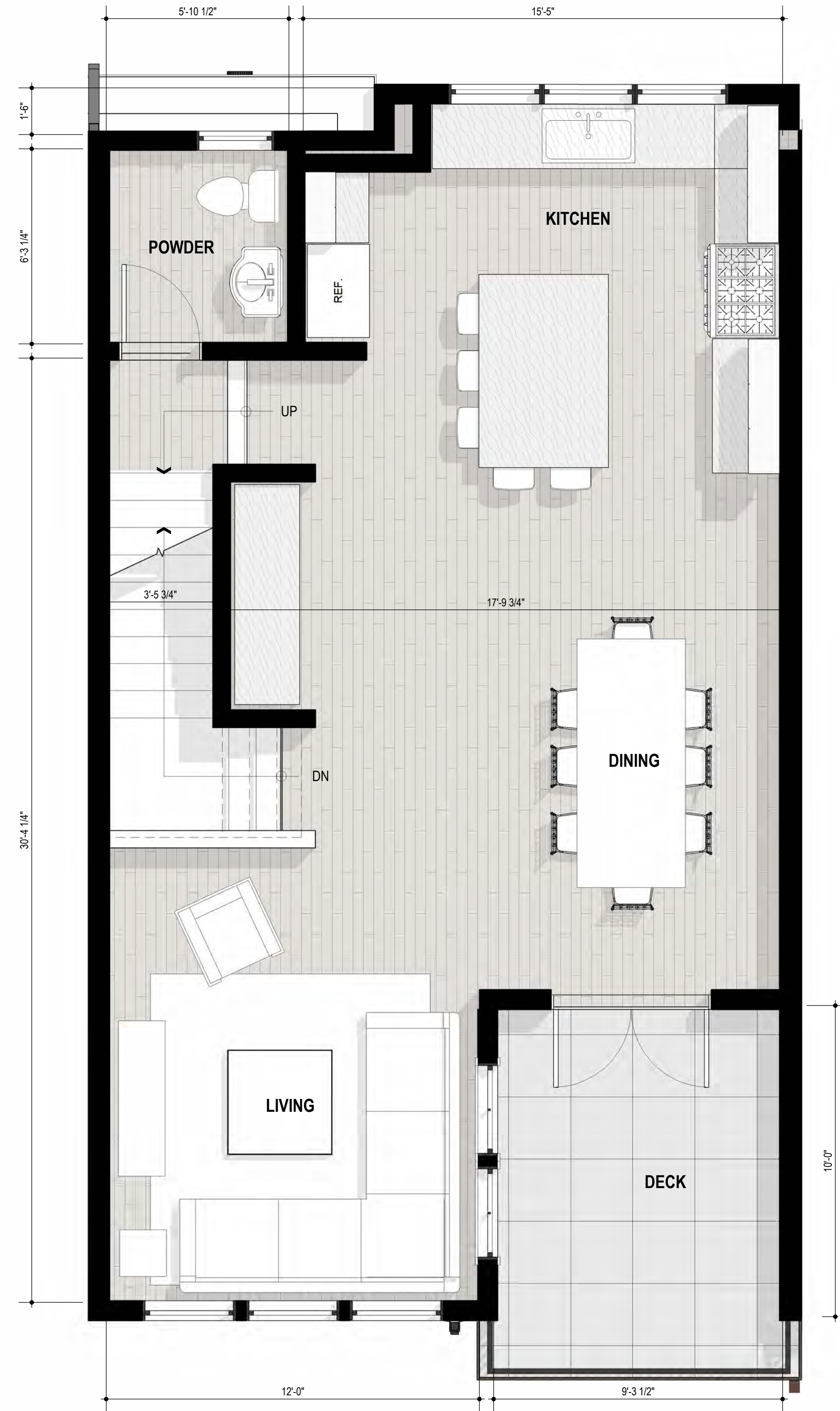
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**BUILDING SECTIONS**  
 DATE: MARCH 24, 2026  
 PLANNING SUBMITTAL

SCALE  
 1/8" = 1'-0"

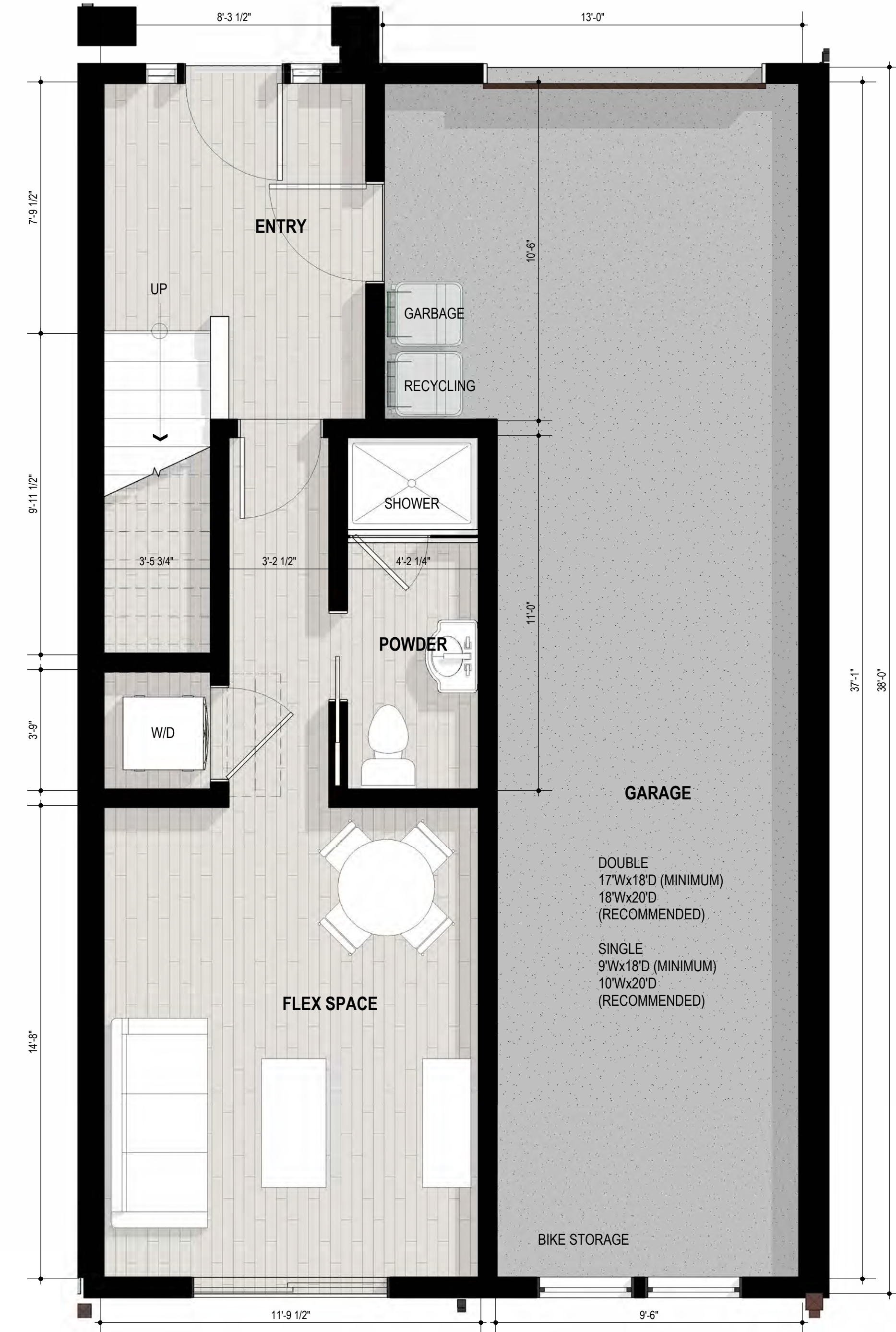
**A-4.4**







**2 2ND LEVEL - UNIT A.2**  
 00 01 02 04 6 FEET 3/8" = 1'-0"



**1 1ST LEVEL - UNIT A.2**  
 00 01 02 04 6 FEET 3/8" = 1'-0"

**2330 PRINCE STREET, BERKELEY CA**  
 ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

**DENSITY BONUS PROJECT**



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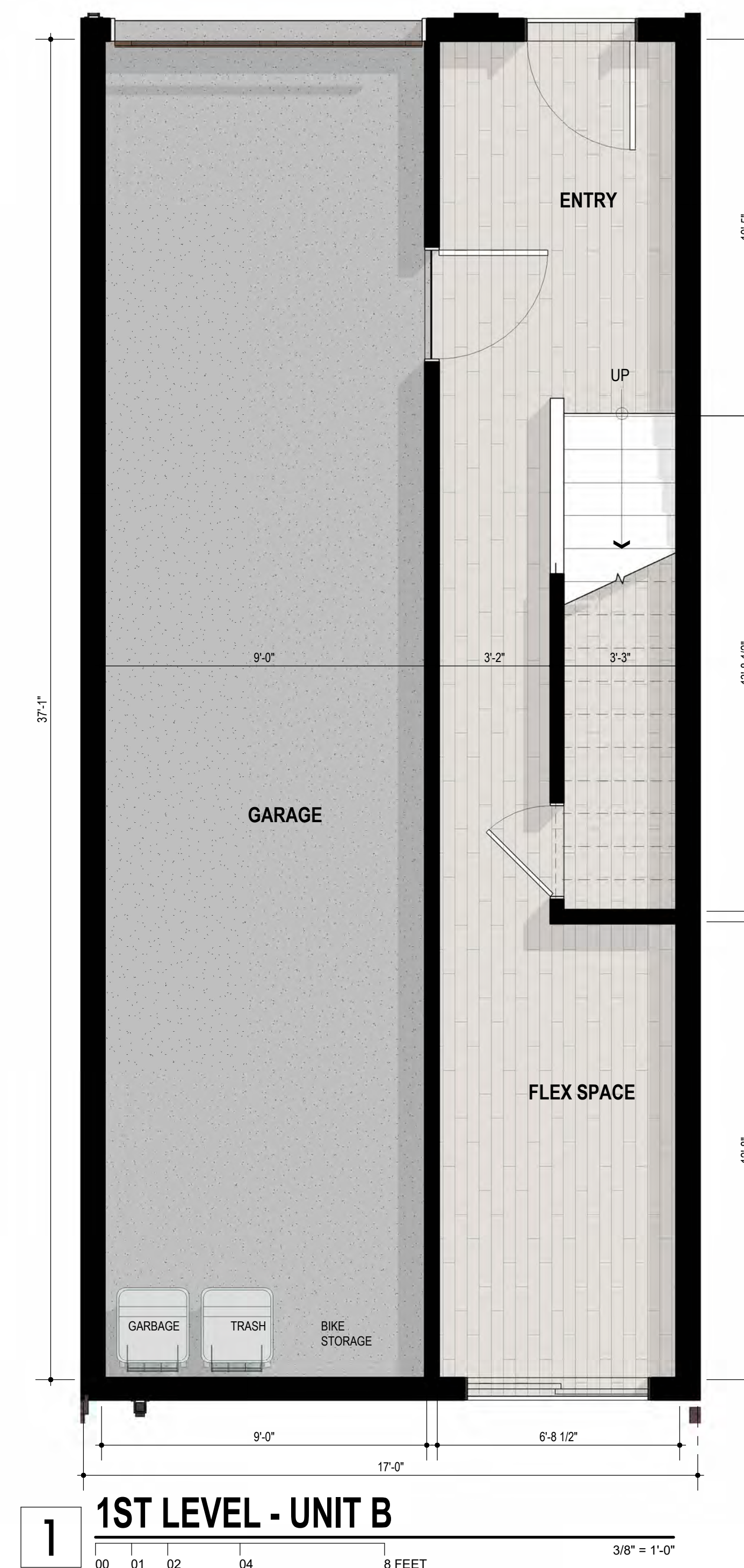
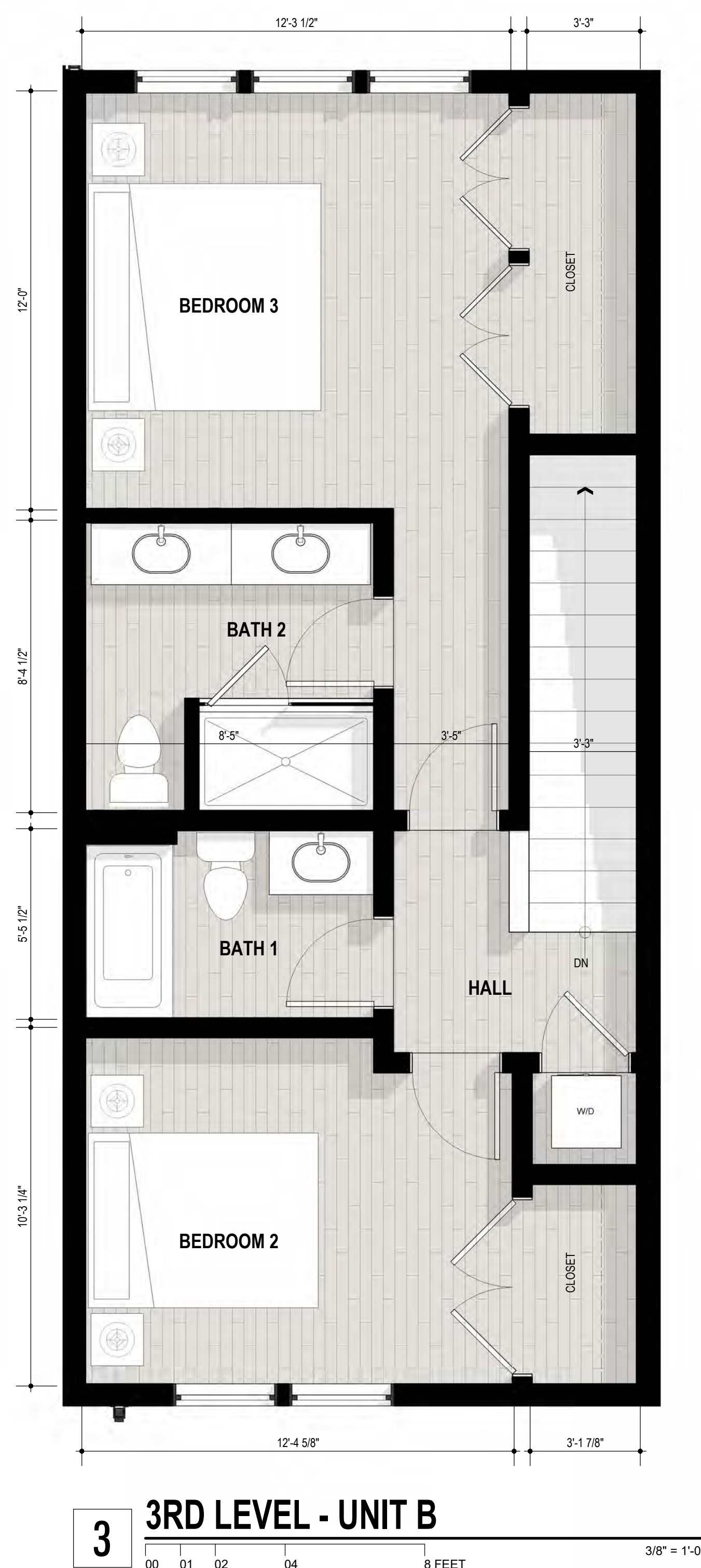
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SHEET TITLE  
**UNIT A.2 - ENLARGED PLANS**  
 DATE: MARCH 24, 2026 SCALE: 3/8" = 1'-0"  
 PLANNING SUBMITTAL  
**A-5.3**





BMR

**2330 PRINCE STREET, BERKELEY CA**  
 ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

DENSITY BONUS PROJECT



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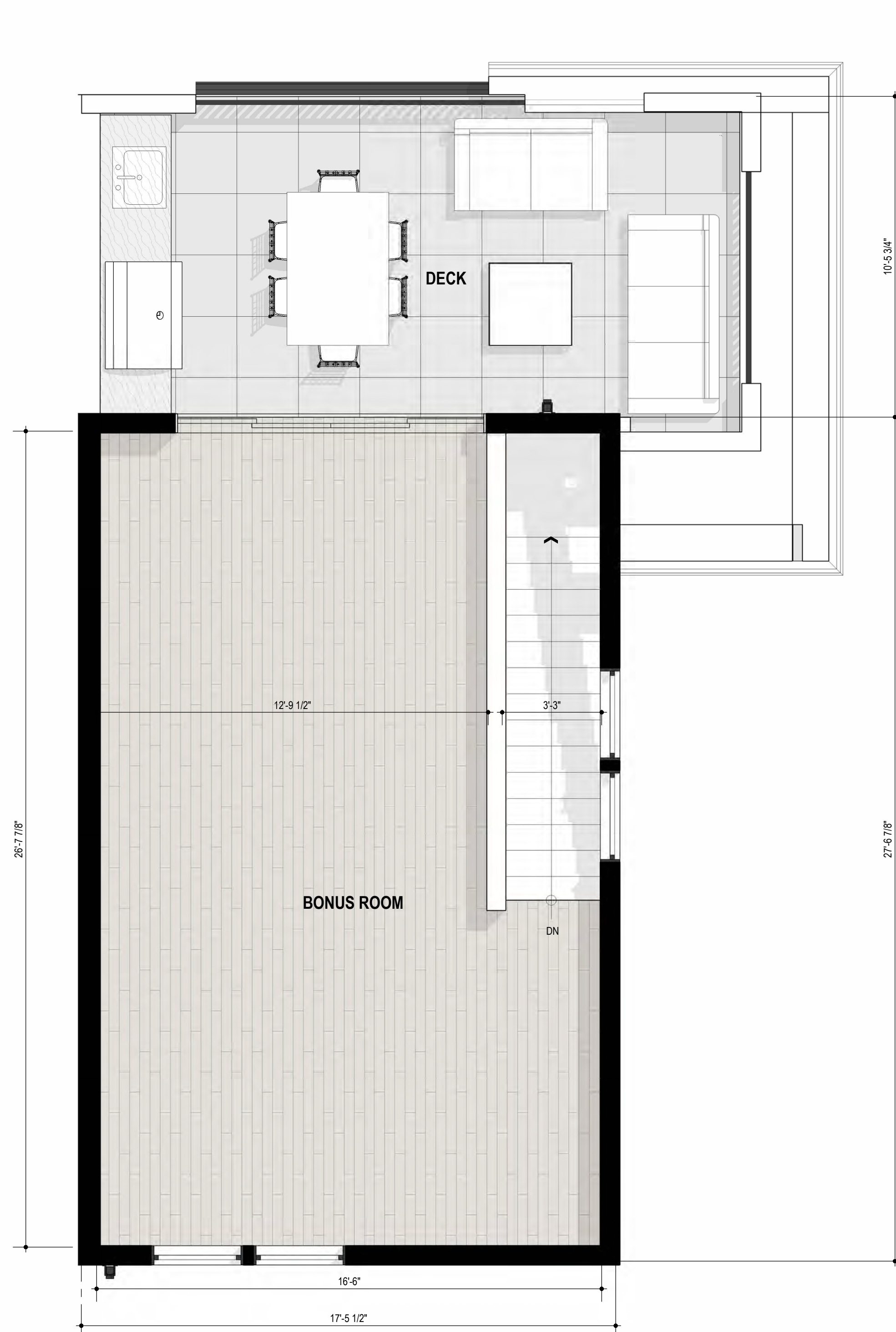
2 THEATRE SQUARE, SUITE 218  
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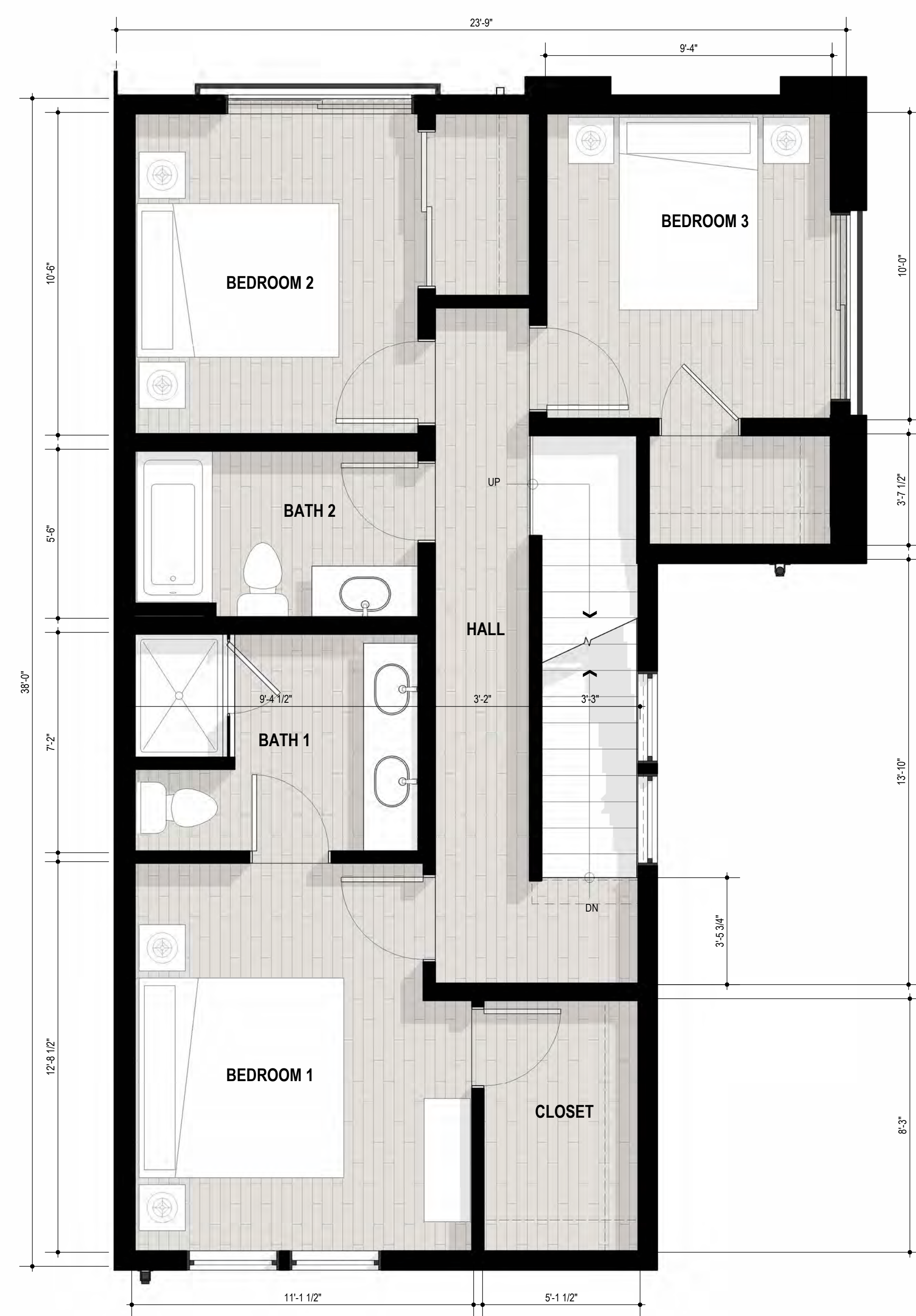
2744 E 11TH ST. OAKLAND, CA 94601  
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SHEET TITLE  
**UNIT B - ENLARGED PLANS**  
 DATE: MARCH 24, 2026 SCALE: 3/8" = 1'-0"  
 PLANNING SUBMITTAL  
**A-5.5**

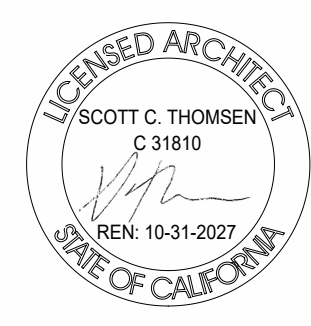




**2** 4TH LEVEL - UNIT C.1  
 00 01 02 04 8 FEET 3/8" = 1'-0"



**1** 3RD LEVEL - UNIT C.1  
 00 01 02 04 8 FEET 3/8" = 1'-0"







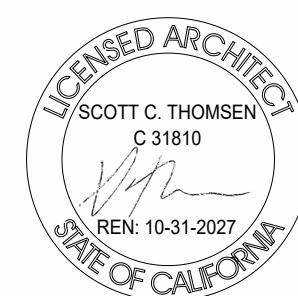
**2** 2ND LEVEL - UNIT D.1  
 00 01 02 04 8 FEET 3/8" = 1'-0"



**1** 1ST LEVEL - UNIT D.1  
 00 01 02 04 8 FEET 3/8" = 1'-0"

**2330 PRINCE STREET, BERKELEY CA**  
 ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

**DENSITY BONUS PROJECT**



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SHEET TITLE  
**UNIT D.1 - ENLARGED PLANS**  
 DATE: MARCH 24, 2026 SCALE: 3/8" = 1'-0"  
 PLANNING SUBMITTAL  
**A-5.9**



**1** 4TH LEVEL - UNIT D.1  
 3/8" = 1'-0"  
 00 01 02 04 8 FEET



**3** 3RD LEVEL - UNIT D.1  
 3/8" = 1'-0"  
 00 01 02 04 8 FEET

**2330 PRINCE STREET, BERKELEY CA**  
 ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

**DENSITY BONUS PROJECT**



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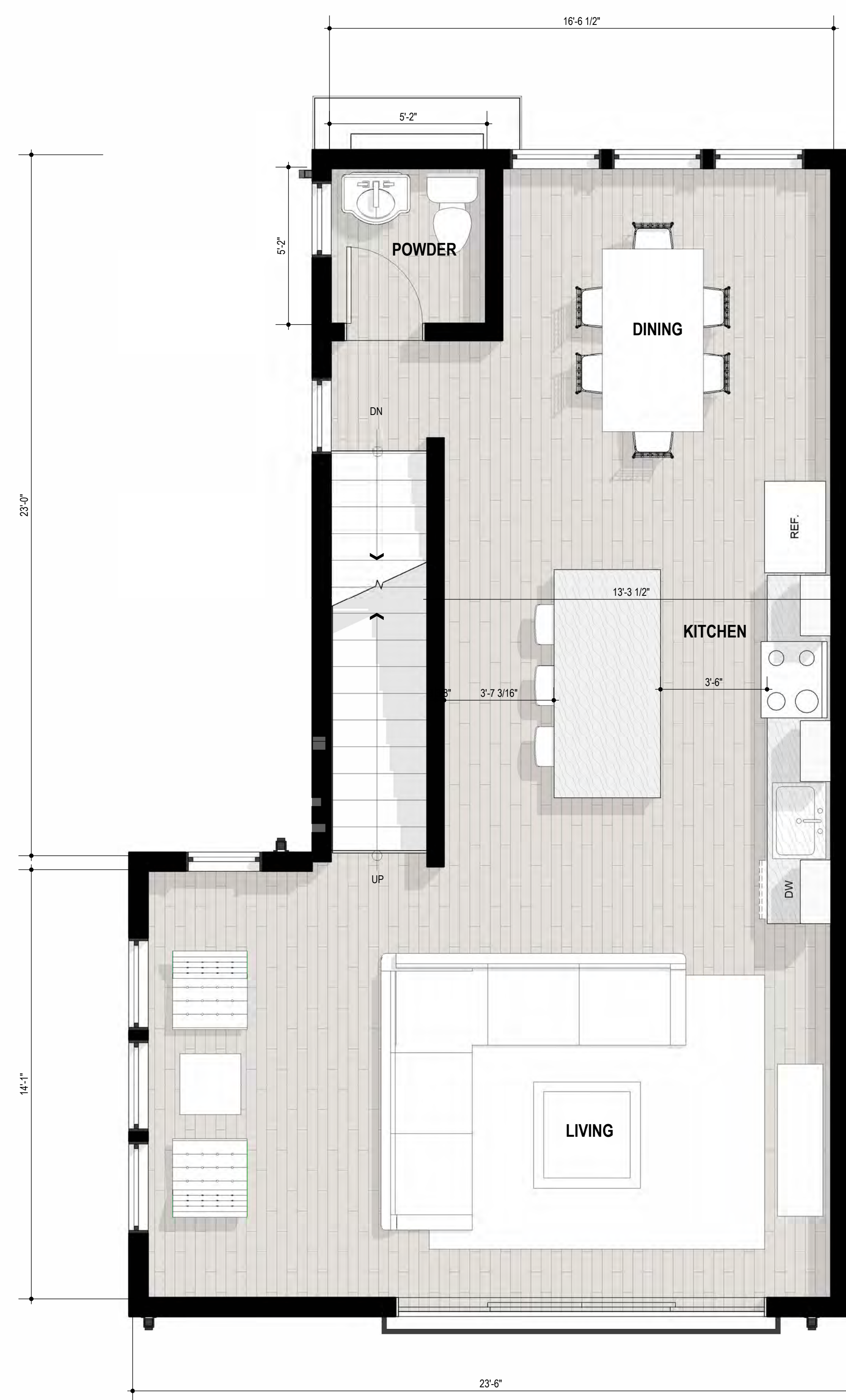


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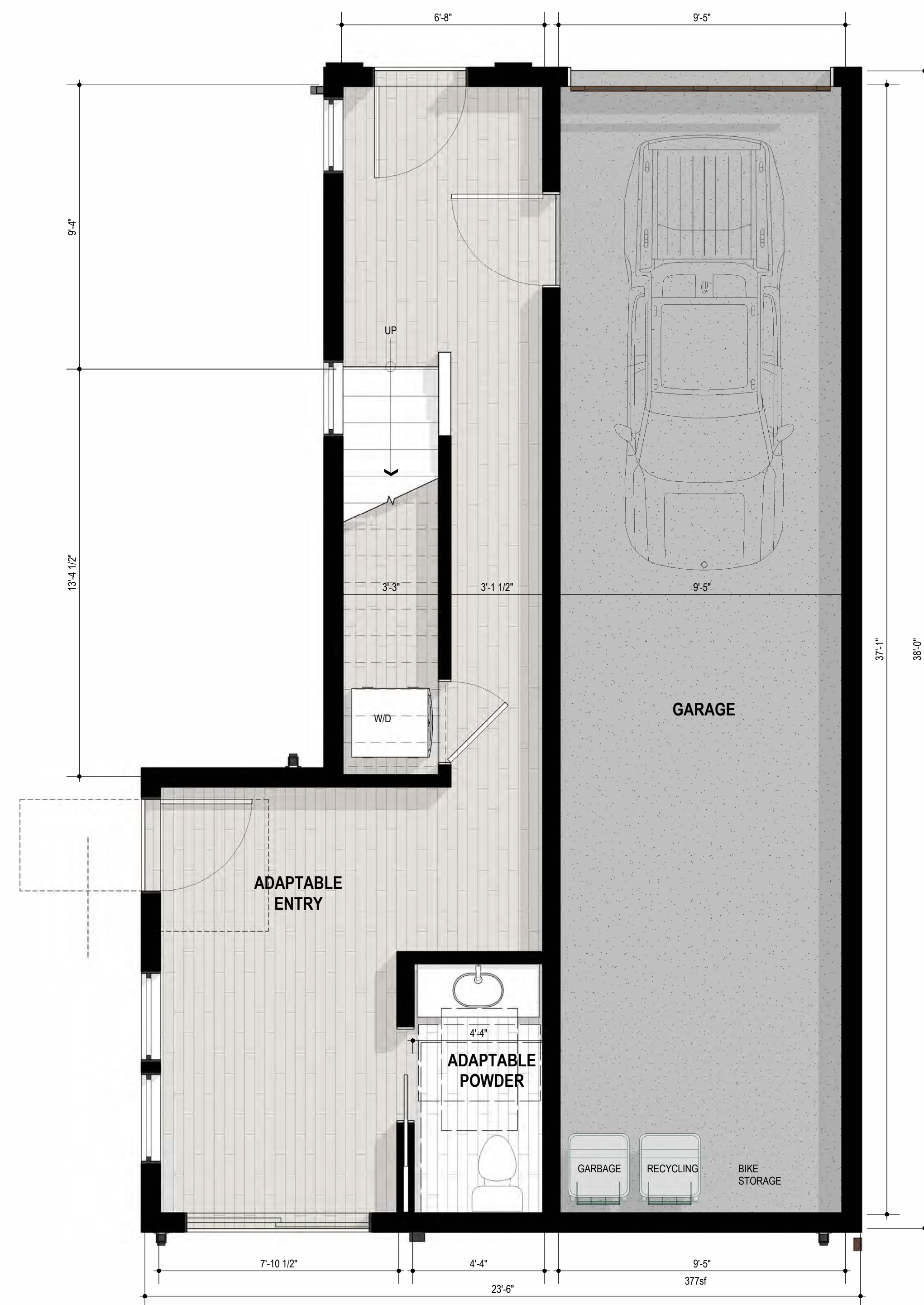


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SHEET TITLE  
**UNIT D.1 - ENLARGED PLANS**  
 DATE: MARCH 24, 2026 SCALE: 3/8" = 1'-0"  
 PLANNING SUBMITTAL  
**A-5.10**



**2** 2ND LEVEL - UNIT E.1  
 00 01 02 04 8 FEET 3/8" = 1'-0"



**1** 1ST LEVEL - UNIT E.1  
 00 01 02 04 8 FEET 3/8" = 1'-0"

**2330 PRINCE STREET, BERKELEY CA**  
 ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

**DENSITY BONUS PROJECT**



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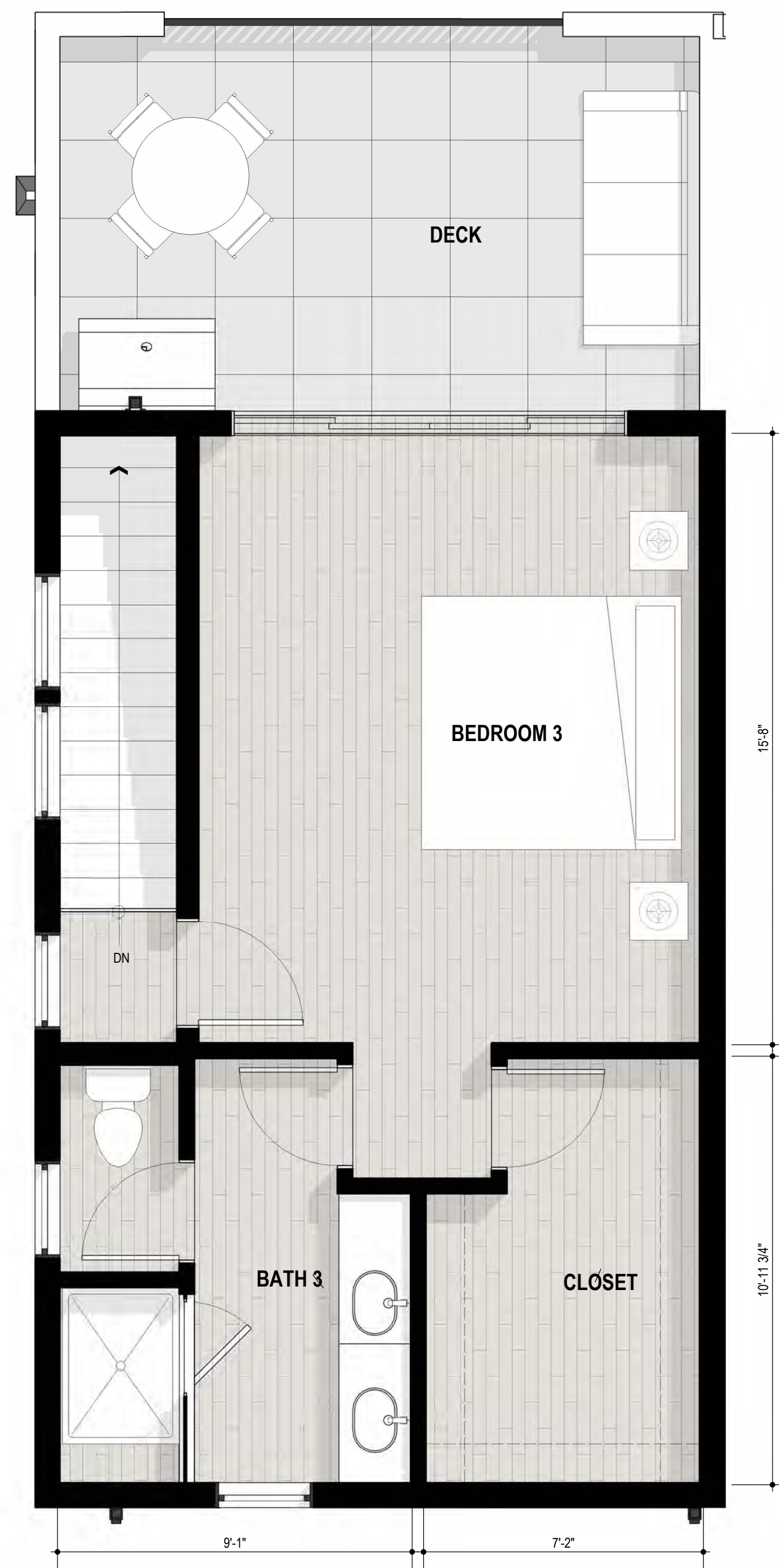


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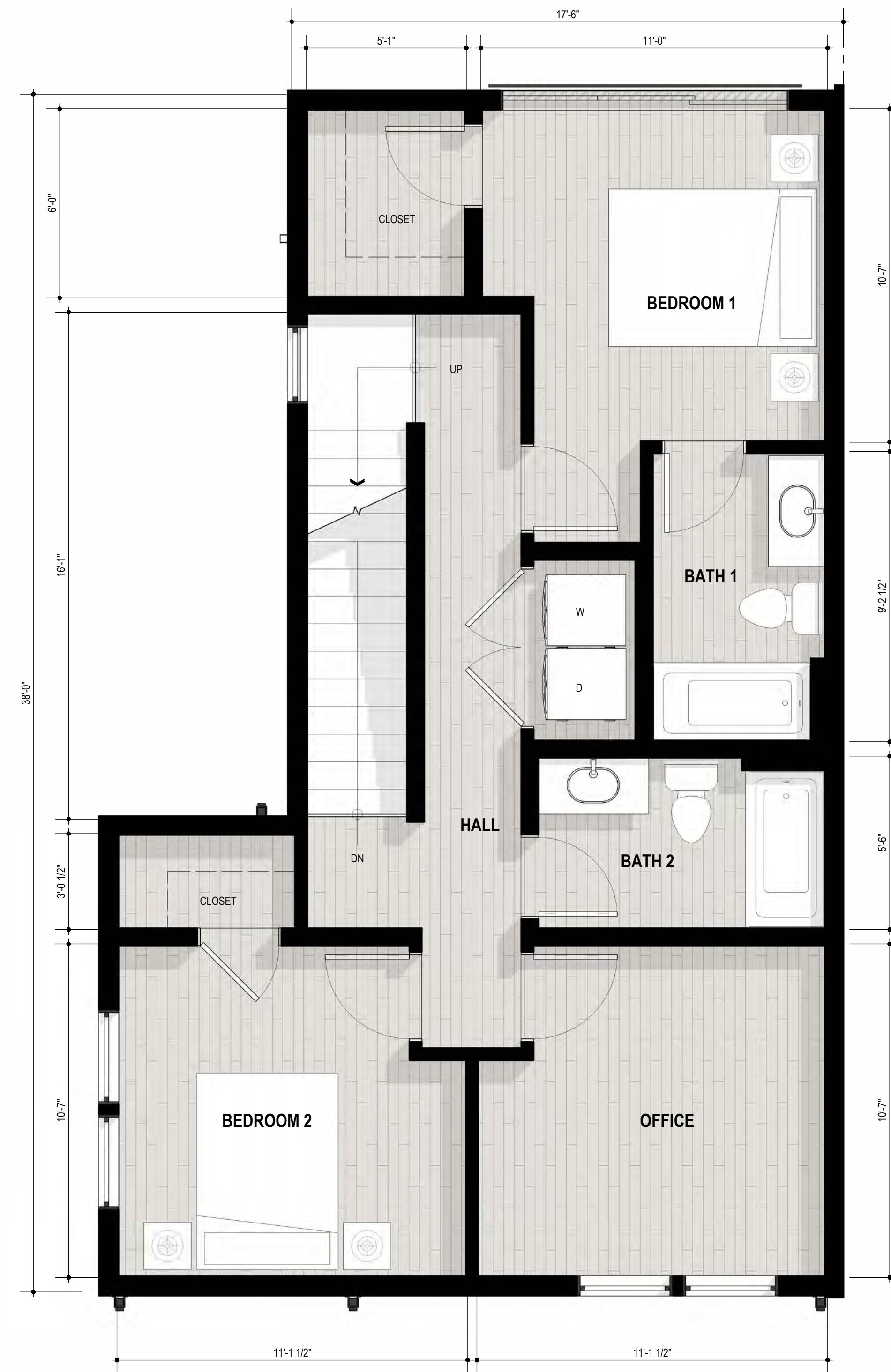
SHEET TITLE  
**UNIT E.1 - ENLARGED PLANS**  
 DATE: MARCH 24, 2026 SCALE: 3/8" = 1'-0"  
 PLANNING SUBMITTAL  
**A-5.11**







**2** 4TH LEVEL - UNIT E.2  
 00 01 02 04 8 FEET 3/8" = 1'-0"



**1** 3RD LEVEL - UNIT E.2  
 00 01 02 04 8 FEET 3/8" = 1'-0"

**2330 PRINCE STREET, BERKELEY CA**  
 ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

**DENSITY BONUS PROJECT**



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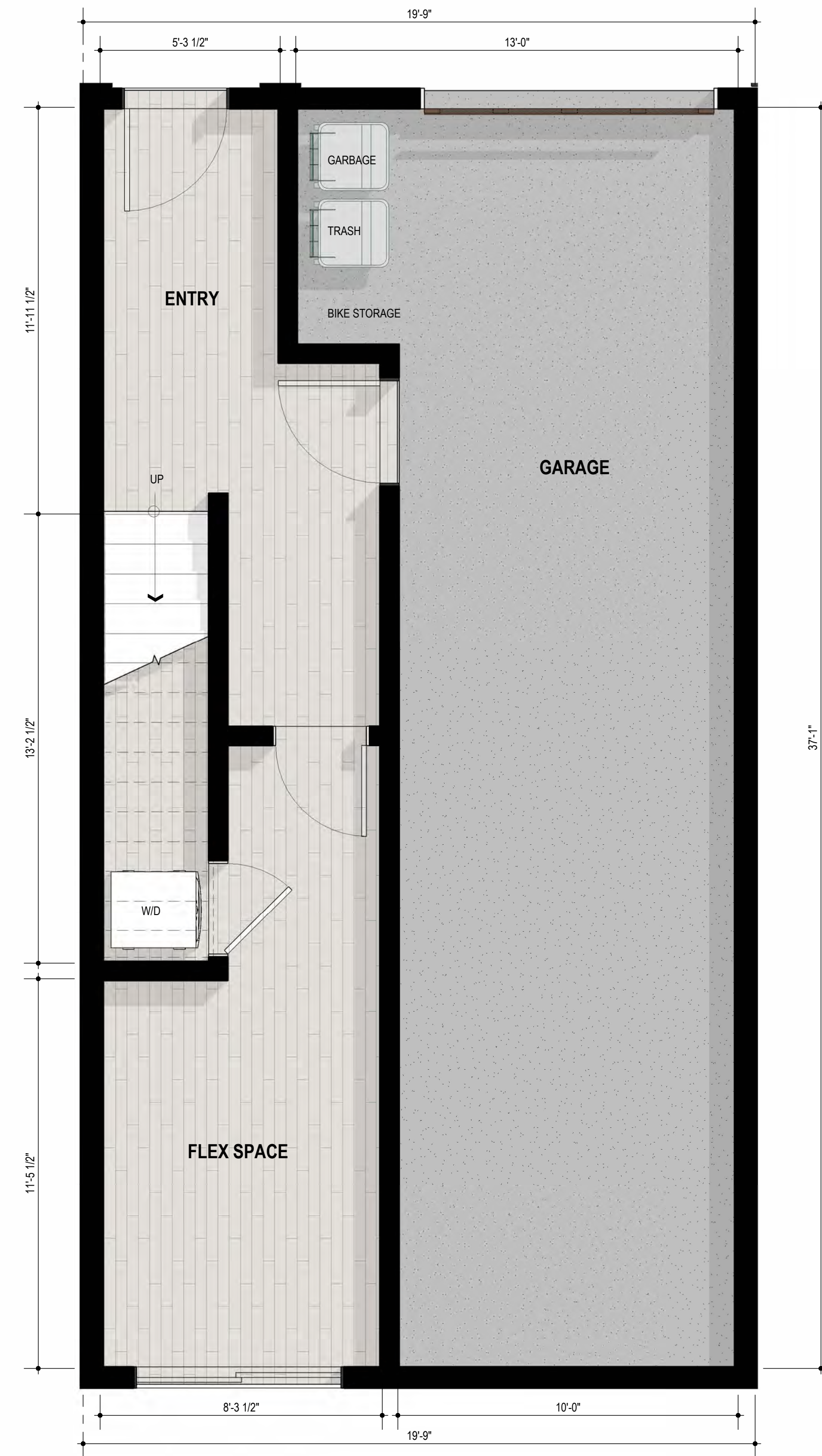


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SHEET TITLE  
**UNIT E.2 ENLARGED PLANS**  
 DATE: MARCH 24, 2026 SCALE: 3/8" = 1'-0"  
 PLANNING SUBMITTAL  
**A-5.14**



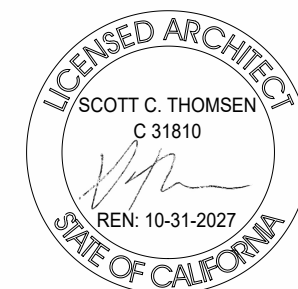
**2** 2ND LEVEL - UNIT F.1  
 00 01 02 04 8 FEET 3/8" = 1'-0"



**1** 1ST LEVEL - UNIT F.1  
 00 01 02 04 8 FEET 3/8" = 1'-0"

**2330 PRINCE STREET, BERKELEY CA**  
 ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

DENSITY BONUS PROJECT



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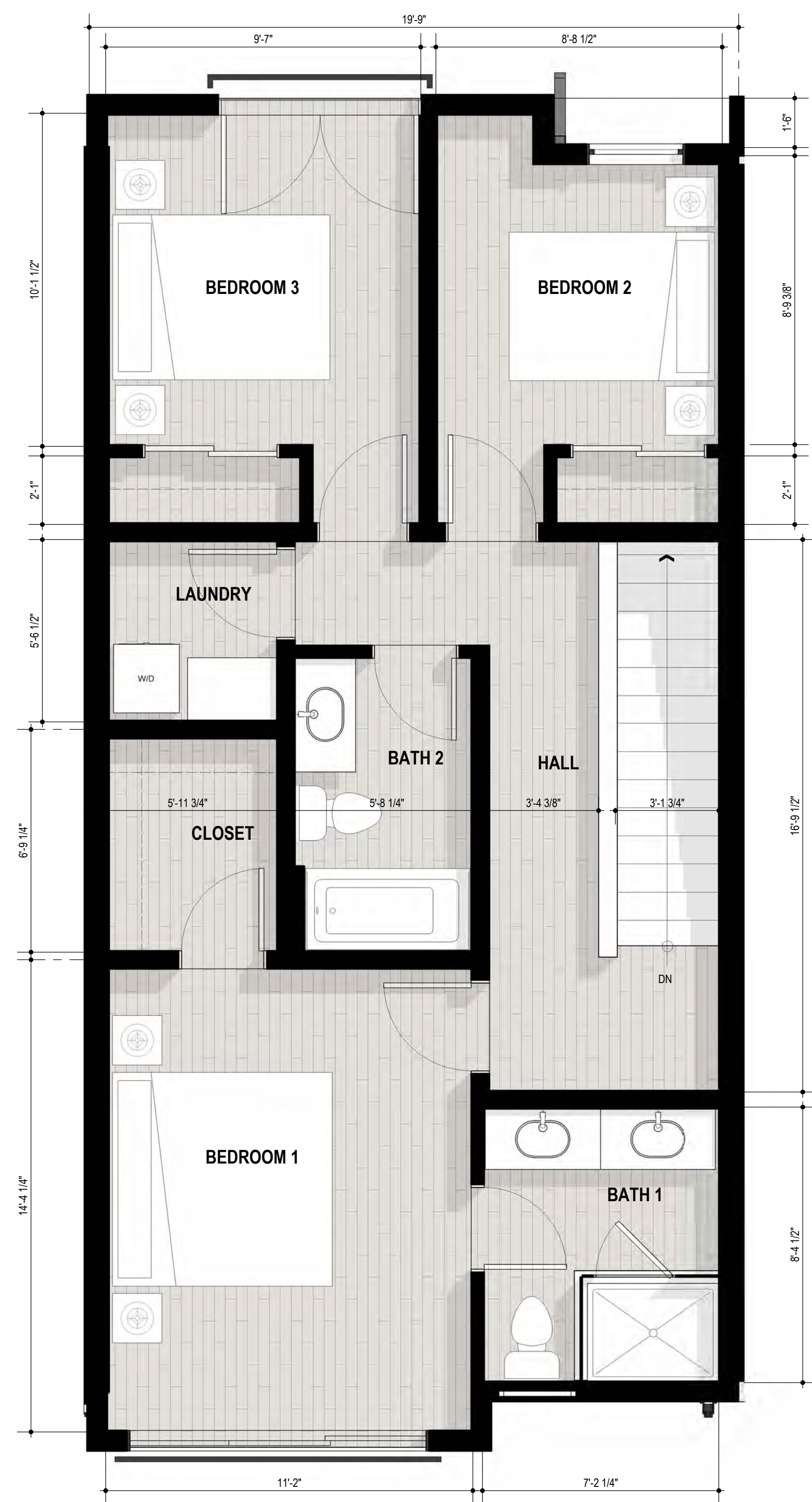
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SHEET TITLE  
**UNIT F.1 - ENLARGED PLANS**  
 DATE: MARCH 24, 2026 SCALE: 3/8" = 1'-0"  
 PLANNING SUBMITTAL  
**A-5.15**

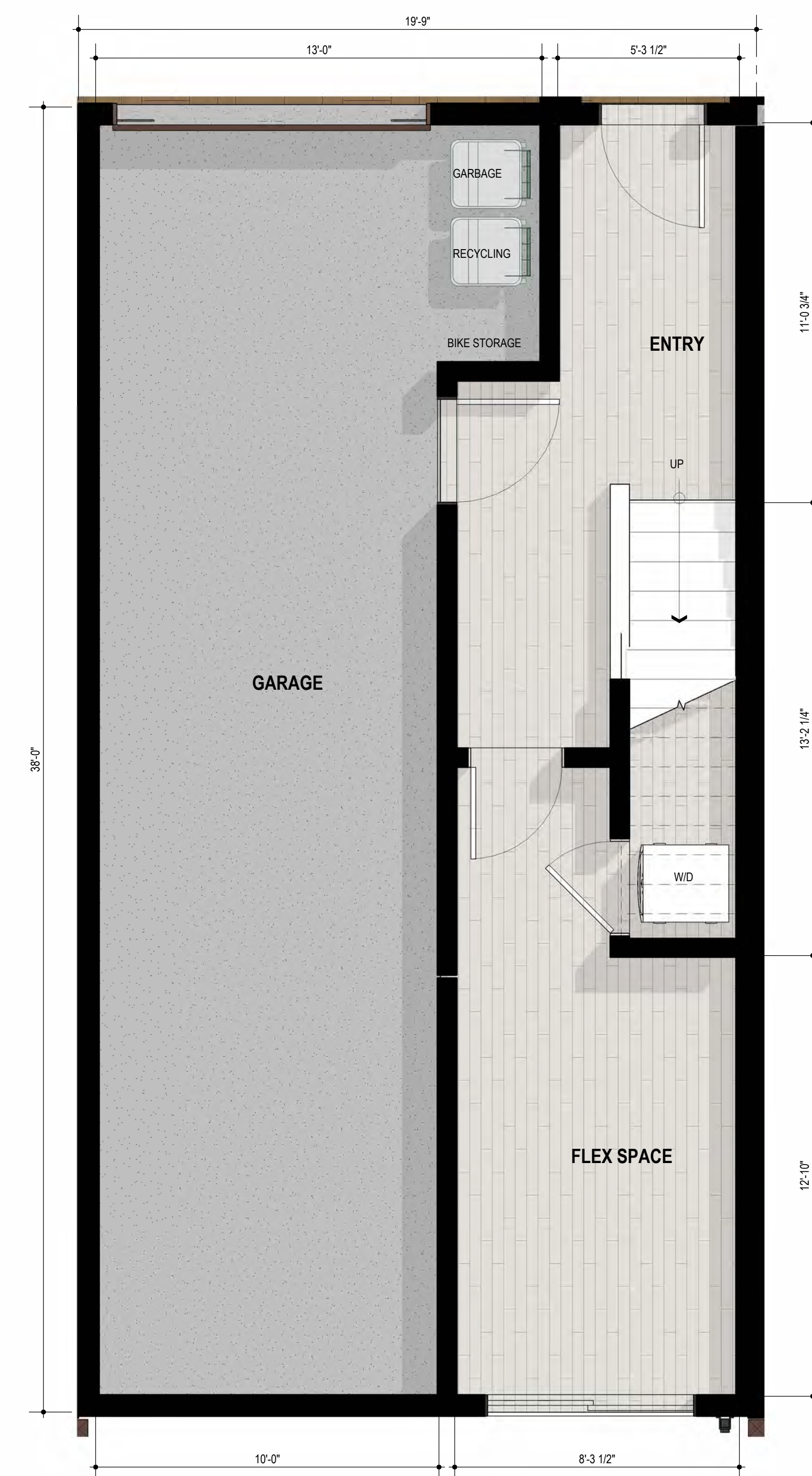




**3** 3RD LEVEL - UNIT F.2  
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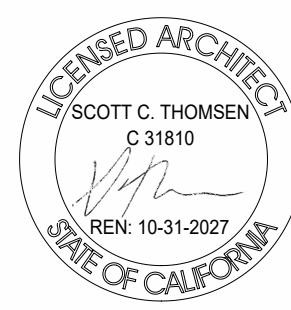
**2** 2ND LEVEL - UNIT F.2  
 00 01 02 04 8 FEET 3/8" = 1'-0"



**1** 1ST LEVEL - UNIT F.2  
 00 01 02 04 8 FEET 3/8" = 1'-0"

**2330 PRINCE STREET, BERKELEY CA**  
 ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

**DENSITY BONUS PROJECT**



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SHEET TITLE  
**UNIT F.2 - ENLARGED PLANS**

DATE: MARCH 24, 2026  
 PLANNING SUBMITTAL

SCALE: 3/8" = 1'-0"  
**A-5.17**





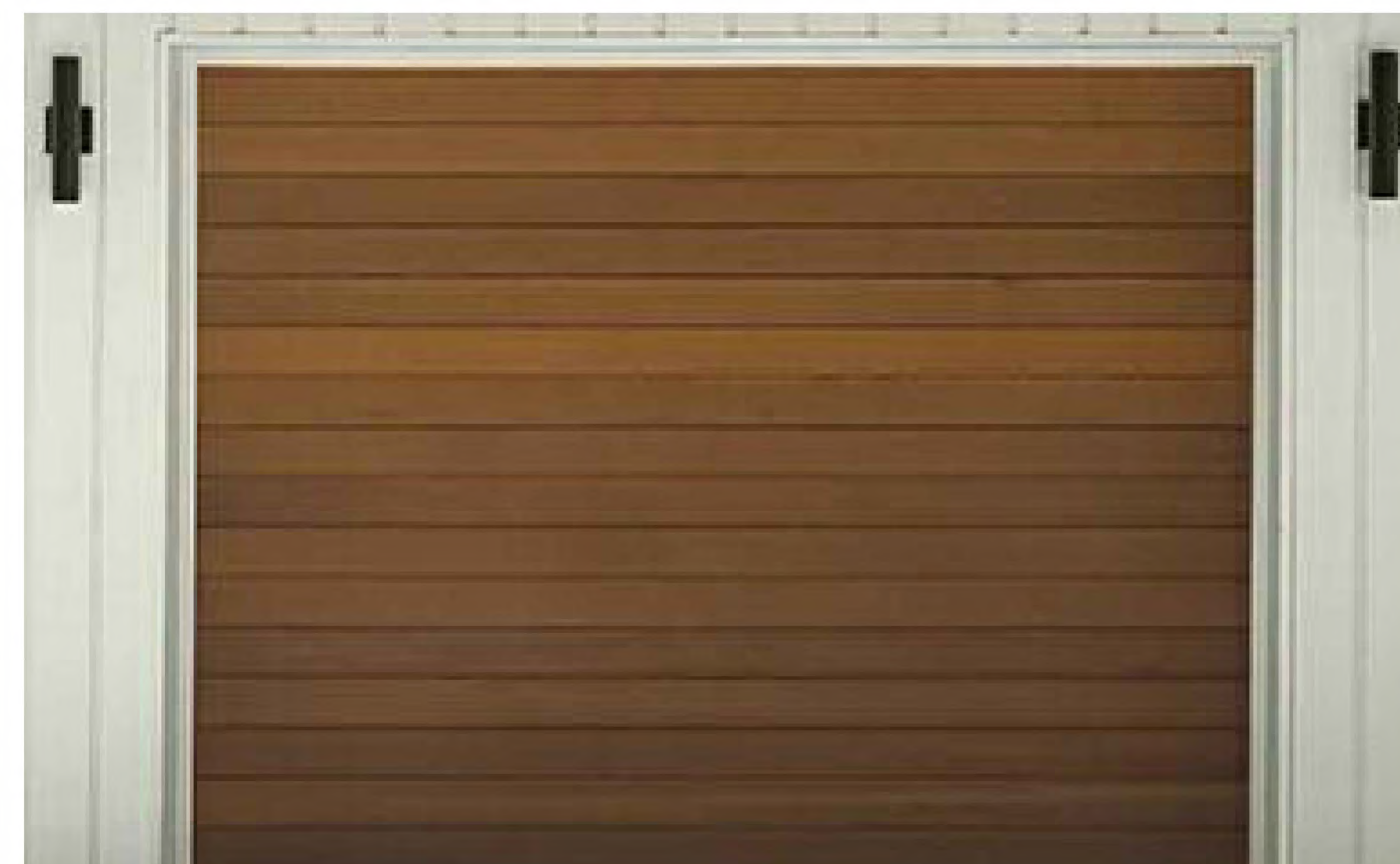












# 2330 PRINCE STREET, BERKELEY CA

ZONING DISTRICT: C-C & R-2  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY TYPE: R-3

## DENSITY BONUS PROJECT



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SHEET TITLE  
**DOOR OPTIONS**  
 DATE: JUNE 26, 2026 SCALE: 3" = 1'-0"  
 PLANNING SUBMITTAL

# A-8.6



## 2330 Prince Street

### Zoning Project Application – Applicant Statement

Submitted by ArtHaus Partners

June 26, 2026

#### PROJECT OVERVIEW

Located at 2330 Prince Street, this project aims to create a high-quality for sale residential community in Berkeley. The proposed development is a 100% residential, 49,859-square-foot project consisting of 23 townhome-style units in a "small lot" subdivision. By replacing an underutilized preschool, church, and vacant building, the project provides much-needed homeownership opportunities, including a dedicated affordable unit, while respecting the architectural heritage of the surrounding neighborhood. There are no commercial or retail spaces proposed for this project. This project is a SB330 formal application and is also subject to the Housing Accountability Act and State Density Bonus Law.



*Rendering of the corner of Prince Street and Telegraph*

Located at the intersection of Telegraph and Prince Street, the project creates new housing units in a transit- and amenity-rich location. It provides future residents with the opportunity to enjoy easy access to everyday shopping, services, work, and school needs on foot, by bike, micro-mobility device, or on public transit. The project aims to build on the neighborhood character by maintaining the neighborhood fabric on Prince Street, improving the public realm and streetscape with new street trees and residential life.

Key elements of the project include:

- 23 residential units (19 base units + density bonus units).
- 1 Below-Market Rate (BMR) unit designated for sale to a Very Low-Income household.
- 46 enclosed vehicle parking spaces accommodated within individual private garages (2 tandem spaces per unit).
- 23 bicycle parking spaces, providing a minimum of 1 secure bike parking space inside each unit's garage.
- A "small lot" subdivision design where units are each on an individual fee simple lot.

**SITE CONTEXT**

**Property Information**

Address: 2330 Prince Street

APN: 52-1557-1

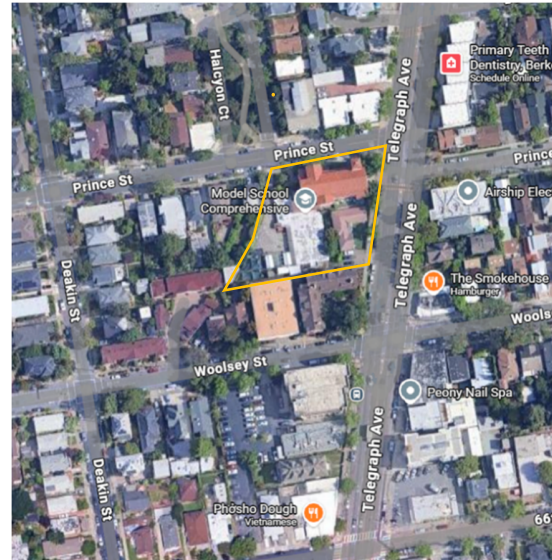
Parcel Area: 32,186 SF (.74 acres)

General Plan Designation: Avenue Commercial (AC); Medium Density Residential (MDR)

Zoning District: Corridor Commercial (C-C); R-2

**Parcel and Existing Conditions**

The project site is a single parcel located on the corner of Telegraph Avenue and Prince Street. The subject property is improved with an approximately 6,800-square-foot (sf) two-story church (3100 Telegraph Avenue), an approximately 6,200-sf preschool building (2330 Prince Street), an approximately 2,500-sf building that is currently not in use (3102 Telegraph Avenue), and a paved playground associated with the preschool. The preschool (2330 Prince Street) is a one-story building that is partially below grade in the central portion of the subject property. The church (3100 Telegraph Avenue) is in the northern portion of the subject property, contains a second story in the main worship hall and also contains various offices and a kitchen. There is also an unused basement under a portion of the church. The unused building (3102 Telegraph Avenue) is located on the eastern portion of the subject property and was formerly used by the preschool but is now vacant. The paved playground is located on the western portion of the subject property. All buildings, pavement and landscaping on the site would be removed. The Required Findings section below explains how the project meets all required findings and objective standards from the Demolition Ordinance.



*Aerial View of Site Location (in yellow)*



*Existing church building*

**SB330**

The project sponsor submitted an SB330 preliminary application, pursuant to Government Code Section 65589.5(o), on December 4, 2025. In accordance with State law, this preliminary application “froze” zoning regulations in place as of that application date. The December 4, 2025 preliminary application proposed the same project in terms of unit count and size and has further developed the architecture since the application.

## **HISTORIC AND CULTURAL RESOURCES**

### **Historic Resources Evaluation**

An Historic Resources Evaluation (HRE) was conducted to assess the existing structures on the property, including the 1951 Bethlehem Lutheran Church, a ca. 1951 flat roof building, and the ca. 1951 "Model School" front gable building. The HRE concluded that none of the built environment resources qualify for listing on the California Register of Historical Resources (CRHR) under any criterion. Furthermore, the structures do not qualify for local listing as landmarks, historic districts, or structures of merit under Berkeley Municipal Code Chapter 23.326. As a result, the buildings are not considered historical resources under CEQA guidelines. Prior to demolition, the project team will adhere to the HRE's recommendation to carefully remove the 1951-time capsule located in the church's cornerstone so it can be returned to the congregation or donated to the Berkeley Historical Society.

### **Archaeological Study**

An Archaeological Study, including a field survey conducted on February 14, 2026, was completed for the project site. No precontact or historic period archaeological materials were observed during the survey, and records searches did not identify any previously recorded archaeological resources within the Project Area. The study concluded that the development is not anticipated to have a significant impact on archaeological resources. To ensure the protection of any previously unidentified resources, the project will implement the study's recommended mitigation measures, which include providing Cultural Resource Awareness Training (WEAP) to the construction team and adhering to strict stop-work protocols in the event of any post-review discoveries or the unearthing of human remains.

## **BUILDING & SITE DESIGN**

The subject property spans 32,186 square feet and is governed by split zoning, with portions of the site falling into the R-2 (Residential) and C-C (Commercial Core) districts.

The site layout is intentionally crafted to function as a distinct "neighborhood within a neighborhood." To achieve this, the project is designed in three distinct buildings. The first building fronts directly onto Prince Street, seamlessly continuing the established residential pattern and scale of the surrounding homes. The other two building masses are situated further into the site and are accessed through a pedestrian-friendly alley thoughtfully designed to mimic a *woonerf*—a shared-street concept that prioritizes pedestrians and cyclists over automobiles.

Additionally, a dedicated pedestrian path is provided from Prince Street. This allows residents to safely and quietly enter and exit their community away from the heavier vehicle traffic of Telegraph Avenue, while also providing easy, walkable access to the nearby Halcyon Neighborhood Park.

The building's architecture is thoughtfully designed as a Modern Spanish Revival, taking direct inspiration from the existing church currently on the site. The material palette features high-quality stucco finishes paired with a tile roof, complemented by warm wood and modern metal accents. To

seamlessly blend into the fabric of Berkeley and North Oakland, the project entries feature traditional trellis and column elements.

### **Landscape and Open Space**

The project proposes to provide a vibrant residential experience and active pedestrian environment, greatly improving upon the current site. Current site conditions include many overgrown trees and bushes that are not thriving due to the lack of maintenance. The majority of the existing plant species on site are not native or low water.



*Existing landscape is overgrown and not maintained.*

The proposed landscape plan provides a mix of private and shared outdoor experiences. Each home is designed with a private outdoor patio, with many units also featuring upper-floor decks and roof decks to maximize usable open space. The project is proposing to retain existing street trees where possible. Where it is not possible to retain the tree, a new Saratoga Laurel tree will be planted consistent with City guidelines.

Sustainability and local ecology are guiding principles for landscaping: 85% of all proposed plantings are native and wildlife-supporting. The plant palette heavily features butterfly-friendly species, ensuring the project nurtures local pollinators while providing beautiful, drought-tolerant greenery.

## **SUSTAINABILITY**

### **Green Building**

One of the key priorities of Berkeley's Climate Action Plan is to support housing density in transit-oriented locations close to transit networks. This project fulfills that central priority and will substantially reduce per capita greenhouse gas emissions and increase the quality of life and livability in the neighborhood.

Additionally, the project includes efficient building systems, rooftop photovoltaic (PV) solar panels, and on-site stormwater management. Sustainable design within the landscape is a guiding principle throughout the project: the use of native and appropriate plant species, rain gardens, sustainable materials, permeable paving, maximizing water conservation with a smart weather-based irrigation controller, and designing structures and landscapes that are resource-efficient and environmentally responsible over their entire life cycle.

### **Statement Regarding Berkeley Energy Code and Berkeley Green Code**

The proposed project is designed to comply with the Berkeley Energy Code (BMC Chapter 19.36) and Berkeley Green Code (BMC Chapter 19.37), adopted by the City Council on December 3, 2019, including solar PV system, electric vehicle charging and low-carbon concrete requirements.

### **Transportation Demand Management**

Most trips from the project site are expected to be walking, biking, micro-mobility or transit trips. Capitalizing local transit access, the project will provide 2 monthly bus passes for each unit at the time the unit is sold. A bike parking space is provided for each unit within the individual garage. Class II bike racks for short term bike parking are dispersed along Telegraph Avenue and within the neighborhood.

### **STATE DENSITY BONUS AND INCLUSIONARY HOUSING**

There are two related State and local requirements for below-market rate housing provided at this project site: State Density Bonus Law, and the City's Inclusionary Housing Requirement. In summary, the project proposes 1 on-site below-market rate unit and a payment of [approximately \\$2,023,440.15](#) as an in-lieu fee toward Berkeley's Affordable Housing Trust Fund.

#### **Density Bonus**

The proposed project considers a "base project" of 19 units and a density bonus project with 23 units. The subject property is governed by split zoning, consisting of two distinct categories: R-2 (Residential) and C-C (Commercial Core).

- R-2 Portion: 9,400 sf
- C-C Portion: 22,786 sf
- Total Lot Area: 32,186 sf.

The two zoning types employ different regulatory approaches, the R-2 zoning is unit-based (focused on density). The C-C zoning is form-based.

To establish the base density for the project, we developed a plan consistent with the specific standards for each portion of the site.

- R-2 Density: The R-2 district allows for a density range of a minimum of 10 du/acre to a maximum of 70 du/acre. Based on the area of the R-2 portion, this permits a maximum of 15 dwelling units on the R-2 portion of the site. All mandatory development standards for the R-2 zone are met with this design, given the unit sizes and layouts as well as the required setbacks, the base project shows 3 units on the R-2 portion of the Property.
- C-C Development: Development on the C-C portion of the site adheres to all required C-C development standards with the exception of the setbacks and building separation standards. Per Berkeley Municipal Code (BMC) Section 23.204.050(D)(3), the setbacks and building separation standards for Residential-Only Uses (as detailed in Table 23.204-9) may be modified by the Zoning Adjustments Board (ZAB) through a Use Permit (UP) following a Public Hearing (PH). Consistent with the City's Density Bonus Guidelines, the base project design assumes that this Use Permit (UP/PH) will be granted for the necessary modifications to the setbacks and building separation requirements. This results in a base density of 16 units on the C-C portion of the Property.
- This allows for a total base density project of 19 units.

Under State Density Bonus Law, the project is requesting the following waivers and concessions:

Waivers:

1. Lot Size: The C-C and R2 zoning require new residential only lots to be a minimum of 5,000 square feet. The project is proposing a “small lot” subdivision where the units are effectively attached but sit on their own parcel. The project is proposing to waive the 5,000 minimum square foot lot. The minimum lot size on the project will be 971 sq. ft.
2. Maximum building height: The C-C and R2 zoning allow for a 35 ft. and 3 story height limit. The R2 zone has a maximum height of 22 ft. when the building is within 15 ft. of the rear property line. (BMC 23.204.050 and 23.202.080.) The project proposes a maximum height of 48 ft.
3. Setback Reduction: C-C zoning requires a Front Setback of 15 ft., a rear setback of 10 ft., interior setbacks of 4-6 ft. depending on the story and a street side setback of 8-10 ft. depending on the story. R2 requires a front setback of 5 ft., rear of 5 ft. and interior and streetside of 5 ft. R2 zoning also requires that the front and rear setbacks add up to at least 20 ft. The project proposes a varying front (Telegraph) setback with a minimum of 6 inches, a 7 ft. minimum rear yard setback and a 5 ft. street side (Prince Street) setback. The project will be providing an 11 ft. interior setback. *Note: Per BMC 23.204.050(D) setbacks shown in Table 23.204-9 C-C Setbacks and Building Separation for Residential – Only Uses may be modified by ZAB with a UP(PH).*
4. Building Separation, Minimum: The C-C zoning requires an 8 ft. (1 story), 12 ft. (2 story) and 16 ft. (3 story) minimum building separation and the R2 zoning requires a building separation setback of 5 ft. The project is proposing a “small lot” subdivision where the units are effectively attached but sit on their own parcel. Therefore, the project is proposing a 0 ft. building separation.

*Note: Per BMC 23.204.050(D) setbacks shown in Table 23.204-9 C-C Setbacks and Building Separation for Residential – Only Uses may be modified by ZAB with a UP(PH).*

5. Lot Coverage: The C-C zoning allows for 45% lot coverage, the R2 zoning allows for a 60% lot coverage. The project is proposing a 56% lot coverage and therefore will need a waiver from the C-C zoning lot coverage requirement.
6. Off- Street Maximums for Residential Development: Per BMC 23.322.070 and because the project is located along a transit corridor with service at 15-minute headways during the morning and afternoon peak periods the project is restricted to 0.5 parking spaces per dwelling unit. The project is proposing to waive this standard and have 2 parking spaces (tandem) per dwelling unit.

Concession:

The project is proposing to provide 5% of the project for sale to a very low-income buyer which per the Density Bonus the project is granted one concession.

Per BMC 23.316 the project would be required to pay a public art in lieu fee of 0.80 percent of the construction cost which would be approximately \$88,460. The project is requesting a concession to not comply with BMC 23.316 as not complying would result in an identifiable and actual cost reduction.

**Table 2: City of Berkeley Density Bonus Table**

Density Bonus Table							
BASE PROJECT SQ FT	BASE # UNITS	%VLI UNITS	#VLI UNITS (ROUND UP)	BONUS %	#DB UNITS (ROUND UP)	MAX DB PROJECT # UNITS	PROPOSED DB PROJECT # UNITS
42,940	19	5%	1	20%	4	23	23

	GROSS SQ FT	# UNITS	AVG UNIT SIZE
PROPOSED DB PROJECT	49,859	23	2,167
BASE PROJECT	42,940	19	2,260

**Table 3: State Density Bonus Law Required On-Site Units, by Bedroom Type**

Unit Type	Units		
	Total	% Share	Very Low Income (Rounded)
3-Bed	23	100%	1
<b>Total</b>	<b>23</b>	<b>100%</b>	<b>1</b>

Berkeley Inclusionary Housing: This project is also subject to the City of Berkeley’s inclusionary housing requirement (BMC Section 23.328). This ordinance requires the project to provide at least 20% of the total number of dwelling units as inclusionary units with the option of paying fee in-lieu, per BMC Section 22.20.065. The mitigation fee may also be satisfied, in whole or in part, by providing below-market rate housing on site. In this case, the project elects to provide a portion of required units on-site—the 1 below-market rate unit described above (1 Very Low Income,) For the remaining requirement, the project will contribute [approximately \\$2,023,440.15](#) as an in-lieu fee toward Berkeley’s Affordable Housing Trust Fund.

Housing Accountability Act

In addition to the State laws affecting housing affordability on the site, the project is also proposed consistent with the Housing Accountability Act (Gov. Code § 65589.5) since the project meets the definition of a “Housing Development Project” and complies with the City’s objective standards and criteria. Originally passed by the California Legislature in 1982, the Housing Accountability Act recognizes that the lack of housing is a critical problem that threatens economic, environmental, and social quality of life in California. The Housing Accountability Act generally limits the City’s ability to deny a project under these circumstances if there is a preponderance of evidence that the project would have a

significant, unavoidable, and quantifiable impact on “objective, identified written public health or safety standards, policies, or conditions.” Gov. Code §65589.5(j).

**CITY OF BERKELEY REGULATIONS**

**General Plan**

The project site is designated as Avenue Commercial in the General Plan. It replaces an underutilized preschool, church, and vacant building with a 100% residential community. By providing 23 new townhome-style units, including one dedicated for sale to a Very Low-Income household, the project introduces high-quality homeownership opportunities to the neighborhood. This vision supports General Plan goals to encourage pedestrian-friendly, visually attractive areas while increasing housing density in transit-oriented, amenity-rich locations. This vision helps to fulfill General Plan Policy LU-27: Avenue Commercial Areas which aims to encourage “pedestrian-friendly, visually attractive areas of pedestrian scale and ensure that Avenue areas fully serve neighborhood needs as well as a broader spectrum of needs”.



*Rendering of Prince Street Frontage*

**Zoning Ordinance**

Table 3 identifies the permitted development standards and how these are met by the proposed project. The subject property is governed by split zoning, consisting of the R-2 (Residential) and C-C (Commercial Core) districts.

All zoning standards referenced reflect the development standards in place when the preliminary application was submitted on December 4, 2025, pursuant to Government Code Section 65589.5(o) (known as “SB 330”). Subsequent changes to the zoning ordinance do not apply to this project.

**Table 3: Zoning Development Standards**

Standard (BMC Section 23.204.050 and 23.304.030(c))		Proposed	Permitted/Required
Building Height	Maximum (ft.)	48 ft.	35 ft. in C-C and R-2 (22 ft. in R-2 when within 15 ft. of rear property line)
	Stories	4	3
Lot Area & Coverage	Lot Size (Min.)	C-C: 971 sq. ft. R-2: 1,259 sq. ft.	5,000 sq. ft.
	Lot Coverage (Max.)	56.5%	45% in C-C; 60% in R-2

Setbacks (Min.)	Front (Telegraph)	Varying, minimum 6 inches	15 ft. in C-C; 5 ft. in R-2
	Street Side (Prince)	5 ft.	8-10 ft. in C-C; 5 ft. in R-2
	Interior Side	11 ft.	4-6 ft. in C-C; 5 ft. in R-2
	Rear	7 ft. minimum	10 ft. in C-C; 5 ft. in R-2
Building Separation		0 ft.	8-16 ft. in C-C; 5 ft. in R-2
Parking	Automobile	46 spaces (2 tandem spaces per unit)	Maximum 0.5 spaces per dwelling unit
	Bicycle	23 spaces	Minimum requirements based on BMC
Open Space		R-2: 1352 SF – Provided (R-2: 3 Units @ 2,000 SF = 6,000 SF 150SF*6 = 900 SF - Required) C-C: 18 Units - 6,500 SF Required (200 SF X 18 Units = 3,600 SF Req'd)	200 SF/Unit in C-C; R-2: 150 SQ FT / 1000 Gross Residential Floor Area in R-2

According to BMC Section 23.304.090, dimensional standards and landscape standards for usable open space do not apply to commercial districts.

The project site abuts a residential district, so the provisions of the following two code sections apply: BMC 23.204.050(D)(2) and BMC 23.304.130(C): Non-Residential Districts Abutting a Residential District. The project meets these standards as follows:

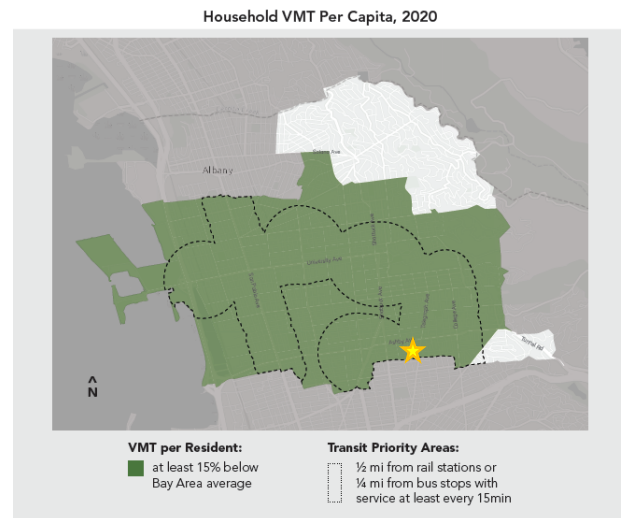
1. Display Window Orientation. No retail is proposed at the site.
2. Exterior Lighting. Exterior lighting will be shielded in a manner which avoids direct glare onto abutting lots in a Residential District.
3. Lot Line Screening. To provide screening, a solid fence, measuring 6 feet in height from existing grade, will be erected at the lot line of the abutting lots in a Residential District.
4. Exhaust Air Ducts. (a) Exhaust air ducts will be located or oriented to direct vented air flows away from a Residential District. (b) Exhaust air ducts will include equipment to mitigate odors.

### VMT Screening Criteria

According to the City of Berkeley's Vehicle Miles Traveled (VMT) Criteria and Thresholds document dated June 29, 2020, the proposed project is exempt from conducting a Transportation Impact Study. The City of Berkeley has VMT Screening criteria that exempts projects from the Transportation Impact Study requirement. This is because the project is expected to have a less-than-significant impact, so no study is necessary.

The project is located in a Transit Priority Area, meaning it is within ½ mile from rail stations or within ¼ miles of bus stops with service every 15 minutes or less. In addition, the proposed project site is in an area where

VMTs per resident is 15% below the average Bay Area resident. We anticipate that, given the proximity to public transit, groceries, amenities, and jobs, most future residents of the building will choose alternative modes of transportation instead of vehicle travel.



### COMMUNITY ENGAGEMENT

The project team held a community outreach meeting [via Zoom](#) on February 24<sup>th</sup>, 2026 at 5:00pm. The goal of the meeting was to share the proposed design and gather feedback from the neighborhood. The meeting was well attended and generated substantive discussion across a range of topics including design, landscaping, construction logistics, sustainability, and community benefit. The following summarizes the key topics discussed, concerns raised, and proposed responses. Overall, the reception was positive, with neighbors expressing appreciation for several key design choices.

#### Parking

Attendees responded positively to the project's parking provisions. Multiple participants expressed appreciation that all units include dedicated off-street parking spaces. One attendee inquired whether future residents would also have access to neighborhood parking permits, which the project team acknowledged as a question to be confirmed with the City.

#### Architectural Character

The existing church on the site generated significant interest and discussion. Several attendees asked whether the church structure is a designated landmark and expressed concern about its future. The project team shared that a historic resource evaluation determined that the church was not eligible as a national, state or local historic resource.

Beyond the historic question, there was broad community enthusiasm for incorporating the character of the church into the new design. Attendees specifically cited the bell tower as a beloved neighborhood feature and encouraged the design team to explore a tower element at the corner as an homage. One attendee suggested incorporating a public display of the history of the site as a potential community benefit. The design team noted that the proposed architecture already draws inspiration from the church and committed to further exploring these references.

### Color, Materials & Design Consistency

The community responded very favorably to the proposed color palette. Multiple attendees specifically requested that the building colors remain as presented, advising against the use of bright or contrasting colors. Attendees also requested that design details, including roofline elements such as the existing clay tiles, be carried through consistently across the project. One attendee pointed to Halcyon Avenue as a reference for design details worth considering.

### Landscaping & Tree Preservation

Tree preservation was a priority concern for multiple attendees. The community expressed a strong desire to retain as many of the site's existing mature trees as possible, including the Palm tree (T-2), the Mulberry tree (T-3), and the Redwood tree (T-17). The project team committed to evaluating the feasibility of retaining or relocating these trees as the design progresses.

### Pedestrian Safety & Streetscape

Attendees raised concerns about pedestrian safety at the Telegraph Avenue crosswalk adjacent to the site. Specific requests included:

1. Installation of a pedestrian-activated crossing signal (pushbutton) at the crosswalk on Telegraph at Prince Street.
2. Improvement of the crosswalk itself, including any widening of the adjacent sidewalk along Telegraph.

The project team acknowledged these concerns and noted that streetscape improvements would be evaluated in coordination with the City.

### Construction Logistics

Several attendees expressed concern about the impact of construction activity on the surrounding neighborhood, referencing the street closure that occurred during ArtHaus's prior project at Telegraph and Webster. Key requests included:

1. Avoiding closure of Prince Street during construction.
2. Routing heavy equipment access via Telegraph Avenue rather than through the residential neighborhood.
3. Minimizing impacts on Halcyon Park, which neighbors noted already experiences constrained parking.

The project team committed to prioritizing these considerations in the construction management planning process in coordination with the City.

### Sustainability

Attendees asked whether the buildings would be fully electric and whether solar panels were being considered. The project team confirmed that all-electric construction is the current direction and indicated that solar panel integration would be evaluated as part of the project's sustainability planning.

### Affordable Housing

One attendee asked why only one affordable unit was included in the project. The project team explained the applicable affordability requirements under the current entitlement framework and noted that the project is structured to comply with those requirements.

### Existing Preschool

Neighbors inquired about the future of the preschool currently operating on the site. The project team relayed that the preschool is anticipated to continue leasing the site until the project is ready for construction, at which point our understanding is the school intends to relocate to another Berkeley location. Attendees were encouraged to contact the preschool directly for further information.

### Community Benefit

Attendees expressed interest in community benefit opportunities associated with the project. Suggestions included:

1. A public installation or display commemorating the history of the church.
2. A potential contribution to Halcyon Park, such as improved playground surfacing in the swing area or a decomposed granite (DG) path.

### Attendees

Meeting attendees included the following community members and their email addresses. Home addresses were not requested as part of the Zoom registration process and no signatures were collected as the meeting was held virtually.

<u>Name</u>	<u>Email</u>
Bruce Wicinas	<a href="mailto:bwicinas@pacbell.net">bwicinas@pacbell.net</a>
Dorit Fromm	<a href="mailto:dorfro@gmail.com">dorfro@gmail.com</a>
Ardath Grant	<a href="mailto:ardgrant@yahoo.com">ardgrant@yahoo.com</a>
Ann Strong	<a href="mailto:astrong93@gmail.com">astrong93@gmail.com</a>
Nancy Carleton	<a href="mailto:nancy94705@gmail.com">nancy94705@gmail.com</a>
Devra Nelson	<a href="mailto:devranelson@gmail.com">devranelson@gmail.com</a>
Don Mullen	<a href="mailto:don.r.mullen@att.net">don.r.mullen@att.net</a>
Denise Zmekhol	<a href="mailto:denise@zdfilms.com">denise@zdfilms.com</a>
Jay M	<a href="mailto:jaymig@gmail.com">jaymig@gmail.com</a>
Tran Woodcock	<a href="mailto:jwoodcock@berkeley.edu">jwoodcock@berkeley.edu</a>
Heather Zulim	<a href="mailto:heatherzulim@gmail.com">heatherzulim@gmail.com</a>
Matt	<a href="mailto:mkhoriuchi@gmail.com">mkhoriuchi@gmail.com</a>
Ramon Quintero	<a href="mailto:ramonqtwo@gmail.com">ramonqtwo@gmail.com</a>
Carol Levine	<a href="mailto:collaborationz@yahoo.com">collaborationz@yahoo.com</a>
Steven	<a href="mailto:stevenmb@gmail.com">stevenmb@gmail.com</a>
Jeff Nelson	<a href="mailto:jeffrnels@hotmail.com">jeffrnels@hotmail.com</a>
Carol Levine	<a href="mailto:collaborationz@yahoo.com">collaborationz@yahoo.com</a>
Noriko Nishizawa	<a href="mailto:nnishizawa@pacbell.net">nnishizawa@pacbell.net</a>

Several attendees, and one community member who could not make the meeting, and the local neighborhood association have requested follow-up meetings. The project sponsor has already begun following up with these community members.

#### **USE PERMIT REQUESTS**

The project requires several use permits including:

- Use Permit, under BMC Section 23.326.070, to demolish main buildings used for non-residential purposes;
- Use Permit, Under BMC Section 23.304.030(C)(2)(b) to reduce setbacks in a Commercial District abutting a lot in the Residential District
- Use Permit, Under BMC Section 23.204.050(D)(3), to allow for reductions in the setbacks and building separation standards for Residential-Only Uses (as detailed in Table 23.204-9)
- Use Permit, Under BMC Section 23.204.050(D)(3), to allow for increases in the lot coverage for Residential-Only Uses (as detailed in Table 23.204-10)

## REQUIRED FINDINGS

The project is designed as a Housing Development Project and is only subject to objective zoning standards and findings. To the extent that required findings are objective, they are specified below. Use permit findings that include subjective regulations cannot be enforced, according to the City's August 2, 2021 Memo re: *Housing Accountability Act & Density Bonus – Objective Standards*.<sup>1</sup>

### **BMC Section 23.326.070 Demolitions of Non-Residential Buildings**

*D. Findings. A Use Permit or an AUP for demolition of a non-residential building or structure may be approved only if the ZAB or the Zoning Officer finds that:*

- 1. The demolition will not be materially detrimental to the commercial needs and public interest of any affected neighborhood or the City of Berkeley; and*
- 2. The demolition:*
  - (a) Is required to allow a proposed new building or other proposed new use;*
  - (b) Will remove a building which is unusable for activities which are compatible with the purposes of the district in which it is located or, which is infeasible to modify for such uses;*
  - (c) Will remove a structure which represents an inhabitable attractive nuisance to the public; or*
  - (d) Is required for the furtherance of specific plans or projects sponsored by the City of Berkeley or other local district or authority upon a demonstration that it is infeasible to obtain prior or concurrent approval for the new construction or new use which is contemplated by such specific plans or projects and that adhering to such a requirement would threaten the viability of the plan or project.*

Response: The demolition is required to allow the proposed new project to be built, item (a). The demolition will not be materially detrimental to the needs and public interest of the neighborhood or City. The proposed project will include 23 new homes designed to fit within the existing neighborhood fabric.

### **BMC Section 23.204.050(D)(3), to allow for reductions in the setbacks and building separation standards for Residential-Only Uses (as detailed in Table 23.204.09) and BMC Section 23.204.050(D)(3), to allow for increases in the lot coverage for Residential-Only Uses (as detailed in Table 23.204-10)**

*Modification to Standards--Mixed-Use Open Space and Residential-Only Projects.*

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<sup>1</sup> As noted in the City's August 2, 2021 Memo re: *Housing Accountability Act & Density Bonus – Objective Standards*: "the Zoning Officer, ZAB, DRC and LPC should refrain from applying subjective findings (e.g., non-detriment) to any application to construct a qualifying housing development project (including remodeling or reconfiguration of housing) if that project satisfies objective standards for permit issuance, unless specific findings for denial under the Housing Accountability Act can be made. While decision-makers retain discretion in the overall land use and design review process, i.e., whether the use is properly located or the building and site improvements are compatibly designed, the ultimate decision on density and development intensity is protected by the HAA."

- (a) *The ZAB may modify the following standards with a Use Permit:*
- i. Minimum usable open space for mixed use projects shown in Table 23.204-8.*
  - ii. Any standard for residential-only projects in Table 23.204-9 and Table 23.204-10.*
- (b) *To approve the modification, the ZAB must find that the modification achieves one or more of the following:*
- i. Encourages use of the ground floor for commercial purposes where appropriate.*
  - ii. Encourages utilization of public transit and existing off-street parking facilities in the area of the proposed building.*
  - iii. Facilitates the construction of residential or tourist hotel uses where appropriate.*
  - iv. Permits consistency with the building setbacks existing in the immediate area where a residential building setback would not serve a useful purpose.*

This is not an objective finding. The project is designed as a "Housing Development Project" and is only subject to objective zoning standards and findings. Use permit findings that include subjective regulations cannot be enforced to deny or reduce the density of the project, according to the City of Berkeley's August 2, 2021, Memo regarding the *Housing Accountability Act & Density Bonus – Objective Standards*.

However, for informational purposes and to demonstrate the project's alignment with the neighborhood's goals, the project meets these criteria as follows:

1. Is compatible with the purpose of the district;

*For informational purposes:* The project is highly compatible with the purpose of the Commercial Core (C-C) district, which aims to support high-density, transit-oriented development along major commercial corridors. By replacing an underutilized property (currently a church, preschool, and vacant building) with 23 high-quality residential units, the project brings a built-in residential base to support the existing shops, restaurants, and services along Telegraph Avenue. Furthermore, by providing a Below-Market Rate unit for a Very Low-Income household, the project directly supports the City's housing and affordability goals for transit-rich districts.

2. Is compatible with the surrounding uses and buildings;

*For informational purposes:* The project has been carefully designed to bridge the Commercial Core (C-C) and Restricted Two-Family Residential (R-2) split zoning of the site. Conceived as a "neighborhood within a neighborhood," the project utilizes a "small lot" subdivision model consisting of three distinct building masses that step back from the commercial corridor into the residential neighborhood. The Modern Spanish Revival architecture pays homage to the site's existing church history, utilizing high-quality stucco, tile roofs, and traditional wood trellises. Furthermore, the inclusion of a pedestrian-friendly *woonerf* and paths connecting to Prince Street ensures a quiet, residential-scale transition that respects the privacy and scale of the surrounding homes.

3. Does not interfere with the continuity of retail and service facilities at the ground level; and

*For informational purposes:* The existing site is occupied by a preschool, a church, and an unused building, meaning there is currently no active retail or service continuity to disrupt on this specific parcel. While the proposed project is 100% residential, it enhances the viability of the surrounding C-C district retail by introducing 23 new households within walking distance of existing commercial storefronts on Telegraph Avenue.

4. Does not exceed the amount and intensity of use that can be served by the available traffic capacity and potential parking supply.

*For informational purposes:* The project is intentionally designed to minimize impacts on local traffic and neighborhood parking. Despite being located on a transit-rich corridor, the project provides an ample off-street parking supply of 46 enclosed vehicle spaces (2 tandem spaces per unit) located entirely within private garages. This robust parking ratio ensures that the development will not strain the potential parking supply of the neighborhood. Additionally, the project supports alternative modes of transportation by providing 23 secure bicycle parking spaces (minimum 1 per garage) and pedestrian access paths, ensuring the intensity of use is well within the capacity of the area's existing transit and traffic infrastructure

**BMC Section 23.304.030(C)(2)(b) to reduce setbacks in a Commercial District abutting a lot in the Residential District**

*Modifications in Commercial Districts. For lots in a Commercial District that abut or confront one or more lots in a Residential District, the Zoning Adjustments Board (ZAB) may approve a Use Permit to allow setbacks smaller than required in Table 23.304-3 upon finding that the reduced setback would provide greater privacy or improved amenities to a lot in the Residential District.*

Response: This is not an objective finding. The project is designed as a Housing Development Project and is only subject to objective zoning standards and findings. Use permit findings that include subjective regulations cannot be enforced, according to the City's August 2, 2021, Memo re: Housing Accountability Act & Density Bonus – Objective Standards. This finding is not an objective requirement. *For informational purposes,* note that the building still provides a minimum 5-foot setback around the entirety of the site and specifically at the rear/west frontage to provide building separation to the abutting residential lots to the west.

**PROJECT TEAM**

Developer/Applicant: ArtHaus Partners

Architect: Left Coast Architects

Landscape Architect: Jett Landscape Architecture + Design

Civil Engineering: Carlson, Barbee & Gibson, Inc.