



Zoning Adjustments Board Staff Report

APP # ZP2021-0215

September 10, 2026

Public Comment on Draft Environmental Impact Report for the Solid Waste and Recycling Transfer Station Replacement Project (1201 Second Street)



Quick Facts	Project Description:
Applicant: City of Berkeley Public Works Department, Zero Waste Division, 1201 Second Street, Berkeley, CA 94710 Project Address: • 1203 Second Street • 1199-1231 Second Street • 669 Gilman Street • 1101 Second Street (60-2382-1-2) • 1101 Second Street (60-2382-3-3) • No Address (Target Ownership) Site Size: 325,820 sq.ft. (7.48 acres) GP Land Use: M - Manufacturing Zoning: M- Manufacturing	Public comment period for the Draft Environmental Impact Report (EIR) and Project Preview for Use Permit #ZP2021-0215 to demolish the existing City of Berkeley Solid Waste Transfer Station and Materials Recovery Facility (MRF), including 15 non-residential main buildings/structures, accessory structures, and equipment; and construct and install buildings, structures, and equipment for a new solid waste transfer station and MRF. The project consists of two main building clusters with accessory structures, totaling approximately 114,380 square feet of gross floor area, approximately 195,500 square feet of unenclosed and paved area, and approximately 31,900 square feet of landscaped area.
	Zoning Permits Requested:
	A Use Permit Public Hearing is required for the following permits: 1. Demolition. BMC Section 23.326.070(A) “Main Non-Residential Building” to demolish non-residential buildings. 2. New Construction. BMC Section 23.206.030(A) “New Floor Area” to create new floor area of 40,000 square feet or more. 3. New Use. BMC Section 23.206.020(B) “Unlisted Land Uses” Administrative Use Permit to construct a Material Recovery Enterprise.



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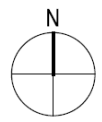
CEQA: Environmental Impact Report (EIR). Draft EIR Comment Period – August 3, 2026 to 5:00pm on September 17, 2026 Date Submitted: December 21, 2021 Date Deemed Complete: March 12, 2026 Project Planners: Sharon Gong, Principal Planner, and Vicky Schlepp, Associate Planner	4. New Use. BMC Section 23.206.020(A) “Allowed Land Uses” Administrative Use Permit to construct a Recycling Materials Processing facility that is more than 20,000 square feet and less than 40,000 square feet. 5. Parking. BMC 23.322.080(F)(2) “Placement-Non-Residential Districts. Corner Lots” Use Permit to allow the parking within 20 feet of the street frontage facing the secondary street. Staff Recommendation: Staff recommends that the ZAB hold a public hearing to: 1) Provide interested parties, public agencies, and members of the public with an opportunity to comment on the scope and content of the Draft EIR (comments should focus on the scope and content of the environmental information of the Draft EIR for the project; all comments on environmental issues received during the public comment period will be considered when preparing the Final EIR); 2) Provide advisory comments and direction regarding project design and compatibility with the neighborhood; 3) Provide advisory comments regarding additional issues and analysis the next staff report should address.
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ZONING MAP



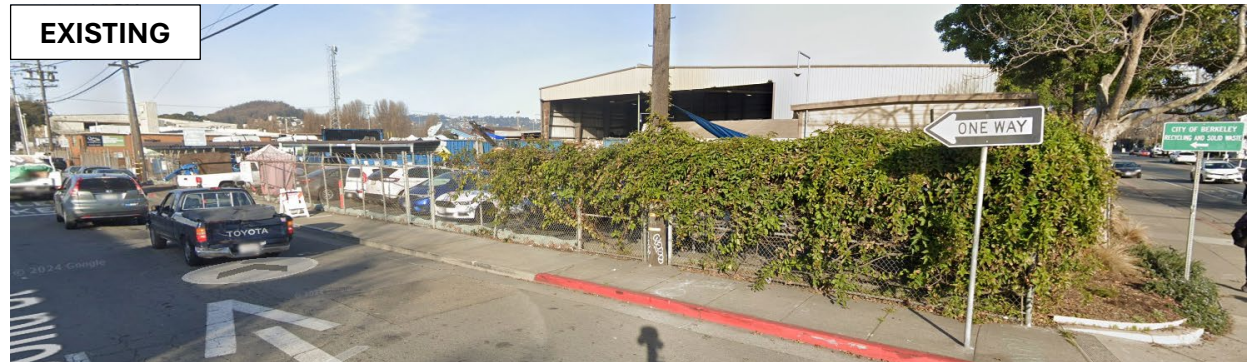
Comparison of Adjacent Properties			
Vicinity	GP Land Use	Zoning	Current Use
North	n/a	n/a	Retail (City of Albany)
South	M: Manufacturing	M-RD: Manufacturing, Research and Development	Vacant (former Pacific Steel Casting) / Office
East	n/a	n/a	Railroad tracks
East	OS,M: Open Space, Manufacturing	MU-LI, M: Mixed-Use, Light Industrial, Manufacturing	Harrison Park / Industrial / Manufacturing
West	M: Manufacturing	M: Manufacturing	Public Storage / Auto Repair / Industrial / Gilman Street Interchange Improvement Project

AERIAL



STREET ELEVATION (Second Street)

See Attachment 4: Solar Photo Simulations



View from the intersection of Gilman and Second Streets looking northeast toward the project site.



Proposed Scale Entry (view to northeast)

BACKGROUND

Subject Site

The project site is located within the Manufacturing District (M), in the West Berkeley Area Plan. The neighborhood surrounding the site is mostly occupied by one- and two-story industrial buildings containing uses such as manufacturing, auto repair, warehouse, car rental, or offices. Exceptions to this general fabric of uses are: self-storage buildings up to four-stories in height and a City Landmark, Berkeley Municipal Incinerator to the west of the site; vacant buildings formerly occupied by Pacific Steel Casting to the south in the M-RD, Manufacturing – Research and Development District; artist studios and art galleries in the City Landmark sites formerly occupied by California Ink Company to the southeast; on the other side of the railroad tracks to the east is Harrison Park (Gabe Catalfo Fields) and Berkeley Skatepark; and to the north is the Albany Target store, on the other side of Cordonices Creek and the City border with the City of Albany.

Most of the site is within a transit priority area (TPA). A TPA is defined in California Public Resources Code Section 21099 as an area within 0.5 miles of a major transit stop that is existing or planned. The project site is served by one bus line that operates four blocks east on Gilman Street which serves as the end stop of Alameda County (AC) Transit Line 12. San Pablo Avenue is 0.5 miles away and has multiple bus lines of which Line 52 goes to the North Berkeley BART station which is almost two miles southeast of the site. Line 12, the closest bus line, stops at Ashby BART station, nearly four miles away to the southeast. Gilman Street is also a bike way.

The I-80 Eastshore freeway is located one block to the west. The area along Gilman Street recently underwent a major redesign to improve circulation; the I-80 Gilman Interchange Improvement Project was completed in April 2025.¹

Site History

The project site consists of six parcels, covering 7.48 acres of land. The five City-owned parcels are developed with the City of Berkeley Transfer Station facility (which has been in operation since 1982), the materials recovery facility, and the Trillium Incorporated, Compressed Natural Gas fueling station (operated independently of the City facilities). The existing Transfer Station facility consists of approximately 71,760 square feet of gross floor area in fifteen buildings and accessory structures, including: the transfer station and tipping floor building, vehicle maintenance facility, truck wash building, two administrative buildings, Ecology Center Administrative Office, Community Conservation Center Administrative/Buyback office, storage/bin repair, scale house, and associated equipment. Existing buildings and structures measure up to 36 feet and two stories in height. The sixth parcel is currently owned by Target Corporation.

A 60-foot-wide land area (approximately 15,660 square feet) that was formerly a portion of Harrison Street was vacated by the City in 1957, divided in two portions, and added to the abutting parcels. A 10-foot-wide sewer/storm drain/utilities easement traverses the north side

¹ The project included two roundabouts, and new pedestrian and bicycle pathway and freeway overcrossing to improve safety and traffic operations in the area.

of the vacated area.² The north terminus of Second Street abuts Cordornices Creek and serves as one of the driveway entries to the Public Storage facility on the parcel abutting the road to the west.

On June 15, 1981, the City of Berkeley Zoning Adjustments Board granted Use Permit #9755 to establish/operate a recycling center and to move a building onto the site for office use – “Community Conservation Centers”.

On December 14, 1981, the City of Berkeley Zoning Adjustments Board granted Use Permit #10038 to operate a recycling center – “Ecology Center”.

On July 23, 2020, the City of Berkeley Zoning Adjustments Board approved Use Permit Modification No. ZP2019-0077 and adopted an associated Initial Study/Negative Declaration (IS/ND) (State Clearinghouse [SCH] No. 2020060134 to increase the tonnage at the facility from 560 to 620 tons per day. The Use Permit also expanded operating hours but did not change the availability hours for general public access to the existing solid waste transfer station.

The City filed a Solid Waste Facility Permit (SWFP) application with the California Department of Resources Recycling and Recovery (CalRecycle) on January 11, 2021, to increase capacity at the existing solid waste transfer station to 620 tons per day and change the hours of operation. CalRecycle approved the SWFP on July 2, 2021.

The solid waste transfer station currently receives an average of 400-plus customers per day, and is permitted to receive 620 tons per day of materials, including refuse, green waste or plant debris and food waste, construction and demolition materials, and miscellaneous recyclable materials from the public. The MRF currently accepts approximately 45 tons of recyclable material per day.

Project Background

The proposed Solid Waste & Recycling Transfer Station (SWRTS) project is in the entitlement stage. In February 2019, the applicant, the City’s Public Works Department, Zero Waste Division (ZWD), completed a Site Conditions Review and Assessment of all existing buildings and above ground infrastructure and reviewed current operations for improvement recommendations. Nine public meetings/workshops were held between November 2018 to May 2019. The SWRTS Feasibility Study, completed in October 2019, described two conceptual schemes for the City’s consideration – Concept A (a one-building design) and Concept B (a two-building design). The applicant is developing Concept B, the two-building design, to bring forward to entitlements.

The Use Permit Application was submitted on December 21, 2021. A Notice of Preparation of an EIR was published to start the public EIR scoping period, which was open from August 31, 2023 to September 30, 2023. A public EIR Scoping and project preview meeting was held before the ZAB on September 14, 2023. The project was deemed complete on March 12, 2026.

Notice of Availability (NOA) of a Draft EIR was published on August 3, 2026 to open a 45-day

² Per Ordinance #3601 N.S., ordering the vacation of the portion of Harrison Street, pertaining to the sewer, storm drain, and public utility easement, no buildings or excavation shall occur on any part of the easement, or subsurface structures made within two feet of the easement, except with the consent of the City through a Council Resolution.

public comment period which ends at 5:00 pm on September 17, 2026. The project is scheduled for a demolition referral meeting before the Landmarks Preservation Commission on September 3, 2026 and tentatively scheduled for Preliminary Design Review before the Design Review Committee on November 19, 2026. The project is anticipated to return to the ZAB for a decision hearing in the first quarter of 2027.

ANALYSIS

Project Scope

The proposed project would involve the replacement of the existing solid waste transfer station with a proposed facility that is designed to enhance recycling and solid waste operations, address on-site traffic flow, serve existing and future needs of the local community, and replace outdated buildings. All existing buildings, concrete foundations, and other paved surfaces would be demolished and removed from the project site.

Parcel Merge. As part of the entitlement process, the proposed project would apply for a lot line adjustment and the six parcels would be merged into one parcel to create a 7.48-acre project site. The applicant intends to purchase the parcel from Target prior to the parcel merge. The use permit would include a Condition of Approval requiring proof of ownership of APN 60-2382-3-1 (Target-owned) prior to issuance of any building permits.

Demolition and Site Design. The proposed project would demolish the existing solid waste transfer station and Materials Recovery Facility (MRF) on the project site, including buildings, accessory structures, equipment, and paving; and construct new buildings, accessory structures, equipment, and paving for a new solid waste transfer station facility and MRF. The existing Codornices Creek landscaping (approximately 7,700 square feet) to the north of the existing fence would remain.

The project proposes a two-building design with the transfer station building, truck scalehouse facility, and vehicle maintenance facility on the north half of the site, and the Materials Recovery Facility (MRF) building, city administrative offices, and public buyback and recycling drop-off area on the south half of the site. Truck and trailer parking would be in the center of the site, between the two main function areas. Bin repair and storage areas would be west of the truck parking area, along the western property line. Also concentrated along the western property line are parking areas for the public and facility employees. The main truck entry would be at the northwest corner of the project site. (See Site Plan).

Approximately 11,710 square feet of the north terminus of Second Street (at Codornices Creek) would be repaved and developed as the main truck entry, while maintaining public access to the driveway of the adjacent property to the west (currently Public Storage), and relocating the public vehicle turnaround area to the south of its existing location. This portion of Second Street would remain as public right-of-way and would be an off-site improvement that would require an encroachment permit from the Public Works Department.

The proposed SWRTS facility would include the following programmatic elements:

- Public Buyback and Drop-off Center
- Walk-in Service

- Information Kiosk
- Education Center
- Materials Recovery Facility
- Bin Repair
- Process Equipment
- Transfer Station:
 - Bulky Item Drop-off Area
 - Salvage Items
 - Loadout/Transfer Areas
 - Main Public Entry and Scale Facility
 - Vehicle Maintenance, Truck Wash, and Truck Parking
- Administrative/Employee Support Areas
- Contractors
- City Administrative Offices

The following table lists the main built components that would accommodate the programmatic elements, and their gross floor area:

Project Main Components

Component	Height (stories/feet)	Gross Area (square feet)
Transfer Station	1	45,500
Materials Recovery Facility (MRF)	1	35,000
Vehicle Maintenance Building	2	14,000
Truck Wash Building	1	1,900
Information Kiosk	1	120
Scalehouse Facility	1	160
Administration Buildings (Office)	3	17,700
Total Enclosed Building Area	n/a	114,380

Component	On-site Area (square feet)	Off-site Area (square feet)
Public Buyback Area	1,680	-
Free Recycle Drop-off Area (canopied)	4,140	-
Bin Repair (canopied)	3,500	-
Vehicle Paving (includes parking areas and circulation)	167,200	9,800
Other Paving (includes pedestrian walkways, loading docks, bin repair and storage, fuel islands, and scale house median)	18,980	6,700
Total Unenclosed Structure and Paved Area	195,500	16,500
Transitional Creek Landscape (south of the fence)	9,200	4,900
Creek Landscape (to remain, north of the fence)	7,700	-
Ornamental Landscape	15,000	100
Total Landscaped Area	31,900	5,000

Community Discussion

Around the time of application submittal to the City on December 21, 2021, the applicant installed yellow Proposed Development Project signs at the project site. Public comments on the project were received prior to today's meeting as follows:

- As described previously, nine public meetings/workshops were held between November 2018 to May 2019 to obtain feedback on the project concept. Public comments had direct bearing on the project programming and design.
- On September 14, 2023, the project went to the Zoning Adjustments Board (ZAB) for a public scoping session for the Environmental Impact Report (EIR) and project preview of the Use Permit to inform and solicit comments from the community, public agencies, and the ZAB. Comments were received addressing several topics, including modernizing Berkeley's Transfer Station, advancing the City's Zero Waste goals, reduce landfill disposal, tribal consultation, and infrastructure. These comments are included in the DEIR under Appendix A: NOP and Draft EIR Public Comment Letters. Two letters were received after the comment period and were included in the DEIR (Jim McGrath and the Law Office of John Douglas Moore).

Environmental Review

CEQA Approach: The project site is located within the City's Environmental Management Area and is listed on the State's Cortese List. The Phase I submitted by applicant found eight Recognized Environmental Conditions at the site, as well as several hazardous conditions which warranted mention. The City determined that the appropriate level of CEQA review for the project would be an EIR.

The Draft EIR provides a project-level analysis of the environmental effects of the proposed project. The environmental impacts of the proposed project are analyzed in the Draft EIR to the degree of specificity appropriate, in accordance with CEQA Guidelines Section 15146. This document addresses the potentially significant adverse environmental impacts that may be associated with the planning, construction, or operation of the proposed project. It also identifies appropriate and feasible mitigation measures and alternatives that may be adopted to significantly reduce or avoid these impacts.

Notice of Preparation of an EIR and Scoping Session: The City sent a Notice of Preparation (NOP) to responsible and trustee agencies and interested entities and individuals on August 31, 2023, thus beginning the formal CEQA scoping process. The purpose of the scoping process was to allow the public and government agencies to provide input on the scope of the EIR. The scoping period began on August 31, 2023, and ended on September 30, 2023, representing the statutory 30-day public review period. Five comment letters were received in response to the NOP during the public review period. Two comments were received after the close of the 30-day public scoping period, which ended on September 30, 2023, which the City also accepted.

The City held a public scoping meeting on September 14, 2023 via a videoconference platform and in-person. At the meeting, attendees were given an opportunity to provide comments and express concerns about the potential effects of the proposed project; one public comment and three comments from zoning adjustment board members related to the EIR were made during the public scoping meeting. The NOP, all received comment letters, and comments collected during the public scoping meeting are provided in Appendix A of the Draft EIR.

Draft Environmental Impact Report (DEIR):

A. Potentially Significant Impacts. The Draft Environmental Impact Report (DEIR) evaluated potentially significant environmental impacts to the following environmental topic areas:

1. **Aesthetics.** The proposed project would have no impacts on a scenic vista and would not substantially damage scenic resources within a State Scenic Highway. The proposed project would not conflict with applicable zoning and other regulations governing scenic quality and impact would be less than significant. The proposed project would not create a new source of substantial light or glare which would adversely affect day or nighttime views in the area and impact would be less than significant and no mitigation is required.
2. **Air Quality.** The proposed project could conflict with or obstruct implementation of the applicable air quality plan, result in a cumulatively considerable net increase in criteria pollutants for which the region is in nonattainment, or expose sensitive receptors to substantial pollutant concentrations. Impacts would be reduced to less than significant with implementation of mitigation measures MM AIR-2 and MM AIR-3, which require implementation of Bay Area Air District construction best management practices to control fugitive dust and other construction emissions and require off-road construction equipment with engines greater than 50 horsepower to meet California Air Resources Board Tier 4 Final emission standards.
3. **Biological Resources.** The proposed project could adversely affect candidate,

sensitive, or special-status species; adversely affect riparian habitat or another sensitive natural community; interfere with the movement of native resident or migratory wildlife or the use of wildlife nursery sites; or conflict with local policies or ordinances protecting biological resources. Impacts would be reduced to less than significant with implementation of mitigation measures MM BIO-1a, MM BIO-1b, MM BIO-2a, MM BIO-2b, and MM BIO-5, which require nesting-bird and roosting-bat surveys and avoidance measures, construction and post-construction stormwater controls, protection of the Codornices Creek riparian corridor during construction, biological monitoring, and implementation of tree-preservation guidelines under the supervision of a City-approved arborist.

4. **Cultural Resources.** The proposed project could cause a substantial adverse change in the significance of an archaeological resource or disturb human remains, including remains interred outside a formal cemetery. Impacts would be reduced to less than significant with implementation of mitigation measures MM CUL-1 and MM CUL-3, which require preparation of a Cultural Resources Monitoring Plan in cooperation with culturally affiliated Tribes, cultural-resources training for construction personnel, procedures for identifying and appropriately treating archaeological materials encountered during construction, suspension of work following the discovery of human remains, notification of the County Coroner and Native American Heritage Commission when applicable, consultation with the most likely descendant, and dignified treatment or reburial of remains and associated grave goods.
5. **Energy.** The proposed project would not result in wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation; and it would not conflict with or obstruct a State or local plan for renewable energy or energy efficiency. Impacts would be less than significant and no mitigation is required.
6. **Geology and Soils.** The proposed project could expose people or structures to substantial adverse effects associated with seismic hazards; result in substantial soil erosion or loss of topsoil; be located on unstable or expansive soil; or result in landslide, lateral spreading, subsidence, liquefaction, or collapse. The project could also directly or indirectly destroy a unique paleontological resource, paleontological site, or unique geologic feature. Impacts would be reduced to less than significant with implementation of mitigation measures MM GEO-1 and MM GEO-6, which require preparation and implementation of a design-level geotechnical investigation, incorporation of site-specific grading and foundation recommendations into final project plans, geotechnical monitoring during construction, paleontological monitoring during qualifying excavations, suspension of work following a fossil discovery, evaluation by a qualified paleontologist, recovery of significant fossils where avoidance is infeasible, and placement of recovered fossils in an appropriate repository.
7. **Greenhouse Gas Emissions.** The proposed project could generate greenhouse gas emissions, either directly or indirectly, that may have a significant effect on the environment. Impacts would be reduced to less than significant with implementation of mitigation measure MM GHG-1, which requires at least 15 percent of the construction

fleet used during each project phase to be alternatively fueled or electric and at least 10 percent of building materials used during construction to be obtained from local suppliers.

8. **Hazards and Hazardous Materials.** The proposed project could create a significant hazard to the public or environment through reasonably foreseeable upset or accident conditions involving the release of hazardous materials. Because the project site is included on a hazardous-materials-site list, redevelopment could also create a significant hazard to the public or environment. Impacts would be reduced to less than significant with implementation of mitigation measures MM HAZ-2a and MM HAZ-2b, which require pre-demolition surveys for asbestos-containing materials, lead-based paint, polychlorinated biphenyls, and other regulated hazardous materials; stabilization, removal, or remediation of identified hazardous materials; sub-slab vapor and soil-gas sampling at potential vapor-encroachment and future occupiable-building locations; and additional investigation, remediation, or vapor mitigation if hazardous compounds are detected at concentrations requiring regulatory action.
9. **Hydrology and Water Quality.** The proposed project could violate water-quality standards or waste-discharge requirements, substantially degrade surface-water or groundwater quality, or alter existing drainage patterns in a manner that could cause erosion, flooding, exceedance of storm-drain capacity, polluted runoff, or redirection of flood flows. Impacts would be reduced to less than significant with implementation of mitigation measures MM HAZ-2b, MM HYD-1, MM HYD-3a, and MM HYD-3b, which require soil-gas and vapor investigation; prohibit stormwater infiltration where it could mobilize existing contamination; require underdrains to convey treated stormwater to the existing storm-drain system; require a hydrologic study demonstrating no increase in peak flows during the 5-, 15-, 25-, and 100-year storm events; and require the final stormwater plan to maintain the existing distribution of runoff between the Codornices Creek and Gilman Street watersheds or provide additional detention or drainage modifications.
10. **Land Use.** The proposed project would not physically divide an established community and would not conflict with a land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect. Impacts would be less than significant and no mitigation is required.
11. **Noise.** The proposed project could generate a substantial temporary increase in ambient noise levels during construction in excess of applicable standards. Impacts would be reduced to less than significant with implementation of mitigation measure MM NOI-1, which requires well-maintained and properly muffled construction equipment, use of quieter equipment where feasible, strategic placement and acoustic shielding of stationary noise sources, restrictions on unnecessary equipment idling, routing of construction traffic away from sensitive receptors where feasible, limitations on demolition and other high-noise construction activities, or installation of an at least 8-foot-high temporary sound wall along the eastern project boundary during the loudest construction phases.

12. **Public Services.** The proposed project would not require new or physically altered governmental facilities for fire protection, police protection, schools, parks, and libraries or other facilities. Impacts would be less than significant and no mitigation is required.
13. **Transportation.** The proposed project could conflict with a program, plan, ordinance, or policy addressing the circulation system, including transit, roadway, bicycle, and pedestrian facilities; substantially increase hazards due to a geometric design feature or incompatible use; or result in inadequate emergency access. Impacts would be reduced to less than significant with implementation of mitigation measures MM TRANS-1, MM TRANS-3a, and MM TRANS-3b, which require preparation and implementation of a Construction Transportation Plan, maintenance of safe vehicle and pedestrian access, construction traffic-control measures, scheduling of major truck trips outside peak travel periods, designation of haul routes, provision of construction-worker parking or shuttle service, installation of red curb near specified driveways, City review of driveway sight distances, and installation of stop signs, stop bars, and associated pavement markings where needed.
14. **Tribal Cultural Resources.** The proposed project could cause a substantial adverse change in the significance of a Tribal Cultural Resource listed or eligible for listing in the California Register of Historical Resources or a local register, or a Tribal Cultural Resource determined by the lead agency to be significant pursuant to Public Resources Code Section 5024.1. Impacts would be reduced to less than significant with implementation of mitigation measures MM CUL-1, MM TCR-1, MM TCR-2, and MM TCR-3, which require preparation of a Cultural Resources Monitoring Plan, retention of a culturally affiliated Tribal Monitor during ground-disturbing activities, authority for the monitor to halt or redirect work, suspension of work within 100 feet of an unanticipated discovery, Tribal consultation and preparation of an appropriate treatment plan, and established procedures for the confidential and dignified treatment and reburial of Native American human remains and associated funerary objects.
15. **Utilities and Service Systems.** The proposed project could require or result in the relocation or construction of new or expanded stormwater-drainage or other utility facilities, the construction or relocation of which could cause significant environmental effects. Impacts would be reduced to less than significant with implementation of mitigation measures MM HYD-3a and MM HYD-3b, which require hydrologic analysis demonstrating that the project would not increase peak stormwater flows during the 5-, 15-, 25-, and 100-year storm events and require additional detention, reductions in impervious surfaces, drainage modifications, or reallocation of flows if necessary to prevent increased peak flows within the Codornices Creek and Gilman Street watersheds.

B. Less-than-Significant or No Impacts. CEQA allows a lead agency to limit the detail of discussion of environmental effects that are not considered potentially significant (PRC Section 21100, CCE Sections 15126.2[a] and 15128). CEQA requires that the discussion of any significant effect on the environment be limited to substantial, or potentially

substantial, adverse changes in physical conditions that exist within the affected area, as defined in PRC Section 21060.5 (statutory definitions of “environment”). Environmental issue areas with no impact or less than significant impacts, and that are scoped out of the EIR include:

- Agriculture and Forestry Resources
- Mineral Resources
- Population and Housing
- Recreation
- Wildfire

C. Project Alternatives. The CEQA Guidelines require analysis of a reasonable range of alternatives to the project, and these alternatives should avoid, or substantially lessen, any of the significant effects of the project and should attain most of the project’s basic objectives, when feasible. The range of alternatives required in an EIR is governed by a “rule of reason” that requires the EIR to set forth only those alternatives necessary to permit a reasoned choice. The Draft EIR analyzed the following two alternatives:

1. **Alternative 1:** No Project, No Development Alternative. Consistent with Section 15126.6(e)(2) of the CEQA Guidelines, under the No Project, No Development Alternative, the existing solid waste and recycling center would not be redeveloped. Under this alternative, all buildings and paving on-site would remain and the existing facility would remain in operation under current conditions. The proposed off-site improvements would not occur, no transitional creek landscaping would be planted, and no pervious pedestrian access path (referred to herein as Creek Walk) would be constructed.

2. **Alternative 2:** One Building Alternative. This alternative would provide a singular large structure that would consolidate the functions of the existing Materials Recovery Facility (MRF), transfer station building, and equipment maintenance facility at the southern portion of the project site and would locate truck parking and circulation areas at the northern portion of the project site. This alternative would incorporate a transfer station building, dual-stream recyclables’ off-loading, sorting and baling area, and administrative offices. The proposed facility would include electric vehicle (EV) charging infrastructure and solar panels, would be Leadership in Energy and Environmental Design (LEED®) certified, and, similar to the proposed project, would also feature the Creek Walk. This alternative would provide a creek buffer in order to protect the adjacent Codornices Creek.

In addition, the Draft EIR listed the following alternatives considered but rejected from further consideration:

1. Alternative location. No potential alternative locations were identified that could satisfy the criteria listed in CEQA Guidelines Section 15126.6(f)(1) given the parameters necessary for this type of facility. Moreover, given the project's urban, industrial setting and the nature of its impacts, a comparable alternative site would likely result in similar environmental effects, while locating the project outside an

infill industrial area could increase impacts related to biological resources, cultural resources, transportation, land use, air quality, noise, infrastructure needs, and sensitive receptors.

2. Alternative Manufacturing Use. This alternative was rejected because it would result in the loss of the City's existing transfer station and MRF, which are vital public facilities within the City of Berkeley. This would result in severe disruption to this existing service and existing commercial and public users would have to travel to further away facilities, which would result in an increase in vehicle miles traveled, among other potential environmental impacts. In addition, this alternative may result in other significant unavoidable environmental issues, such as air quality and noise impacts associated with manufacturing.
3. Alternative Configuration. As part of the public outreach conducted during the initial design process, more than a dozen iterations that were not viable for technical reasons, including inability to maintain operations during construction, inefficient circulation, limited capacity, and/or significant cost impacts were rejected.
4. Reduced Density Alternative. This two-building alternative would provide for additional transitional creek landscaping and would widen the Codornices Creek channel at the northern end of the site by removing material. This alternative could result in greater impacts because a facility with reduced density would not be able to process as much solid waste as the proposed project. As such, less solid waste would be diverted from landfills, thus not meeting the project objective to develop a facility that provides a maximum amount of space for the separation of materials, resulting in maximization of recovery and diversion of reusable and recyclable materials that would otherwise be transported to the landfill. Furthermore, it would have greater impacts related to solid waste.

Other than the No Project Alternative, the proposed project would be considered as the environmentally superior alternative because it would result in lesser impacts related to utilities and service systems compared to Alternative 2 because the single-building configuration evaluated as Alternative 2 would cover an existing utility easement, rendering the utilities within that easement inaccessible for routine maintenance, repair, replacement, and emergency response purposes. Mitigation to ensure utility access would likely require relocation of the affected utilities or dedication of a replacement easement with equivalent access. Because such modifications could alter the One Building Alternative's site plan, cost, and feasibility, this Alternative would have greater utility-related constraints than the proposed project. By contrast, the proposed project's two-building configuration would preserve unobstructed access to the easement area and allow those utility facilities to remain accessible. For this reason, the proposed project would be environmentally superior to the One Building Alternative.

Findings

Staff will provide the following findings and analyses for the ZAB's consideration at the project's decision hearing, anticipated to occur in the first quarter of 2027:

- General Non-Detriment Finding
- Use Permit for Demolition of Commercial Structures Findings
- Use Permits in Manufacturing Districts Findings
- General Plan Consistency

ADVISORY BODY REVIEW

Landmarks Preservation Commission Review: Demolition Referral

The project involves demolition of commercial buildings over 40 years in age. Pursuant to BMC Section 23.326.070(C)(1) “Demolition of Nonresidential Buildings”, the proposed demolition was brought before the Landmarks Preservation Commission (LPC) for review. A Historic Resource Evaluation (HRE) for the property was completed by South Environmental on December 6, 2023 and found that the oldest building on the site was built in 1955 and the other buildings and structures over 40 years old were built in 1982 – 1983. The LPC will review the demolition referral on September 3, 2026.

Design Review Committee Review: Preliminary Design Review

Design Review Committee Review: The project is subject to Design Review by the Design Review Committee (DRC). A Preliminary Design Review meeting is tentative for November 2026.

Attachments

1. Tables: Table 1: Project Chronology, Table 2: Special Characteristics, Table 3: Development Standards
2. Draft EIR documents are available at this CEQAnet link: [Solid Waste and Recycling Transfer Station Replacement Project](#)
3. Notice of Availability of a Draft Environmental Impact Report
4. Solar Photo Simulations
5. Project Plans, received August 28, 2026
6. Notice of Public Hearing

ATTACHMENT 1

Table 1: Project Chronology

Date	Action
December 21, 2021	Use Permit Application submitted
August 31, 2023	Notice of Preparation of EIR published / Public scoping period begins
September 14, 2023	ZAB Public EIR Scoping/Preview Meeting
September 30, 2023	Public scoping period ends
August 3, 2026	Notice of Availability (NOA) of Draft EIR issued / Draft EIR published / 45-day public comment period begins
August 20, 2026	Design Review Committee public comment of Draft EIR
August 27, 2026	ZAB Public Hearing Notice issued
September 3, 2026	Landmarks Preservation Commission Demolition Referral and public comment on Draft EIR
September 10, 2026	Draft EIR and Project Preview ZAB meeting
September 17, 2026	NOA Public comment period ends
Anticipated November 2026	Design Review Committee Preliminary Design Review
Anticipated first quarter of 2027	ZAB Decision Hearing

Table 2: Special Characteristics

Characteristic	Applicability	Explanation
Affordable Child Care Fee for qualifying non-residential projects (Per Resolution 66,618-N.S.)	Yes	These fees apply to projects with more than 7,500 square feet of net new non-residential gross floor area. These fees may apply to the project.
Affordable Housing Fee for qualifying non-residential projects (Per Resolution 66,617-N.S.)		
Affordable / Inclusionary Housing Requirements (BMC Chapter 23.328)	No	The project is not a housing development project as defined in BMC 23.328 as it does not include the new construction of any dwelling unit, therefore it is not subject to the Inclusionary Housing provisions of BMC Chapter 23.328.
Alcohol Sales/Service	No	The project is not proposing any alcohol sales or service with this permit.
Bird Safe Buildings (BMC Section 23.304.150)	Yes	New construction of non-residential buildings require all transparent or reflective material located between the ground and 75 ft. above grade.
Coast Live Oak Trees (BMC Chapter 6.52)	No	There are no Coast Live Oak (<i>Quercus agrifolia</i>) trees on the project site.
Creeks	Yes	Codornices Creek borders the north portion of the project site – APNs 60-2382-3-1 and 60-2382-3-3 are within the creek buffer. Creek Protection documentation has been submitted to Public Works for review.
Density Bonus	No	The project is not a Housing Development as defined by State law and does not utilize State Density Bonus.

Characteristic	Applicability	Explanation
Hard Hats (BMC Chapter 13.107)	No	The covered project is not a private development under BMC 13.107.030, and therefore these provisions do not apply.
Historic Resources	Yes	The project would involve the demolition of nine non-residential buildings or structures that are over 40 years old (two buildings are under 40 years old). An Historic Built Environment Assessment, dated September 8, 2021, was submitted indicating that none of the buildings or structures are eligible for the State or local historic registers. The demolition referral will be reviewed by the LPC. Staff is unaware of any other cultural resource on the site.
Housing Accountability Act (HAA) (Gov't Code Section 65589.5(j))	No	The project is not a "housing development project" and is not subject to the HAA.
Housing Crisis Act of 2019 (SB 330)	No	The project is not a housing development project as defined in BMC 23.328 as it does not include the new construction of any dwelling unit.
Public Art on Private Projects (BMC 23.316)	Yes	The project is subject to the Percentage for Public Art on Private Projects Ordinance. The applicant is electing to comply by providing publicly accessible on-site art valued at (1.75% of total building permit valuation) paying the remainder in fee.
Opportunity Sites	No	The subject site is not identified as an opportunity site in the 2023-2031 Housing Element.
Rent Controlled Units	No	The project involves the demolition of non-residential structures; no rent-controlled units would be demolished.
Residential Preferred Parking (RPP)	No	The site is not located in an RPP zone. Also, the project does not involve the construction of any residential units and RPP would not apply.
Seismic Hazards (SHMA)	Yes	The project site is located in an area susceptible to liquefaction, as defined by the State Seismic Hazards Mapping Act (SHMA) State Seismic Hazard Zones map. ^a . The applicant has submitted a geotechnical report that has been peer reviewed by the City's consultant, and the applicant is working to achieve compliance.
Soil/Groundwater Contamination	Yes	The project site is located within the City's Environmental Management Area and is listed on the State's Cortese List. ^b The Phase I submitted by applicant found eight Recognized Environmental Conditions at the site, as well as several hazardous conditions which warranted mention. The report recommended subsurface sampling and testing prior to any ground disturbance/redevelopment activities. The Applicant will work with the Toxics Division and other appropriate agencies to ensure compliance. The project shall also implement mitigation measures identified in the EIR that will be included in the permit.
Transit	Yes	The nearest bus stop to the project site is four blocks east on Gilman Street, the end stop of Line 12. The site is approximately 1.9 miles from the North Berkeley BART Station. San Pablo Avenue is .5 miles away and has multiple bus lines of which Line 52 goes to the North Berkeley BART station which is approximately two miles southeast of the site. Gilman Street is also a bike way.

Notes: a. California Department of Conservation. DOC Maps: Geologic Hazards. Available: <https://maps.conservation.ca.gov/geologic Hazards/>

b. Cortese List is an annually updated list of hazardous materials sites compiled pursuant Government Code Section 65962.5.

Table 3: Manufacturing (M) District Development Standards BMC Sections 23.206.060 and 23.322 Parking and Loading

M District Standards		Existing	Proposed	Permitted/Required
Lot Area (sq. ft.)		325,820 (7.48 acre)	325,820 (7.48 acre)	20,000
Gross Floor Area (sq. ft.)		71,760	114,380	n/a
Unenclosed Floor Area ¹ (sq. ft.)		1,400	9,320	n/a
Total Floor Area of Use		73,160	123,700	n/a
FAR		0.22	0.38	2.0
Building Height	Maximum	36'-0"	45'-0"	45' max.
	Stories	1 to 2	1 to 3	n/a
Building Setbacks	Front (Gilman)	n/a	11'	0' min.
	Street Side (Second)	n/a	9'	0' min.
	Interior Side (Railroad)	n/a	33'	0' min.
	Rear	n/a	125'	0' min.
Lot Coverage (%)		22	32	100 max.
Usable Open Space (sq. ft.)		n/a	n/a	n/a
Vehicle Parking		34 (20 employee/ public + 14 public)	39 (14 employee + 21 public)	0 (24 per parking study)/ no minimum required ²
Bike Parking		0	62	58 (1 spaces/2000sq.ft.)
Abbreviations: s.f.= square feet; min.=minimum; max.=maximum ¹ Includes functional, accessory use areas, whether covered or not, i.e. buyback area (no canopy), bin repair (canopied), and free drop-off area (canopied). ² AB-2097, effective January 1, 2023, prohibits local jurisdictions from requiring minimum parking for most non-residential uses located within a 1/2 mile of public transit.				

ATTACHMENT 2

Draft EIR documents are available at this CEQAnet link: [Solid Waste and Recycling Transfer Station Replacement Project](#)



Planning and Development Department
Land Use Planning Division

NOTICE OF AVAILABILITY OF A DRAFT ENVIRONMENTAL IMPACT REPORT FOR THE PROPOSED SOLID WASTE AND RECYCLING TRANSFER STATION REPLACEMENT PROJECT (1201 SECOND STREET)

The City of Berkeley has prepared a Draft Environmental Impact Report (EIR) for the 1201 Second Street Solid Waste and Recycling Transfer Station Replacement Project (“the project”) and is requesting comments on the Draft EIR. The Draft EIR addresses the potential physical environmental effects of the project for each of the environmental topics outlined in the California Environmental Quality Act (CEQA).

Copies of the Draft EIR are on file at the City’s offices and are located online at: <https://aca.cityofberkeley.info/CitizenAccess/Default.aspx>. Click on Zoning tab; enter permit number #ZP2021-0215; click on the “Record Info” drop down menu; click on Attachments for a list of all application materials. Search for Draft EIR documents dated August 3, 2026.

This notice is being sent to the California State Clearinghouse, Alameda County Clerk, adjacent cities, and other interested parties and individuals who have indicated they would like to review the Draft EIR.

PROJECT TITLE: Solid Waste and Recycling Transfer Station Replacement Project (1201 Second Street)

PROJECT APPLICANT: City of Berkeley Public Works Department, Zero Waste Division, 1201 Second Street, Berkeley, CA 94710

PROJECT LOCATION: The 7.48-acre project site is located at 669 Gilman Street and at 1101, 1199–1231, 1201, and 1203 Second Street and consists of six separate parcels (Assessor Parcel Numbers 60-2382-3-3, 60-2382-1-2, 60-2382-3-1, 60-2362-1-9 and 60-2362-1-11, 60-2362-1-8, and 60-2362-1-10) in the West Berkeley Plan area. The primarily paved site contains a solid waste transfer station, materials recovery facility (MRF), maintenance and administrative buildings, recycling and buyback operations, fueling and truck-washing facilities, and ancillary structures; Codornices Creek, railroad tracks, Gilman Street, and Second Street border the site.

PROPOSED PROJECT DESCRIPTION AND BACKGROUND: The project would demolish the existing facilities and construct a 45,500-square-foot transfer station, 35,000-square-foot Materials Recovery Facility (MRF), 14,000-square-foot vehicle maintenance building, 17,700-square-foot administrative building, truck wash, public

recycling center, fueling and parking facilities, and related improvements. Roadway, pedestrian, and landscaping improvements would occur along Second and Gilman streets. The project would improve circulation, preserve 14 riparian-corridor trees, remove 46 other trees, and provide 36,900 square feet of transitional creek, ornamental, and retained creek landscaping. Stormwater improvements would include bioswales, pervious pavement, rainwater capture and reuse, an underground detention basin, and treatment vaults. Construction would occur in eight phases over approximately five years; transfer-station services would generally remain operational, while recyclables would temporarily be diverted to other permitted facilities during MRF construction.

More information about the proposed project can be found on the City's website: <https://aca.cityofberkeley.info/CitizenAccess/Default.aspx>. Click on Zoning tab; enter permit number #ZP2021-0215; click on the "Record Info" drop down menu; click on Attachments for a list of all application materials.

ENVIRONMENTAL EFFECTS: The Draft EIR found that the proposed project would have no environmental impacts related to agriculture and forestry resources, mineral resources, population and housing, recreation, and wildfire. The Draft EIR found that the proposed project could have potentially significant effects related to air quality, biological resources, cultural resources, geology and soils, greenhouse gas emissions, hazardous and hazardous materials, hydrology and water quality, noise, transportation, tribal cultural resources, and utilities and service systems. Impacts would be reduced to less than significant with implementation of mitigation measures. The Draft EIR found that the proposed project would have no significant unavoidable direct, indirect or cumulative environmental impacts.

PUBLIC COMMENT PERIOD: The Draft EIR will be available for public comment for a 45-day review period as specified by CEQA Guidelines Section 15105. The purpose of this comment period is to allow the public and reviewing agencies an opportunity to consider the content of the Draft EIR and the potential environmental impacts that may result from project implementation.

Comments pertaining to the impact analysis, criteria and thresholds, mitigation measures, and alternatives presented in the Draft EIR will be considered by the City during preparation of the Final EIR. The Final EIR will include copies of comments and the City's responses to comments pertaining to the environmental analysis provided in the Draft EIR.

The public comment period for the Draft EIR will begin on August 3, 2026 and end on **September 17, 2026** (a 45-day public review period). Comments may be submitted by mail or email by **5:00 p.m. on September 17, 2026**. Please include the name of the contact person and contact information for your agency, and direct your comments to:

Mail: Sharon Gong, Principal Planner, Land Use Planning Division, 1947 Center Street, 2nd Floor, Berkeley, CA 94704

Email: SGong@berkeleyca.gov

PUBLIC HEARING: The City of Berkeley Zoning Adjustments Board is anticipated to

Notice of Availability of a Draft EIR
1201 Second Street, Transfer Station Replacement Project

August 3, 2026

take public comments and consider the Draft EIR at their regularly scheduled meeting on **Thursday, September 10, 2026**. The meeting will start at **7:00 PM** and be held via video and teleconference as well as in person. Interested parties should check the Zoning Adjustments Board website for information on how to join the meeting and to confirm the meeting date, time, location and agenda: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board>



Sharon Gong, Principal Planner
Date of Distribution: August 3, 2026



Photograph A: View 1 Existing - View from the intersection of Gilman and Second Streets looking northeast toward the project site.



Photograph B: View 1 Proposed - View from the intersection of Gilman and Second Streets looking northeast toward the project site.



Photograph A: View 2 Existing - View from the intersection of Second and Harrison Streets looking northeast toward the project site.



Photograph B: View 2 Proposed - View from the intersection of Second and Harrison Streets looking northeast toward the project site.



Photograph A: View 3 Existing - View from Fifth Street looking west toward the project site.



Photograph B: View 3 Proposed - View from Fifth Street looking west toward the project site.



Photograph A: View 4 Existing - View from Gilman Street and the Union Pacific Railroad tracks looking northwest toward the project site.



Photograph B: View 4 Proposed - View from Gilman Street and the Union Pacific Railroad tracks looking northwest toward the project site.



Photograph A: View 5 Existing - View from the intersection of Gilman and Second Streets looking east toward the project site.



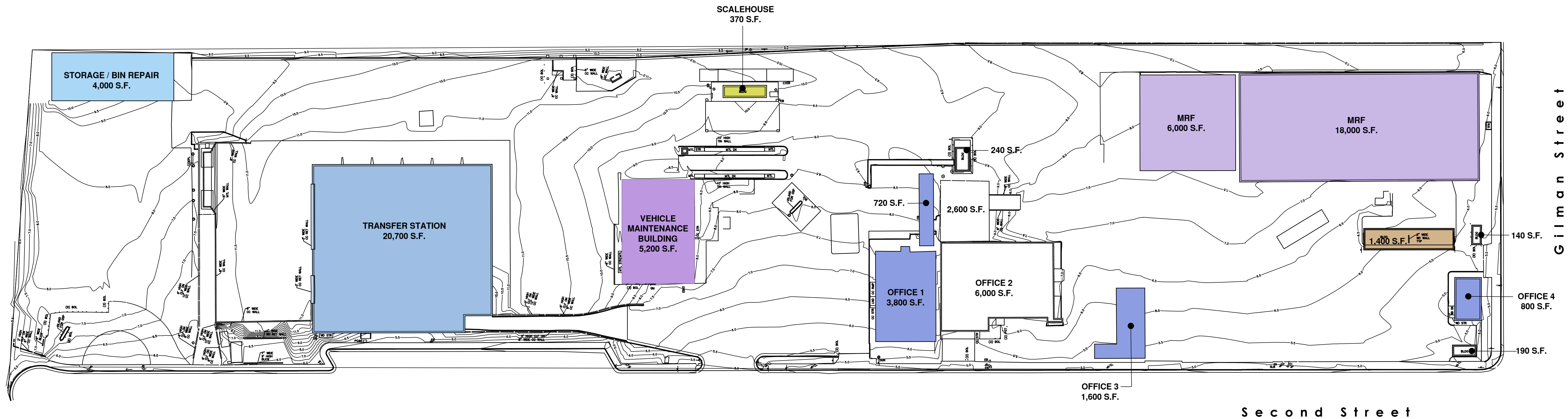
Photograph B: View 5 Proposed - View from the intersection of Gilman and Second Streets looking east toward the project site.



Photograph A: View 6 Existing - View from Gilman Street and the Union Pacific Railroad tracks looking west toward the project site.



Photograph B: View 6 Proposed - View from Gilman Street and the Union Pacific Railroad tracks looking west toward the project site.



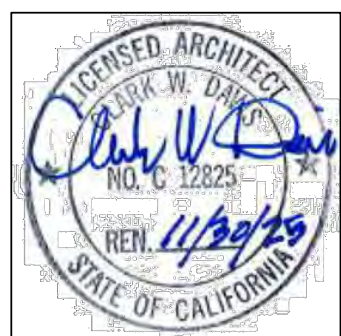
SITE SUMMARY

SITE AREA:	330,000 S.F.
BUILDING AREAS:	
TRANSFER STATION:	20,700 S.F.
MATERIAL RECOVERY FACILITY:	18,000 S.F.
MRF CANOPY:	6,000 S.F.
VEHICLE MAINTENANCE BUILDING:	5,200 S.F.
BIN REPAIR:	4,000 S.F.
SCALE HOUSE:	370 S.F.
OFFICE BUILDING 1:	4,520 S.F.
OFFICE BUILDING 2:	8,600 S.F.
OFFICE BUILDING 3:	1,600 S.F.
OFFICE BUILDING 4:	800 S.F.
AUXILIARY BUILDING:	1,970 S.F.
TOTAL:	71,760 S.F.

Existing Site Plan



SCALE: 1"=40'-0"

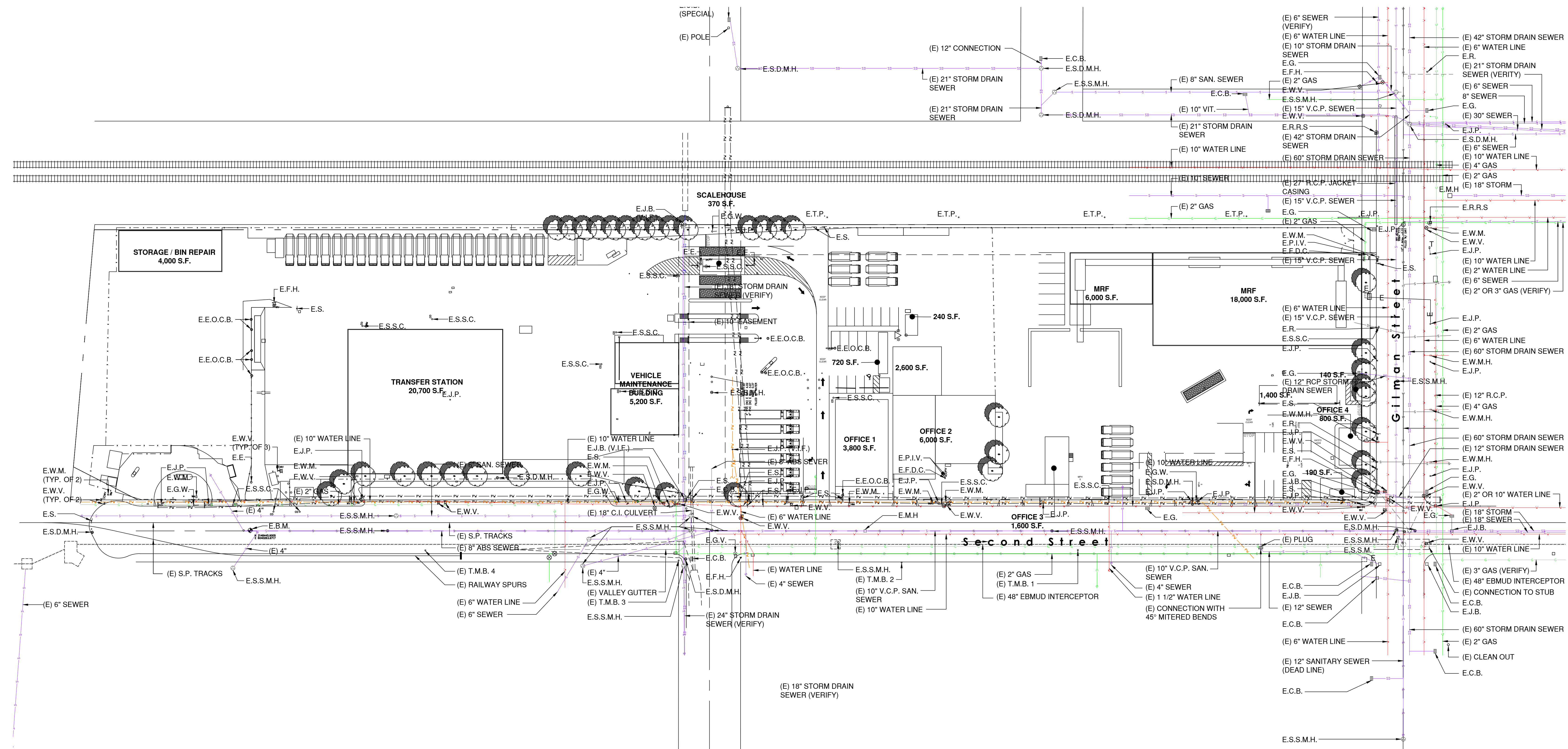


The City Of Berkeley
Solid Waste and Recycling Transfer
Station Replacement Project
1201 Second Street, Berkeley, CA 94710

Job No. 5447-0
2.8.2024

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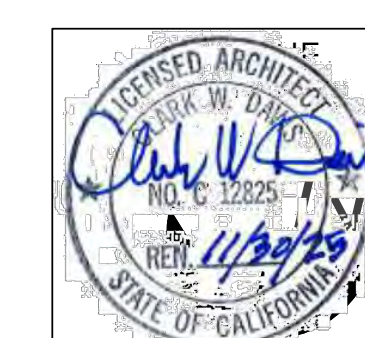
LEGEND

	EXISTING STORM PIPE		EXISTING BENCHMARK		EXISTING SANITARY SEWER CLEANOUT		EXISTING HOSE BIBB		EXISTING CATCH BASIN
	EXISTING WATER LINE		EXISTING ELECTROLIER		EXISTING SANITARY SEWER MANHOLE		EXISTING WATER VALVE		EXISTING GRATE
	EXISTING GAS LINE		EXISTING ELECTROLIER ON CONCRETE BASE		EXISTING STORM DRAIN MANHOLE		EXISTING GAS VALVE		EXISTING JUNCTION BOX
	EXISTING SEWER PIPE		EXISTING FIRE HYDRANT		EXISTING WATER VALVE		EXISTING SANITARY SEWER MANHOLE		EXISTING JUNCTION BOX
	EXISTING POWER & TELEPHONE LINE		EXISTING GUY WIRE		EXISTING WATER METER BOX		EXISTING STORM DRAIN MANHOLE		EXISTING RISER
	EXISTING SANITARY INTERCEPTOR		EXISTING JOINT POLE		EXISTING FIRE DEPARTMENT CONNECT		REMOVED EXISTING MAN HOLE		EXISTING WATER MANHOLE?
			EXISTING SIGN		EXISTING POST INDICATOR VALVE		EXISTING MAN HOLE		

Existing Utility Plan



SCALE: 1"=40'-0"

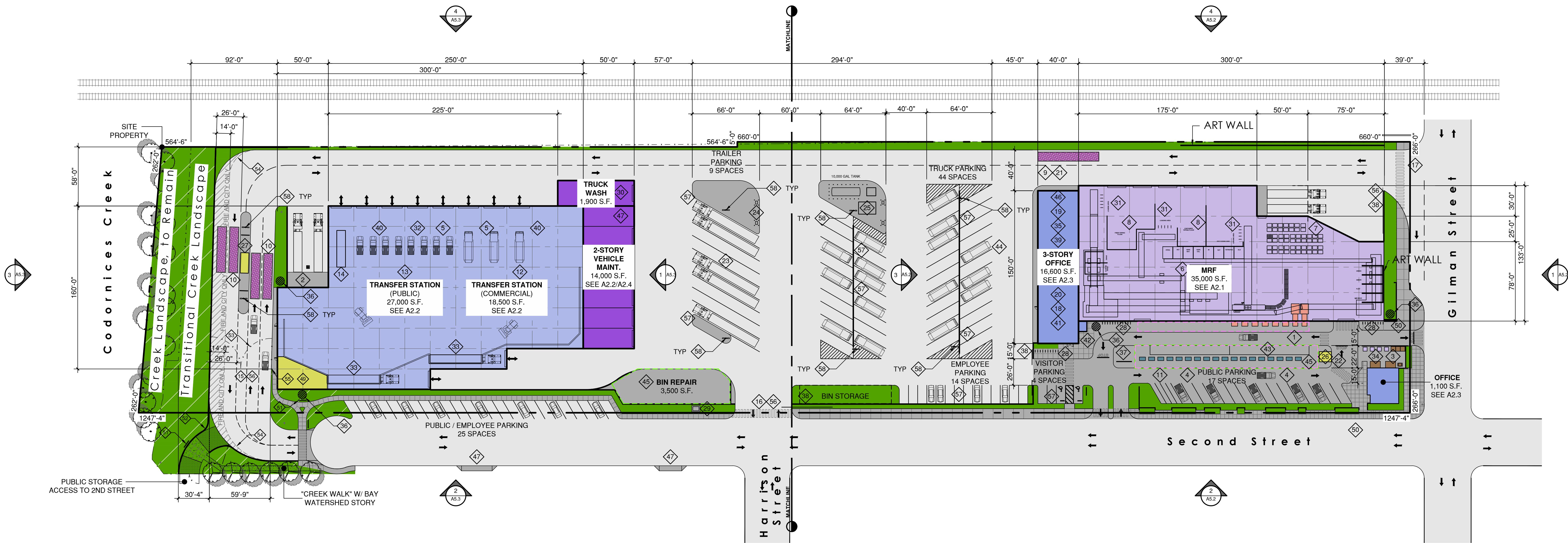


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Solid Waste and Recycling Transfer
Station Replacement Project
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2.8.2024

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A0.2



KEYNOTES

- 1 PUBLIC BUY BACK AREA

2 BULKY ITEM LOADOUT AREA

3 UNIVERSAL WASTE DROP-OFF

4 FREE DROP-OFF AREA

5 ORGANICS TIPPING

6 MRF PROCESSING AREA

7 BALE STORAGE/SHIPPING

8 MRF TIPPING

9 70' VEHICLE SCALE

10 40' VEHICLE SCALE

11 MOTORCYCLE PARKING

12 COMMERCIAL TIP FLOOR

13 SELF HAUL TIP AREA

14 SALVAGE TRAILER

15 PUBLIC ENTRYWAY FOR MAIN SCALES
- 16 TRANSFER TRAILERS AND COMMODITY TRUCKS ENTRYWAY

17 CITY VEHICLES, RECYCLING ROUTE AND COMMODITY TRUCKS ENTRYWAY

18 CONTRACTOR'S OFFICE (1st FLOOR)

19 MRF OPERATION OFFICE (2nd FLOOR)

20 CITY OFFICE (2nd FLOOR)

21 RFID STATION

22 INFORMATION KIOSK - 120 S.F.

23 SEMI TRAILER/TRUCK PARKING

24 FUEL ISLAND (DIESEL)

25 CNG STATION

26 PAYMENT STATION

27 SCALEHOUSE - 160 S.F.

28 BICYCLE PARKING (64 STALLS / 32 RACKS)

29 TRANSFORMER
- 30 TRUCK WASH

31 INFEEED CONVEYORS

32 C&D TIPPING

33 LOADOUT

34 E-WASTE

35 EMPLOYEE BREAK ROOM (1st FLOOR)

36 RAINWATER TANK

37 INFO SIGN

38 ROLLING GATE

39 MEETING ROOM 2B (3rd FLOOR)

40 SOLID WASTE TIPPING

41 MEETING ROOM 2A (3rd FLOOR)

42 ELEVATOR

43 BUYBACK SORTING

44 CONTRACTOR CURBSIDE TRUCKS
- 45 CANOPY ABOVE

46 MEETING ROOM 1 / VIEWING AREA (3rd FLOOR)

47 PUBLIC STORAGE DRIVEWAY

48 ACCESS TO OFFICE & PARTS (SECOND FLOOR)

49 SCALEHOUSE RESTROOM - 1170 S.F.

50 PEDESTRIAN ACCESS

51 EDUCATIONAL SIGNAGE

52 LOW 3' TALL FLOOD WALL MADE OF DECORATIVE MASONRY

53 SECURITY GATE

54 FIRE AND CITY ONLY LANE

55 FIRE KNOX BOX

56 AUTOMATIC GATE FOR FIRE

57 ELECTRIC VEHICLE CHARGING STATION

58 LED LIGHT POLE

LEGEND

- AUXILIARY BUILDINGS

ADMINISTRATION BUILDINGS

MAINTENANCE BUILDINGS

MRF BUILDING

TRANSFER STATION BUILDING

SCALES

DROP-OFF AND BUY BACK AREAS

CANOPIED AREAS

CONCRETE SIDEWALK/PAVING

PERVIOUS PAVING

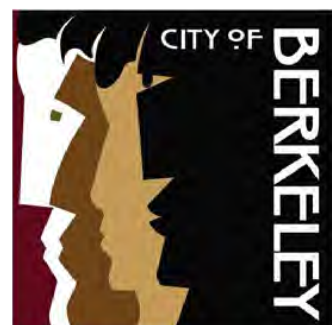
SITE & STREET PAVING

ORNAMENTAL LANDSCAPE

ENVIRONMENTAL LANDSCAPE

SITE SUMMARY

GROSS BUILDING AREAS:	
TRANSFER STATION:	45,500 S.F.
MATERIAL RECOVERY FACILITY:	35,000 S.F.
VEHICLE MAINTENANCE BUILDING:	14,000 S.F.
TRUCK WASH BUILDING:	1,900 S.F.
INFORMATION KIOSK:	120 S.F.
SCALE HOUSE:	160 S.F.
ADMINISTRATION BUILDING :	17,700 S.F.
TOTAL :	
114,380 S.F.	
UNENCLOSED GROSS FLOOR AREA:	
BIN REPAIR (CANOPIED):	3,500 S.F.
FREE DROP-OFF AREA (CANOPIED):	4,140 S.F.
BUY BACK AREA:	1,680 S.F.
TOTAL :	
9,320 S.F.	
TOTAL GROSS FLOOR AREA:	
123,700 S.F.	



SCALE: 1"=40'-0"



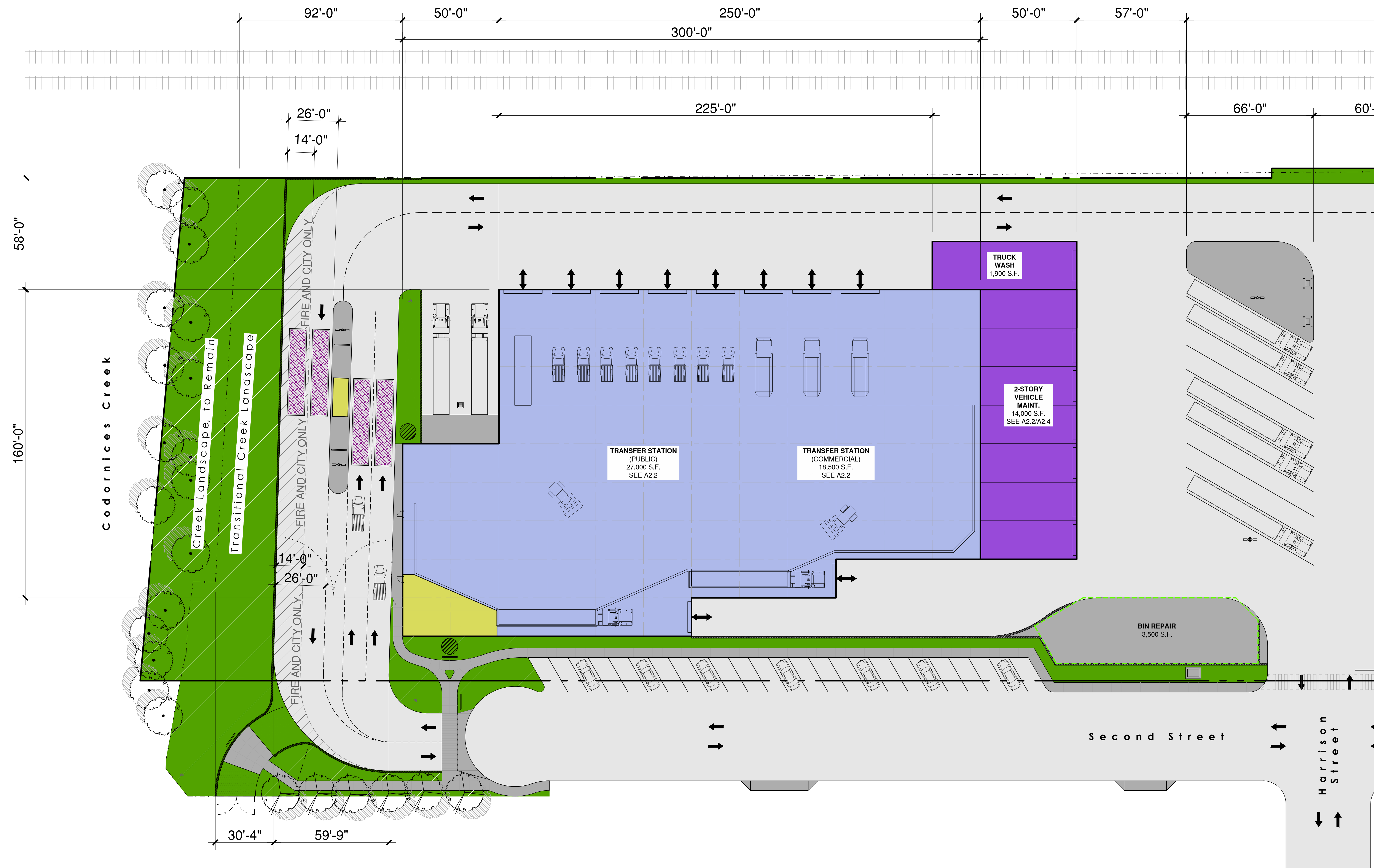
The City Of Berkeley
Solid Waste and Recycling Transfer
Station Replacement Project
1201 Second Street, Berkeley, CA 94710

Job No. 5447-0
08.28.2026

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A1.1

Overall Site Plan



Enlarged Site Plan, North



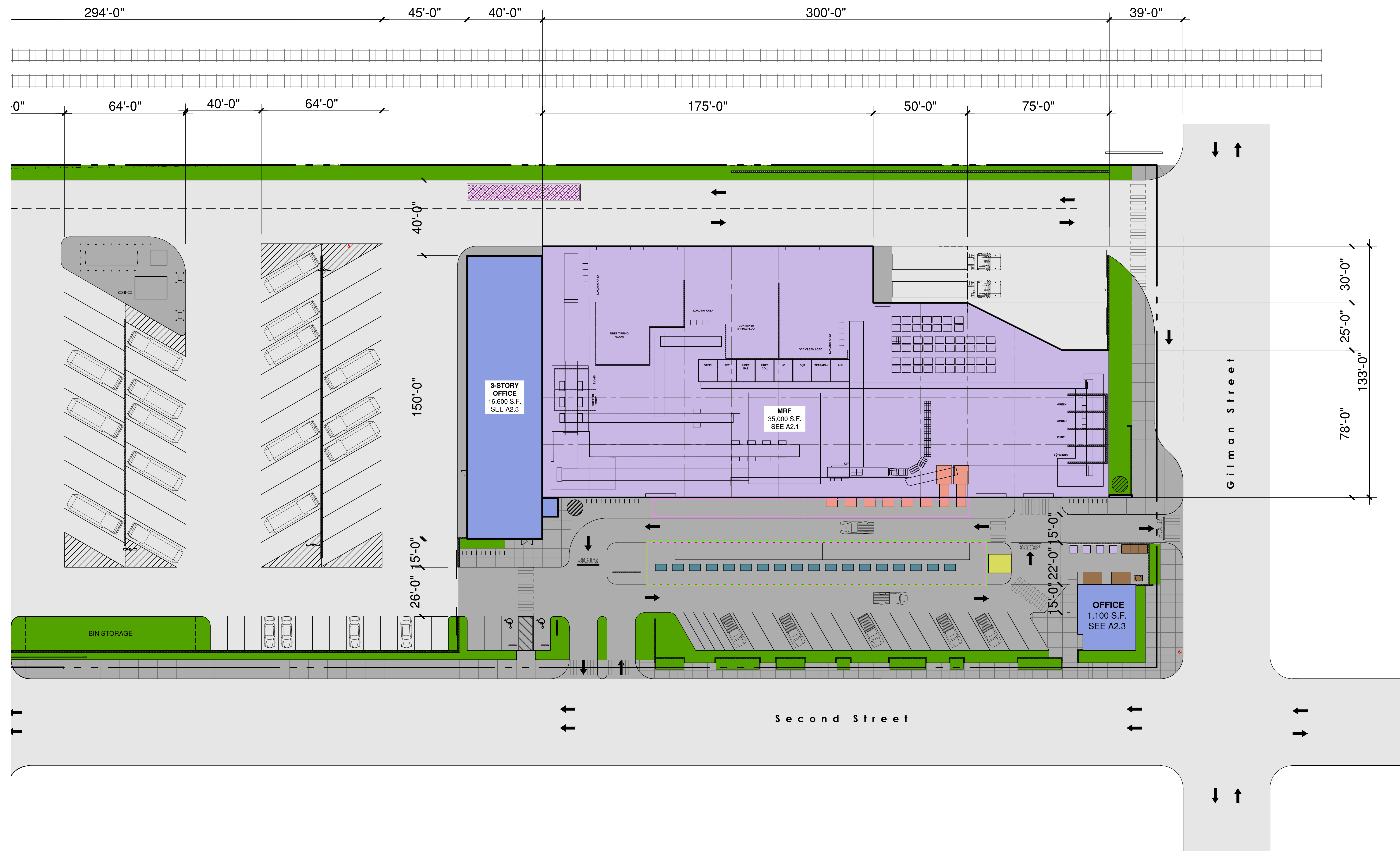
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0' 20' 40' 80'



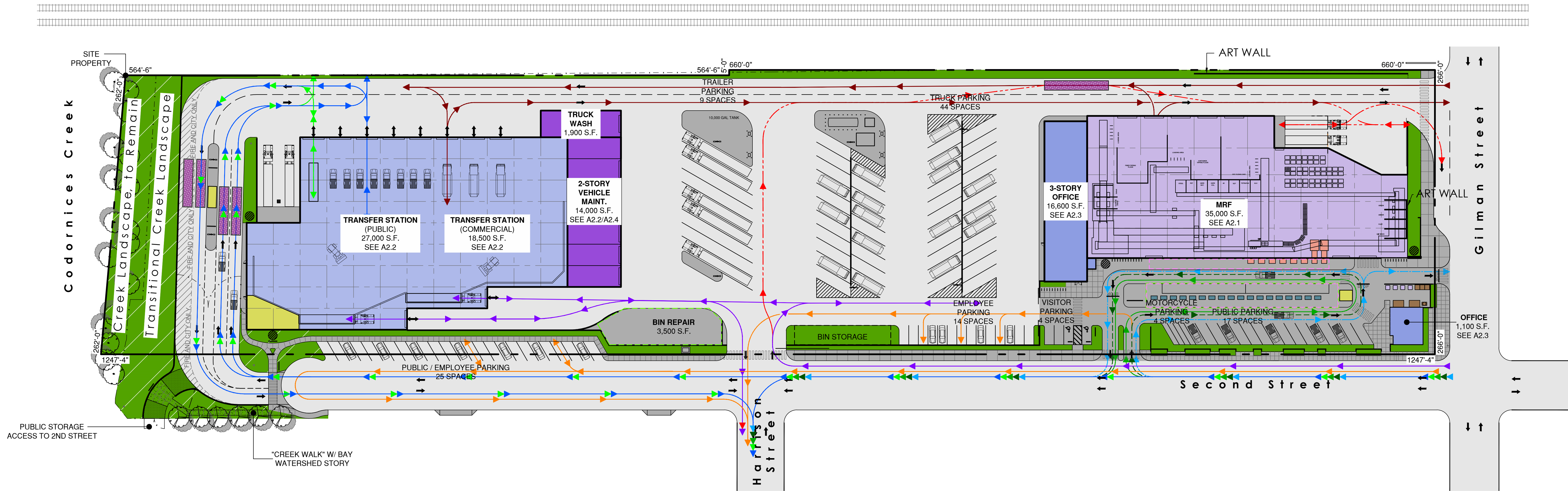
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A1.2



Enlarged Site Plan, South



LEGEND

AUXILIARY BUILDINGS	COMMERCIAL - COMMODITY SHIPPING	TRANSFER TRUCK
ADMINISTRATION BUILDINGS	COMMERCIAL - ROUTE TRUCKS	COLLECTION TRUCK
MAINTENANCE BUILDINGS	COMMERCIAL - TRANSFER TRUCKS	FRONT LOADER
MRF BUILDING	PUBLIC - BULKY ITEM, SALVAGE/REUSE	PUBLIC VEHICLE
TRANSFER STATION BUILDING	PUBLIC - BUYBACK	EMPLOYEE VEHICLE
SCALES	PUBLIC - DROPOFF	
DROP-OFF AND BUY BACK AREAS	PUBLIC - SELF-HAUL	
CANOPIED AREAS	PUBLIC - UNIVERSAL WASTE	
CONCRETE SIDEWALK/PAVING	STAFF - EMPLOYEES	
PERVIOUS PAVING	STAFF - FORKLIFT, TOW TRACTOR	
SITE & STREET PAVING		
ORNAMENTAL LANDSCAPE		
ENVIRONMENTAL LANDSCAPE		

Circulation Plan



SCALE: 1"=40'-0"

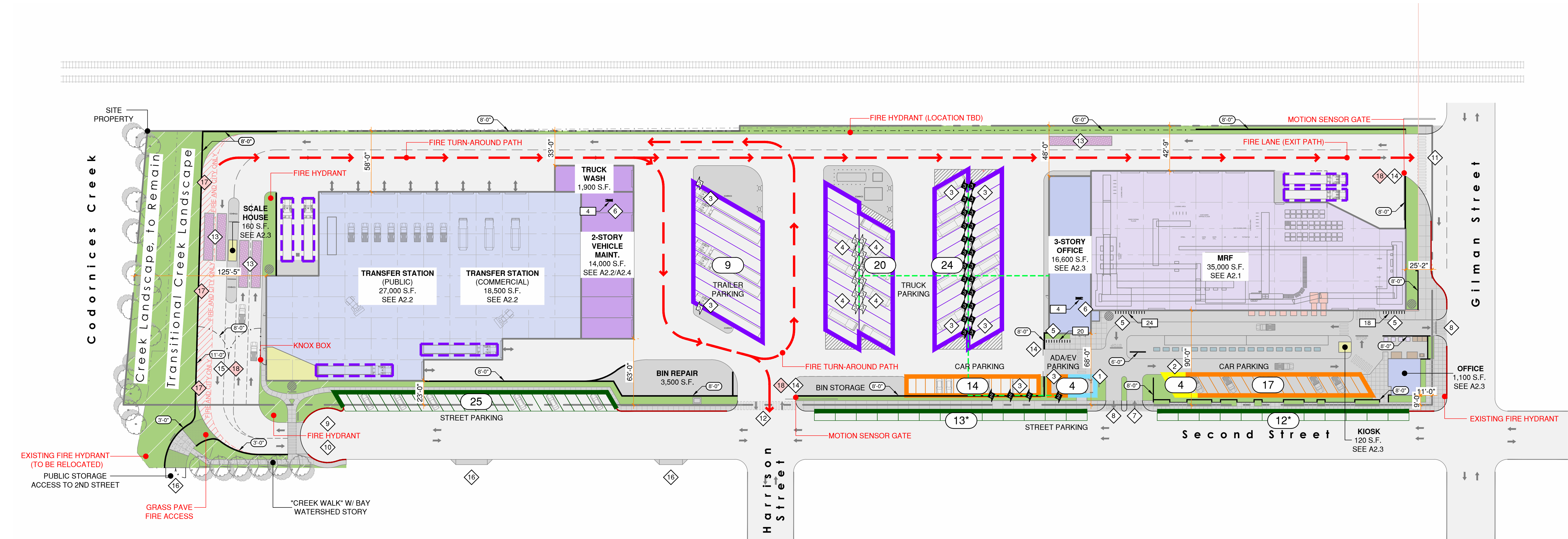


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A1.4



KEYNOTES

- 1 ADA PARKING STALLS (2 STALLS)
- 2 MOTORCYCLE PARKING
- 3 EV CHARGER PARKING
- 4 FUTURE EV CHARGER PARKING
- 5 SHORT-TERM EXTERIOR BICYCLE PARKING
- 6 LONG-TERM INTERIOR BICYCLE PARKING
- 7 PUBLIC BUYBACK / DROP-OFF ENTRANCE
- 8 PUBLIC BUYBACK / DROP-OFF EXIT
- 9 PUBLIC SELF-HAUL ENTRANCE
- 10 PUBLIC SELF-HAUL EXIT
- 11 CITY VEHICLES, RECYCLING ROUTE AND COMMODITY TRUCKS ENTRYWAY
- 12 TRANSFER TRAILERS AND COMMODITY TRUCKS ENTRYWAY
- 13 VEHICLE SCALE
- 14 ROLLING GATE
- 15 SWING GATE
- 16 PUBLIC STORAGE DRIVEWAY
- 17 FIRE AND CITY ONLY LANE
- 18 AUTOMATIC GATE FOR FIRE

LEGEND

- NON PARKING AREAS (DRIVEWAYS, ECT.)
- NO PARKING
- STREET PARKING
- ON-SITE ADA PARKING
- ON-SITE CAR PARKING
- ON-SITE MOTORCYCLE PARKING
- ON-SITE TRUCK PARKING
- ON-SITE TRUCK LOADING SPACE
- UNDERGROUND ELECTRICAL SERVICE CONDUIT(S)
- LEVEL 2 OR 3 EV CHARGER
- FUTURE LEVEL 2 OR 3 EV CHARGER
- NUMBER OF PARKING SPACES. *PARKING SPACES MAY VARY WITH VEHICLE DENSITY OR ORIENTATION
- NUMBER OF BIKE SPACES
- HEIGHT OF FENCE OR WALL
- WALL
- FENCE
- SETBACK DIMENSIONS
- FIRE TURN-AROUND PATH
- FIRE LANE

BUILDING SUMMARY

GROSS BUILDING AREA	[SEE A1.1]
TRANSFER STATION:	45,500 S.F.
MATERIAL RECOVERY FACILITY:	35,000 S.F.
VEHICLE MAINTENANCE BUILDING:	14,000 S.F.
TRUCK WASH BUILDING:	1,900 S.F.
INFORMATION KIOSK:	120 S.F.
SCALE HOUSE:	160 S.F.
ADMINISTRATION BUILDING:	17,700 S.F.
BUILDING TOTAL:	114,380 S.F.
UNENCLOSED GROSS FLOOR AREA	[SEE A1.1]
BIN REPAIR (CANOPIED):	3,500 S.F.
FREE DROP-OFF AREA (CANOPIED):	4,140 S.F.
BUY BACK AREA:	1,680 S.F.
UNENCLOSED TOTAL:	9,320 S.F.
TOTAL GROSS FLOOR AREA:	123,700 S.F.
BUILDING HEIGHT	[SEE A5.1 & A5.2]
MAXIMUM HEIGHT (BMC 23.304)	45'-0"
NUMBER OF STORIES	1 TO 3
BUILDING SETBACKS (BMC 23.106)	
FRONT (GILMAN STREET)	
OFFICE:	11'-0"
MRF:	25'-2"
STREET SIDE (SECOND STREET)	
OFFICE:	9'-0"
MRF:	90'-0"
ADMINISTRATION:	68'-0"
VEHICLE MAINTENANCE:	63'-0"
TS:	23'-0"
INTERIOR SIDE (RAILROAD)	
MRF:	42'-9"
ADMINISTRATION:	48'-0"
TRUCK WASH:	33'-0"
TS:	58'-0"
REAR	
TS:	125'-5"

LOT SUMMARY

LOT AREA	[SEE X0.1]
ON-SITE PROPERTY (7.48 ACRE)	325,900 S.F.
OFF-SITE DEVELOPMENT	21,700 S.F.
LOT COVERAGE (BMC 23.106)	32.01%
FLOOR AREA RATIO	[SEE X0.3]
FAR	0.3505
USABLE OPEN SPACE (BMC 23.304)	N/A

LANDSCAPE SUMMARY

LANDSCAPE AREA	[SEE L1.1]
ON-SITE LANDSCAPE	
CREEK LANDSCAPE TO REMAIN:	7,700 S.F.
TRANSITIONAL CREEK LANDSCAPE:	9,200 S.F.
ORNAMENTAL LANDSCAPE:	15,000 S.F.
ON-SITE TOTAL:	31,900 S.F.
OFF-SITE LANDSCAPE	
CREEK LANDSCAPE TO REMAIN:	-
TRANSITIONAL CREEK LANDSCAPE:	4,900 S.F.
ORNAMENTAL LANDSCAPE:	100 S.F.
OFF-SITE TOTAL:	5,000 S.F.
COMBINED TOTAL:	36,900 S.F.
LANDSCAPE PALETTE	[SEE L1.1]
NATIVE PLANTS	
CALIFORNIA NATIVES:	91.67%
REGIONAL NATIVES:	79.16%
LOCAL NATIVES:	54.16%
WILDLIFE SUPPORTING PLANTS:	91.67%
WATER NEEDS	
MODERATE TO HIGH:	29.16%
LOW:	45.83%
VERY LOW:	20.83%
EXTREMELY LOW:	4.16%
EXISTING TREES	[SEE L1.3]
TO REMAIN:	22
TO BE REMOVED:	36
NOTES	
ARBORIST SURVEY OF SITE SHOWED THAT THERE WERE NO LIVE OAKS LOCATED ON THE SITE. BMC 6.52.010.	

PARKING SUMMARY

ON-SITE PARKING (BMC 23.322)	
CAR PARKING:	(2 ADA, 14 EV)
MOTORCYCLE PARKING:	35 SPACES
TRUCK PARKING:	4 SPACES
	53 SPACES**
ON-SITE TOTAL:	39 SPACES
STREET PARKING	
NORTH GILMAN STREET:	0 SPACES
SOUTH GILMAN STREET:	10 SPACES**
EAST SECOND STREET:	50 SPACES
WEST SECOND STREET:	61 SPACES**
ADJACENT STREET TOTAL:	50 SPACES
COMBINED TOTAL:	89 SPACES
** NOT INCLUDED IN PARKING COUNT	
NOTES	
ELECTRIC VEHICLE PARKING NUMBERS ONLY SHOW PLANNED, BUT DO NOT INCLUDE FUTURE PARKING SPACES.	

EV CHARGER SUMMARY

LEVEL 2 EV CHARGERS	PROPOSED	FUTURE
CAR PARKING	4 (8 SPACES)	0
LEVEL 3 EV CHARGERS	PROPOSED	FUTURE
TRUCK PARKING	24 (24 SPACES)	12 (12 SPACES)
TRAILER PARKING	0	2 (4 SPACES)

BICYCLE PARKING SUMMARY

PLANNED BIKE PARKING (BMC 23.322)	
SHORT TERM	62 BIKE SPACES
LONG TERM	8 BIKE SPACES
TOTAL BIKE PARKING	70 BIKE SPACES
REQUIRED BIKE PARKING	
BERKELEY MUNICIPAL CODE	58 BIKE SPACES
CALGREEN CODE	
SHORT TERM (5.106.4)	2-5 BIKE SPACES***
LONG TERM (5.106.4)	1-7 BIKE SPACES***
BERKELEY BICYCLE PLAN 2017 (APPX. F)	4 BIKE SPACES***
NOTES	
SHORT TERM EXTERIOR BIKE PARKING IS PROVIDED BY 'U' RACKS, ONE 'U' BIKE RACK PROVIDES SPACE TO LOCK TWO BIKES.	
LONG TERM INTERIOR BIKE PARKING IS PROVIDED BY HORIZONTAL RACKS THAT PROVIDE FOUR SPACES IN A STACKED CONFIGURATION.	
*** LOWER REQUIREMENT NOT USED.	

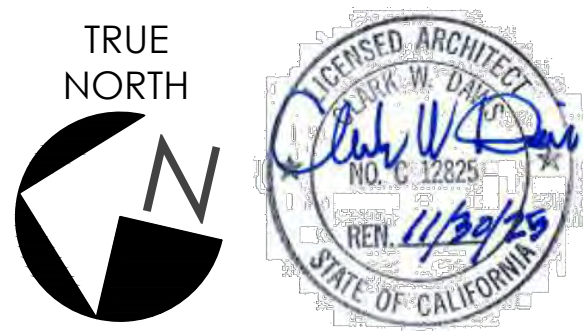
LOADING SPACES SUMMARY

ON-SITE LOADING SPACES (BMC 23.322)	6 LOADING SPACES***
LOADING SPACES REQUIRED BY BMC 23.322 FOR THE SITE IS 1 SPACE FOR THE FIRST 10,000 SQ. FT. PLUS 1 ADDITIONAL SPACE FOR EACH ADDITIONAL 25,000 SQ. FT.	
*** DEPENDING ON CALCULATION BASIS. REQUIRED NUMBER OF ON-SITE LOADING SPACES MAY BE 5 OR 6.	

PROJECT INFORMATION PLAN



SCALE: 1"=40'-0"



The City Of Berkeley
Solid Waste and Recycling Transfer
Station Replacement Project
1201 Second Street, Berkeley, CA 94710

Job No. 5447-0
08.28.2026

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A1.5



KEYNOTES

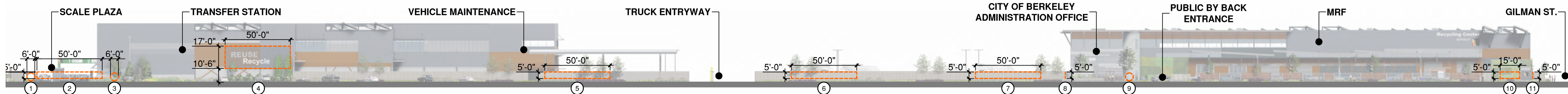
- 1 PUBLIC PEDESTRIAN ENTRANCE / EXIT
- 2 PUBLIC VEHICLE ENTRANCE
- 3 PUBLIC VEHICLE EXIT
- 4 COMMERCIAL ENTRANCE / EXIT

LEGEND

- FREE STANDING ART LOCATION
- WALL MOUNTED ART LOCATION
- ① ART LOCATION LABEL

ART FEATURES DESCRIPTION

The Berkeley Solid Waste and Recycling Transfer Station site design proposes to display artwork created by local community artists, artisans, and neighborhood groups that can contribute to a vibrant expression of the City's commitment to environmental stewardship as well as neighborhood historic perspectives. This array of placement opportunities will ultimately have some guidelines that support the development of art pieces over time. The intended result is that this creative framework will engage members of the community for proposed pieces and projects, etc. The ultimate mission will be to not only enrich the architectural character of the facility but enliven the streetscape experience for the neighborhood. It is proposed that any free-standing sculptural elements and wall-mounted artwork will be created out of recycled materials which link artistic themes with the facility's function of recyclables waste management. Artwork will help beautify and break up large wall expanses and be positioned in parts of the site to enhance pedestrian scale and help create a pride-of-place.



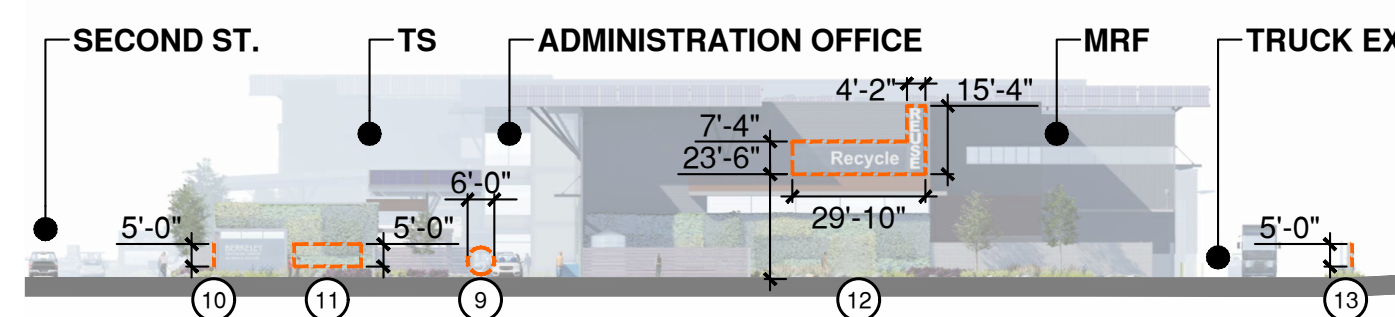
A 2ND STREET ELEVATION



C SCALE ENTRY RENDER



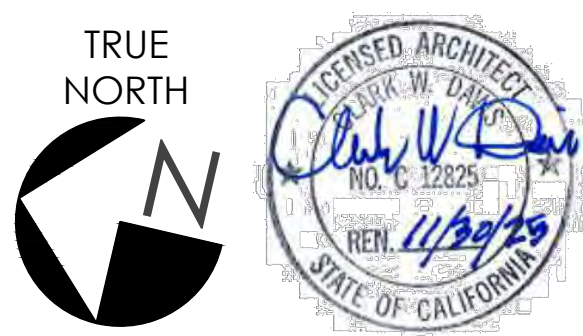
D VISITOR ENTRY RENDER



B GILMAN STREET ELEVATION



SCALE: 1"=40'-0"



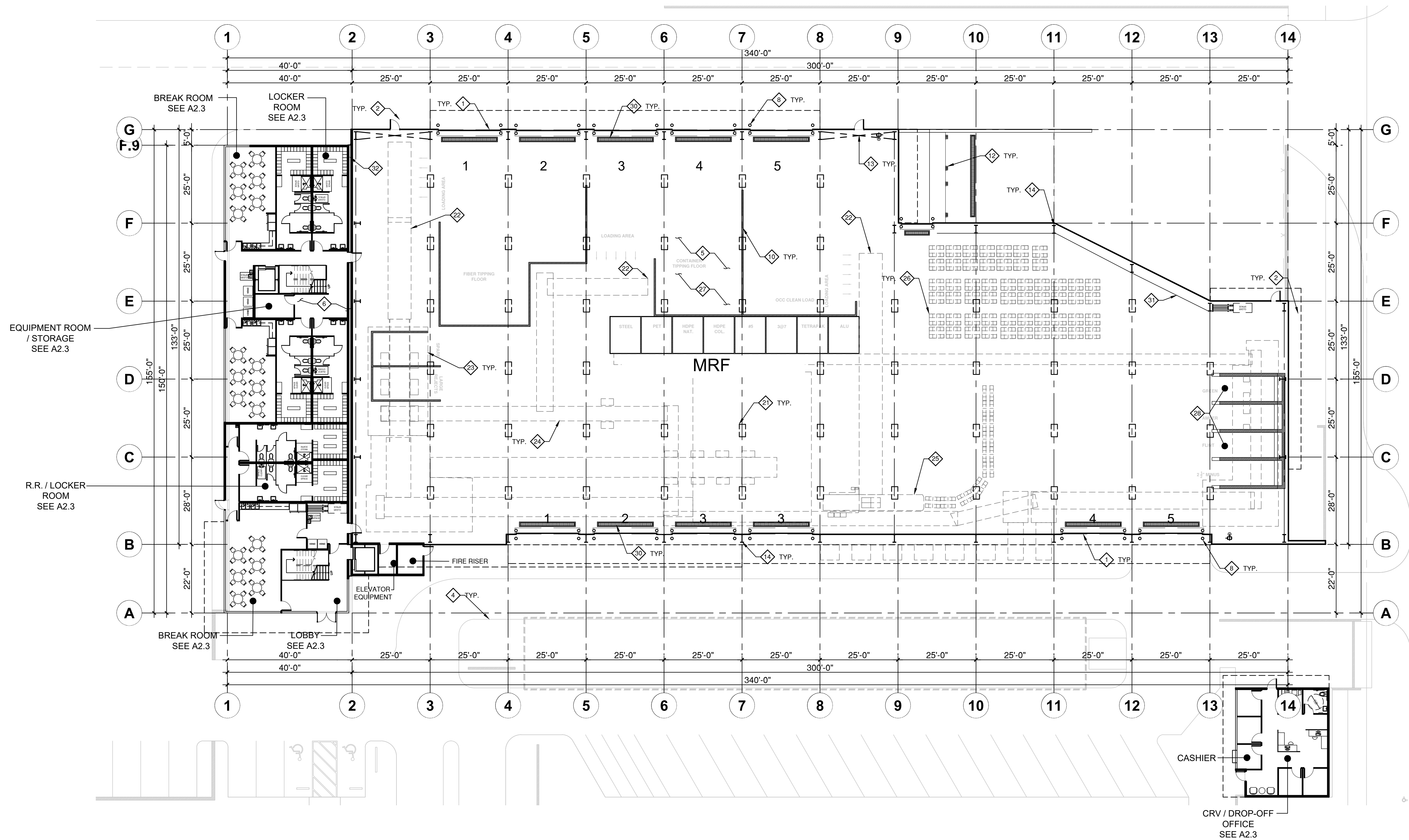
The City Of Berkeley
Solid Waste and Recycling Transfer
Station Replacement Project
1201 Second Street, Berkeley, CA 94710

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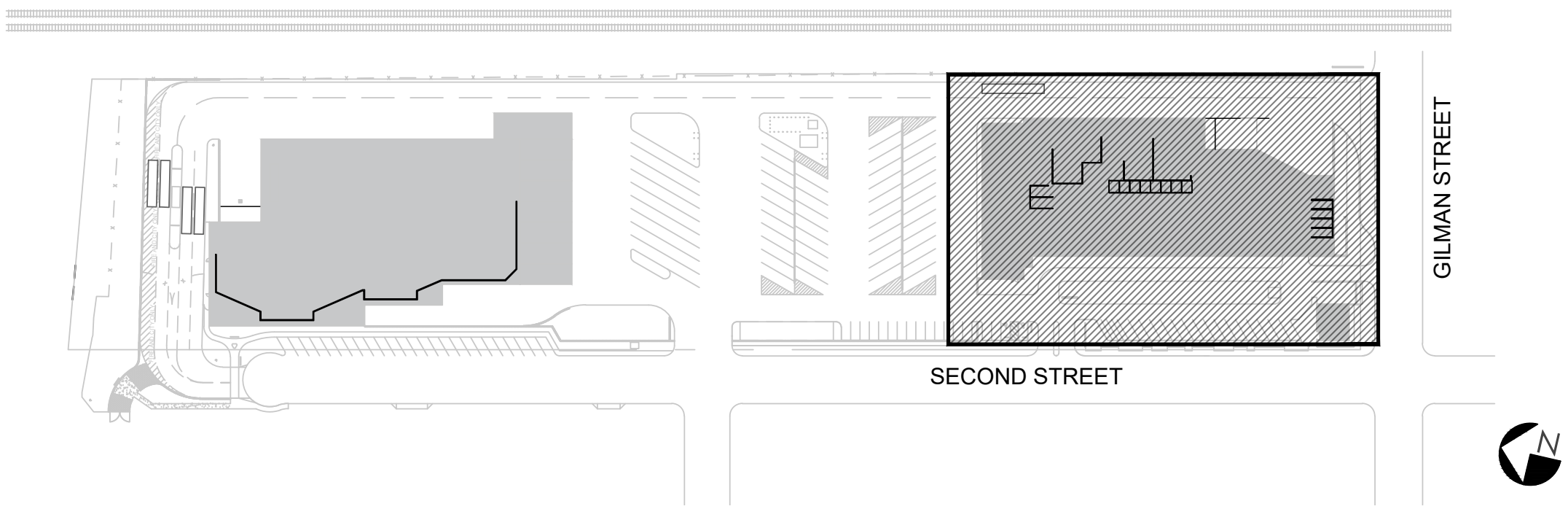
A1.6

Overall Art Plan

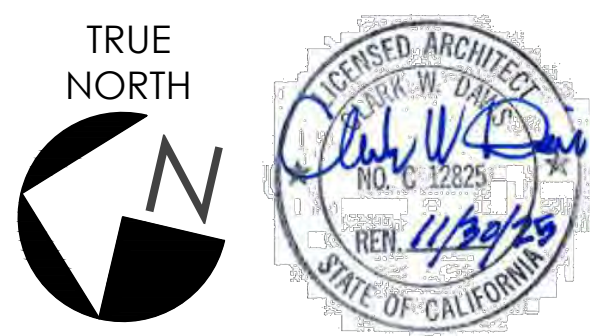


- KEYNOTES**
- 1 OVERHEAD COILING DOOR
 - 2 PEDESTRIAN DOOR (HOLLOW METAL)
 - 3 CONCRETE WALL
 - 4 CONCRETE CURB
 - 5 STRUCTURAL CONCRETE SLAB - 12" (TIP FLOOR)
 - 6 STRUCTURAL CONCRETE SLAB - 8" W/ BASE
 - 7 CONCRETE PAVING / SIDEWALK
 - 8 10" DIAMETER CONCRETE FILLED STEEL BOLLARD
 - 9 CONCRETE PUSHWALL 14' TALL
 - 10 STEEL PUSH WALL 12' TALL
 - 11 STEEL LOADOUT DEFLECTOR
 - 12 DOCK LEVELER & BUMPERS
 - 13 STRUCTURAL STEEL TUBE BRACING
 - 14 STRUCTURAL STEEL COLUMN
 - 15 GALVANIZED DOWNSPOUT
 - 16 1 1/2" GUARDRAIL
 - 17 ENVIRONMENTAL WALL
 - 18 EXHAUST FAN
 - 19 HVAC
 - 20 SMOKE VENT
 - 21 INTERIOR LIGHTING
 - 22 INFEEED CONVEYER (BY EQUIPMENT SUPPLIER)
 - 23 SORT PLATFORM (BY EQUIPMENT SUPPLIER)
 - 24 CONVEYOR (BY EQUIPMENT SUPPLIER)
 - 25 BALER
 - 26 BALES
 - 27 TIP & STORAGE AREA
 - 28 BUNKERS
 - 29 EMERGENCY EYE WASH
 - 30 TRENCH DRAIN
 - 31 HEAVY DUTY PROTECTION RAIL
 - 32 SEISMIC GAP

KEY MAP



SCALE: 1/8"=1'-0"

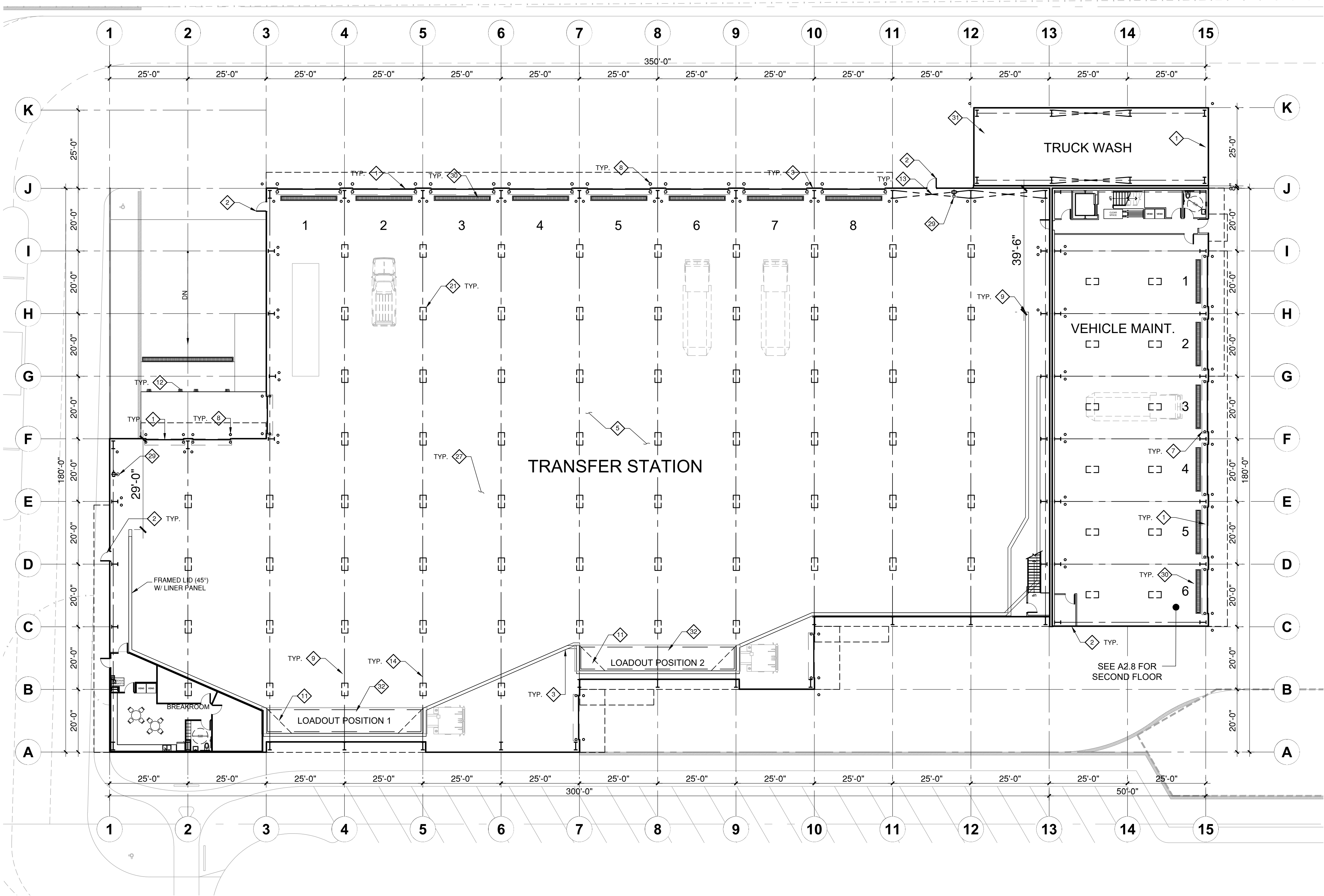


FLOOR PLAN - MRF
The City Of Berkeley
Solid Waste and Recycling Transfer
Station Replacement Project
1201 Second Street, Berkeley, CA 94710

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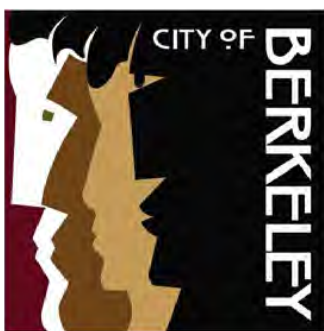
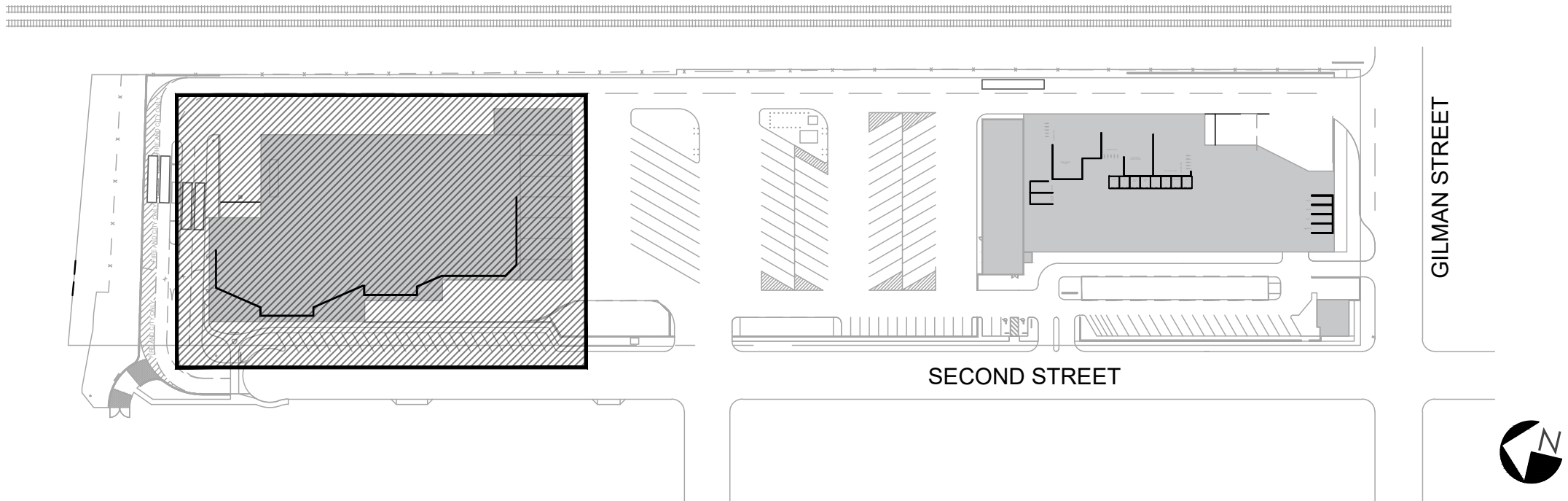
A2.1



KEYNOTES

- 1 OVERHEAD COILING DOOR
- 2 PEDESTRIAN DOOR (HOLLOW METAL)
- 3 CONCRETE WALL
- 4 CONCRETE CURB
- 5 STRUCTURAL CONCRETE SLAB - 12" (TIP FLOOR)
- 6 STRUCTURAL CONCRETE SLAB - 6" W/ BASE
- 7 CONCRETE PAVING / SIDEWALK
- 8 10" DIAMETER CONCRETE FILLED STEEL BOLLARD
- 9 CONCRETE PUSHWALL 14' TALL
- 10 STEEL PUSH WALL 12' TALL
- 11 STEEL LOADOUT DEFLECTOR
- 12 DOCK LEVELER & BUMPERS
- 13 STRUCTURAL STEEL TUBE BRACING
- 14 STRUCTURAL STEEL COLUMN
- 15 GALVANIZED DOWNSPOUT
- 16 1 1/2" GUARDRAIL
- 17 ENVIRONMENTAL WALL
- 18 EXHAUST FAN
- 19 HVAC
- 20 SMOKE VENT
- 21 INTERIOR LIGHTING (LED PENDANT)
- 22 INFEED CONVEYER (BY EQUIPMENT SUPPLIER)
- 23 SORT PLATFORM (BY EQUIPMENT SUPPLIER)
- 24 CONVEYOR (BY EQUIPMENT SUPPLIER)
- 25 BALER
- 26 BALES
- 27 TIP & STORAGE AREA
- 28 NOT USED
- 29 EMERGENCY EYE WASH
- 30 TRENCH DRAIN
- 31 TRUCK WASH EQUIPMENT
- 32 70' TRUCK SCALE W/ DIGITAL DISPLAY

KEY MAP



SCALE: 1/8" = 1'-0"

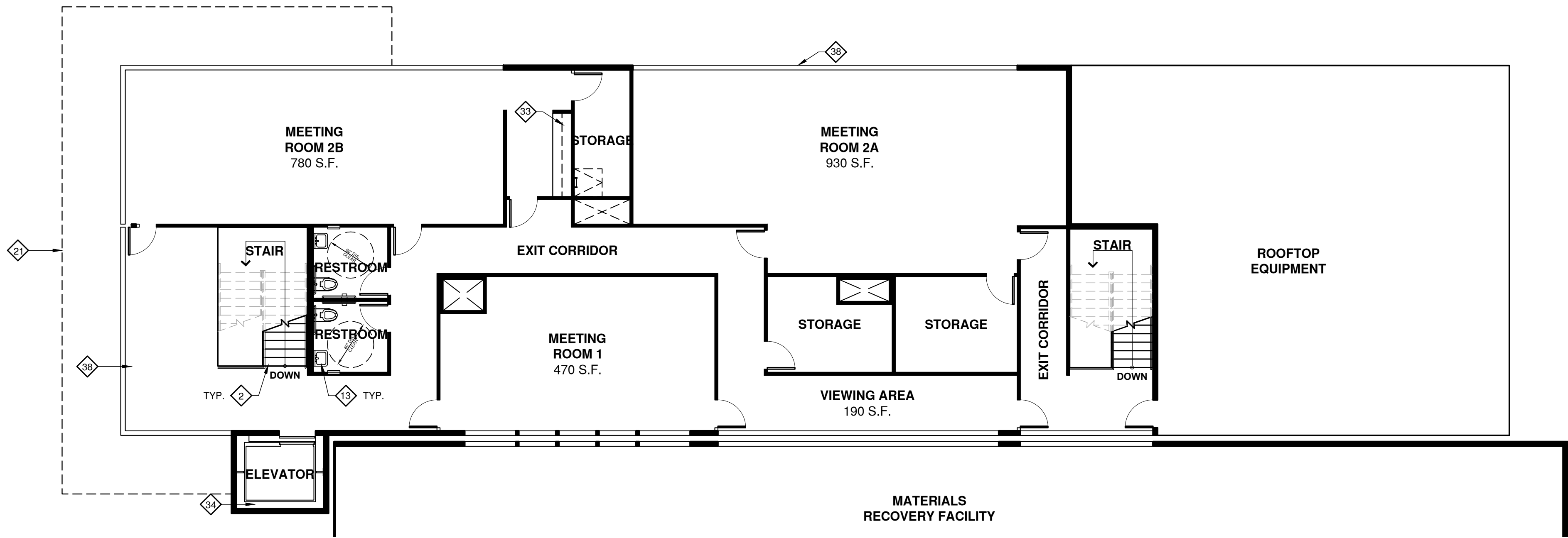


FLOOR PLAN - TRANSFER STATION
The City Of Berkeley
Solid Waste and Recycling Transfer
Station Replacement Project
1201 Second Street, Berkeley, CA 94710

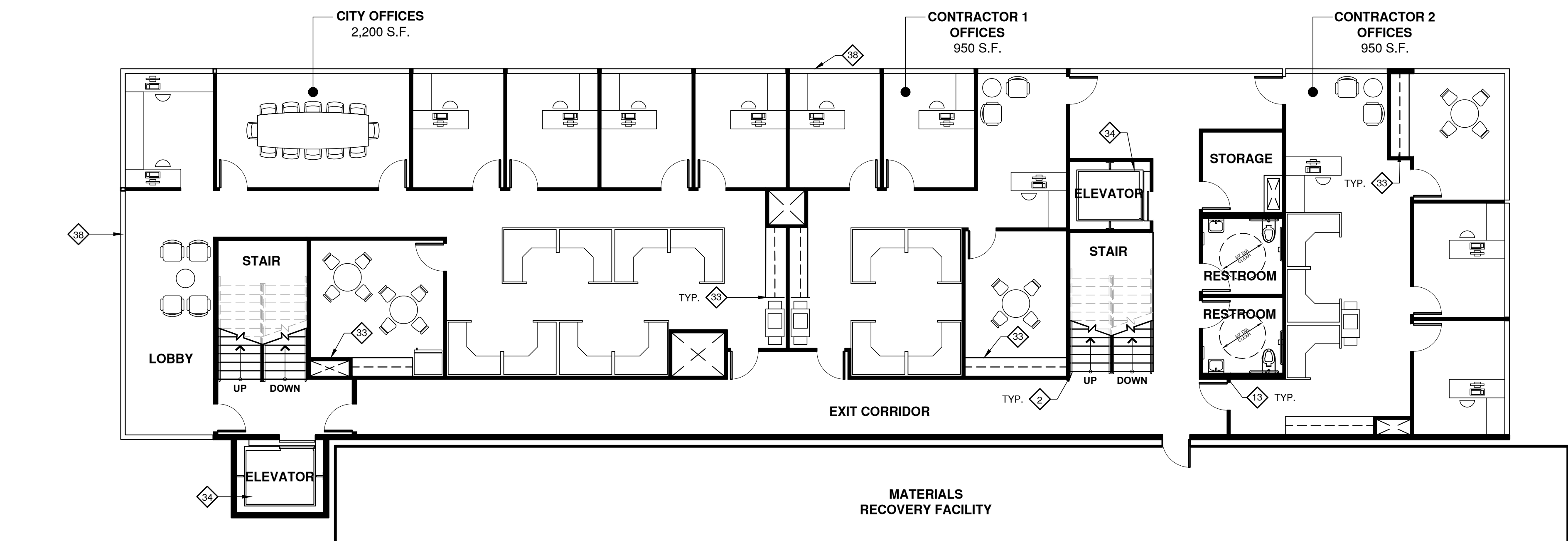
Job No. 5447-0
2.8.2024

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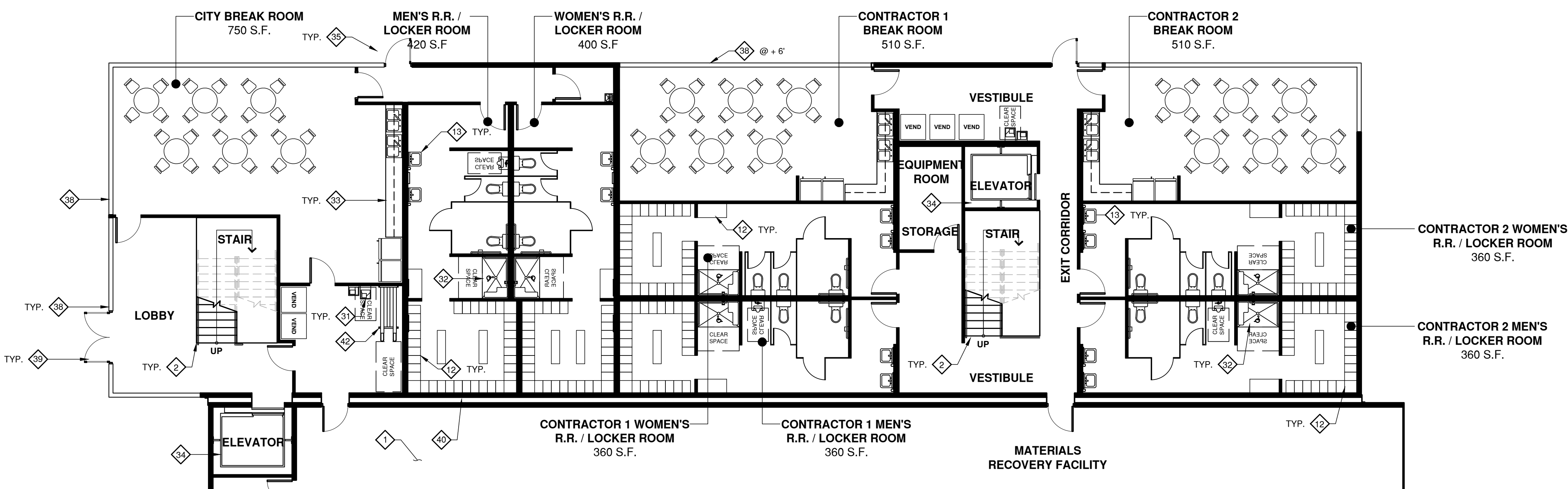
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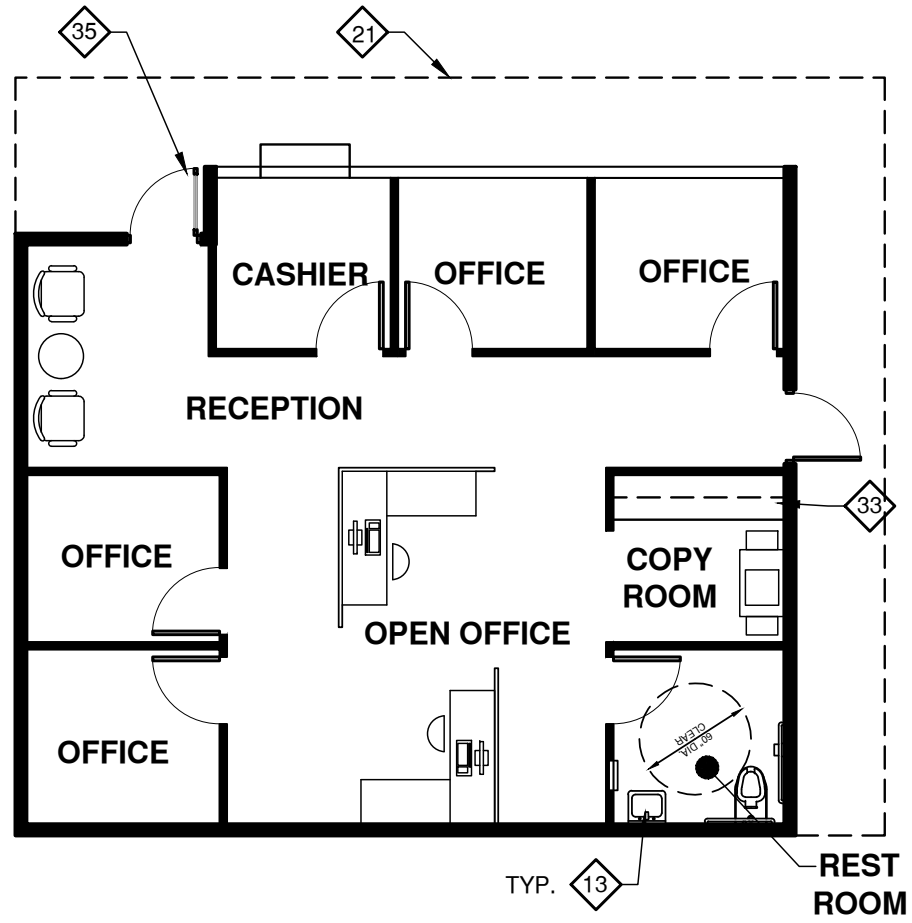
1 THIRD FLOOR



1 SECOND FLOOR



1 FIRST FLOOR

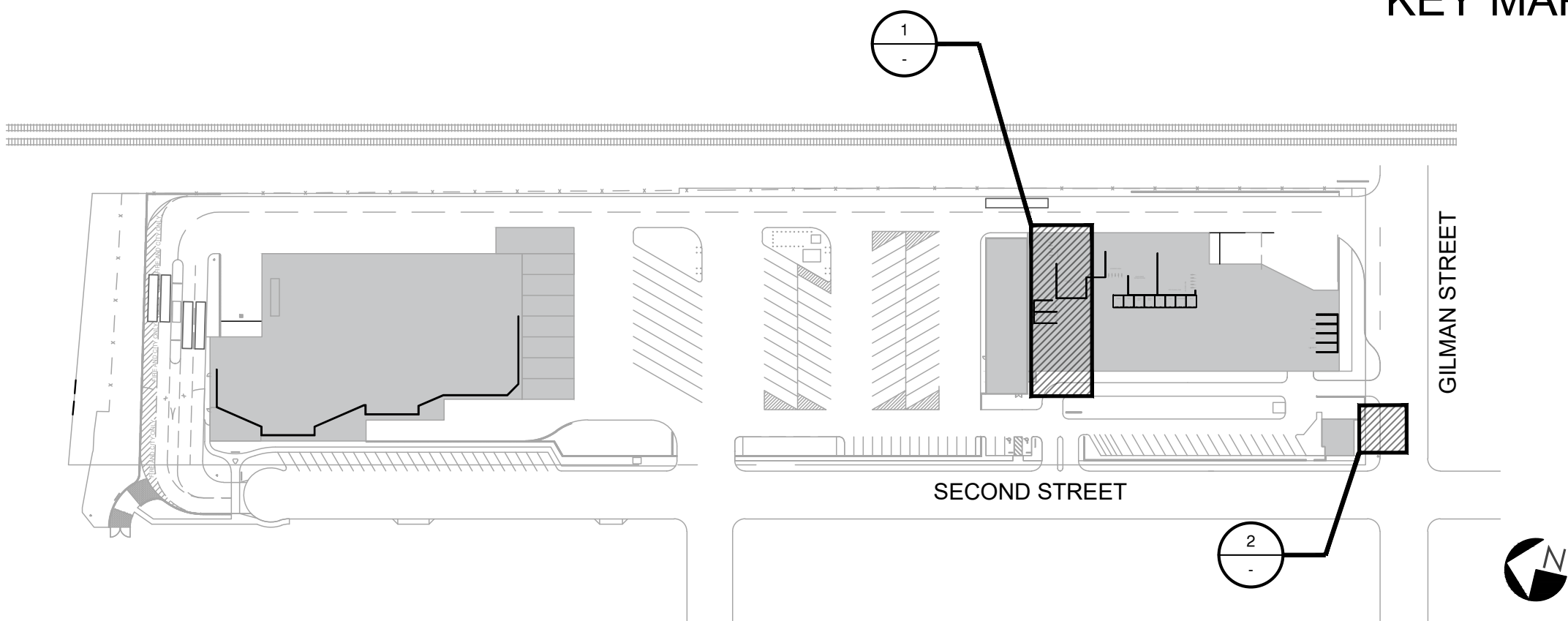


2 CRV/DROP-OFF OFFICE & SERVICE BUILDING
1,100 S.F.

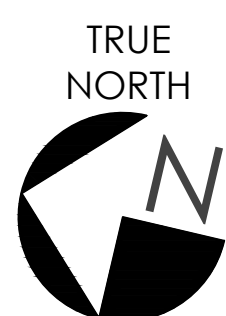
KEYNOTES

- | | |
|--|---|
| 1 STRUCTURAL CONCRETE SLAB | 22 STEEL SUPPORT FRAME |
| 2 STEEL STAIR | 23 LIGHT GAUGE FRAMING W/ 1/2 GYP BOARD EACH SIDE |
| 3 CONCRETE PAVING / SIDEWALK | 24 GYP BOARD CEILING ABOVE |
| 4 10" DIAMETER CONCRETE FILLED STEEL BOLLARD | 25 SUSPENDED ACOUSTIC CEILING 2x2 GRID ABOVE |
| 5 EMERGENCY EYE WASH STATION | 26 LIGHT FIXTURE - HIGH BAY LED |
| 6 LINE OF ROOF ABOVE | 27 LIGHT FIXTURE - ARCH. INTERIOR LED |
| 7 METAL LOUVER | 28 COMPOSITE PANEL - WOOD |
| 8 CONCRETE CURB | 29 VEGETATED WALL W/ DRIP IRRIGATION |
| 9 STRUCTURAL STEEL BRACING (PEMB) | 30 COUNTER |
| 10 NOT USED | 31 WATER BOTTLE FILL STATION |
| 11 STRUCTURAL STEEL COLUMN (PEMB) | 32 SHOWER |
| 12 METAL LOCKERS | 33 CASEWORK / CABINETS ABOVE |
| 13 WALL MOUNTED SINK | 34 ELEVATOR |
| 14 TUBULAR DAYLIGHTING SYSTEM ABOVE | 35 PEDESTRIAN DOOR (HOLLOW METAL) |
| 15 SKYLIGHT ABOVE (5x8) | 36 OVERHEAD CEILING DOOR |
| 16 FIRE RISER | 37 EXTERIOR CMU WALL |
| 17 STRIPING | 38 STOREFRONT WINDOWS |
| 18 FULL HEIGHT TILE WALL - LARGE FORMAT | 39 STOREFRONT DOOR |
| 19 FLOOR TILE - LARGE FORMAT | 40 SEISMIC GAP |
| 20 NOT USED | 41 SMOKE HATCH |
| 21 CANOPY | 42 BIKE RACK - LONG TERM PARKING |

KEY MAP



SCALE: 3/8"=1'-0"
0 4 8 16 32

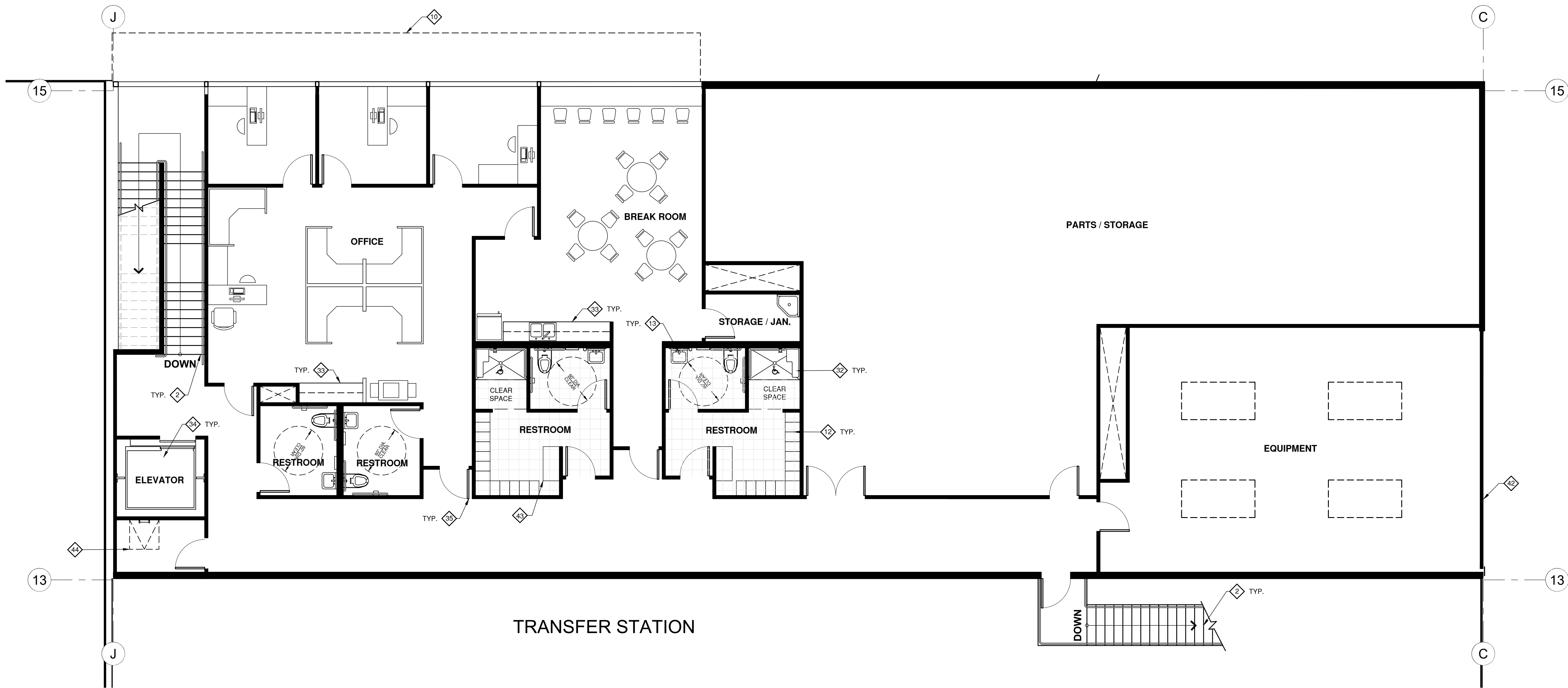


FLOOR PLAN - ADMIN OFFICE
The City Of Berkeley
Solid Waste and Recycling Transfer
Station Replacement Project
1201 Second Street, Berkeley, CA 94710

Job No. 5447-0
2.8.2024

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A2.3

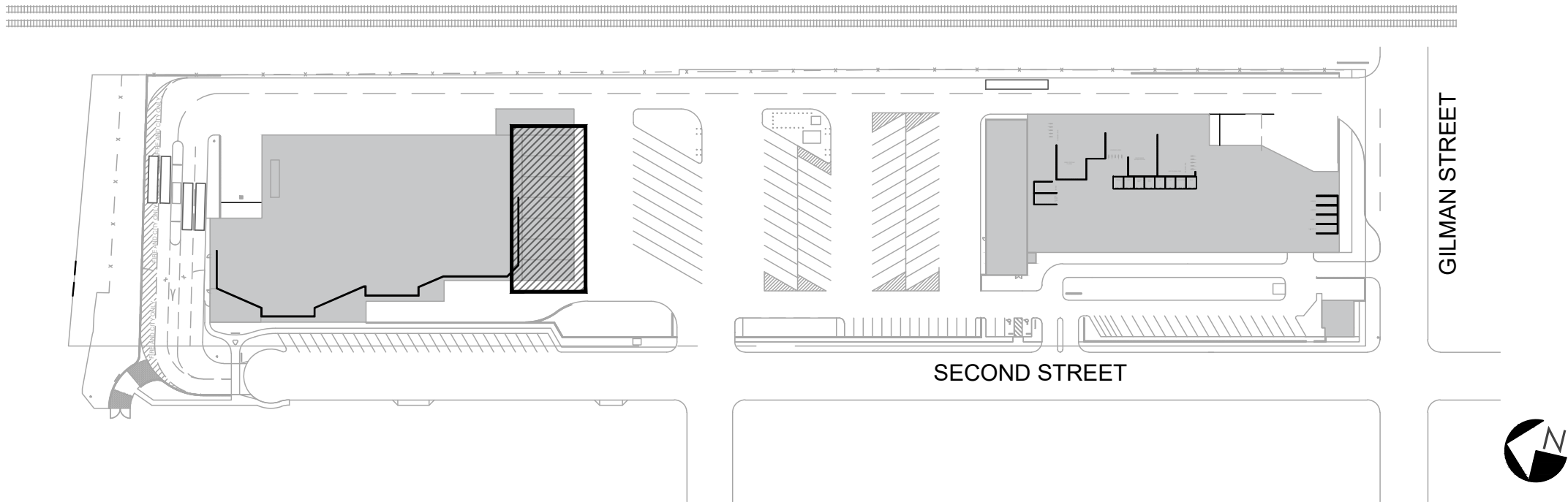


VEHICLE MAINTENANCE - 2ND FLOOR

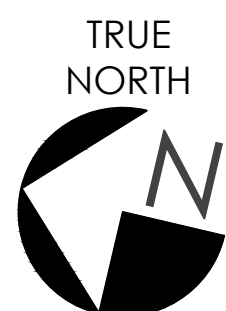
KEYNOTES

- | | | | | |
|--|---|---|-----------------------------------|----------------------|
| 1 STRUCTURAL CONCRETE SLAB | 11 STRUCTURAL STEEL COLUMN (PEMB) | 21 HELICAL WIND TURBINE | 30 NOT USED | 40 COMPRESSORS |
| 2 STEEL STAIR | 12 METAL LOCKERS | 22 STEEL SUPPORT FRAME | 31 WATER BOTTLE FILL STATION | 41 SMOKE HATCH |
| 3 CONCRETE PAVING / SIDEWALK | 13 WALL MOUNTED SINK | 23 LIGHT GAUGE FRAMING W/ 1/2 GYP BOARD EACH SIDE | 32 SHOWER | 42 LOUVER |
| 4 10" DIAMETER CONCRETE FILLED STEEL BOLLARD | 14 TUBULAR DAYLIGHTING SYSTEM ABOVE | 24 GYP BOARD CEILING ABOVE | 33 CASEWORK / CABINETS ABOVE | 43 BENCH |
| 5 EMERGENCY EYE WASH STATION | 15 SKYLIGHT ABOVE (5x8) | 25 SUSPENDED ACOUSTIC CELING 2x2 GRID ABOVE | 34 ELEVATOR | 44 ROOF ACCESS HATCH |
| 6 LINE OF ROOF ABOVE | 16 FIRE RISER | 26 LIGHT FIXTURE - HIGH BAY LED | 35 PEDESTRIAN DOOR (HOLLOW METAL) | |
| 7 METAL LOUVER | 17 STRIPING | 27 LIGHT FIXTURE - ARCH. INTERIOR LED | 36 OVERHEAD CEILING DOOR | |
| 8 CONCRETE CURB | 18 FULL HEIGHT TILE WALL - LARGE FORMAT | 28 COMPOSITE PANEL - WOOD | 37 EXTERIOR CMU WALL | |
| 9 STRUCTURAL STEEL BRACING (PEMB) | 19 FLOOR TILE - LARGE FORMAT | 29 VEGETATED WALL W/ DRIP IRRIGATION | 38 STOREFRONT WINDOWS | |
| 10 CANOPY | 20 NOT USED | | 39 STOREFRONT DOOR | |

KEY MAP



SCALE: 1/8" = 1'-0"



FLOOR PLAN - VEHICLE MAINTENANCE
The City Of Berkeley
Solid Waste and Recycling Transfer
Station Replacement Project
1201 Second Street, Berkeley, CA 94710

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2.8.2024

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A2.4



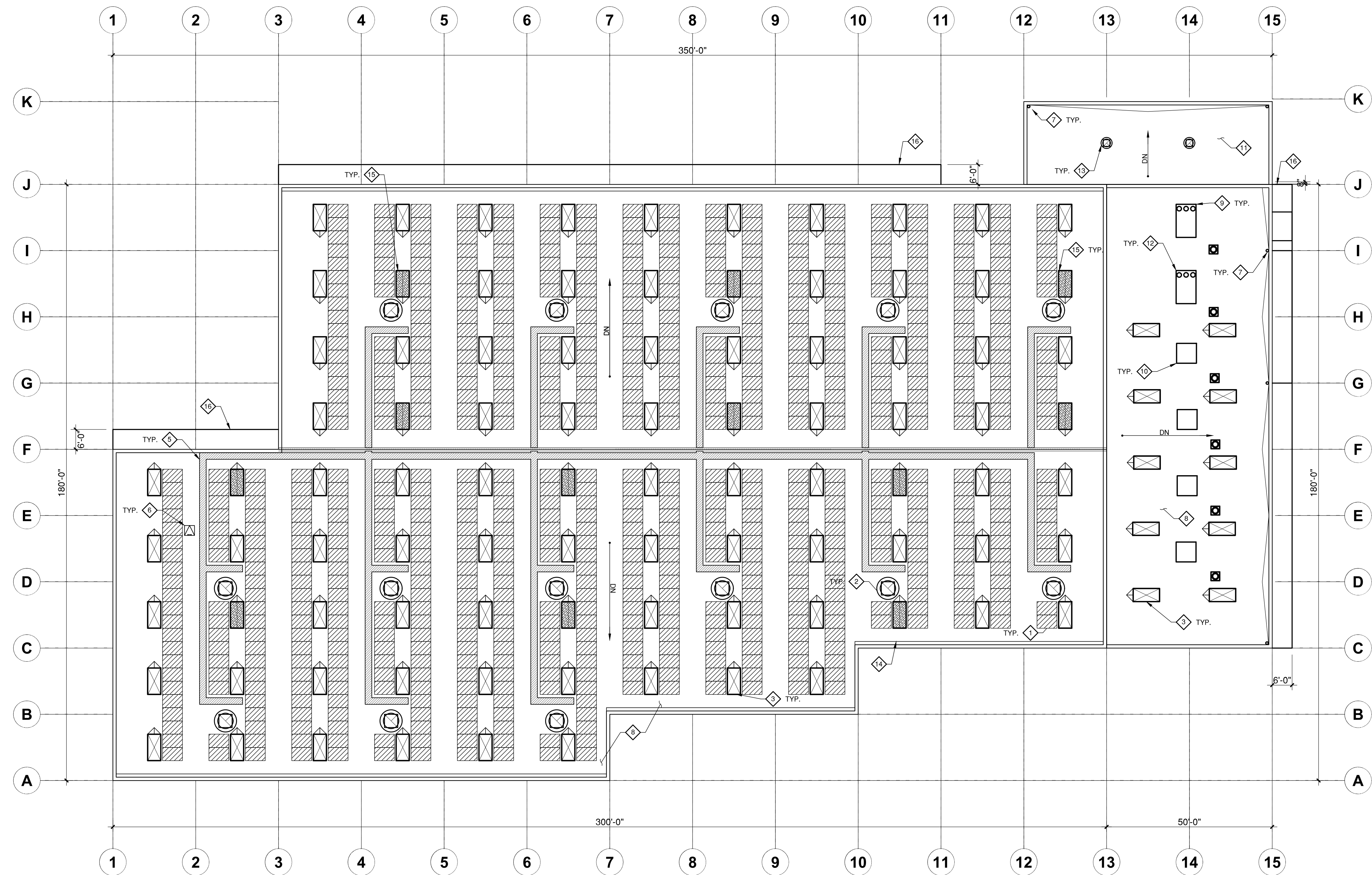
- | | |
|--------------------|-------------|
| AREA OF PV PANELS: | 10,000 S.F. |
| AREA OF ROOF WALK: | 1,400 S.F. |
| SKYLIGHTS: | 60 |

The site plan illustrates the proposed development at the intersection of Gilman Street and Second Street. The building footprint is shown with a hatched pattern, indicating the proposed structure. The plan includes street names, a north arrow, and various lot and block numbers.



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08.28.2026
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A4.1

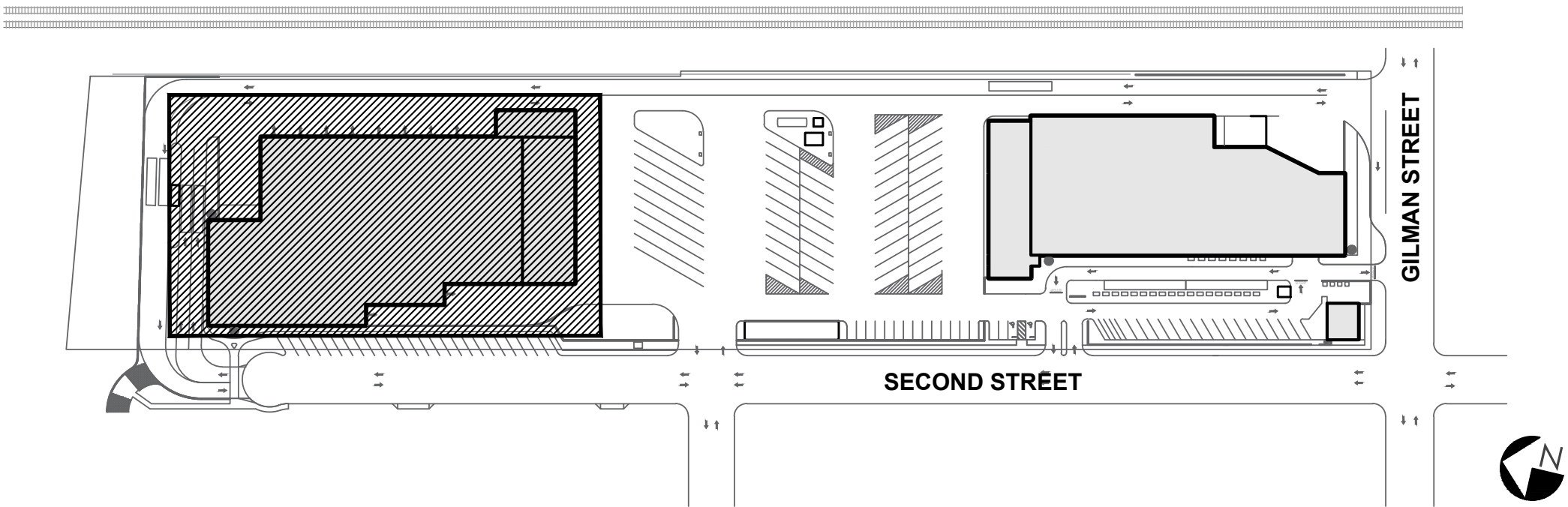


KEYNOTE

- 1 4' x 6' PHOTOVOLTAIC PANELS
- 2 48" DIAMETER EXHAUST FAN
- 3 4' x 8' FIXED SKYLIGHT
- 4 RIDGELINE
- 5 24" WIDE ROOF WALK
- 6 ROOF ACCESS HATCH
- 7 ROOF DRAIN
- 8 METAL ROOF PANEL
- 9 TUBULAR SKYLIGHTS
- 10 EVAP COOLER
- 11 SINGLE PLY EPDM ROOF MEMBRANE (WHITE)
- 12 HVAC
- 13 24" DIAMETER EXHAUST FAN
- 14 GUTTER
- 15 SMOKE VENT
- 16 STEEL CANOPY

AREA OF PV PANELS: 16,000 S.F.
AREA OF ROOF WALK: 1,500 S.F.
SKYLIGHTS: 101

KEY MAP



SCALE: 1/16"=1'-0"

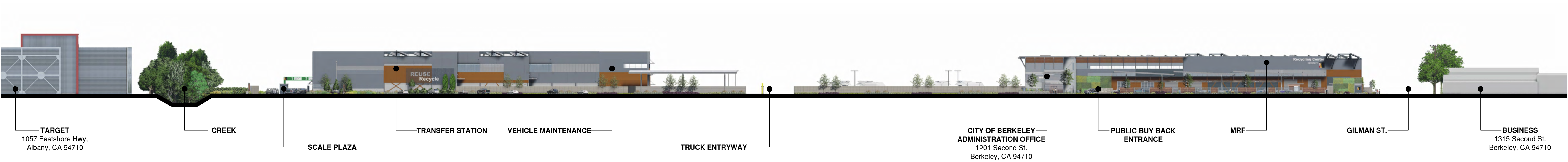


ROOF PLAN - TRANSFER STATION
The City Of Berkeley
Solid Waste and Recycling Transfer
Station Replacement Project
1201 Second Street, Berkeley, CA 94710

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2.8.2024

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A4.2

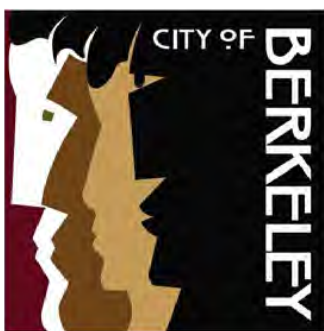
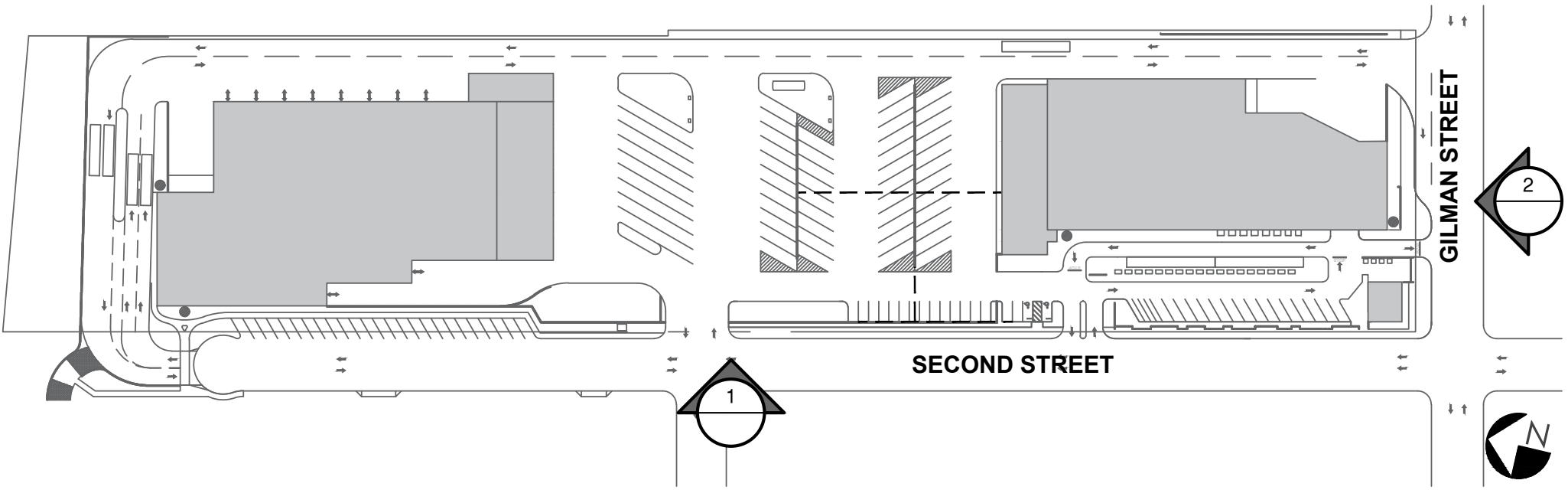


1 2ND STREET ELEVATION

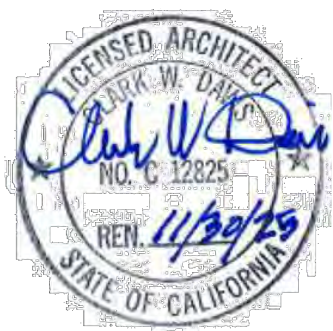


2 GILMAN STREET ELEVATION

KEY MAP



SCALE: $\frac{3}{32}'' = 1'-0''$
0 40 80 160

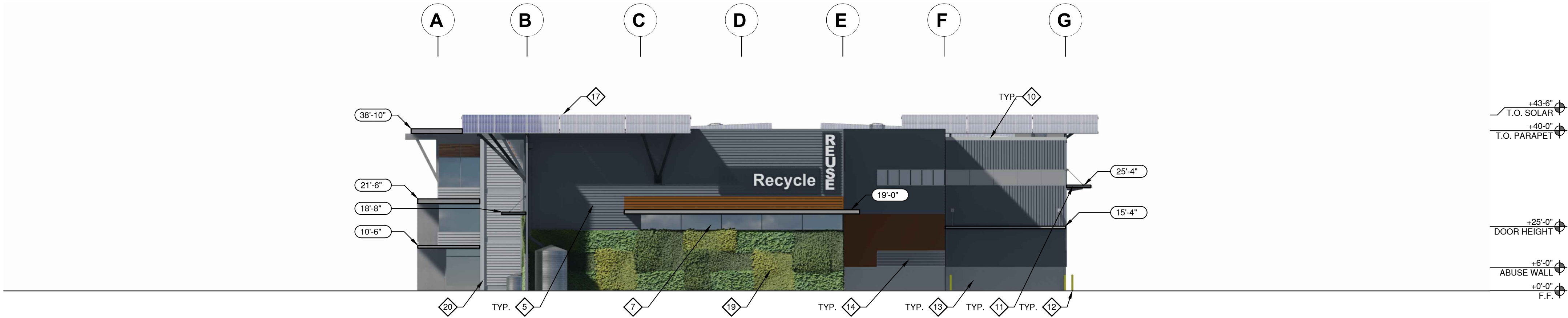


EXTERIOR STREET ELEVATIONS
The City Of Berkeley
Solid Waste and Recycling Transfer
Station Replacement Project
1201 Second Street, Berkeley, CA 94710

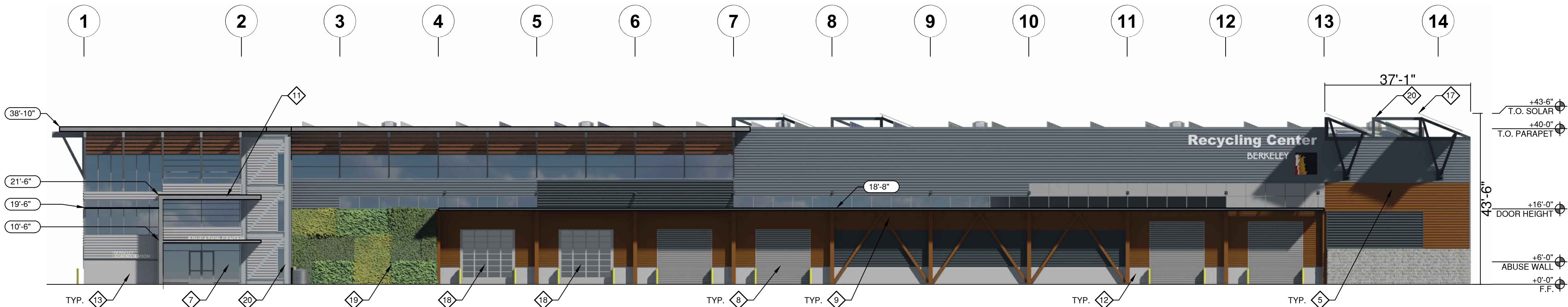
Job No. 5447-0
08.28.2026

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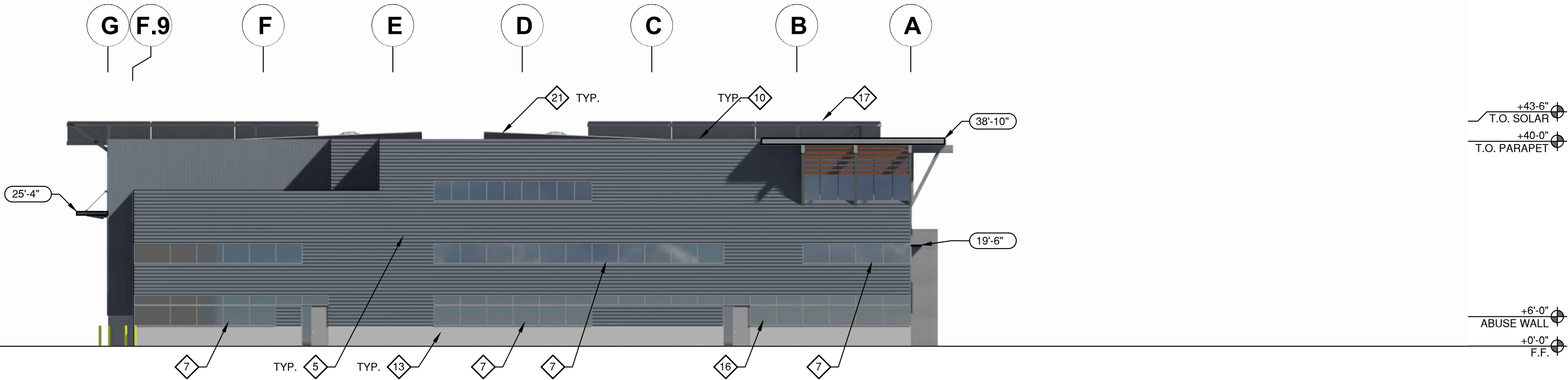
A5.1



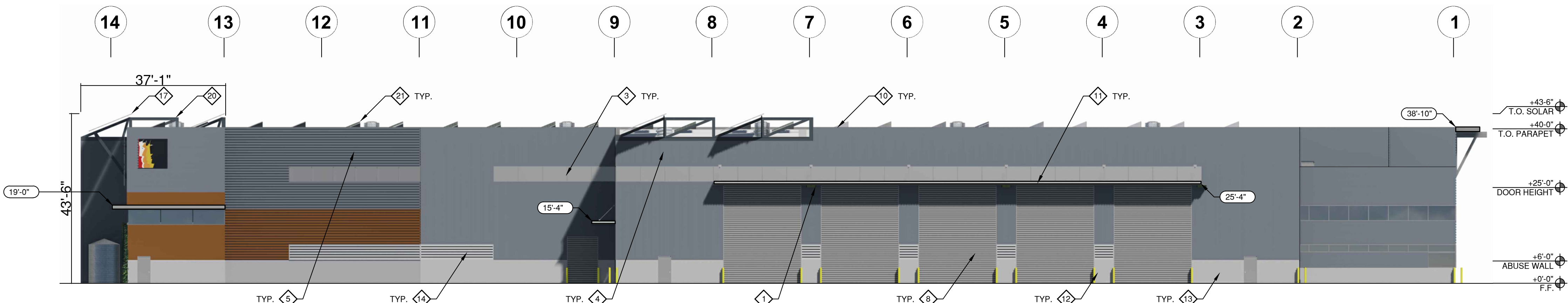
1 SOUTH ELEVATION



2 WEST ELEVATION



3 NORTH ELEVATION



4 EAST ELEVATION

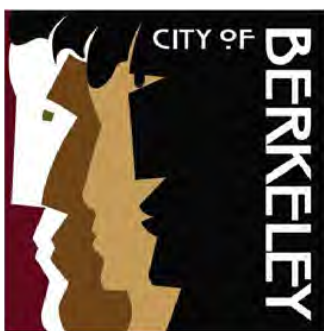
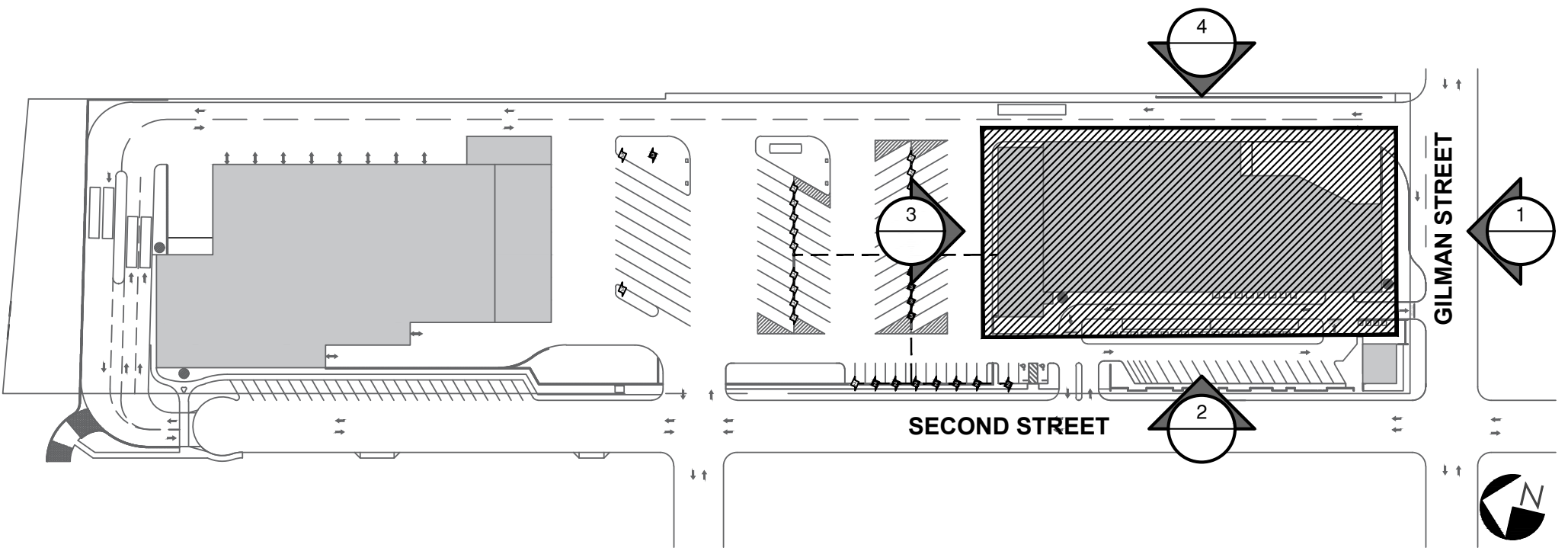
KEYNOTES

- 1 LIGHT FIXTURE / WALL MOUNTED LED
- 2 DAYLIGHTING WALL PANEL / POLYCARBONATE
- 3 DAYLIGHTING WALL PANEL / FIBER GLASS
- 4 METAL PANEL - VERTICAL RIB
- 5 METAL PANEL - HORIZONTAL RIB
- 6 METAL PANEL - FLAT
- 7 STOREFRONT - DUAL PANE LOW E
- 8 OVERHEAD COILING DOOR
- 9 COMPOSITE PANEL - WOOD GRAIN
- 10 FLAT METAL TRIM
- 11 STEEL CANOPY
- 12 STEEL BOLLARD
- 13 CONCRETE ABUSE WALL
- 14 LOUVERS
- 15 PEMB COLUMN
- 16 PEDESTRIAN DOOR
- 17 SOLAR PANEL FEATURE
- 18 OVERHEAD SECTIONAL DOOR
- 19 VEGETATED WALL
- 20 STEEL FRAMING
- 21 PHOTOVOLTAIC PANEL

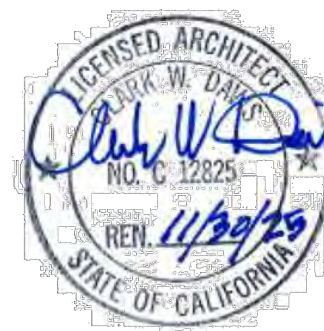
KEYNOTES

- 0-0" OVERHANG HEIGHT

KEY MAP



SCALE: 1/16"=1'-0"

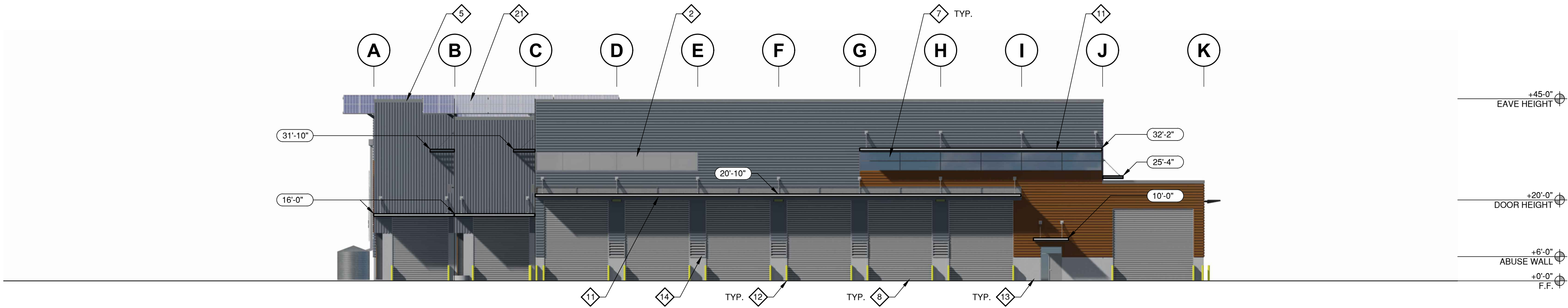


MRF EXTERIOR ELEVATIONS
The City Of Berkeley
Solid Waste and Recycling Transfer
Station Replacement Project
1201 Second Street, Berkeley, CA 94710

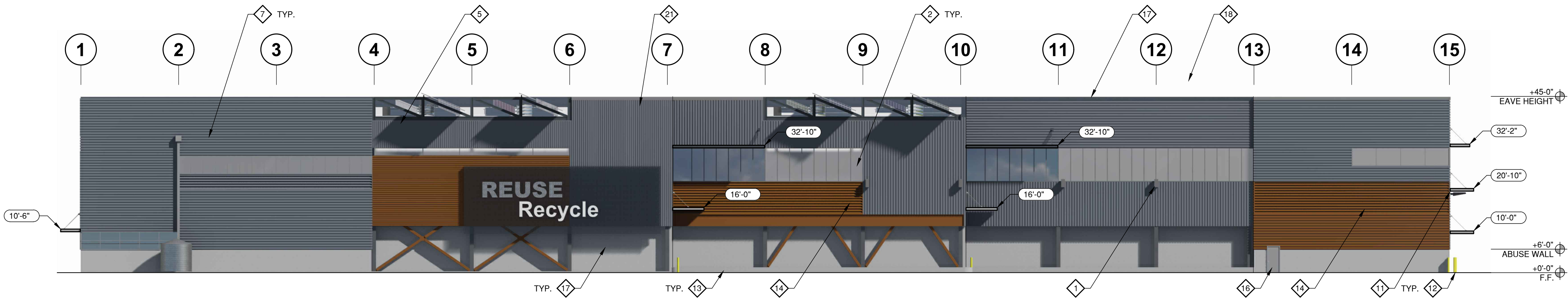
Job No. 5447-0
08.28.2026

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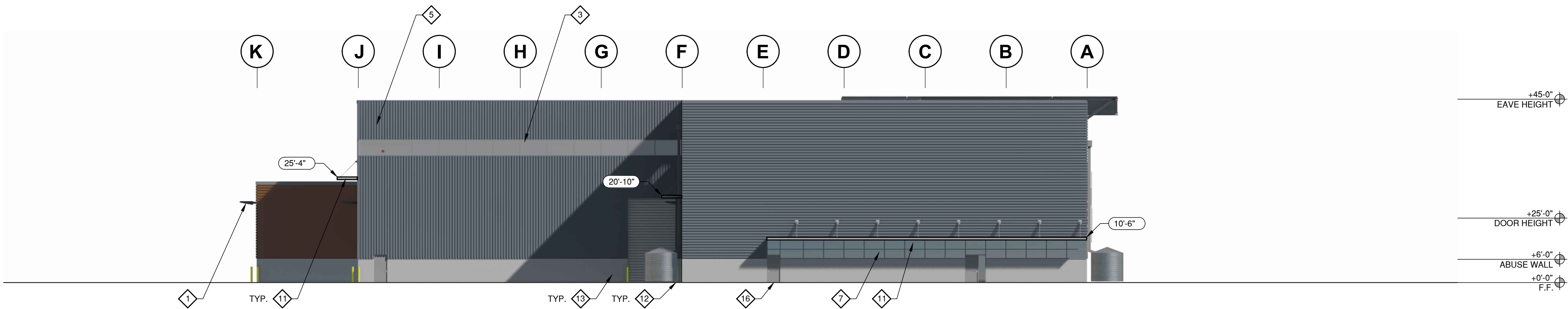
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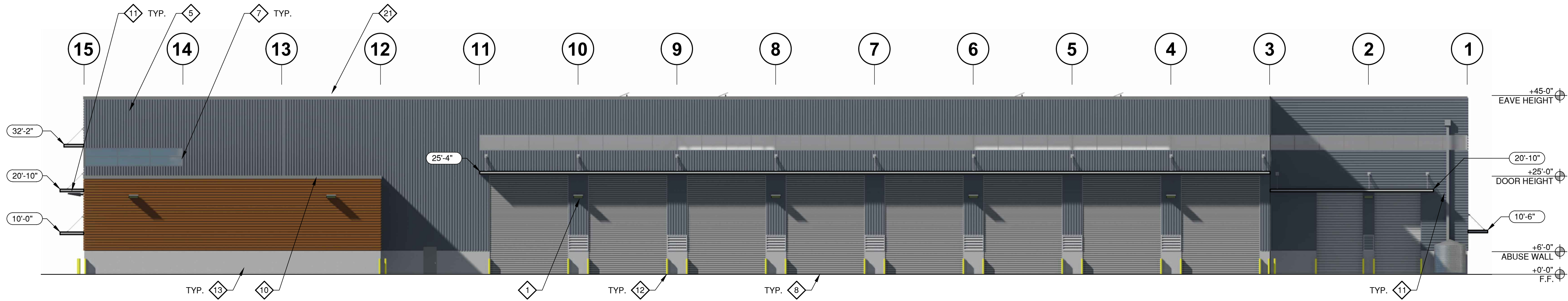
1 SOUTH ELEVATION



2 WEST ELEVATION



3 NORTH ELEVATION



4 EAST ELEVATION

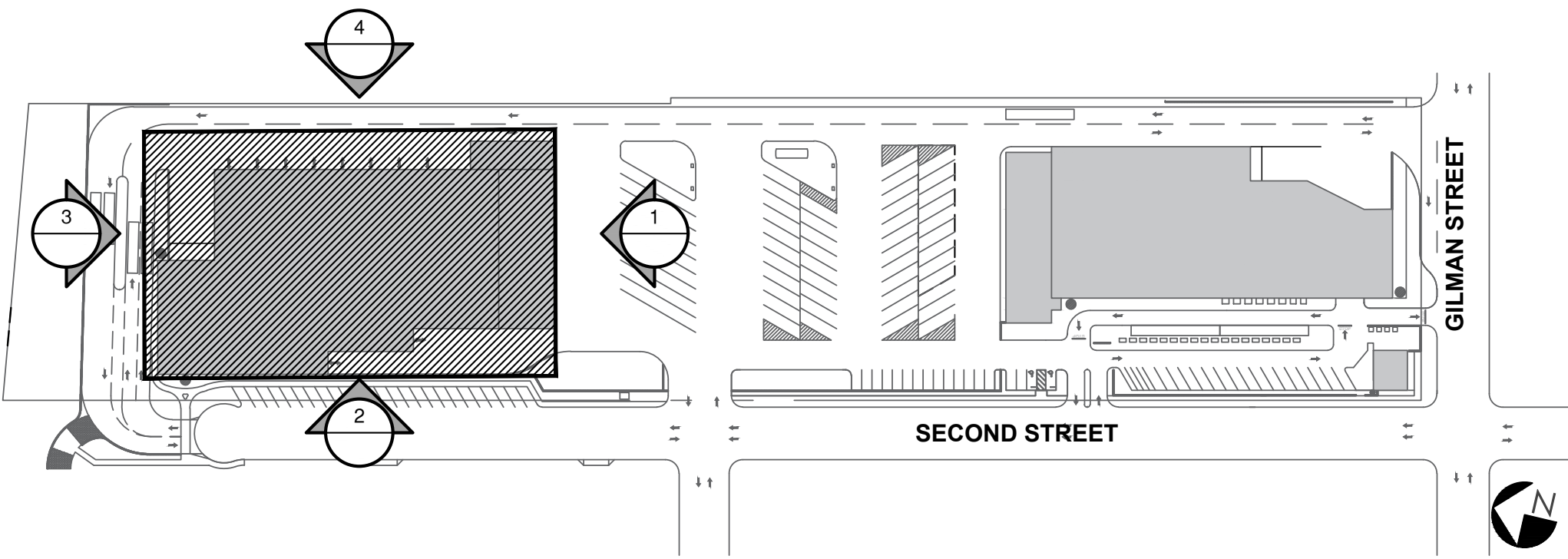
KEYNOTES

- 1 LIGHT FIXTURE / WALL MOUNTED LED
- 2 DAYLIGHTING WALL PANEL / POLYCARBONATE
- 3 DAYLIGHTING WALL PANEL / FIBER GLASS
- 4 METAL PANEL - VERTICAL RIB
- 5 METAL PANEL - HORIZONTAL RIB
- 6 METAL PANEL - FLAT
- 7 STOREFRONT - DUAL PANE LOW E
- 8 OVERHEAD COILING DOOR
- 9 COMPOSITE PANEL - WOOD GRAIN
- 10 FLAT METAL TRIM
- 11 STEEL CANOPY
- 12 STEEL BOLLARD
- 13 CONCRETE ABUSE WALL
- 14 LOUVERS
- 15 PEMB COLUMN
- 16 PEDESTRIAN DOOR
- 17 VERTICAL WIND TURBINES
- 18 OVERHEAD SECTIONAL DOOR
- 19 VEGETATED WALL
- 20 STEEL FRAMING
- 21 PHOTOVOLTAIC PANEL

KEYNOTES

- 0'-0" OVERHANG HEIGHT

KEY MAP



SCALE: 1/16"=1'-0"

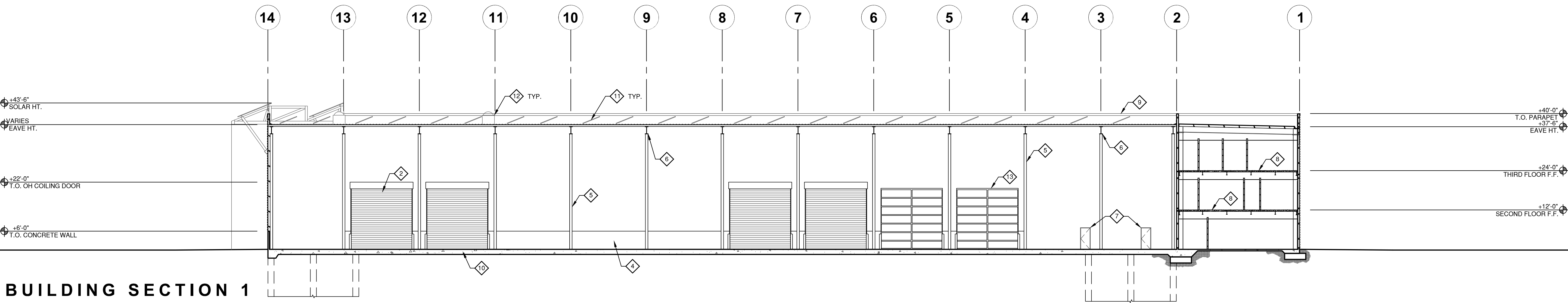


TS EXTERIOR ELEVATIONS
The City Of Berkeley
Solid Waste and Recycling Transfer
Station Replacement Project
1201 Second Street, Berkeley, CA 94710

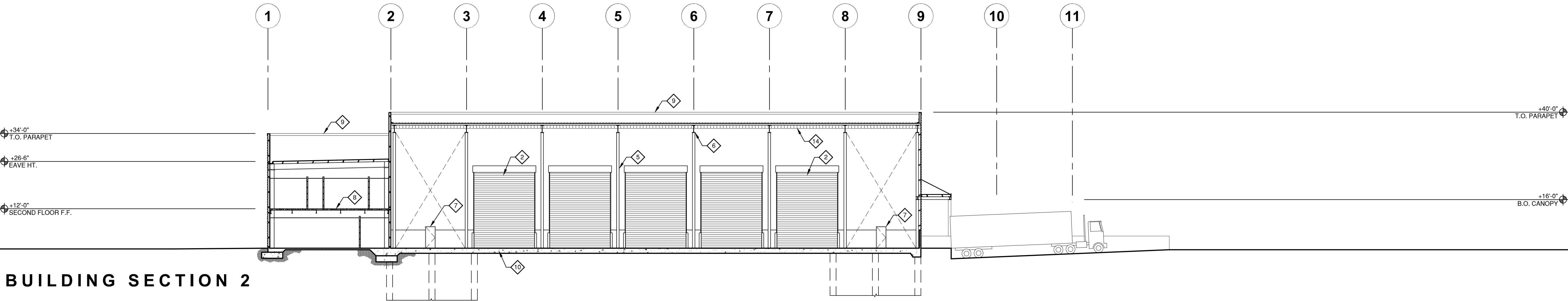
Job No. 5447-0
2.8.2024

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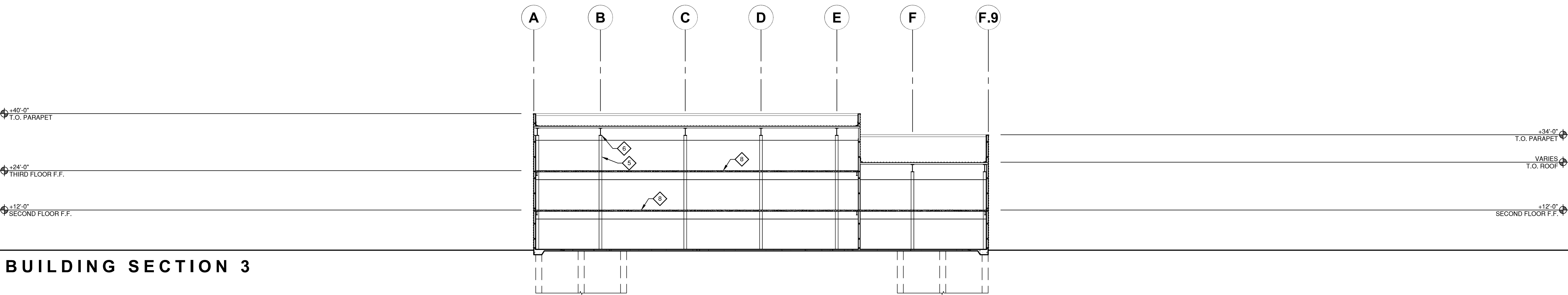
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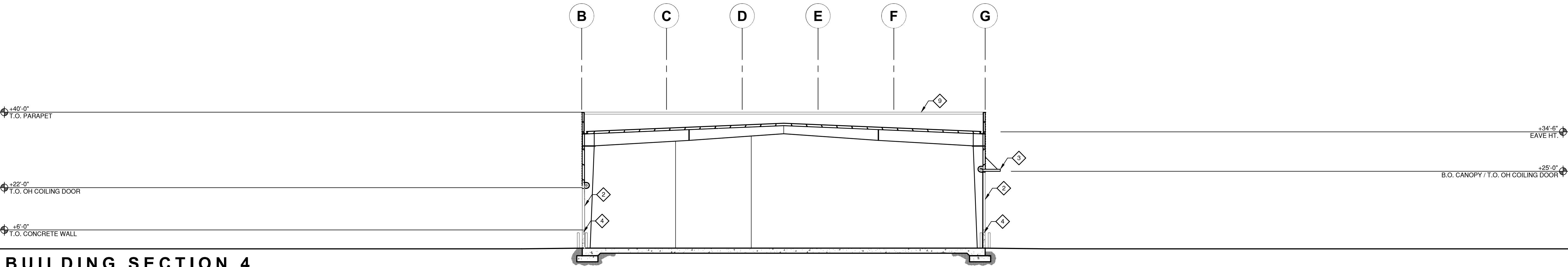
BUILDING SECTION 1



BUILDING SECTION 2



BUILDING SECTION 3

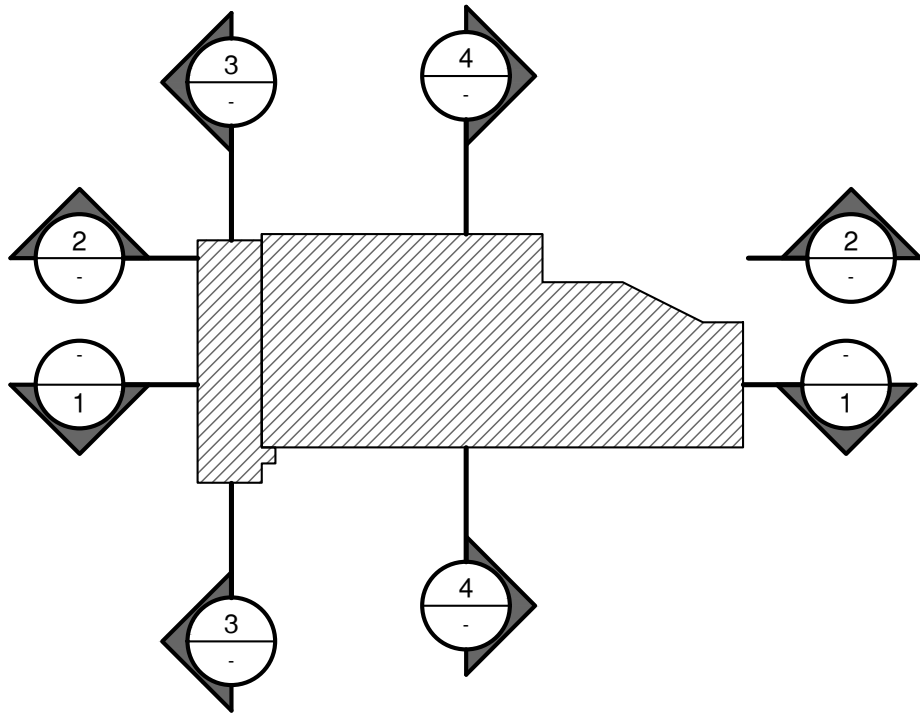


BUILDING SECTION 4

KEYNOTES

- 1 14' CONCRETE PUSHWALL W/ 12' LIMIT LINE
- 2 OVERHEAD COILING DOOR
- 3 METAL CANOPY
- 4 CONCRETE ABUSE WALL
- 5 RIGID FRAME COLUMN
- 6 RIGID FRAME BEAM
- 7 PEDESTRIAN DOOR- HOLLOW METAL
- 8 CONCRETE ON METAL DECK
- 9 PARAPET CAP
- 10 PILE SUPPORTED SLAB FOUNDATION
- 11 4' x 6' PHOTOVOLTAIC PANELS TYP.
- 12 48" DIAMETER EXHAUST FAN, 26,000 CFM
- 13 OVERHEAD SECTIONAL DOOR
- 14 ROOF INSULATION W/ VINYL FACING

KEY PLAN



SCALE: 1/8"=1'-0"

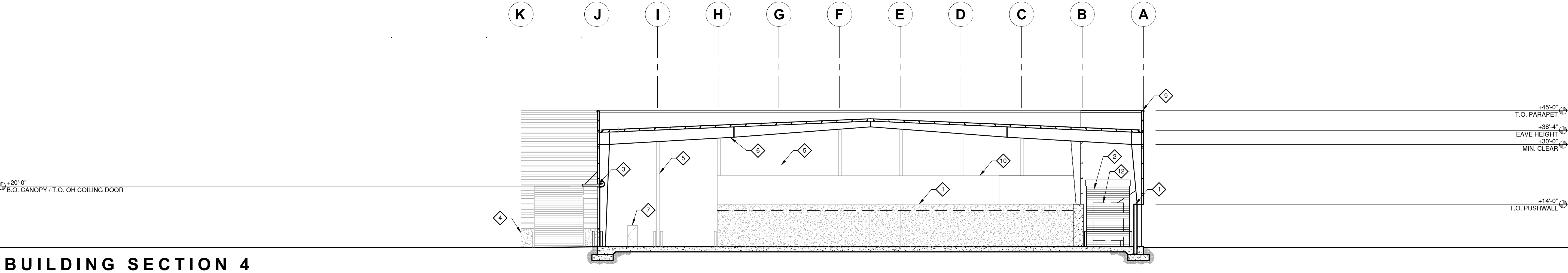
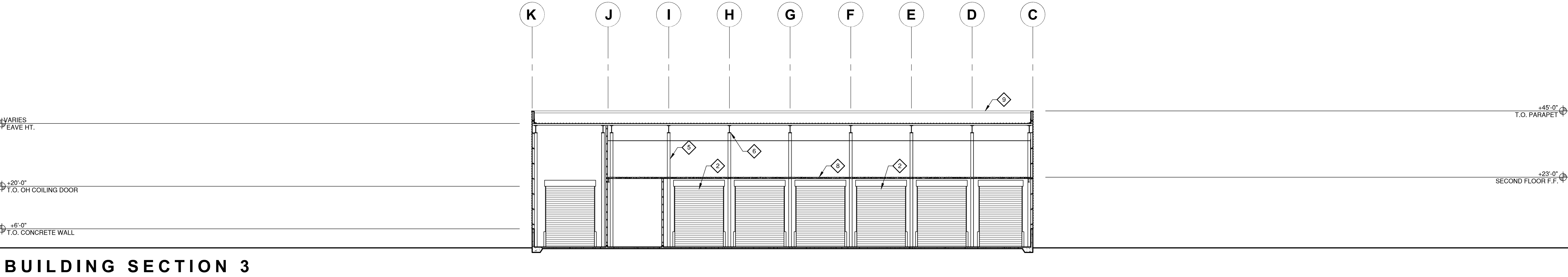
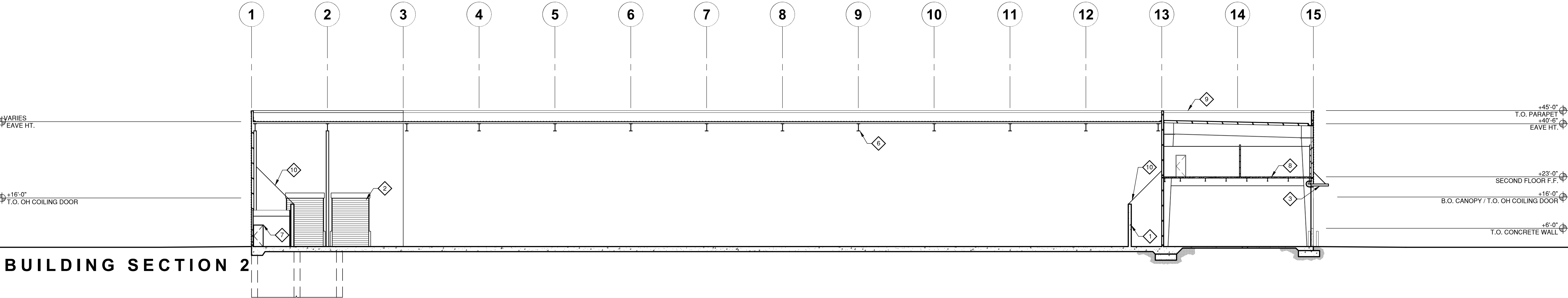
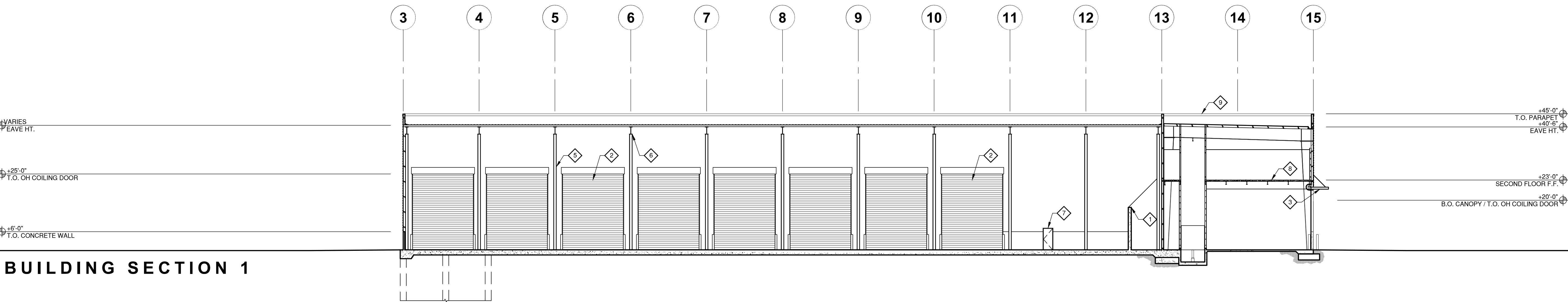


BUILDING SECTIONS - MRF
The City Of Berkeley
Solid Waste and Recycling Transfer
Station Replacement Project
1201 Second Street, Berkeley, CA 94710

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08.28.2026

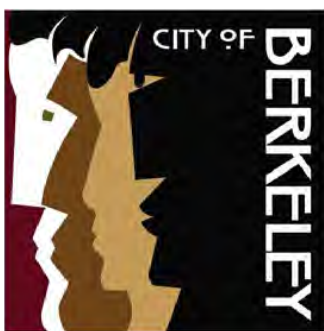
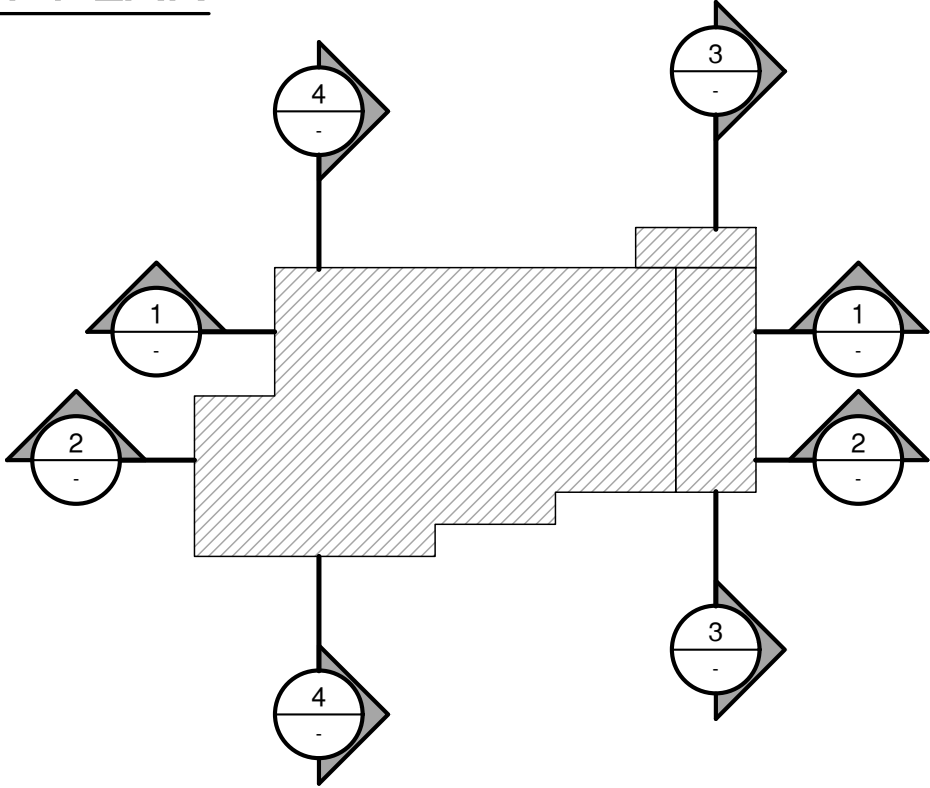
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A6.1

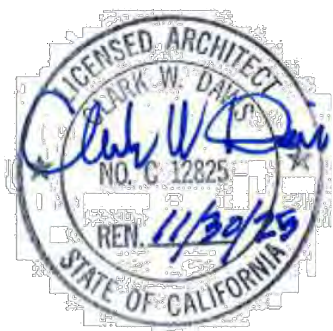


- KEYNOTES**
- 14' CONCRETE PUSHWALL W/ 12' LIMIT LINE
 - OVERHEAD COILING DOOR
 - METAL CANOPY
 - CONCRETE ABUSE WALL
 - RIGID FRAME COLUMN
 - RIGID FRAME BEAM
 - PEDESTRIAN DOOR - HOLLOW METAL
 - CONCRETE ON METAL DECK
 - PARAPET CAP
 - STEEL SHEET SLOPED COVER TYP.
 - PILE SUPPORTED SLAB FOUNDATION
 - STEEL PLATE HOPPER

KEY PLAN



SCALE: 1/8"=1'-0"



BUILDING SECTIONS - TRANSFER STATION
The City Of Berkeley
Solid Waste and Recycling Transfer
Station Replacement Project
1201 Second Street, Berkeley, CA 94710

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2.8.2024

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A6.2



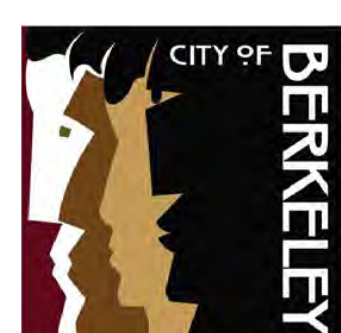
Site Render
Buy Back & Drop Off Entry
View East (Second St)



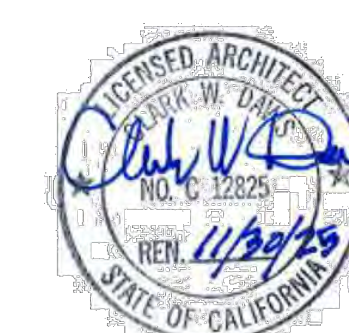
The City Of Berkeley
Solid Waste and Recycling Transfer
Station Replacement Project
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A7.1



Site Render
Buy Back & Drop Off Plaza
View South (Inside Site)



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A7.2



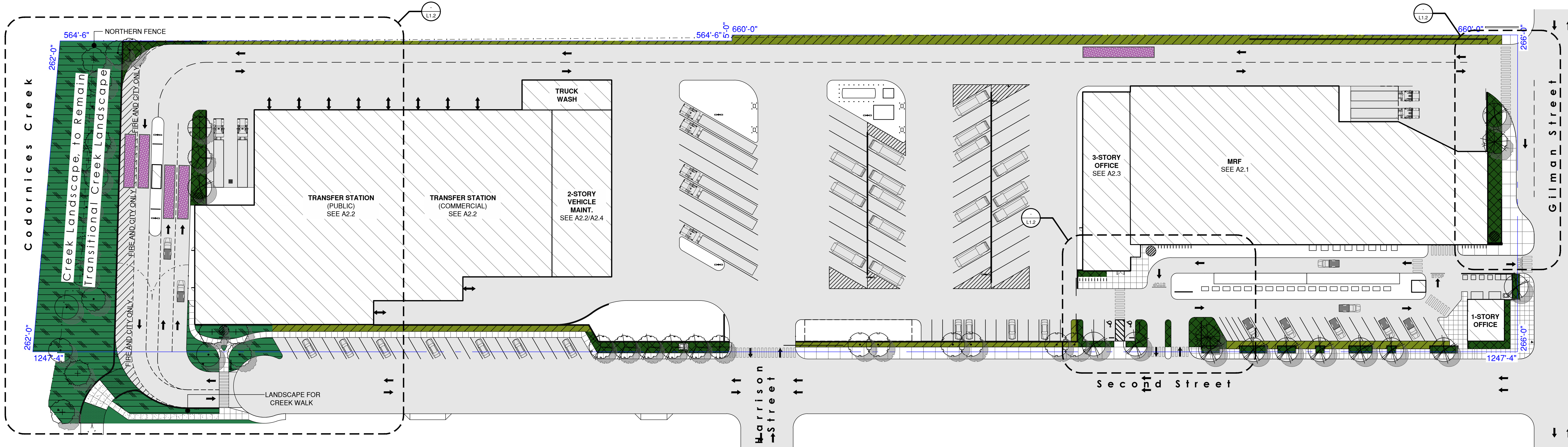
Site Render
Scale Entry
View North (Second St)



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Station Replacement Project
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A7.3



ENVIRONMENTAL LANDSCAPE PALETTE

- AESCLUS CALIFORNICA
- BETULA OCCIDENTALIS
- PLATANUS RACEMOSA
- POPULUS TRICHOCARPA
- UMBELLULARIA CALIFORNICA
- ASCLEPIAS FASCICULARIS
- CAREX PANSA
- CEANOTHUS THYRSIFLORUS*
- CHONDRPETALUM TECTORUM*
- FESTUCA RUBRA 'MOLATE'
- IRIS DOUGLASIANA
- HETEROMELES ARBUTIFOLIA
- SAMBUCUS RACEMOSA
- CALIFORNIA BUCKEYE
- WATER BIRCH
- WESTERN SYCAMORE
- BLACK COTTONWOOD
- CALIFORNIA LAUREL
- NARROW LEAF MILKWEED
- SANDDUNE SEDGE
- BLUE BLOSSOM
- CAPE RUSH*
- MOLATE FESCUE
- DOUGLAS IRIS
- TOYON
- RED ELDERBERRY

DECORATIVE LANDSCAPE PALETTE

- ACER CIRCINATUM
- ARBUTUS MENZIESII
- CERCIS OCCIDENTALIS
- GINKGO BILOBA*
- ERIGERON GLAUCUS
- ARCTOSTAPHYLOS UVA-URSI
- CEANOTHUS THYRSIFLORUS VAR. GRISEUS
- CORNUS SERICEA
- FESTUCA RUBRA 'MOLATE'
- IRIS DOUGLASIANA
- MUHLBERGIA RIGENS
- RIBES SPECIOSUM
- VINE MAPLE
- MADRONE
- WESTERN REDBUD
- MAIDENHAIR TREE*
- BEACH DAISY
- KINNIKINNICK
- YANKEE POINT CEANOTHUS
- RED TWIG DOGWOOD
- MOLATE FESCUE
- DOUGLAS IRIS
- DEER GRASS
- FUCHSIA FLOWERING GOOSEBERRY

PARKWAY LANDSCAPE PALETTE

- ARCTOSTAPHYLOS UVA-URSI
- BOUTELOUA GRACILIS 'BLONDE AMBITION'
- CEANOTHUS THYRSIFLORUS VAR. GRISEUS
- RIBES SPECIOSUM
- KINNIKINNICK
- BLUE GRAMA
- YANKEE POINT CEANOTHUS
- FUCHSIA FLOWERING GOOSEBERRY

LEGEND

- PROPERTY LINE
- WALL
- FENCE

LANDSCAPE AREA

LANDSCAPE	PLANNED ON-SITE	OFF-SITE IMPROVEMENTS	COMBINED TOTALS
CREEK LANDSCAPE TO REMAIN	7,700 S.F.		7,700 S.F.
TRANSITIONAL CREEK LANDSCAPE	9,200 S.F.	4,900 S.F.	14,100 S.F.
ENVIRONMENTAL LANDSCAPE TOTAL	16,900 S.F.		21,800 S.F.
DECORATIVE LANDSCAPE	5,300 S.F.	100 S.F.	5,400 S.F.
PARKWAY LANDSCAPE	9,500 S.F.		9,500 S.F.
ORNAMENTAL LANDSCAPE TOTAL	14,800 S.F.	100 S.F.	14,900 S.F.
TOTAL LANDSCAPE AREA:	31,700 S.F.	5,000 S.F.	36,700 S.F.

LANDSCAPE NOTES

NATIVE PLANT PERCENT
91.67% of plants selected for the palette are native to California.
79.16% are native to the region (less than 100 miles from site).
54.16% are native to the immediate area of the site.

WILDLIFE SUPPORTING PLANT PERCENT
91.67% (100% of natives) of the plants are wildlife supporting plants.
91.67% (100% of natives) are suitable as butterfly host plants.
91.67% (100% of natives) are suitable for butterfly/moth gardens.
33.33% (36.36% of natives) are suitable for bee gardens.
20.83% (22.72% of natives) are suitable for hummingbird gardens.
66.67% (72.72% of natives) are suitable for bird gardens.
12.50% (13.63% of natives) are suitable for other animal gardens.

WATER NEEDS PERCENTS
29.16% (8.33% in non Creek landscape) of plants that have Moderate to High water needs.
45.83% of plants that have Low water needs.
20.83% of plants that have a Very Low water needs.
4.16% of plants that have a Extremely Low water needs.

NOTES
The landscaped areas of the site will comply with the requirements laid out in Berkeley's Zoning Application Submittal Requirements document and with Berkeley's local Water Efficient Landscape Ordinance (WELo).
Arborist survey of site showed that there were no Live Oaks located on the site.

The percent values are based on data that can be found found on CalScape (https://calscape.org/), which maps locations the plants have been found and expected locations the plants should be found based on data collected from institutions across the state. Additional plant information is included, such as wildlife associated with the plants and their water needs.

* The only two plants not native to California are Chondropetalum Tectorum (Cape Rush) and Ginkgo Biloba (Maidenhair Tree). These plants were selected for their unique characteristic contribution to the overall design.

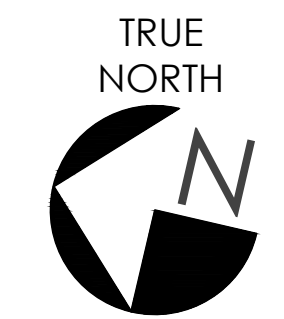
TREES



PLANTS



SCALE: 1/4"=1'-0"

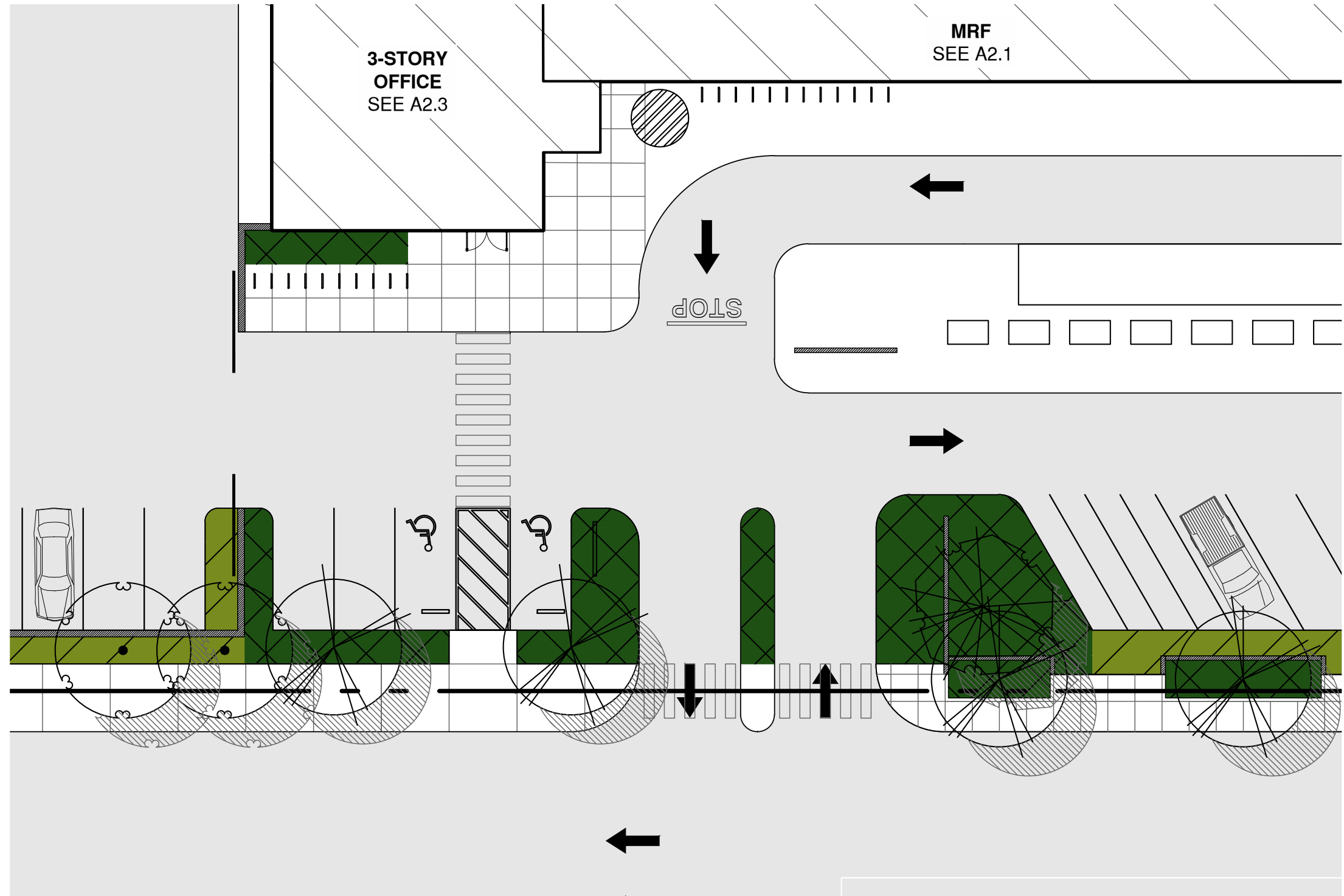
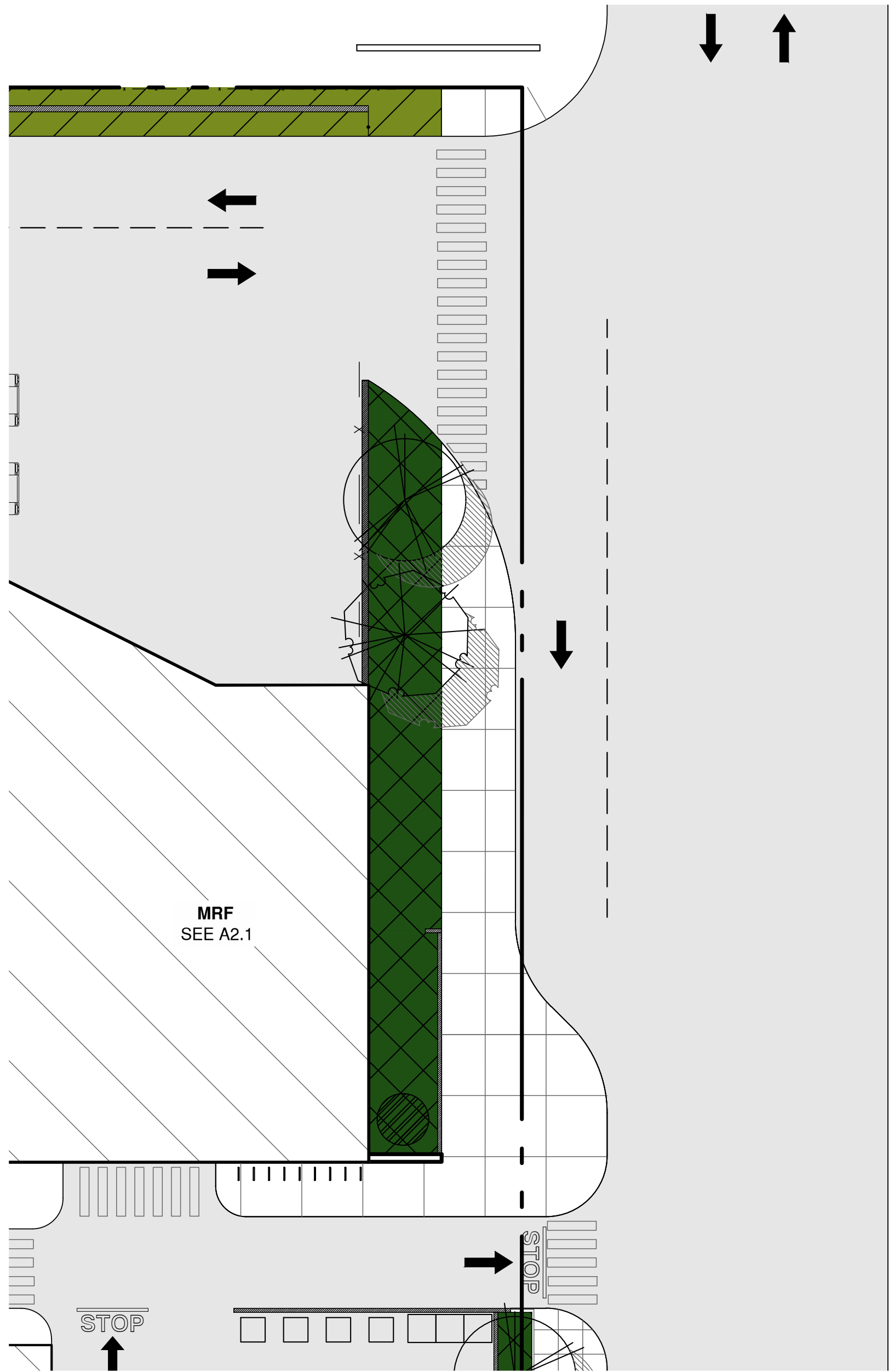
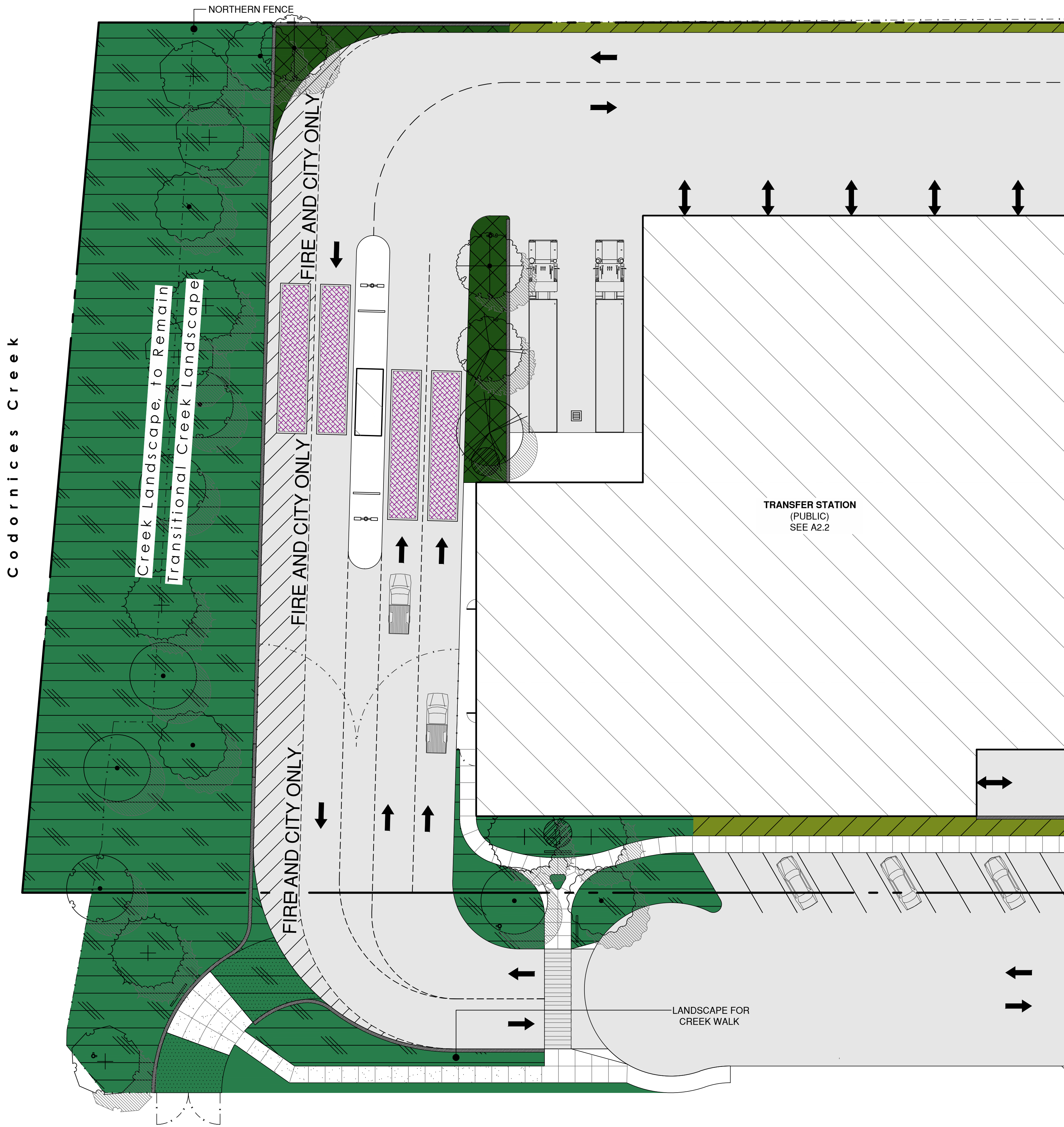


SITE LANDSCAPE PLAN
The City Of Berkeley
Solid Waste and Recycling Transfer
Station Replacement Project
1201 Second Street, Berkeley, CA 94710

Job No. 5447-0
08.28.2026

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L1.1



KEY MAP

CREEK LANDSCAPE PALETTE

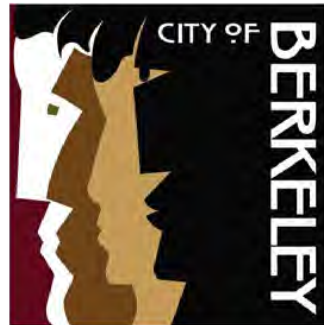
- AESCLUS CALIFORNICA
- BETULA OCCIDENTALIS
- PLATANUS RACEMOSA
- POPULUS TRICHOCARPA
- UMBELLULARIA CALIFORNICA
- ASCLEPIAS FASCICULARIS
- CAREX PANSA
- CEANOTHUS THYRSIFLORUS
- CHONDRPETALUM TECTORUM
- FESTUCA RUBRA 'MOLATE'
- IRIS DOUGLASIANA
- HETEROMELES ARBUTIFOLIA
- SAMBUCUS RACEMOSA
- CALIFORNIA BUCKEYE
- WATER BIRCH
- WESTERN SYCAMORE
- BLACK COTTONWOOD
- CALIFORNIA LAUREL
- NARROW LEAF MILKWEED
- CAPE RUSH
- MOLATE FESCUE
- DOUGLAS IRIS
- TOYON
- RED ELDERBERRY

ORNAMENTAL LANDSCAPE PALETTE

- ACER CIRCINATUM
- ARBUTUS MENZIESII
- CERIS OCCIDENTALIS
- GINKGO BILOBA
- ERIGERON GLAUCUS
- ARCTOSTAPHYLOS UVA-URSI
- CEANOTHUS THYRSIFLORUS VAR. GRISEUS
- CORNUS SERICEA
- FESTUCA RUBRA 'MOLATE'
- IRIS DOUGLASIANA
- MUHLBERGIA RIGENS
- RIBES SPECIOSUM
- VINE MAPLE
- MADRONE
- WESTERN REDBUD
- MAIDENHAIR TREE
- BEACH DAISY
- KINNIKINICK
- YANKEE POINT CEANOTHUS
- RED TWIG DOGWOOD
- MOLATE FESCUE
- DOUGLAS IRIS
- DEER GRASS
- FUCHSIA FLOWERING GOOSEBERRY

PLANTER LANDSCAPE PALETTE

- ARCTOSTAPHYLOS UVA-URSI
- BOUTELOUA GRACILIS 'BLONDE AMBITION'
- CEANOTHUS THYRSIFLORUS VAR. GRISEUS
- RIBES SPECIOSUM
- KINNIKINICK
- BLUE GRAMA
- YANKEE POINT CEANOTHUS
- FUCHSIA FLOWERING GOOSEBERRY



SCALE: 1/8"=1'-0"

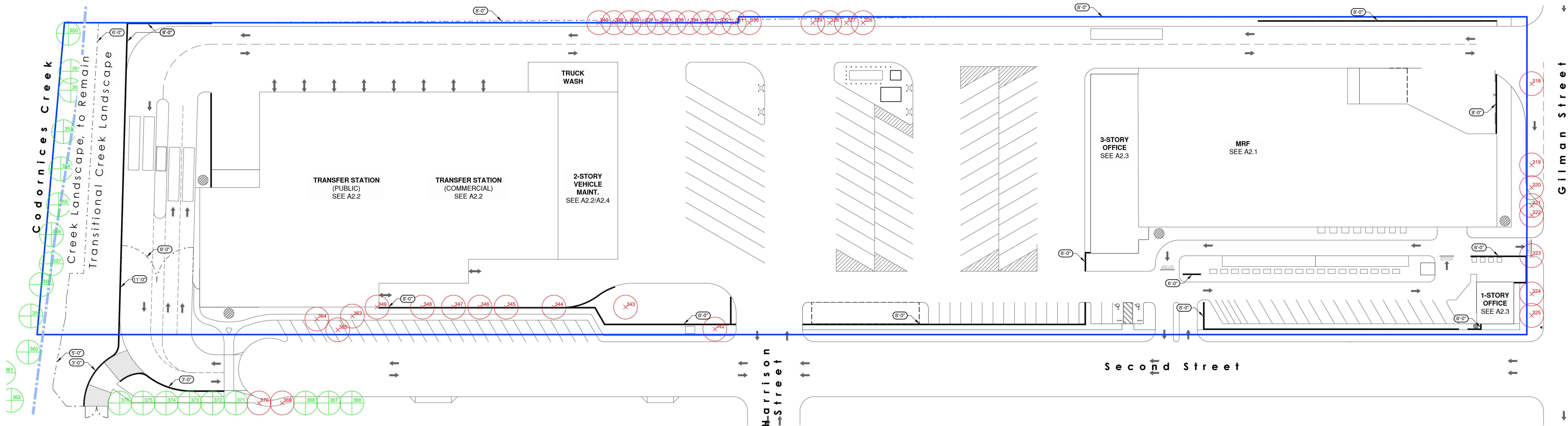


ENLARGED LANDSCAPE PLAN
The City Of Berkeley
Solid Waste and Recycling Transfer
Station Replacement Project
1201 Second Street, Berkeley, CA 94710

Job No. 5447-0
08.28.2026

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L1.2



LEGEND

- EXISTING TREES TO REMAIN (TREE NUMBER LISTED)
- EXISTING TREES TO BE REMOVED (TREE NUMBER LISTED)
- HEIGHT OF FENCE OR WALL
- WALL
- FENCE
- CODORNICES CREEK
- PROPERTY LINE

LANDSCAPE NOTES

Currently all existing landscape on the property south of the the northern fence will be removed and all existing landscape north of the northern fence will remain.

Arborist survey of site showed that there were no Live Oaks located on the site.

Arborist survey indicated Marina madrone trees (366-376) along Second Street to be removed based on preliminary site plans. Current site plans do not require their removal except for two Marina madrones, labeled 369 and 370 on the Arborist survey.

Arborist survey indicated Lombardy poplar trees (326-340) along the railroad to be removed based on preliminary site plans. Current site plans do not require their removal.

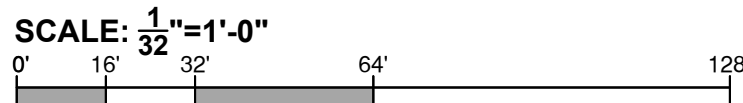
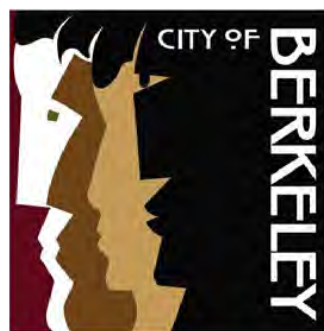
Final tree removal will need to be confirmed with a landscape architect.

EXISTING TREE COUNT

	REMAIN	REMOVE
ALONG CODORNICES CREEK	13	0
ALONG RAIL ROAD	0	15
ALONG GILMAN STREET	0	8
ALONG SECOND STREET	9	13
TOTAL	22	36

ARBORIST SURVEY TREE LIST

TREE NO.	SPECIES	TREE NO.	SPECIES
318	Red maple	350	Yellow willow
319	London plane	351	Yellow willow
320	Victorian box	352	Yellow willow
321	London plane	353	Yellow willow
322	Victorian box	354	Yellow willow
323	London plane	355	Yellow willow
324	Victorian box	355	Yellow willow
325	London plane	356	Yellow willow
326	Lombardy poplar	357	Yellow willow
327	Lombardy poplar	358	Yellow willow
328	Lombardy poplar	359	Yellow willow
329	Lombardy poplar	360	Yellow willow
330	Lombardy poplar	361	Yellow willow
331	Lombardy poplar	362	Myoporum
332	Lombardy poplar	363	Fremont cottonwood
333	Lombardy poplar	364	Fremont cottonwood
334	Lombardy poplar	365	Red ironbark
334	Lombardy poplar	366	Marina madrone
335	Lombardy poplar	367	Marina madrone
336	Lombardy poplar	368	Marina madrone
337	Lombardy poplar	369	Marina madrone
338	Lombardy poplar	370	Marina madrone
339	Lombardy poplar	371	Marina madrone
340	Lombardy poplar	372	Marina madrone
342	Nichols willowleafed peppermint	373	Marina madrone
343	Lombardy poplar	374	Marina madrone
345	Lombardy poplar	375	Marina madrone
346	Lombardy poplar	376	Marina madrone
347	Lombardy poplar		
348	Lombardy poplar		
349	Lombardy poplar		



ADDITIONAL INFORMATION REQUESTED
BY PLANNING DEPARTMENT
The City Of Berkeley
Solid Waste and Recycling Transfer
Station Replacement Project
1201 Second Street, Berkeley, CA 94710

Job No. 5447-0
2.8.2024
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L1.3



Z O N I N G A D J U S T M E N T S B O A R D

NOTICE OF PUBLIC HEARING

1201 Second Street

Public comment period for the Draft Environmental Impact Report (EIR) and Project Preview for Use Permit #ZP2021-0215 to demolish the existing City of Berkeley Solid Waste Transfer Station and Materials Recovery Facility (MRF), including 15 non-residential buildings and structures, and associated equipment; and construct and install buildings, structures, and equipment for a new solid waste transfer station and MRF. The project consists of two main building clusters with accessory structures, totaling approximately 114,380 square feet of gross floor area, approximately 195,500 square feet of unenclosed and paved area, and approximately 31,900 square feet of landscaped area.

The Zoning Adjustments Board of the City of Berkeley will hold a public hearing on the above matter, pursuant to Zoning Ordinance, Section [23.404.050 \(Public Hearings and Decisions\)](#)

When: Thursday, September 10, 2026, 7:00 pm

Where: Berkeley Unified School District meeting room, 1231 Addison Street, (wheelchair accessible) with remote/hybrid option (via Zoom).

Please visit: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board> and click on the hearing date to access the most up-to-date meeting information, or call the Land Use Planning division (510) 981-7410.

PUBLIC ADVISORY: THIS MEETING WILL BE CONDUCTED IN A HYBRID MODEL WITH BOTH IN-PERSON ATTENDANCE AND VIRTUAL PARTICIPATION AVAILABLE FOR MEMBERS OF THE PUBLIC.

For in-person attendees, face coverings or masks that cover both the nose and mouth are encouraged. If you're feeling sick, please do not attend the meeting in-person as a public health precaution.

Currently, there are no physical distancing requirements in place by the State of California or the Local Health Officer for an indoor event similar to a Commission meeting. However, all attendees are requested to be respectful of the personal space of other attendees. An area of the public seating area will be designated as "distanced seating" to accommodate persons that need to distance for personal health reasons.

A. Land Use Designations:

- General Plan: M - Manufacturing
- Zoning: M - Manufacturing

B. Zoning Permits Required:

- Use Permit under BMC Section 23.326.070(A) "Main Non-Residential Building" to demolish non-residential buildings.
- Use Permit under BMC Section 23.206.030(A) "New Floor Area" to create new floor area of 40,000 square feet or more.
- Administrative Use Permit under BMC Section 23.206.020(B) "Unlisted Land Uses" Administrative Use Permit to construct a Material Recovery Enterprise.
- Administrative Use Permit under BMC Section 23.206.020(A) "Allowed Land Uses" Administrative Use Permit to construct a Recycling Materials Processing facility that is more than 20,000 square feet and less than 40,000 square feet.
- Use Permit under BMC 23.322.080(F)(2) "Placement-Non-Residential Districts. Corner Lots" Use Permit to allow the parking within 20 feet of the street frontage facing the secondary street.

D. CEQA Recommendation: A Draft EIR was prepared to evaluate the potentially significant environmental impacts of the proposed project, pursuant to the California Environmental Quality Act (CEQA). The Notice of Availability (NOA) of an EIR was published on August 3, 2026. The 45-day public comment period that began with publication of the NOA ends on September 17, 2026 at 5:00pm.

The NOA and Draft EIR for this project are available online at:

- <https://ceqanet.lci.ca.gov/2023080733/2>. Scroll to the bottom and you will find links to all the documents.
- OR
- <https://aca.cityofberkeley.info/CitizenAccess/Default.aspx>. Click on Zoning tab; enter permit number #ZP2021-0215; click on the "Record Info" drop down menu; click on Attachments for a list of all application materials.

E. Parties Involved:

- Applicant City of Berkeley Public Works Department, Zero Waste Division, 1201 Second Street, Berkeley, CA 94710
- Property Owner City of Berkeley

Further Information:

All application materials are available online at: <https://aca-prod.accela.com/BERKELEY/Default.aspx>.

The Zoning Adjustments Board final agenda and staff reports will be available online 6 days prior to this meeting at: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board>.

Questions about the project should be directed to the project planner, Vicky Schlepp at VSchlepp@berkeleyca.gov; or Sharon Gong at sgong@berkeleyca.gov.

Written comments or a request for a Notice of Decision should be directed to the Zoning Adjustments Board Secretary at zab@berkeleyca.gov.

Communication Disclaimer:

Communications to Berkeley boards, commissions or committees are public record and will become part of the City's electronic records, which are accessible through the City's website. **Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, will become part of the public record.** If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service or in person to the secretary of the relevant board, commission or committee. If you do not want your contact information included in the public record, please do not include that information in your communication. Please contact the secretary to the relevant board, commission or committee for further information.

Written Comments, Communications, and Reports:

Written comments must be directed to the ZAB Secretary at the Land Use Planning Division (Attn: ZAB Secretary), or via e-mail to: zab@berkeleyca.gov. All materials will be made available via the Zoning Adjustments Board Agenda page online at this address: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board>

All persons are welcome to attend the hearing and will be given an opportunity to address the Board. Comments may be made verbally at the public hearing and/or in writing before the hearing. The Board may limit the time granted to each speaker.

Correspondence received by 5:00 PM, eight days before this public hearing, will be provided with the agenda materials provided to the Board. Note that if you submit a hard copy document of more than 10 pages, or in color, or with photos, you must provide 15 copies. Correspondence received after this deadline will be conveyed to the Board in the following manner:

- **Correspondence received by 5:00 PM, two days before** this public hearing, will be conveyed to the Board in a Supplemental Communications and Reports #1, which is released around noon one day before the public hearing.
- **Correspondence received by 12:00 PM, the day of** this public hearing, will be conveyed to the Board in a Supplemental Communications and Reports #2, which is released around noon the day of the public hearing.
- **Correspondence received after 12:00 PM, the day of** this public hearing will be saved in the project administrative record.



Accessibility Information / ADA Disclaimer:

To request a disability-related accommodation(s) to participate in the meeting, including auxiliary aids or services, please contact the Disability Services specialist at 981-6342 (V) or 981-6345 (TDD) at least three business days before the meeting date.

SB 343 Disclaimer:

Any writings or documents provided to a majority of the Commission regarding any item on this agenda will be made available to the public. Please contact the Land Use Planning Division (zab@berkeleyca.gov) to request hard-copies or electronic copies.

Notice Concerning Your Legal Rights:

If you object to a decision by the Zoning Adjustments Board regarding a land use permit project, the following requirements and restrictions apply:

1. If you challenge the decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice.
2. You must appeal to the City Council within 14 days after the Notice of Decision of the action of the Zoning Adjustments Board is mailed. It is your obligation to notify the Land Use Planning Division in writing of your desire to receive a Notice of Decision when it is completed.
3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than 90 days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that 90-day period will be barred.
4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
5. If you believe that this decision or any condition attached to it denies you any reasonable economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a "taking" of property for public use without just compensation under the California or United States Constitutions, the following requirements apply:
 - a. That this belief is a basis of your appeal.
 - b. Why you believe that the decision or condition constitutes a "taking" of property as set forth above.
 - c. All evidence and argument in support of your belief that the decision or condition constitutes a "taking" as set forth above. If you do not do so, you will waive any legal right to claim that your property has been taken, both before the City Council and in court.