



Office of the City Manager

PUBLIC HEARING

March 12, 2019

To: Honorable Mayor and Members of the City Council
 From: Dee Williams-Ridley, City Manager
 Submitted by: Timothy Burroughs, Director, Planning & Development Department
 Subject: ZAB Appeal of 2701 Shattuck Avenue, Use Permit #ZP2016-0244

RECOMMENDATION

Conduct a public hearing and, upon conclusion, adopt a Resolution affirming the Zoning Adjustments Board (ZAB) decision to approve Use Permit #ZP2016-0244 to construct a 5-story, 62-foot tall, mixed-use building with 57 dwelling units (including five Very Low Income units), a 600-square-foot ground-floor quick-service restaurant, and 21¹ parking spaces, and dismiss the appeal.

FISCAL IMPACTS OF RECOMMENDATION

None.

CURRENT SITUATION AND ITS EFFECTS

On December 13, 2016, Bay Rock Multifamily, LLC submitted an application for Use Permit #ZP2016-0244 to construct a 5-story, 62-foot tall, mixed-use building with 57 dwelling units. Several months later, on January 6, 2018, a revised proposal was submitted that included five affordable units in the building, and requested a density bonus under the State Density Bonus Law (DBL).²

On June 29, 2018, after seven rounds of Incomplete Application comments from staff in multiple City departments, the application was deemed complete.

On July 26, 2018, the ZAB held a Preview for the project and provided general comments to the applicant.

On August 16, 2018, the Design Review Committee (DRC) conducted a Preliminary Design Review (PDR) of the project, provided comments to the applicant, and continued the PDR to September 20, 2018. In response to DRC comments, the applicant made revisions to the building design and presented the revisions to the DRC on September 20. At that meeting, the DRC completed the PDR and forwarded a favorable

¹ This number (21) reflects the amount of parking in the project after removing nine spaces (three parking lifts), in order to move the ground-floor east wall westward, per Condition #11 of the permit approved by the ZAB on November 8, 2018.

² Government Code section 65915 *et seq.*

recommendation for the project to the ZAB with conditions and recommendations for Final Design Review (FDR).

On November 8, 2018, the ZAB conducted a public hearing for the Use Permit application. After hearing public comments and holding discussion, and adding Condition #11, the ZAB approved the Use Permit by a vote of 7-1-0-1 (Yes: Clarke, Kahn, O'Keefe, Olson, Pinkston, Selawsky, Wright; No: Sheahan; Abstain: None; Absent: Kim).

On November 20, 2018, staff issued the notice of the ZAB decision. On December 3, 2018, Todd Darling and Linda Jensen Darling, the neighbors residing at 2106 Derby Street, filed an appeal of the ZAB decision with the City Clerk. On February 26, 2019, staff posted the public hearing notice at the site and two nearby locations, and mailed notices to property owners and occupants within 300 feet of the project site, and to all registered neighborhood groups that cover this area. This public hearing is required to resolve the appeal.

BACKGROUND

The site is in the CS-A, South Area Commercial zoning district, along a commercial thoroughfare on Shattuck Avenue that is developed with a wide range of building types and uses. Bordering the site to the east is a neighborhood in the R-2, Two-Family Residential zoning district, consisting mostly of 1-story, single-family residences and 2-story, multi-family residences. Several large mixed-use and residential projects have been approved and constructed or are proposed nearby the subject site, in the C-SA district, within last several years:

- Constructed (approved in 2012), "Parker Apartments", 1.5 blocks north of the site at 2598-2600 Shattuck Avenue – 5-story, 60'-tall mixed-use project of two buildings with 155 units;
- Constructed (approved in 2015), a residential modular housing project on the adjacent parcel to the south at 2711 Shattuck Avenue – 4-story, 50'-tall building with 22 units;
- Under construction (approved in 2016), "The Roost", 3 blocks north of the site, and west of Shattuck Avenue at 2029-2035 Blake Street – 5-story, 60'-tall mixed-use building with 82 units;
- ZAB Project Preview held on October 11, 2018, a proposal for a mixed-use building one block north of the subject site at 2628 Shattuck Avenue – 6-story, 65'-tall building with 78 units.

The 2701 Shattuck project site under appeal has had two development proposals since the early 2000's which were approved but never built: a 3-story, 17-unit project in 2002 and a 5-story, 24-unit project in 2007. Both were mixed-use proposals which were approved with reduced setbacks and increased lot coverage compared to the base allowed by zoning.

In 2013, the ZAB considered a proposal for the subject site that was very similar to the current project being appealed – it was a 5-story, mixed-use building with 67 dwelling units (as opposed to the 57 units in the 2018 project). The 2013 project was denied because the ZAB was unable to make findings for approval. In the staff report, the denial findings focused on the building being out of scale and incompatible with the residential neighborhood to the east, and a failure of the applicant to adopt design alternatives suggested by the ZAB that would remedy these issues. (See Attachment 4, ZAB Preview Staff Report). The 2013 project also met with strong neighbor opposition. The project did not include a density bonus.

The current proposal was submitted in 2016, and differed from the 2013 proposal in that it had been re-designed to address the previous denial findings by accepting the design alternatives suggested by the ZAB in 2013. In addition, by invoking Density Bonus law, the developer is entitled to a bonus of 15 units, as well as waivers for height, reduced setbacks, and lot coverage to accommodate the inclusion of the bonus units. Concessions necessary for financial feasibility of the project to provide the affordable units were also granted. (See Attachment 5, ZAB Hearing Staff Report and Project Plans for details.) Furthermore, the current project was eligible for approval according to the State Housing Accountability Act (HAA). Pursuant to the HAA, the ZAB could not deny the project, nor approve it at a reduced density (number of units), because the findings for “specific adverse impact” could not be made.³

At the November 8, 2018 ZAB hearing, given that the project building envelope and density, including waivers for height, reduced setbacks, and lot coverage, were entitled to the project via DBL and the HAA, the ZAB attempted to alleviate persistent neighbor concerns over privacy, massing, and access to sunlight by negotiating design adjustments to the portions of the building closest to the eastern neighboring properties.⁴ The applicant agreed to a condition of approval that was added to the permit that requires substantive changes to the building design, to be presented to and approved by the DRC at FDR, which occurs prior to the application for building permits. Draft plans of the revised design have been submitted, and are attached for the City

³ Housing Accountability Act, California Government Code Section 65589.5(j). The HAA requires that findings for “specific adverse impact” must be made to deny or approve with reduced density a project that is compliant with applicable, objective general plan and zoning standards. The HAA applies to projects that have also received modifications to standards that are granted as waivers or concessions under DBL.

⁴ Because the building envelope was ensured by waivers through DBL, and the number of units was entitled to the project via the HAA, the ZAB only had the ability to influence building design elements such as color, materials, and minor adjustments to the massing that would not affect these entitlements. The ZAB also allowed a reduction in parking to below the minimum requirement per zoning standards (eliminate three parking lifts/nine spaces) to reduce the massing on the ground level on the eastern side of the building in order to address neighbor concerns. See Condition #11, Attachment 1, Exhibit A, Findings and Conditions, for details of revisions to be made by the applicant prior to FDR.

Council's consideration.⁵ (See Attachment 1, Exhibit B, Revised Project Plans – revisions are clouded and labeled “Revised per Condition #11”.)

ENVIRONMENTAL SUSTAINABILITY

The project approved by the ZAB is in compliance with all State and local environmental requirements.

RATIONALE FOR RECOMMENDATION

The issues raised in the appellant's letter and staff's responses follow. For the sake of brevity, the appeal issues are not re-stated in their entirety. Please refer to the attached appeal letter (Attachment 2, Appeal Letter) and the letter referenced in the appeal letter (Attachment 3, Supplemental Communications Letter) for the full text.

- Issue 1: City Public Meeting Regulations. The appellants assert that project plans were not made available for public review for a sufficient time period. The City calls for a 30-day review period before the public hearing; the plans were made available seven days before the hearing, on November 8, 2018.
- Response 1: The appellant is incorrect about the City's requirements. Public Notice Requirements are specified in the Berkeley Municipal Code (BMC), Section 23B.32.020. The project was noticed in accordance with this section – postcard hearing notices were mailed to all property owners and occupants within 300' of the site and to interested organizations 14 days prior to the hearing (on October 25, 2018), and Notices of Public Hearing were posted at and near the project site on the same day. The postcards and on-site notices provided the link to the project webpage that contains up-to-date application materials, ZAB materials, and all ZAB Preview and DRC materials as of that date. As is also customary and set forth in the City's Commissioners' Manual, the ZAB agenda and

⁵ Condition #11: Final Design Review. The Project requires Final Design Review (FDR) approval by the Design Review Committee. Plans presented at FDR shall include the following design changes:

- A. Eliminate the three south parking lifts along east wall (between floorplan reference lines D and E) and align the exterior podium wall with eastern wall of utility room, creating an approximately 18'-wide setback from the east property line; provide at grade planting in the expanded setback area to the satisfaction of the DRC. (Sheet A2.1)
- B. Move podium railing/parapet to the inside (west) edge of the planting beds so that the planting beds are east of it, to soften the wall edge; detail to be worked out at FDR. (Sheet A2.2)

In addition, the applicant shall consider revising the project to address the following design changes for presentation to the DRC at FDR:

- Better screening on the north stairs and the eastern open space decks to increase privacy;
- Utilize robust plants that grow quickly to provide immediate privacy to east of the site;
- Find a solution for greater privacy on east windows for both residents and neighbors; and
- Explore ways to reduce the apparent massing of the north stair as experienced from the street; consider pulling the stair mass closer into the building.

links to the November 8th hearing materials were posted on the project webpage one week prior the hearing on November 1, 2018.

BMC Sections 23B.32.020.C and F state that the public notices or mailed notices *may* be for a longer time period than 14 days, up to 30 days maximum, when required by State law or extended by the Zoning Officer and/or Board, for applications of major significance. The Board did not take any action to extend the notice period for this project application, so notices were sent and posted 14 days prior to the hearing in accordance with the ordinance.

At the suggestion of a neighbor (now the Appellant), staff revisited the site on Friday, November 2, 2018, eight days after the initial posting of notices, to verify that the notices were still in place. Upon revisiting the site, staff noted that the notices were taken down by an unknown party. Staff re-posted all of the notices on the next business day, Monday, November 5, 2018.

The plan set that was included with the November 8 ZAB materials on the web page was submitted by the applicant on October 30, 2018, and reflected minor changes to the building design that were made in response to comments made by the DRC during PDR. Otherwise, these plans were substantially similar to the plans that had been available to the public since the July 26, 2018 ZAB Preview, and substantially similar to the plans that had been publicly available since the August 16 and September 20 DRC PDR meetings. Thus, a version of the project plans that were essentially the same as the plan set seen by the ZAB on November 8th was available at least four months prior to the hearing. Moreover, the public had opportunities to speak on the project proposal at the July 2018 ZAB Preview, as well as two separate DRC meetings, prior to the November 2018 ZAB decision hearing. Finally, Planning Department staff contact information is publicly available at all times for anyone who needs assistance finding specific information about any application.

Issue 2: Deceptive Plans. The appellants assert that the project plans are purposefully drawn to minimize impact and detriments, and omit information to hide significant impacts in terms of setbacks, massing, shadows, and height. The applicants chose to show shadows at 2 p.m., but not 3 p.m. when significant shadows begin to occur.

Response 2: The applicant submitted plans that adequately met the City's submittal requirements for permit applications. Land Use Planning submittal requirements include: site plans, floor plans, sections, and elevations that are drawn to scale by a licensed architect; street elevations; and

photo simulations from at least four angles that demonstrate maximum impact on views from surrounding properties. The applicant also submitted 3D renderings from additional viewpoints, which are not required, but are typical of a project of this size.

The zoning permit application submittal requirements ask for shadow diagrams that depict shadows which would occur on the summer and winter solstices, and on the date of application, for three times during the day – two hours after sunrise, noon, and two hours before sunset. The applicant has supplied diagrams for these times and for additional times throughout the day. Shadow diagrams for every two hours from sunrise to sunset for each of the dates were submitted, and include the time period of 3 p.m. and later for each date. (See Attachment 1, Exhibit B, Revised Project Plans, sheets S1.0 to S1.4.)

- Issue 3: Affordable Units and In-Lieu Fees. The appellants assert that the detriments resulting from the project outweigh the benefits to the public from four affordable units or the in-lieu fee paid to provide fewer affordable units.
- Response 3: Pursuant to BMC Section 22.20.065, the project is subject to the local Affordable Housing Mitigation Fee (AHMF). The Affordable Housing Mitigation Fee is currently \$34,884 for every market rate unit in the project if paid at issuance of a building permit or \$37,962 if paid at the time a certificate of occupancy is issued. The AHMF ordinance allows an applicant to choose whether to provide Below Market Rate (BMR) units, up to 20% of the total project units, in-lieu of payment of the full fee. The applicant proposes to provide five (9% of the total) Very Low Income (VLI) units and pay the fee for the remainder (11%) of the requirement. The applicant has indicated that they intend to pay the fee amount of approximately \$1 million for the remainder, which would be placed in the City's Housing Trust Fund, which helps to fund affordable housing projects in the City.
- Issue 4: CEQA: The appellants assert that the character of the neighborhood should be protected by CEQA, and CEQA should apply to the project.
- Response 4: The project is exempt from further review under the California Environmental Quality Act (CEQA) under Categorical Exemption Class 32, found in CEQA Guidelines section 15332 ("In-Fill Development Projects").
- Issue 5: Ground-floor Units. The appellants assert that the project appropriates much of the pedestrian space on the sidewalk along the Shattuck Avenue project frontage with private gardens for the ground-level units

and commercial bike racks, without public input, to build an oversized project that provides no front setback and violates other City Codes that require setbacks for ground-level dwelling units.

Response 5: The interface between the ground-floor units and the public sidewalk along Shattuck Avenue was discussed at the ZAB Preview and both DRC meetings, where the public was invited to express any concerns about the project. The bike racks proposed to be outside the lobby on the Shattuck Avenue sidewalk have also been shown on the plan set for all of these meetings. Several solutions were discussed to improve the transition from private to public space at this building frontage, and the layout with raised planting beds and integrated public seating shown on the approved plan set were reviewed by the ZAB, the DRC and the Public Works (PW) department prior to the project's approval on November 8, 2018. Additionally, the DRC will conduct a Final Design Review, and PW will review the plans once more for approval of an encroachment permit prior to the issuance of any building permits.

The project site is in the C-SA (South Area Commercial) zoning district, which refers to the R-4 zoning district yard standards for a mixed-use building. The project is a density bonus proposal, which entitles the project to a waiver for the front yard to be 0 feet, where 15 feet is normally required, in order to accommodate the density bonus units on the site. Though other districts such as the C-NS (North Shattuck Commercial) district may have restrictions for residential uses located on the ground floor near the right of way,⁶ the C-SA District has no such restrictions on ground-floor residential uses, and the project is compliant with all yard standards for the site.

Issue 6: Dormitory Housing. The appellants assert that the design of the building encourages a transient student population that is not consistent with the family character of the existing neighborhood, and is an ad hoc dormitory for U.C. Berkeley without U.C. programs or supervision, which will bring raging parties next to families with toddlers.

Response 6: State law prohibits the City from discriminating among or against types of residents in its approval of new housing. The HAA also prohibits the City from denying approval of the project based on subjective standards or hypothetical concerns about future residents. The 2701 Shattuck project was approved based upon the project's satisfaction of approval findings and all development standards under State law and the municipal code. Concerns about the post-construction operation of the

⁶ The C-NS district requires that in a mixed-use building, no residential use may be located on the ground floor within 20 feet of a property line adjoining a public right-of-way.

building could be addressed by provisions in the Berkeley Municipal Code for the protection of public peace, morals and welfare (nuisance). Any violations of the municipal code can be reported to the City department that handles code enforcement.

Issue 7: Traffic and Safety. The appellants allege that the lack of visibility around the corner would cause car accidents because the project has zero setback on Shattuck Avenue and Derby Street. The lack of parking in the building to the south that just finished construction causes its residents to pull around the corner to Derby and park illegally to visit the new building. A new parking lot at 2701 Shattuck with a few dozen parking spaces and an entrance on Derby will cause cars to queue up to park. Cars driving fast and turning right onto Derby will crash into waiting cars. Also the zero setback on Derby provides exiting cars with no visibility to pull out, increasing the likelihood of cars turning the corner to hit them. There has been no discussion of a traffic study to validate the safety of the design.

Response 7: The applicant submitted a Transportation Assessment (TA) for the project, which was reviewed and deemed adequate by the City's Transportation Division. The TA concluded from an analysis of the site plan that the proposed driveway location would provide adequate sight distance between vehicles exiting the garage and pedestrians / vehicles on Derby Street.⁷ In addition, the TA concluded that the site plan provides sufficient accommodation of access and circulation for pedestrians, bicyclists, transit riders, and motor vehicles. Further, at the November 8 hearing the ZAB directed the applicant to remove three parking stackers or nine parking spaces (in response to neighbor comments on the deficiency of light and privacy for the adjacent residents), which would reduce the number of vehicle trips in and out of the parking lot from the number of trips for the original proposal, and thus further reduce the potential for safety issues at that corner.

Issue 8: Height, Shadow and Privacy. The appellants allege that the stair on the north side of the building and the roof deck, if considered with the proposed trees and rooftop structures, create a 6-story building (and not a 5-story building, as described in the staff report) which will reach a height of 70 feet. The shadow studies did not factor in the trees and rooftop structures. The north stair and the roof deck are open areas where 2701 Shattuck residents will congregate and look down upon adjacent residents' yards. It also increases the shadows on adjacent properties, and is unattractive. It will depress adjacent property values,

⁷ 2701 Shattuck Transportation Assessment, by Kittleson and Associates, dated March 2, 2017, p.10.

increase shadow, decrease light, and decrease privacy for these adjacent properties.

Response 8: The north stair on the project is an exterior stairway that provides access to and emergency egress from the roof deck and all floors of the building. Typically, neither unenclosed stairs nor landscaping (no matter how tall) are considered to be a “story” by definition in the municipal code.⁸ In response to neighbor concerns for privacy expressed at the first DRC meeting, more screening (permeable) was added to the north stair, which increased the built height for the stair at the roof level. Nevertheless, the stair remains unenclosed and does not constitute a sixth story. The enclosed portions of the building reach five stories, and the height of the building, as measured to the top of the parapet, per definition of height in the municipal code, is 62’-4”.⁹

The submitted shadow studies project shadows for all permanent, built elements of the building, but not for soft elements such as plants, trees, or roof deck furniture. This is not unusual, as such soft elements are not permanent, and can change unpredictably in massing and height over time. Furthermore, these elements do not span or cover the entire rooftop area of the building, and therefore would not cause a significant increase in shade compared to the entirety of the permanent, built structure. (The shadow impacts from the building are analyzed in the November 8, 2018 ZAB Hearing Staff Report, Attachment 5, page 19.)

Privacy impacts from the building, including any impacts produced by the north exterior stair, were discussed extensively at both DRC meetings, where the DRC suggested that a setback of the landing at the fifth floor and increased screening on the stair volume be added to the design to address the neighbors’ privacy concerns. These revisions were included in the ZAB-approved plans. In addition, at the November 8 ZAB hearing, the ZAB directed the applicant to eliminate some of the interior, ground-floor parking so that the eastern ground-floor wall could be moved away from the neighbors, to provide greater privacy and light to these residents. Additional requirements by the ZAB are contained in Condition #11 of the Use Permit to remedy privacy, light, and massing

⁸ A “story”, per Berkeley Municipal Code, section 23F, is “That portion of a building included between the upper surface of any floor and the upper surface of the floor next above, except that the topmost story shall be that portion of a building between the floor of the topmost floor and the ceiling or roof above”.

⁹ Per Berkeley Municipal Code, section 23F, the height of a building with a parapet is measured from the average level of the highest and lowest point of that portion of the lot covered by the building to the top of the parapet wall.

concerns from the neighbors. (See Attachment 1, Exhibit A, Findings and Conditions.)

Issue 9: Solar Access and Air Flow. The appellants allege that the project will cause their home to lose 5-6 hours of daylight per day. Their solar panels will be shaded by the building during peak sunlight hours, and will cost them lost revenue from potential energy sales to East Bay Community Energy. It will cause neighbors to use more indoor heating because of the lack of sunlight, cause more seasonal affective disorder, and cause neighbors to lose their ability to grow food in back porch gardens. The project is too massive and tall, and blocks the natural breeze that blows from west to east, causing detriments to gardens, and an increase in summer heat and the need for air conditioning.

Response 9: The project meets development standards for height as set forth in State law and the municipal code. Shadow impacts from new buildings must be expected, and are typically analyzed in the staff report for consideration by the ZAB to inform their decision on projects. The ZAB, via their approval of the project, has determined that the shadow impacts from the proposal to be acceptable in return for the benefits provided by other aspects of the project, within the constraints imposed by development standards for the property and State law.

Likewise, for air flow, any impacts from new buildings, whether it be blocked air flow or new air flow streams created, must be expected. It is anticipated that the shade from the building would help to *lower* summer heat and *reduce* the need for air conditioning inside adjacent homes.

As for light access for solar panels, the California Solar Rights Act does not include provisions to protect solar access, though it does recognize the possibility of a “solar easement” to be created.¹⁰ The Solar Shade Control Act protects solar access from shading by plants and trees, but does not preclude private development which may cast shadows on solar panels.¹¹

¹⁰ The Solar Rights Act comprises the following California codes of law: California Civil Code Sections 714 and 714.1, California Civil Code Section 801-801.5 (solar easements), California Government Code Section 65850.5, California Health and Safety Code Section 17959.1, California Government Code Section 66475.3, and California Government Code Section 66473.1.

¹¹ Government Code, Sections 25980–25986.

Issue 10: Flooding and Derby Creek. The appellants allege that the project site is located on top of Derby Creek. No studies have been submitted for excavation on top of the creek or impact to neighboring properties.

Response 10: Staff consulted with the City Public Works Department prior to the November 8th hearing. PW staff confirmed that the subject property is not in a City creek buffer area because the storm drain on Derby Street intercepts the water from what was known as Derby Creek, which is shown on a historic City creek map (source date, 1850). The storm drain was constructed many years ago, and the creek channel which was once Derby Creek was filled. Thus, the creek protection requirements (such as setbacks for construction) under BMC section 17.08 do not apply to the property. The Building and Safety Division will require a geotechnical report (which analyzes the soils on the site and informs site excavation and foundation design) prior to the issuance of building permits.

In conclusion, the project meets all of the findings necessary for approval of the permit. Therefore, staff recommends that the City Council uphold the ZAB decision to approve the project with the attached Revised Plans and Conditions of Approval.

ALTERNATIVE ACTIONS CONSIDERED

Pursuant to BMC Section 23B.32.060.D, the Council may (1) continue the public hearing, (2) reverse, affirm, or modify the ZAB's decision, or (3) remand the matter to the ZAB.

Action Deadline:

Pursuant to BMC Section 23B.32.060.G, if the disposition of the appeal has not been determined within 30 days from the date the public hearing was closed by the Council (not including Council recess), then the decision of the Board shall be deemed affirmed and the appeal shall be deemed denied.

CONTACT PERSONS

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Steven Buckley, Land Use Planning Manager, (510) 981-7411
Sharon Gong, Project Planner, (510) 981-7429

Attachments:

1. Draft Resolution
 - Exhibit A: Findings and Conditions
 - Exhibit B: Revised Project Plans, received February 5, 2019
2. Appeal Letter, dated received December 3, 2018
3. Supplemental Communications Letter to ZAB, dated November 5, 2018
4. ZAB Preview Staff Report, dated July 13, 2017

5. ZAB Hearing Staff Report and Project Plans, dated November 11, 2018
6. Index to Administrative Record
7. Administrative Record
8. Public Hearing Notice

RESOLUTION NO. ##,###-N.S.

AFFIRMING THE ZONING ADJUSTMENTS BOARD APPROVAL OF USE PERMIT #ZP2016-0244 TO CONSTRUCT A 5-STORY, 62-FOOT TALL, MIXED-USE BUILDING WITH 57 DWELLING UNITS (INCLUDING FIVE VERY LOW INCOME UNITS), A 600-SQUARE-FOOT GROUND-FLOOR QUICK-SERVICE RESTAURANT, AND 21 PARKING SPACES; AND DISMISSING THE APPEAL

WHEREAS, on December 13, 2016, Bay Rock Multifamily, LLC (“applicant”) filed an application for a Use Permit to construct a 5-story, 62-foot tall, mixed-use building with 57 dwelling units at 2701 Shattuck Avenue (“project”); and

WHEREAS, on June 29, 2018, staff deemed this application complete and determined that the project is categorically exempt from the California Environmental Quality Act (“CEQA”) under Section 15332 of the CEQA Guidelines (“In-Fill Development Projects”); and

WHEREAS, on July 11, 2018, staff mailed and posted a Notice of Public Hearing for the project in accordance with BMC Section 23B.32.020; and

WHEREAS, on July 26, 2018, the ZAB held a Project Preview; and

WHEREAS, on October 11, 2018, the applicant submitted revised plans in response to ZAB and DRC comments, and staff deemed the revised application complete; and

WHEREAS, on October 25, 2018, staff mailed and posted a Notice of Public Hearing for the project in accordance with BMC Section 23B.32.020; and

WHEREAS, on November 8, 2018, the ZAB held a public hearing in accordance with BMC Section 23B.32.030, and approved the project, with added Condition #11; and

WHEREAS, on November 20, 2018, staff issued the notice of the ZAB decision; and

WHEREAS, on December 3, 2018, Todd and Linda Jensen Darling (“Appellants”), owners and residents of 2106 Derby Street, filed an appeal of the ZAB decision with the City Clerk; and

WHEREAS, on or before February 26, 2019, staff mailed and posted a Notice of Public Hearing for the project in accordance with BMC Section 23B.32.020; and

WHEREAS, on March 12, 2019, the Council held a public hearing to consider the ZAB’s decision, and, in the opinion of this Council, the facts stated in, or ascertainable from the public record, including the staff report and comments made at the public hearing, warrant approving the project.

NOW THEREFORE, BE IT RESOLVED by the City Council of the City of Berkeley that the City Council hereby adopts the findings made by the ZAB in Exhibit A to affirm the decision of the ZAB to approve Use Permit #ZP2016-0244, adopts the conditions of approval in Exhibit A, and the project plans in Exhibit B, and dismisses the appeal.

Exhibits

A: Findings and Conditions

B: Revised Project Plans, received February 5, 2019

ATTACHMENT 1, EXHIBIT A

FINDINGS AND CONDITIONS

2701 Shattuck Avenue

Use Permit #ZP2016-0244 to construct a 5-story, 62'-tall, mixed-use building with 57 dwelling units (including 5 VLI units), a 600-square-foot ground-floor quick-service restaurant, and 21 parking spaces.

PERMITS REQUIRED

- Administrative Use Permit to construct rooftop projections, such as mechanical appurtenances or architectural elements, which exceed the maximum district height limit; under BMC Section 23E.04.020.C;
- Use Permit to construct a new mixed-use development of 5,000 square feet or more, under BMC 23E.52.030.A; and
- Use Permit to construct more than 3,000 square feet of new floor area, under BMC 23E.52.050.

CONCESSIONS/WAIVERS UNDER GOVERNMENT CODE SECTION 65915-65918

- Waiver to exceed height – to be 62'-4" maximum, where 50' is the limit, and to be 5 stories where 4 stories is the limit;
- Waiver to reduce the front, street side, side, and rear yards:
 - Front setback – 0'-0", where 15' minimum is required;
 - Rear setback – 0'-6", where 15' minimum is required;
 - Left side setback – 8'-0", where 5' minimum is required;
 - Right side (street side) setback – 0'-0", where 6' minimum is required;
 - Lot coverage – 86%, where 40% maximum allowed;
- Waiver to exceed the lot coverage limit – to be 86%, where 40% maximum is allowed;
- Concession to increase average unit size from 463 square feet (Base Project) to 495 square feet (Proposed Project); and
- Concession to have ground-level parking in the Proposed Project, when the Base Project parking is underground.

I. CEQA FINDINGS

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15332 of the CEQA Guidelines ("In-Fill Development Projects").
2. Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not affect any historical resource.

II. FINDINGS FOR APPROVAL

1. As required by Section 23B.32.040.A of the Zoning Ordinance, the project, under the circumstances of this particular case existing at the time at which the application is granted, would not be detrimental to the health, safety, peace, morals, comfort, and general welfare of

the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:

- According to the shadow studies submitted by the applicant, the single-family residences to the east (2104, 2106, and 2108 Derby Street) and the multi-family residence to the southeast of the site (2708 Walker Street) will experience the most increased shadows during the few hours before sunset, year-round. Residences to the northeast, beyond the subject block, may experience new shadows in the few hours before sunset in the winter. Shadow impact on these residences to the east and northeast are to be expected, because the subject site is located in the C-SA district (commercial), which allows heights of up to 50' and 4 stories (for residential and mixed-use), whereas the eastern residences are in the R-2 district (residential), which allows heights of up to 28' (35' with a use permit) and 3 stories. The proposal will include an additional story beyond the district height limit to accommodate the density bonus units – a waiver that will be granted. The additional height/story gained through the waiver will cast shadows in the eastern direction further than if the project had only four stories. Still, the shadow impacts from the project will be reasonable, given that the duration will be limited to the evening hours and given the height limit differential between the two districts.
 - A Preliminary Transportation Assessment, which was reviewed and approved by the City's Traffic Engineer, showed that the proposed project will have a vehicle trip generation of 21 weekday AM peak hour trips, and 16 weekday PM peak hour trips. Thus, the project will not exceed the City's 25 peak-hour trip threshold for requiring a full traffic study. The anticipated increase in traffic due to the project will not conflict with any applicable plans, ordinances or policies establishing measures of effectiveness for the performance of the circulation system, and the impact will be less than significant.
 - The Preliminary Transportation Assessment also showed that, based on a qualitative review of the site plan, access and circulation for pedestrians, bicyclists, transit riders, and motor vehicles will be sufficiently accommodated by the proposed project. The proposed project will provide 30 vehicle parking spaces and 49 long-term bicycle parking spaces, a slight reduction from the numbers in the original proposal of 32 vehicle parking spaces and 56 long-term bicycle parking spaces, on which the study is based. However, the proposed number vehicle parking satisfies and exceeds district parking requirement by one, and the proposed number bicycle parking well exceeds district parking requirement. Thus, the off-street parking in the surrounding neighborhood will not be adversely impacted by the project.
 - The project is subject to the City's standard conditions of approval regarding construction noise and air quality, waste diversion, toxics, and stormwater requirements, thereby ensuring the project will not be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the area or neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood or to the general welfare of the City.
2. Pursuant to Berkeley Municipal Code Section 23E.52.090.B, pertaining to C-SA district findings for approval, the City finds that:
- As a mixed-use building with 57 residential units and a 600-square-foot, ground-floor café, with improvements to the sidewalk outdoor space, the proposed project will encourage and

engage pedestrian traffic near the site, and provide a place for the nearby residents to gather and engage with the local community. The ground-floor café and enhanced public outdoor space are a desirable service and destination for local residents, and will encourage them to patronize other local businesses within walking distance.

- The project will be similar in height, massing, and use to existing, nearby developments, and therefore will be compatible with surrounding uses and buildings within the C-SA district. Also, the project proposal has incorporated design features, such as stepping back from adjacent residences at each floor, to ease the transition from the project to the residential neighborhood and R-2A district to the east.
 - The proposed quick-service restaurant (café) will add to the mixture of businesses in the neighborhood, which consists of car dealerships, medical offices, self-storage, retail, a pharmacy, a grocery store, and quick- and full-service restaurants, without a predominance of any one type of business.
3. Pursuant to Government Code Section 65915, pertaining to State Density Bonus law, the City finds that:
- Under the City’s methodology for implementing density bonuses per Section 65915, the “base project” consists of 42 units.
 - The project will provide at least 5 Very Low Income (VLI) qualifying units in the 42-unit “base project”, as more fully set forth in Conditions #51 - 56. This commitment entitles the project to a density increase of 35% over the otherwise maximum allowable residential density under the Zoning Ordinance and General Plan Land Use Element, under the requirements of Government Code Section 65915(b) and (f), plus two concessions or incentives. This equates to a density bonus of 15 units within the 57-unit proposed project.

Waivers:

- In accordance with Government Code Section 65915(e) the City hereby grants the following waivers for the C-SA district standards, in order to allow the construction of the requested project with the density bonus: a waiver to exceed height – to be 62’-4” maximum, where 50’ is the limit, and to be 5 stories where 4 stories is the limit; a waiver to exceed the lot coverage limit – to be 86%, where 40% maximum is allowed; and a waiver to reduce the front, street side, side, and rear yards:
 - Front setback – 0’-0”, where 15’ minimum is required;
 - Rear setback – 0’-6”, where 15’ minimum is required;
 - Left side setback – 8’-0”, where 5’ minimum is required;
 - Right side (street side) setback – 0’-0”, where 6’ minimum is required;
 - Lot coverage – 86%, where 40% maximum allowed.

These waivers are required because state law requires the City to modify development standards as necessary to accommodate these density bonus units, and because the City hereby finds that the density bonus units can best be accommodated by granting these waivers.

- In accordance with Government Code Section 65915(e), in order to allow construction of the proposed project with the density permitted under State law, the City finds approval of waivers is required 1) construct the proposed project at the density permitted under State

law; 2) approval of requested waivers would not have a specific adverse impact upon public health and safety, or the physical environment, or on any real property listed in the California Register of Historical Resources; and 3) approval of the requested waivers would not be contrary to State or Federal law.

Concessions:

- In accordance with Government Code Section 65915(d) and (k), the City hereby grants the following concessions in order to provide for affordable housing costs: a concession to increase average unit size from 463 square feet (Base Project) to 495 square feet (Proposed Project); and a concession to have ground-level parking in the Proposed Project, when the Base Project parking is underground.
 - In accordance with Government Code Section 65915(d), in order to allow construction of the proposed project with the density permitted under State law, the City finds that the approval of the concessions is required to provide for affordable rents, as provided in Government Code Section 65915(d)(1)(A) because 1) approval of the concession would result in identifiable and actual cost reduction; 2) approval of the concession would not have a specific adverse impact upon public health and safety, or the physical environment, or on any real property listed in the California Register of Historical Resources; and 3) would not be contrary to State or Federal law.
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III. STANDARD CONDITIONS OF APPROVAL FOR ALL PROJECTS

The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

1. Conditions and Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions.' *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Applicant Responsible for Compliance with Conditions

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)

- A. This Permit authorizes only those uses and activities actually proposed in the application, and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

4. Modification of Permits (Section 23B.56.020)

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the City, except that the Zoning Officer may approve changes that do not expand, intensify, or substantially change the use or building.

Changes in the plans for the construction of a building or structure, may be modified prior to the completion of construction, in accordance with Section 23B.56.030.D. The Zoning Officer may approve changes to plans approved by the City, consistent with the City's policy adopted on May 24, 1978, which reduce the size of the project.

5. Plans and Representations Become Conditions (Section 23B.56.030)

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

6. Subject to All Applicable Laws and Regulations (Section 23B.56.040)

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8, below.

8. Exercise and Lapse of Permits (Section 23B.56.100)

- A. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- C. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

9. Indemnification Agreement

The applicant shall hold harmless, defend, and indemnify the City of Berkeley and its officers, agents, and employees against any and all liability, damages, claims, demands, judgments or other losses (including without limitation, attorney’s fees, expert witness and consultant fees and other litigation expenses), referendum or initiative relating to, resulting from or caused by, or alleged to have resulted from, or caused by, any action or approval associated with the project. The indemnity includes without limitation, any legal or administrative challenge, referendum or initiative filed or prosecuted to overturn, set aside, stay or otherwise rescind any or all approvals granted in connection with the Project, any environmental determination made for the project and granting any permit issued in accordance with the project. This indemnity includes, without limitation, payment of all direct and indirect costs associated with any action specified herein. Direct and indirect costs shall include, without limitation, any attorney’s fees, expert witness and consultant fees, court costs, and other litigation fees. City shall have the right to select counsel to represent the City at Applicant’s expense in the defense of any action specified in this condition of approval. City shall take reasonable steps to promptly notify the Applicant of any claim, demand, or legal actions that may create a claim for indemnification under these conditions of approval.

IV. ADDITIONAL CONDITIONS IMPOSED BY THE CITY

Pursuant to BMC 23B.32.040.D, the City attaches the following additional conditions to this Permit:

Prior to Submittal of Any Building Permit:

- 10. Project Liaison.** The applicant shall include in all building permit plans and post onsite the name and telephone number of an individual empowered to manage construction-related complaints generated from the project. The individual’s name, telephone number, and responsibility for the project shall be posted at the project site for the duration of the project in a location easily visible to the public. The individual shall record all complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis. **Please designate the name of this individual below:**

Project Liaison _____
Name Phone #

- 11. Final Design Review.** The Project requires Final Design Review (FDR) approval by the Design Review Committee. Plans presented at FDR shall include the following design changes:
 - A. Eliminate the 3 south parking lifts along east wall (between floorplan reference lines D and E) and align the exterior podium wall with eastern wall of utility room, creating an approximately 18’-wide setback from the east property line; provide at grade planting in the expanded setback area to the satisfaction of the DRC. (Sheet A2.1)

- B. Move podium railing/parapet to the inside (west) edge of the planting beds so that the planting beds are east of it, to soften the wall edge; detail to be worked out at FDR. (Sheet A2.2)

In addition, the applicant shall consider revising the project to address the following design changes for presentation to the DRC at FDR:

- Better screening on the north stairs and the eastern open space decks to increase privacy;
- Utilize robust plants that grow quickly to provide immediate privacy to east of the site;
- Find a solution for greater privacy on east windows for both residents and neighbors; and
- Explore ways to reduce the apparent massing of the north stair as experienced from the street; consider pulling the stair mass closer into the building.

12. Address Assignment. The applicant shall file an "Address Assignment Request Application" with the Permit Service Center (1947 Center Street) for any address change or new address associated with this Use Permit. The new address(es) shall be assigned and entered into the City's database prior to the applicant's submittal of a building permit application.

13. Construction Noise Reduction Program. The applicant shall develop a site specific noise reduction program prepared by a qualified acoustical consultant to reduce construction noise impacts to the maximum extent feasible, subject to review and approval of the Zoning Officer. The noise reduction program shall include the time limits for construction listed above, as measures needed to ensure that construction complies with BMC Section 13.40.070. The noise reduction program should include, but shall not be limited to, the following available controls to reduce construction noise levels as low as practical:

- C. Construction equipment should be well maintained and used judiciously to be as quiet as practical.
- D. Equip all internal combustion engine-driven equipment with mufflers, which are in good condition and appropriate for the equipment.
- E. Utilize "quiet" models of air compressors and other stationary noise sources where technology exists. Select hydraulically or electrically powered equipment and avoid pneumatically powered equipment where feasible.
- F. Locate stationary noise-generating equipment as far as possible from sensitive receptors when adjoining construction sites. Construct temporary noise barriers or partial enclosures to acoustically shield such equipment where feasible.
- G. Prohibit unnecessary idling of internal combustion engines.
- H. If impact pile driving is required, pre-drill foundation pile holes to minimize the number of impacts required to seat the pile.
- I. Construct solid plywood fences around construction sites adjacent to operational business, residences or other noise-sensitive land uses where the noise control plan analysis determines that a barrier would be effective at reducing noise.
- J. Erect temporary noise control blanket barriers, if necessary, along building facades facing construction sites. This mitigation would only be necessary if conflicts occurred which were irresolvable by proper scheduling. Noise control blanket barriers can be rented and quickly erected.
- K. Route construction related traffic along major roadways and away from sensitive receptors where feasible.

14. Damage Due to Construction Vibration. The project applicant shall submit screening level analysis prior to, or concurrent with demolition building permit. If a screening level analysis shows that the project has the potential to result in damage to structures, a structural engineer or other appropriate

professional shall be retained to prepare a vibration impact assessment (assessment). The assessment shall take into account project specific information such as the composition of the structures, location of the various types of equipment used during each phase of the project, as well as the soil characteristics in the project area, in order to determine whether project construction may cause damage to any of the structures identified as potentially impacted in the screening level analysis. If the assessment finds that the project may cause damage to nearby structures, the structural engineer or other appropriate professional shall recommend design means and methods of construction that to avoid the potential damage, if feasible. The assessment and its recommendations shall be reviewed and approved by the Building and Safety Division and the Zoning Officer. If there are no feasible design means or methods to eliminate the potential for damage, the structural engineer or other appropriate professional shall undertake an existing conditions study (study) of any structures (or, in case of large buildings, of the portions of the structures) that may experience damage. This study shall

- establish the baseline condition of these structures, including, but not limited to, the location and extent of any visible cracks or spalls; and
- include written descriptions and photographs.

The study shall be reviewed and approved by the Building and Safety Division and the Zoning Officer prior to issuance of a grading permit. Upon completion of the project, the structures (or, in case of large buildings, of the portions of the structures) previously inspected will be resurveyed, and any new cracks or other changes shall be compared to pre-construction conditions and a determination shall be made as to whether the proposed project caused the damage. The findings shall be submitted to the Building and Safety Division and the Zoning Officer for review. If it is determined that project construction has resulted in damage to the structure, the damage shall be repaired to the pre-existing condition by the project sponsor, provided that the property owner approves of the repair.

Prior to Issuance of Any Building Permit:

- 15. Public for Art:** Consistent with BMC §23C.23, the applicant shall either pay the required in-lieu fee or provide the equivalent amount in a financial guarantee to be released after installation of the On-Site Publicly Accessible Art.
- 16. Affordable Housing Mitigation Fee:** Consistent with BMC §22.20.065, and fee resolution applicable to this project, the applicant provide a schedule, consistent with a schedule approved by the City Manager or her designee, outlining the timeframe for payment of the AHMF, and they shall pay this fee.
- 17. Construction Noise Management - Public Notice Required.** At least two weeks prior to initiating any construction activities at the site, the applicant shall provide notice to businesses and residents within **500 feet** of the project site. This notice shall at a minimum provide the following: (1) project description, (2) description of construction activities, (3) daily construction schedule (i.e., time of day) and expected duration (number of months), (4) the name and phone number of the Project Liaison for the project that is responsible for responding to any local complaints, (5) commitment to notify neighbors at least four days in advance of authorized extended work hours and the reason for extended hours, and (6) that construction work is about to commence. The liaison would determine the cause of all construction-related complaints (e.g., starting too early, bad muffler, worker parking, etc.) and institute reasonable measures to correct the problem. A copy of such notice and methodology for distributing the notice shall be provided in advance to the City for review and approval.

18. Interior Noise Levels. Prior to issuance of a building permit, the applicant shall submit a report to the Building and Safety Division and the Zoning Officer by a qualified acoustic engineer certifying that the interior residential portions of the project will achieve interior noise levels of no more than 45 Ldn (Average Day-Night Levels). If the adopted Building Code imposes a more restrictive standard for interior noise levels, the report shall certify compliance with this standard.
19. Construction Phases. The applicant shall provide the Zoning Officer with a schedule of major construction phases with start dates and expected duration, a description of the activities and anticipated noise levels of each phase, and the name(s) and phone number(s) of the individual(s) directly supervising each phase. The Zoning Officer or his/her designee shall have the authority to require an on-site meeting with these individuals as necessary to ensure compliance with these conditions. The applicant shall notify the Zoning Officer of any changes to this schedule as soon as possible.
20. Demolition. Demolition of the existing building cannot commence until a complete application is submitted for the replacement building. In addition, all plans presented to the City to obtain a permit to allow the demolition are subject to these conditions.
21. Electric Vehicle (EV) Charging. At least 10% of the project parking spaces for residential parking and 3% of the parking spaces for non-residential parking shall be pre-wired to allow for future Level 2 (240 Volt/40 amp) plug-in electric vehicle (EV) charging system installation, as specified by the Office of Energy and Sustainable Development. Any Level 2 EV charging systems installed at parking spaces will be counted toward the applicable pre-wiring requirement. Pre-wiring for EV charging and EV charging station installations shall be noted on site plans.
22. Recycling and Organics Collection. Applicant shall provide recycling and organics collection areas for occupants, clearly marked on site plans, which comply with the Alameda County Mandatory Recycling Ordinance (ACWMA Ordinance 2012-01).
23. Water Efficient Landscaping. Applicant shall provide an updated Bay-Friendly Basics Landscape Checklist that includes detailed notes of any measures that will not be fully met at the project. Landscape improvements shall be consistent with the current versions of the State's Water Efficient Landscape Ordinance (WELo) and the East Bay Municipal Utility District's Section 31: Water Efficiency Requirements.
24. Construction and Demolition. Applicant shall submit a Waste Diversion Form and Waste Diversion Plan that meet the diversion requirements of BMC Chapters 19.24 and 19.37.
25. Public Works ADA. Plans submitted for building permit shall include replacement of sidewalk, curb, gutter, and other streetscape improvements, as necessary to comply with current City of Berkeley standards for accessibility.
26. Parking for Disabled Persons. Per BMC Section 23E.28.040.D of the Zoning Ordinance, "Notwithstanding any reduction in off-street parking spaces that may be granted for mixed-use projects in non-residential districts listed in Sub-title 23E, the requirement for off-street parking spaces for disabled persons in the project shall be calculated as if there had been no reduction in total parking spaces."

- 27. First Source Agreement.** The applicant and/or end user(s) shall enter into a First Source Agreement with the City of Berkeley. First Source promotes the hiring of local residents on local projects. The agreement requires contractors/employers to engage in good faith efforts to hire locally, including utilizing graduates of local job training programs. Please call (510) 981-4970 for further information, or visit the City's Employment Programs office at 2180 Milvia, 1st Floor.
- 28. Toxics.** The applicant shall contact the Toxics Management Division (TMD) at 1947 Center Street or (510) 981-7470 to determine which of the following documents are required and timing for their submittal:
- A. Environmental Site Assessments:
- 1) Phase I & Phase II Environmental Site Assessments (latest ASTM 1527-13). A recent Phase I ESA (less than 6 months old*) shall be submitted to TMD for developments for:
 - All new commercial, industrial and mixed use developments and all large improvement projects.
 - All new residential buildings with 5 or more dwelling units located in the Environmental Management Area (or EMA).
 - EMA is available online at:
 - http://www.cityofberkeley.info/uploadedFiles/IT/Level_3_-_General/ema.pdf
 - 2) Phase II ESA is required to evaluate Recognized Environmental Conditions (REC) identified in the Phase I or other RECs identified by TMD staff. The TMD may require a third party toxicologist to review human or ecological health risks that may be identified. The applicant may apply to the appropriate state, regional or county cleanup agency to evaluate the risks.
 - 3) If the Phase I is over 6 months old, it will require a new site reconnaissance and interviews. If the facility was subject to regulation under Title 15 of the Berkeley Municipal Code since the last Phase I was conducted, a new records review must be performed.
- B. Soil and Groundwater Management Plan:
- 1) A Soil and Groundwater Management Plan (SGMP) shall be submitted to TMD for all non-residential projects, and residential or mixed-use projects with five or more dwelling units, that: (1) are in the Environmental Management Area (EMA) and (2) propose any excavations deeper than 5 feet below grade. The SGMP shall be site specific and identify procedures for soil and groundwater management including identification of pollutants and disposal methods. The SGMP will identify permits required and comply with all applicable local, state and regional requirements.
 - 2) The SGMP shall require notification to TMD of any hazardous materials found in soils and groundwater during development. The SGMP will provide guidance on managing odors during excavation. The SGMP will provide the name and phone number of the individual responsible for implementing the SGMP and post the name and phone number for the person responding to community questions and complaints.
 - 3) TMD may impose additional conditions as deemed necessary. All requirements of the approved SGMP shall be deemed conditions of approval of this Use Permit.
- C. Building Materials Survey:
- 1) Prior to approving any permit for partial or complete demolition and renovation activities involving the removal of 20 square or lineal feet of interior or exterior walls, a building materials survey shall be conducted by a qualified professional. The survey shall include, but not be limited to, identification of any lead-based paint, asbestos, polychlorinated biphenyl (PBC) containing equipment, hydraulic fluids in elevators or lifts, refrigeration systems, treated wood and mercury containing devices (including fluorescent light bulbs and mercury switches). The Survey shall include plans on hazardous waste or hazardous materials removal, reuse or disposal procedures to be implemented that fully comply state

hazardous waste generator requirements (22 California Code of Regulations 66260 et seq). The Survey becomes a condition of any building or demolition permit for the project. Documentation evidencing disposal of hazardous waste in compliance with the survey shall be submitted to TMD within 30 days of the completion of the demolition. If asbestos is identified, Bay Area Air Quality Management District Regulation 11-2-401.3 a notification must be made and the J number must be made available to the City of Berkeley Permit Service Center.

D. Hazardous Materials Business Plan:

- 1) A Hazardous Materials Business Plan (HMBP) in compliance with BMC Section 15.12.040 shall be submitted electronically at <http://cers.calepa.ca.gov/> within 30 days if on-site hazardous materials exceed BMC 15.20.040. HMBP requirement can be found at <http://ci.berkeley.ca.us/hmr/>

Prior to Demolition or Start of Construction:

- 29. Construction Meeting.** The applicant shall request of the Zoning Officer an on-site meeting with City staff and key parties involved in the early phases of construction (e.g., applicant, general contractor, foundation subcontractors) to review these conditions and the construction schedule. The general contractor or applicant shall ensure that all subcontractors involved in subsequent phases of construction aware of the conditions of approval.

During Construction:

- 30. Construction Hours.** Construction activity shall be limited to between the hours of 7:00 AM and 6:00 PM on Monday through Friday, and between 9:00 AM and 4:00 PM on Saturday. No construction-related activity shall occur on Sunday or any Federal Holiday.
- 31. Construction Hours- Exceptions.** It is recognized that certain construction activities, such as the placement of concrete, must be performed in a continuous manner and may require an extension of these work hours. Prior to initiating any activity that might require a longer period, the developer must notify the Zoning Officer and request an exception for a finite period of time. If the Zoning Officer approves the request, then two weeks prior to the expanded schedule, the developer shall notify businesses and residents within 500 feet of the project site describing the expanded construction hours. A copy of such notice and methodology for distributing the notice shall be provided in advance to the City for review and approval. The project shall not be allowed more than 15 extended working days.
- 32. Transportation Construction Plan.** The applicant and all persons associated with the project are hereby notified that a Transportation Construction Plan (TCP) is required for all phases of construction, particularly for the following activities:
- Alterations, closures, or blockages to sidewalks, pedestrian paths or vehicle travel lanes (including bicycle lanes);
 - Storage of building materials, dumpsters, debris anywhere in the public ROW;
 - Provision of exclusive contractor parking on-street; or
 - Significant truck activity.

The applicant shall secure the City Traffic Engineer's approval of a TCP. Please contact the Office of Transportation at 981-7010, or 1947 Center Street, and ask to speak to a traffic engineer. In addition to other requirements of the Traffic Engineer, this plan shall include the locations of material and equipment storage, trailers, worker parking, a schedule of site

operations that may block traffic, and provisions for traffic control. The TCP shall be consistent with any other requirements of the construction phase.

Contact the Permit Service Center (PSC) at 1947 Center Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Please note that the Zoning Officer and/or Traffic Engineer may limit off-site parking of construction-related vehicles if necessary to protect the health, safety or convenience of the surrounding neighborhood. A current copy of this Plan shall be available at all times at the construction site for review by City Staff.

- 33. Project Construction Website.** The applicant shall establish a project construction website with the following information clearly accessible and updated monthly or more frequently as changes warrant:
- Contact information (i.e. "hotline" phone number, and email address) for the project construction manager
 - Calendar and schedule of daily/weekly/monthly construction activities
 - The final Conditions of Approval, Mitigation Monitoring and Reporting Program, Transportation Construction Plan, Construction Noise Reduction Program, and any other reports or programs related to construction noise, air quality, and traffic.
- 34. Halt Work/Unanticipated Discovery of Tribal Cultural Resources.** In the event that cultural resources of Native American origin are identified during construction, all work within 50 feet of the discovery shall be redirected. The project applicant and project construction contractor shall notify the City Planning Department within 24 hours. The City will again contact any tribes who have requested consultation under AB 52, as well as contact a qualified archaeologist, to evaluate the resources and situation and provide recommendations. If it is determined that the resource is a tribal cultural resource and thus significant under CEQA, a mitigation plan shall be prepared and implemented in accordance with State guidelines and in consultation with Native American groups. If the resource cannot be avoided, additional measures to avoid or reduce impacts to the resource and to address tribal concerns may be required.
- 35. Avoid Disturbance of Nesting Birds.** Initial site disturbance activities, including vegetation and concrete removal, shall be prohibited during the general avian nesting season (February 1 to August 30), if feasible. If nesting season avoidance is not feasible, the applicant shall retain a qualified biologist to conduct a preconstruction nesting bird survey to determine the presence/absence, location, and activity status of any active nests on or adjacent to the project site. The extent of the survey buffer area surrounding the site shall be established by the qualified biologist to ensure that direct and indirect effects to nesting birds are avoided. To avoid the destruction of active nests and to protect the reproductive success of birds protected by the MBTA and CFGC, nesting bird surveys shall be performed not more than 14 days prior to scheduled vegetation and concrete removal. In the event that active nests are discovered, a suitable buffer (typically a minimum buffer of 50 feet for passerines and a minimum buffer of 250 feet for raptors) shall be established around such active nests and no construction shall be allowed inside the buffer areas until a qualified biologist has determined that the nest is no longer active (e.g., the nestlings have fledged and are no longer reliant on the nest). No ground-disturbing activities shall occur within this buffer until the qualified biologist has confirmed that breeding/nesting is completed and the young have fledged the nest. Nesting bird surveys are not required for construction activities occurring between August 31 and January 31.

- 36. Air Quality - Diesel Particulate Matter Controls during Construction.** All off-road construction equipment used for projects with construction lasting more than 2 months shall comply with **one** of the following measures:
- A. The project applicant shall prepare a health risk assessment that demonstrates the project's on-site emissions of diesel particulate matter during construction will not exceed health risk screening criteria after a screening-level health risk assessment is conducted in accordance with current guidance from BAAQMD and OEHHA. The health risk assessment shall be submitted to the Public Works Department for review and approval prior to the issuance of building permits.
 - B. All construction equipment shall be equipped with Tier 2 or higher engines and the most effective Verified Diesel Emission Control Strategies (VDECS) available for the engine type (Tier 4 engines automatically meet this requirement) as certified by the California Air Resources Board (CARB). The equipment shall be properly maintained and tuned in accordance with manufacturer specifications.

In addition, a Construction Emissions Minimization Plan (Emissions Plan) shall be prepared that includes the following:

- An equipment inventory summarizing the type of off-road equipment required for each phase of construction, including the equipment manufacturer, equipment identification number, engine model year, engine certification (tier rating), horsepower, and engine serial number. For all VDECS, the equipment inventory shall also include the technology type, serial number, make, model, manufacturer, CARB verification number level, and installation date.
- A Certification Statement that the Contractor agrees to comply fully with the Emissions Plan and acknowledges that a significant violation of the Emissions Plan shall constitute a material breach of contract. The Emissions Plan shall be submitted to the Public Works Department for review and approval prior to the issuance of building permits.

- 37. Archaeological Resources (*Ongoing throughout demolition, grading, and/or construction*).** Pursuant to CEQA Guidelines section 15064.5(f), "provisions for historical or unique archaeological resources accidentally discovered during construction" should be instituted. Therefore:
- A. In the event that any prehistoric or historic subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant and/or lead agency shall consult with a qualified archaeologist, historian or paleontologist to assess the significance of the find.
 - B. If any find is determined to be significant, representatives of the project proponent and/or lead agency and the qualified professional would meet to determine the appropriate avoidance measures or other appropriate measure, with the ultimate determination to be made by the City of Berkeley. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by the qualified professional according to current professional standards.
 - C. In considering any suggested measure proposed by the qualified professional, the project applicant shall determine whether avoidance is necessary or feasible in light of factors such as the uniqueness of the find, project design, costs, and other considerations.
 - D. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery) shall be instituted. Work may proceed on other parts of the project site while mitigation measures for cultural resources is carried out.
 - E. If significant materials are recovered, the qualified professional shall prepare a report on the findings for submittal to the Northwest Information Center.

- 38. Human Remains (*Ongoing throughout demolition, grading, and/or construction*).** In the event that human skeletal remains are uncovered at the project site during ground-disturbing activities, all work shall immediately halt and the Alameda County Coroner shall be contacted to evaluate the remains, and following the procedures and protocols pursuant to Section 15064.5 (e)(1) of the CEQA Guidelines. If the County Coroner determines that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to subdivision (c) of Section 7050.5 of the Health and Safety Code, and all excavation and site preparation activities shall cease within a 50-foot radius of the find until appropriate arrangements are made. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance and avoidance measures (if applicable) shall be completed expeditiously.
- 39. Paleontological Resources (*Ongoing throughout demolition, grading, and/or construction*).** In the event of an unanticipated discovery of a paleontological resource during construction, excavations within 50 feet of the find shall be temporarily halted or diverted until the discovery is examined by a qualified paleontologist (per Society of Vertebrate Paleontology standards [SVP 1995,1996]). The qualified paleontologist shall document the discovery as needed, evaluate the potential resource, and assess the significance of the find. The paleontologist shall notify the appropriate agencies to determine procedures that would be followed before construction is allowed to resume at the location of the find. If the City determines that avoidance is not feasible, the paleontologist shall prepare an excavation plan for mitigating the effect of the project on the qualities that make the resource important, and such plan shall be implemented. The plan shall be submitted to the City for review and approval.
- 40. Stormwater Requirements.** The applicant shall demonstrate compliance with the requirements of the City's National Pollution Discharge Elimination System (NPDES) permit as described in BMC Section 17.20. The following conditions apply:
- A. The project plans shall identify and show site-specific Best Management Practices (BMPs) appropriate to activities conducted on-site to limit to the maximum extent practicable the discharge of pollutants to the City's storm drainage system, regardless of season or weather conditions.
 - B. Trash enclosures and/or recycling area(s) shall be covered; no other area shall drain onto this area. Drains in any wash or process area shall not discharge to the storm drain system; these drains should connect to the sanitary sewer. Applicant shall contact the City of Berkeley and EBMUD for specific connection and discharge requirements. Discharges to the sanitary sewer are subject to the review, approval and conditions of the City of Berkeley and EBMUD.
 - C. Landscaping shall be designed with efficient irrigation to reduce runoff, promote surface infiltration and minimize the use of fertilizers and pesticides that contribute to stormwater pollution. Where feasible, landscaping should be designed and operated to treat runoff. When and where possible, xeriscape and drought tolerant plants shall be incorporated into new development plans.
 - D. Design, location and maintenance requirements and schedules for any stormwater quality treatment structural controls shall be submitted to the Department of Public Works for review with respect to reasonable adequacy of the controls. The review does not relieve the property owner of the responsibility for complying with BMC Chapter 17.20 and future revisions to the City's overall stormwater quality ordinances. This review shall be conducted prior to the issuance of a Building Permit.

- E. All paved outdoor storage areas must be designed to reduce/limit the potential for runoff to contact pollutants.
- F. All on-site storm drain inlets/catch basins must be cleaned at least once a year immediately prior to the rainy season. The property owner shall be responsible for all costs associated with proper operation and maintenance of all storm drainage facilities (pipelines, inlets, catch basins, outlets, etc.) associated with the project, unless the City accepts such facilities by Council action. Additional cleaning may be required by City of Berkeley Public Works Engineering Dept.
- G. All private or public projects that create and/or replace 10,000 square feet or more of impervious surface must comply with Provision C.3 of the Alameda County NPDES permit and must incorporate stormwater controls to enhance water quality. Permit submittals shall include a Stormwater Requirement Checklist and detailed information showing how the proposed project will meet Provision C.3 stormwater requirements, including a) Site design measures to reduce impervious surfaces, promote infiltration, and reduce water quality impacts; b) Source Control Measures to keep pollutants out of stormwater runoff; c) Stormwater treatment measures that are hydraulically sized to remove pollutants from stormwater; d) an O & M (Operations and Maintenance) agreement for all stormwater treatment devices and installations; and e) Engineering calculations for all stormwater devices (both mechanical and biological).
- H. All on-site storm drain inlets must be labeled "No Dumping – Drains to Bay" or equivalent using methods approved by the City.
- I. Most washing and/or steam cleaning must be done at an appropriately equipped facility that drains to the sanitary sewer. Any outdoor washing or pressure washing must be managed in such a way that there is no discharge or soaps or other pollutants to the storm drain. Sanitary connections are subject to the review, approval and conditions of the sanitary district with jurisdiction for receiving the discharge.
- J. All loading areas must be designated to minimize "run-on" or runoff from the area. Accumulated waste water that may contribute to the pollution of stormwater must be drained to the sanitary sewer or intercepted and pretreated prior to discharge to the storm drain system. The property owner shall ensure that BMPs are implemented to prevent potential stormwater pollution. These BMPs shall include, but are not limited to, a regular program of sweeping, litter control and spill cleanup.
- K. Restaurants, where deemed appropriate, must be designed with a contained area for cleaning mats, equipment and containers. This contained wash area shall be covered or designed to prevent run-on or run-off from the area. The area shall not discharge to the storm drains; wash waters should drain to the sanitary sewer, or collected for ultimate disposal to the sanitary sewer. Employees shall be instructed and signs posted indicating that all washing activities shall be conducted in this area. Sanitary connections are subject to the review, approval and conditions of the waste water treatment plant receiving the discharge.
- L. Sidewalks and parking lots shall be swept regularly to prevent the accumulation of litter and debris. If pressure washed, debris must be trapped and collected to prevent entry to the storm drain system. If any cleaning agent or degreaser is used, wash water shall not discharge to the storm drains; wash waters should be collected and discharged to the sanitary sewer. Discharges to the sanitary sewer are subject to the review, approval and conditions of the sanitary district with jurisdiction for receiving the discharge.
- M. The applicant is responsible for ensuring that all contractors and sub-contractors are aware of and implement all stormwater quality control measures. Failure to comply with the approved construction BMPs shall result in the issuance of correction notices, citations, or a project stop work order.

- 41. Public Works - Implement BAAQMD-Recommended Measures during Construction.** For all proposed projects, BAAQMD recommends implementing all the Basic Construction Mitigation Measures, listed below to meet the best management practices threshold for fugitive dust:
- A. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
 - B. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
 - C. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
 - D. All vehicle speeds on unpaved roads shall be limited to 15 mph.
 - E. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
 - F. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
 - G. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator.
 - H. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
- 42. Public Works.** All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter thick and secured to the ground.
- 43. Public Works.** The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.
- 44. Public Works.** The project sponsor shall maintain sandbags or other devices around the site perimeter during the rainy season to prevent on-site soils from being washed off-site and into the storm drain system. The project sponsor shall comply with all City ordinances regarding construction and grading.
- 45. Public Works.** Prior to any excavation, grading, clearing, or other activities involving soil disturbance during the rainy season the applicant shall obtain approval of an erosion prevention plan by the Building and Safety Division and the Public Works Department. The applicant shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.
- 46. Public Works.** The removal or obstruction of any fire hydrant shall require the submission of a plan to the City's Public Works Department for the relocation of the fire hydrant during construction.
- 47. Public Works.** If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.

Prior to Final Inspection or Issuance of Occupancy Permit:

48. Compliance with Conditions. The project shall conform to the plans and statements in the Use Permit. The developer is responsible for providing sufficient evidence to demonstrate compliance with the requirements throughout the implementation of this Use Permit.
49. Compliance with Approved Plan. The project shall conform to the plans and statements in the Use Permit. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated **February 5, 2019**, except as modified by conditions of approval.
50. Construction and Demolition Diversion. A Waste Diversion Report, with receipts or weigh slips documenting debris disposal or recycling during all phases of the project, must be completed and submitted for approval to the City's Building and Safety Division. The Zoning Officer may request summary reports at more frequent intervals, as necessary to ensure compliance with this requirement. A copy of the Waste Diversion Plan shall be available at all times at the construction site for review by City Staff.

BELOW MARKET RATE UNITS

51. Number of Below Market Rate Units. The project shall provide 5 Very Low Income (VLI) below market rate rental dwelling units ("BMR Units"), which are required to comply with the State Density Bonus Law (Government Code Section 65915). The BMR Units shall be designated in the Regulatory Agreement and shall be reasonably dispersed throughout the project; be of the same size and contain, on average, the same number of bedrooms as the non-BMR units in the project; and be comparable with the design or use of non-BMR units in terms of appearance, materials and finish quality. The designation of BMR Units shall conform to the addresses assigned to the building by the City.
52. Regulatory Agreement. Prior to the issuance of a building permit, the applicant shall enter into a Regulatory Agreement that implements Government Code Section 65915 and this Use Permit. The Regulatory Agreement may include any terms and affordability standards determined by the City to be necessary to ensure such compliance. The maximum qualifying household income for the BMR Units shall be 50 percent of area median income (AMI), and the maximum housing payment shall be 30 percent of 50 percent of AMI, as set forth in the following paragraphs of this condition. If the BMR units are occupied by very low income tenants receiving a rental subsidy through the Section 8 or Shelter Plus Care programs, the rent received by the project sponsor may exceed the restricted rent to the payment standards allowed under those programs so long as the rent allowed under the payment standards is not greater than the market rents charged for comparable units in the development.
53. In addition, the following provisions shall apply:
 - A. Maximum rent shall be adjusted for the family size appropriate for the unit pursuant to California Health & Safety Code Section 50052.5 (h).
 - B. Rent shall include a reasonable allowance for utilities, as published and updated by the Berkeley Housing Authority, including garbage collection, sewer, water, electricity, gas, and other heating, cooking and refrigeration fuels. Such allowance shall take into account the cost of an adequate level of service. Utilities do not include telephone service. Rent also includes any separately charged fees or service charges assessed by the lessor which are required of all tenants, other than security deposits.
 - C. BMR units will be provided for the life of the project under Section 22.20.065.

54. Determination of Area Median Income (AMI).

- The “AMI” (Area Median Income) shall be based on the income standards for the Oakland Primary Metropolitan Statistical Area reported by the United States Department of Housing and Urban Development (HUD). In the event HUD discontinues establishing such income standards, AMI shall be based on income standards determined by the California State Department of Housing and Community Development (HCD). If such income standards are no longer in existence, the City will designate another appropriate source or method for determining the median household income.
- The applicable AMI for the purpose of determining the allowable rent for each unit (but not for the purpose of determining eligibility for occupancy of an inclusionary unit) shall be determined in accordance with the following table:

Unit Size	AMI Standard
Studio unit	AMI for a one person household
One-bedroom unit	AMI for a two person household
Two-bedroom unit	AMI for a three person household
Three-bedroom unit	AMI for a four person household

55. Nothing in these conditions shall be interpreted to prohibit, or to require modification of the Use Permit or Regulatory Agreement to allow, the provision of additional BMR units, or additional affordability, than are required in the foregoing provisions.

56. Dwellings that are approved as rental units, but in which a condo map is approved prior to issuance of an occupancy permit, shall be subject to the affordability requirements within BMC 23C.12, which applies to the any of the following:

- A. Residential housing projects for the construction of five or more Dwelling Units;
- B. Residential housing projects for the construction of one to four new Dwelling Units, when such Units are added to an existing one to four unit property, which has been developed after August 14, 1986, and the resulting number of units totals five or more. All Units in such a property are subject to the requirements of this chapter;
- C. Residential housing projects proposed on lots whose size and zoning designation is such to allow construction of five or more Dwelling Units.

If a density bonus was granted for the project, the regulatory agreement shall reflect the number of qualifying units set forth in Section 65915(f)(4) that are needed to support the bonus that was granted.

At All Times:

57. Exterior Lighting. All exterior lighting shall be energy efficient where feasible; and shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.

58. Rooftop Projections. No additional rooftop or elevator equipment shall be added to exceed the approved maximum roof height without submission of an application for a Use Permit Modification, subject to City review and approval.

59. Design Review. Signage and any other exterior modifications, including but not limited to landscaping and lighting, shall be subject to approval.

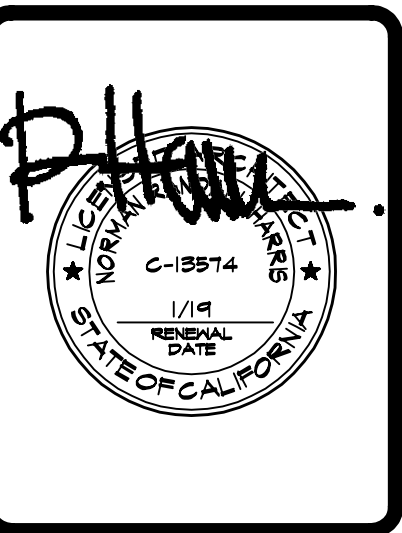
60. Drainage Patterns. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.
 61. Electrical Meter. Only one electrical meter fixture may be installed per dwelling unit.
 62. Loading. All loading/unloading activities associated with deliveries to all uses shall be restricted to the hours of 7:00 a.m. to 10:00 p.m. daily.
 63. Bike Parking. Secure and on-site bike parking *for at least* 49 bicycles shall be provided for the life of the building.
 64. Tenant Notification. The developer shall provide tenant notification, via a lease rider or deed covenant, that each dwelling unit is located in a mixed-use area that includes commercial, food service and entertainment uses, and that each occupant shall not seek to impede their lawful operation.
 65. Transit Subsidy Condition. The applicant shall reimburse employees the maximum non-taxable cost of commuting to and from work on public transportation (e.g., monthly passes) if they so commute, and a notice informing employees of the availability of such subsidy shall be permanently displayed in the employee area as per BMC Chapter 9.88.
 66. Residential Permit Parking. Consistent with BMC Section 14.72.080.C.1, no Residential Permit Parking (RPP) permits shall be issued to project residents. The project planner shall notify the Finance Department, Customer Service Center, to add these addresses to the list of addresses ineligible for RPP permits. The property owner shall notify all tenants of rental units, and/or buyers of condominium units, of this restriction in leases and/or contracts, and shall provide sample leases and/or contracts including such notification to the project planner prior to issuance of an occupancy permit or final inspection.
-

2701 SHATTUCK AVENUE



revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/09/19	AY

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BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
COVER

drawn
checked
RH
date
3/07/18
scale
NO SCALE
job no.
1802
sheet

A.O.O

Received 2/5/19, Revised for City Council Appeal on 3/12/19

BASE PROJECT ZONING REQUIREMENTS

LOT COVERAGE
 40% COVERAGE ALLOWABLE
 LOT SIZE: 11,826 SF
 TOTAL SF ALLOWABLE: 4,730 SF
 ACTUAL COVERAGE: 4,730 SF

OPEN SPACE
 REQUIRED: 40 SF/UNIT USEABLE OPEN SPACE
 42 UNITS X 40 SF/UNIT = 1,680 SF
 PROVIDED OPEN SPACE: 1,850 SF

FAR CALCULATION
 ALLOWABLE FAR: 4.0
 BASE PROJECT FAR: 1.6 (18,947 SF / 11,826 SF = 1.60)

PARKING CALCULATION

COMMERCIAL PARKING
 COMMERCIAL GFA: 558 SF
 REQUIRED STALL RATIO: 1:300 SF
 REQUIRED STALLS: 2
 STALLS PROVIDED: 2

RESIDENTIAL PARKING *
 RESIDENTIAL FLOOR AREA: 18,736 SF
 REQUIRED STALL RATIO: 1:1,000 SF GFA
 REQUIRED STALLS: 19
 STALLS PROVIDED: 23

TOTAL AUTO PARKING: 25 SPACES

COMMERCIAL BIKE PARKING
 COMMERCIAL SPACES REQUIRED: 1 SPACE/2,000 SF COMMERCIAL AREA
 COMMERCIAL FLOOR AREA: 558 SF
 $558 / 2,000 = (0.3) = 1$
 COMMERCIAL SPACES PROVIDED: 1 SPACE

RESIDENTIAL BIKE PARKING
 RES. SPACES REQUIRED: 1 SPACE/2,000 SF RESIDENTIAL AREA
 RES. FLOOR AREA: 19,736 SF
 $19,736 / 2,000 = 9.9$
 RES. BIKE SPACES PROVIDED: 10 SPACES

TOTAL BIKE PARKING: 11 SPACES

ROOFTOP COVERAGE CALCULATION

AVERAGE FLOOR AREA: 18,947 SF / 4 STORIES = 4,737 SF
 ALLOWABLE ROOF COVERAGE: 15% X 4,737 SF = 711 SF

ROOFTOP ELEMENTS
 STAIR 1: 145 SF
 STAIR 2: 166 SF
 ELEVATOR: 157 SF
 COMMERCIAL EXH. 5 SF
 MACHINE ROOM 70 SF

TOTAL COVERAGE: 543 SF

* - FIRST 1000 SF EXEMPT OFF-STREET PARKING (BMC SECTION 23E.52.080.C)

PROPOSED DENSITY BONUS PROJECT ZONING REQUIREMENTS

LOT COVERAGE
 LOT SIZE: 11,826 SF
 COVERED AREA OF LOT: 10,217 SF
 $10,217 SF / 11,826 SF \times 100\% = 86\%$

OPEN SPACE
 REQUIRED RATIO: 40 SF PER UNIT
 REQUIRED AREA: 57 UNITS X 40 SF/UNIT = 2,280 SF

PODIUM OPEN SPACE: 2,983 SF
 4TH LEVEL OPEN SPACE: 625 SF
 5TH LEVEL OPEN SPACE: 285 SF
 ROOFTOP OPEN SPACE: 1,979 SF
PROVIDED OPEN SPACE: 5,872 SF

REVISED PER CONDITION #11

FAR CALCULATION
 ALLOWABLE FAR: 4.0
 PROPOSED FAR: 2.4 (27,980 SF / 11,826 SF = 2.36)

PARKING CALCULATION

COMMERCIAL PARKING
 COMMERCIAL AREA: 600 SF
 REQUIRED STALL RATIO: 1:300 SF
 REQUIRED STALLS: 2
 STALLS PROVIDED: 2

RESIDENTIAL PARKING *
 RESIDENTIAL FLOOR AREA: 27,213 SF
 REQUIRED STALL RATIO: 1:1,000 SF
 REQUIRED STALLS: 28
 STALLS PROVIDED: 19

TOTAL AUTO PARKING: 21 SPACES

REVISED PER CONDITION #11

COMMERCIAL BIKE PARKING
 COMMERCIAL SPACES REQUIRED: 1 SPACE / 2,000 SF
 COMMERCIAL FLOOR AREA: 600 SF
 $600 / 2,000 = 0.3$
 COMMERCIAL SPACES PROVIDED: 5 SPACES

RESIDENTIAL BIKE PARKING
 RESIDENTIAL SPACES REQUIRED: 1 SPACE/2000 SF RESIDENTIAL AREA
 RESIDENTIAL FLOOR AREA: 28,213 SF
 $28,213 / 2,000 = 15 (14.1)$
 RESIDENTIAL SPACES PROVIDED: 44 SPACES

TOTAL BIKE PARKING: 49 SPACES

ROOFTOP COVERAGE CALCULATION

AVERAGE FLOOR AREA: 27,980 SF / 5 STORIES = 5,596 SF AVERAGE
 ALLOWABLE ROOF COVERAGE: 15% X 5,596 SF = 839 SF

ROOFTOP ELEMENTS
 MECHANICAL EXH. 5 SF
 TRASH CHUTE EXH. 32 SF
 COMMERCIAL EXH. 21 SF
 MACHINE ROOM 143 SF
 STAIR 178 SF
 COVERED WALK 201 SF
 ELEVATOR 156 SF
 TRELLIS 98 SF

TOTAL COVERAGE: 834 SF

CITY OF BERKELEY ZONING SUMMARY

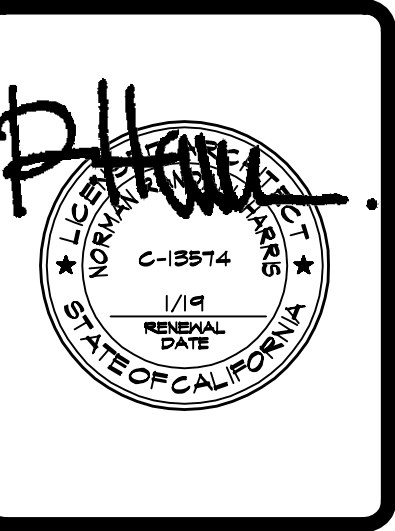
ZONE	C-SA (SOUTH AREA COMMERCIAL)		
	EXISTING	BASE PROJECT	PROPOSED***
Number of Dwelling Units	0	42	57 DU
RESIDENTIAL PARKING	0	23	19
COMMERCIAL PARKING	0	2	2
RESIDENTIAL BIKE STALLS	0	10	44
COMMERCIAL BIKE STALLS	0	1	5
Front Yard Setback	-	15	0 FT
Side Yard Setback (Right Side)	-	4	8 FT
Side Yard Setback (Street Side)	-	6	0 FT
Rear Yard Setback	-	15	0.5 FT
Building Height	-	50	62'-4" FT
Building Stories	-	4	5
Lot Area	11,826	11,826	11,826 SF
Lot Area (Acres)	0.27	0.27	0.27
Level 1	-	4,118	2,440 SF
Mezzanine	-	1,428	775 SF
Level 2	-	4,730	6,699 SF
Level 3	-	4,730	6,655 SF
Level 4	-	4,730	5,966 SF
Level 5	-	-	5,678 SF
Roof Level	-	-	SF
RFA (Residential Floor Area per BMC)*		19,736	28,213 SF
Commercial		558	600 SF
Trash		57	468 SF
GFA(Residential GFA + Commercial)**		18,947	27,980 SF
Elevators+ Stairs(2nd floor to the top residential floor)		1,404	1,301 SF
Building Footprint	0	4,730	10,217 SF
Lot coverage	0	40% (max)	86%
FAR (Floor Area Ratio)	0	1.6	2.4
Usable Open Space	0 sf	1,883	6,212 SF

REVISED PER CONDITION #11

*RFA PER CITY PLANNER'S GUIDANCE, includes stairs and elevators on all residential floors and EXCLUDES TRASH area
 **GFA includes stairs and elevators on the floor of the greatest horizontal extent, commercial space and trash room, Per BMC DEFINITION OF FLOOR AREA, GROSS (23F.04.010)
 ***INCLUDES WAIVERS AND CONCESSIONS

revisions	by
DRC SUBMITTAL 12/15/16 # 1/27/17	-
ZAB SUBMITTAL 9/12/17 # 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/03/18	AY

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2701 SHATTUCK AVENUE
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 FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
ZONING & SUPPORTING CALCULATIONS

drawn
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 3/07/18
 scale
NO SCALE
 job no.
 1802
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AO.IA

STEP 1: BASE PROJECT

THE BASE PROJECT IS A HYPOTHETICAL PROJECT THAT REPRESENTS THE "MAXIMUM ALLOWABLE RESIDENTIAL DENSITY" FOR A PROPOSED PROJECT AT A PARTICULAR SITE.

STEP 1.1 CALCULATE MAX. ALLOWABLE RESIDENTIAL FLOOR AREA
CALCULATE THE BASE PROJECT'S RESIDENTIAL FLOOR AREA, INCLUDING EACH STORY OF A HYPOTHETICAL BUILDING, ON THE PROPOSED SITE.

STEP 1.1: BASE PROJECT RESIDENTIAL CALCULATIONS

LEVEL 1 RES.	4,118 sf
LEVEL 1 MEZZANINE RES.	1,428 sf
LEVEL 2 RES.	4,730 sf
LEVEL 3 RES.	4,730 sf
LEVEL 4 RES.	4,730 sf
ROOF LEVEL	-
TOTAL MAX. RESIDENTIAL FLOOR AREA	19,736

STEP 1.2 CALCULATE AVERAGE UNIT SIZE

USING THE PROPOSED PROJECT'S PLANS, CALCULATE THE TOTAL FLOOR AREA DEDICATED TO RESIDENTIAL USES ON EACH FLOOR.

STEP 1.2A: PROPOSED DENSITY BONUS PROJECT RESIDENTIAL CALCULATIONS

LEVEL 1 RES.	2,997 sf
LEVEL 1 MEZZANINE RES.	550 sf
LEVEL 2 RES.	7,617 sf
LEVEL 3 RES.	7,617 sf
LEVEL 4 RES.	7,617 sf
ROOF LEVEL	- sf
TOTAL PROPOSED DENSITY BONUS	26,398 sf

*Calculated per City Density Bonus procedure

STEP 1.2B IDENTIFY THE TOTAL NUMBER OF PROPOSED RESIDENTIAL UNITS

57 UNITS PROPOSED

STEP 1.2C DIVIDE TOTAL PROPOSED DENSITY PROJECT FLOOR AREA BY NUMBER OF UNITS

26,398 SF / 57 UNITS = 463 SF/UNIT

STEP 1.2D CALCULATED AVERAGE UNIT SIZE: 463 SF
(PROPOSED PROJECT REQUESTS A CONCESSION - SEE STEP 3)

STEP 1.3 CALCULATE NUMBER OF BASE PROJECT UNITS
CALCULATE THE BASE PROJECT'S MAXIMUM NUMBER OF RESIDENTIAL UNITS BY DIVIDING THE SQUARE FOOTAGE OF THE BASE PROJECT (STEP 1.1) BY THE AVERAGE UNIT SIZE (STEP 1.2).

STEP 1.1: BASE PROJECT RES. FLOOR AREA: 19,736 SF
STEP 1.2: AVERAGE UNIT SIZE: 463 SF
STEP 1.3: BASE UNITS: 19,736 SF / 463 SF = 42.63 UNITS *

* - ALLOWED 43 UNITS, BUT, DESIGNED TO 42 UNITS

STEP 2: PROPOSED DENSITY BONUS PROJECT

DENSITY BONUS UNITS ARE MARKET-RATE UNITS THAT EXCEED THE "MAXIMUM ALLOWED RESIDENTIAL DENSITY;" THE AMOUNT OF AFFORDABLE UNITS AND THEIR AFFORDABILITY.

STEP 2.1 DETERMINE PROPOSED NUMBER AND INCOME LEVEL OF BELOW MARKET RATE (BMR) UNITS.

INCOME LEVEL: VERY-LOW-INCOME UNITS
% AFFORDABLE UNITS: 11%
BASE PROJECT UNITS: 42
AFFORDABLE UNITS: 11% X 42 = (4.62)
= 5 AFFORDABLE UNITS

STEP 2.2 CALCULATE DENSITY INCREASE (%) BASED ON THE DENSITY BONUS LAW AND INFORMATION FROM STEP 2.1.

% GRANTED FOR DENSITY BONUS: 35%
BASE PROJECT UNITS: 42

STEP 2.3 CALCULATE NUMBER OF BONUS UNITS BY APPLYING THE PERCENTAGE FROM STEP 2.2 TO BASE PROJECT.

BONUS UNITS ALLOWED 35% X 42 = (14.7)
= 15 BONUS UNITS
BASE PROJECT UNITS + BONUS UNITS 42 + 15 = 57

UNITS PROPOSED WITH DENSITY BONUS: 57 UNITS

WAIVERS:

NO LIMIT PER CALIFORNIA STATE LAW SECTION 65915

- HEIGHT - BMC 23E.52.070.B.2 TO EXCEED THE HEIGHT AND STORY LIMITS FOR THE DISTRICT (TO HAVE 62'-4" AND 5 STORIES, WHERE 50' AND 4 STORIES ARE REQUIRED).
- BMCS 23E.04.020 TO HAVE ARCHITECTURAL ELEMENTS WHICH EXCEED A DISTRICT'S HEIGHT LIMIT.
- SETBACKS - BMC 23E.52.070.D.5 TO REDUCE THE FRONT, STREET SIDE, AND REAR YARDS; AND TO EXCEED THE LOT COVERAGE LIMIT FOR THE DISTRICT.

- REDUCED FRONT SETBACK**
SETBACK OF 0 FEET ON ALL FLOORS.
- REDUCED STREET SIDE SETBACK**
BUILDING SETBACK OF 0 FEET ON ALL FLOORS.
- REDUCED REAR SETBACK**
OF 6 INCHES ON ALL FLOORS.
- EXCEED LOT COVERAGE**
TO ALLOW 86% COVERAGE.
- (NO WAIVERS ARE REQUIRED FOR THE EAST SIDE SETBACK NOR THE USEABLE OPEN SPACE PER UNIT)

STEP 3: PROPOSED DENSITY BONUS PROJECT WITH WAIVERS AND CONCESSIONS

STEP 3: ZAB ACTS ON THE PROPOSED DENSITY BONUS PROJECT

- 3.1 LIST OF CONCESSIONS (ALLOW 2) AND WAIVERS:
CONCESSION 1) MOVE PARKING FROM UNDERGROUND TO GROUND LEVEL PARKING
CONCESSION 2) INCREASED UNIT SIZE - TO INCREASE AVERAGE UNIT SIZE FROM 463 S.F. (BASE PROJECT) TO 495 S.F. (PROPOSED PROJECT)

WAIVERS SEE ALSO PROPOSED DENSITY BONUS PROJECT LIST

STEP 3.1: PROPOSED PLUS CONCESSIONS RESIDENTIAL CALCULATIONS

LEVEL 1 RES.	2,440
LEVEL 1 MEZZANINE RES.	775
LEVEL 2 RES.	6,699
LEVEL 3 RES.	6,655
LEVEL 4 RES.	5,966
LEVEL 5 RES.	5,678
ROOF LEVEL	-
TOTAL PROPOSED RES. FLOOR AREA	28,213

NOTES:

- DENSITY BONUS FLOOR AREA AND GROSS FLOOR AREA (SHEET A0.2) ARE CALCULATED PER STATE LAW AND LOCAL ORDINANCE.

AVERAGE UNIT SIZE WITH CONCESSIONS AND WAIVERS:
28,213 SF / 57 UNITS = 495 SF/UNIT

AVERAGE UNIT SIZE TO BE LARGER THAN BASE PROJECT/PROPOSED PROJECT [(495 - 463.12) AVGSF] / 463.12 AVG SF = APPROXIMATELY 0.069 (7.0%)

revisions	by
DRC SUBMITTAL 12/15/16 @ 1/27/17	-
ZAB SUBMITTAL 4/12/17 @ 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 4/20/18	AY
ZAB SUBMITTAL 1/09/18	AY

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Walnut Creek, CA
94597
(925) 256-6042

2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
DENSITY BONUS CALCULATIONS

drawn
checked
RH
date
3/07/18
scale
NO SCALE
job no.
1802
sheet

A0.1B

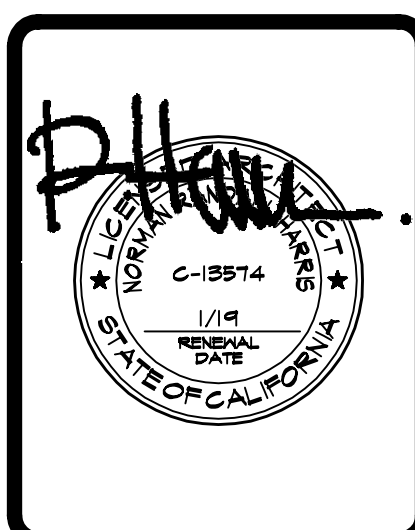


PROPOSED RESIDENTIAL FLOOR AREAS		
LEVEL	RFA *	GFA **
1	2,440 SF	2,748 SF
M	775 SF	775 SF
2/PODIUM	6,699 SF	6,391 SF
3	6,655 SF	6,377 SF
4	5,966 SF	5,689 SF
5	5,678 SF	5,400 SF
TOTALS	28,213 SF	27,380 SF

* - AREA OF TRASH ROOM FROM 2ND LEVEL TO 5TH LEVEL = 160 SF
** - AREA OF ELEVATOR AND STAIRS FROM 2ND LEVEL TO 5TH LEVEL = 1301 SF

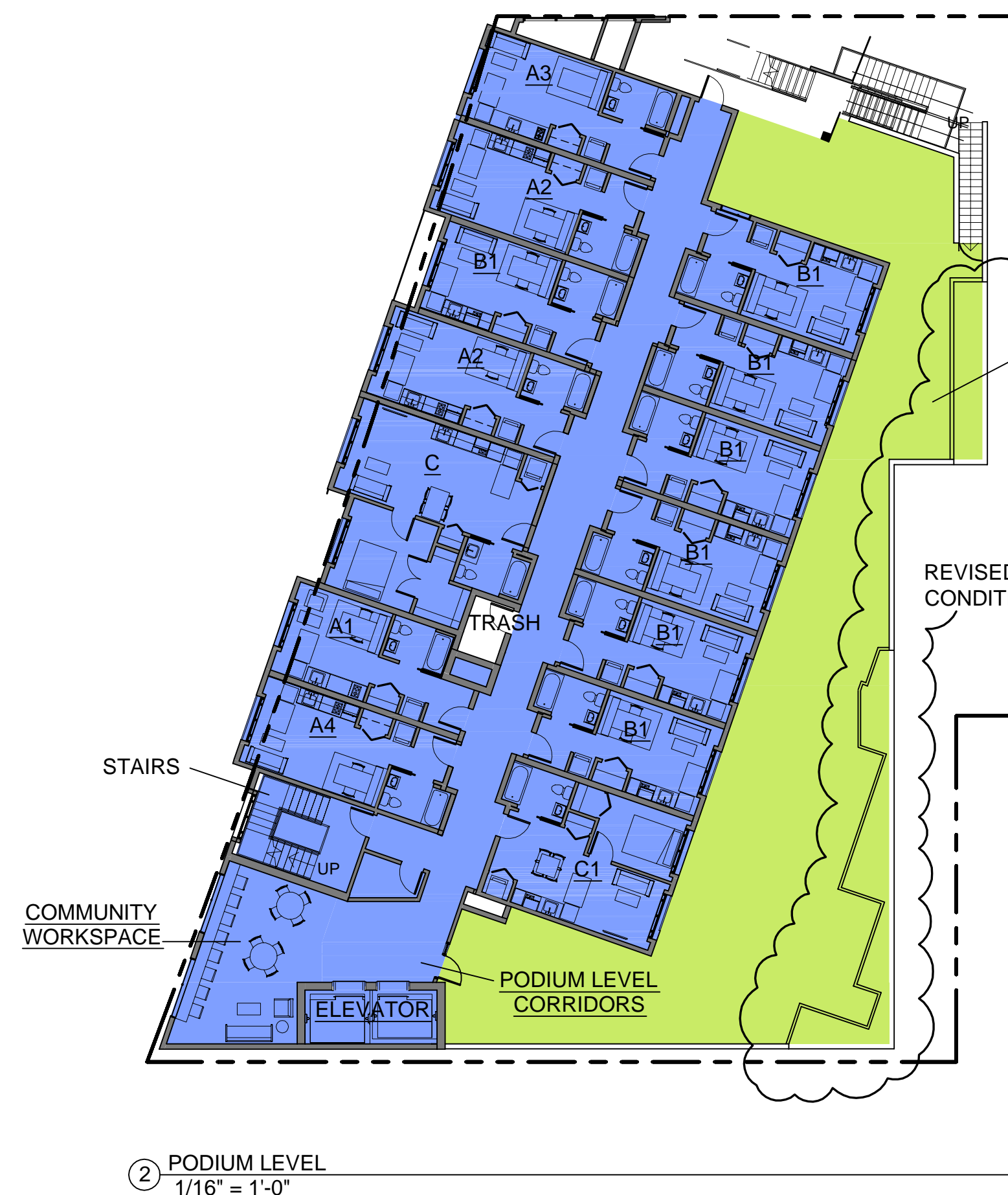
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ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/09/18	AY

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LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- TRASH
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- ROOFTOP ELEMENTS
- WALL
- PROPERTY LINE



UNIT DATA				
UNIT TYPE	#	JUNIOR 1 BR	BR	BA + DEN / LOFT
TH	3			1 + LOFT
A1	1	1		1
A2	6	1		1
A3	7	1		1
A4	2	1		1
A5	1	1		1
A6	4	1		1
B1	16	1		1
B2	9	1		1
C	1		1	1
C1	4		1	1
C2	1		1	1
D	2		1	1 + DEN

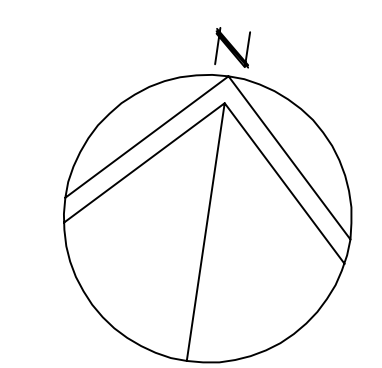
UNIT DATA:
TOWNHOUSE UNITS: 3
JUNIOR 1 BR UNITS: 46
1 BEDROOM UNITS: 8
TOTAL UNITS: 57

2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
RESIDENTIAL FLOOR AREAS SUMMARY

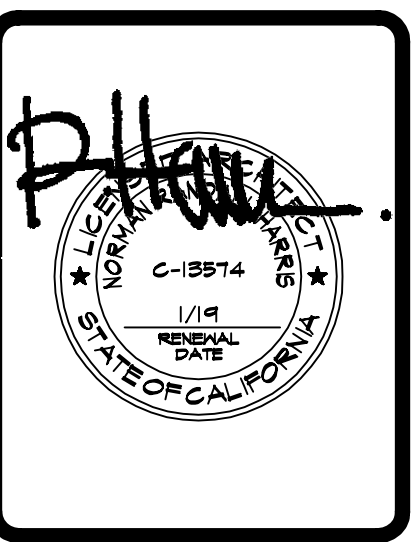
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checked RH
date 3/07/18
scale AS SHOWN
job no. 1802
sheet

A0.2



revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 11/08/18	AY

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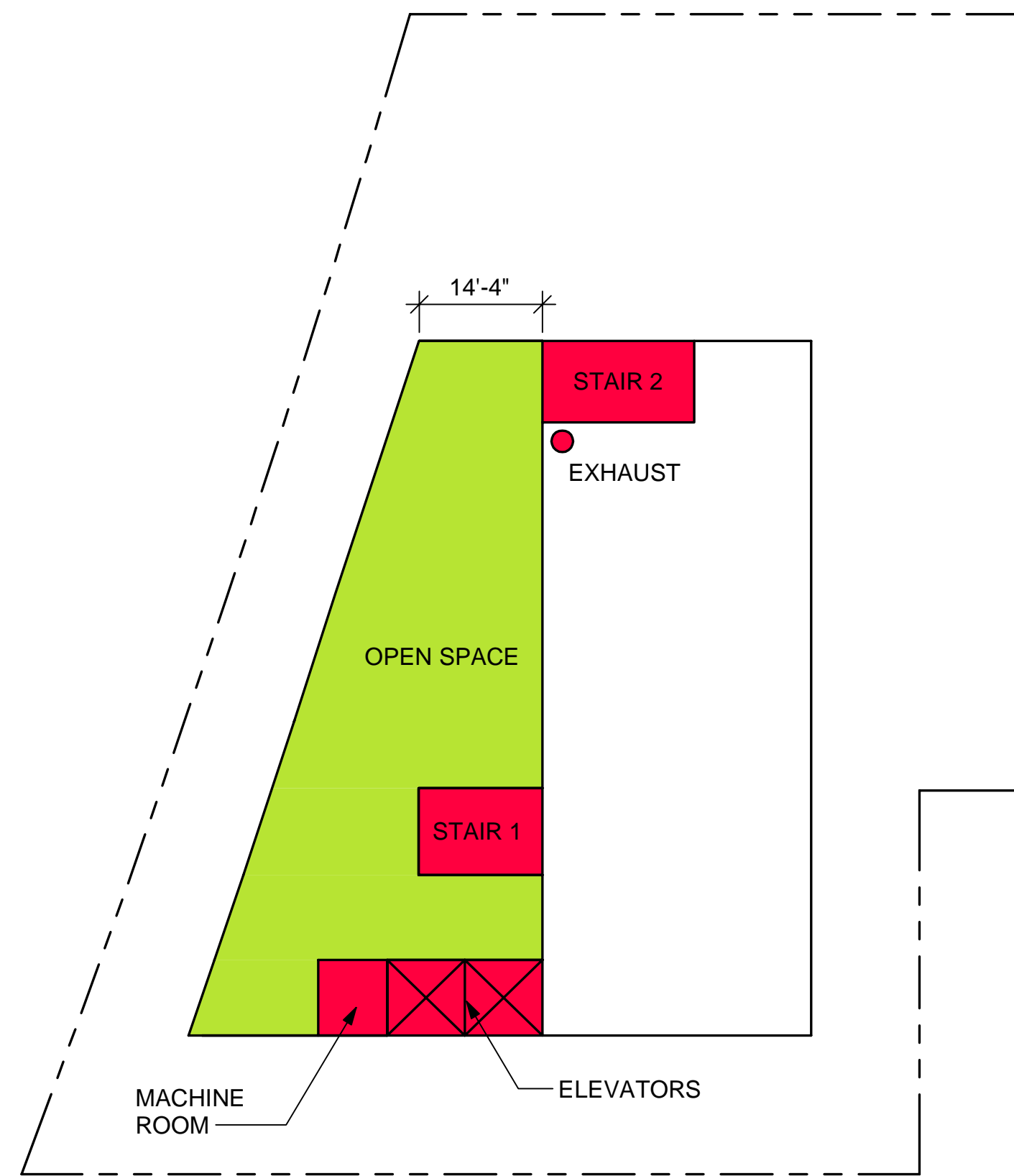


2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

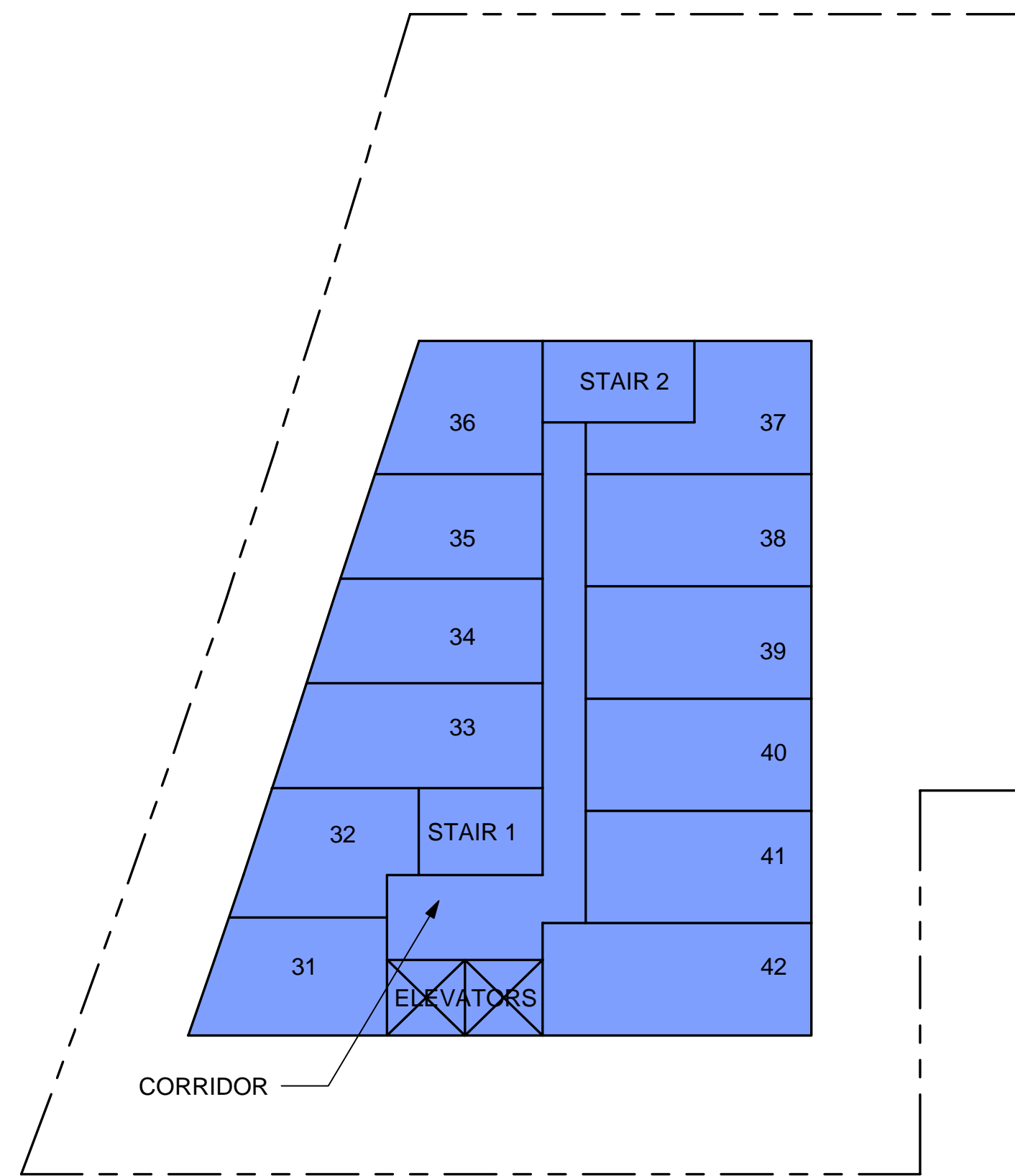
drawing
BASE PROJECT

drawn	AY
checked	RH
date	3/07/18
scale	AS SHOWN
job no.	1802
sheet	

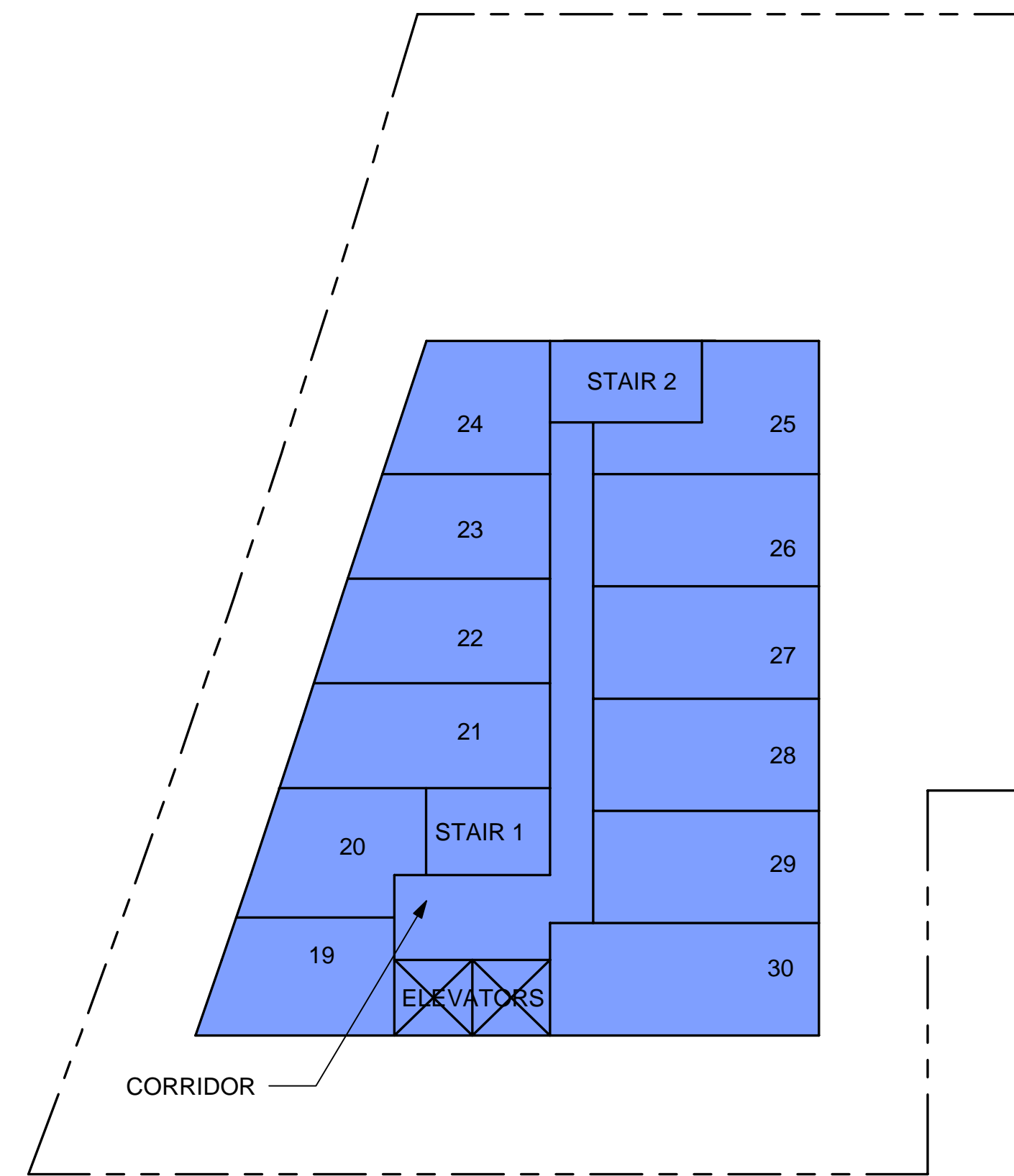
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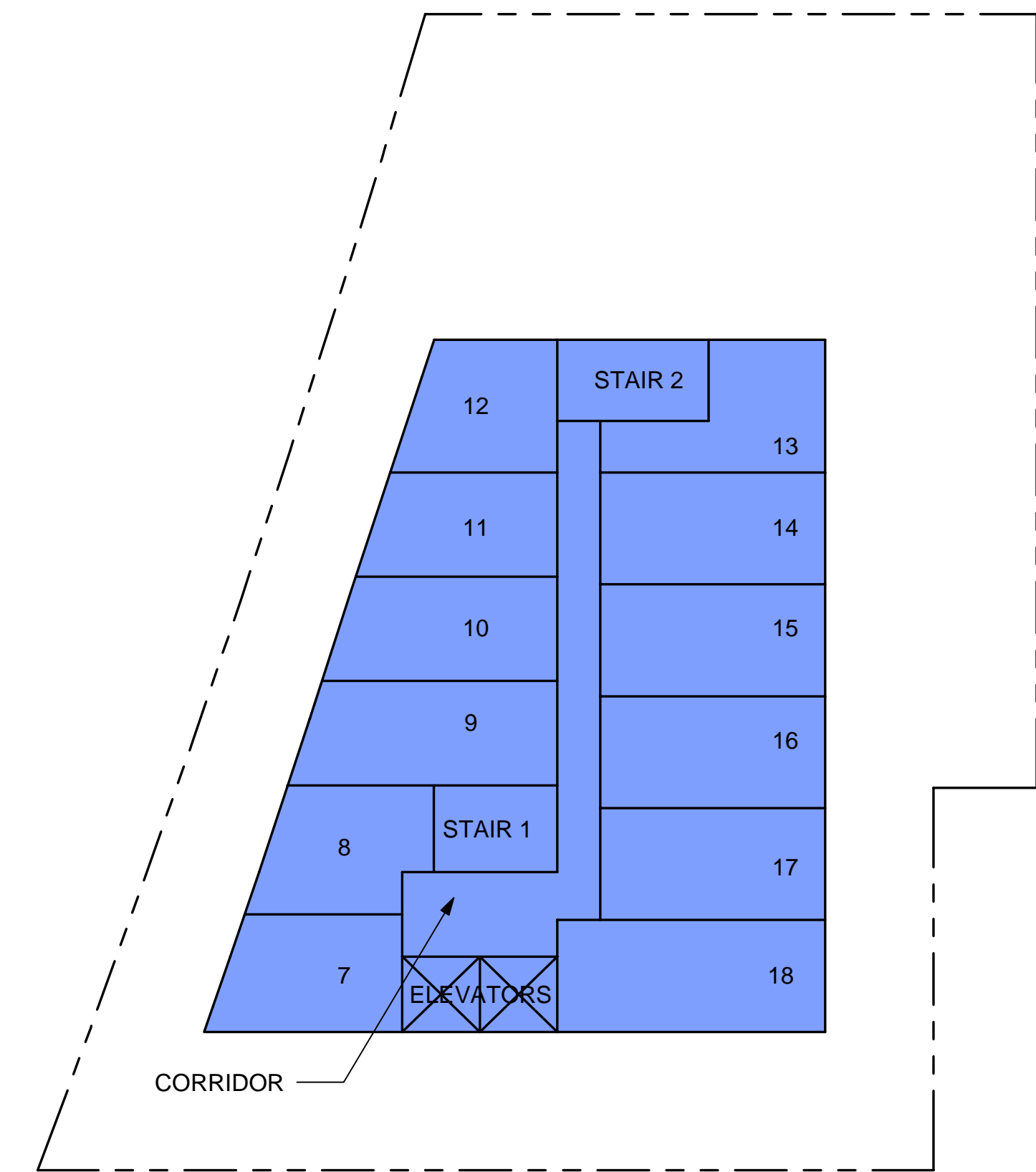
7 BASE PROJECT - ROOF LEVEL
1/16" = 1'-0"



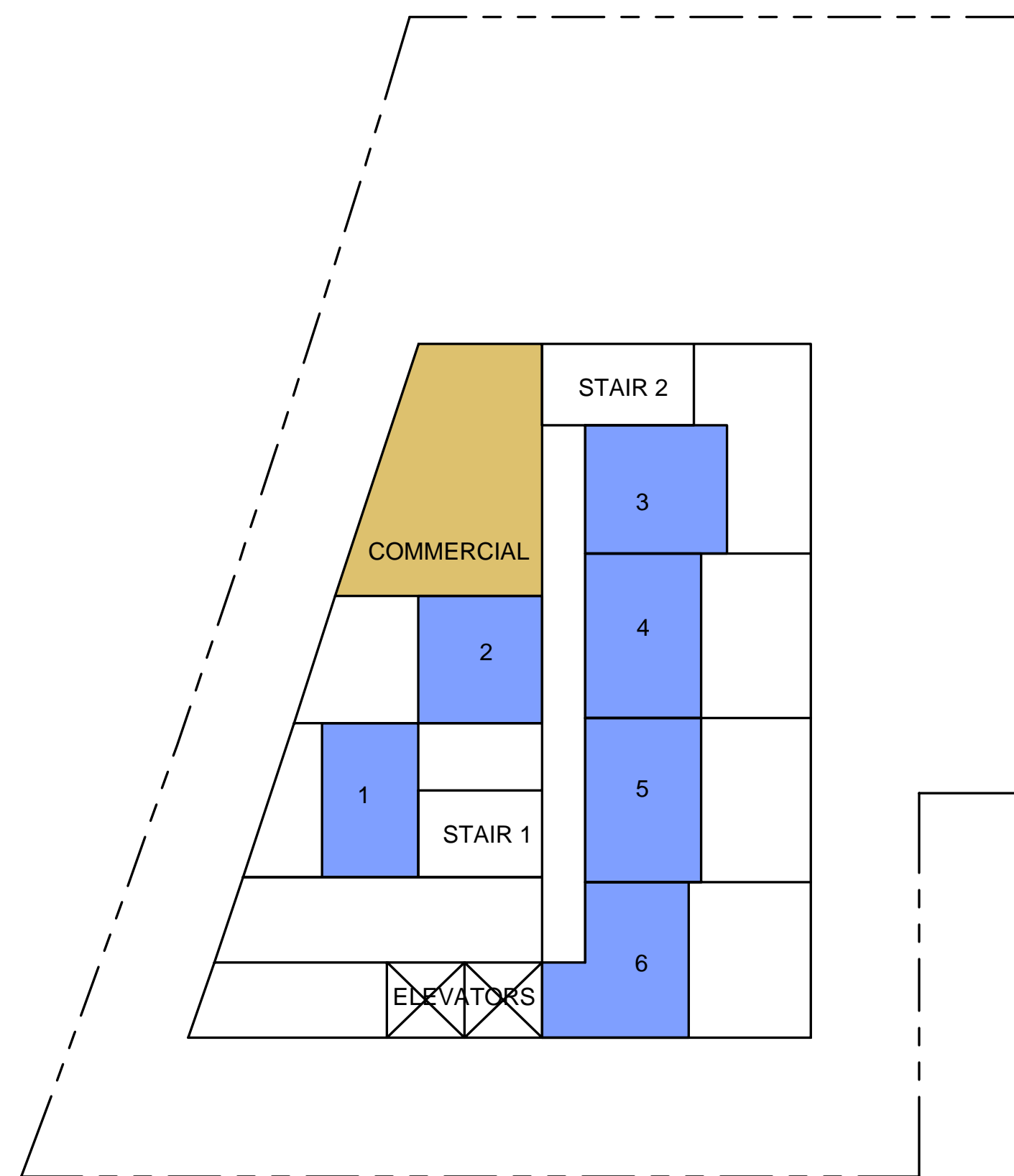
6 BASE PROJECT - FOURTH LEVEL
1/16" = 1'-0"



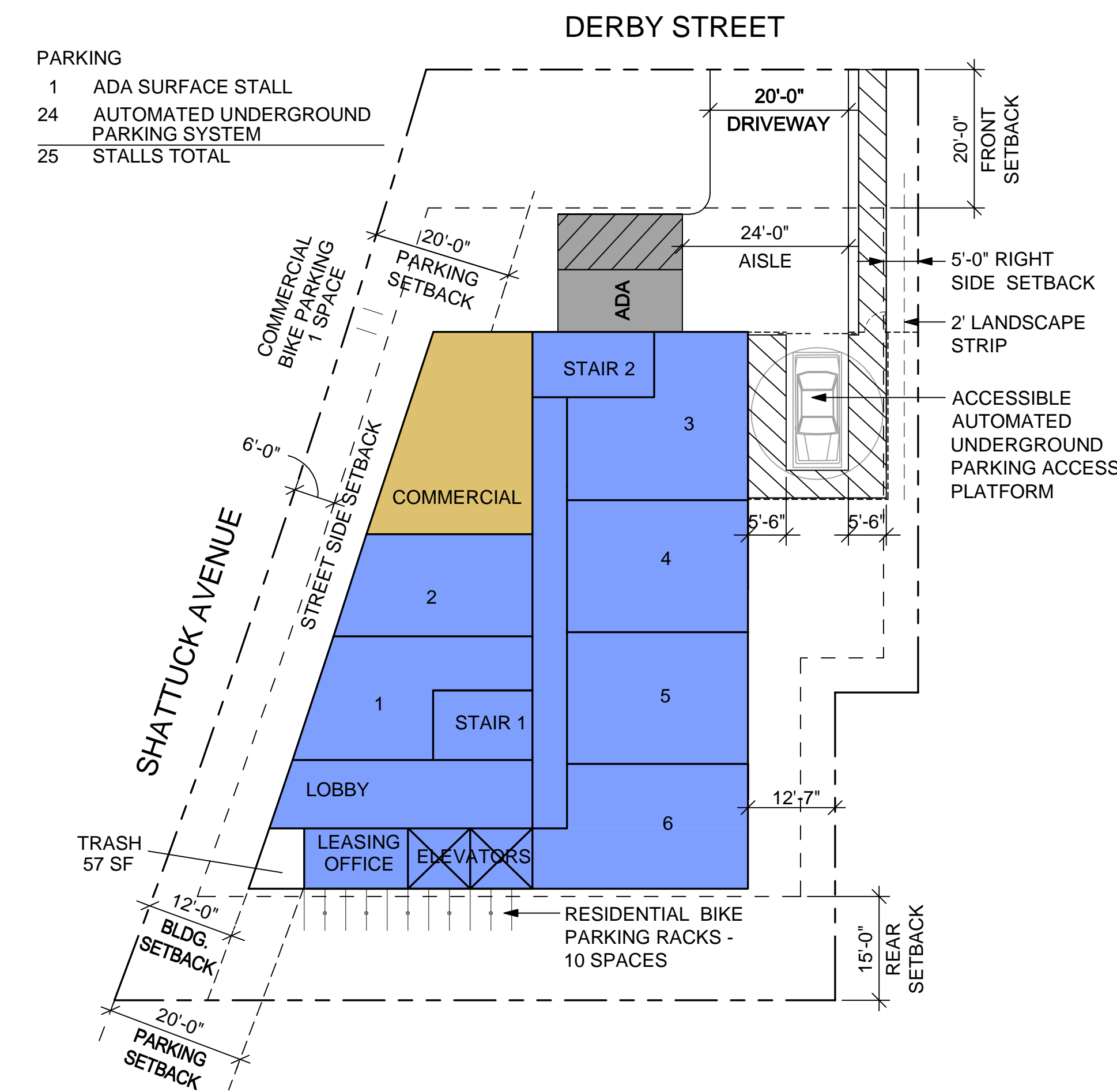
5 BASE PROJECT - THIRD LEVEL
1/16" = 1'-0"



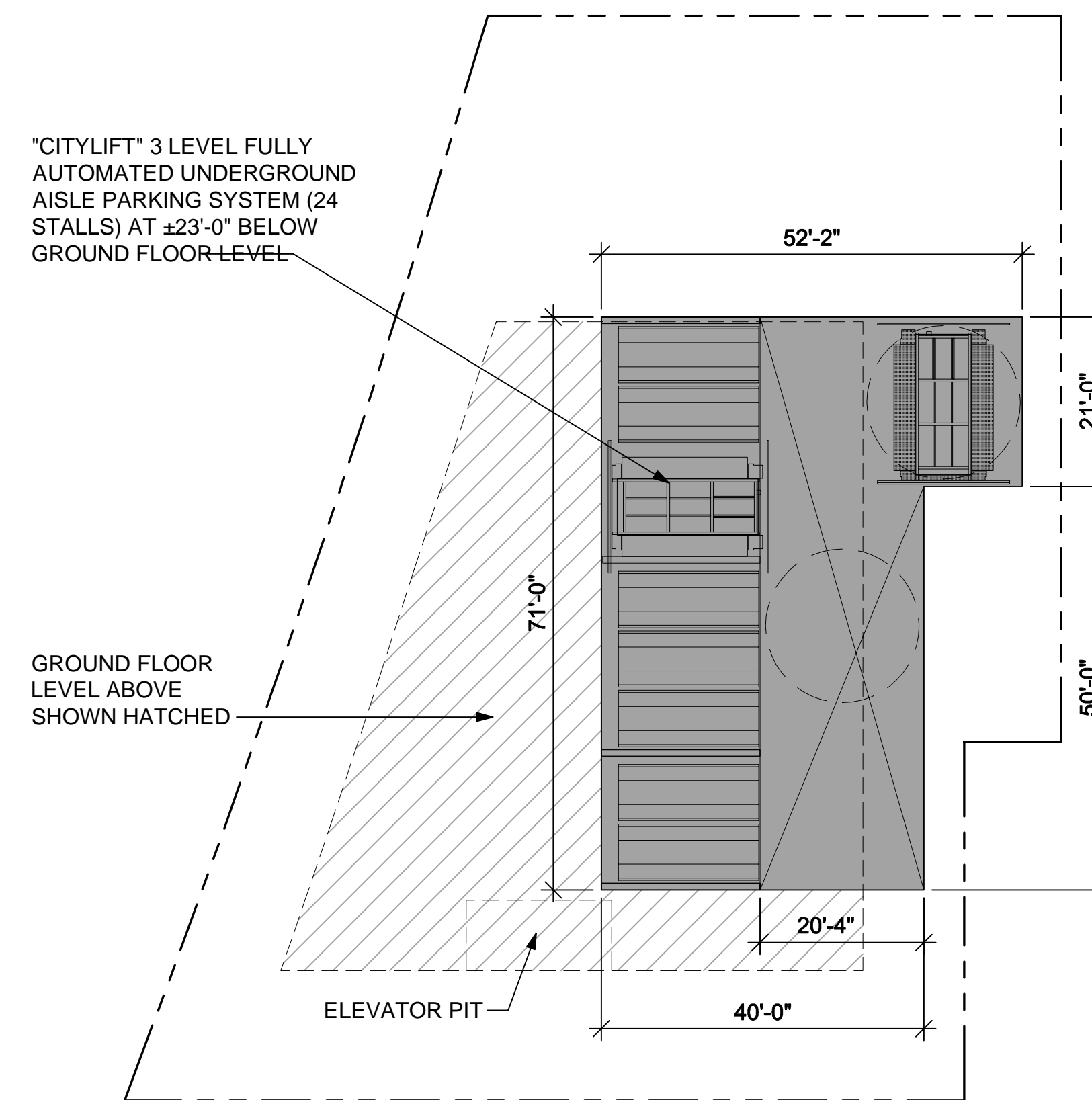
4 BASE PROJECT - SECOND LEVEL
1/16" = 1'-0"



3 BASE PROJECT - MEZZANINE LEVEL PLAN
1/16" = 1'-0"



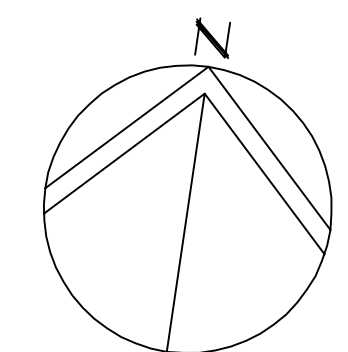
2 BASE PROJECT - GROUND FLOOR PLAN
1/16" = 1'-0"

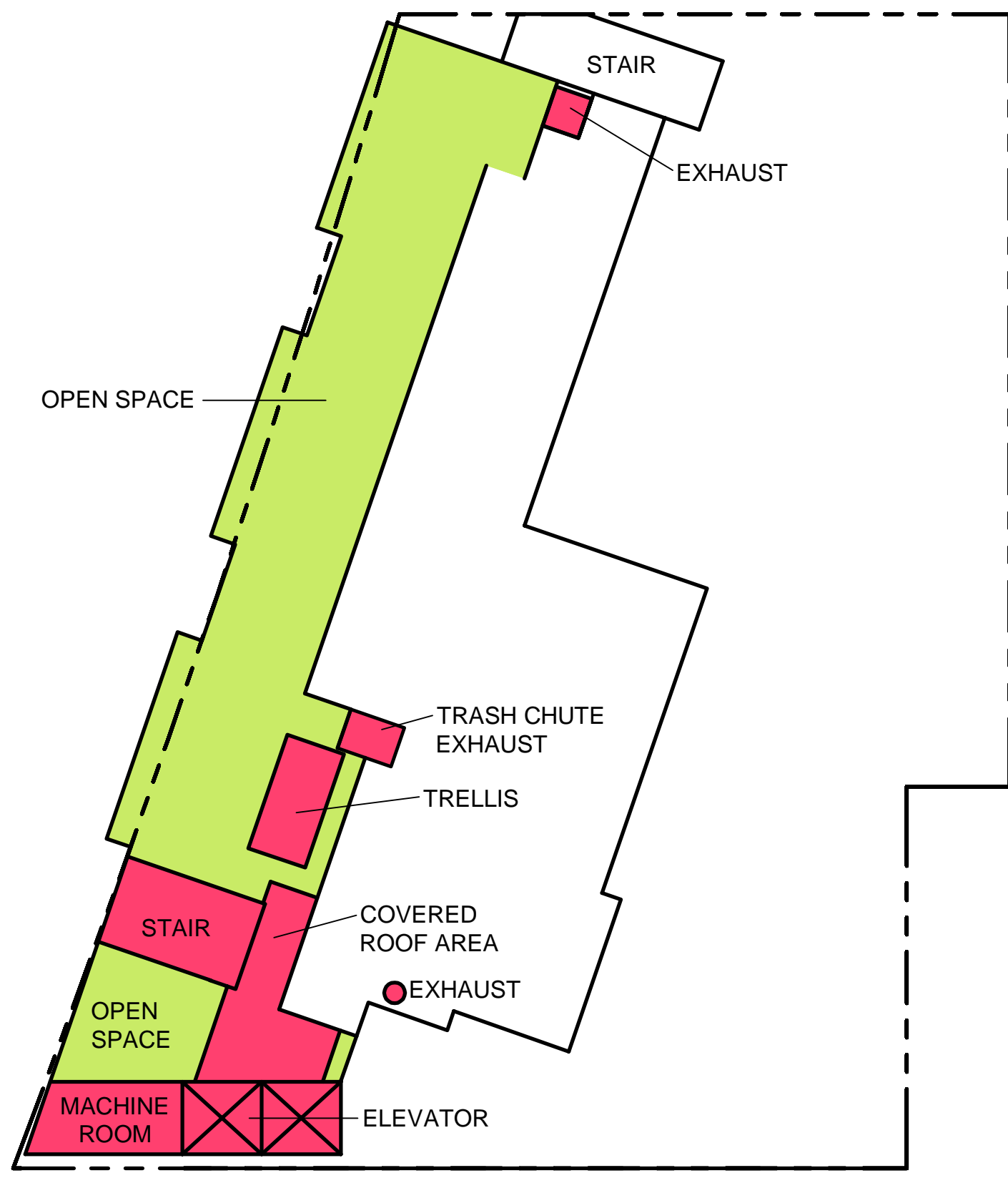


1 BASE PROJECT - UNDERGROUND PARKING PLAN
1/16" = 1'-0"

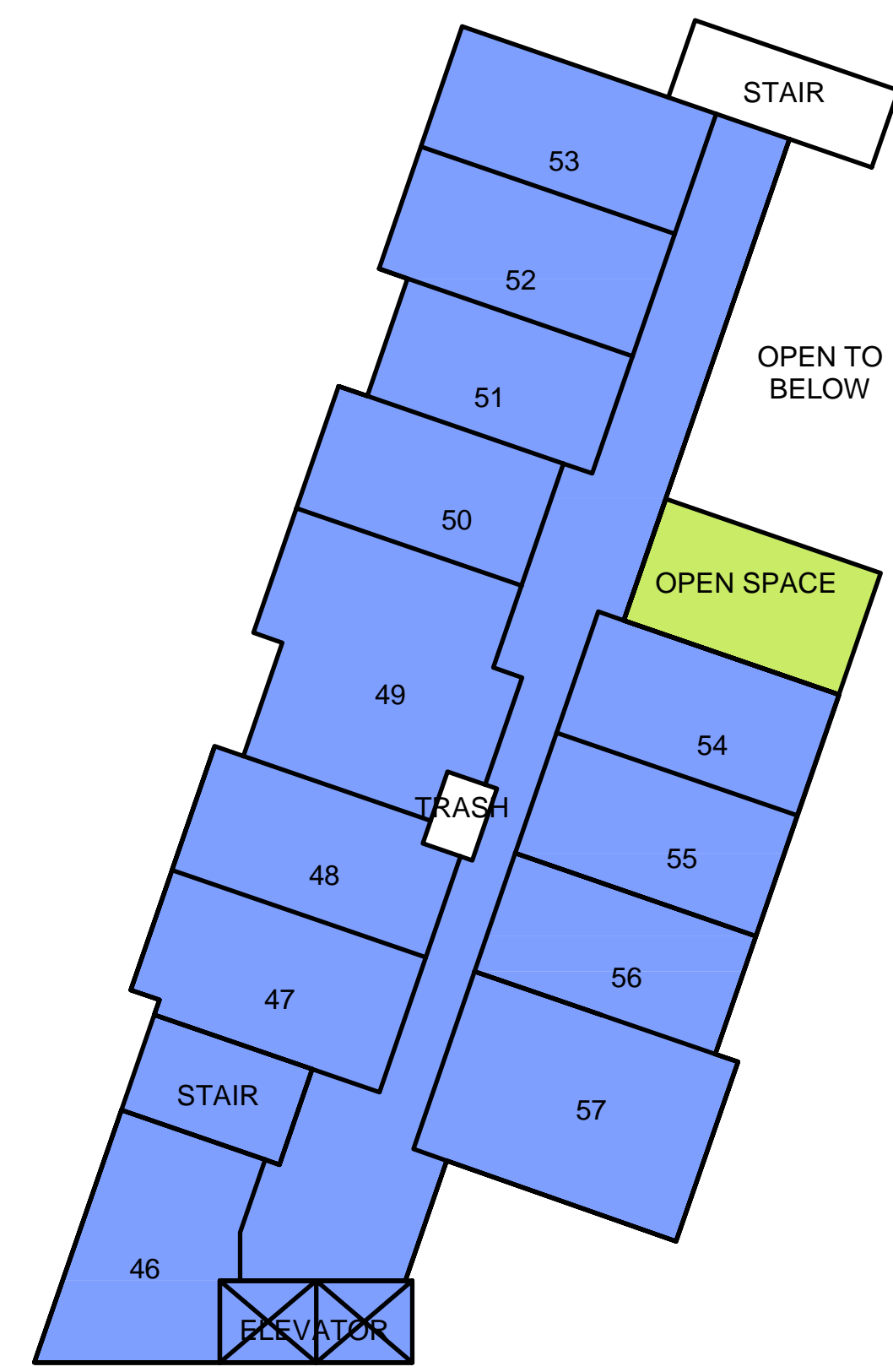
BUILDING AREA LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- OPEN SPACE
- ROOFTOP ELEMENTS

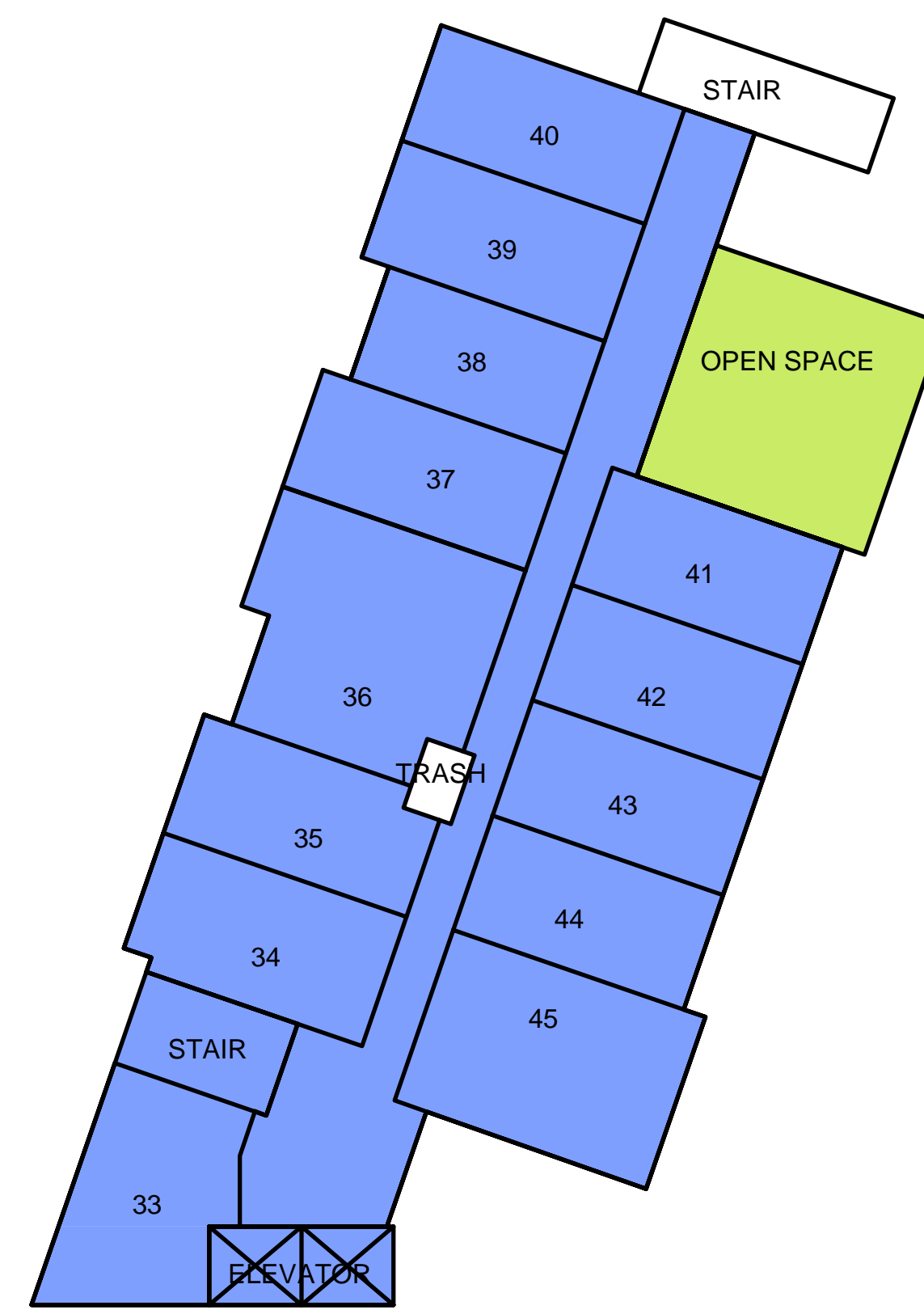




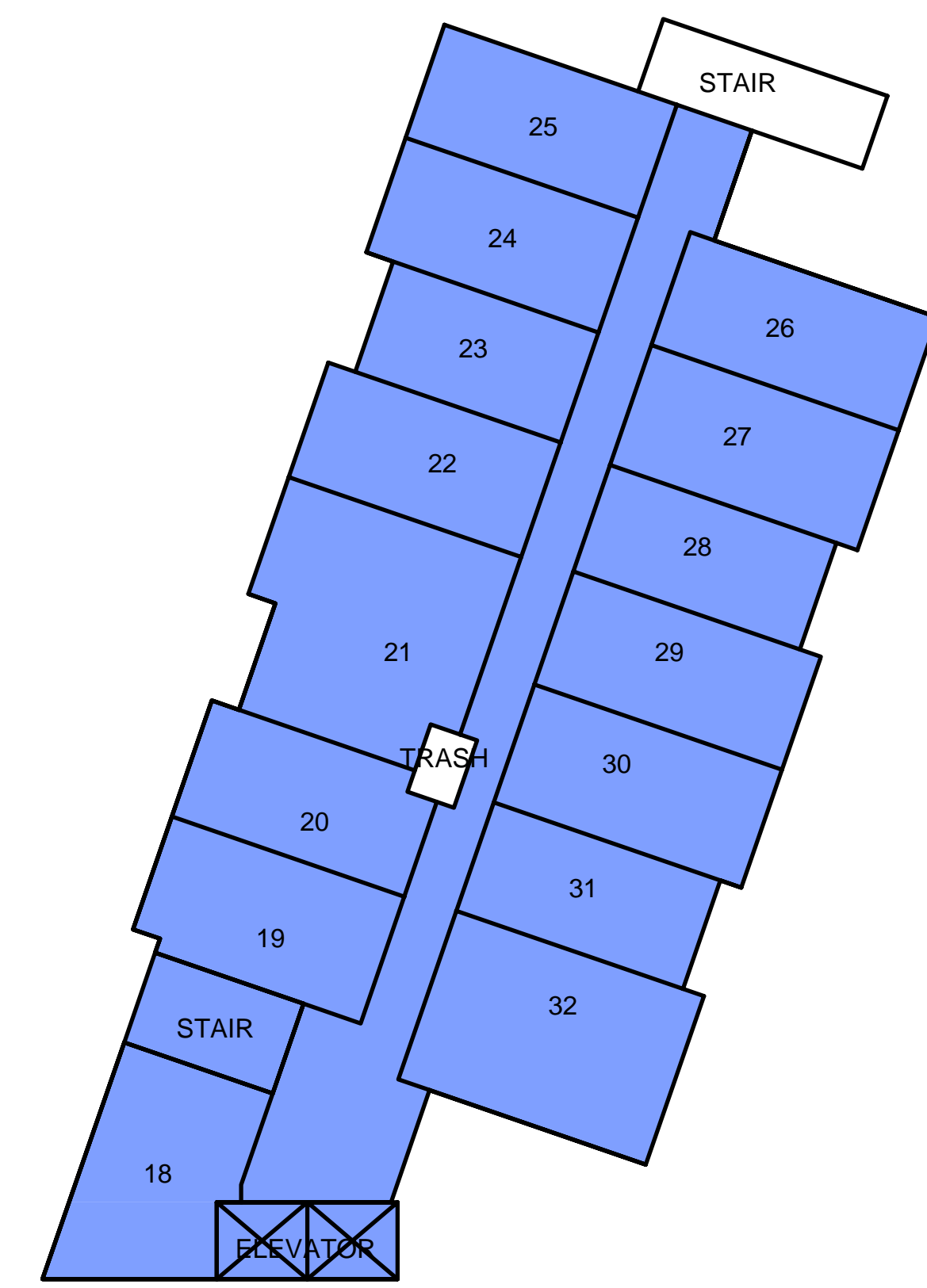
7 PROPOSED - ROOF LEVEL
1/16" = 1'-0"



6 PROPOSED - FIFTH LEVEL
1/16" = 1'-0"



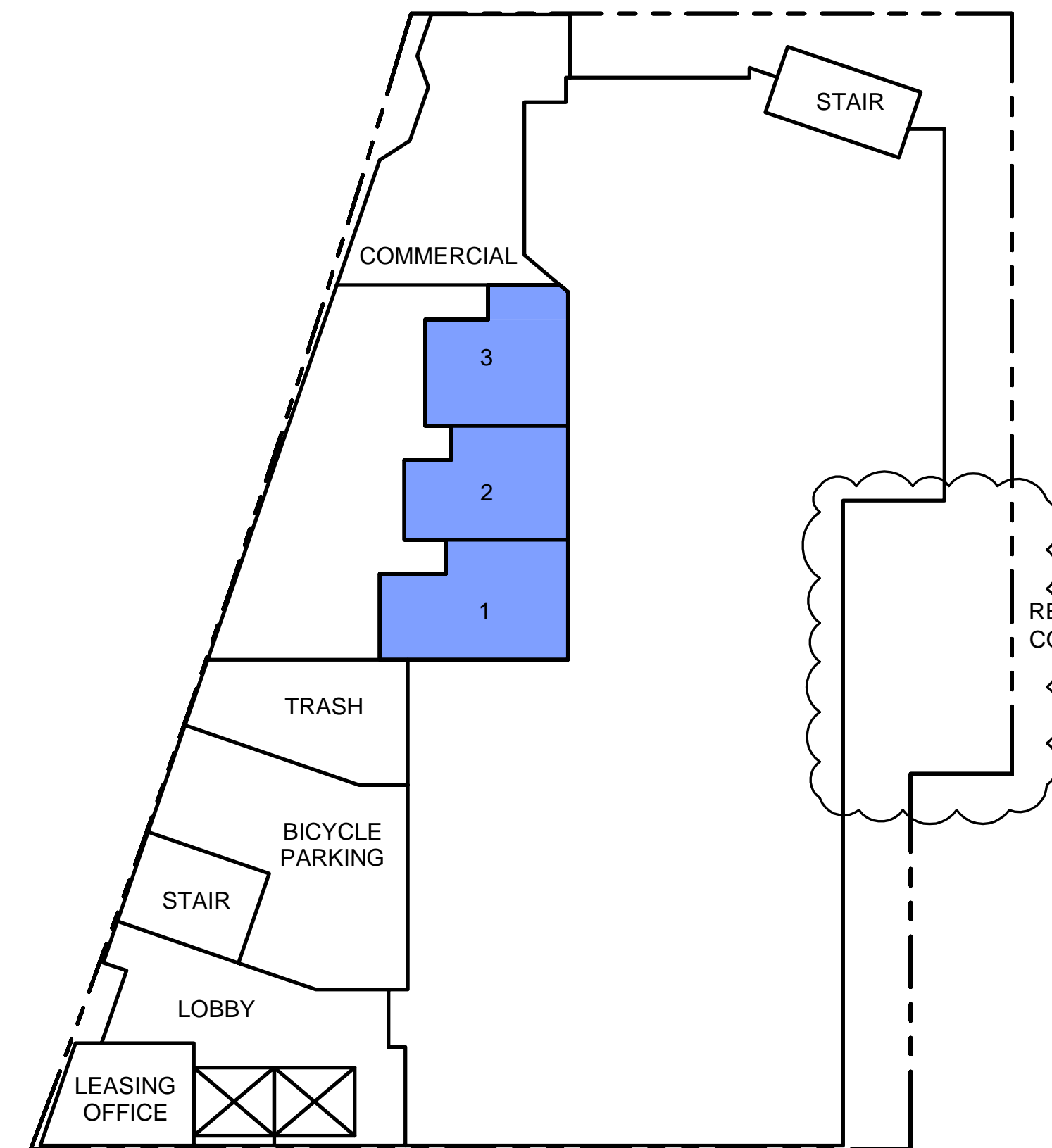
5 PROPOSED - FOURTH LEVEL
1/16" = 1'-0"



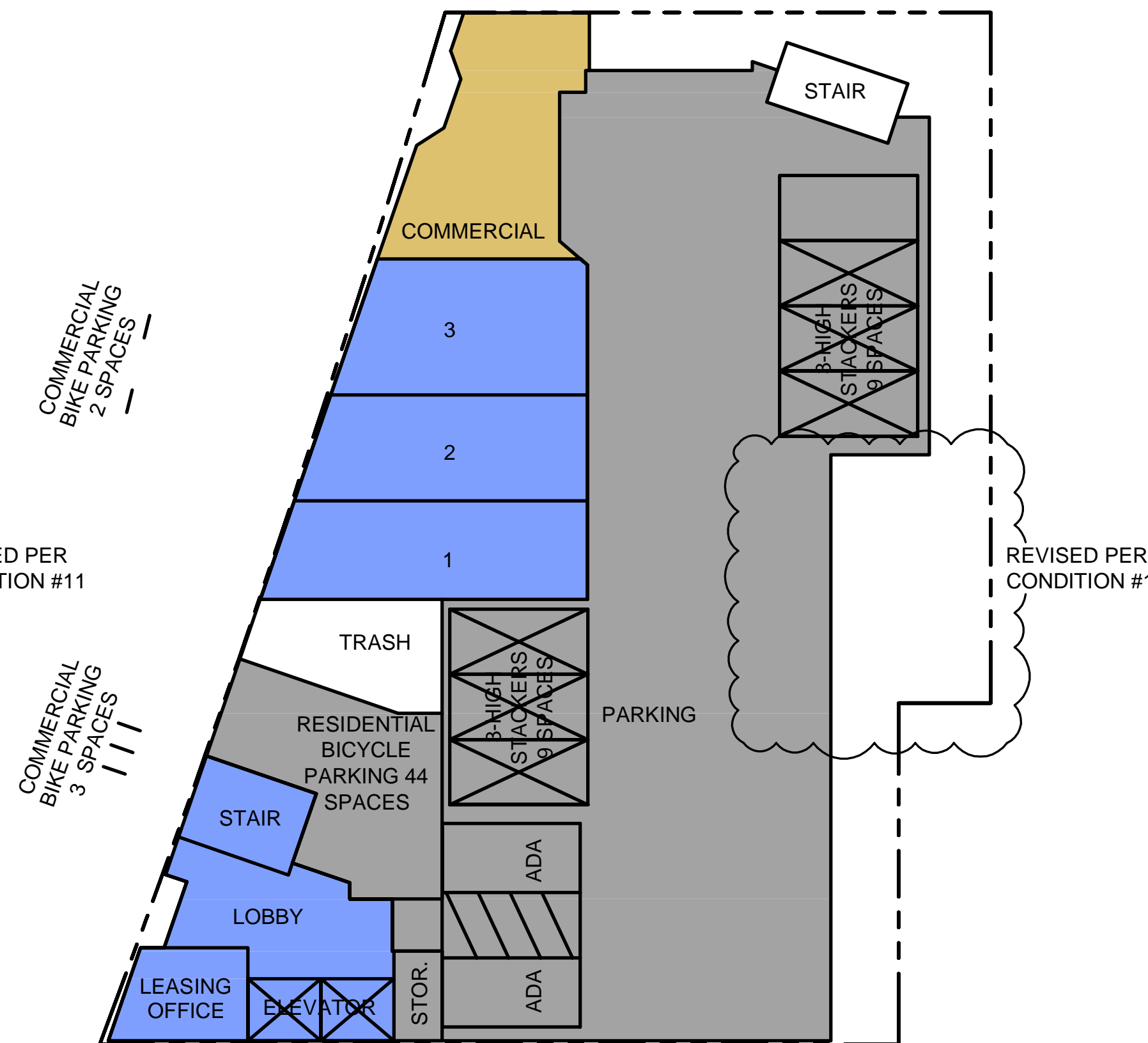
4 PROPOSED - THIRD LEVEL
1/16" = 1'-0"



3 PROPOSED - PODIUM LEVEL
1/16" = 1'-0"



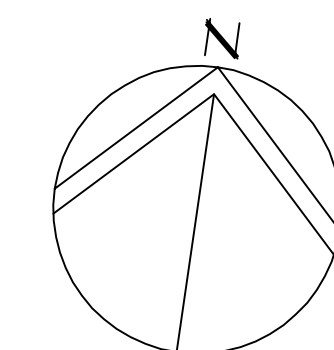
2 PROPOSED - MEZZANINE LEVEL
1/16" = 1'-0"



1 PROPOSED - RESIDENTIAL LOBBY
1/16" = 1'-0"

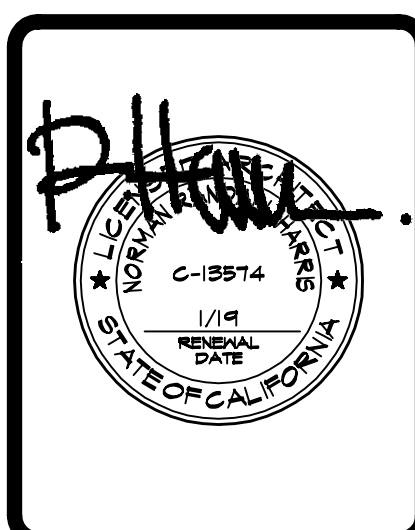
BUILDING AREA LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- OPEN SPACE
- ROOFTOP ELEMENTS



revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 11/08/18	AY

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(925) 256-6042



2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
PROPOSED DENSITY BONUS PROJECT

drawn	
checked	RH
date	3/07/18
scale	1/16" = 1'-0"
job no.	1802
sheet	

A0.4



8 VIEW EAST ON DERBY
12" = 1'-0"



1 VIEW FROM ADELINE AND SHATTUCK
12" = 1'-0"



2 VIEW NORTH ON SHATTUCK AT KIRALA
12" = 1'-0"



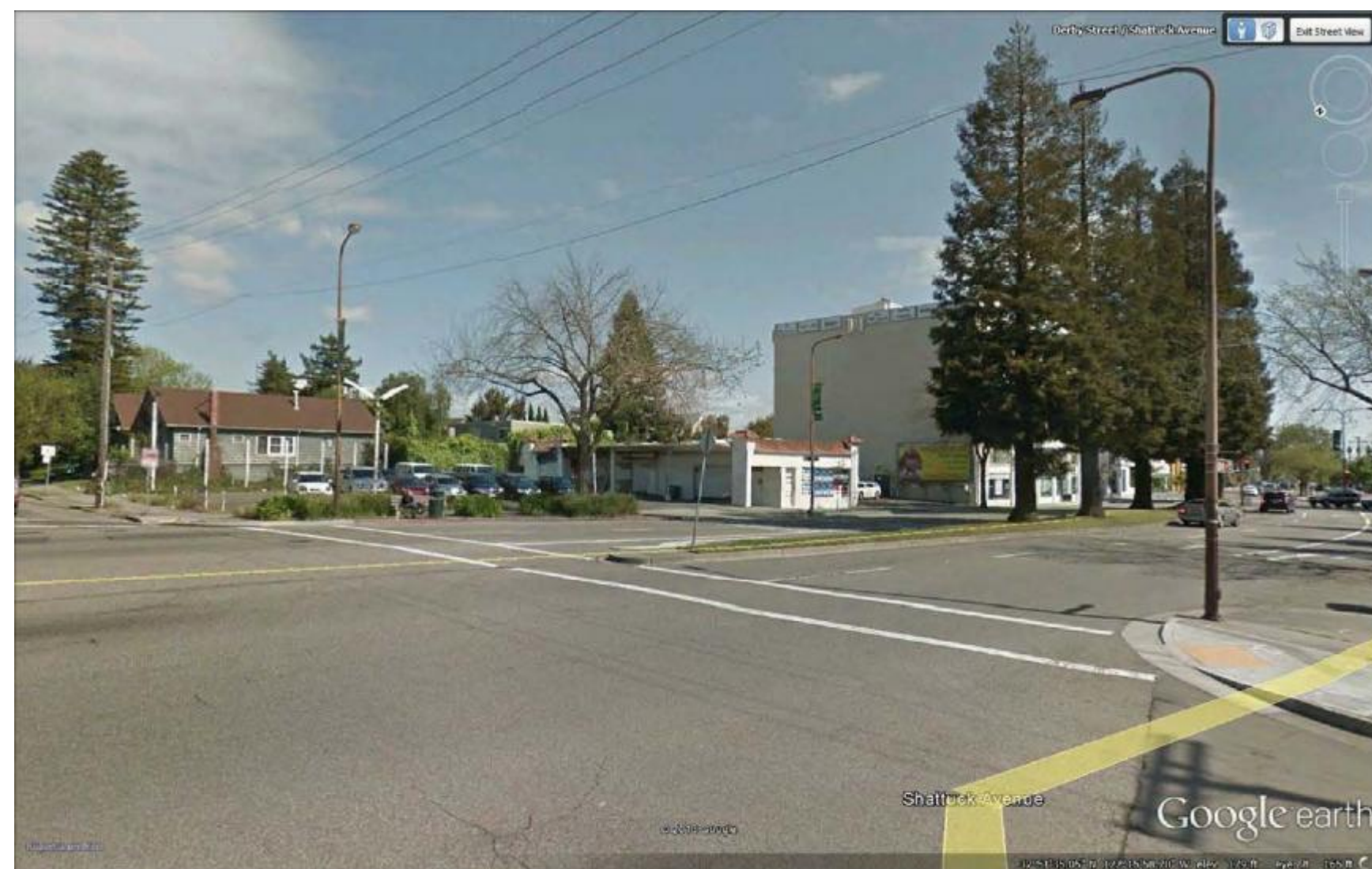
7 VIEW WEST ON DERBY
12" = 1'-0"



0 CONTEXT MAP
12" = 1'-0"



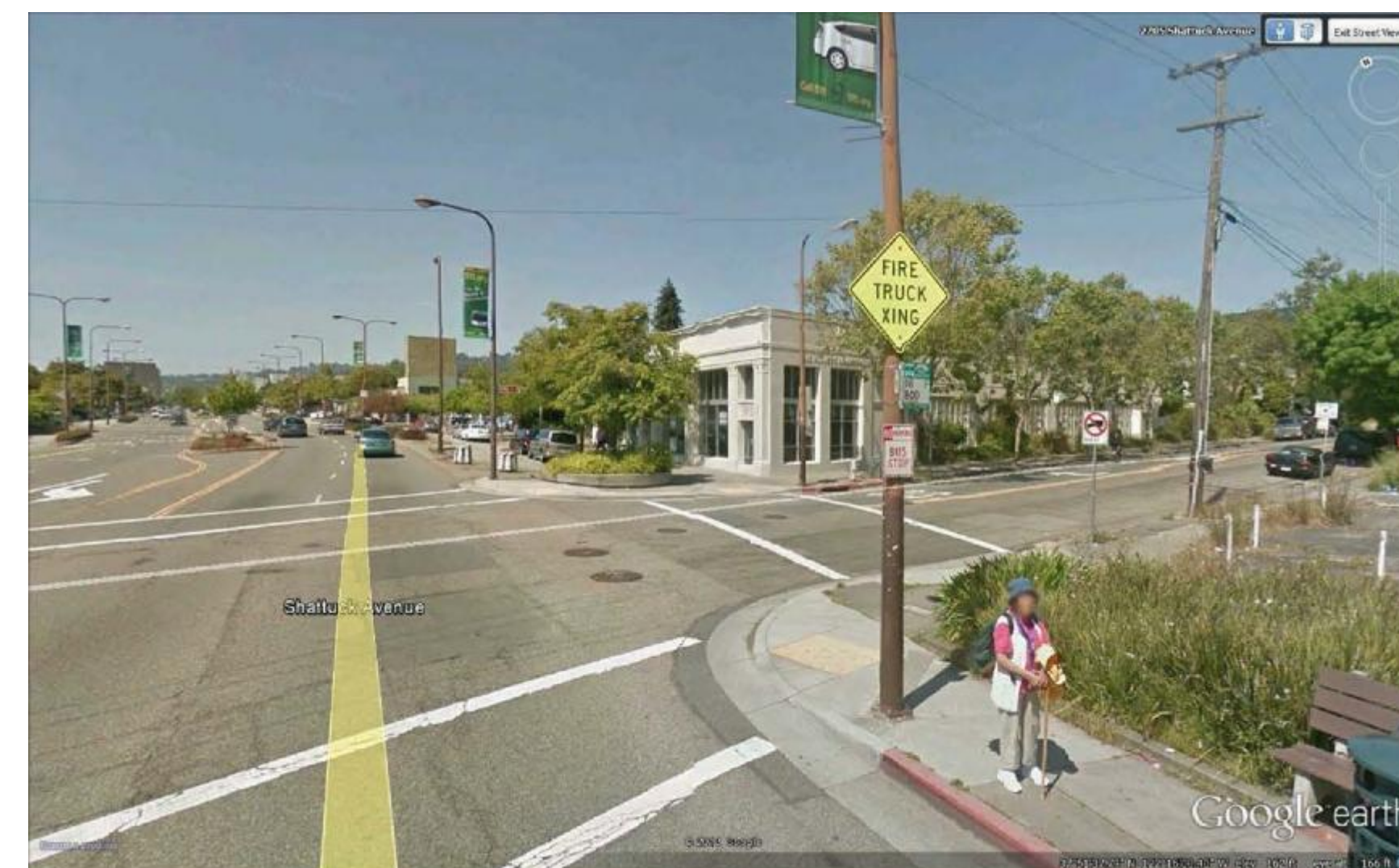
3 VIEW NORTH ON SHATTUCK AT REDWOODS
12" = 1'-0"



6 VIEW OF SITE FROM SHATTUCK AND DERBY
12" = 1'-0"



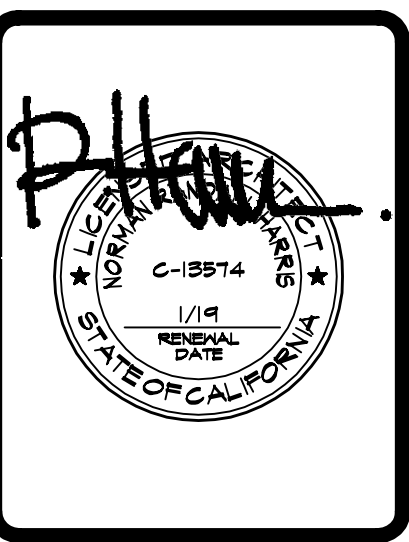
5 VIEW SOUTH ON SHATTUCK
12" = 1'-0"



4 VIEW NORTH AT DERBY AND SHATTUCK
12" = 1'-0"

revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/09/19	AY

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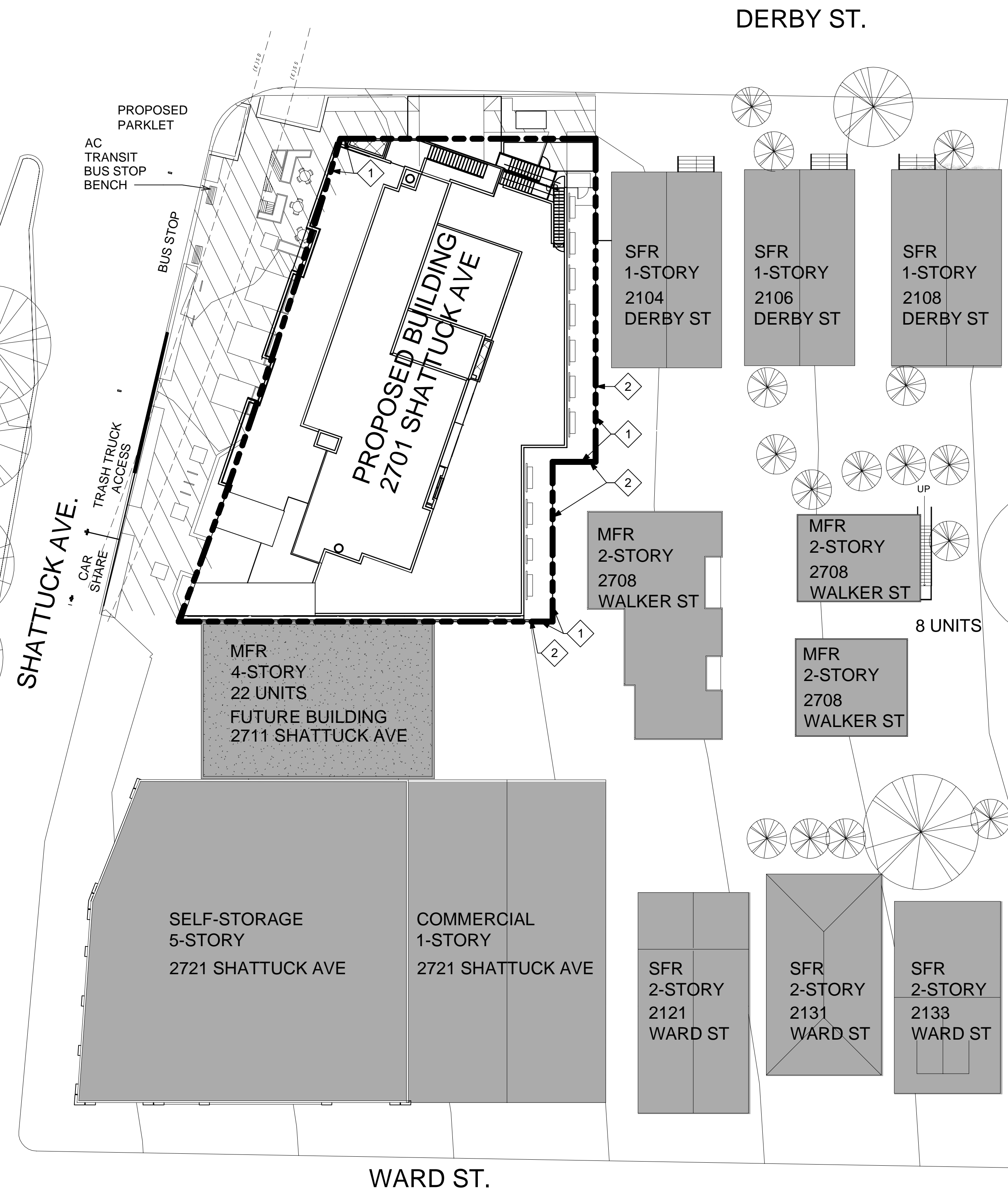
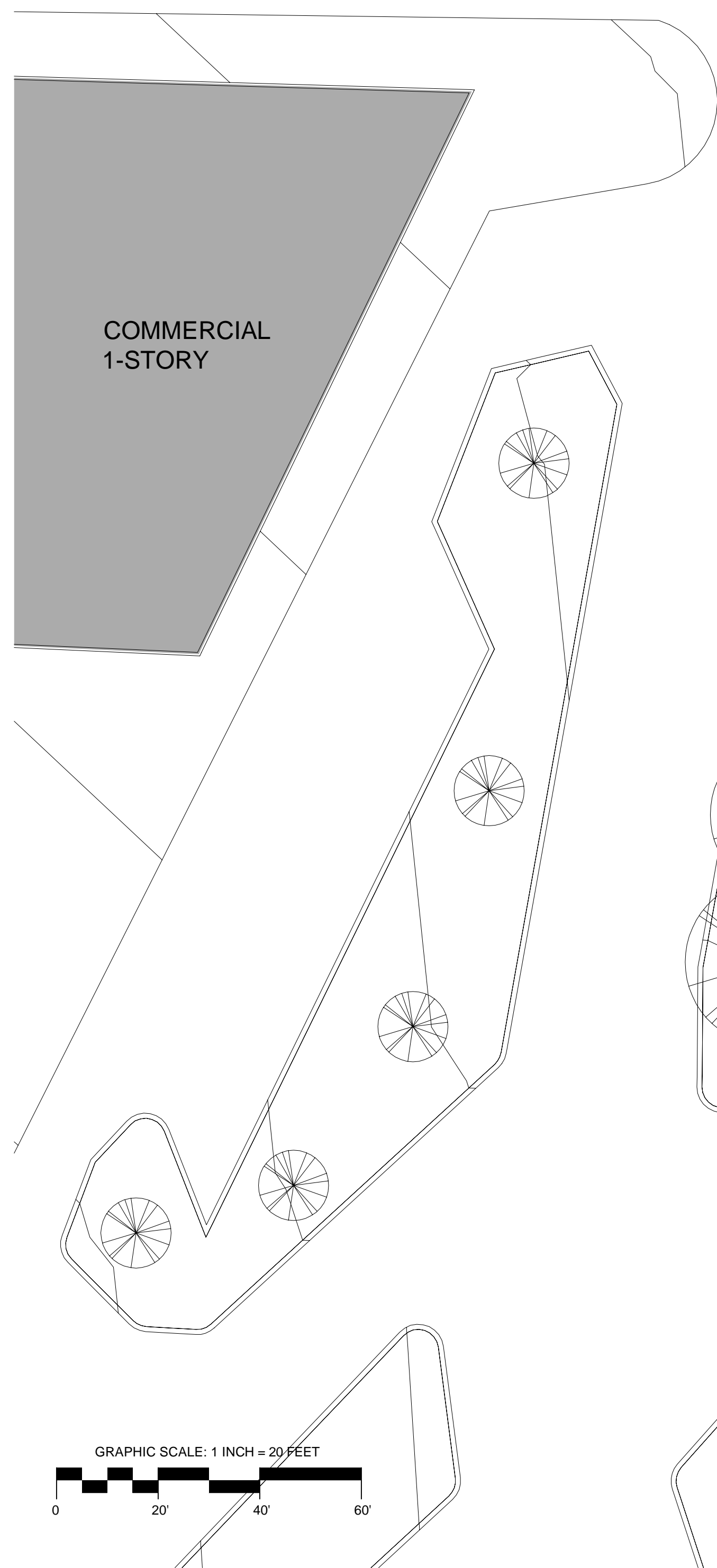
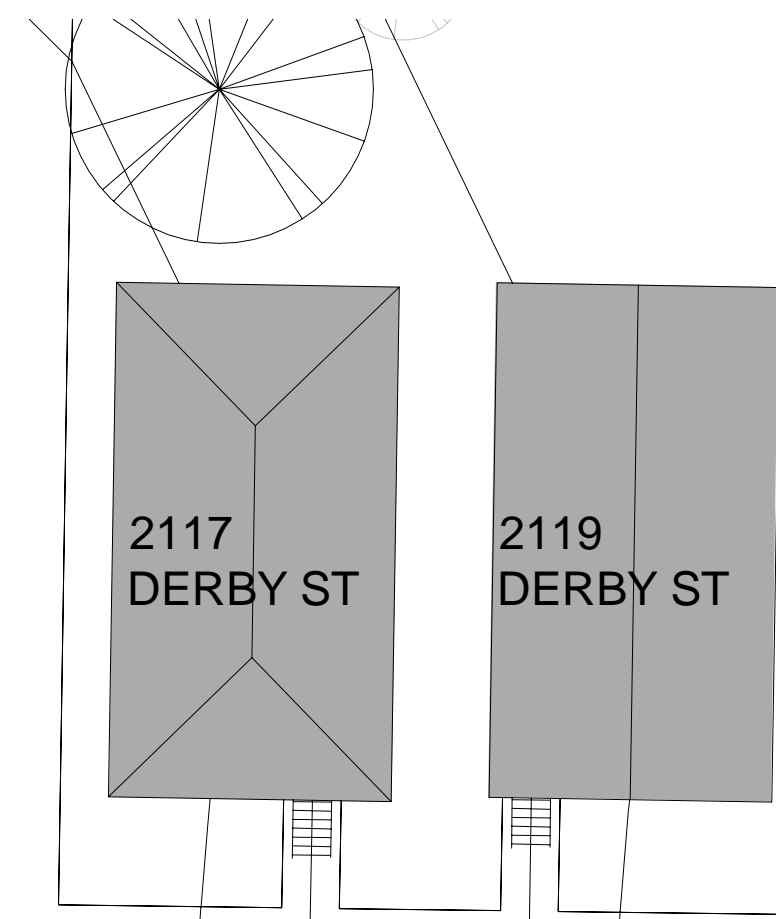
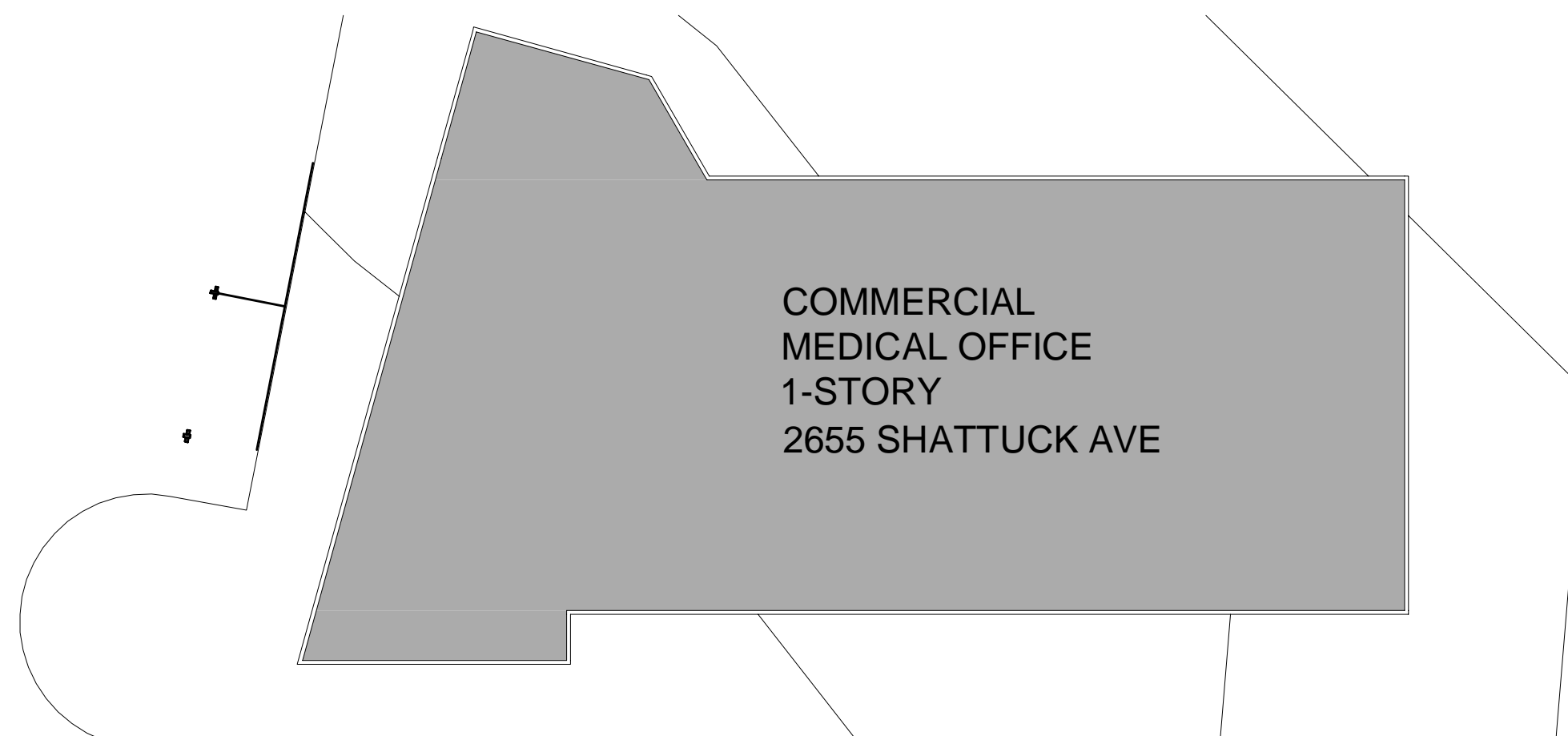
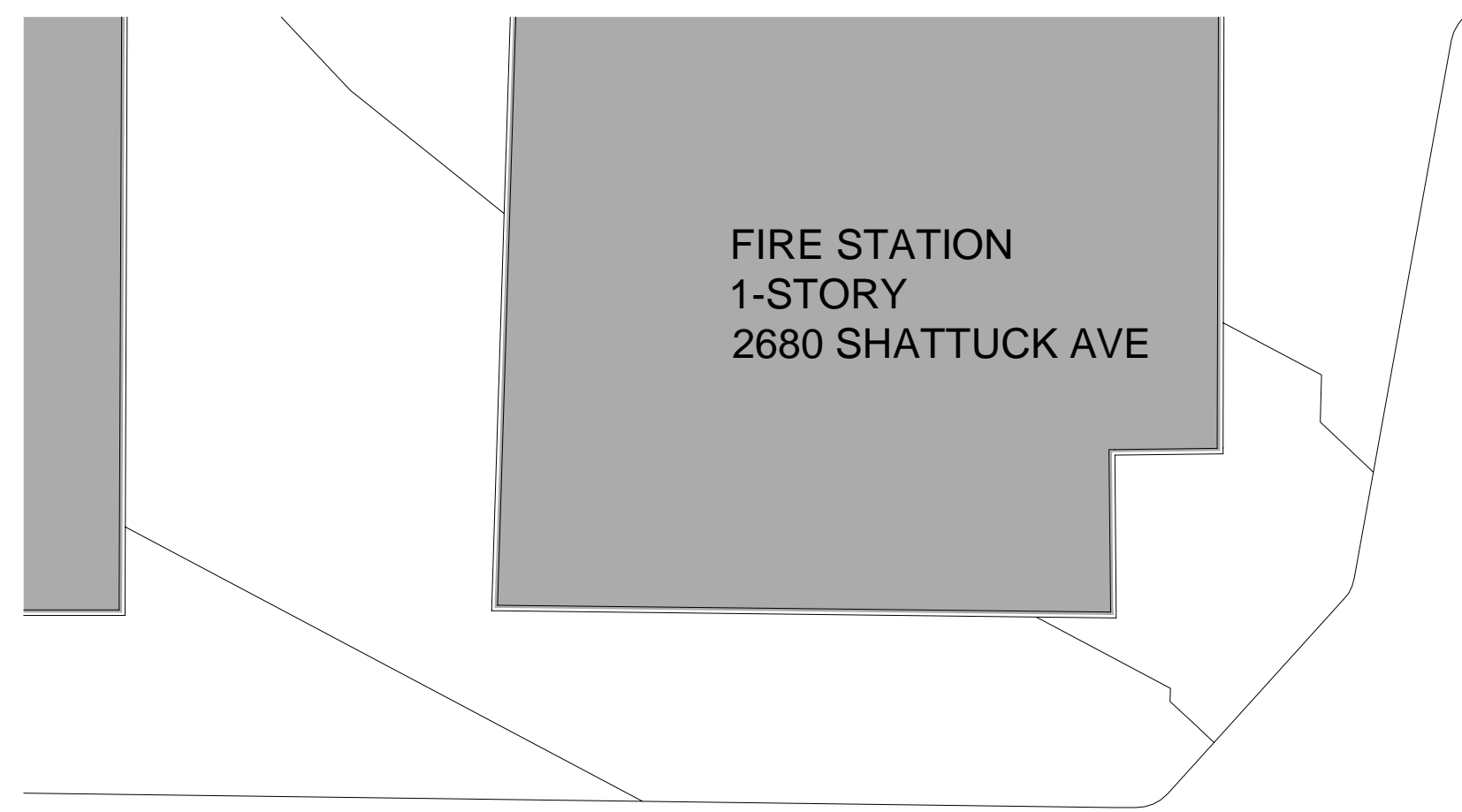


**2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC**

drawing
**EXISTING
CONDITIONS**

drawn
checked
RH
date
3/07/18
scale
12" = 1'-0"
job no.
1802
sheet

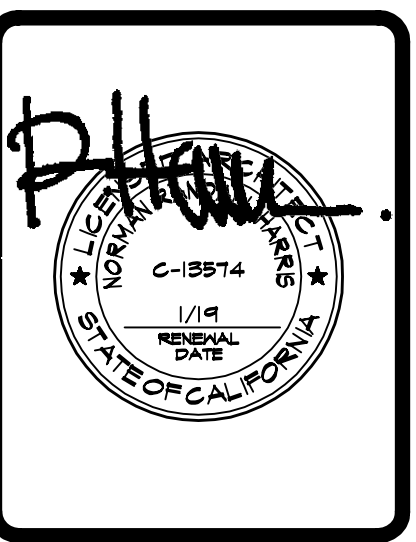
A.I.



revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/09/18	AY

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architects, planners

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2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
SITE PLAN

drawn	
checked	RH
date	3/07/18
scale	1" = 3'-0"
job no.	1802
sheet	

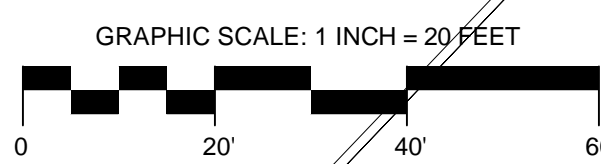
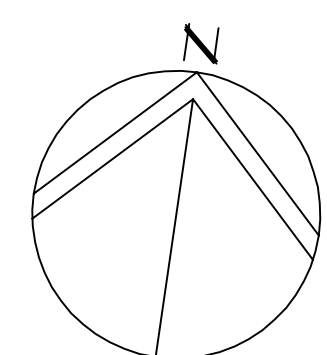
A1.2

KEY NOTES

- 1 PROPERTY LINE
- 2 6'-0" HIGH ORNAMENTAL METAL FENCE

LEGEND

- EXISTING BUILDINGS
- PROPERTY LINE
- EXISTING TREE
- MFR MULTI-FAMILY RESIDENTIAL
- SFR SINGLE-FAMILY RESIDENTIAL





SHEET NOTES

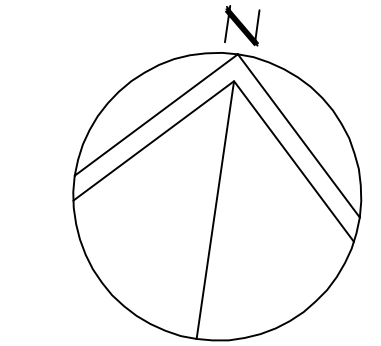
- 1 CITY OF BERKELEY PUBLIC WORKS TRANSPORTATION DIVISION STAFF ARE TO BE CONTACTED TO REVIEW THE LOCATIONS OF THE BIKE RACKS, ON-STREET PARKING SPACES AND PARKING METER HEAD LOCATIONS BEFORE INSTALLATION. LOCATION MUST BE TENTATIVELY MARKED IN THE FIELD AND APPROVED BY PW TRANSPORTATION SERVICES DIVISION.

KEY NOTES

- 1 TRIPLE LIFT PARKING SPACE
- 2 ELEVATOR
- 3 STAIR
- 4 6'-0" HIGH ORNAMENTAL METAL FENCE
- 4.1 PERFORATED METAL SECURITY FENCE W GATE
- 5 RESIDENTIAL ENTRY
- 6 CAFE ENTRY
- 7 GARAGE DOOR WITH VISUAL AND AUDIBLE ALERT SYSTEM MOUNTED ABOVE DOOR. SOUND AND LIGHT CONTROLS IN GARAGE.
- 8 NEW TREE, SEE LANDSCAPE DRAWINGS
- 9 PLANTER, SEE LANDSCAPE DRAWINGS
- 10 HEAVY DUTY DERO HOOP BICYCLE RACKS
- 11 (E) AC TRANSIT BUS STOP WITH BENCH
- 12 OUTDOOR SEATING AREA, SEE LANDSCAPE DRAWINGS
- 13 EXTERIOR STAIR
- 14 PARAPET/RAILING
- 15 MECHANICAL CHASE
- 16 BARBEQUE
- 17 NOT USED
- 18 FIRE ACCESS STAIR
- 19 METAL ROOF / MATCH SIDING SEE ELEVATIONS
- 20 TRASH CHUTE

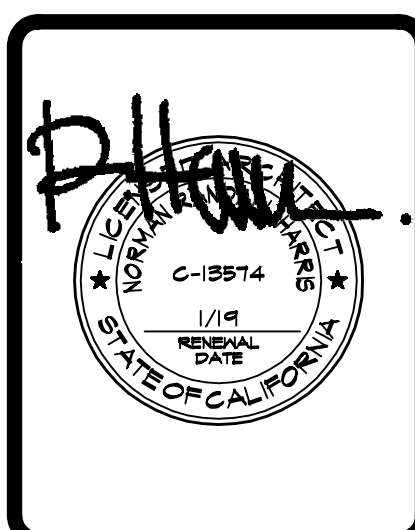
LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- TRASH
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- ROOFTOP ELEMENTS
- WALL
- PROPERTY LINE



revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 11/09/18	AY

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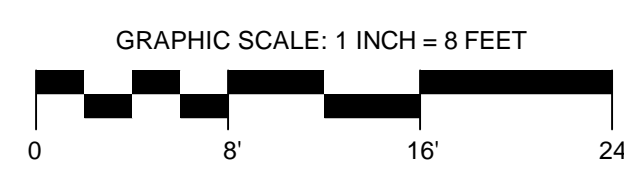


2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
GROUND FLOOR PLAN

drawn	checked
rh	rh
date	date
3/07/18	3/07/18
scale	scale
1/8" = 1'-0"	1/8" = 1'-0"
job no.	job no.
1802	1802
sheet	sheet

A2.1

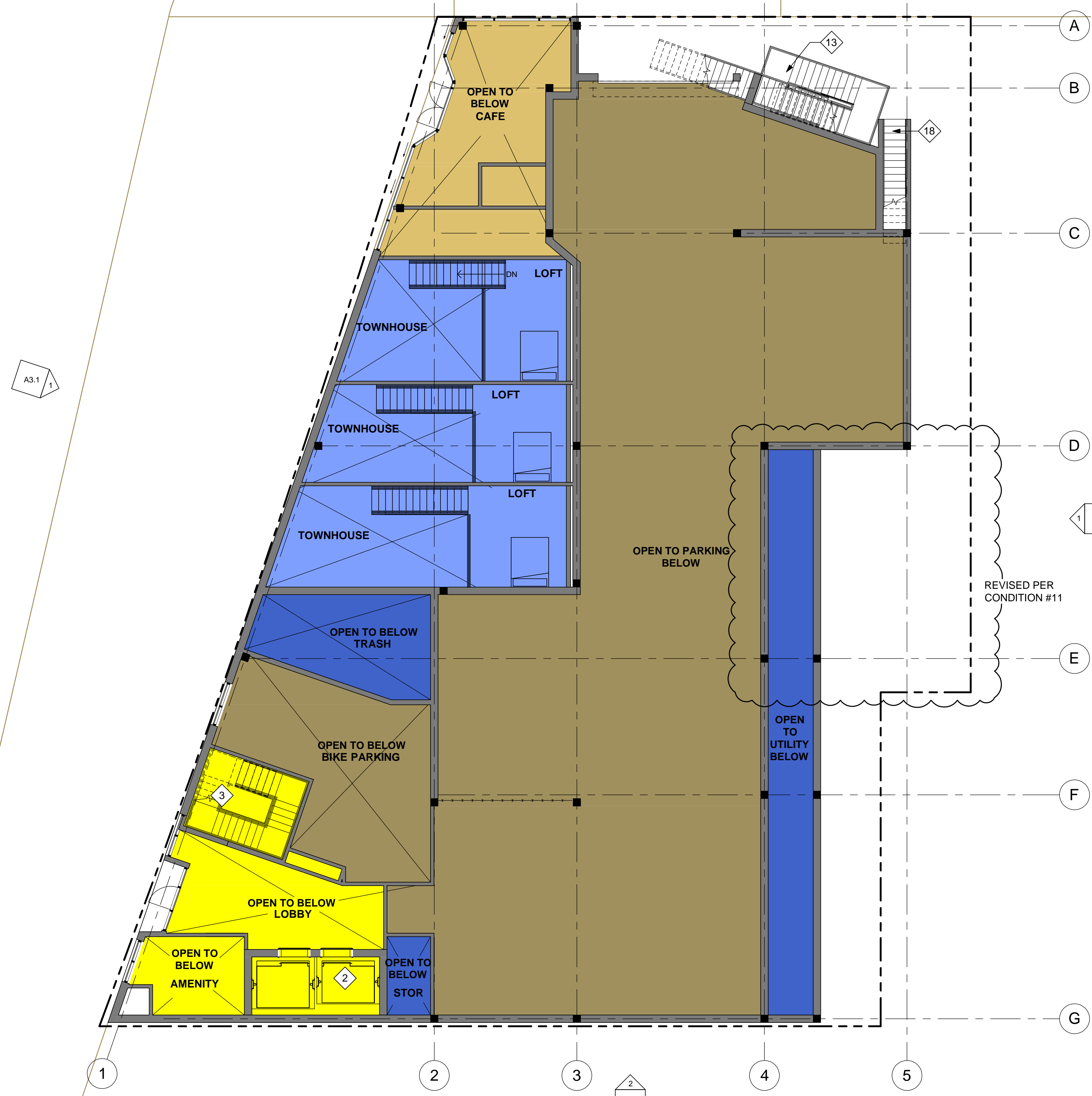


1 GROUND FLOOR PLAN
1/8" = 1'-0"

DERBY STREET

A3.1
2

SHATTUCK AVENUE



1 MEZZANINE
1/8" = 1'-0"

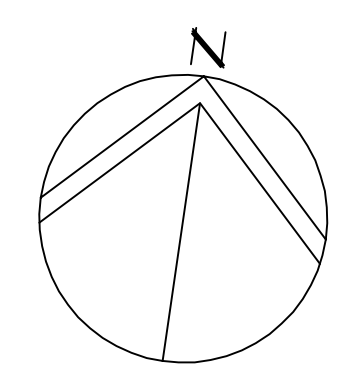
A3.2
2

KEY NOTES

- 1 TRIPLE LIFT PARKING SPACE
- 2 ELEVATOR
- 3 STAIR
- 4 6'-0" HIGH ORNAMENTAL METAL FENCE
- 4.1 PERFORATED METAL SECURITY FENCE W GATE
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- 6 CAFE ENTRY
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- 8 NEW TREE, SEE LANDSCAPE DRAWINGS
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- 10 HEAVY DUTY DERO HOOP BICYCLE RACKS
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- 18 FIRE ACCESS STAIR
- 19 METAL ROOF / MATCH SIDING SEE ELEVATIONS
- 20 TRASH CHUTE

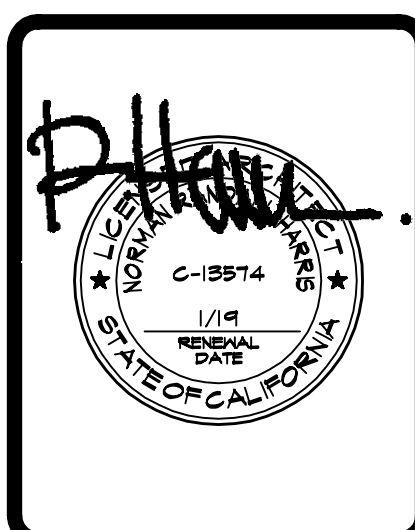
LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- ROOFTOP ELEMENTS
- WALL
- PROPERTY LINE



revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 11/09/18	AY

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(925) 256-6042



2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
MEZZANINE PLAN

drawn
checked RH date 3/07/18 scale 1/8" = 1'-0" job no. 1802 sheet

A2.1A

revisions	by
DRG SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRG SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/09/18	AY

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(925) 256-6042

D. J. Hill
LICENSED ARCHITECT
C-15574
1/19
EXPIRES
DATE
STATE OF CALIFORNIA

2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
PODIUM LEVEL FLOOR PLAN

drawn
checked
RH
date
3/07/18
scale
1/8" = 1'-0"
job no.
1802
sheet

A2.2

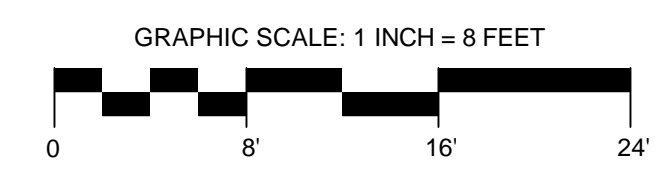


KEY NOTES

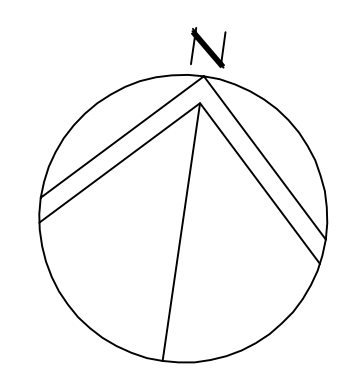
- 1 TRIPLE LIFT PARKING SPACE
- 2 ELEVATOR
- 3 STAIR
- 4 6'-0" HIGH ORNAMENTAL METAL FENCE
- 4.1 PERFORATED METAL SECURITY FENCE W GATE
- 5 RESIDENTIAL ENTRY
- 6 CAFE ENTRY
- 7 GARAGE DOOR WITH VISUAL AND AND AUDIBLE ALERT SYSTEM MOUNTED ABOVE DOOR. SOUND AND LIGHT CONTROLS IN GARAGE.
- 8 NEW TREE, SEE LANDSCAPE DRAWINGS
- 9 PLANTER, SEE LANDSCAPE DRAWINGS
- 10 HEAVY DUTY DERO HOOP BICYCLE RACKS
- 11 (E) AC TRANSIT BUS STOP WITH BENCH
- 12 OUTDOOR SEATING AREA, SEE LANDSCAPE DRAWINGS
- 13 EXTERIOR STAIR
- 14 PARAPET/RAILING
- 15 MECHANICAL CHASE
- 16 BARBEQUE
- 17 NOT USED
- 18 FIRE ACCESS STAIR
- 19 METAL ROOF / MATCH SIDING SEE ELEVATIONS
- 20 TRASH CHUTE

LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- ROOFTOP ELEMENTS
- WALL
- PROPERTY LINE

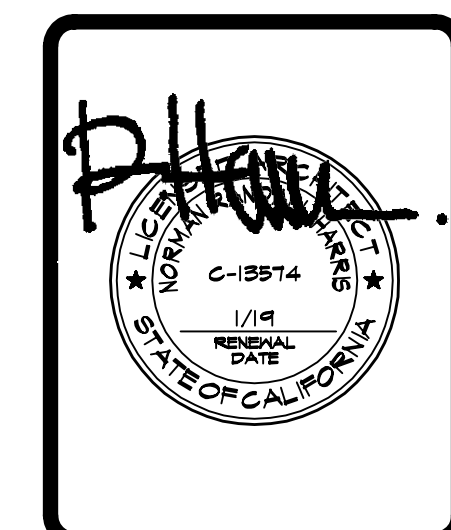


1 PODIUM LEVEL FLOOR PLAN
1/8" = 1'-0"



revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/09/18	AY

HDO
architects, planners
2950 camino diablo
suite 110
walnut creek, ca
94597
(925) 256-6042

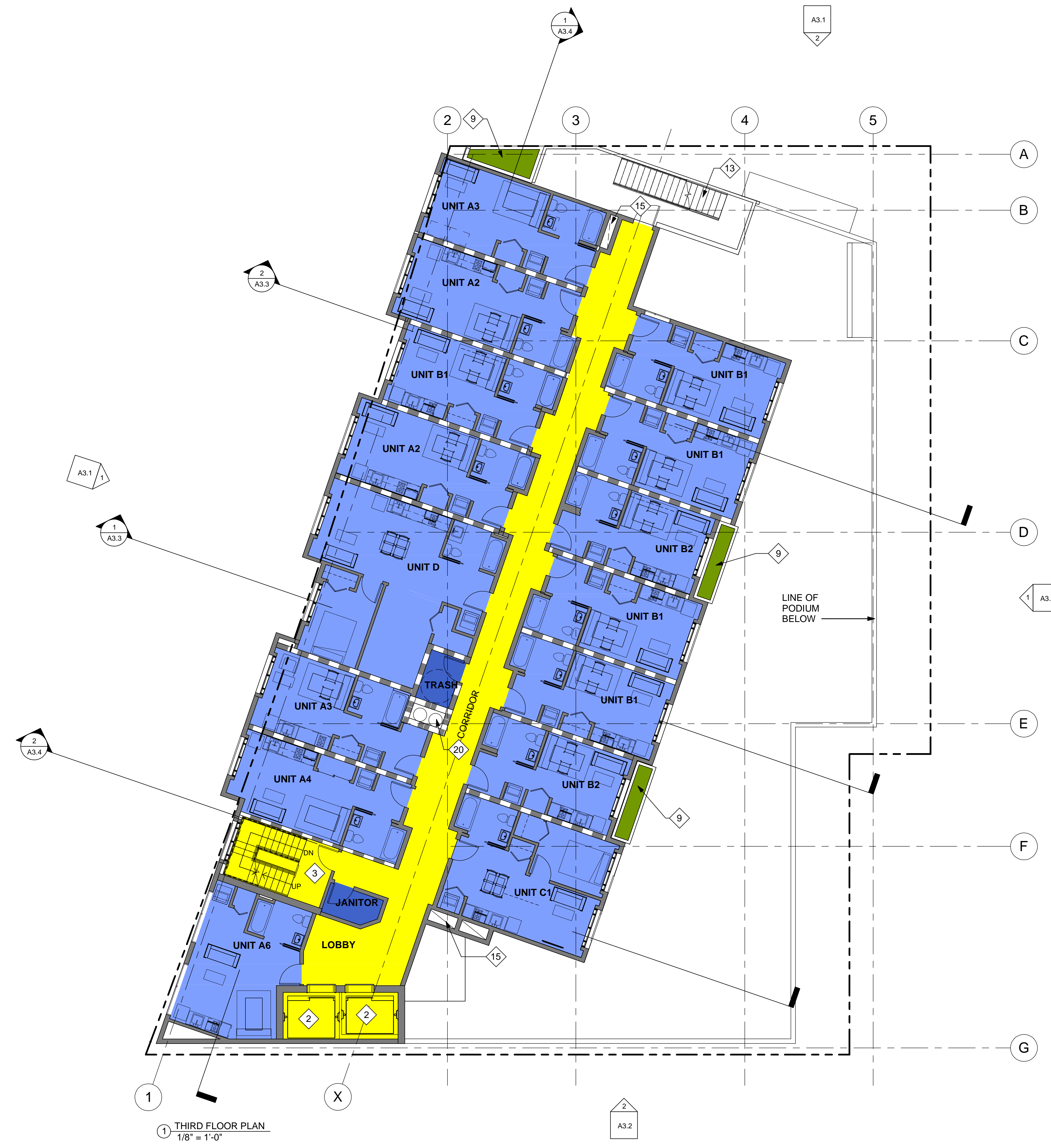


2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
**THIRD
LEVEL
FLOOR PLAN**

drawn	
checked	RH
date	3/07/18
scale	1/8" = 1'-0"
job no.	1802
sheet	

A2.3

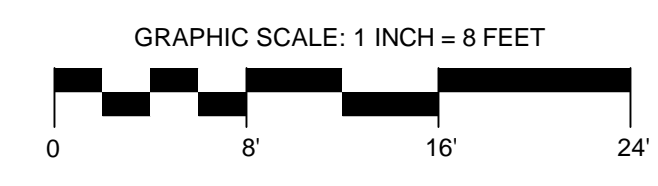


KEY NOTES

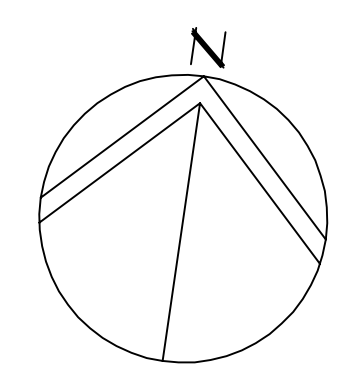
- 1 TRIPLE LIFT PARKING SPACE
- 2 ELEVATOR
- 3 STAIR
- 4 6'-0" HIGH ORNAMENTAL METAL FENCE
- 4.1 PERFORATED METAL SECURITY FENCE W GATE
- 5 RESIDENTIAL ENTRY
- 6 CAFE ENTRY
- 7 GARAGE DOOR WITH VISUAL AND AUDIBLE ALERT SYSTEM MOUNTED ABOVE DOOR. SOUND AND LIGHT CONTROLS IN GARAGE.
- 8 NEW TREE, SEE LANDSCAPE DRAWINGS
- 9 PLANTER, SEE LANDSCAPE DRAWINGS
- 10 HEAVY DUTY DERO HOOP BICYCLE RACKS
- 11 (E) AC TRANSIT BUS STOP WITH BENCH
- 12 OUTDOOR SEATING AREA, SEE LANDSCAPE DRAWINGS
- 13 EXTERIOR STAIR
- 14 PARAPET/RAILING
- 15 MECHANICAL CHASE
- 16 BARBEQUE
- 17 NOT USED
- 18 FIRE ACCESS STAIR
- 19 METAL ROOF / MATCH SIDING SEE ELEVATIONS
- 20 TRASH CHUTE

LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- ROOFTOP ELEMENTS
- WALL
- PROPERTY LINE



1 THIRD FLOOR PLAN
1/8" = 1'-0"



revisions	by
DRC SUBMITTAL 12/15/18 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/09/18	AY

HDO
architects, planners
2950 camino diablo
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(925) 256-6042

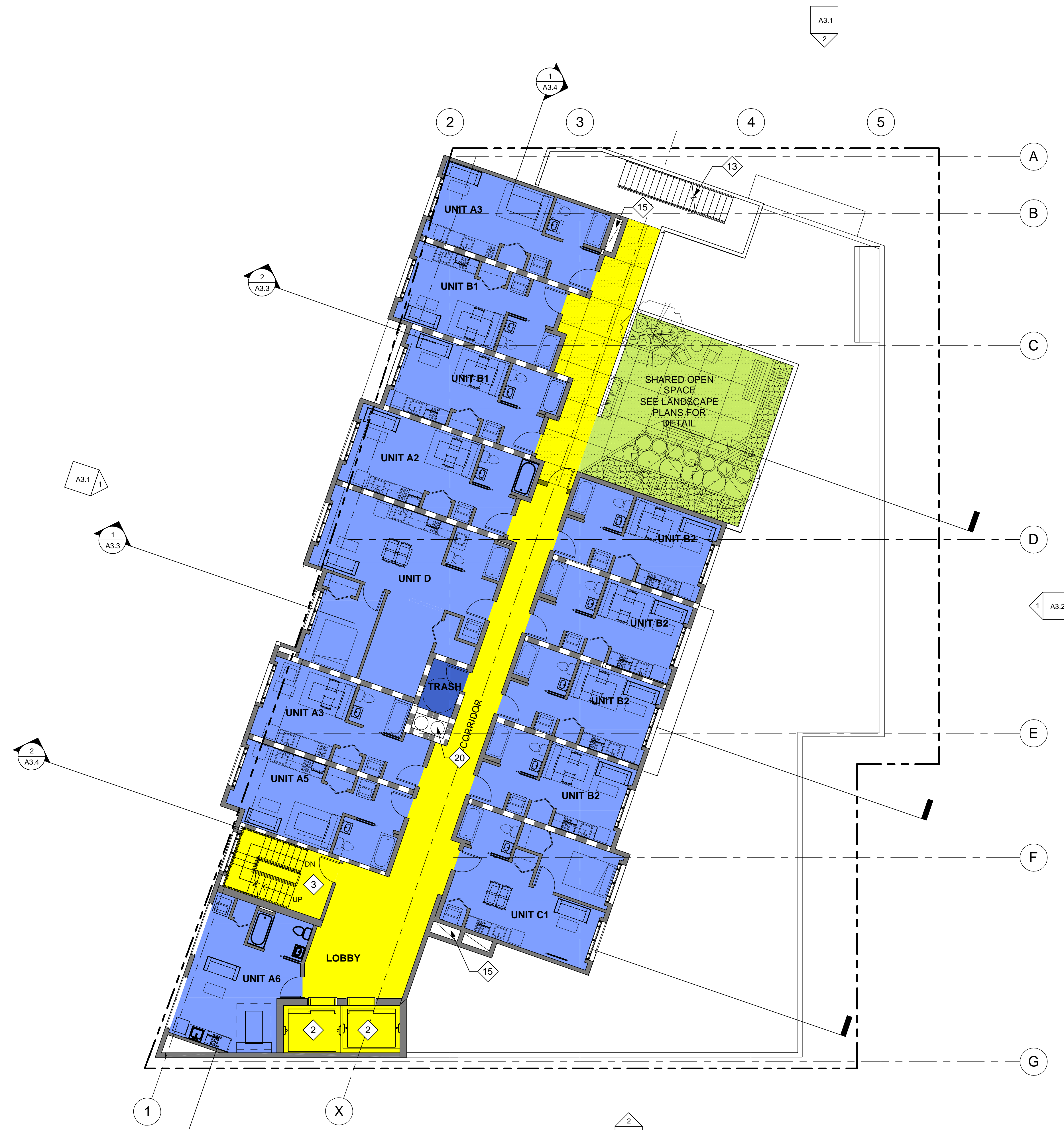
D. H. HALL
LICENSED ARCHITECT
C-15574
1/19
EXPIRES
DATE
STATE OF CALIFORNIA

**2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC**

drawing
**FOURTH
LEVEL
FLOOR PLAN**

drawn
checked
RH
date
3/07/18
scale
1/8" = 1'-0"
job no.
1802
sheet

A2.4



KEY NOTES

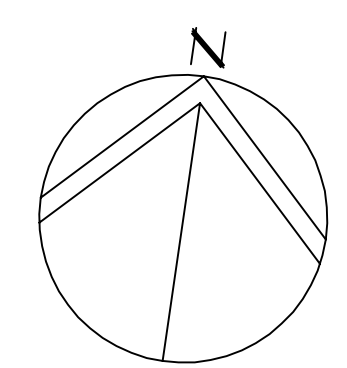
- 1 TRIPLE LIFT PARKING SPACE
- 2 ELEVATOR
- 3 STAIR
- 4 6'-0" HIGH ORNAMENTAL METAL FENCE
- 4.1 PERFORATED METAL SECURITY FENCE W GATE
- 5 RESIDENTIAL ENTRY
- 6 CAFE ENTRY
- 7 GARAGE DOOR WITH VISUAL AND AND AUDIBLE ALERT SYSTEM MOUNTED ABOVE DOOR. SOUND AND LIGHT CONTROLS IN GARAGE.
- 8 NEW TREE. SEE LANDSCAPE DRAWINGS
- 9 PLANTER. SEE LANDSCAPE DRAWINGS
- 10 HEAVY DUTY DERO HOOP BICYCLE RACKS
- 11 (E) AC TRANSIT BUS STOP WITH BENCH
- 12 OUTDOOR SEATING AREA. SEE LANDSCAPE DRAWINGS
- 13 EXTERIOR STAIR
- 14 PARAPET/RAILING
- 15 MECHANICAL CHASE
- 16 BARBEQUE
- 17 NOT USED
- 18 FIRE ACCESS STAIR
- 19 METAL ROOF / MATCH SIDING SEE ELEVATIONS
- 20 TRASH CHUTE

LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- ROOFTOP ELEMENTS
- WALL
- PROPERTY LINE



1 FOURTH FLOOR PLAN
1/8" = 1'-0"





KEY NOTES

- 1 TRIPLE LIFT PARKING SPACE
- 2 ELEVATOR
- 3 STAIR
- 4 6'-0" HIGH ORNAMENTAL METAL FENCE
- 4.1 PERFORATED METAL SECURITY FENCE W GATE
- 5 RESIDENTIAL ENTRY
- 6 CAFE ENTRY
- 7 GARAGE DOOR WITH VISUAL AND AND AUDIBLE ALERT SYSTEM MOUNTED ABOVE DOOR. SOUND AND LIGHT CONTROLS IN GARAGE.
- 8 NEW TREE, SEE LANDSCAPE DRAWINGS
- 9 PLANTER, SEE LANDSCAPE DRAWINGS
- 10 HEAVY DUTY DERO HOOP BICYCLE RACKS
- 11 (E) AC TRANSIT BUS STOP WITH BENCH
- 12 OUTDOOR SEATING AREA, SEE LANDSCAPE DRAWINGS
- 13 EXTERIOR STAIR
- 14 PARAPET/RAILING
- 15 MECHANICAL CHASE
- 16 BARBEQUE
- 17 NOT USED
- 18 FIRE ACCESS STAIR
- 19 METAL ROOF / MATCH SIDING SEE ELEVATIONS
- 20 TRASH CHUTE

LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- ROOFTOP ELEMENTS
- WALL
- PROPERTY LINE

revisions	by
DRC SUBMITTAL 12/15/18 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/08/18	AY

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architects, planners
2950 camino diablo
suite 110
walnut creek, ca
94597
(925) 256-6042

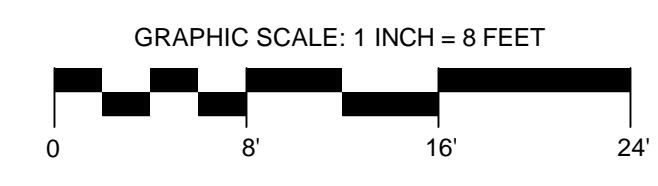
[Signature]
C-15574
1/18
FEBRUARY
DATE
STATE OF CALIFORNIA

**2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC**

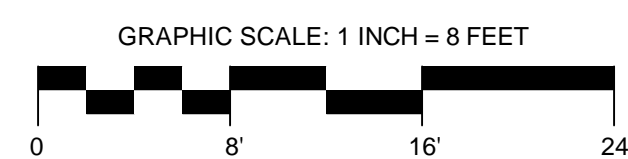
drawing
**FIFTH
LEVEL
FLOOR PLAN**

drawn
checked
RH
date
3/07/18
scale
1/8" = 1'-0"
job no.
1802
sheet

A2.5



1 FIFTH FLOOR PLAN
1/8" = 1'-0"



1 ROOF PLAN
1/8" = 1'-0"

KEY NOTES

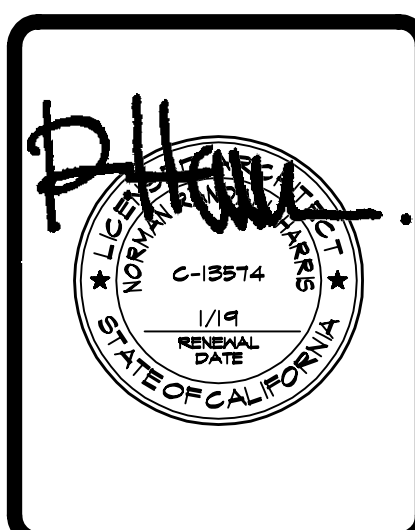
- 1 TRIPLE LIFT PARKING SPACE
- 2 ELEVATOR
- 3 STAIR
- 4 6'-0" HIGH ORNAMENTAL METAL FENCE
- 4.1 PERFORATED METAL SECURITY FENCE W GATE
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- 6 CAFE ENTRY
- 7 GARAGE DOOR WITH VISUAL AND AND AUDIBLE ALERT SYSTEM MOUNTED ABOVE DOOR. SOUND AND LIGHT CONTROLS IN GARAGE.
- 8 NEW TREE, SEE LANDSCAPE DRAWINGS
- 9 PLANTER, SEE LANDSCAPE DRAWINGS
- 10 HEAVY DUTY DERO HOOP BICYCLE RACKS
- 11 (E) AC TRANSIT BUS STOP WITH BENCH
- 12 OUTDOOR SEATING AREA, SEE LANDSCAPE DRAWINGS
- 13 EXTERIOR STAIR
- 14 PARAPET/RAILING
- 15 MECHANICAL CHASE
- 16 BARBEQUE
- 17 TRELLIS
- 18 FIRE ACCESS STAIR
- 19 METAL ROOF / MATCH SIDING SEE ELEVATIONS

LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- ROOFTOP ELEMENTS
- WALL
- PROPERTY LINE

revisions	by
DRC SUBMITTAL 12/15/18 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/03/18	AY

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2950 camino diablo
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walnut creek, ca
94597
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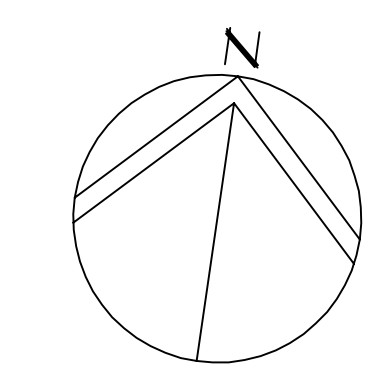


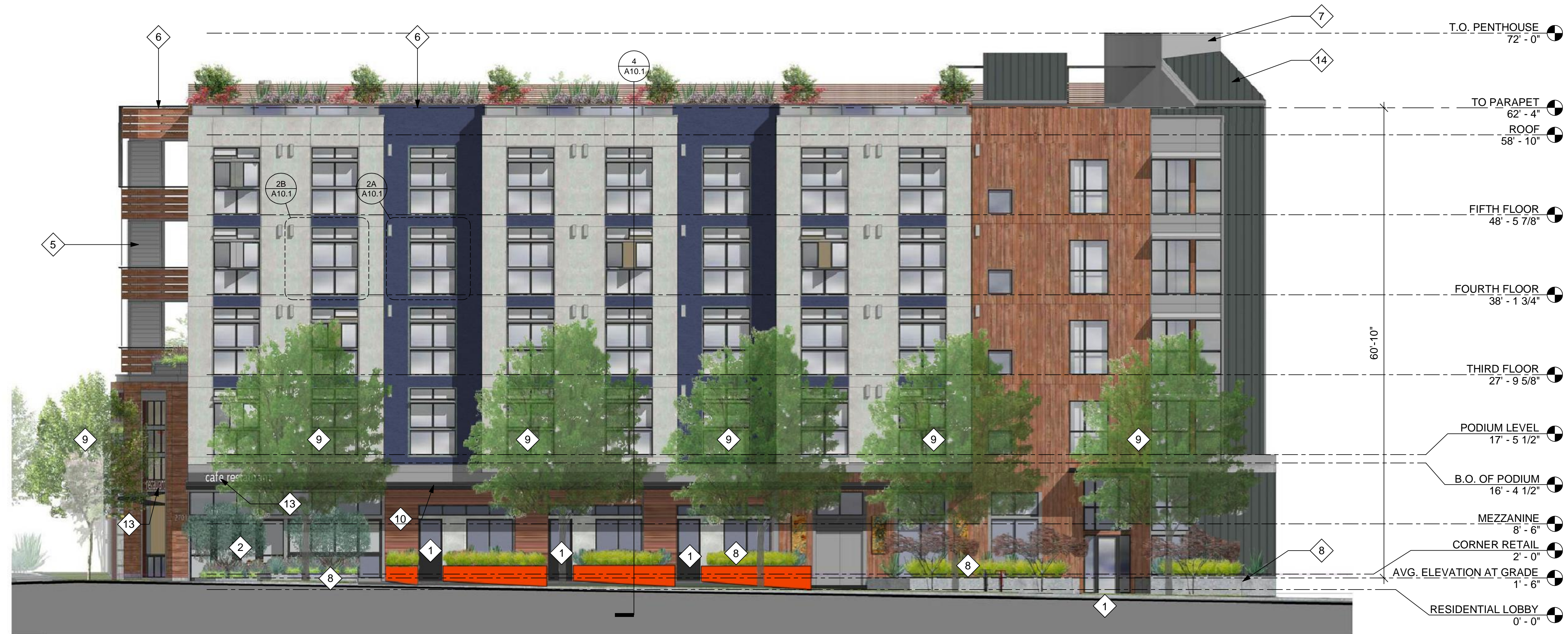
2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
ROOF PLAN

drawn
checked RH
date 3/07/18
scale 1/8" = 1'-0"
job no. 1802
sheet

A2.6



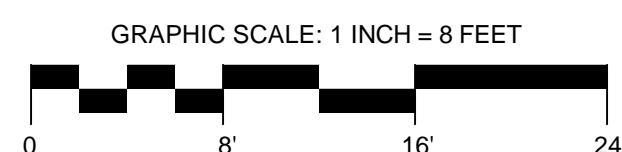


1 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"



2 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"

NOTE: NORMAL TO RESIDENTIAL PORTION OF BUILDING



- T.O. PENTHOUSE 72' - 0"
- TO PARAPET 62' - 4"
- ROOF 58' - 10"
- FIFTH FLOOR 48' - 5 7/8"
- FOURTH FLOOR 38' - 1 3/4"
- THIRD FLOOR 27' - 9 5/8"
- PODIUM LEVEL 17' - 5 1/2"
- B.O. OF PODIUM 16' - 4 1/2"
- MEZZANINE 8' - 6"
- CORNER RETAIL 2' - 0"
- AVG. ELEVATION AT GRADE 1' - 6"
- RESIDENTIAL LOBBY 0' - 0"

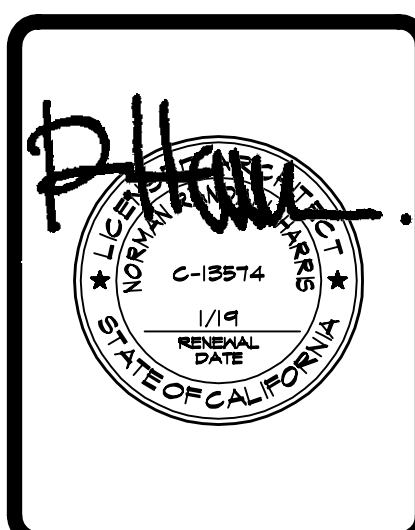
KEY NOTES

- 1 RESIDENTIAL ENTRY
- 2 COMMERCIAL ENTRY
- 3 PARKING GARAGE DOOR
- 4 NOT USED
- 5 EXTERIOR STAIR
- 6 RAILING / PARAPET
- 7 ELEVATOR OVERRUN
- 8 PLANTER, SEE LANDSCAPE PLANS
- 9 TREE, SEE LANDSCAPE PLANS
- 10 AWNING
- 11 NOT USED
- 12 NOT USED
- 13 SIGNAGE
- 14 ROOFTOP MECHANICAL ENCLOSURE
- 15 PERFORATED METAL SECURITY FENCE W GATE

NOTE:
SEE A3.1A FOR MATERIALS LEGEND

revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 11/09/18	AY

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2950 camino diablo
suite 110
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94597
(925) 256-6042



2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
EXTERIOR ELEVATIONS

drawn
checked RH
date 3/07/18
scale 1/8" = 1'-0"
job no. 1802
sheet

A3.1



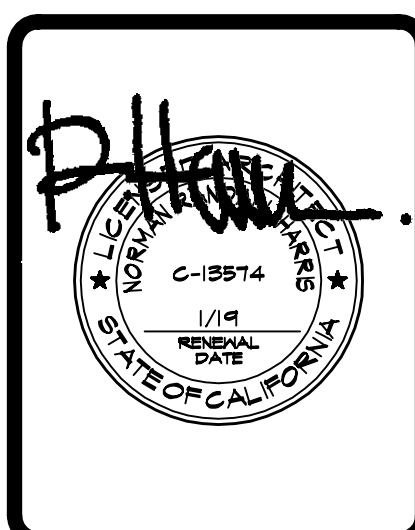
1 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"

LEGEND

- 1 PAINTED STUCCO
BODY COLOR 1
- 2 PAINTED STUCCO
BODY COLOR 2
- 3 METAL FLUSH PANELS
COLOR: "DARK BRONZE"
- 4 CAST-IN-PLACE CONCRETE
- 5 COMPOSITE WOOD PANEL
COLOR: PARKLEX "AMBER" & "RUBI"
- 6 ARCHITECTURAL METAL DETAILS
- 7 STOREFRONT GLAZING WINDOW
- 8 PERFORATED METAL
- 9 METAL LOUVERS
- 10 DARK ANODIZED METAL WINDOWS
- 11 PUBLIC ART LOCATION

revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 11/09/18	AY

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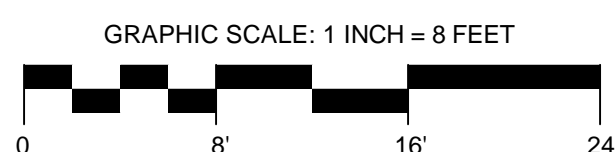


2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
2701 SHATTUCK BERKELEY, LLC



2 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"

NOTE: NORMAL TO RESIDENTIAL PORTION OF BUILDING



drawing
EXTERIOR
ELEVATIONS
(VIEWED FROM
SIDEWALK)

drawn
checked
RH
date
3/07/18
scale
1/8" = 1'-0"
job no.
1802
sheet

A3.1A



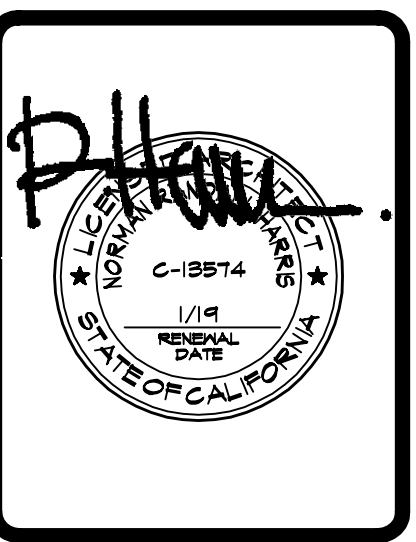
1 EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



2 EXTERIOR ELEVATION SOUTH
1/8" = 1'-0"

revisions	by
DRC SUBMITTAL 12/15/18 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/09/18	AY

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architects, planners
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94597
(925) 256-6042



2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
2701 SHATTUCK BERKELEY, LLC

KEY NOTES

- 1 RESIDENTIAL ENTRY
- 2 COMMERCIAL ENTRY
- 3 PARKING GARAGE DOOR
- 4 NOT USED
- 5 EXTERIOR STAIR
- 6 RAILING / PARAPET
- 7 ELEVATOR OVERRUN
- 8 PLANTER, SEE LANDSCAPE PLANS
- 9 TREE, SEE LANDSCAPE PLANS
- 10 AWNING
- 11 NOT USED
- 12 NOT USED
- 13 SIGNAGE
- 14 ROOFTOP MECHANICAL ENCLOSURE
- 15 PERFORATED METAL SECURITY FENCE W GATE

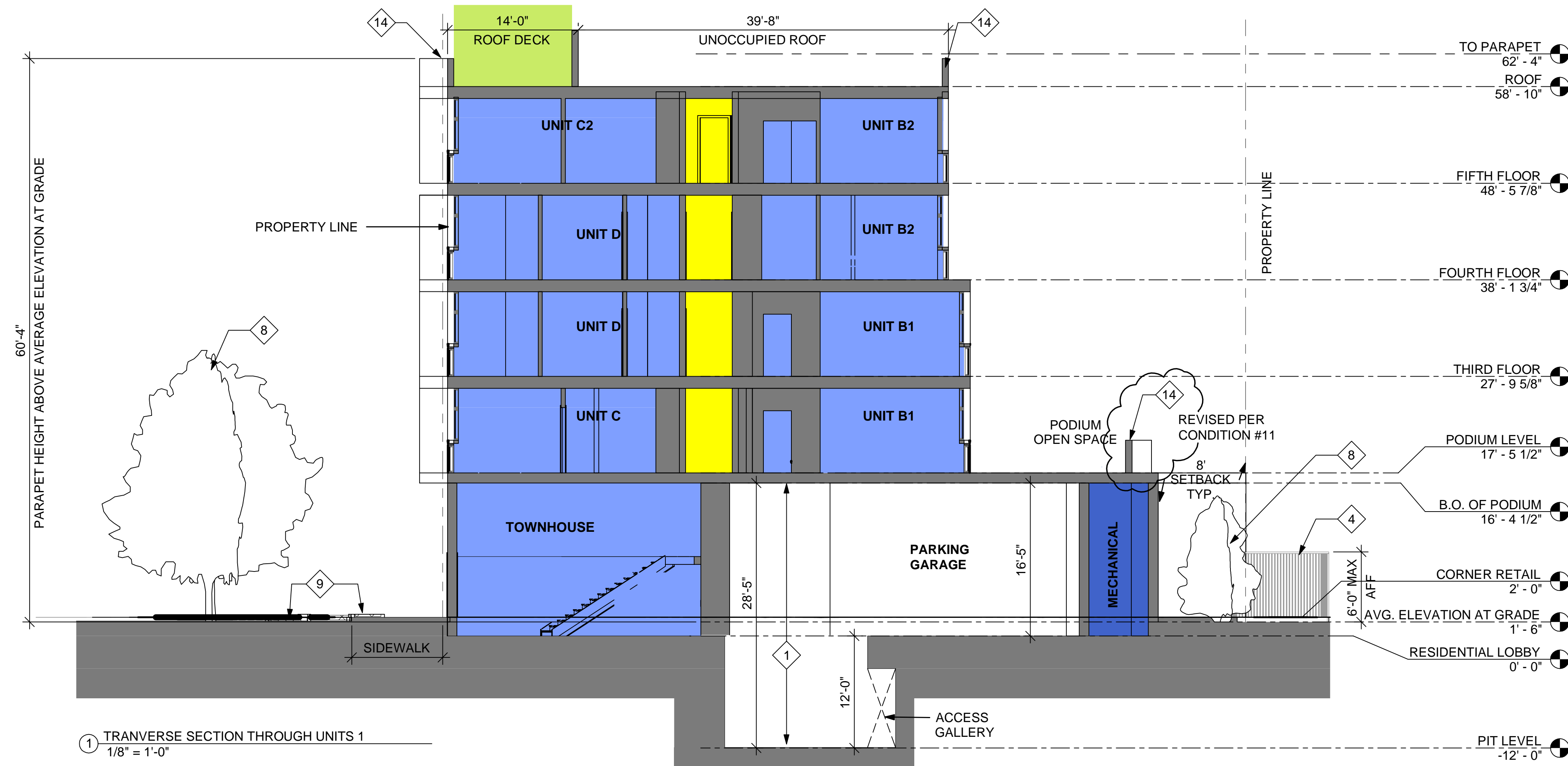
LEGEND

- 1 PAINTED STUCCO
BODY COLOR 1
- 2 PAINTED STUCCO
BODY COLOR 2
- 3 METAL FLUSH PANELS
COLOR: "DARK BRONZE"
- 4 CAST-IN-PLACE CONCRETE
- 5 COMPOSITE WOOD PANEL
COLOR: PARKLEX "AMBER" & "RUBI"
- 6 ARCHITECTURAL METAL DETAILS
- 7 STOREFRONT GLAZING WINDOW
- 8 PERFORATED METAL
- 9 METAL LOUVERS
- 10 DARK ANODIZED METAL WINDOWS

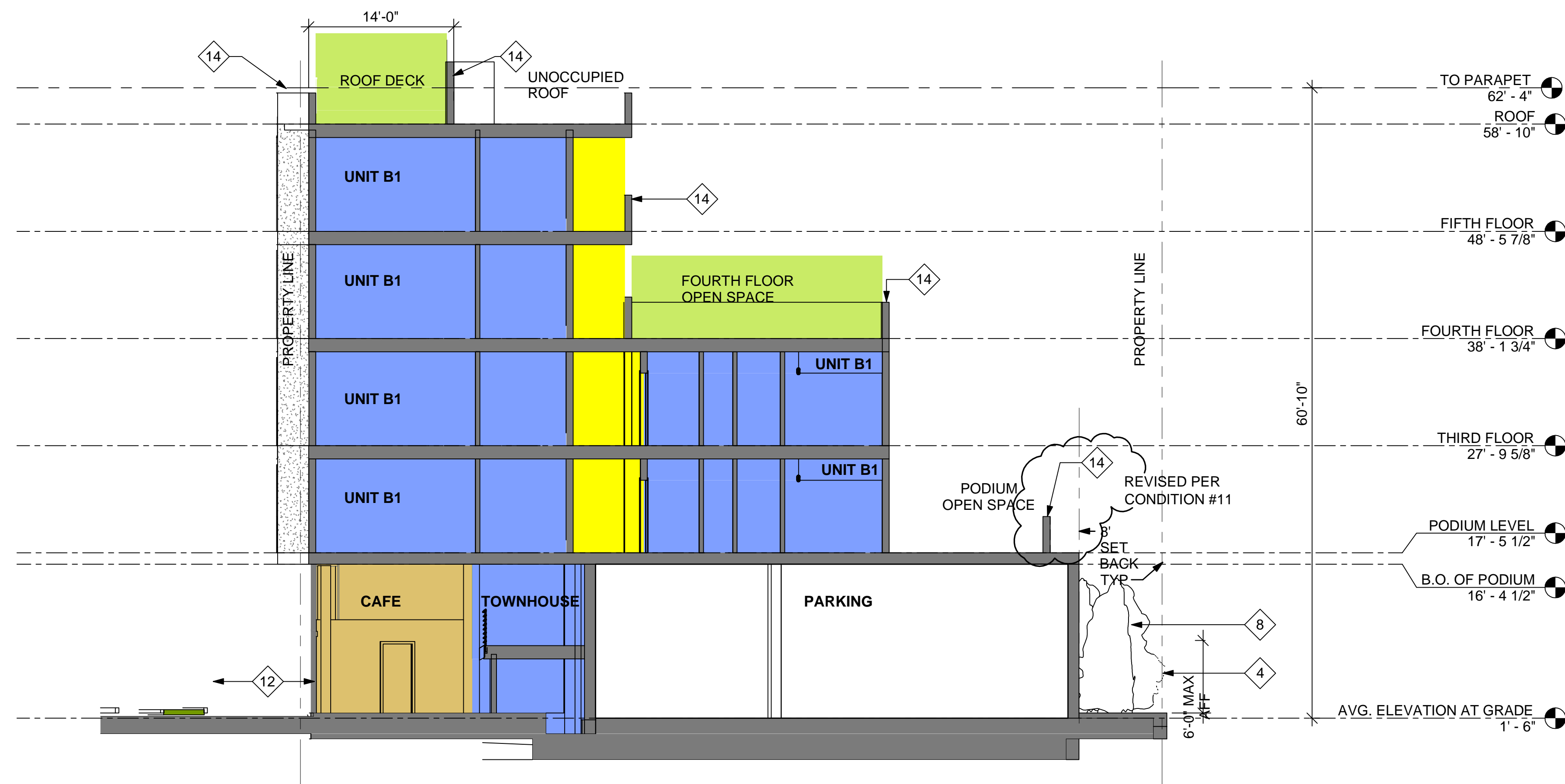
drawing
EXTERIOR ELEVATIONS

checked	date
RH	3/07/18
scale	1/8" = 1'-0"
job no.	1802
sheet	

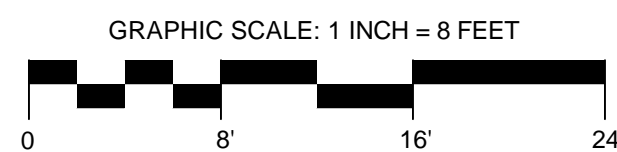
A3.2



① TRANVERSE SECTION THROUGH UNITS 1
1/8" = 1'-0"



② BUILDING SECTION
1/8" = 1'-0"



KEY NOTES

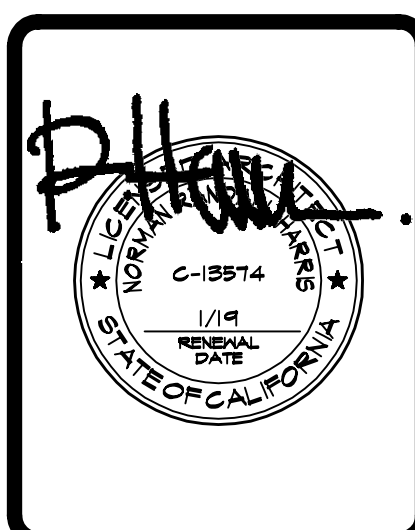
- ① TRIPLE LIFT PARKING SPACE
- ② NOT USED
- ③ STAIR
- ④ FENCE
- ⑤ RESIDENTIAL ENTRY
- ⑥ NOT USED
- ⑦ NOT USED
- ⑧ NEW TREE, SEE LANDSCAPE DRAWINGS
- ⑨ PLANTER, SEE LANDSCAPE DRAWINGS
- ⑩ BICYCLE PARKING
- ⑪ NOT USED
- ⑫ OUTDOOR SEATING AREA, SEE LANDSCAPE DRAWINGS
- ⑬ STAIR ENCLOSURE
- ⑭ PARAPET/RAILING

LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- WALL
- PROPERTY LINE

revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/09/18	AY

HDO
architects, planners
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2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
2701 SHATTUCK BERKELEY, LLC

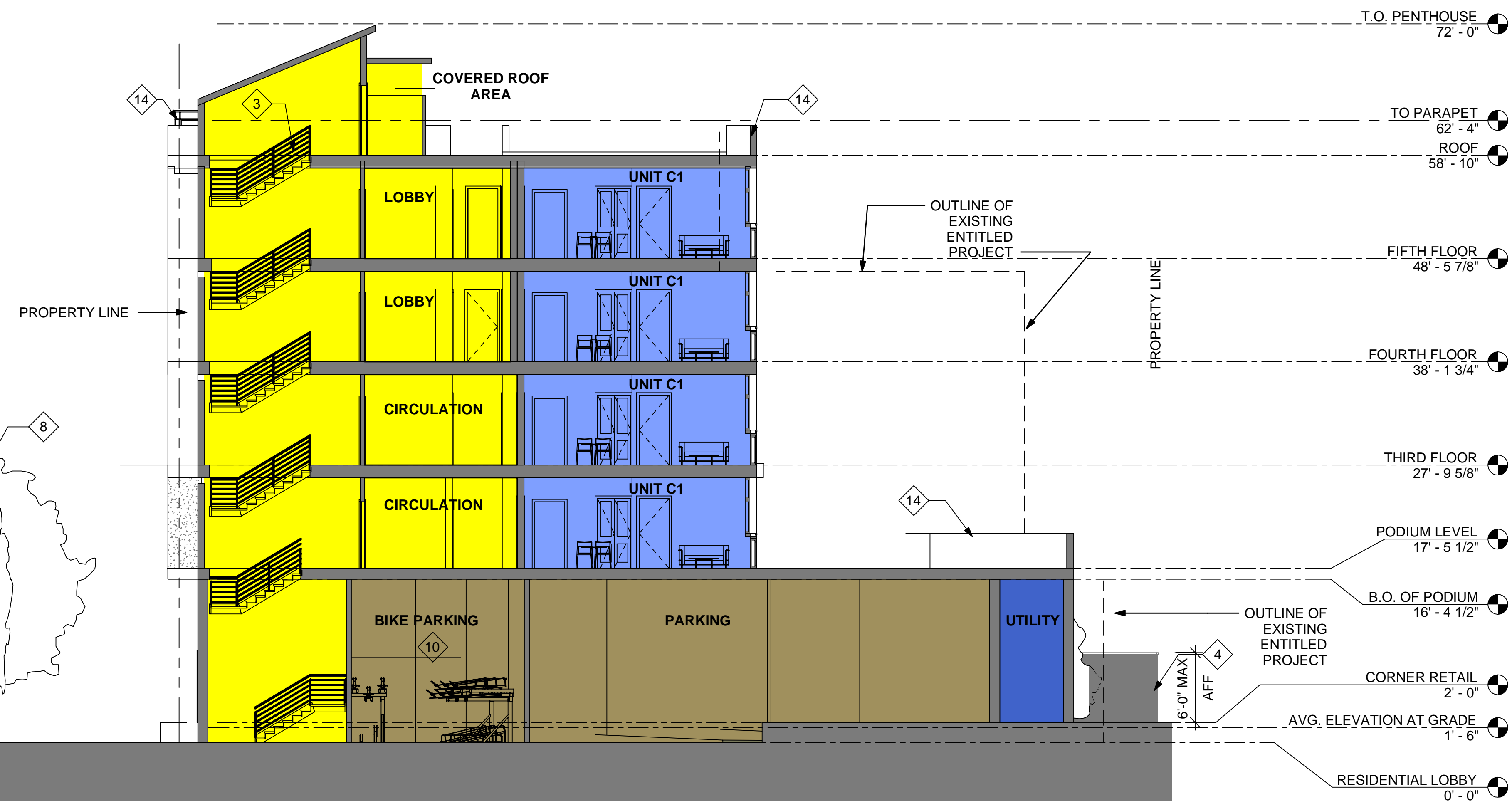
drawing
BUILDING SECTIONS

drawn
checked RH
date 3/07/18
scale 1/8" = 1'-0"
job no. 1802
sheet

A3.3



1 LONGITUDINAL SECTION THROUGH UNITS
1/8" = 1'-0"



2 TRANSVERSE SECTION THROUGH VERTICAL CIRCULATION
1/8" = 1'-0"

revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/09/18	AY

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walnut creek, ca
94597
(925) 256-6042

D. H. HALL
LICENSED ARCHITECT
C-13574
1/19
BERKELEY, CALIFORNIA
DATE

**2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC**

KEY NOTES

- 1 TRIPLE LIFT PARKING SPACE
- 2 NOT USED
- 3 STAIR
- 4 FENCE
- 5 RESIDENTIAL ENTRY
- 6 NOT USED
- 7 NOT USED
- 8 NEW TREE, SEE LANDSCAPE DRAWINGS
- 9 PLANTER, SEE LANDSCAPE DRAWINGS
- 10 BICYCLE PARKING
- 11 NOT USED
- 12 OUTDOOR SEATING AREA, SEE LANDSCAPE DRAWINGS
- 13 STAIR ENCLOSURE
- 14 PARAPET/RAILING

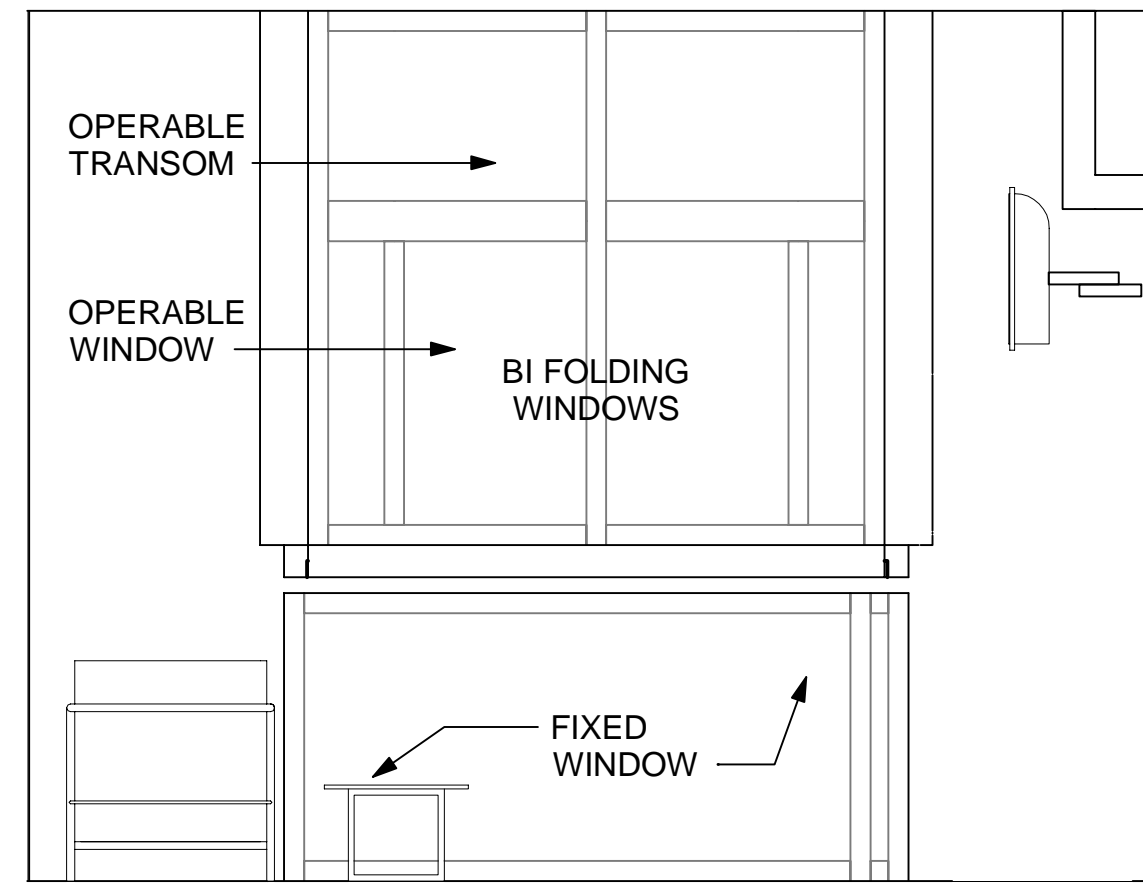
LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- WALL
- PROPERTY LINE

drawing
BUILDING SECTIONS

drawn
checked
RH
date
3/07/18
scale
1/8" = 1'-0"
job no.
1802
sheet

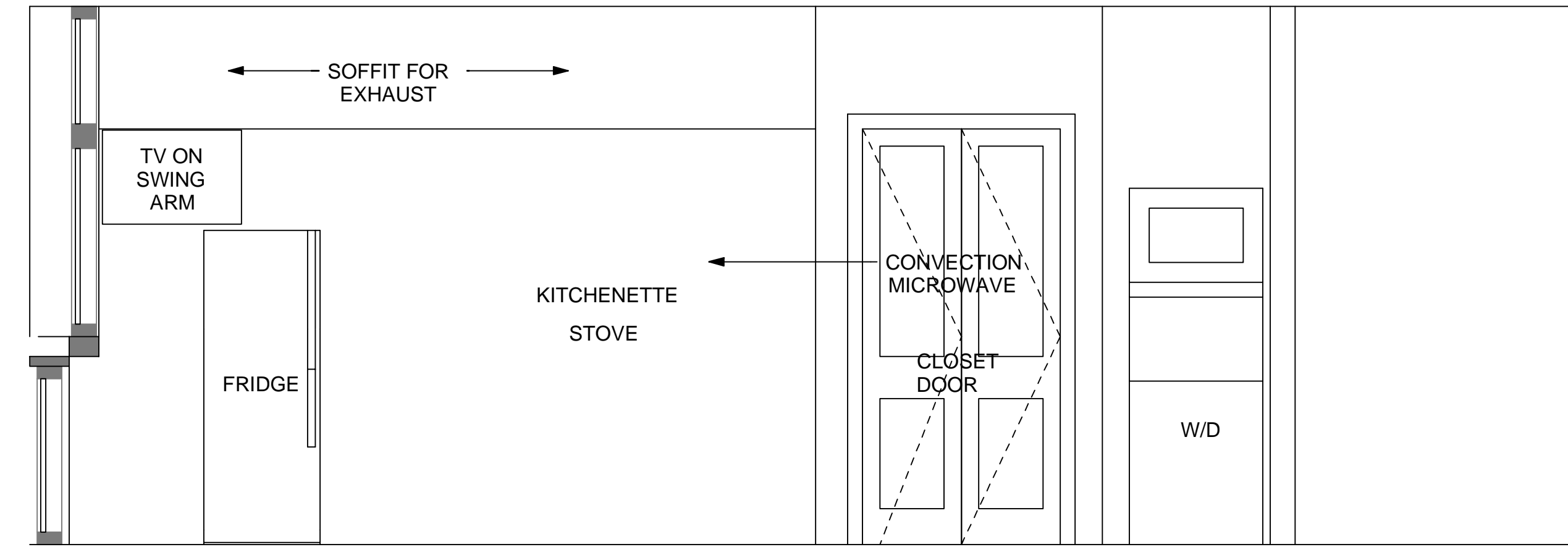
A3.4



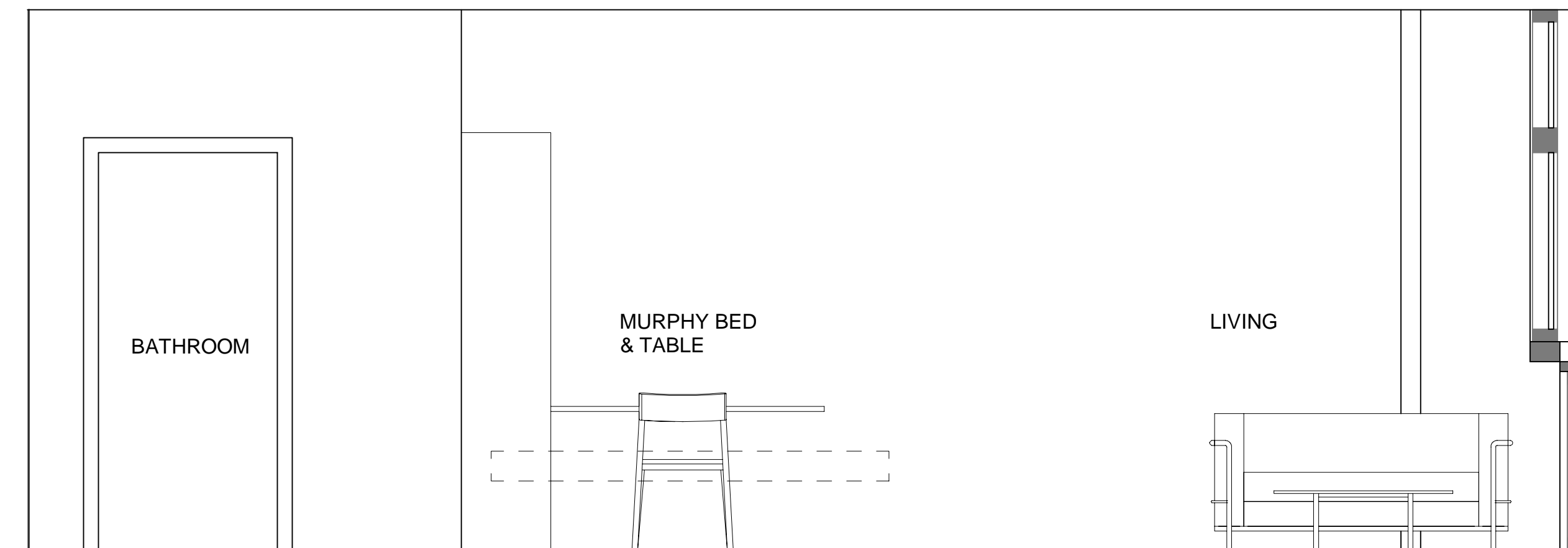
6 WEST ELEVATION OF UNIT A2
1/2" = 1'-0"



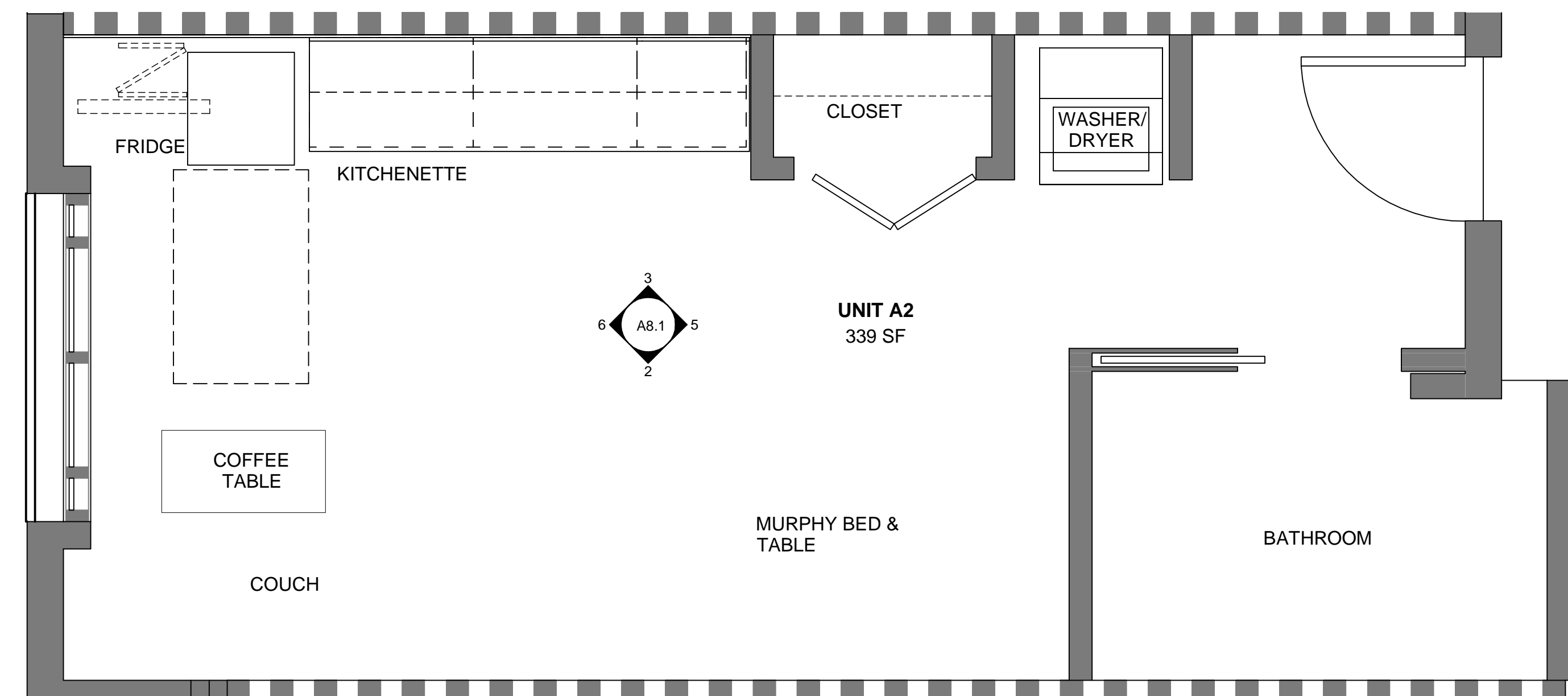
5 EAST ELEVATION OF UNIT A2
1/2" = 1'-0"



3 NORTH ELEVATION OF UNIT A2
1/2" = 1'-0"



2 SOUTH ELEVATION OF UNIT A2
1/2" = 1'-0"

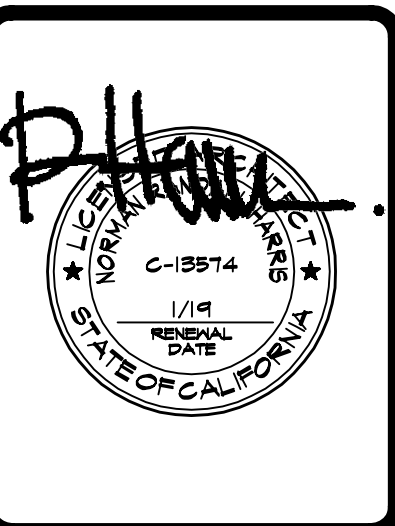


1 UNIT A2 PLAN
1/2" = 1'-0"

4 SECTION PERSPECTIVE OF UNIT A2
1/2" = 1'-0"

revisions	by
DRC SUBMITTAL 12/15/18 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/09/18	AY

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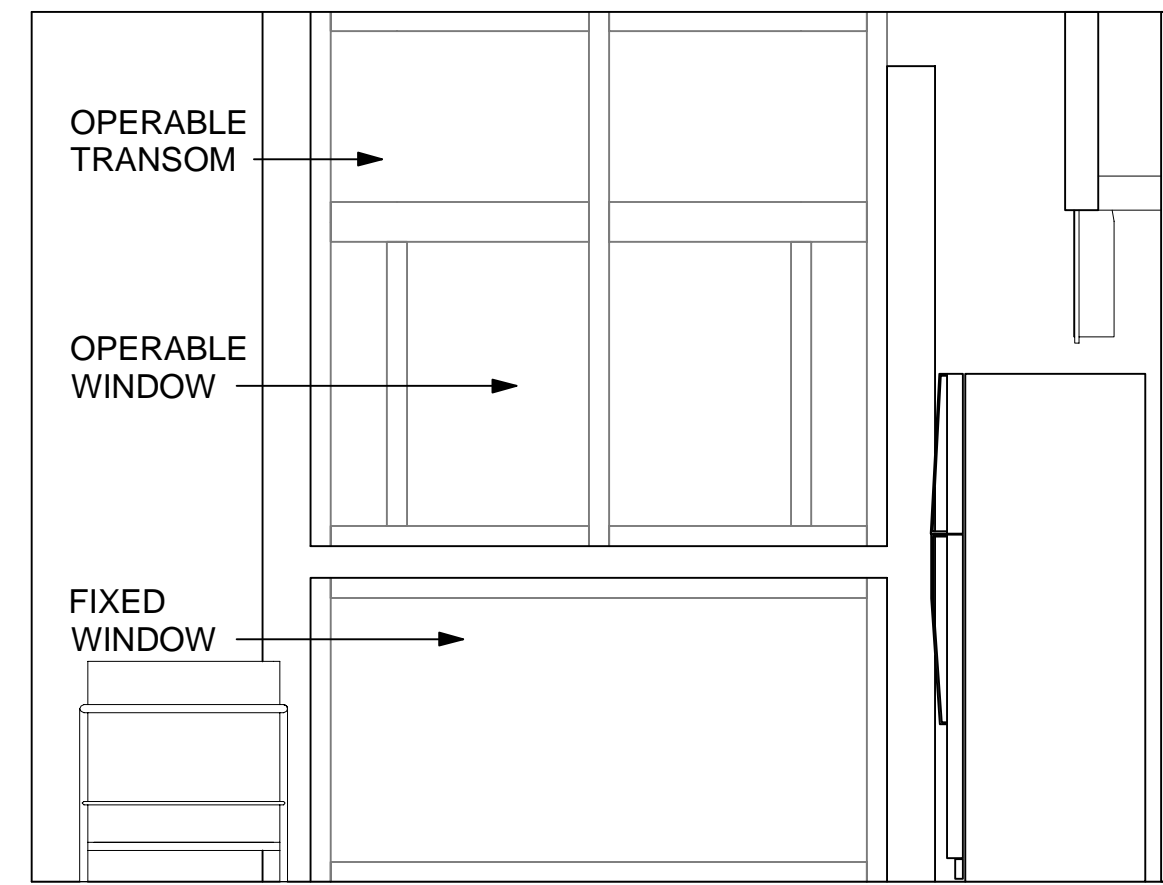


2701 SHATTUCK AVENUE
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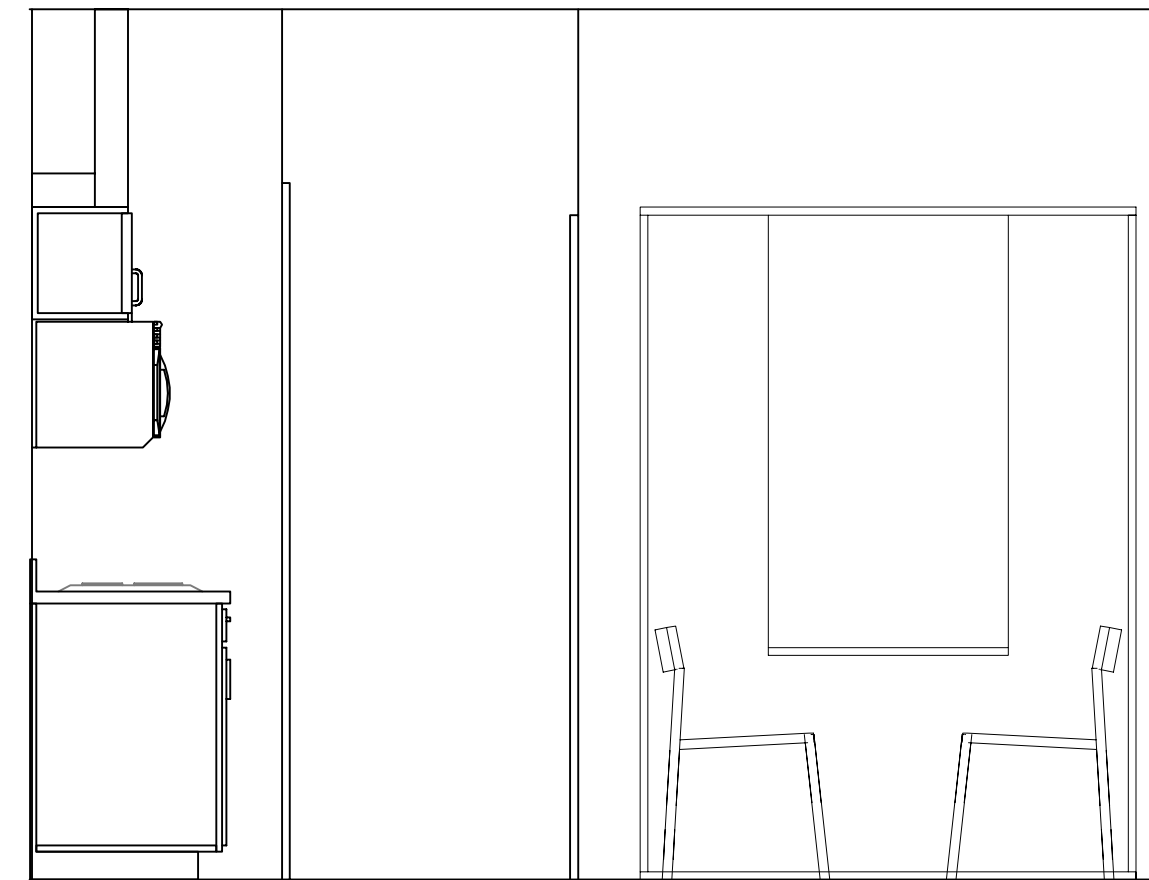
drawn
UNIT A PLANS

checked RH
date 3/07/18
scale 1/2" = 1'-0"
job no. 1802
sheet

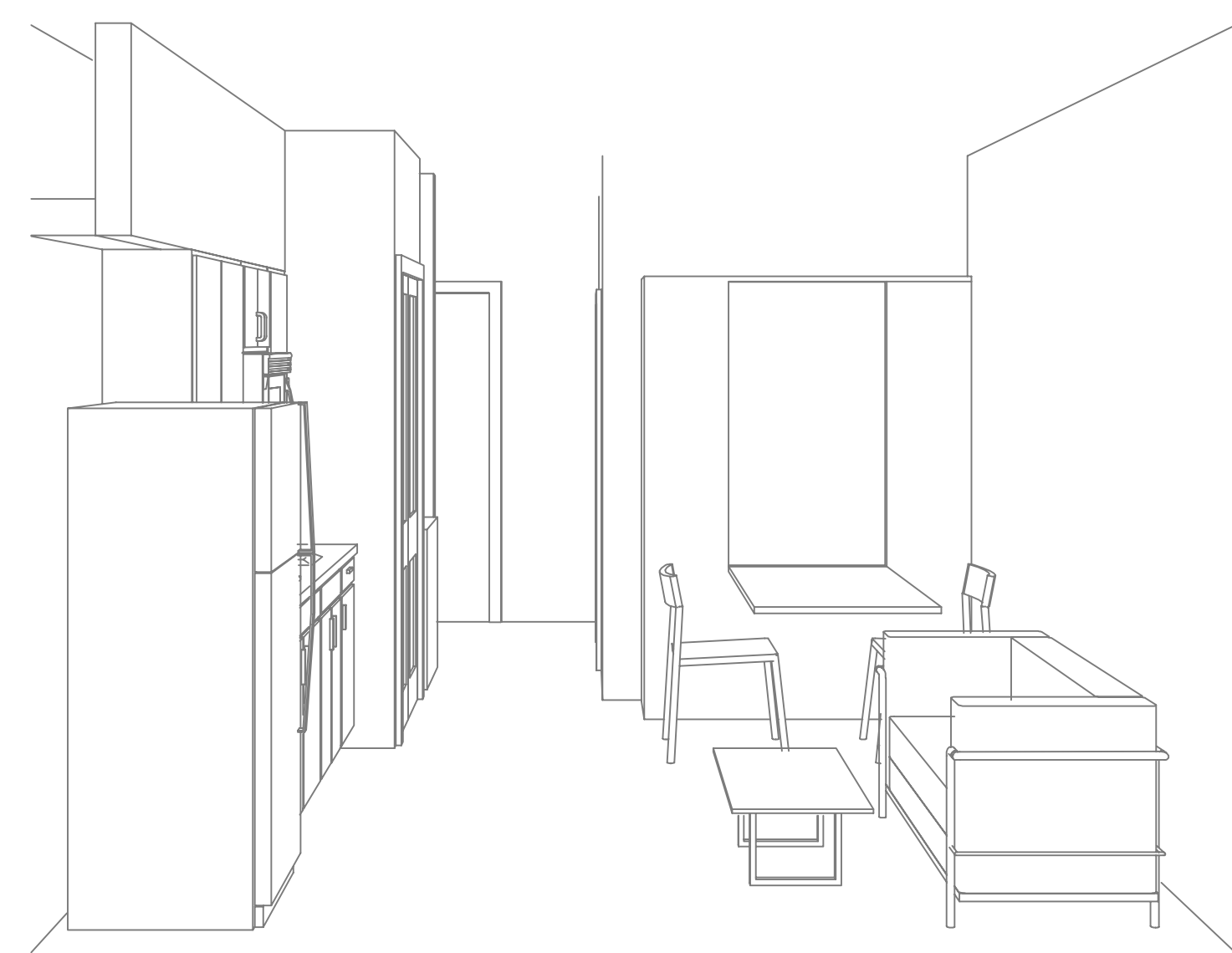
AB.1



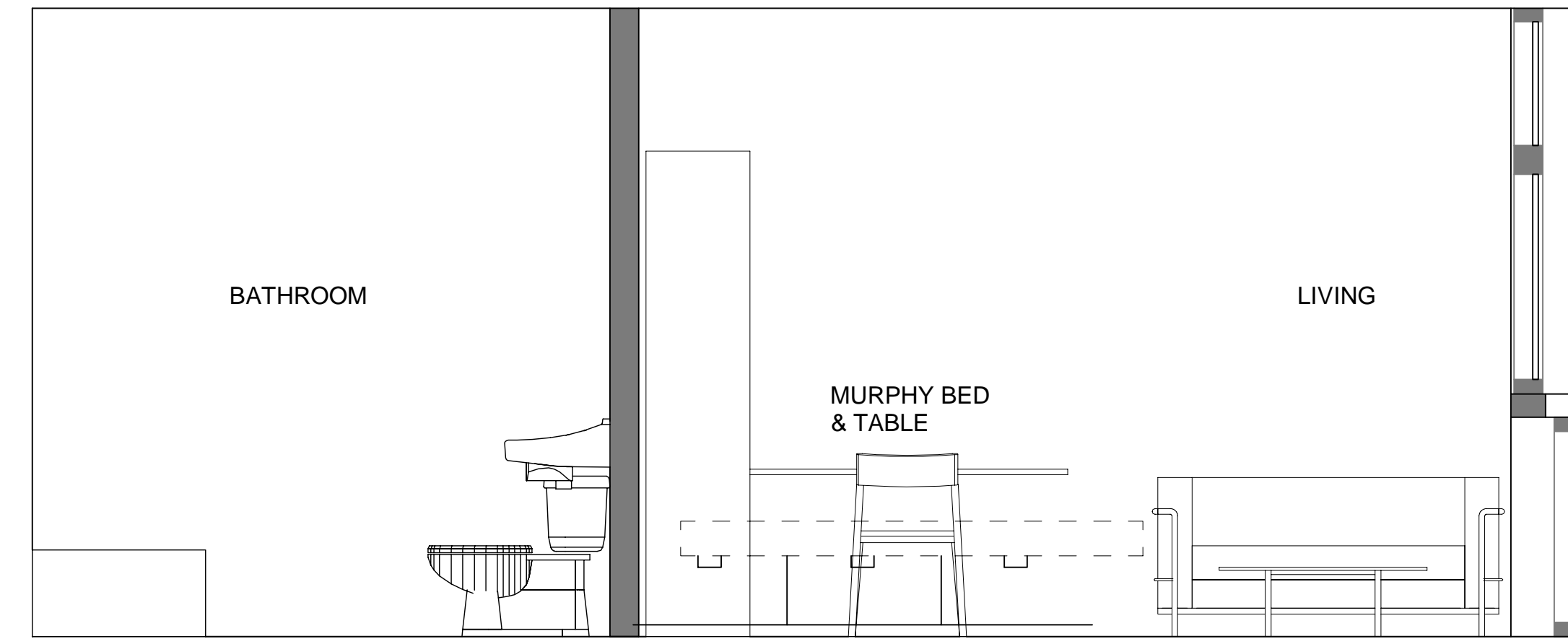
6 EAST ELEVATION OF UNIT B2
1/2" = 1'-0"



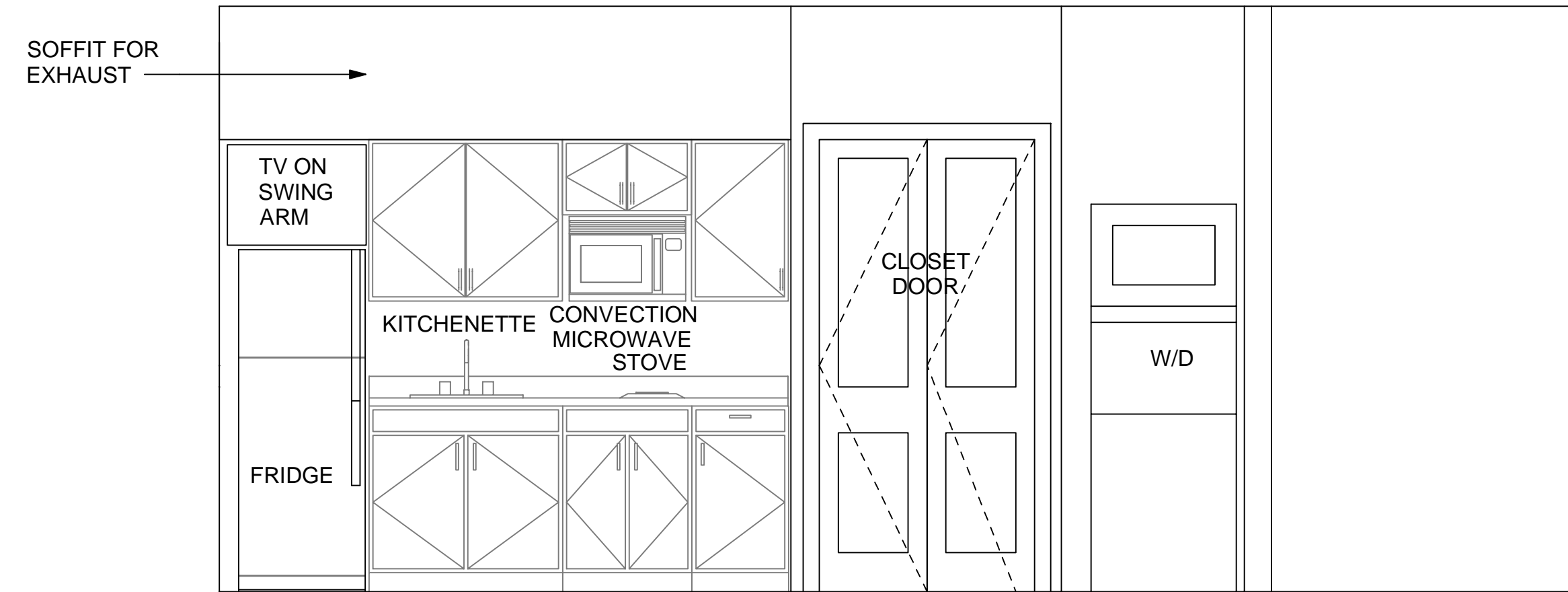
5 WEST ELEVATION OF UNIT B2
1/2" = 1'-0"



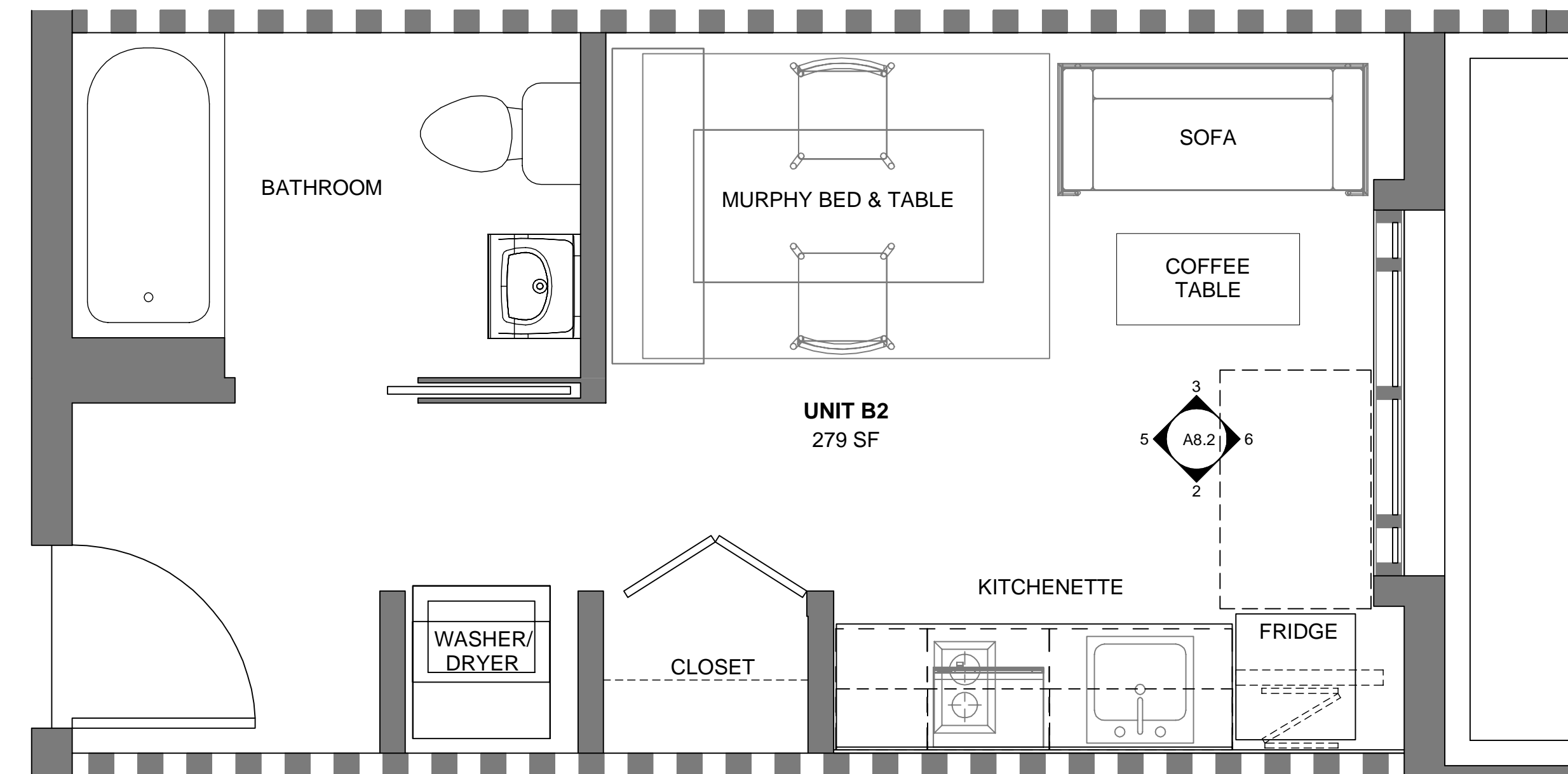
4 SECTION PERSPECTIVE OF UNIT B2
1/2" = 1'-0"



3 NORTH ELEVATION OF UNIT B2
1/2" = 1'-0"



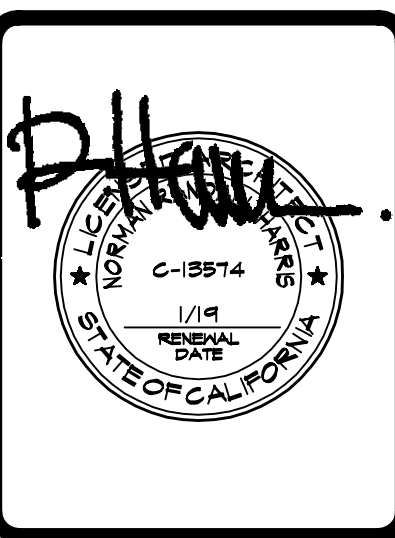
2 SOUTH ELEVATION OF UNIT B2
1/2" = 1'-0"



1 UNIT B2 PLAN
1/2" = 1'-0"

revisions	by
DRC SUBMITTAL 12/15/18 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/08/18	AY

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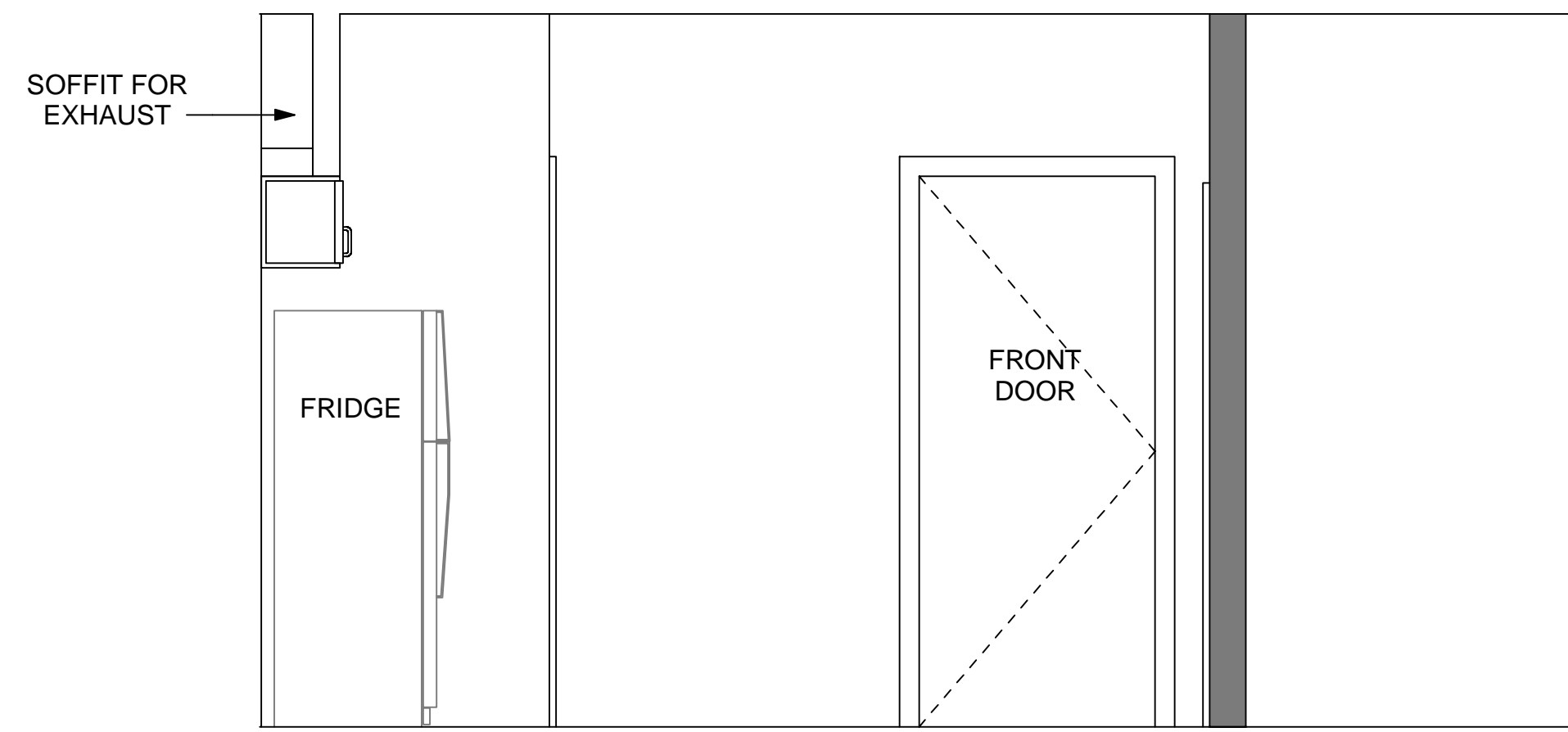


2701 SHATTUCK AVENUE
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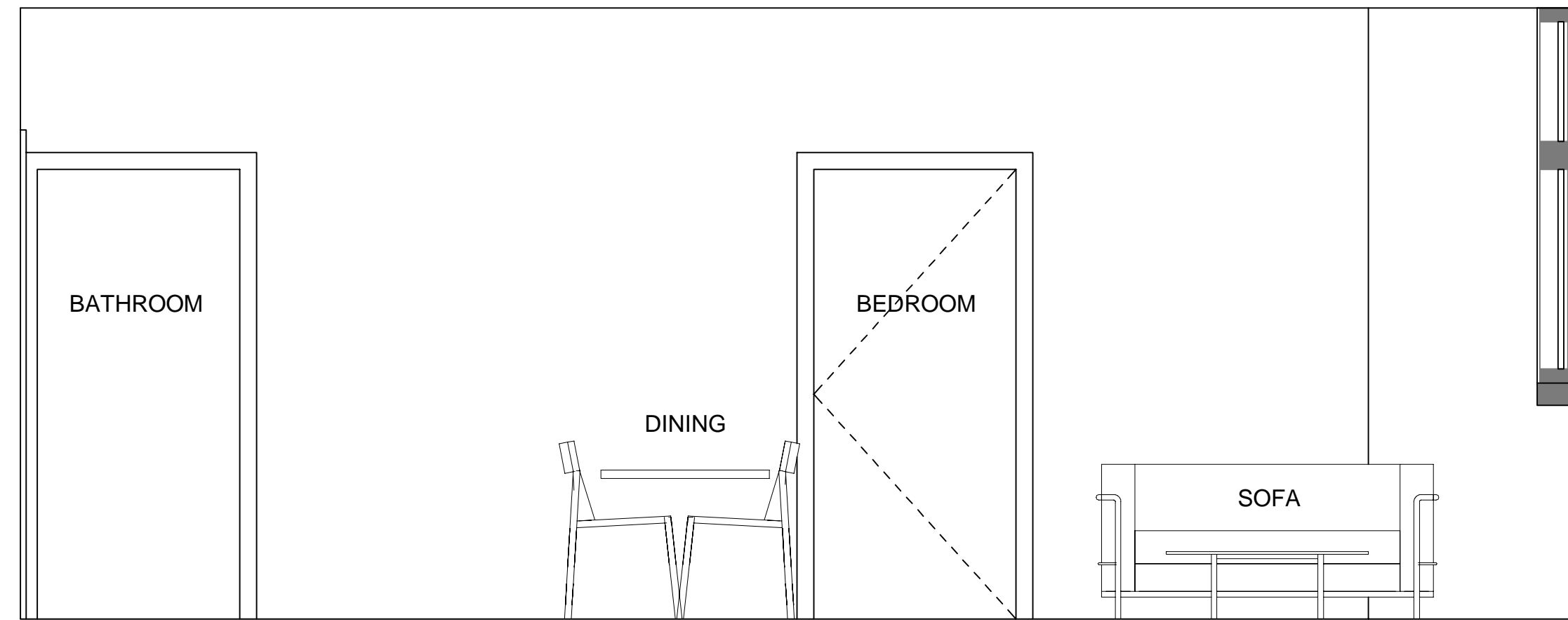
drawing
UNIT B PLANS

drawn
checked
RH
date
3/07/18
scale
1/2" = 1'-0"
job no.
1802
sheet

A8.2



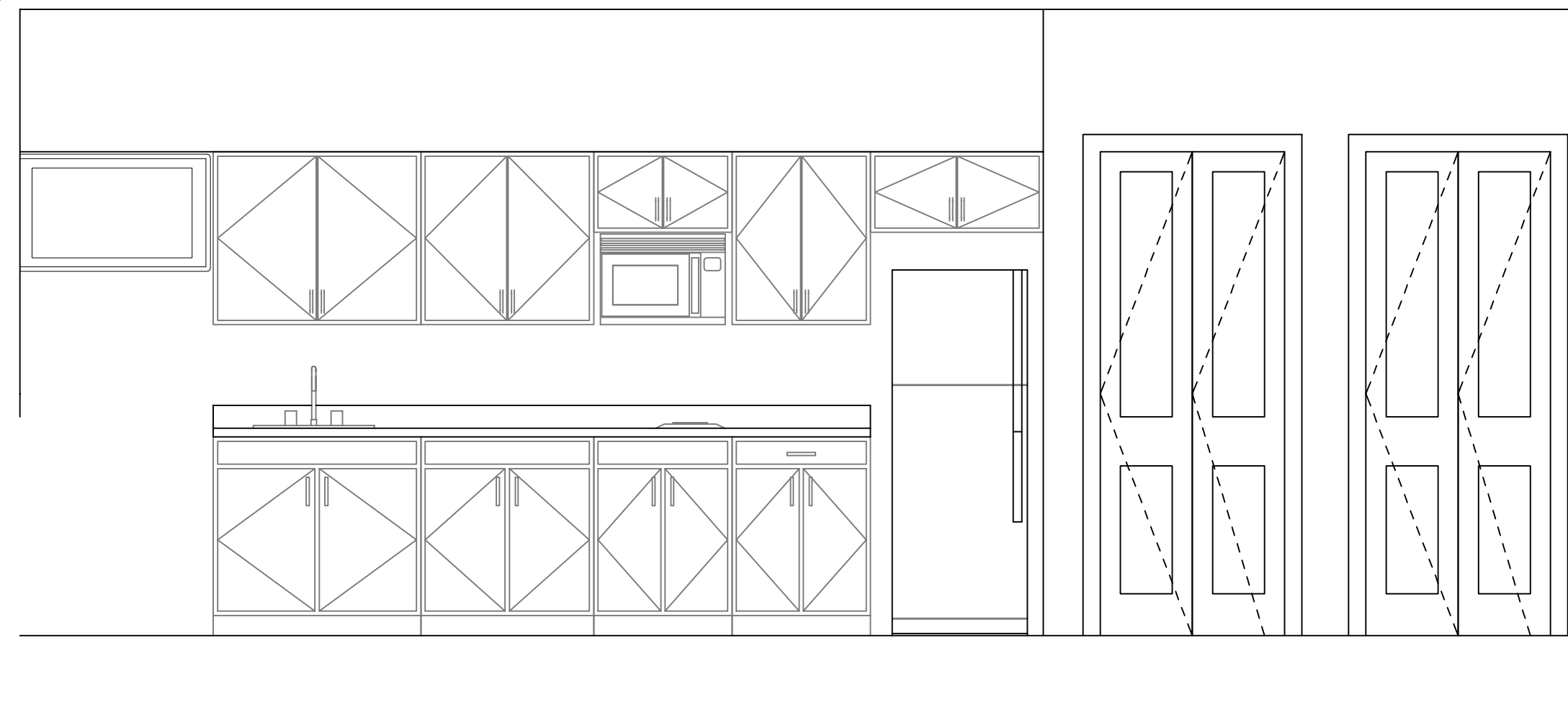
6 EAST ELEVATION OF UNIT C
1/2" = 1'-0"



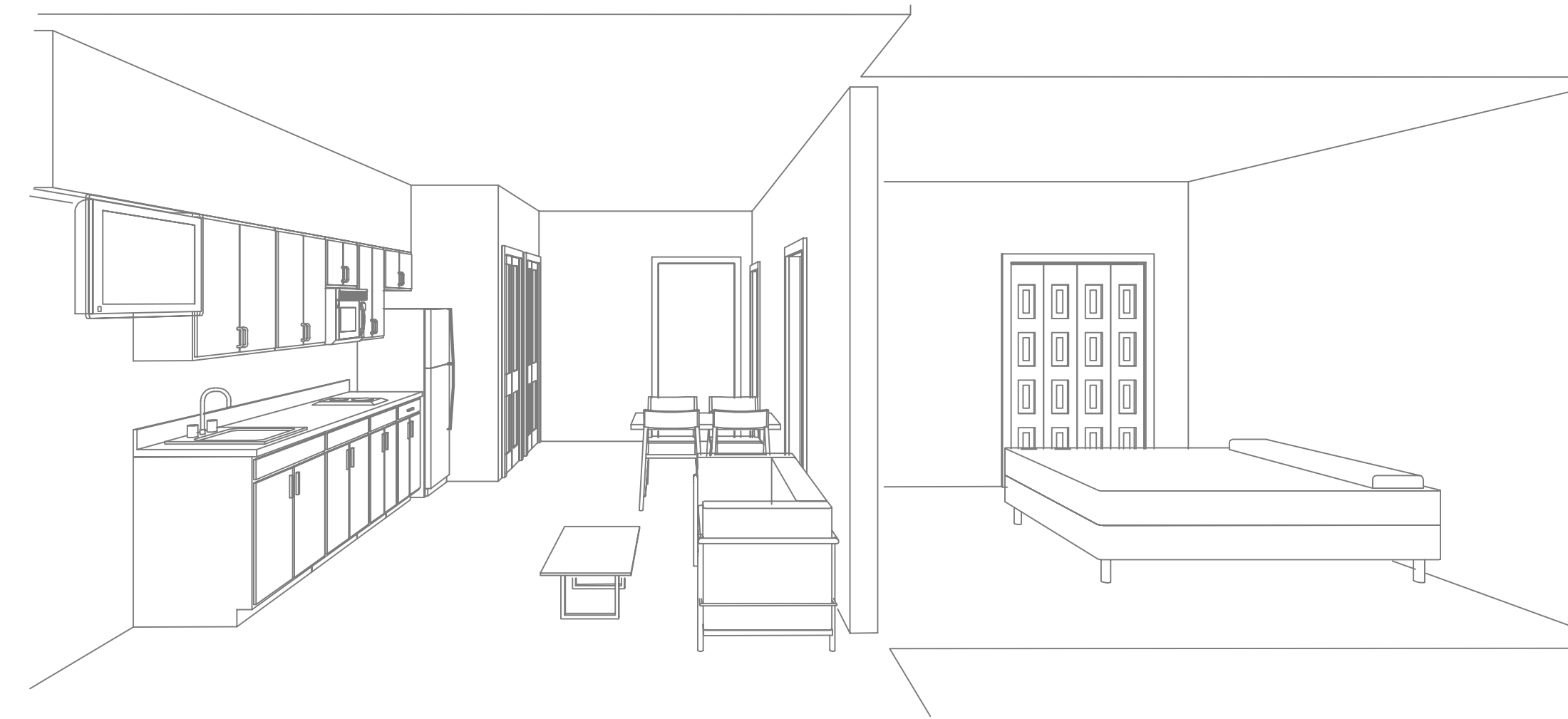
5 SOUTH ELEVATION OF UNIT C
1/2" = 1'-0"



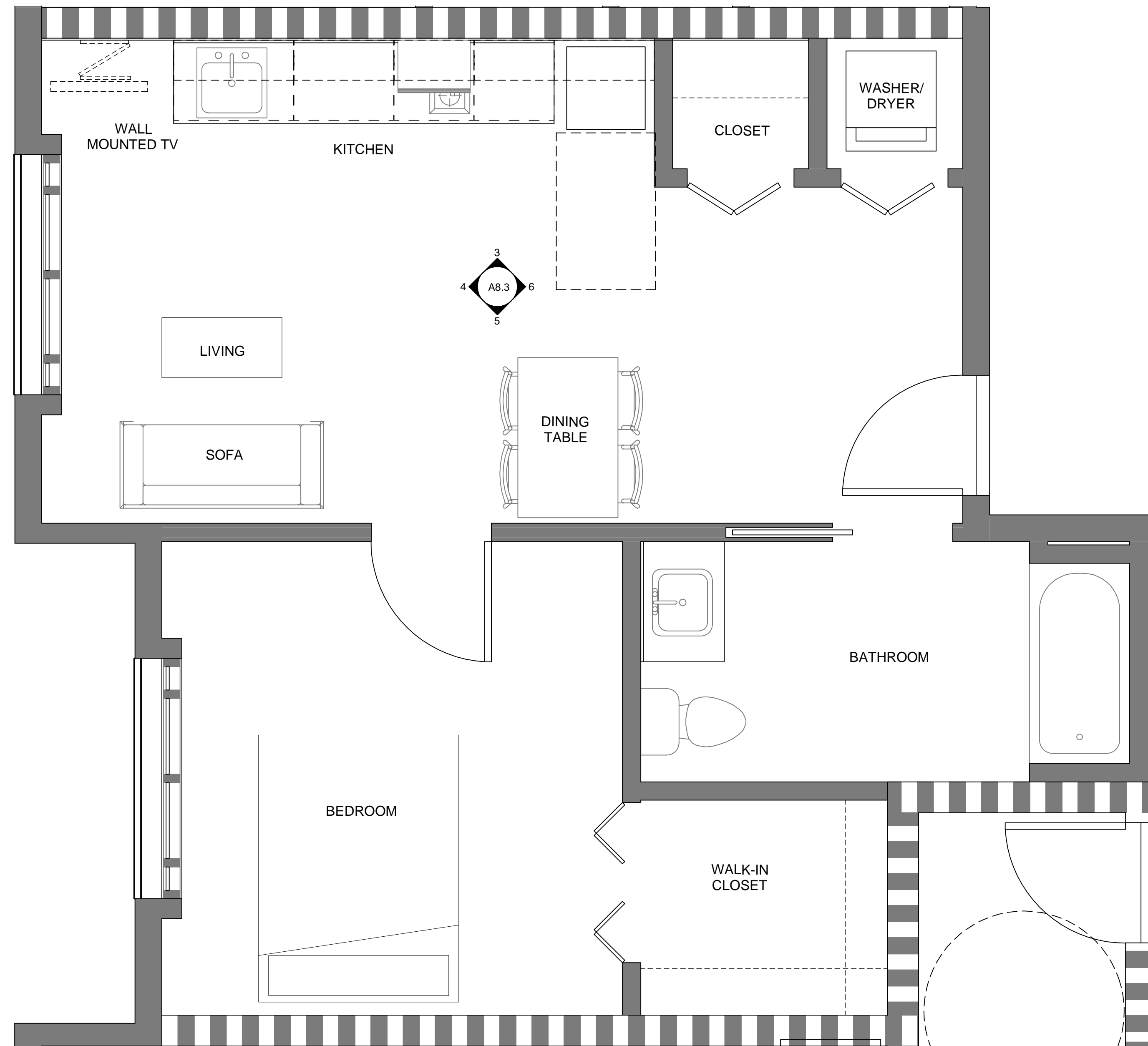
4 WEST ELEVATION OF UNIT C
1/2" = 1'-0"



3 NORTH ELEVATION OF UNIT C
1/2" = 1'-0"



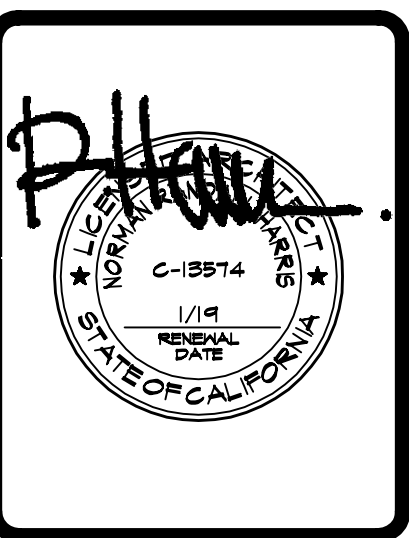
2 SECTIONAL PERSPECTIVE OF UNIT C



1 UNIT C PLAN
1/2" = 1'-0"

revisions	by
DRC SUBMITTAL	-
12/15/18 & 1/27/17	-
ZAB SUBMITTAL	-
4/12/17 & 1/03/18	AY
ZAB SUBMITTAL	AY
3/07/18	AY
ZAB SUBMITTAL	AY
6/28/18	AY
DRC SUBMITTAL	AY
9/20/18	AY
ZAB SUBMITTAL	AY
1/08/18	AY

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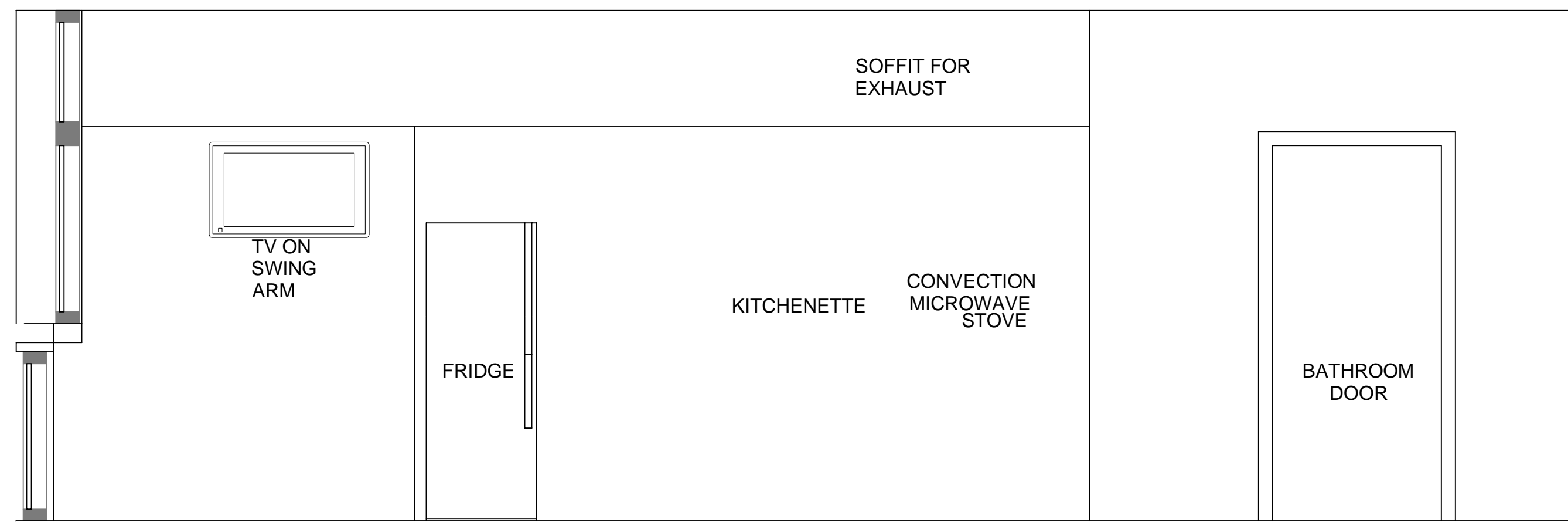


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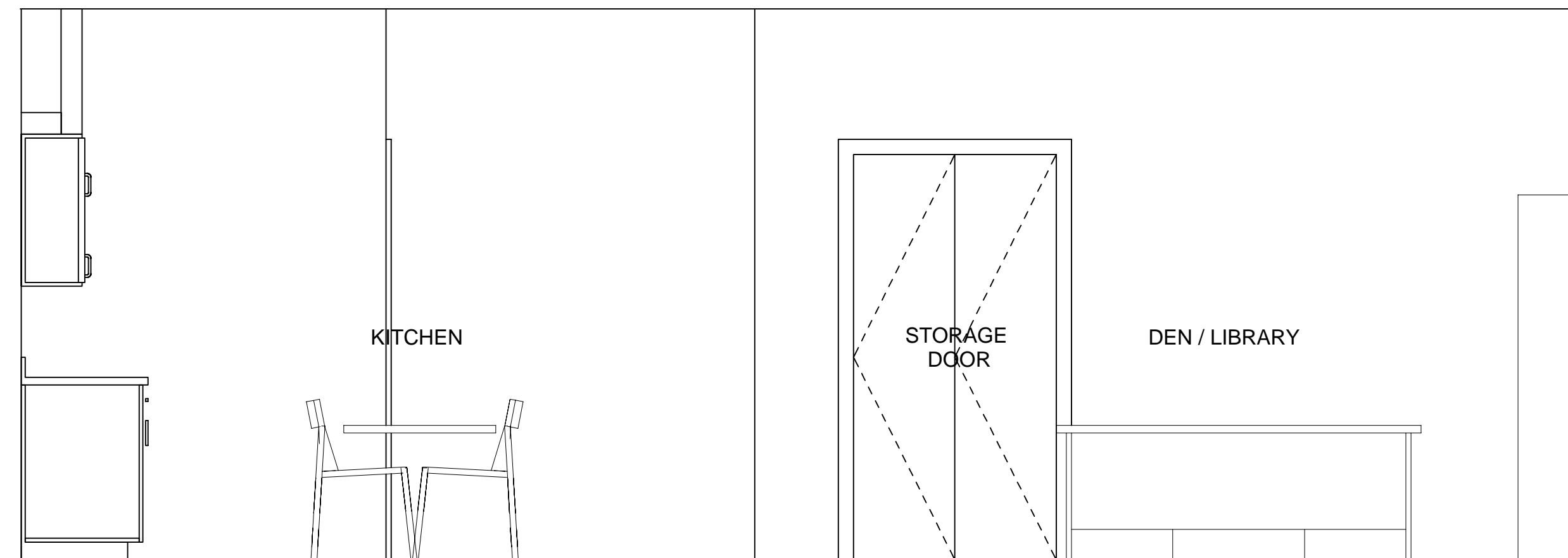
drawing
UNIT C PLANS

drawn
checked
RH
date
3/07/18
scale
1/2" = 1'-0"
job no.
1802
sheet

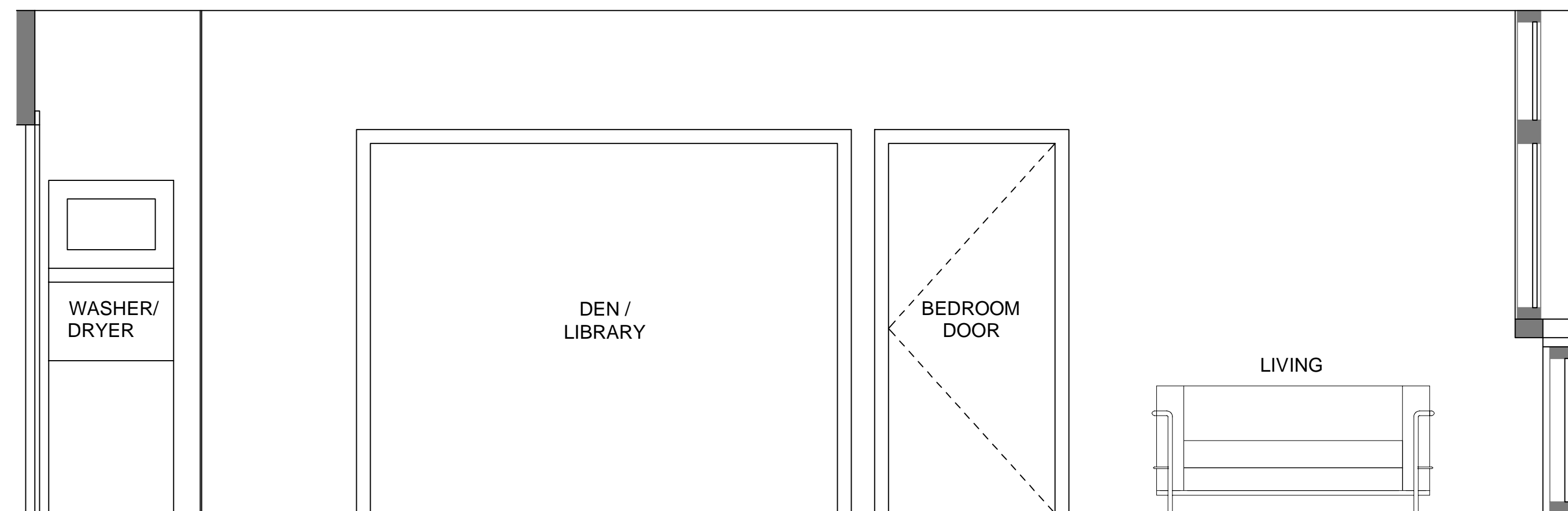
A8.3



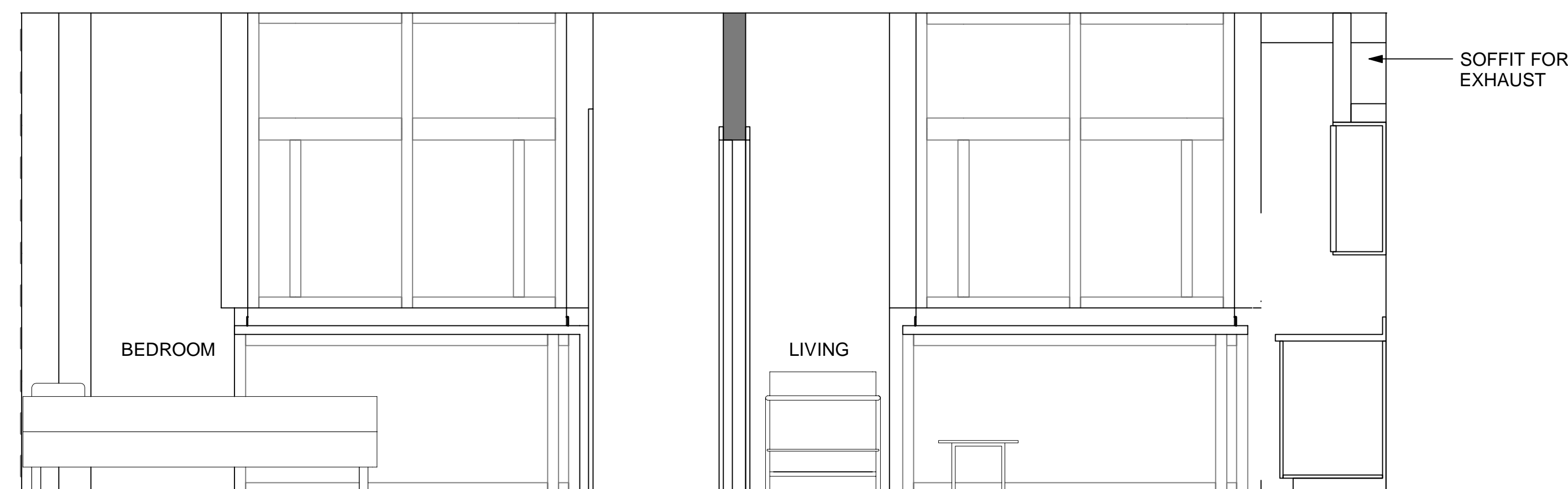
6 NORTH ELEVATION OF UNIT D
1/2" = 1'-0"



5 EAST ELEVATION OF UNIT D
1/2" = 1'-0"



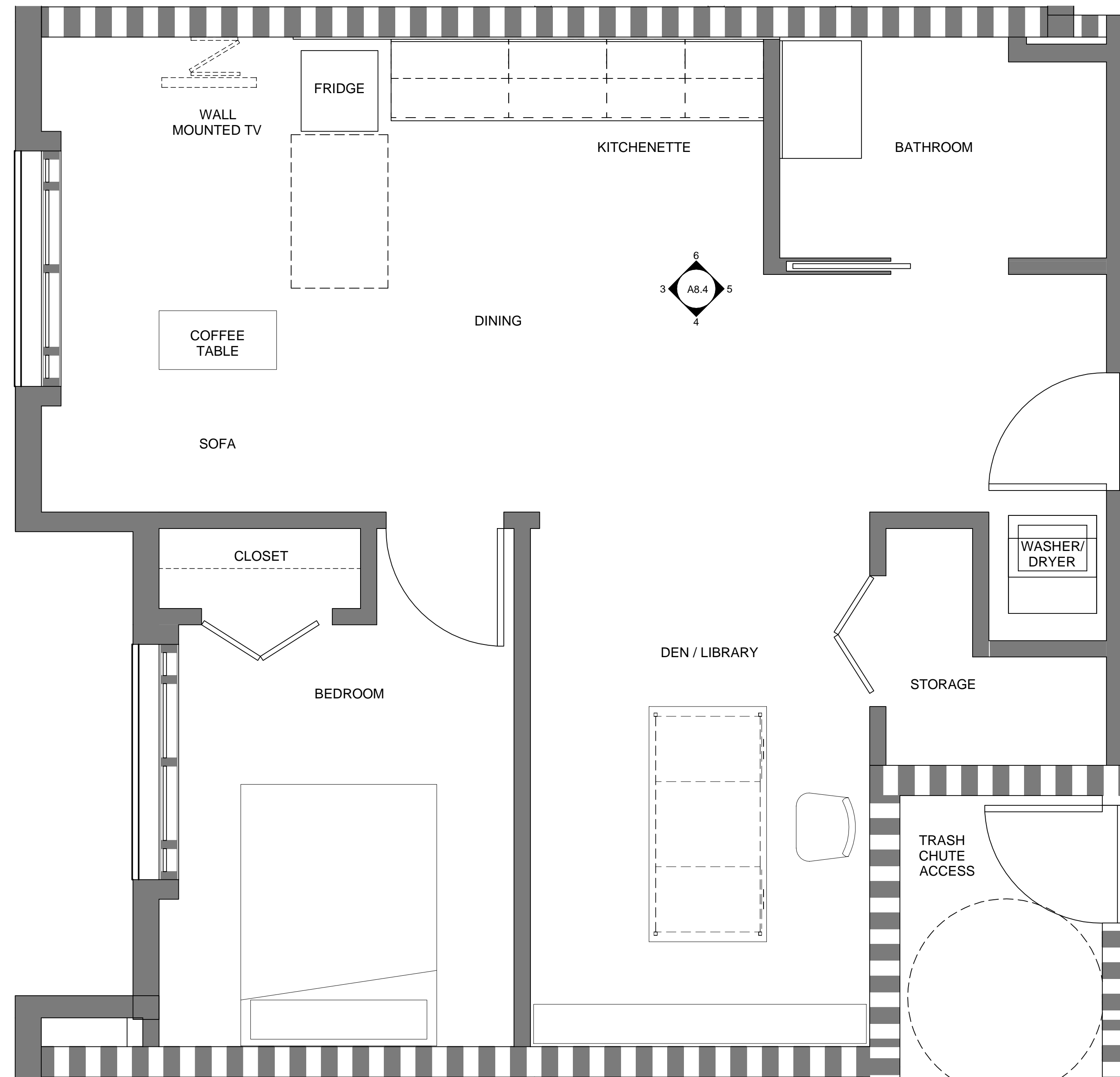
4 SOUTH ELEVATION OF UNIT D
1/2" = 1'-0"



3 WEST ELEVATION OF UNIT D
1/2" = 1'-0"



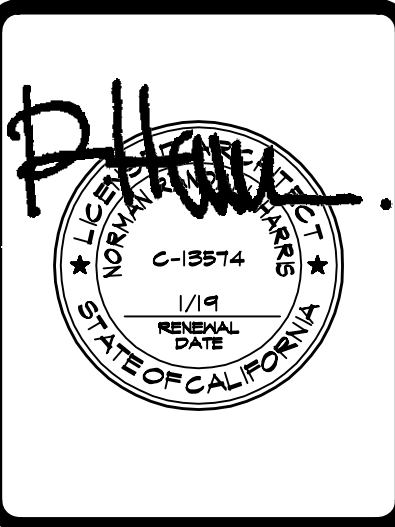
2 SECTIONAL PERSPECTIVE OF UNIT D



1 UNIT D PLAN
1/2" = 1'-0"

revisions	by
DRC SUBMITTAL 12/15/18 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/09/18	AY

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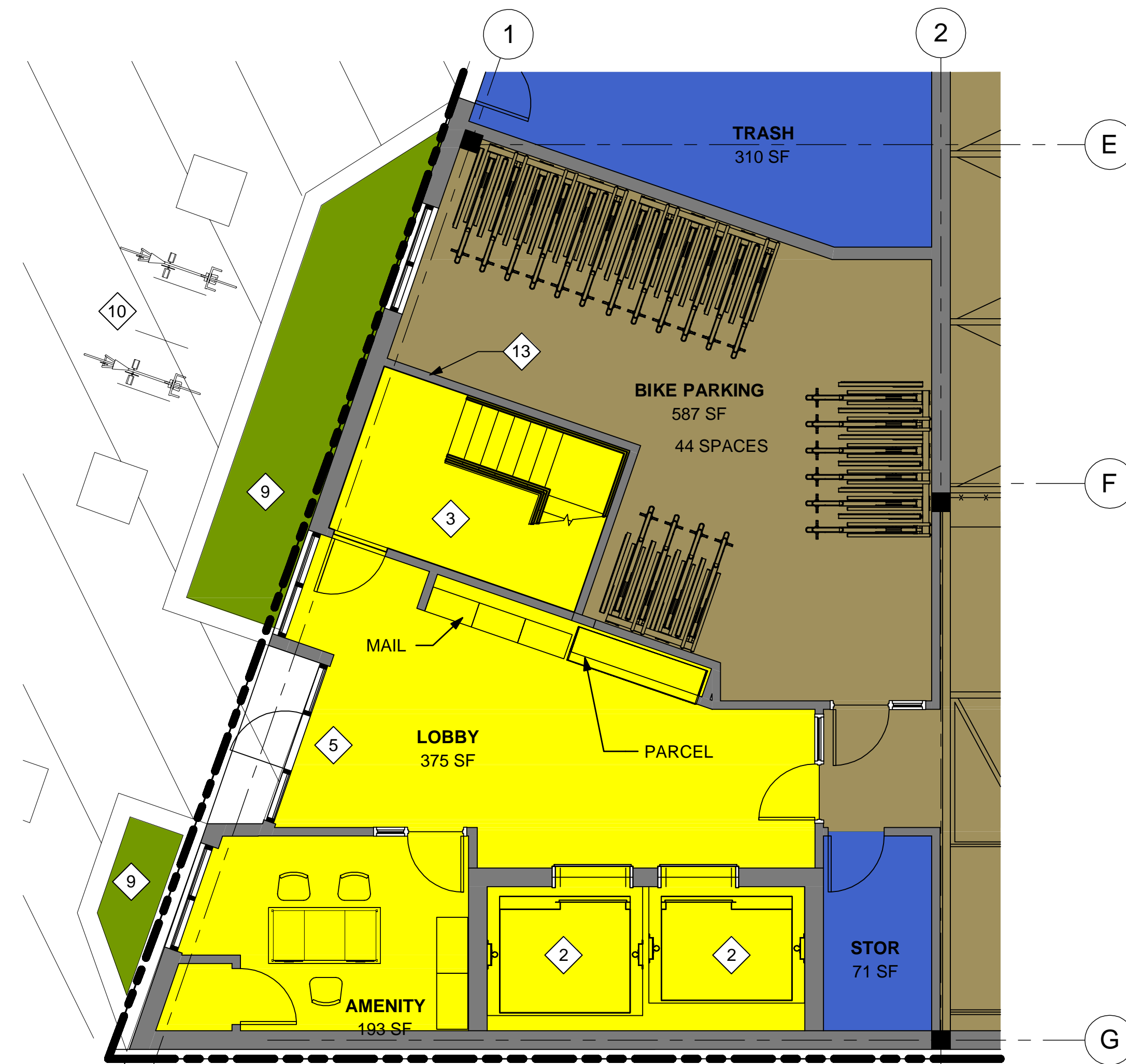


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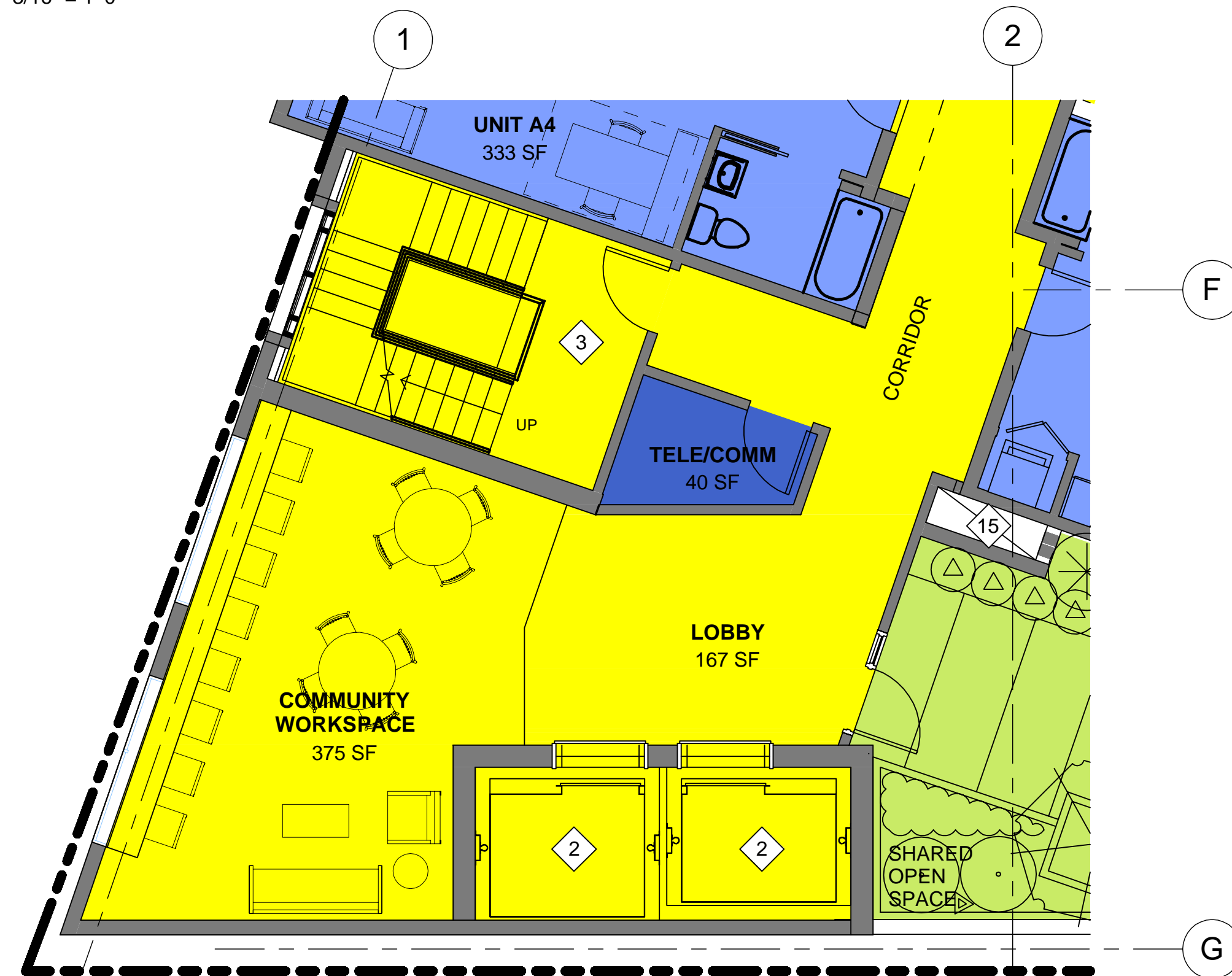
drawing
UNIT D PLANS

drawn	
checked	RH
date	3/07/18
scale	1/2" = 1'-0"
job no.	1802
sheet	

A8.4



1 LOBBY - GROUND FLOOR PLAN
3/16" = 1'-0"



2 PODIUM LEVEL PLAN
3/16" = 1'-0"

KEY NOTES

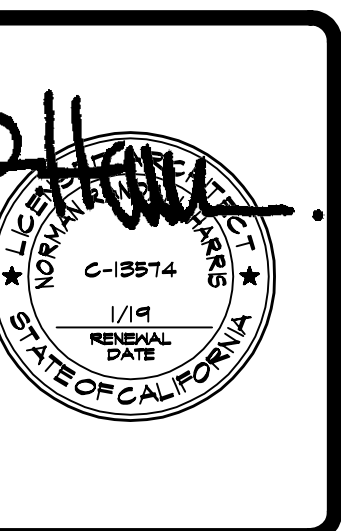
- 1 TRIPLE LIFT PARKING SPACE
- 2 ELEVATOR
- 3 STAIR
- 4 6'-0" HIGH ORNAMENTAL METAL FENCE
- 4.1 PERFORATED METAL SECURITY FENCE W GATE
- 5 RESIDENTIAL ENTRY
- 6 CAFE ENTRY
- 7 GARAGE DOOR WITH VISUAL AND AND AUDIBLE ALERT SYSTEM MOUNTED ABOVE DOOR. SOUND AND LIGHT CONTROLS IN GARAGE.
- 8 NEW TREE, SEE LANDSCAPE DRAWINGS
- 9 PLANTER, SEE LANDSCAPE DRAWINGS
- 10 HEAVY DUTY DERO HOOP BICYCLE RACKS
- 11 (E) AC TRANSIT BUS STOP WITH BENCH
- 12 OUTDOOR SEATING AREA, SEE LANDSCAPE DRAWINGS
- 13 EXTERIOR STAIR
- 14 PARAPET/RAILING
- 15 MECHANICAL CHASE
- 16 BARBEQUE
- 17 NOT USED
- 18 FIRE ACCESS STAIR
- 19 METAL ROOF / MATCH SIDING SEE ELEVATIONS
- 20 TRASH CHUTE

LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- WALL
- PROPERTY LINE

revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 11/09/18	AY

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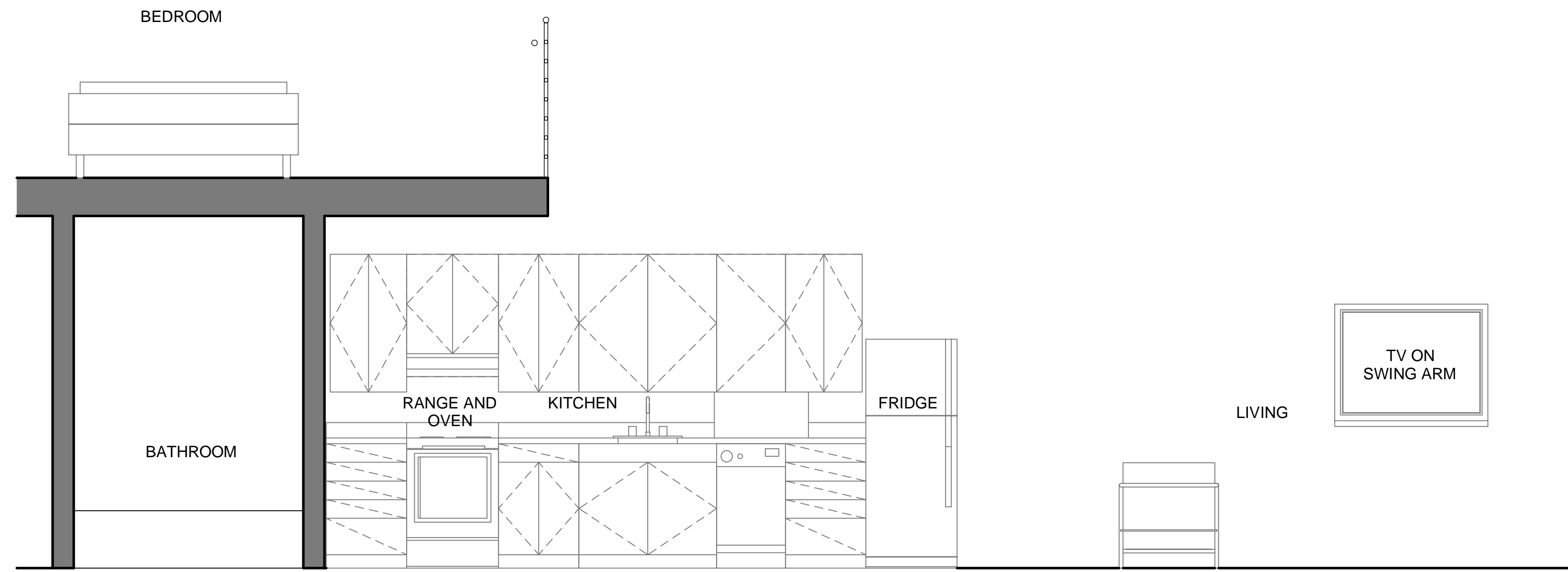


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drawing
ENLARGED LOBBY PLANS

drawn
checked
RH
date
3/07/18
scale
3/16" = 1'-0"
job no.
1802
sheet

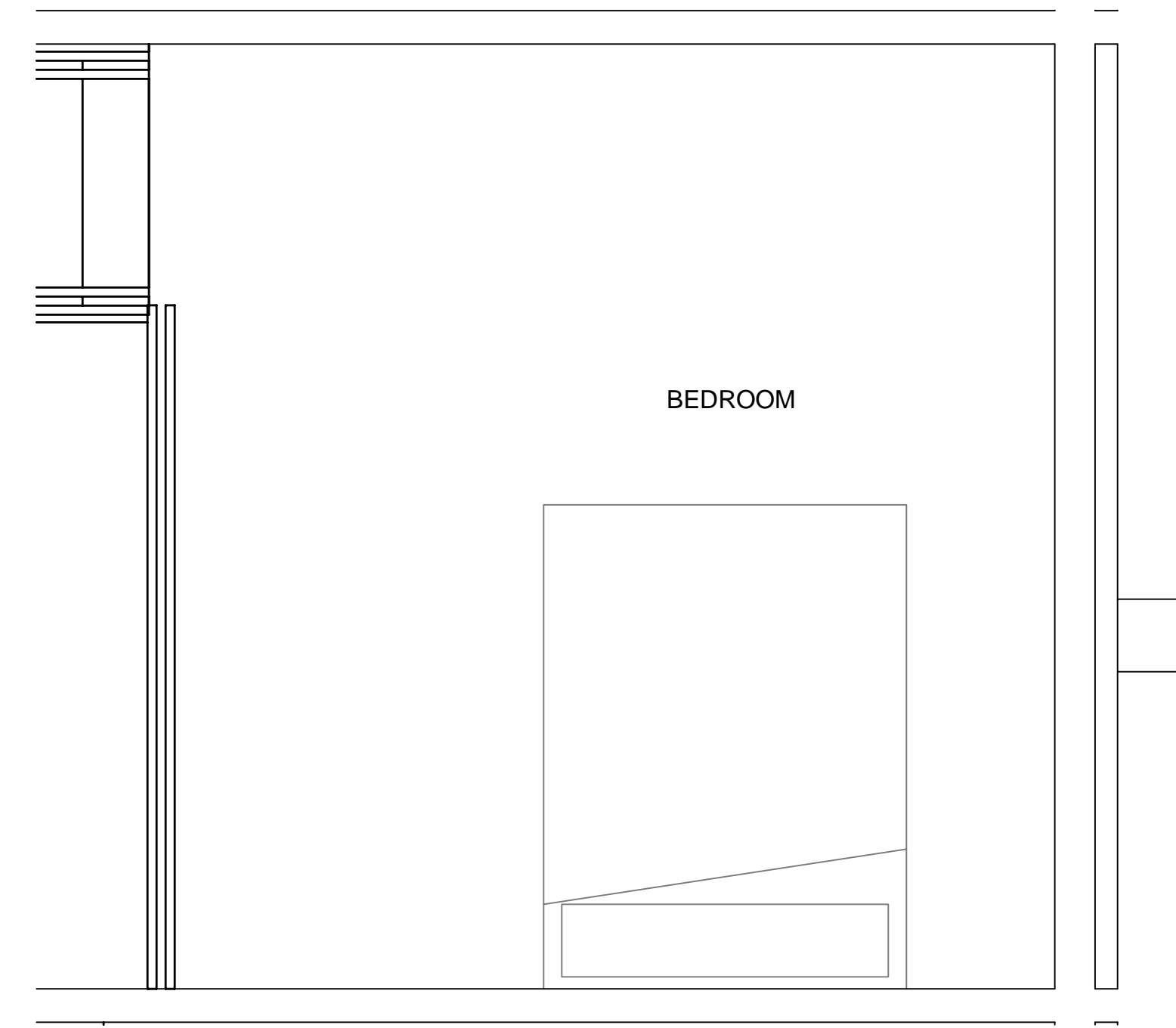
A8.5



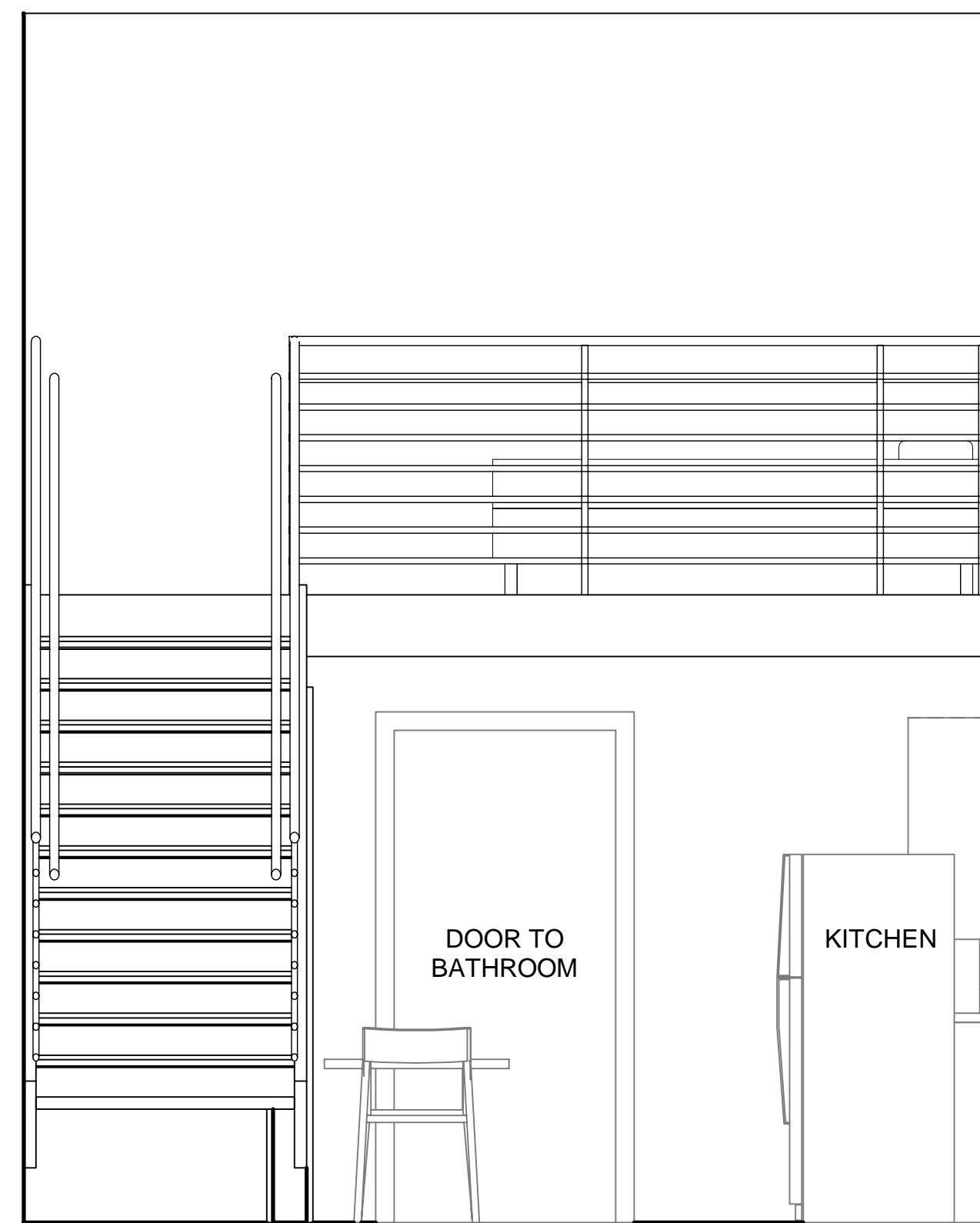
5 SOUTH ELEVATION OF TOWNHOUSE
1/2" = 1'-0"



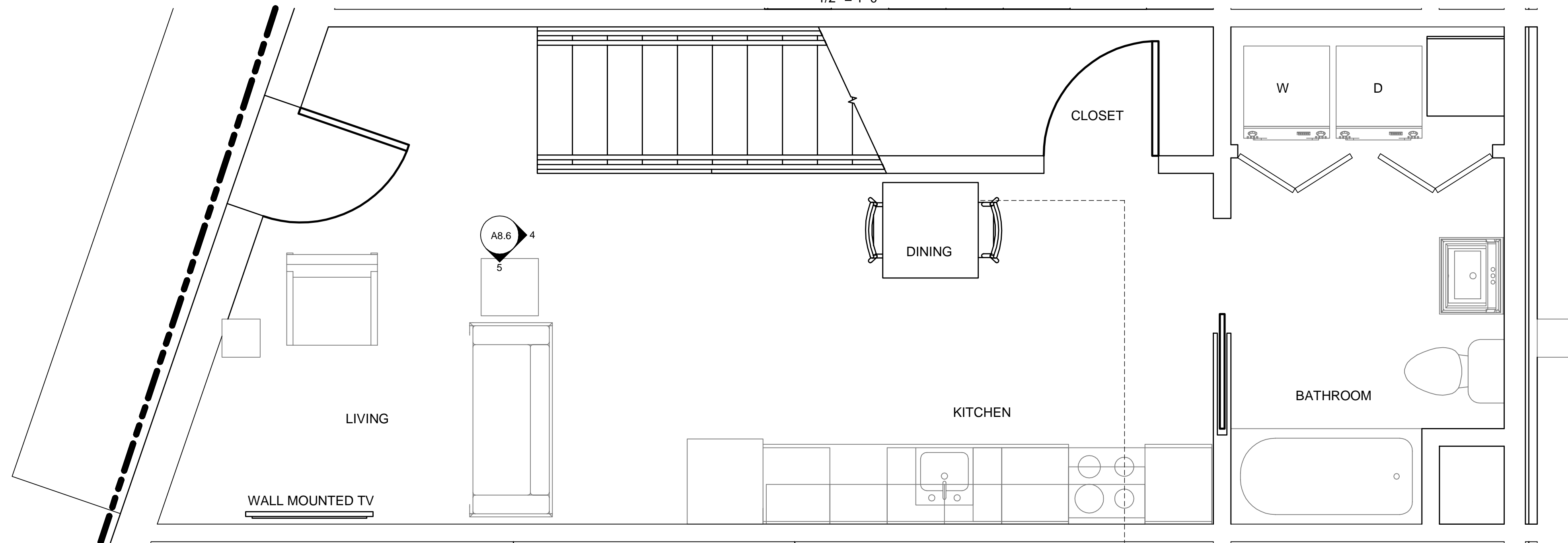
3 SECTION PERSPECTIVE OF TOWNHOUSE



2 TOWN HOUSE MEZZANINE
1/2" = 1'-0"



4 WEST ELEVATION OF TOWNHOUSE
1/2" = 1'-0"

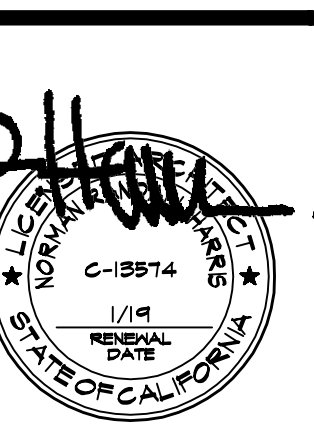


1 TOWNHOUSE
1/2" = 1'-0"

revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 11/08/18	AY



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drawing
TOWNHOUSE
PLANS

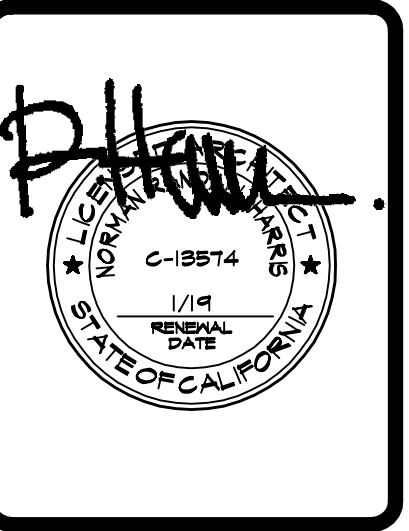
drawn
checked
RH
date
3/07/18
scale
1/2" = 1'-0"
job no.
1802
sheet

A8.6

revisions	by
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ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/09/18	AY

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3D VIEW LOOKING NORTH FROM
STORAGE BUILDING

drawing
3D VIEWS

drawn
checked
RH
date
3/07/18
scale
NO SCALE
job no.
1802
sheet

AP.1



3D VIEW LOOKING WEST ON DERBY STREET



3D VIEW FROM WALKER STREET



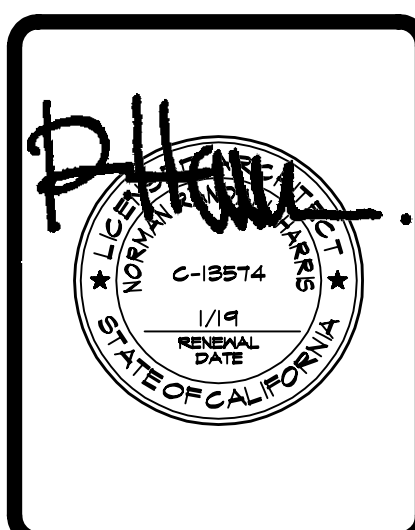
3D VIEW OF DERBY STREET EXIT



3D VIEW OF DERBY FACADE

revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/09/19	AY

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FOR:
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drawing
3D VIEWS

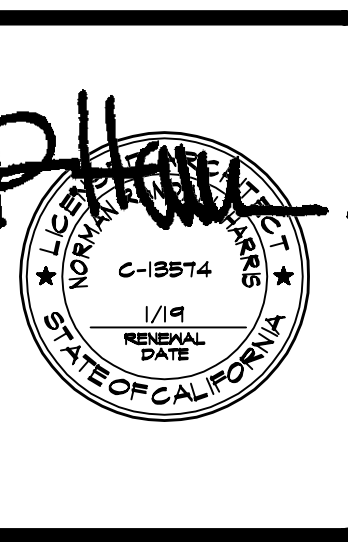
drawn
checked
RH
date
3/07/18
scale
NO SCALE
job no.
1802
sheet

A9.2

revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/09/18	AY



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3D VIEW OF FOURTH FLOOR OPEN SPACE



3D VIEW OF PODIUM OPEN SPACE

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 FOR:
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drawing
 3D VIEWS

drawn
 checked
 RH
 date
 3/07/18
 scale
 NO SCALE
 job no.
 1802
 sheet

A9.3



BIRD'S EYE VIEW OF NORTHWEST CORNER



BIRD'S EYE VIEW OF SOUTHWEST CORNER



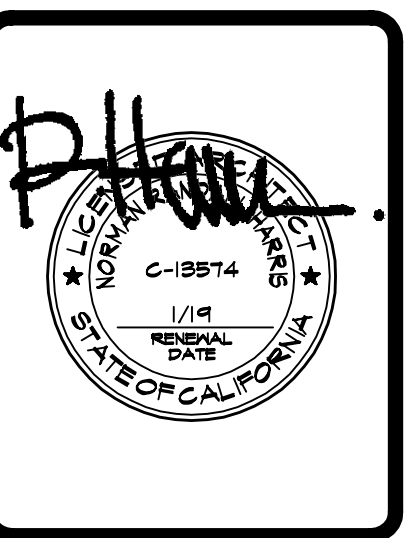
BIRD'S EYE VIEW OF NORTHEAST CORNER



BIRD'S EYE VIEW OF SOUTHEAST CORNER

revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/09/19	AY

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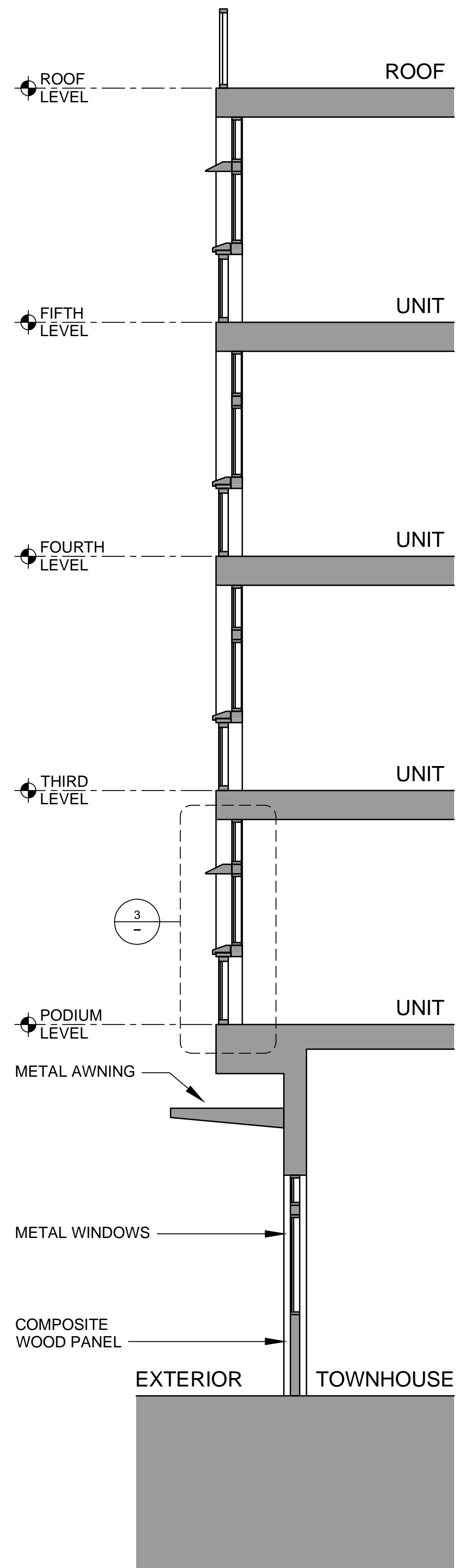


2701 SHATTUCK AVENUE
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FOR:
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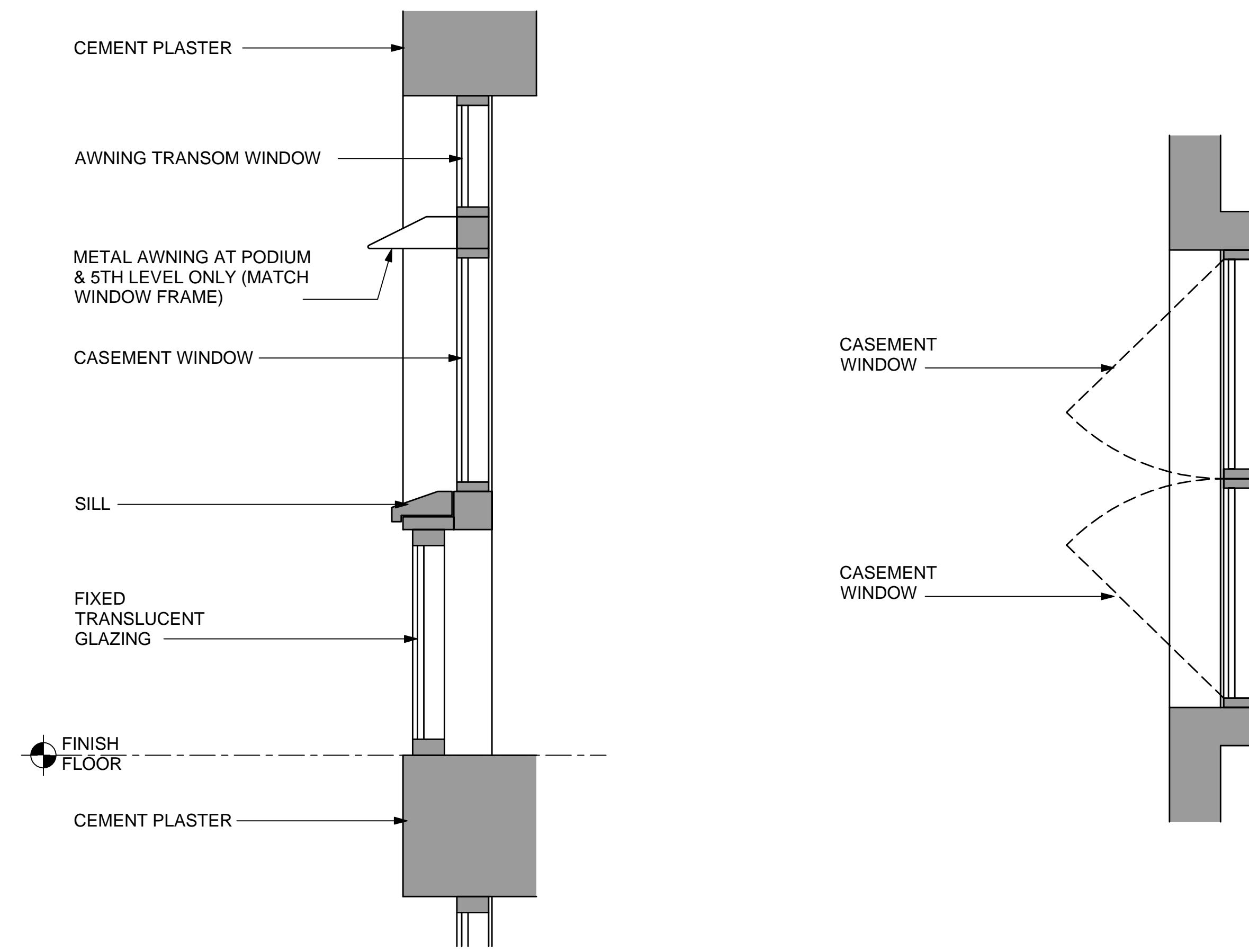
drawing
3D VIEWS

drawn
checked
RH
date
3/07/18
scale
NO SCALE
job no.
1802
sheet

A9.4



4 WALL SECTION
1/4" = 1'-0"



3 TYPICAL SECTION AT WINDOW SYSTEM
3/4" = 1'-0"

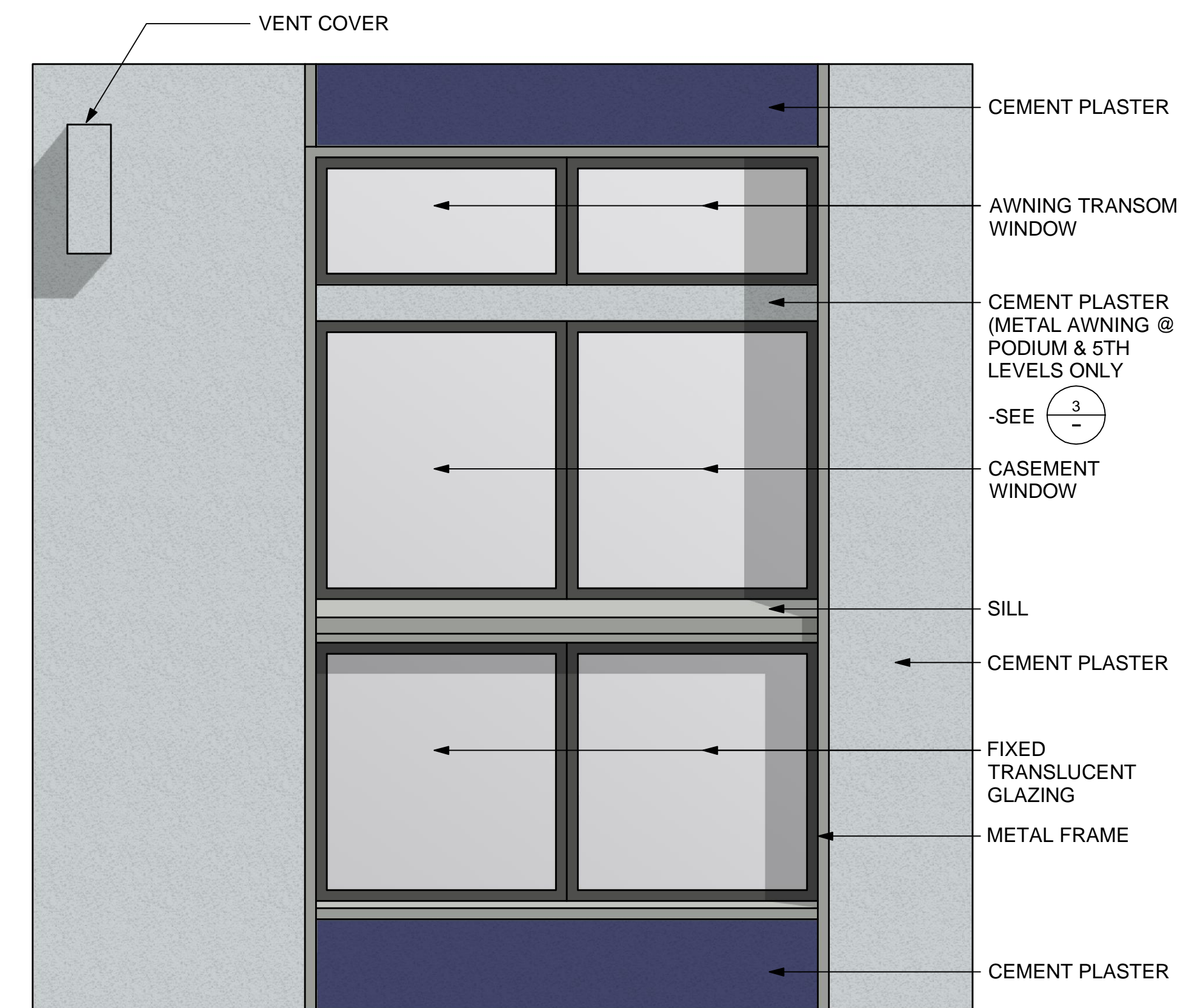
1 WINDOW SYSTEM PLAN
3/4" = 1'-0"



2 DETAIL ELEVATION OF UNIT WINDOW
3/4" = 1'-0"



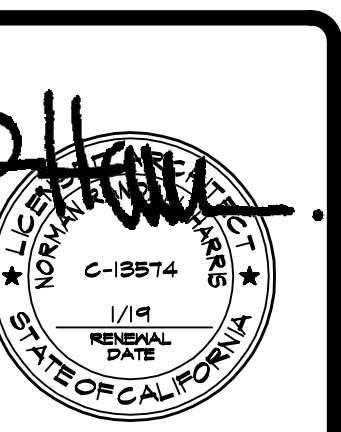
A



B

revisions	by
DRC SUBMITTAL 12/15/18 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/09/18	AY

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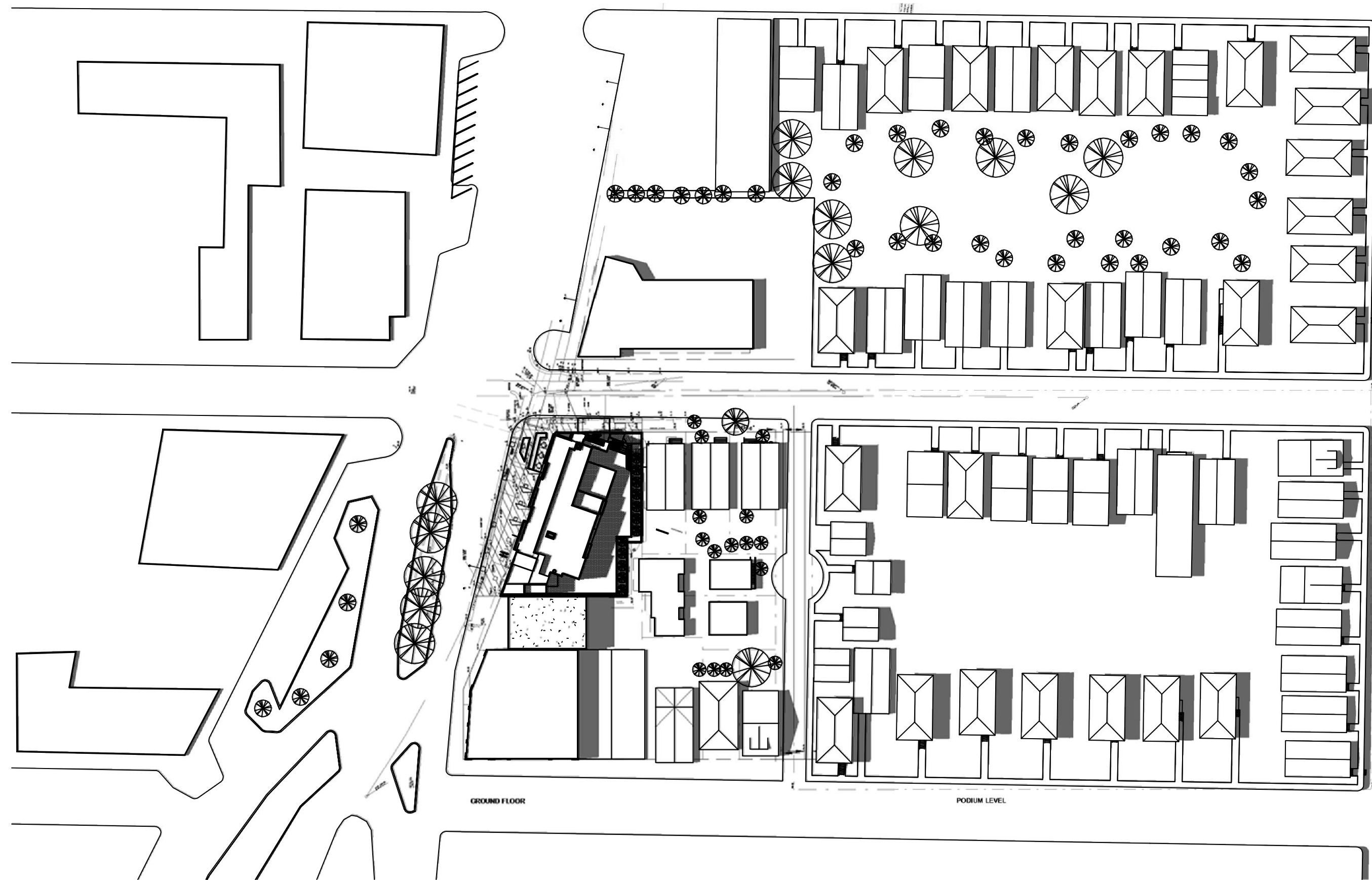


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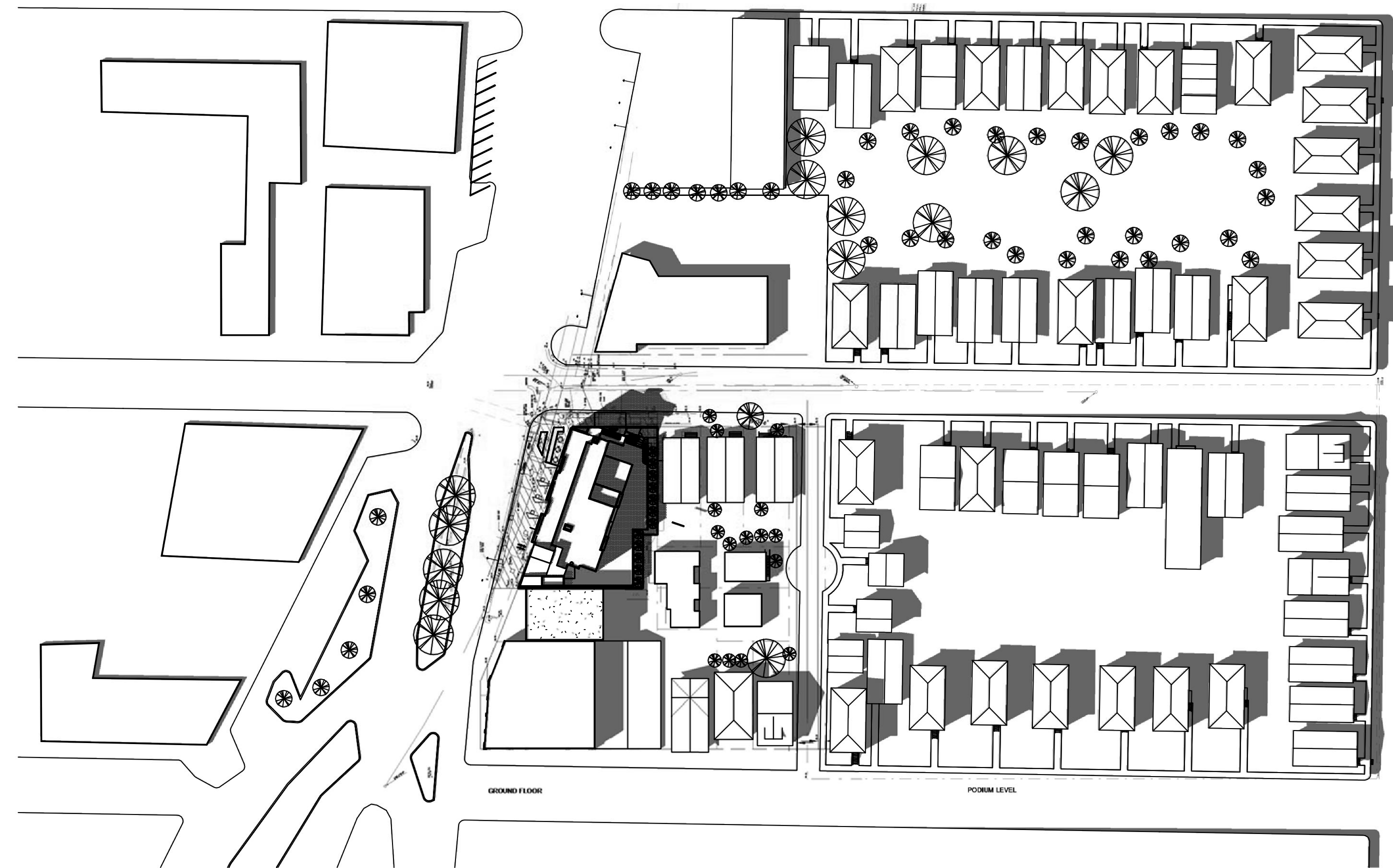
drawing
WINDOW
ASSEMBLY

drawn
MM/AY
checked
RH
date
3/07/18
scale
AS SHOWN
job no.
1802
sheet

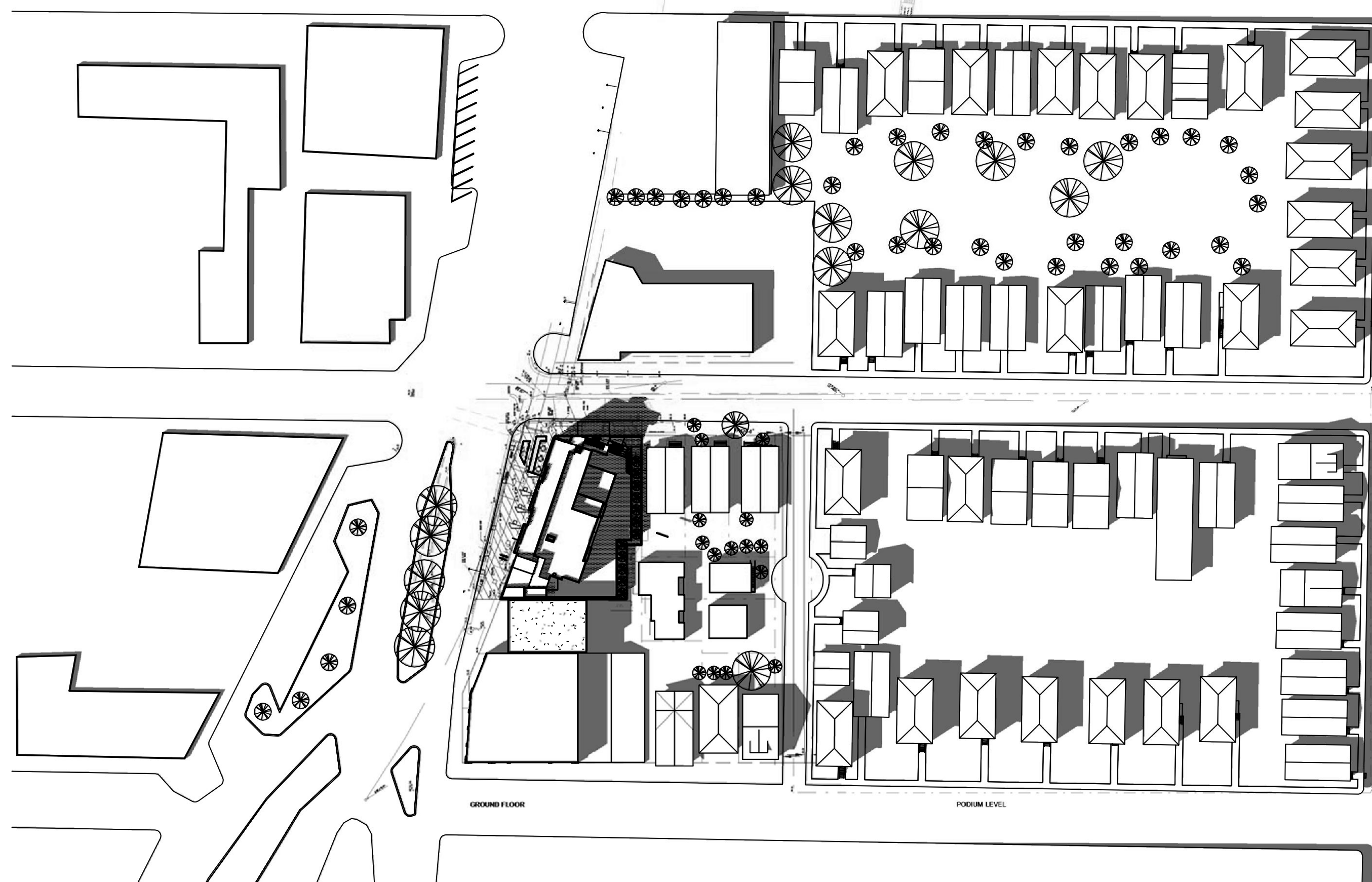
A10.1



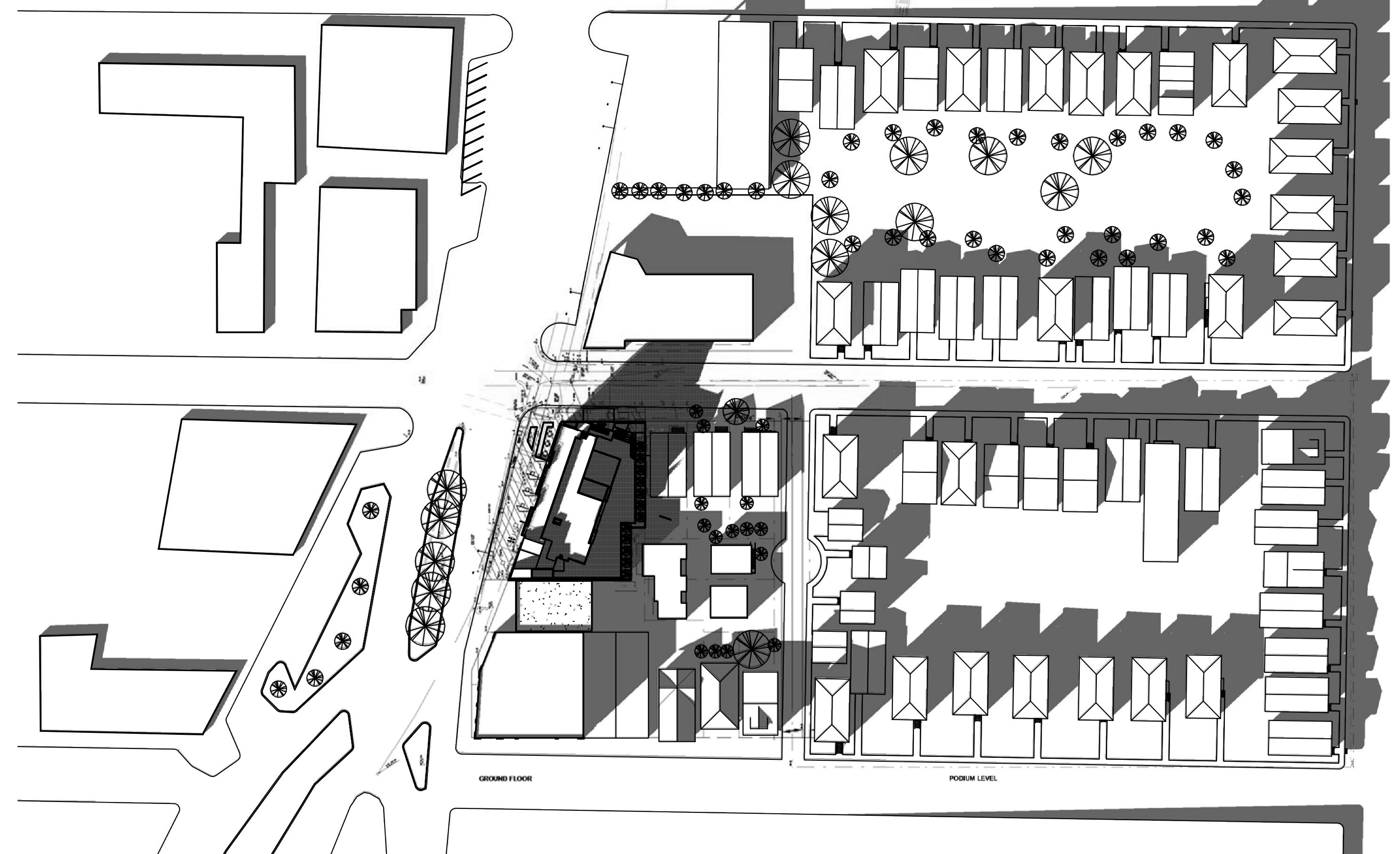
JUNE 21, 2 PM



SEPTEMBER 21, 2 PM



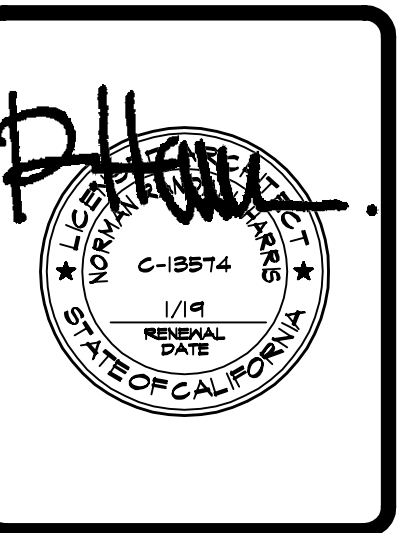
MARCH 21, 2 PM



DECEMBER 21, 2 PM

revisions	by
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ZAB SUBMITTAL 4/12/17	-
ZAB SUBMITTAL 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY

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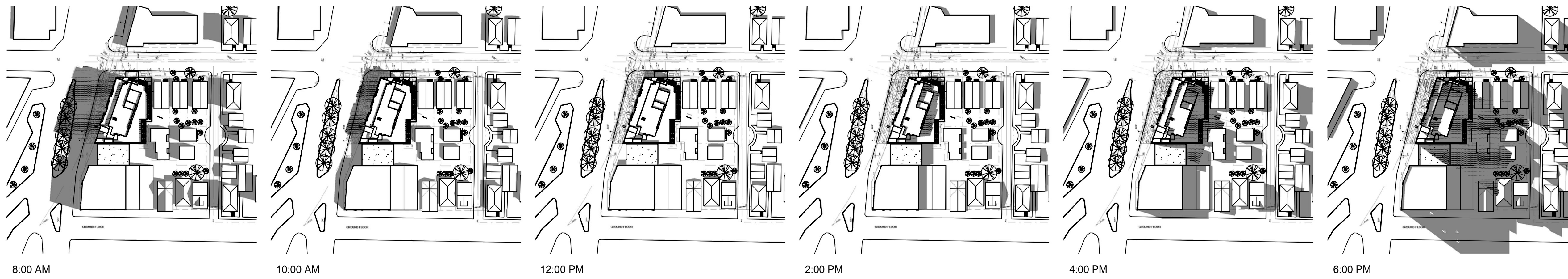
**2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
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drawing
**SHADOW STUDY
-AFTERNOON**

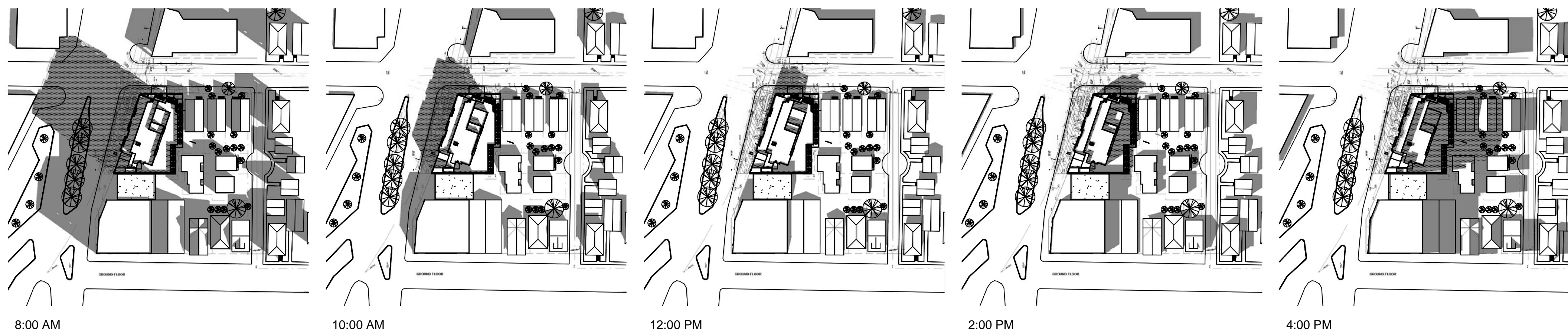
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checked
RH
date
3/07/18
scale
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job no.
1802
sheet



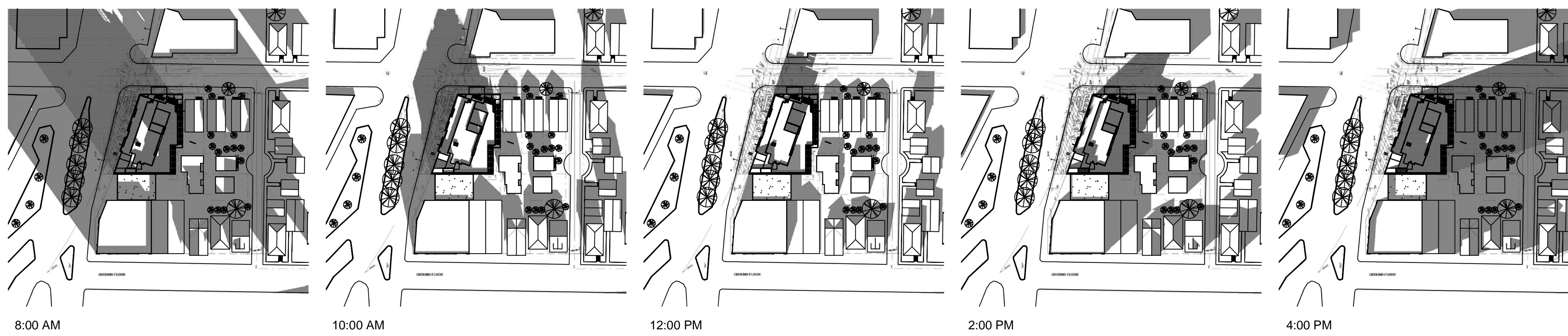
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SEPTEMBER 21, MARCH 21

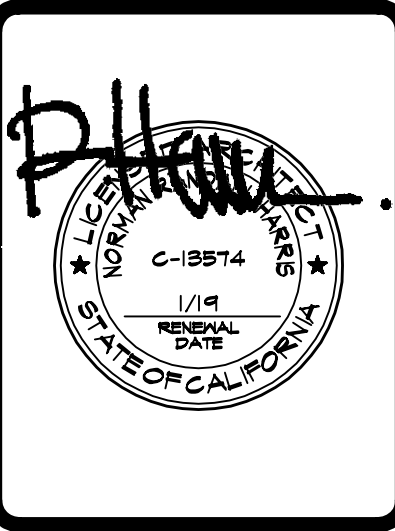


DECEMBER 21



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ZAB SUBMITTAL 4/12/17	-
ZAB SUBMITTAL 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY

HDO
architects, planners
2950 camino diablo
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walnut creek, ca
94597
(925) 256-6042



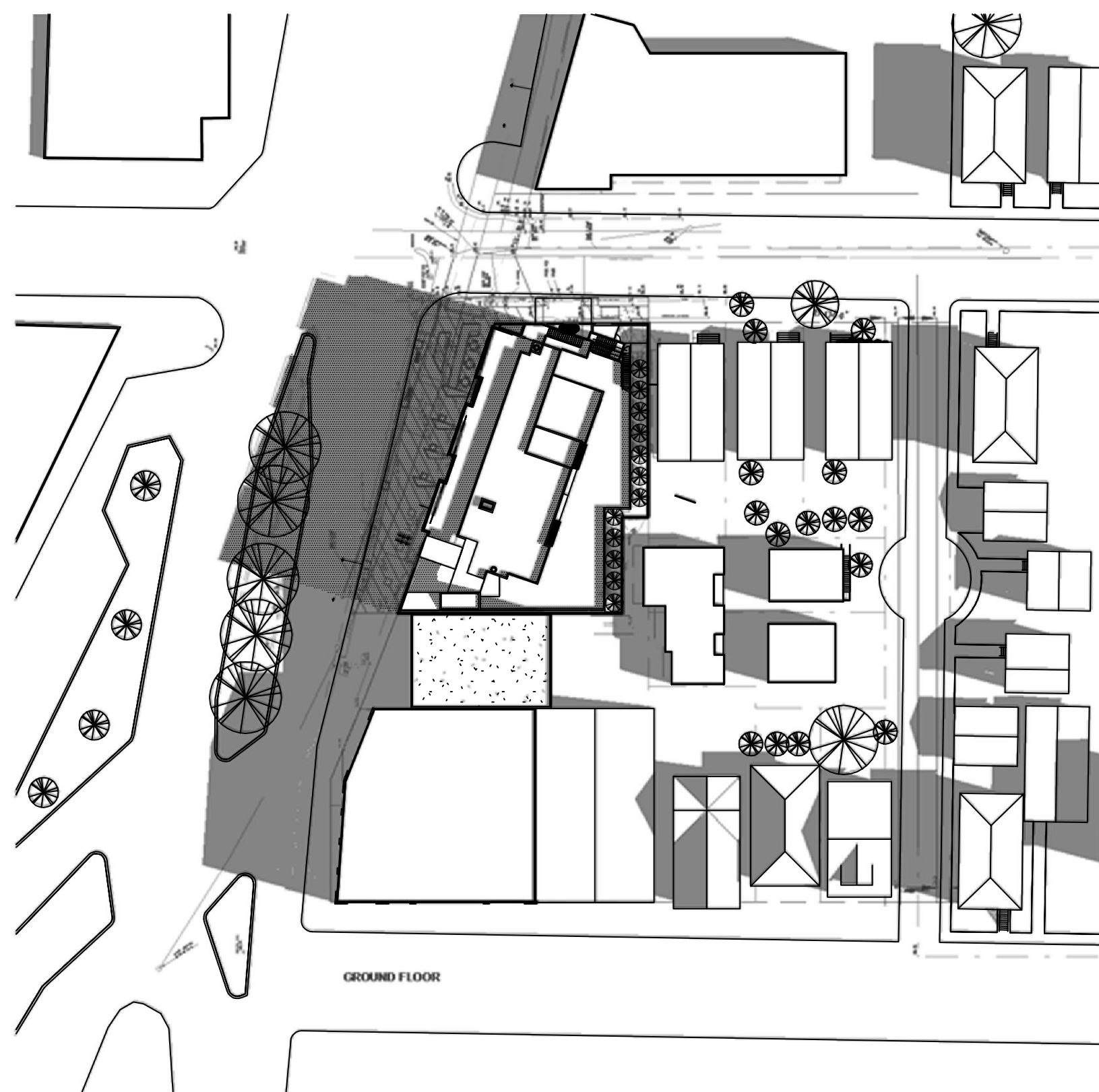
2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
SHADOW STUDY
-SEASONAL

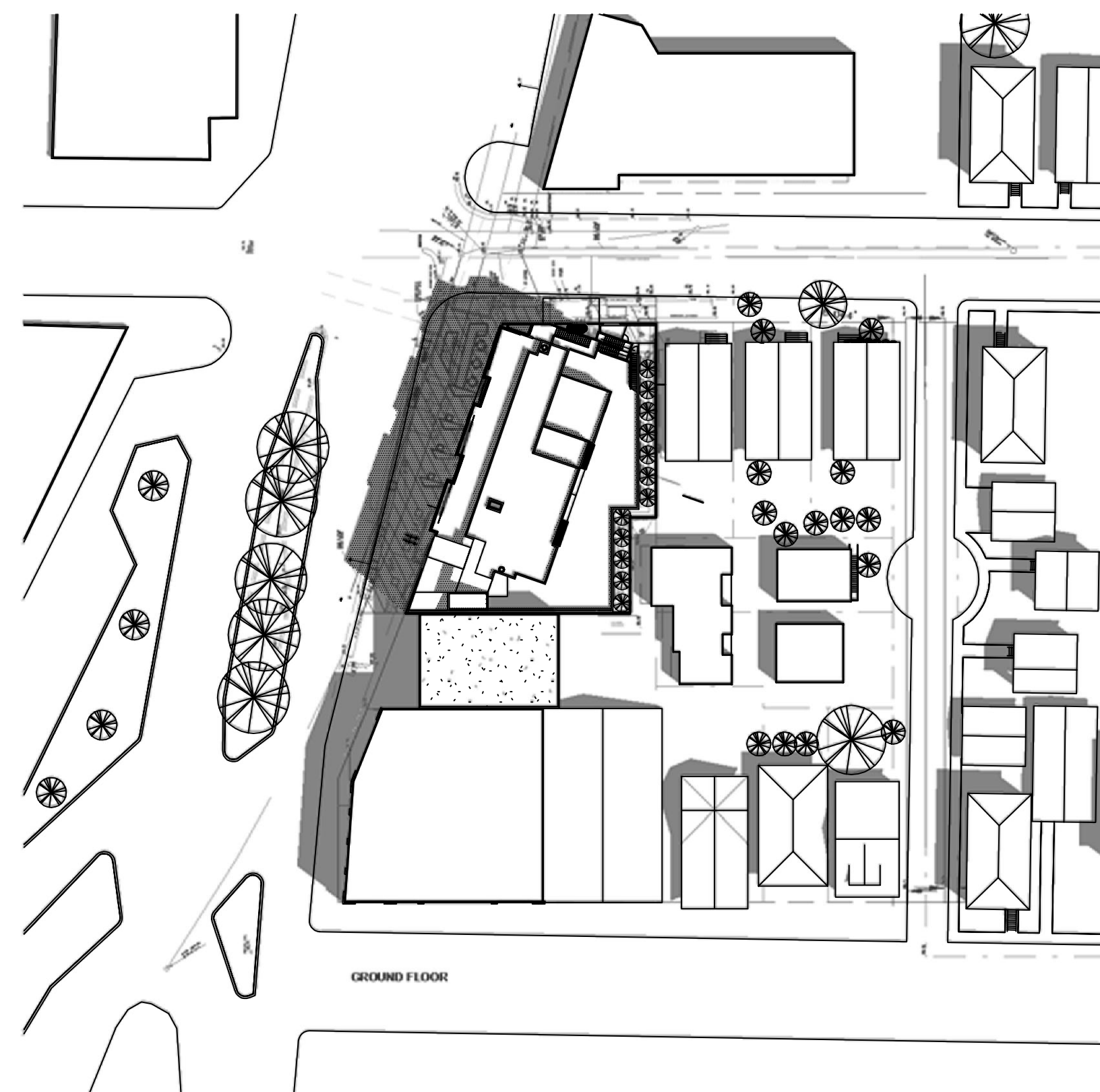
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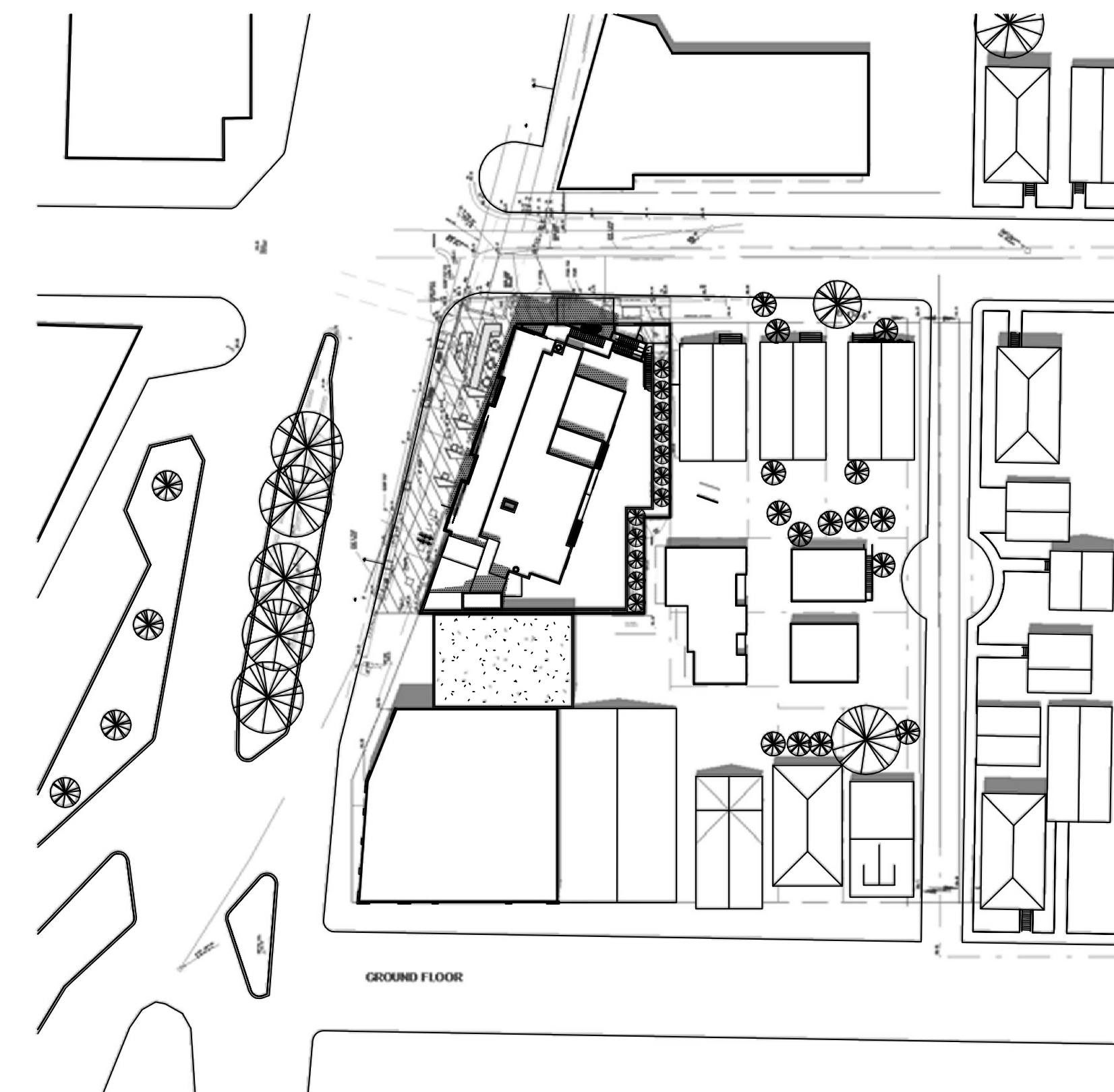
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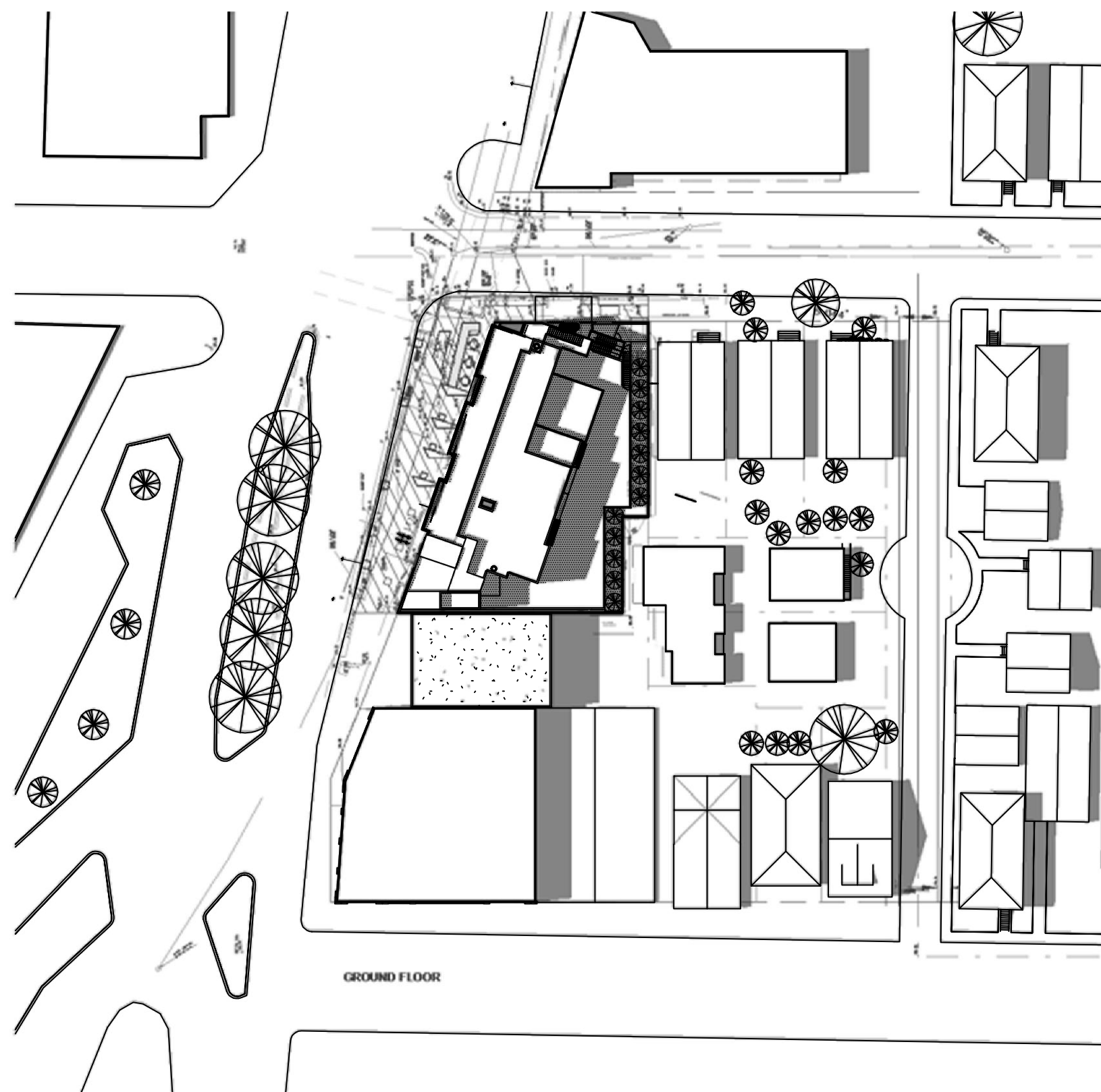
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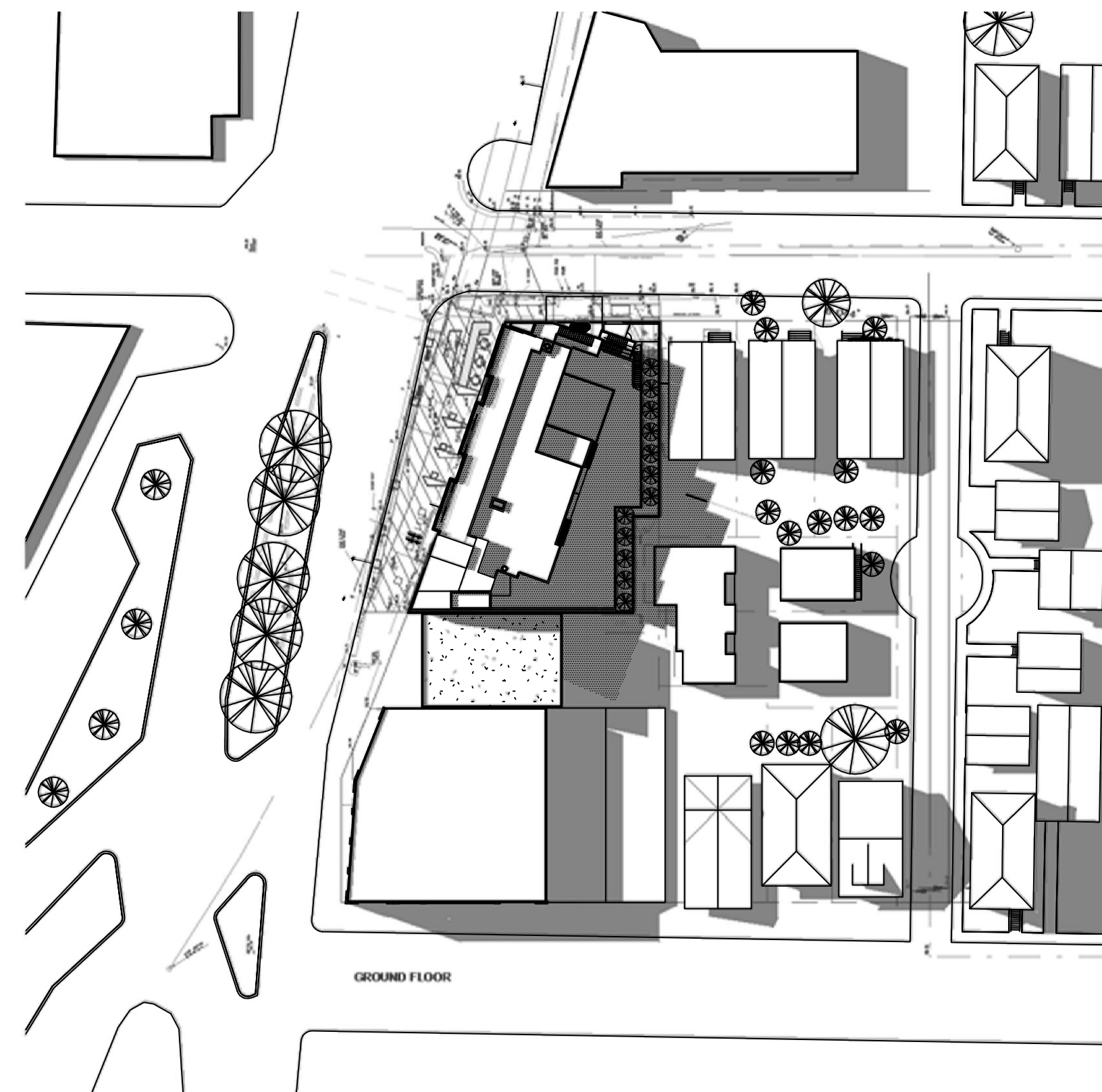
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③ JUNE 21, 12 PM
1" = 60'-0"



④ JUNE 21, 2 PM
1" = 60'-0"



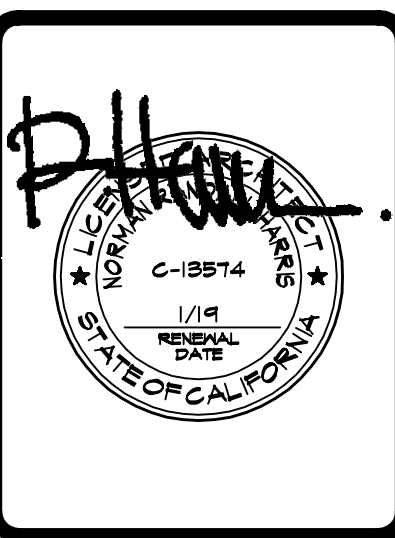
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ZAB SUBMITTAL 4/12/17	-
ZAB SUBMITTAL 1/23/18	-
ZAB SUBMITTAL 3/07/18	AY
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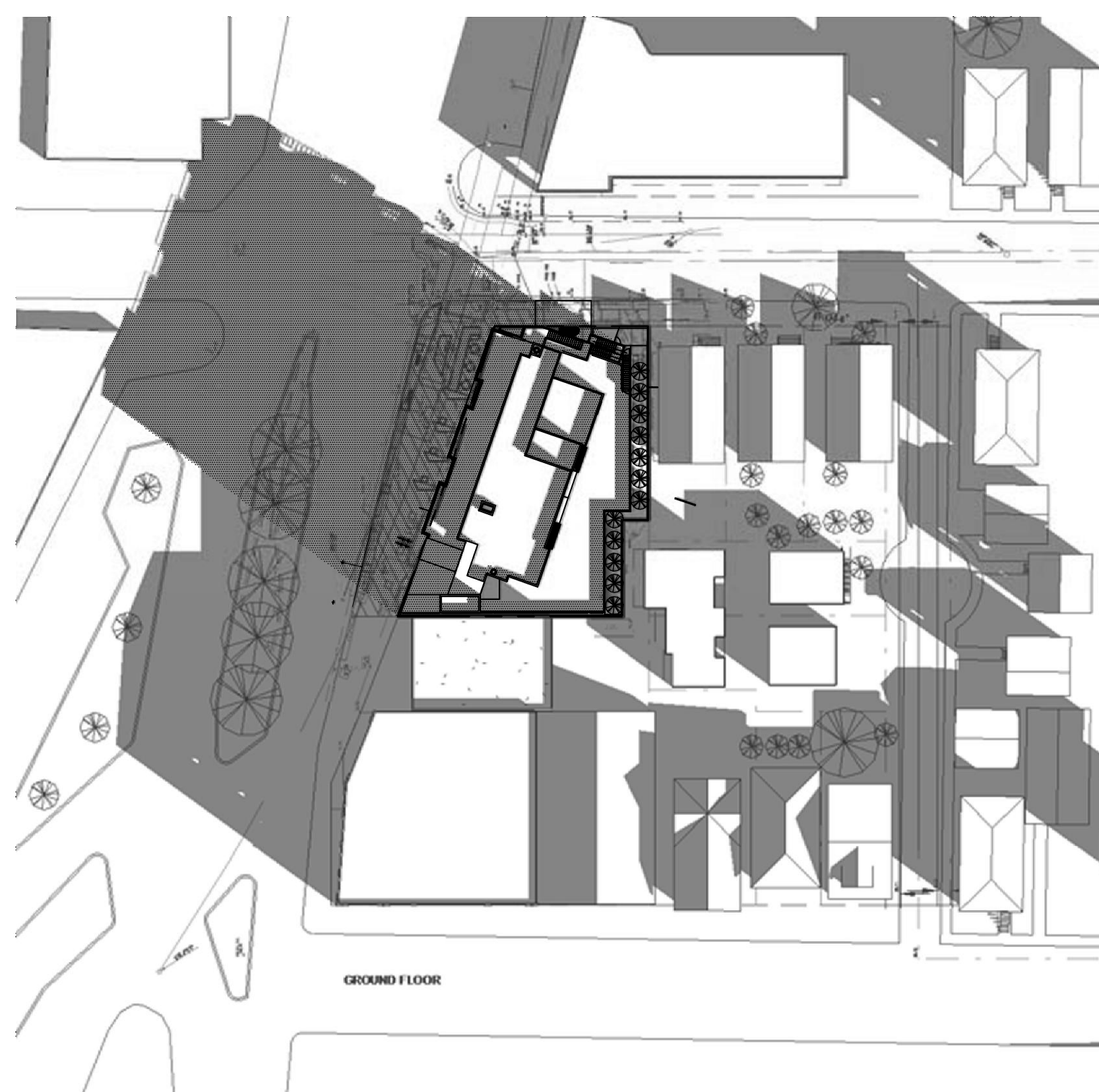
**2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC**

drawing
**SHADOW STUDY
- JUNE 21**

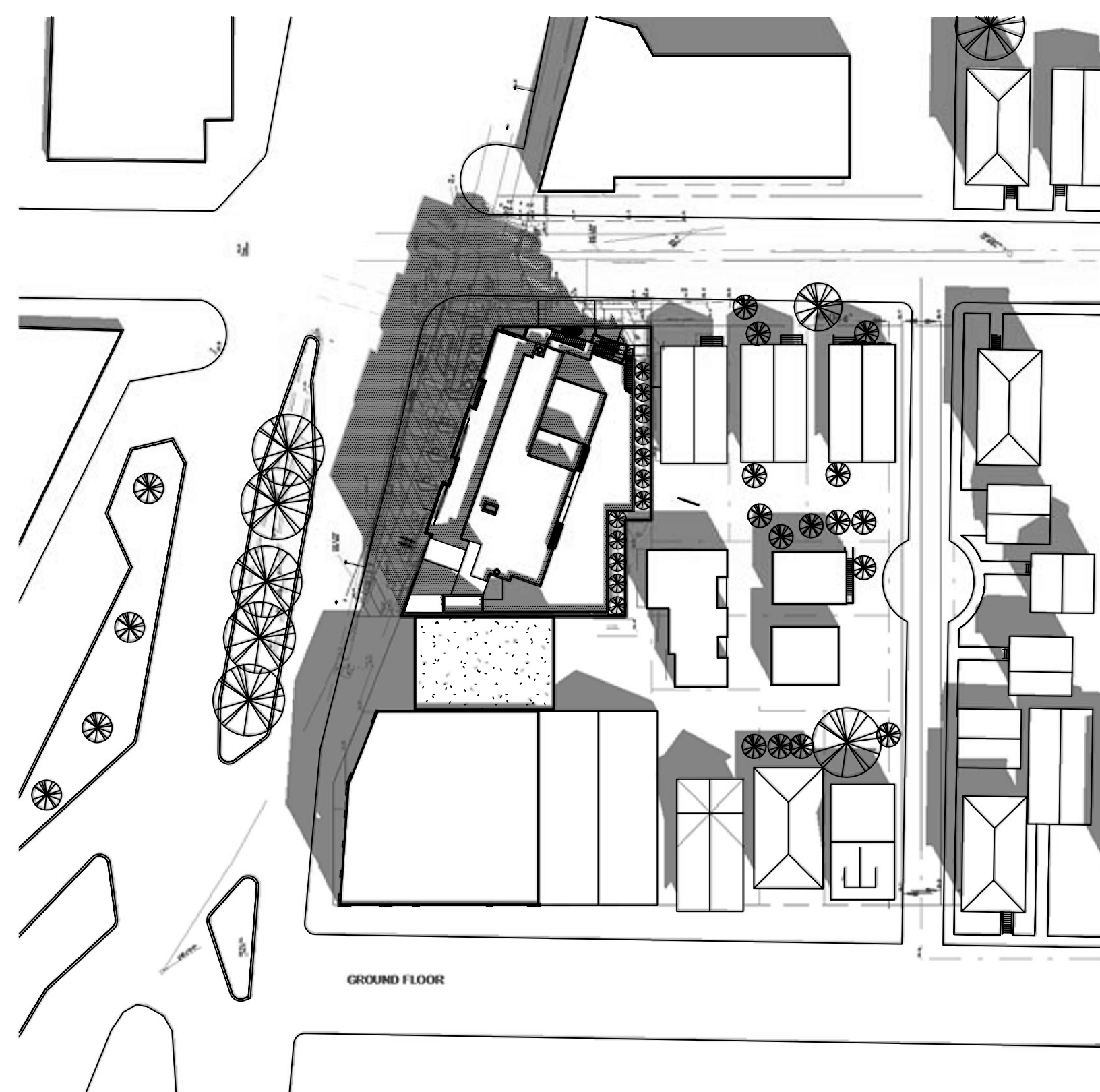
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sheet	

S.1.2

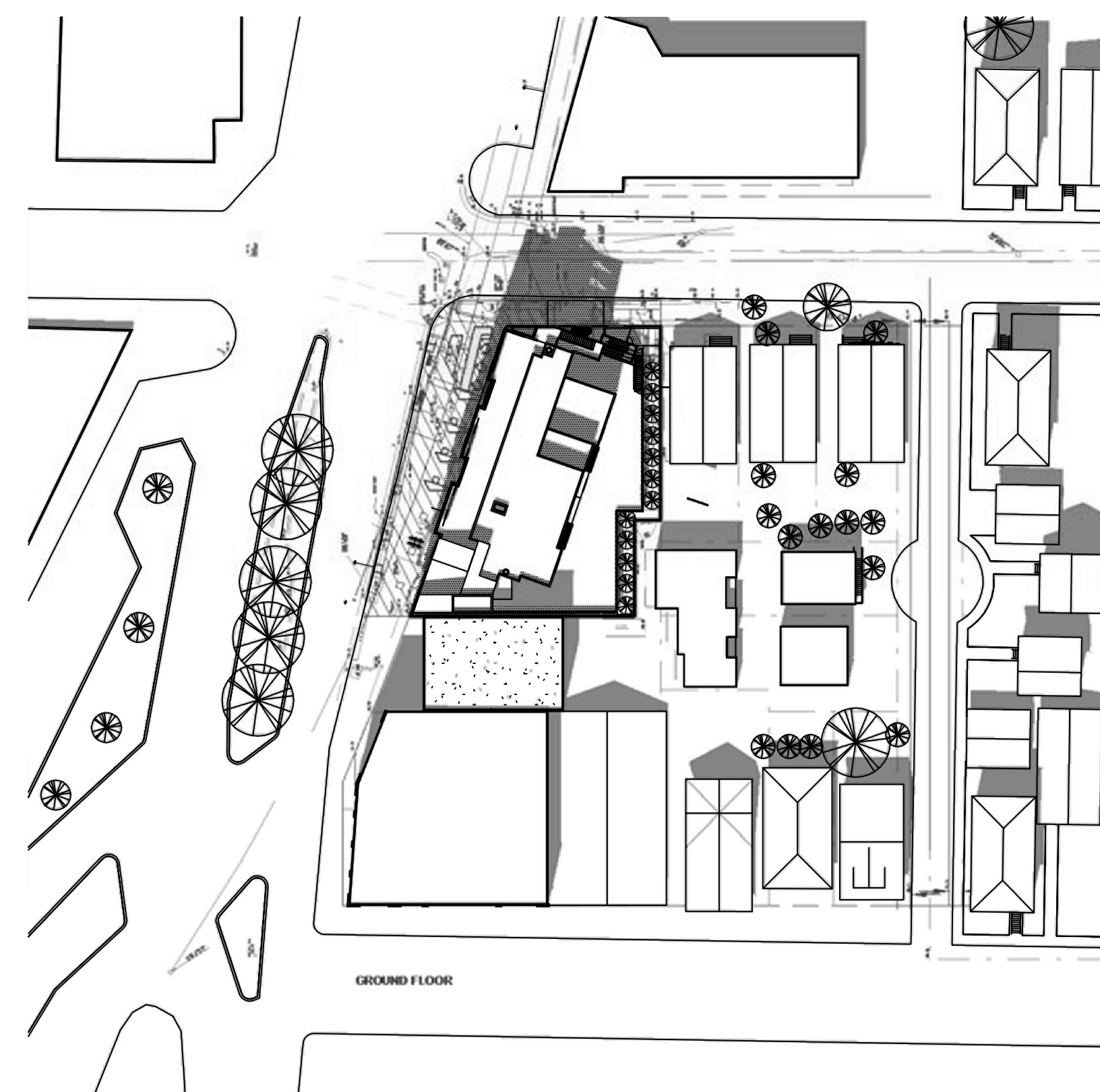
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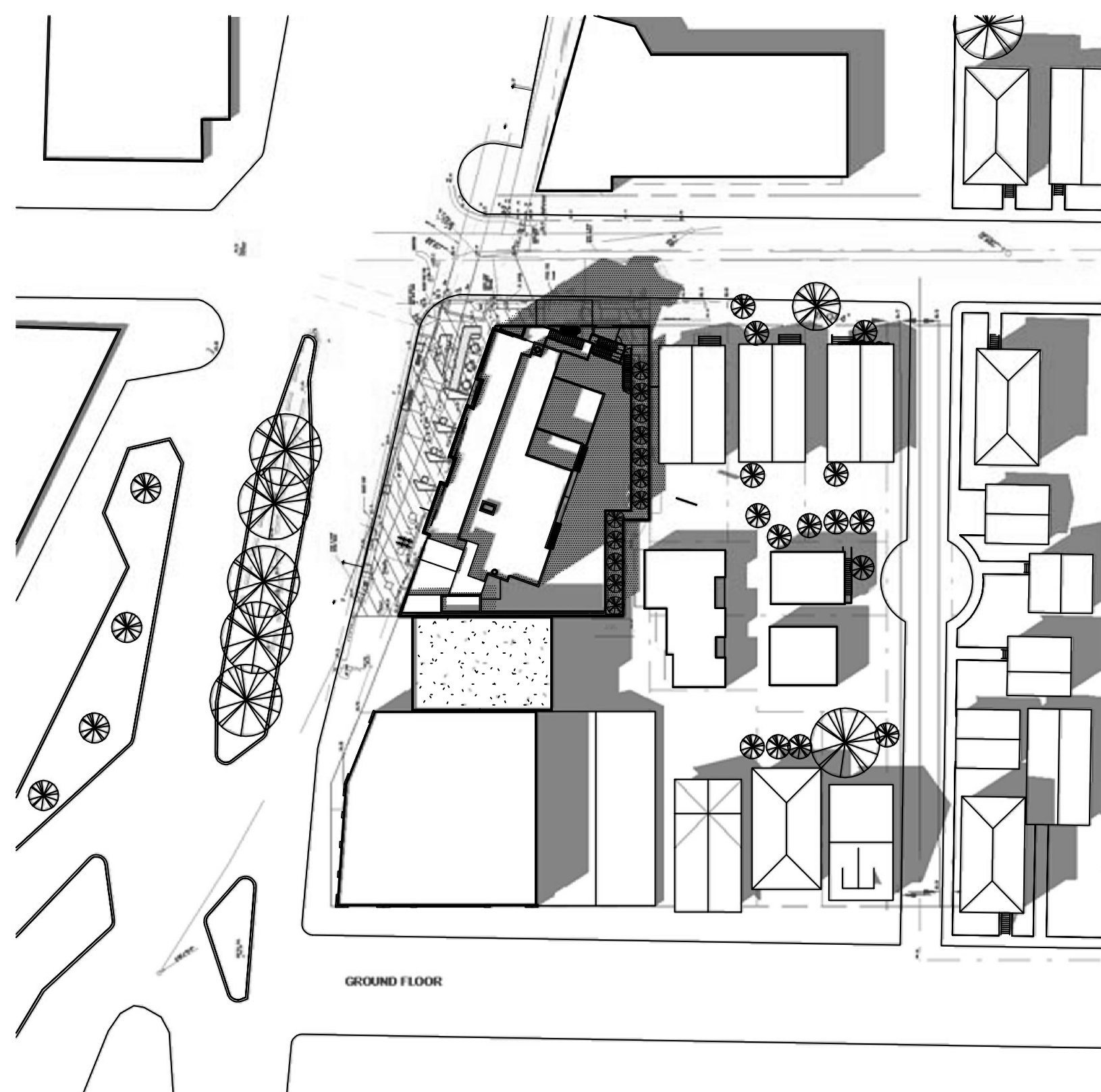
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1" = 60'-0"



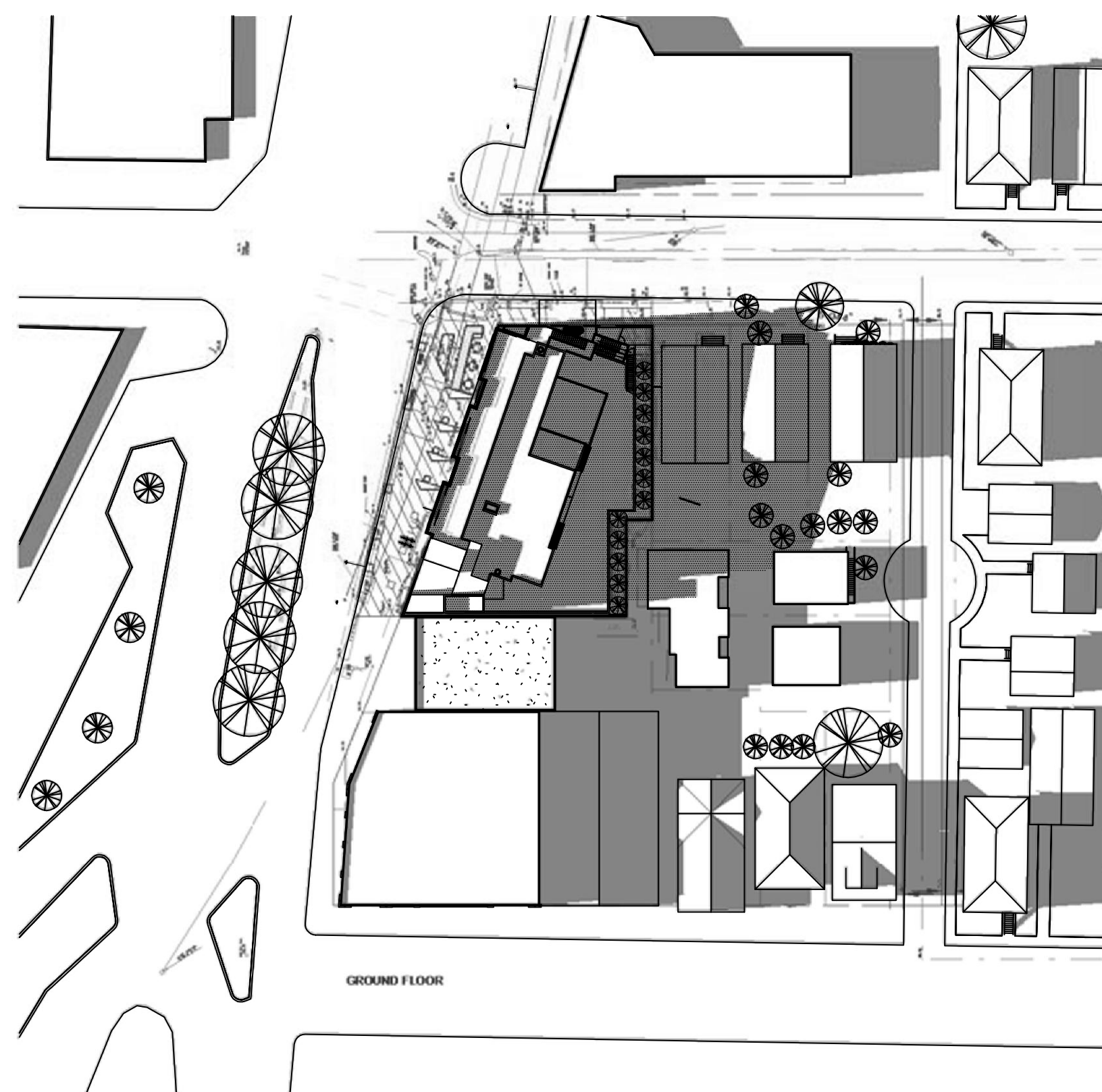
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③ MARCH 21, SEPTEMBER 21, 12 PM
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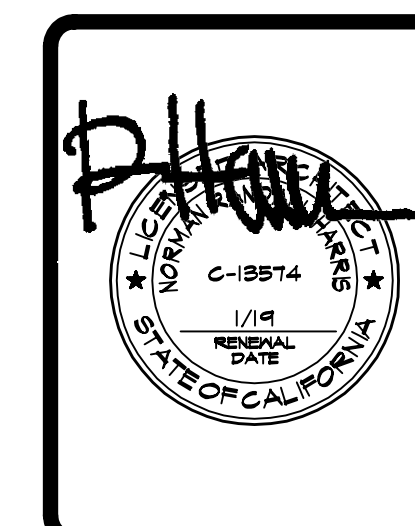
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⑤ MARCH 21, SEPTEMBER 21, 4 PM
1" = 60'-0"

revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17	-
ZAB SUBMITTAL 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY

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(925) 256-6042



**2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC**

drawing
**SHADOW STUDY
-MARCH 21 AND
SEPTEMBER 21**

drawn
checked RH
date 3/07/18
scale 1" = 60'-0"
job no. 1802
sheet

S.3

DECEMBER 21



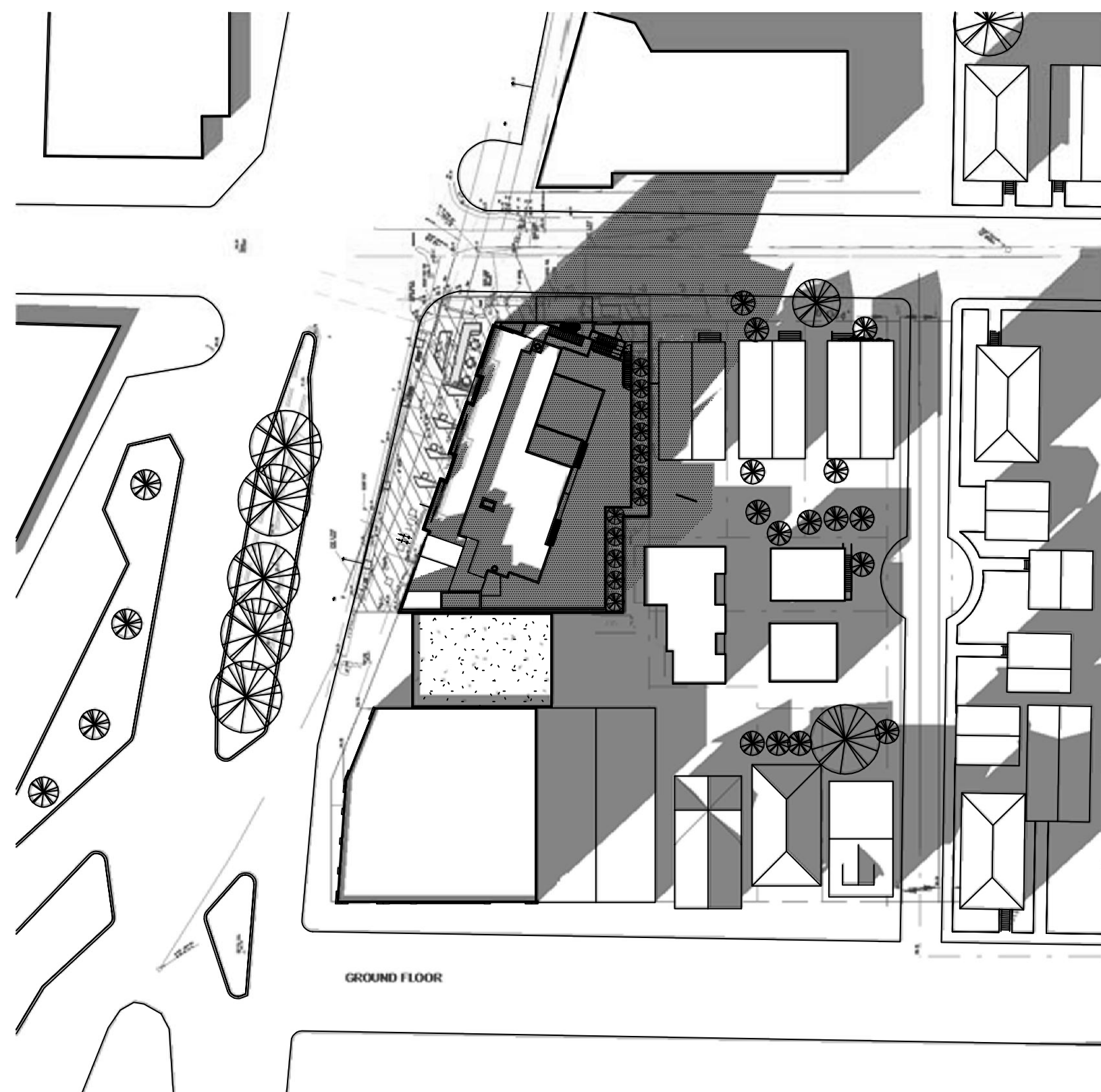
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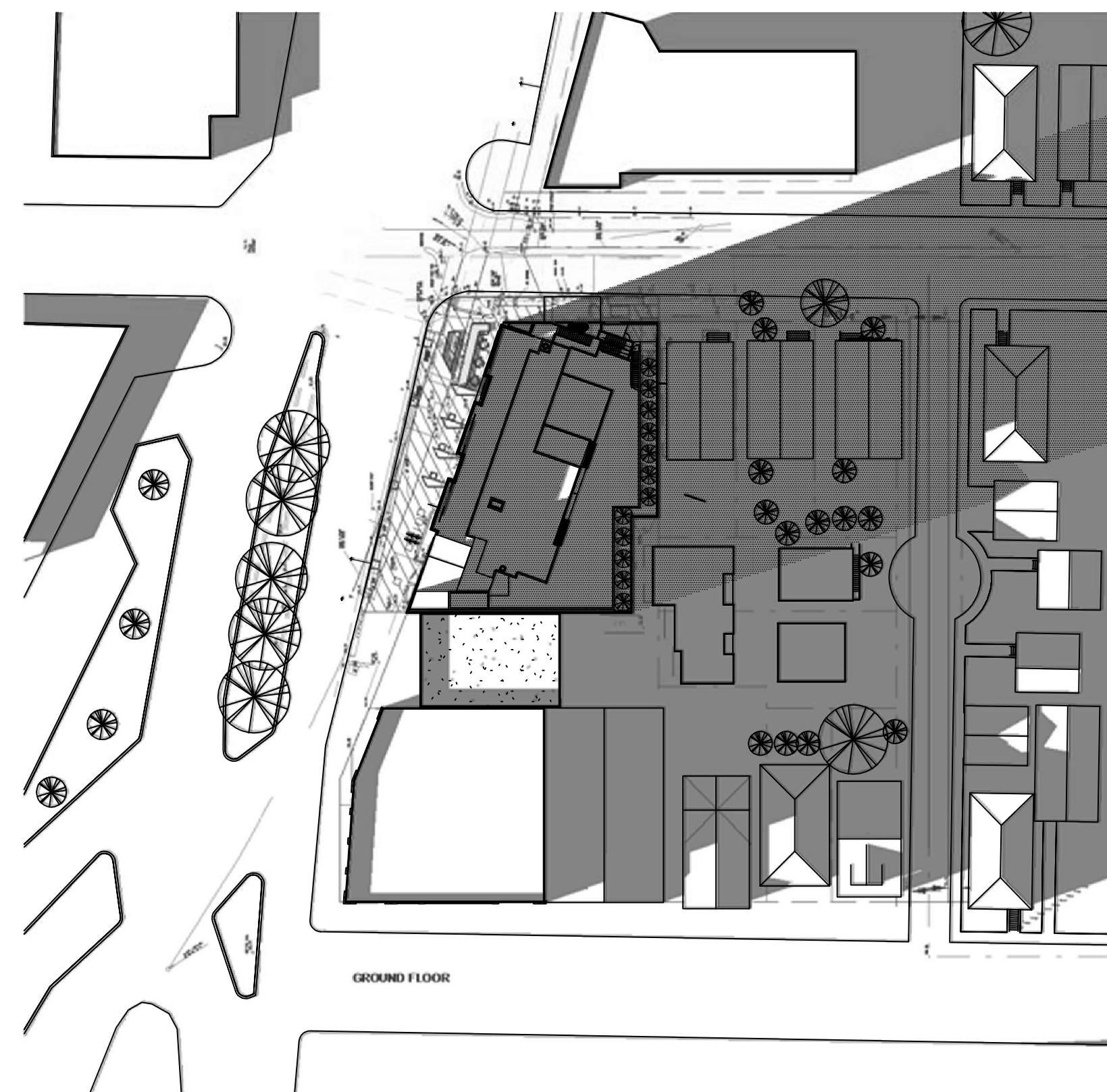
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1" = 60'-0"



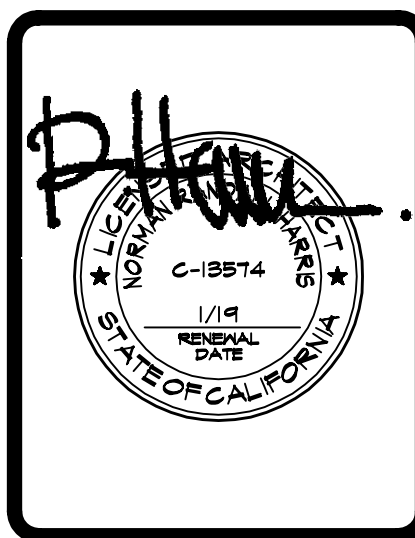
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1" = 60'-0"



⑤ DECEMBER 21, 4 PM
1" = 60'-0"

revisions	by
DRC SUBMITTAL 12/15/18 & 1/27/17	-
ZAB SUBMITTAL 9/12/17	-
ZAB SUBMITTAL 1/23/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY

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**2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC**

drawing
**SHADOW STUDY
-DECEMBER 21**

drawn
checked RH
date 3/07/18
scale 1" = 60'-0"
job no. 1802
sheet

S.I.4

2701 SHATTUCK AVENUE CIVIL CONSTRUCTION DOCUMENTS

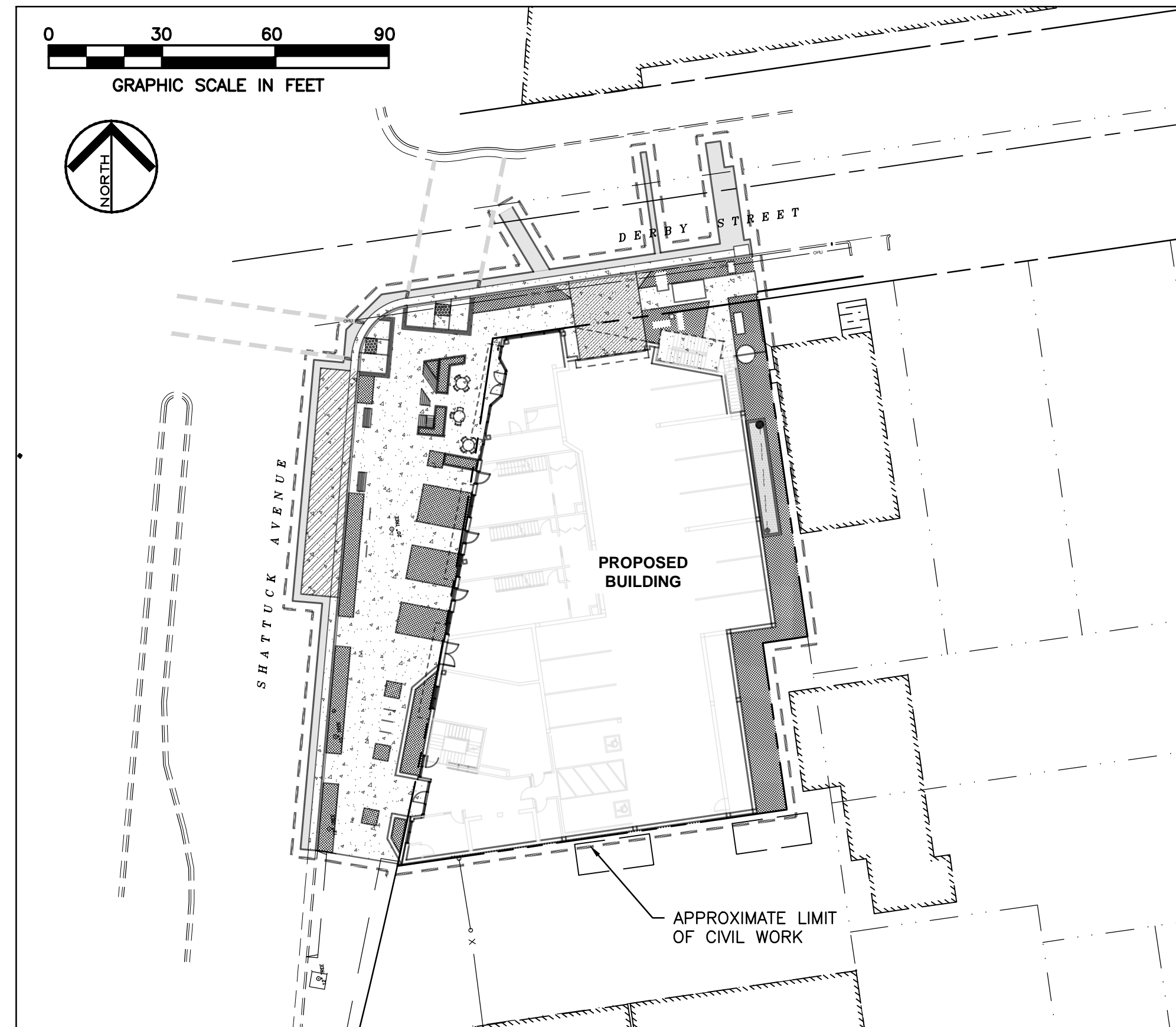
CITY OF BERKELEY, CALIFORNIA

LEGEND

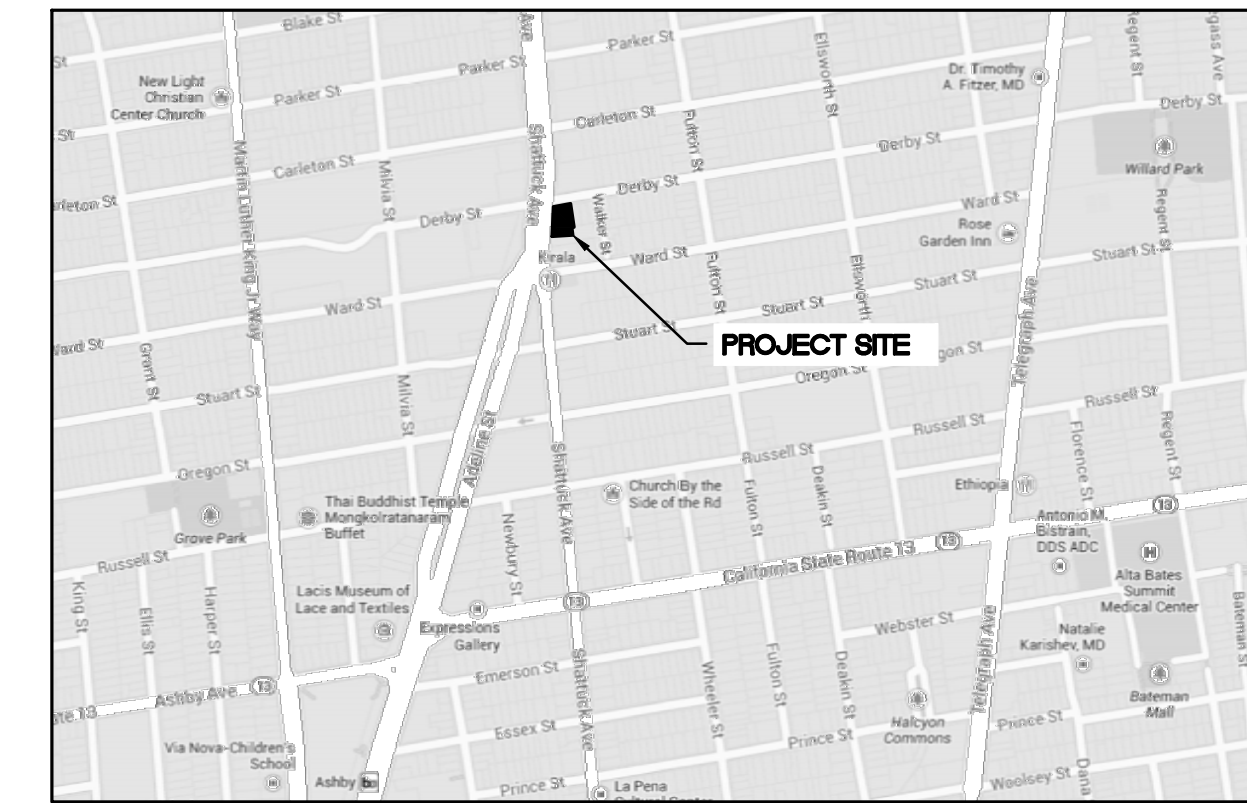
- EXISTING PROPERTY LINE
- EXISTING SITE IMPROVEMENTS
- PROPOSED PCC CURB
- SAN EXISTING SANITARY SEWER LINE
- WTR EXISTING WATER LINE
- SD EXISTING STORM DRAIN LINE
- OETC EXISTING OVERHEAD ELECTRICAL, TELEPHONE, AND COMMUNICATION LINE
- G EXISTING GAS LINE
- X PROPOSED GOOD NEIGHBOR FENCE
- PROPOSED HANDRAIL
- G PROPOSED GAS SERVICE
- FP PROPOSED FIRE WATER SERVICE
- 6" SAN PROPOSED SANITARY SEWER LINE
- 6" SD PROPOSED STORM DRAIN LATERAL
- PROPOSED PERFORATED STORM DRAIN LINE
- WTR PROPOSED WATER LINE
- UE PROPOSED UNDERGROUND ELECTRICAL SERVICE LINE
- UT PROPOSED UNDERGROUND TELEPHONE SERVICE LINE
- WTR PROPOSED UNDERGROUND CABLE SERVICE LINE
- APPROXIMATE LIMIT OF CIVIL WORK
- PROPOSED PCC PAVEMENT SIDEWALK
- PROPOSED CITY OF BERKELEY BUS STOP
HEAVY DUTY PCC PAVEMENT BUS STOP
- PROPOSED LANDSCAPE AREA - REFER TO
LANDSCAPE PLANS FOR ALL DETAILS
- PROPOSED DETECTABLE WARNING
- PROPOSED AC PAVING
- PROPOSED SIGN
- PROPOSED BACK FLOW PREVENTER / REDUCE
PRESSURE PRINCIPLE DEVICE
- PROPOSED WATER SUB-METER
- PROPOSED WATER METER
- PROPOSED CLEANOUT
- PROPOSED AREA DRAIN
- PROPOSED UNDERGROUND ELECTRICAL VAULT.
SEE ELECTRICAL PLANS FOR DETAILS
- PROPOSED UTILITY POLE
- EXISTING STREET MONUMENT
- EXISTING WATER BOX
- EXISTING UTILITY BOX
- EXISTING FIRE ALARM BOX
- EXISTING ELECTRIC BOX
- EXISTING JOINT POLE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER CLEANOUT
- EXISTING STORM DRAIN MANHOLE
- EXISTING CATCH BASINS
- EXISTING TRAFFIC SIGNAL
- EXISTING STREET LIGHT
- EXISTING STREET SIGN
- EXISTING GRADE
- CONTROL POINT
- SITE BENCHMARK

ABBREVIATIONS

AC ASPHALT CONCRETE	FDC FIRE DEPARTMENT CONNECTION	N.I.C. NOT IN CONTRACT	TEV TELEPHONE VAULT
ADA AMERICANS WITH DISABILITIES ACT	FF FINISHED FLOOR	NO NUMBER	TL TRAFFIC LIGHT
APN ASSESSORS PARCEL NUMBER	FG FINISHED GRADE	N.T.S. NOT TO SCALE	TOE TOE OF SLOPE
APWA AMERICAN PUBLIC WORKS ASSOCIATION	FH FIRE HYDRANT	O.C. ON CENTER	TOP TOP OF SLOPE / TOP OF PIPE
ATM AUTOMATED TELLER MACHINE	FL FLOW LINE	OH OVERHANG	TS TRAFFIC SIGNAL
AVE AVENUE	FND FOUND	P PAVEMENT	TSPB TRAFFIC SIGNAL PULL BOX
BAAQMD BAY AREA AIR QUALITY MANAGEMENT DISTRICT	FOC FACE OF CURB	PB PULL BOX	TVLT TELEPHONE VAULT
BLDG BUILDING	FP FIRE PROTECTION	PCC PORTLAND CEMENT CONCRETE	TOW TOP OF WALL
BLVD BOULEVARD	FS FINISHED SURFACE	PGE PACIFIC GAS AND ELECTRIC	TYP TYPICAL
BK BOOK	FT FEET	PIV POST INDICATOR VALVE	UE UNDERGROUND ELECTRIC
BM BENCHMARK	FW FRONT OF WALK	POC POINT OF CONNECTION	UT UNDERGROUND TELEPHONE
BOP BOTTOM OF PIPE	FWC FACE OF WALL CONCRETE	PP POWER POLE	UTIL UTILITY
BSM BIOTREATMENT SOIL MIX	C CONCRETE	PVC POLYVINYL CHLORIDE	VAR VARIABLE
C CONCRETE	G GAS	RD ROAD	VAT VACUUM AIR TUBE
CA CALIFORNIA	GB GRADE BREAK	RP REDUCED PRESSURE	VLT VAULT
CASQA CALIFORNIA STORMWATER QUALITY ASSOCIATION	GV GAS VALVE	S SLOPE / SOUTH	W WEST
CB CATCH BASIN	HDPE HIGH-DENSITY POLYETHYLENE	SD STORM DRAIN	W/ WITH
CCTV CLOSED-CIRCUIT TELEVISION	HWY HIGHWAY	SDM STORM DRAIN MANHOLE	WM WATER METER
CLR CLEAR	HYD HYDRANT	SDR35 STANDARD DIMENSIONAL RATIO 35	WTR WATER LINE
COMM COMMUNICATION	IE INVERT ELEVATION	SF SQUARE FEET	WV WATER VALVE
CONC CONCRETE	INV INVERT	SL STREET LIGHT	WVLT WATER VAULT
CVLT COMMUNICATION VAULT	IV IRRIGATION VALVE	SLPB STREET LIGHT PULL BOX	
DCV DETECTOR CHECK VALVE	J JUNCTION	SP SPECIFIC PLAN	
DCDA DOUBLE CHECK DETECTOR ASSEMBLY	JP JOINT POLE	SPEC SPECIFICATION	
DI DROP INLET	L LENGTH	SS SANITARY SEWER	
DIA DIAMETER	L/S LANDSCAPE	SSCO SANITARY SEWER CLEAN OUT	
DWG DRAWING	LF LINEAL FEET	SSMH SANITARY SEWER MANHOLE	
E ELECTRIC / EAST	LTLT LOT LIGHT	ST STREET	
ECAB ELECTRIC CABINET	LUM LUMINAIRE	STD STANDARD	
EVL ELECTRIC VAULT	MAX MAXIMUM	STLT STREET LIGHT	
EX EXISTING	MH MANHOLE	SW SIDEWALK	
	MIN MINIMUM	T TELEPHONE	
	MON MONUMENT	T TBM TEMPORARY BENCHMARK	
	MTR METER	TC TOP OF CURB	
	N NORTH	TCD TRAFFIC CONTROL DEVICE	
	NG NATURAL GROUND		



CIVIL IMPROVEMENT PLAN / LIMITS OF CONSTRUCTION



VICINITY MAP
NOT TO SCALE

CIVIL SHEET INDEX

- C0.1 CIVIL COVER SHEET
- C1.0 PRELIMINARY SITE AND UTILITY PLAN
- C2.0 PRELIMINARY GRADING AND DRAINAGE PLAN
- C3.0 PRELIMINARY STORM WATER QUALITY CONTROL PLAN

SOILS REPORT NOTE:

THE CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS AND PROCEDURES AS DESCRIBED IN THE GEOTECHNICAL REPORT TITLED "GEOTECHNICAL INVESTIGATION FOR 2701 SHATTUCK AVENUE BUILDING, BERKELEY, CALIFORNIA"; PREPARED BY AMSO CONSULTING ENGINEERS, DATED JULY 15, 2013.

SURVEY NOTE:

TOPOGRAPHIC SURVEY PROVIDED BY VEGVARY AND VEGVARY, DATED 06/22/2000, AND UPDATED 03/2014 BY MORROW SURVEYING. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

EASEMENT NOTE:

NO TITLE REPORT WAS PROVIDED TO AID IN THE DEVELOPMENT OF THESE PLANS.

CITY OF BERKELEY BENCHMARK

BASED ON THE MORROW SURVEY, THE ELEVATIONS SHOWN HEREON ARE BASED ON CITY OF BERKELEY DATUM. BENCHMARK B3651, ELEVATION = 145.98.

CITY OF BERKELEY ENCROACHMENT PERMIT NOTE:

ALL IMPROVEMENTS SHOWN IN THE RIGHT-OF-WAY REQUIRE APPROVALS AND PERMITS FROM CITY OF BERKELEY PUBLIC WORKS ENGINEERING.

UTILITY LOCATE INFORMATION



THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

revisions	by
DRC SUBMITTAL 12/15/16	
DRC SUBMITTAL 1/27/17	
ZAB SUBMITTAL 9/12/17	
ZAB SUBMITTAL 1/03/18	
ZAB SUBMITTAL 3/07/18	
ZAB SUBMITTAL 11/08/2018	

HDO
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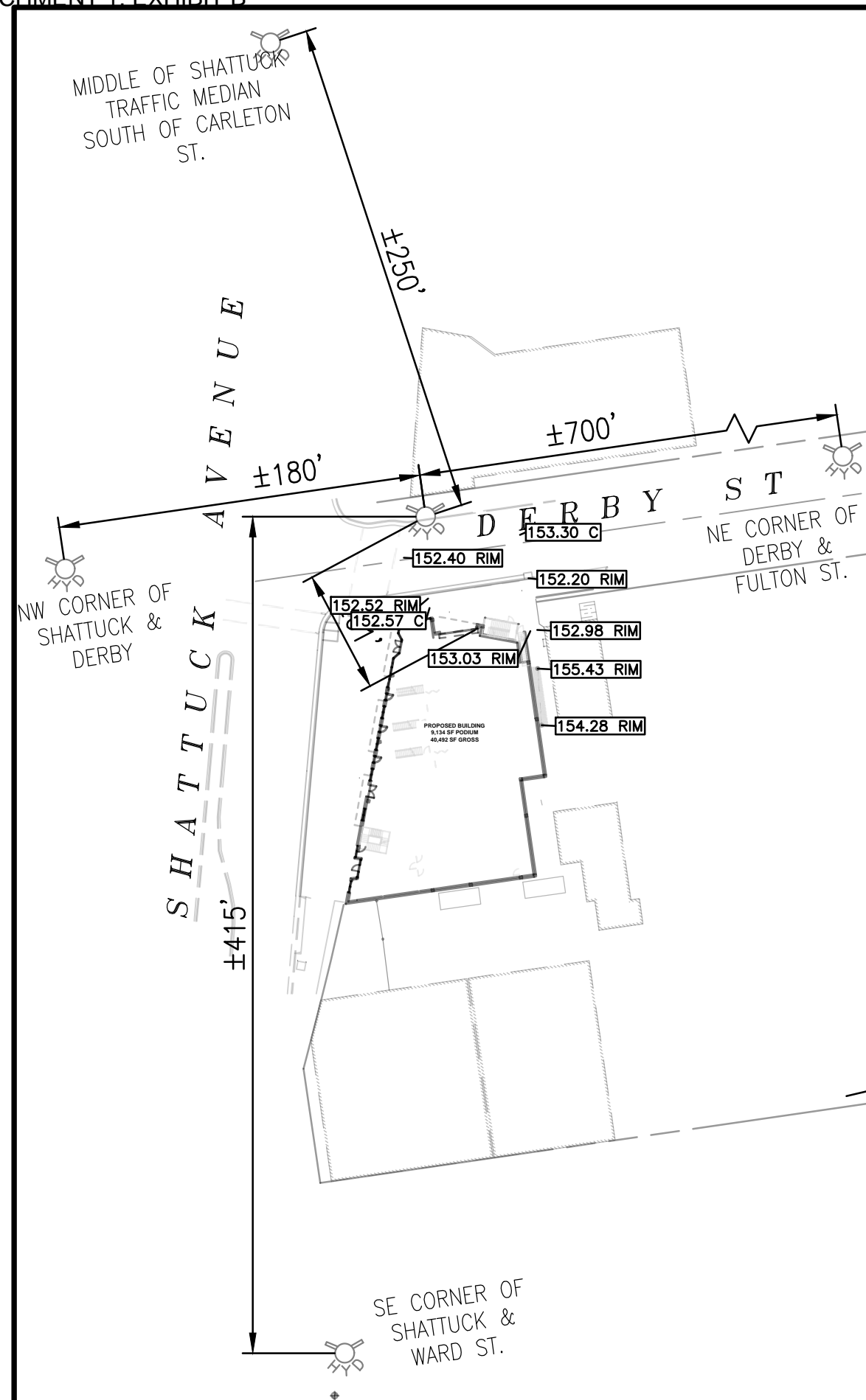
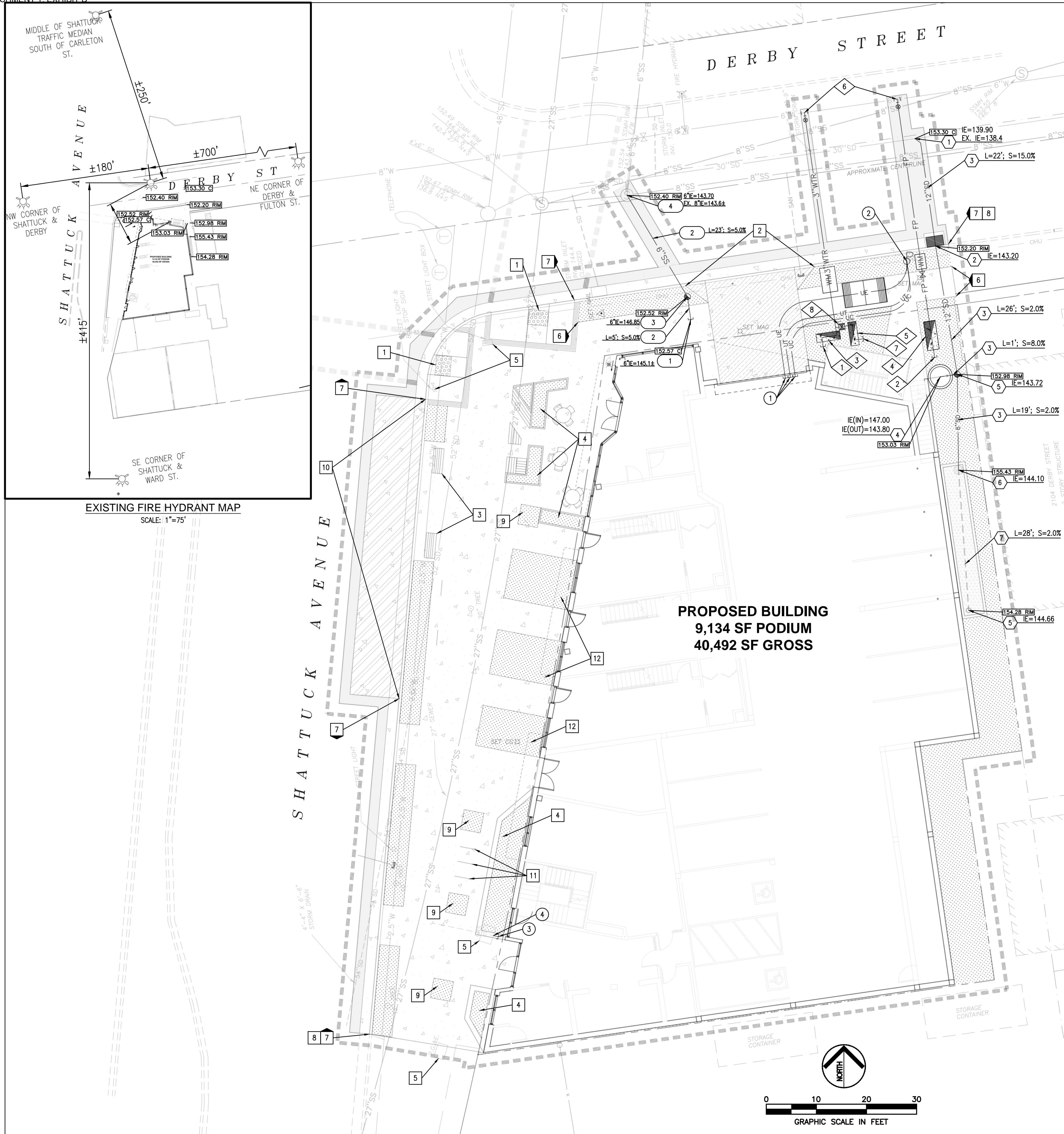
CALICHI
CALICHI DESIGN GROUP
3630 RIVINGTON AVE SUITE 100
BERKELEY, CA 94709
WWW.CALICHI.COM

REGISTERED PROFESSIONAL ENGINEER
REC'D VICENTE TRUJILLO
C 69670
EXP. 6-30-2020
CIVIL
STATE OF CALIFORNIA
Vicente Trujillo
1/28/18

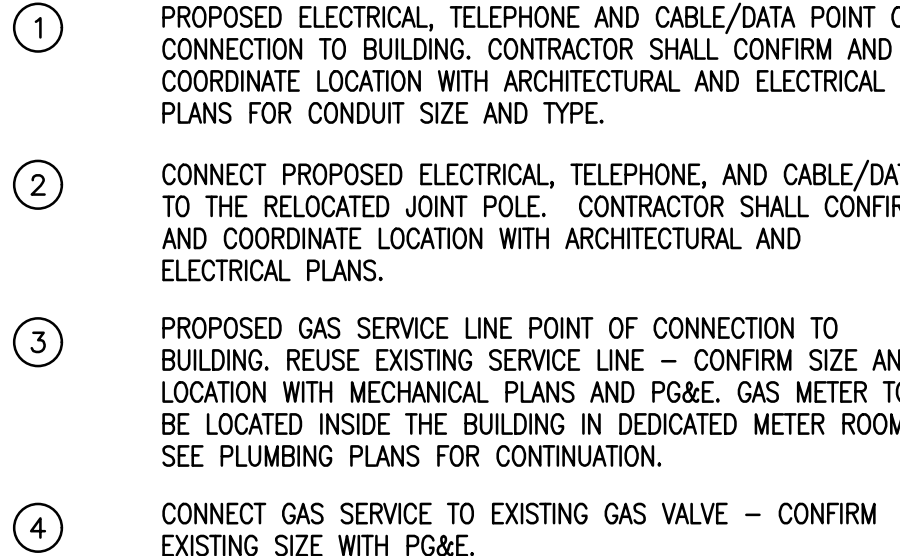
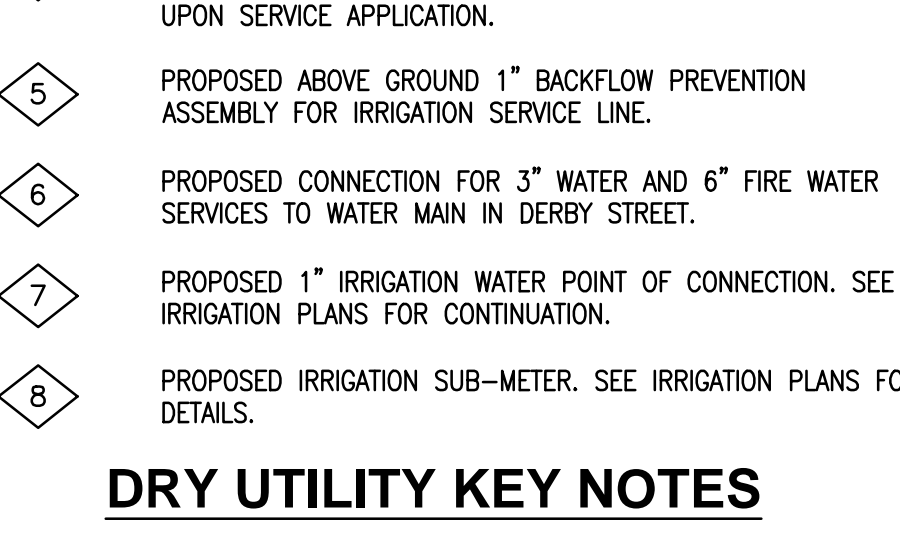
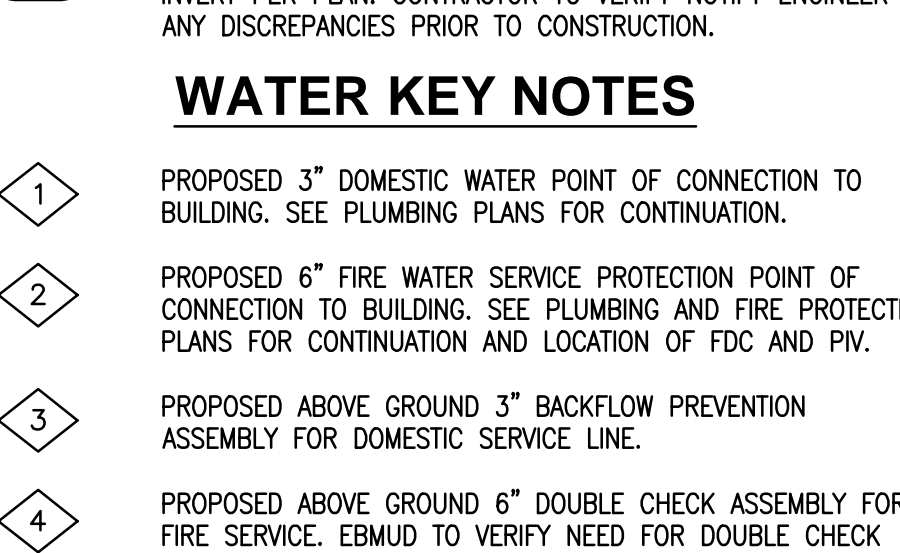
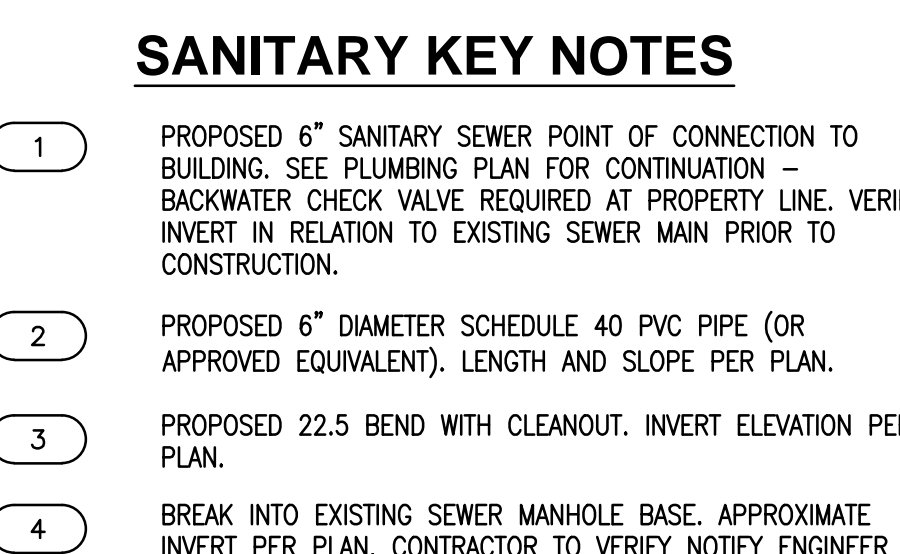
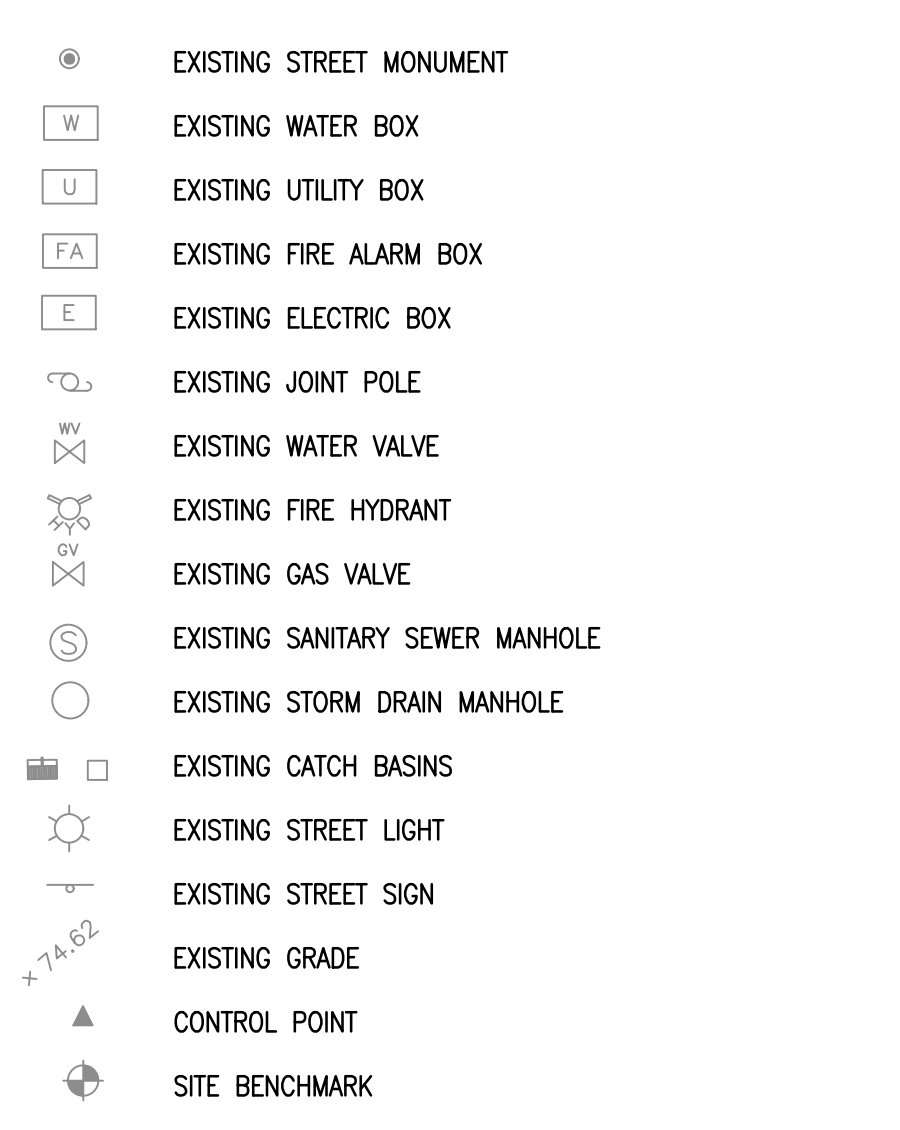
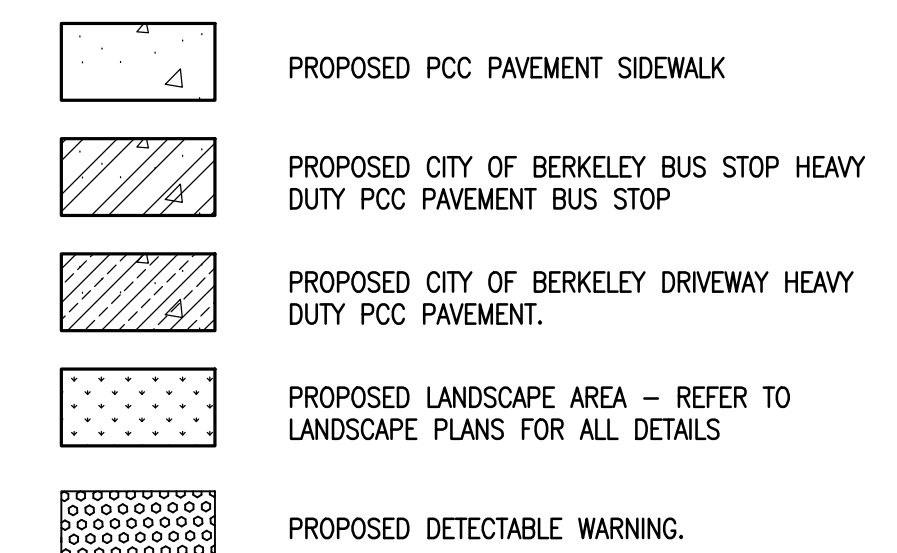
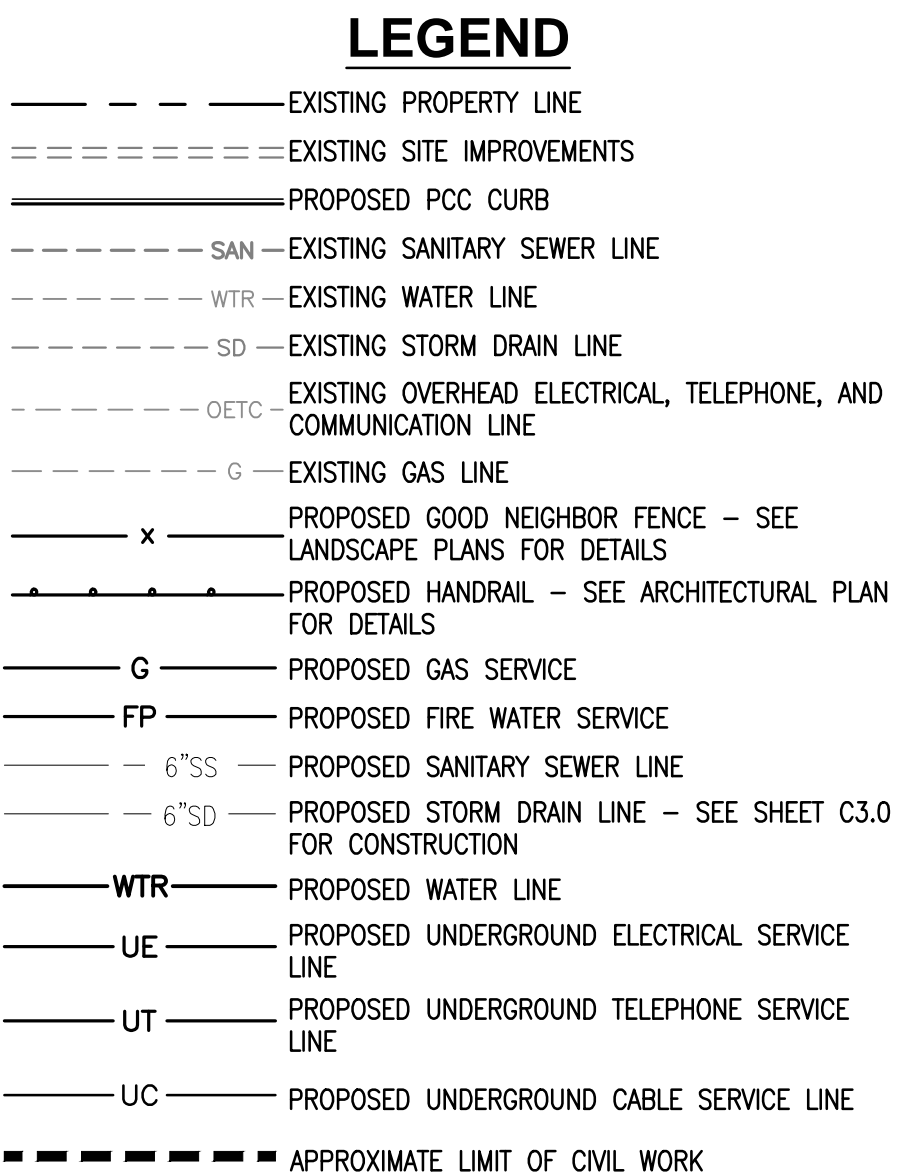
2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
CIVIL COVER SHEET

drawn
checked RP
date 11/08/18
scale
job no. 1802
sheet
C0.1



EXISTING FIRE HYDRANT MAP
SCALE: 1"=75'



revisions	by
DRC SUBMITTAL 12/15/16	
DRC SUBMITTAL 1/27/17	
ZAB SUBMITTAL 9/12/17	
ZAB SUBMITTAL 1/03/18	
ZAB SUBMITTAL 3/07/18	
ZAB SUBMITTAL 11/08/2018	

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BERKELEY, CA 94704
WWW.CALICHI.COM

REGISTERED PROFESSIONAL ENGINEER
RECORD LICENSE NO. 9273
C 69670
EXP. 8-31-2020
CIVIL
STATE OF CALIFORNIA
R. J. Kim
1/28-1/28

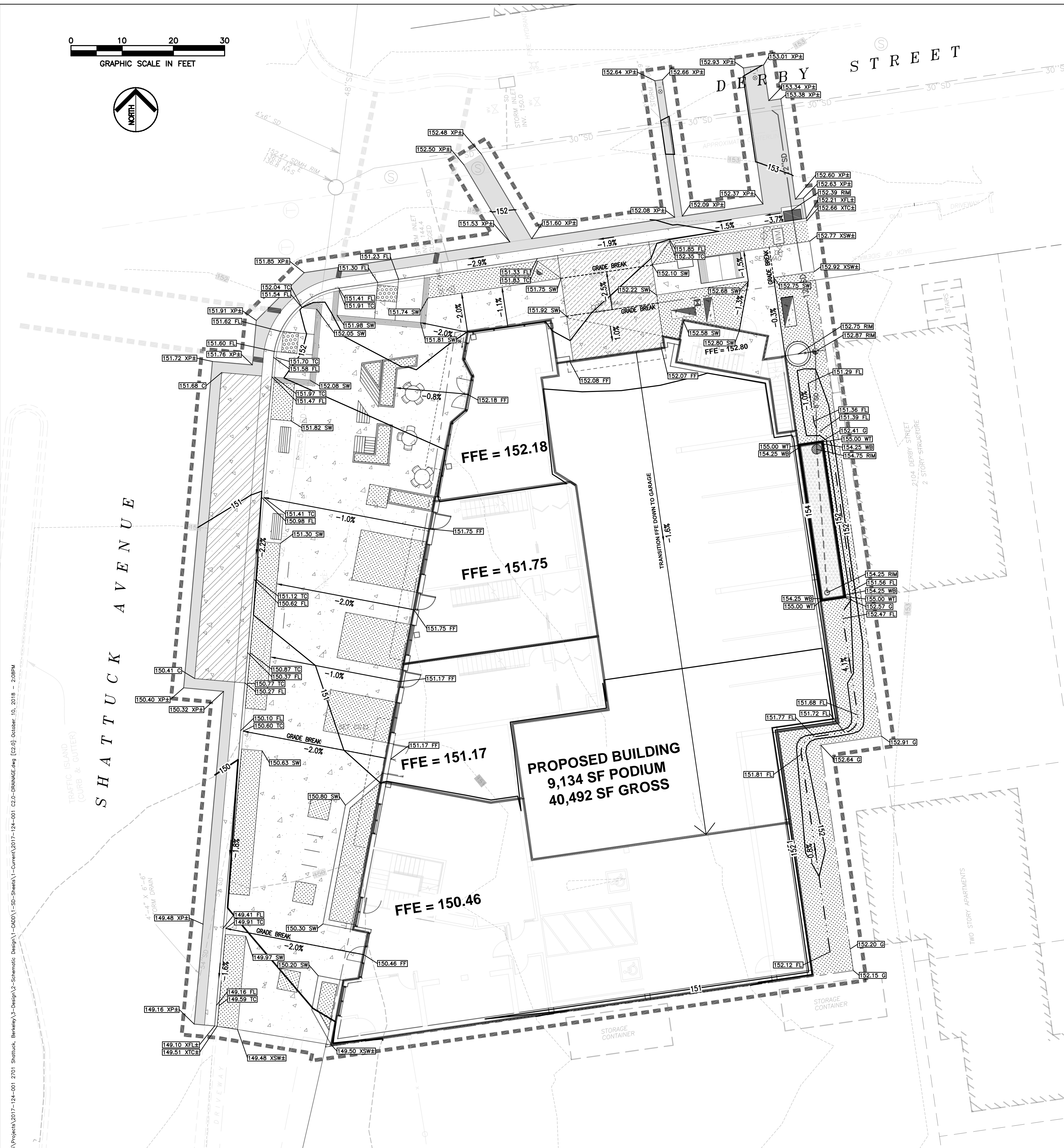
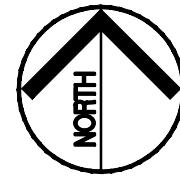
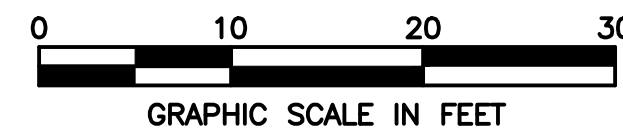
2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
PRELIMINARY SITE AND UTILITY PLAN

drawn
checked RP
date 11/08/18
scale
job no. 1802
sheet

C1.0

C:\calicHI\Projects\2017-24-001_2701 Shattuck, Berkeley, CA\design\3-Schematic Design\1-CADD\1-SD-Sheets\1-Current\2017-12-12\01_C1.0-SITE.dwg [1.0] October 10, 2018 - 2:10PM



SPOT GRADING LEGEND

- 80.00 EX INDICATES ELEVATION TO MATCH EXISTING
- 80.00 FFF INDICATES ELEVATION AT BUILDING FINISHED FLOOR
- 80.00 C INDICATES ELEVATION AT TOP OF CONCRETE
- 80.00 TC INDICATES ELEVATION AT TOP OF CURB
- 80.00 G INDICATES ELEVATION AT FINISHED GROUND
- 80.00 FL INDICATES ELEVATION AT FLOW LINE
- 80.00 BW INDICATES ELEVATION AT BOTTOM OF WALL
- 80.00 TW INDICATES ELEVATION AT TOP OF WALL
- 80.00 BS INDICATES ELEVATION AT BOTTOM OF STAIR
- 80.00 TS INDICATES ELEVATION AT TOP OF STAIR
- 80.00 RM INDICATES ELEVATION AT STORM DRAIN RIM
- 1.5% DRAINAGE ARROW AND PROPOSED SLOPE
- 1.32 EXISTING 1-FT CONTOUR
- 1.32 PROPOSED 1-FT CONTOUR

SITE PAVING LEGEND

-

GEOTECHNICAL REPORT NOTE:

THE CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS AND PROCEDURES AS DESCRIBED IN THE SOILS REPORT FOR THE PROJECT SITE BY AMSO CONSULTING ENGINEERS, TITLED "GEOTECHNICAL INVESTIGATION FOR 2701 SHATTUCK AVENUE BUILDING, BERKELEY, CALIFORNIA" AND DATED JULY 15 2013, INCLUDING ALL PROJECT SPECIFICATIONS, REQUIREMENTS, RECOMMENDATIONS AND PROCEDURES IN REGARDS TO OVEREXCAVATION, COMPACTION, SOIL REMEDIATION, DEWATERING, ETC.

PAD ELEVATION NOTE:

PAD ELEVATION SHOWN IS PER THE GEOTECHNICAL REPORT AS PROVIDED BY AMSO CONSULTING ENGINEERS, DATED JULY 15, 2013, AND COORDINATION WITH STRUCTURAL PLANS. CURRENT PAD ELEVATIONS ASSUME 5 INCH PCC SLAB OVER 2 INCH SAND OVER 4-1/4 INCH PEA GRAVEL FOR BUILDING SLABS, AND 18 INCH PCC FOR THE MAT FOUNDATION SLAB. CONTRACTOR TO VERIFY PAD ELEVATION GRADE WITH GEOTECHNICAL REPORT AND FINAL BUILDING STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE MADE AWARE TO THE ENGINEER IMMEDIATELY.

STORM DRAIN SHEET NOTES:

1. ALL SCHEDULE 40 PVC PIPES SHALL HAVE SOLVENT CEMENTED JOINTS PER MANUFACTURER'S RECOMMENDATIONS.

revisions	by
DRC SUBMITTAL 12/15/16	
DRC SUBMITTAL 1/27/17	
ZAB SUBMITTAL 9/12/17	
ZAB SUBMITTAL 1/03/18	
ZAB SUBMITTAL 3/07/18	
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REGISTERED PROFESSIONAL ENGINEER
REC'D VICENTE TRINIDAD
C 69670
EXP. 9-30-2020
CIVIL
STATE OF CALIFORNIA
Vicente Trinidad
10/8/18

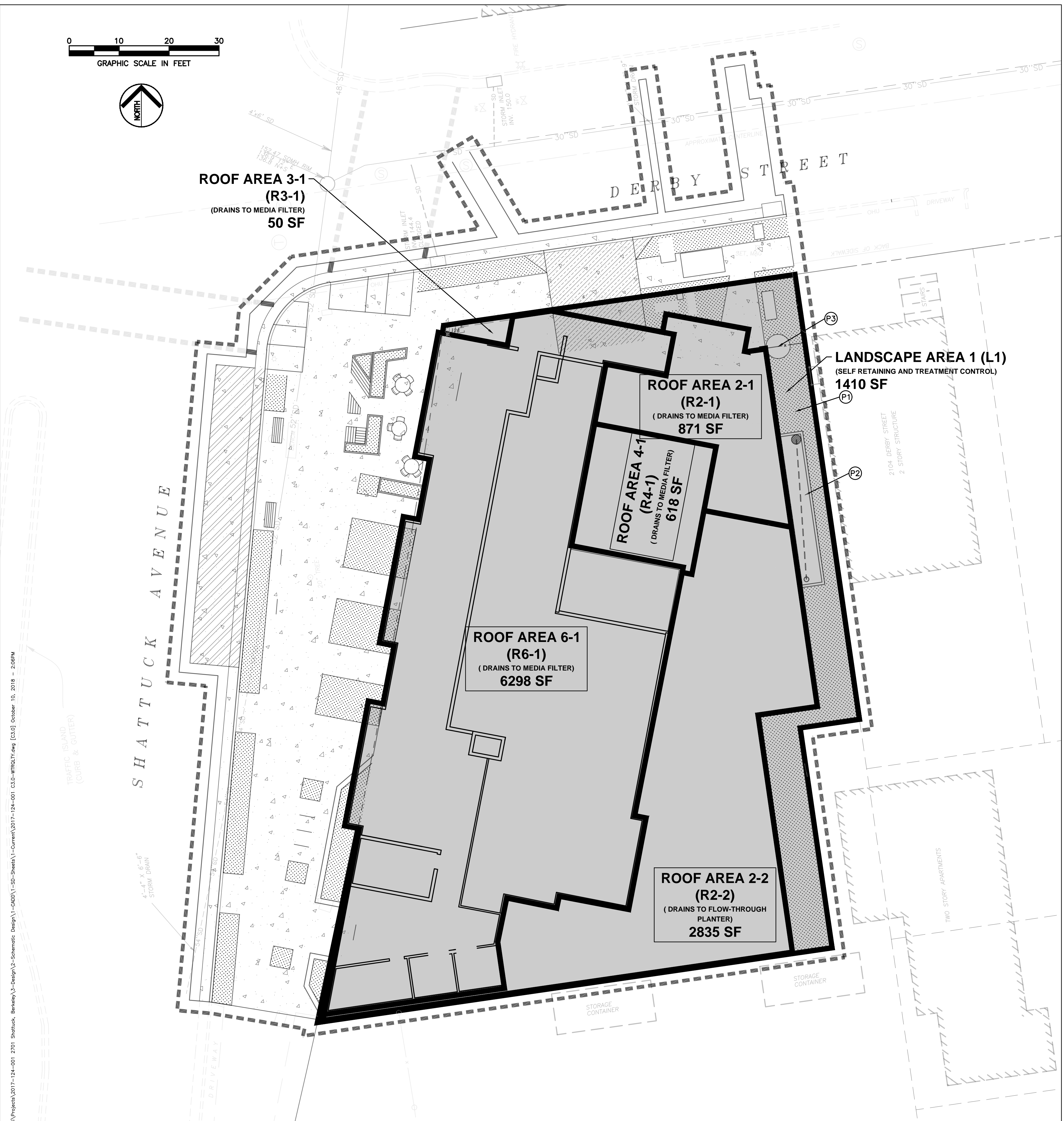
2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
PRELIMINARY GRADING AND DRAINAGE PLAN

drawn
checked RP
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LEGEND

- APPROXIMATE DRAINAGE AREA
- PROPOSED IMPERVIOUS BUILDING ROOF CANOPY
- ▨ PROPOSED IMPERVIOUS CONCRETE PAVEMENT AND/OR PAVEMENT AREA
- ▤ PROPOSED BIORETENTION TREATMENT PLANTER AREA AT GROUND LEVEL. SEE TYPICAL SECTION DETAIL 1 THIS SHEET.
- ▥ PROPOSED BIORETENTION TREATMENT PLANTER AREA ON 5TH FLOOR ROOF DECK. SEE TYPICAL SECTION DETAIL 1 THIS SHEET AND LANDSCAPE PLANS FOR DETAILS.
- PROPOSED MAIN ROOF DRAIN LOCATION. SEE ARCHITECTURAL PLANS
- PROPOSED OVERFLOW DRAIN
- Ⓟ PROPOSED PLANTER (P) NUMBER DESIGNATION

SOIL REPORT NOTE

THE CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS AND PROCEDURES AS DESCRIBED IN THE SOILS REPORT FOR THE PROJECT SITE BY AMSO CONSULTING ENGINEERS, TITLED "GEO-TECHNICAL INVESTIGATION FOR 2701 SHATTUCK AVENUE BUILDING, BERKELEY, CALIFORNIA"; DATED JULY 15 2013.

SITE NOTES:

- THE TOTAL ON-SITE DISTURBED AREA IS 11,932SF (0.27 ACRES).
- PER THE PROJECT GEO-TECHNICAL REPORT, FREE GROUNDWATER WAS ENCOUNTERED DURING THE DRILLING OPERATIONS AT DEPTHS BETWEEN 8.5' AND 10 FEET BELOW EXISTING GROUND SURFACE.
- PER THE PROJECT GEO-TECHNICAL REPORT, NEAR SURFACE ON-SITE SOILS CONSIST OF SILTY CLAY (CL).

TREATMENT PLANTER NOTES:

- FOR PLANTERS ON THE 5TH FLOOR ROOF TERRACE, SEE LANDSCAPE PLANS FOR CONSTRUCTION DETAILS.
- FOR PLANTERS ON GRADE (ALONG THE BUILDING FRONTAGE), SEE ON-SITE GRADING PLANS FOR CONSTRUCTION DETAILS.

INSPECTION AND MAINTENANCE

RESPONSIBLE PARTY FOR LANDSCAPE MAINTENANCE: PROPERTY OWNER - 2701 SHATTUCK BERKELEY, LLC

FLOW-THROUGH PLANTER MAINTENANCE PLAN

- ROUTINE MAINTENANCE (MONTHLY INSPECTIONS, OR AS NEEDED AFTER STORM EVENTS):**
- INSPECT THE PLANTER SURFACE AREA, INLETS AND OUTLETS FOR OBSTRUCTIONS AND TRASH; CLEAR ANY OBSTRUCTIONS AND REMOVE TRASH AND DEBRIS.
 - CLEAN UP FALLEN LEAVES OR DEBRIS.
 - INSPECT PLANTER BOX AFTER STORMS TO ENSURE STRUCTURAL INTEGRITY OF THE BOX AND THAT THE PLANTER IS NOT CLOGGING, AND IS DRAINING WITHIN 3-4 HOURS AFTER STORM EVENTS. IF PONDED WATER DOES NOT DRAIN, THE SURFACE SOILS SHOULD BE TILLED OR REPLACED AND REPLANTED AS NECESSARY. IF MOSQUITO LARVAE ARE OBSERVED, CONTACT THE COUNTY VECTOR CONTROL DISTRICT AT (408) 918-4770 OR (800) 675-1155.
 - INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ANY ACCUMULATION OF SEDIMENT.
 - CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY.
- ANNUAL INSPECTION (AT LEAST TWICE A YEAR):**
- PRUNE AND WEED THE PLANTER AREA.
 - REMOVE AND REPLACE ANY DEAD OR DYING PLANTS.
 - TREAT DISEASED PLANTS, AS NEEDED, USING PREVENTATIVE AND LOW-TOXIC MEASURES TO THE EXTENT POSSIBLE.
 - AVOID THE USE OF PESTICIDES AND QUICK-RELEASE SYNTHETIC FERTILIZERS AND FOLLOW THE PRINCIPLES OF INTEGRATED PEST MANAGEMENT (IPM). CHECK WITH THE LOCAL JURISDICTION FOR ANY LOCAL POLICIES REGARDING THEIR USE OF PESTICIDES AND FERTILIZERS.
 - MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER (IF APPLICABLE).
- ANNUAL INSPECTION (JUST PRIOR TO THE WET SEASON):**
- APPLY 1" TO 2" OF COMPOSED MULCH TO BE APPLIED ONCE A YEAR. MULCH SHOULD ALSO BE REPLACED WHEN EROSION IS EVIDENT; SPOT MULCHING MAY BE SUFFICIENT FOR RANDOM VOID AREAS.

revisions	by
DRC SUBMITTAL 12/15/16	
DRC SUBMITTAL 1/27/17	
ZAB SUBMITTAL 9/12/17	
ZAB SUBMITTAL 1/03/18	
ZAB SUBMITTAL 3/07/18	
ZAB SUBMITTAL 11/08/2018	

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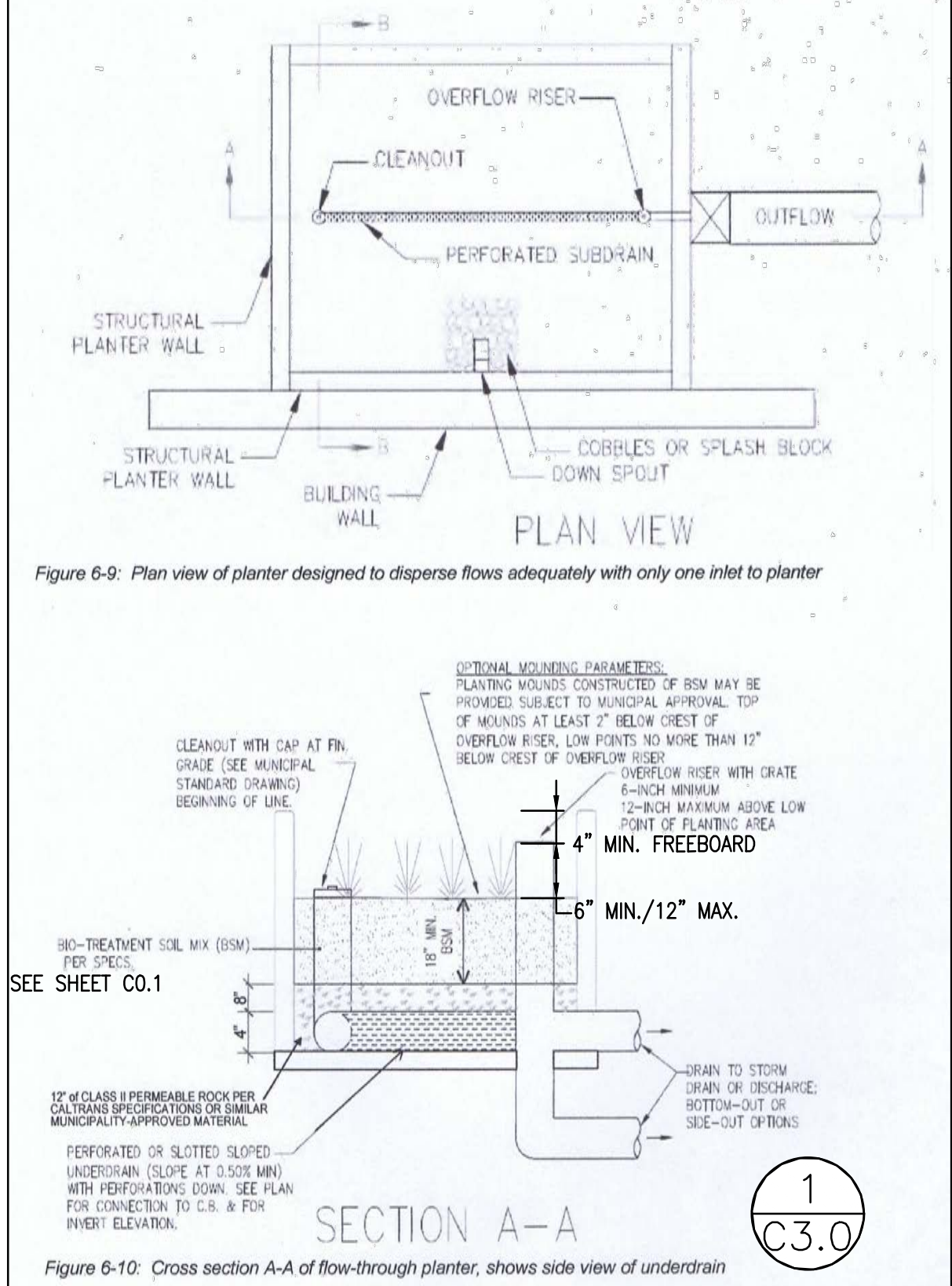
CALICHI
CALICHI DESIGN GROUP
2950 CAMINO DIABLO SUITE 110 WALNUT CREEK, CA 94597
WWW.CALICHI.COM

REGISTERED PROFESSIONAL ENGINEER
RECO LICENSURE TRIUMPH CITY
C 69670
EXP. 9-30-2020
CIVIL
STATE OF CALIFORNIA
R. V. ...
1/28/18

SITE DRAINAGE AREAS AND BMP'S

BMP	AREA	BMP TYPE	TOTAL DRAINAGE AREA [SF]	IMPERVIOUS AREA [SF]		BMP AREA REQUIRED [SF]	BMP AREA PROVIDED [SF]	TREATMENT FLOW REQUIRED* [GPM]	TREATMENT FLOW CAPACITY** [GPM]
				Percentage	Percentage				
P1	L1	* TREATMENT CONTROL (LANDSCAPE)	1410	0	0.0%	0	1420	-	-
				1410	100.0%				
P2	R2-2	* TREATMENT CONTROL (FLOW-THROUGH PLANTER 1ST FLOOR)	2835	2835	100.0%	113	120	-	-
				0	0.0%				
P3	R2-1+R3-1+R4-1 +R6-1	TREATMENT CONTROL (MEDIA FILTER)	7837	7837	100.0%	7837	8004	14.53	22.5
				0	0.0%				

SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM
STORM WATER PLANTER TYPICAL DETAIL



PROJECT CONTACTS

- CIVIL ENGINEER:** CALICHI DESIGN GROUP
3240 PERALTA ST, #3
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- SOIL ENGINEER:** AMSO CONSULTING ENGINEERS
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(510) 690-0714
CONTACT - BASIL A. AMSO
- OWNER'S REP.:** 2701 SHATTUCK BERKELEY, LLC
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CUPERTINO, CA 95014
(408) 963-3387
CONTACT - LEE-LING LIN

2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
PRELIMINARY
STORM WATER
QUALITY
CONTROL PLAN

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CORNER PARKLET



VINE CABLES/GREENSCREEN SITE FURNISHINGS



SEATING



BIKE RACKS

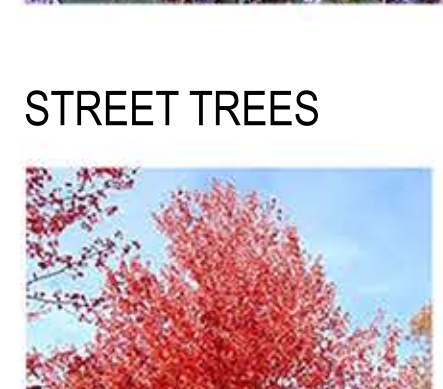


RECYCLING/TRASH

SHRUBS



VINES



STREET TREES



LEGEND

- 1 Concrete paving
- 2 Pedestal pavers
- 3 Bench
- 4 Table & chairs
- 5 Adirondack chair
- 6 Built-in bench
- 7 Bike rack
- 8 Seatwall
- 9 Raised planters
- 10 Low railing
- 11 Grill and kitchen
- 12 Greenscreen/trellis with vines
- 13 Gravel & vines in pots
- 14 Planting area
- 15 Precast pots
- 16 Accent Trees in planting area
- 17 Street Tree, pending water line depth
- 18 Parklet with removable planters & seating

GROUND LEVEL PLANTING MATERIALS

STREET TREES
 Acer rubrum 'Scarsen' - Scarlet Sentinel maple (Shattuck Ave)
 Acer buergerianum - Triden maple (Derby St)

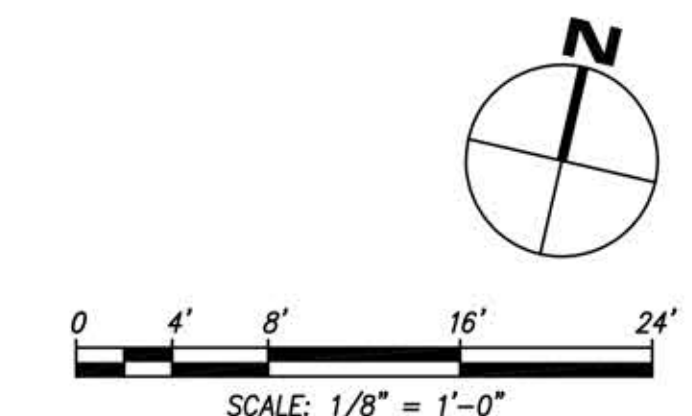
ACCENT TREES
 Lagerstroemia indica 'Dynamite' - crape myrtle

PLANTING AREA
 Acer rubrum 'armstrong' - columnar red maple
 Carex divulsa - gray sedge
 Carex tumullicola - Berkeley sedge
 Ceratostigma plumbaginoides - dwarf plumbago
 Juncus patens - gray rush
 Polystichum munitum - sword fern
 Osmanthus fragrans aurantiacus - orange sweet olive

RAISED PLANTERS / CURBED PLANTERS
 Anemone x hybrida 'Honorine Jobert' - japanese anemone
 Festuca glauca 'Elijah Blue' - blue fescue
 Helictotrichon sempervirens - blue oat grass
 Kniphofia uvaria - torch lily
 Nephrolepis cordifolia - sword fern
 Penstemon heterophyllus 'Margarita BOP' - blue bedder
 Verbena bonariensis - purple top

PRECAST POTS
 Annuals - tbd
 Carex spp. - sedge
 Kniphofia uvaria - torch lily
 Juncus patens - gray rush
 Phormium hybrids - new zealand flax

VINES ON GREENSCREEN & CABLES
 Campsis radicans - trumpet vine
 Hardenbergia violacea - lilac vine



revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	-
ZAB SUBMITTAL 6/28/18	-
DRC SUBMITTAL 9/20/18	-
ZAB SUBMITTAL 11/08/18	-

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2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
 FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
ILLUSTRATIVE PLAN - GROUND

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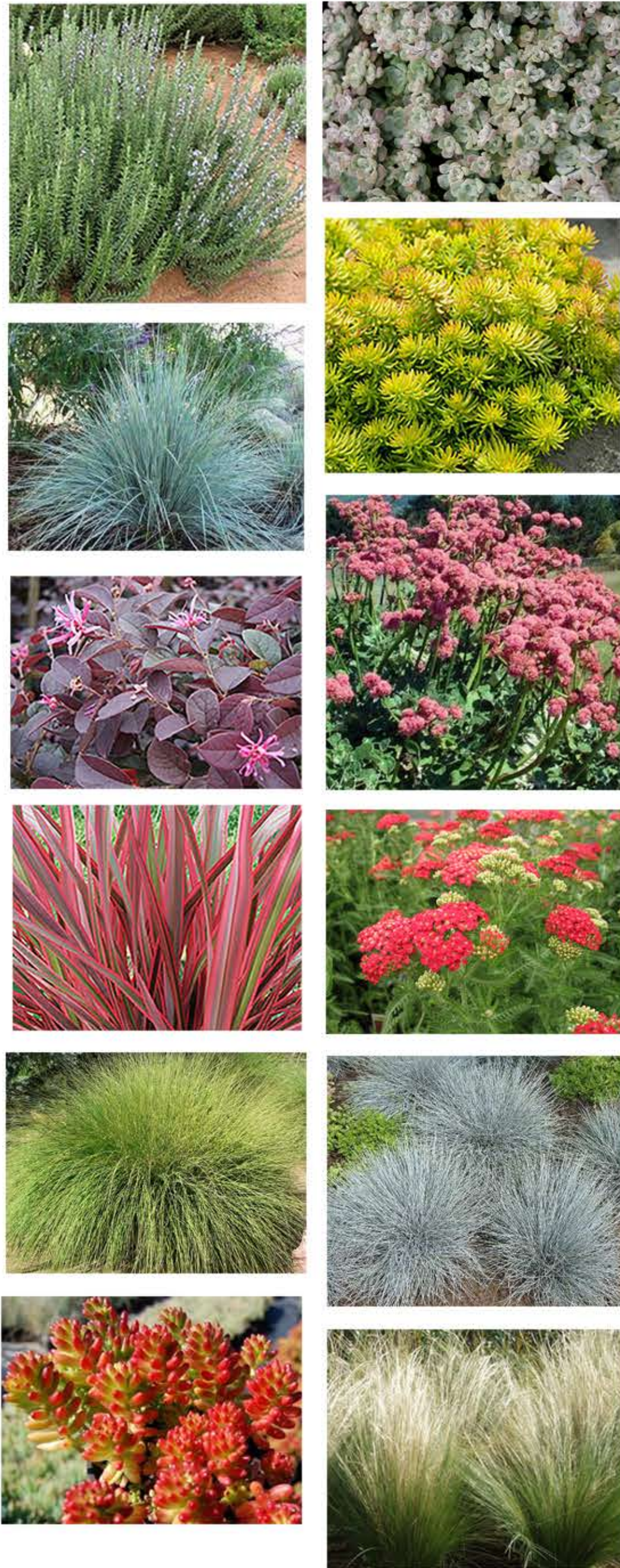
TREES



SEATING



SHRUBS & GROUNDCOVERS

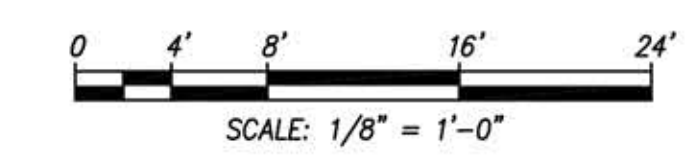
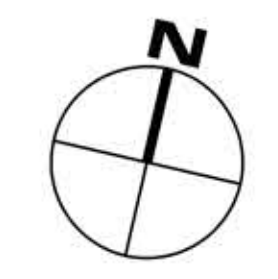


LEGEND

- 1 Concrete paving
- 2 Pedestal pavers
- 3 Bench
- 4 Table & chairs
- 5 Adirondack chair
- 6 Built-in bench
- 7 Bike rack
- 8 Seatwall
- 9 Raised planters
- 10 Low railing
- 11 Grill and kitchen
- 12 Greenscreen with vines
- 13 Gravel & vines in pots
- 14 Stormwater treatment area
- 15 Precast pots
- 16 Accent Tree in planting area

PODIUM PLANTING MATERIALS

- TREES**
- Acer palmatum 'Sangu Kaku' - japanese maple
 - Azara microphylla - box leaf azara
 - Cercis canadensis - eastern redbud
- SHRUB & GRASSES**
- Anemone x hybrida 'Honoreine Jobert' - japanese anemone
 - Carex spp. - sedge
 - Festuca glauca 'Elijah Blue' - blue fescue
 - Helictotrichon sempervirens - blue oat grass
 - Loropetalum chinense - fringe flower
 - Muhlenbergia rigens - deer grass
 - Nassella tenuissima - feather grass
 - Nephrolepis cordifolia - sword fern
 - Phormium 'Sunset' - new zealand flax
 - Rosmarinus 'Tuscan Blue' - rosemary
- GREEN ROOF MIX**
- Achillea millefolium 'Paprika' - yarrow
 - Sedum rubrotinctum - stonecrop
 - Sedum spathifolium 'Cape Blanco' - stonecrop
 - Sedum 'Angelina' - stonecrop
 - Eriogonum grande v. rubescens - buckwheat
- RAISED PLANTERS**
- Loropetalum v. rubrum 'Blush' - fringe flower
 - Muhlenbergia rigens - deer grass
 - Rosmarinus 'Tuscan Blue' - rosemary



revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	-
ZAB SUBMITTAL 6/28/18	-
DRC SUBMITTAL 9/20/18	-
ZAB SUBMITTAL 11/08/18	-

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**2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC**

drawing
**ILLUSTRATIVE
PLAN -
PODIUM**

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TREES



SHRUBS & VINES



LEGEND

- 1 Concrete paving
- 2 Pedestal pavers
- 3 Bench
- 4 Table & chairs
- 5 Adirondack chair
- 6 Built-in bench
- 7 Bike rack
- 8 Seatwall
- 9 Raised planters
- 10 Low railing
- 11 Grill and kitchen
- 12 Greenscreen with vines
- 13 Planting pots in aggregate bed
- 14 Stormwater treatment area
- 15 Precast pots
- 16 Accent Tree in planting area
- 17 Planter with vines at trellis

revisions	by
PRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 5/07/18	-
ZAB SUBMITTAL 6/28/18	-
PRC SUBMITTAL 9/20/18	-
ZAB SUBMITTAL 1/02/18	-

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**2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC**

DERBY STREET

DERBY STREET



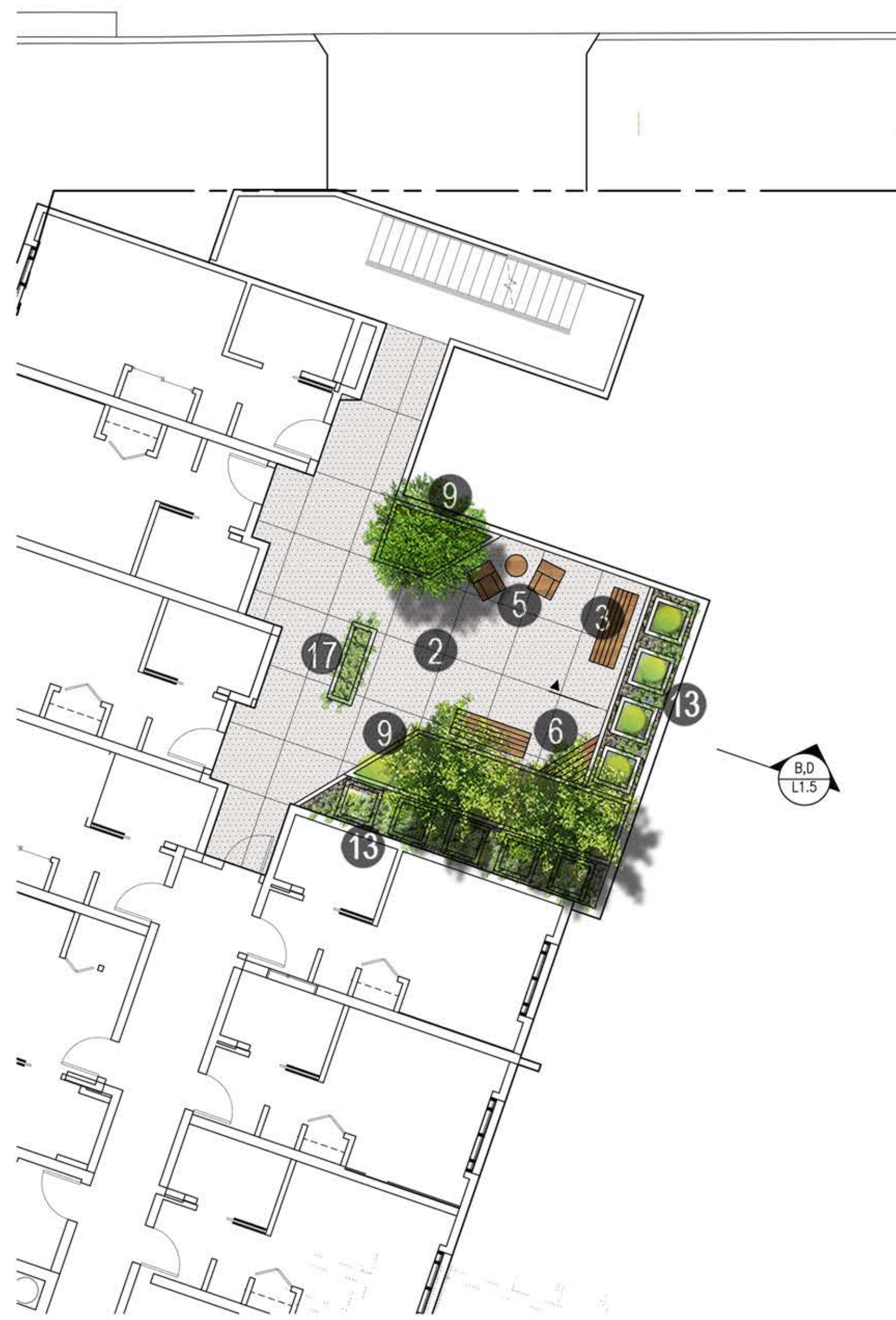
PRECAST POTS

4th & 5th LEVEL PLANTING MATERIALS

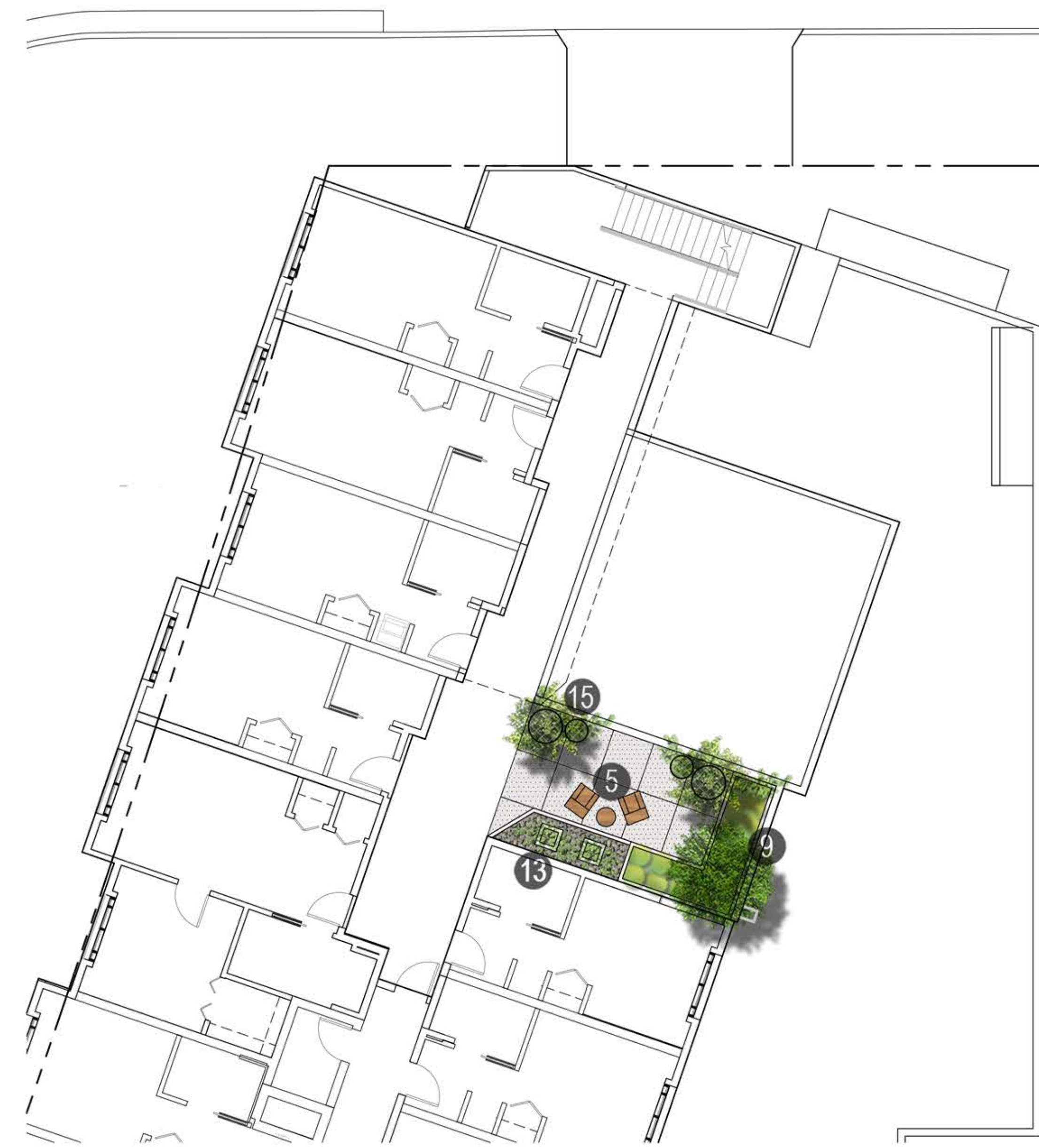
- RAISED PRECAST PLANTERS
- Acer palmatum 'Sango Kaku' - Coralbark Maple
 - Anemone x hybrida - Japanese anemone
 - Cercis canadensis - Redbud
 - Correa 'Rays Tangerine' - Australian fuchsia
 - Loropetalum v. rubrum - fringe flower
 - Polystichum munitum - California sword fern
 - Sarcococca hookeriana - sweet box

- PRECAST POTS
- Annuals - tbd
 - Carex spp. - sedge
 - Citrus limon 'Meyer Improved' - meyer lemon
 - Citrus kumquat - kumquat
 - Kniphofia uvana - torch lily
 - Juncus patens - gray rush
 - Phormium hybrids - New Zealand flax

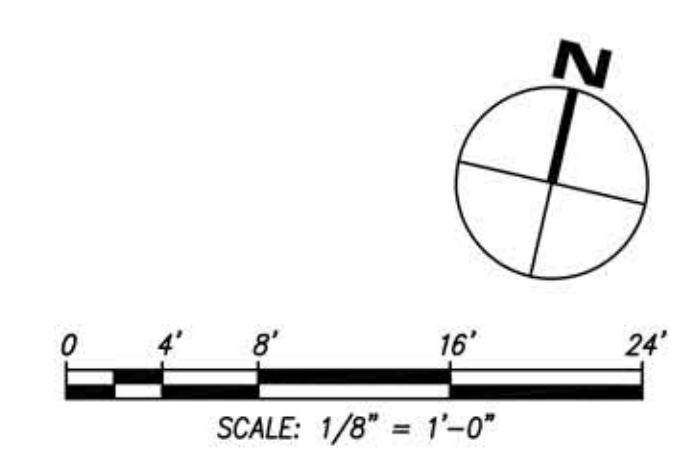
- VINES
- Campsis radicans - trumpet vine



1 LANDSCAPE PLAN - 4TH FLOOR
SCALE: 1/8" = 1'-0"



2 LANDSCAPE PLAN - 5TH FLOOR
SCALE: 1/8" = 1'-0"



drawing
**ILLUSTRATIVE
PLAN - 4th &
5th FLOOR**

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DERBY STREET



SHRUBS & TREES



VINES



PRECAST POTS



TRELLIS



LEGEND

- 1 Concrete paving
- 2 Pedestal pavers
- 3 Bench
- 4 Table & chairs
- 5 Adirondack chair
- 6 Built-in bench
- 7 Bike rack
- 8 Seatwall
- 9 Raised planters
- 10 Low railing
- 11 Grill and kitchen with overhead shade structure
- 12 Greenscreen with vines
- 13 Gravel & vines in pots
- 14 Stormwater treatment area
- 15 Precast pots
- 16 Accent Tree in planting area

ROOF PLANTING MATERIALS

RAISED PRECAST PLANTERS
 Anemone x hybrida - Japanese anemone
 Loropetalum v. rubrum - fringe flower
 Phormium 'Margaret Jones' - new zealand flax
 Polystichum munium - California sword fern
 Sarococca hookeriana - sweet box

PRECAST POTS
 Annuals - TBD
 Carex spp. - sedge
 Citrus limon 'Meyer Improved' - meyer lemon
 Citrus kumquat - kumquat
 Kniphofia uvaria - torch lily
 Juncus patens - gray rush
 Phormium hybrids - new zeland flax

VINES
 Campsis radicans - trumpet vine
 Hardenbergia violacea 'Happy Wanderer' - lilac vine

revisions	by
DRG SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	-
ZAB SUBMITTAL 6/28/18	-
DRG SUBMITTAL 9/20/18	-
ZAB SUBMITTAL 11/08/18	-

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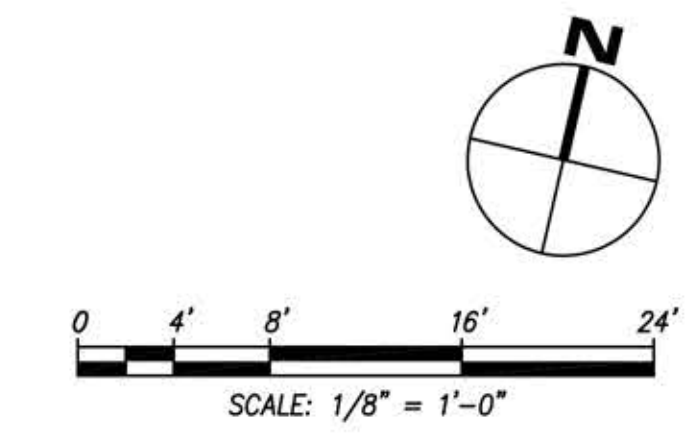
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BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
ILLUSTRATIVE PLAN - ROOF

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date
scale
job no. 1802
sheet

1 LANDSCAPE PLAN - ROOF
 SCALE: 1/8" = 1'-0"



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revisions	by
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ZAB SUBMITTAL 3/07/18	-
ZAB SUBMITTAL 6/28/18	-
DRC SUBMITTAL 9/20/18	-
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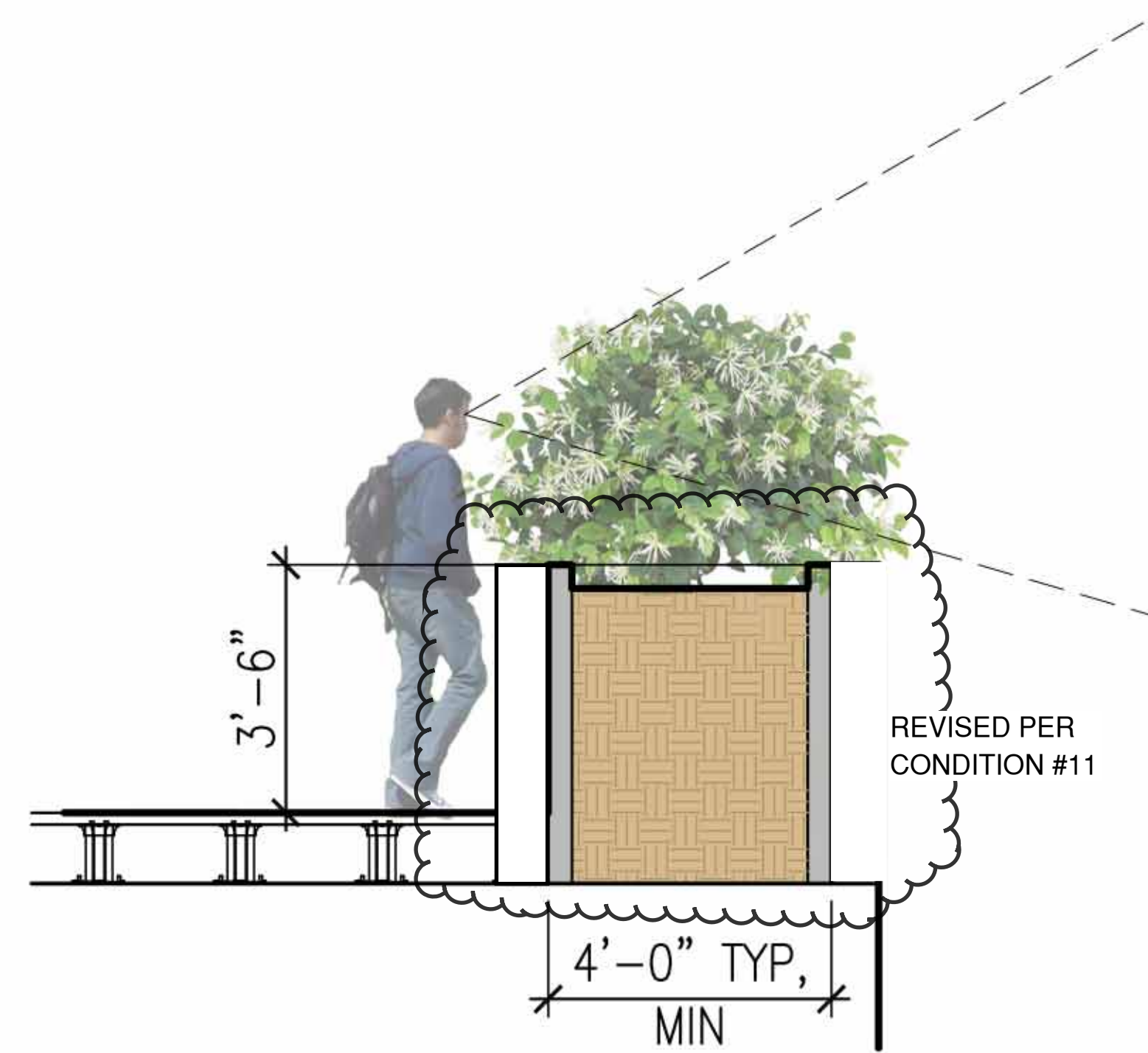
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925.254.5422 · www.jett.land

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BERKELEY, CALIFORNIA
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2701 SHATTUCK BERKELEY, LLC**

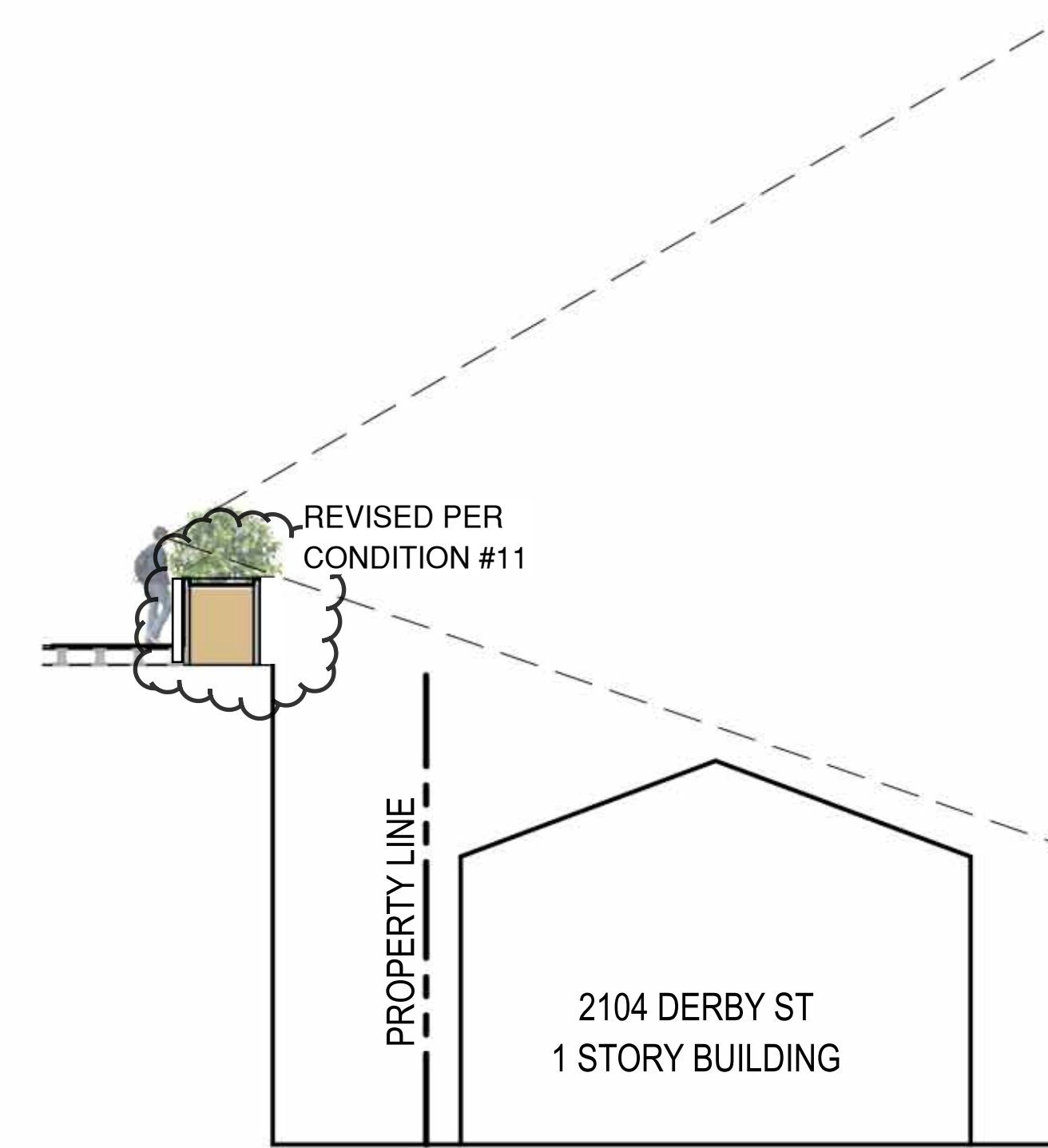
drawing
**ILLUSTRATIVE
SECTIONS**

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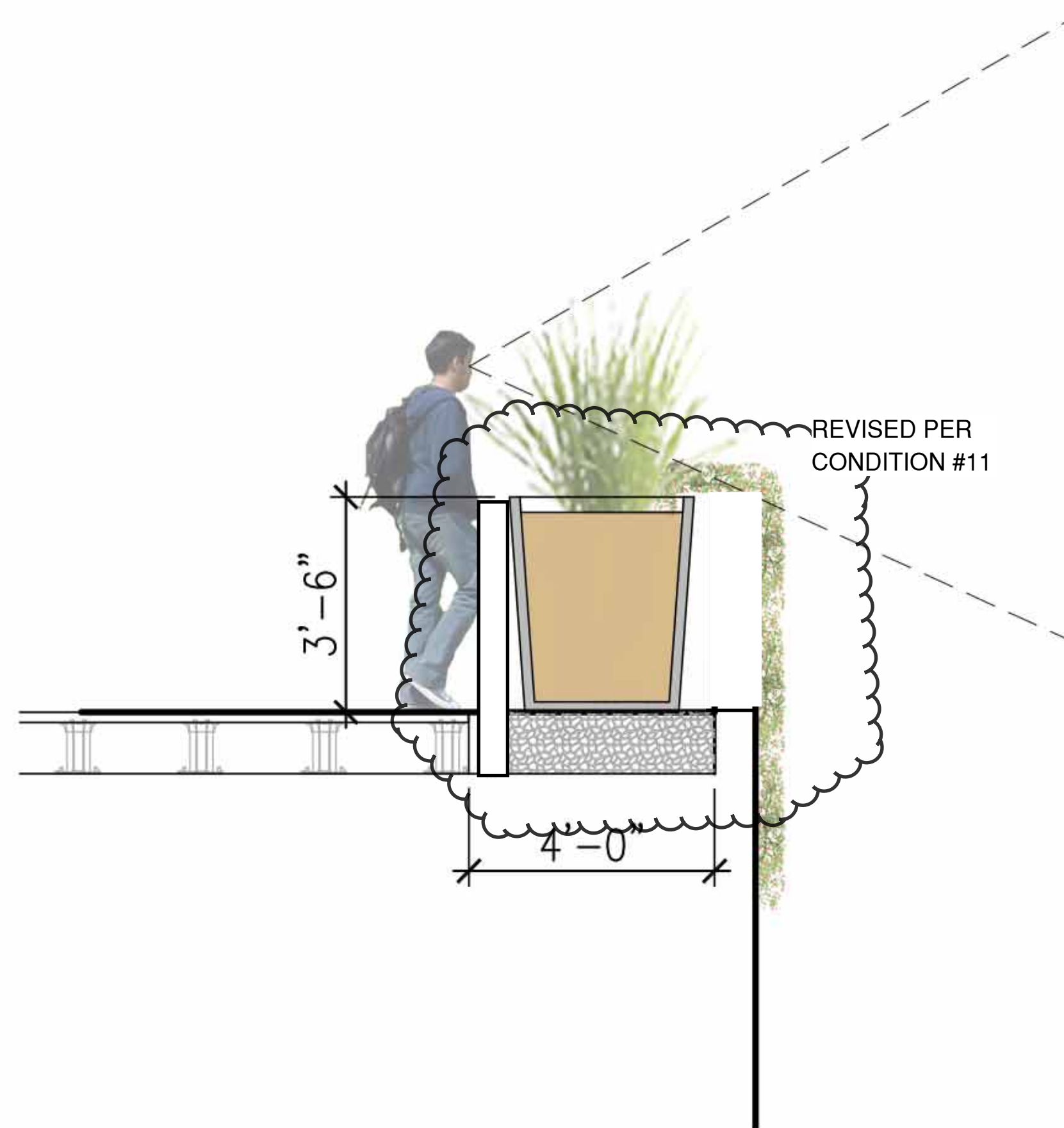
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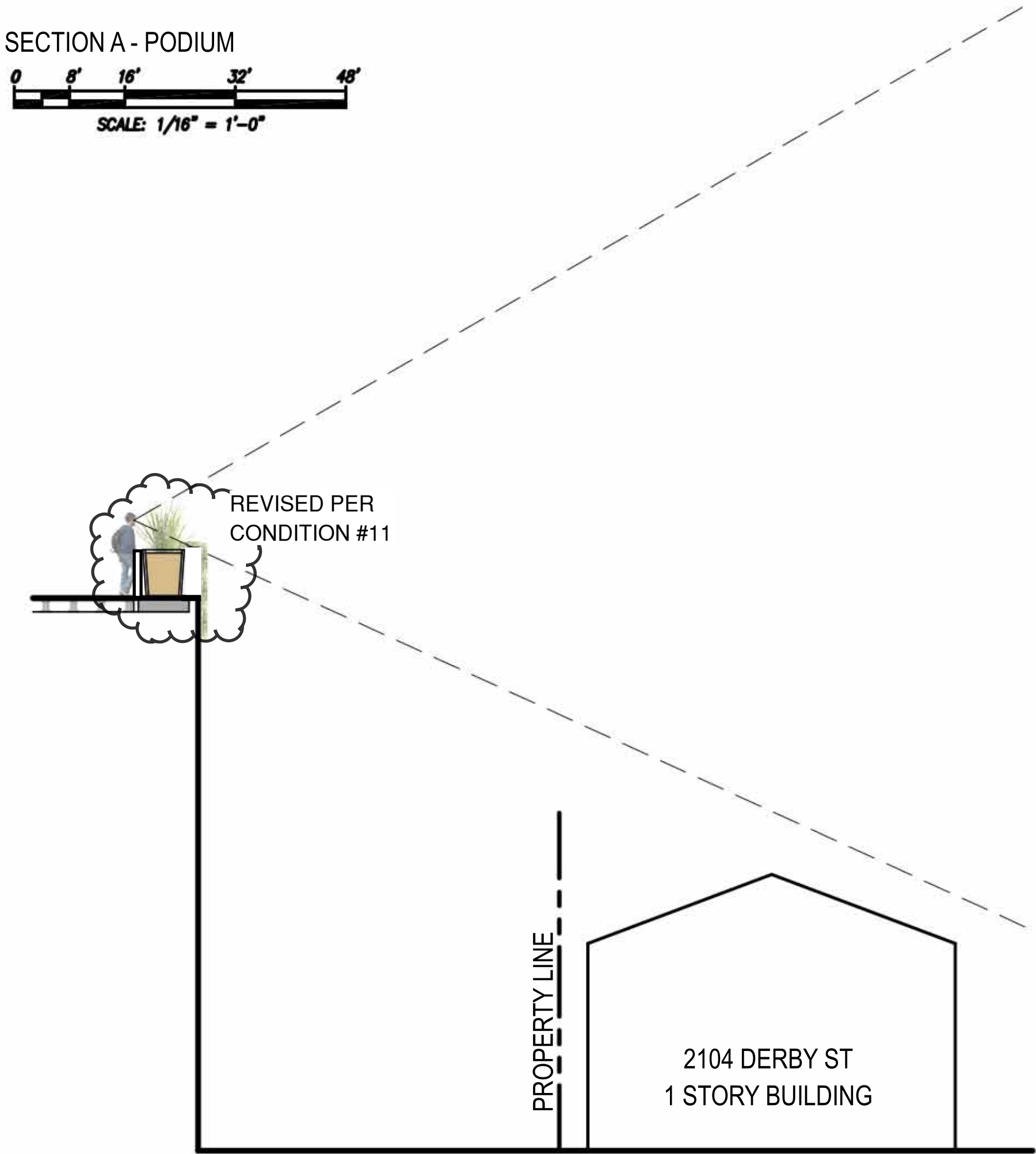
SECTION C - PODIUM
0 2' 4' 8' 12'
SCALE: 1/4" = 1'-0"



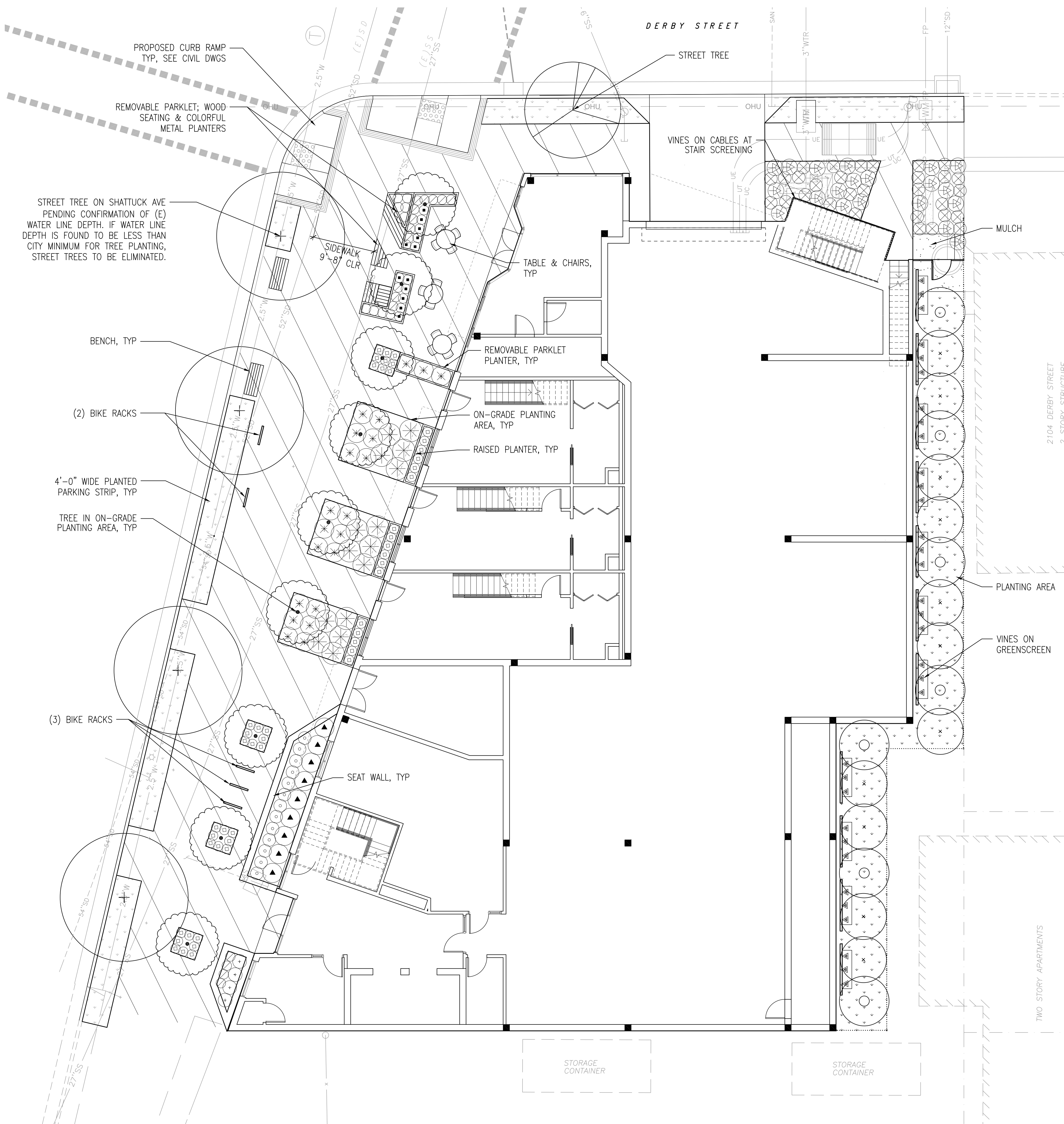
SECTION A - PODIUM
0 8' 16' 32' 48'
SCALE: 1/16" = 1'-0"



SECTION D - FOURTH AND FIFTH FLOOR, TYP
0 2' 4' 8' 12'
SCALE: 1/4" = 1'-0"



SECTION B - FOURTH FLOOR
0 8' 16' 32' 48'
SCALE: 1/16" = 1'-0"



PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME
STREET TREES		
	ACER RUBRUM 'SCARSEN'	SCARLET SENTIEL MAPLE, 24" BOX
	ACER BUERGERANUM	TRIDENT MAPLE, 24" BOX
TREES		
	LAGERSTROEMIA INDICA 'DYNAMITE'	GRAPE MYRTLE
	ACER PALMATUM 'SANGU KAKU' MIN HEIGHT: 8'-10" INSTALLED	JAPANESE MAPLE, 36" BOX
	ACER RUBRUM 'ARMSTRONG' MIN HEIGHT: 14'-16" INSTALLED	COLUMNAR RED MAPLE, 36" BOX
	AZARA MICROPHYLLA	BOXLEAF AZARA
	CERCIS CANADENSIS, MULTI MIN HEIGHT: 8'-10" INSTALLED	EASTERN REDBUD, 24" BOX
	CITRUS LIMON 'MEYER IMPROVED' CITRUS KUMQUAT	MEYER LEMON KUMQUAT
	OSMANTHUS FRAGRANS AURANTIACUS	ORANGE SWEET OLIVE
SHRUBS & GRASSES		
	ANEMONE X HYBRIDA 'HONORINE JOBERT'	JAPANESE ANEMONE
	PENSTEMON H. 'MARGARITA BOP'	BLUE PENSTEMON
	CAREX TUMULICOLA	BERKELEY SEDGE
	CORREA 'RAY'S TANGERINE'	AUSTRALIAN FUCHSIA
	ANIGOZANTHOS SPP.	KANGAROO PAWS
	KNIPHOFIA UVARIA	TORCH LILY
	LOMANDRA LONGIFOLIA 'BREEZE'	LOMANDRA
	LOROPETALUM V. RUBRUM 'BLUSH'	FRINGE FLOWER
	HEMEROCALLIS SPP.	DAYLILLY
	PHORMIUM SPP.	NEW ZEALAND FLAX
	MUHLENBERGIA RIGENS	DEER GRASS
	POLYSTICHUM MUNITIUM	CA. SWORD FERN
	PHORMIUM 'MARGARET JONES'	NEW ZEALAND FLAX
	ROSMARINUS 'TUSCAN BLUE'	T. BLUE ROSEMARY
	SARCOCOCCA HOOKERIANA HUMILIS	SWEET BOX
	VERBENA BONARIENSIS	PURPLE TOP
VINES		
	CAMPIS RADICANS	TRUMPET VINE
	HARDENBERGIA 'HAPPY WANDERER'	PURPLE LILAC VINE
GREEN ROOF MIX		
	SEDUM RUBOTINCTUM SEDUM SPATHIFOLIUM 'CAPE BLANCO' SEDUM 'ANGELINA' ERIOGONUM GRANDE V. RUBESCENS ACHILLEA MILLEFOLIUM 'PAPRIKA'	STONECROP STONECROP STONECROP BUCKWHEAT YARROW
GROUNDCOVER GRASSES		
	CAREX SPP. FESTUCA GLAUCA 'ELIJAH BLUE' NASSELLA TENUISSIMA	SEDGE SPECIES BLUE FESCUE FEATHER GRASS
	TURF	-
GROUNDCOVER PLANTING		
	CAREX DIVULSA CAREX TUMULICOLA CERATOSTIGMA PLUMBAGINOIDES JUNCUS PATENS POLYSTICHUM MUNITIUM	GRAY SEDGE BERKELEY SEDGE DWARF PLUMBAGO GRAY RUSH SWORD FERN
PRECAST POT PLANTING MIX		
	ANNUALS, TBD CAREX SPP. KNIPHOFIA UVARIA JUNCUS PATENS PHORMIUM HYBRIDS	- SEDGE SPECIES TORCH LILY GRAY RUSH NEW ZEALAND FLAX

SYMBOLS

PAVING

- DECORATIVE PAVING PATTERN
- COLORED CONCRETE PAVING

SITE FURNISHINGS

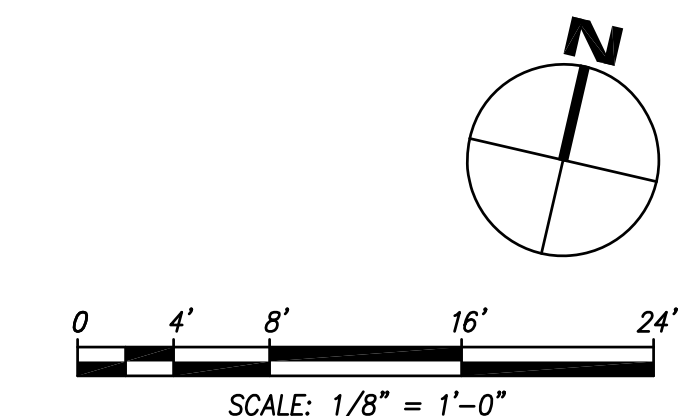
- RAISED PRECAST PLANTERS; VARIOUS SIZES
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PLANTING NOTES

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2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
PLANTING PLAN - GROUND

drawn
checked
date
scale
job no.
202
sheet

L2.1

DERBY STREET

SHATTUCK AVENUE



2104 DERBY STREET
2 STORY STRUCTURE

COLORED CONCRETE PEDESTAL PAVING, TYP

ADIRONDACK CHAIR, TYP

3' HT PLANTER

4' HT TREE PLANTER, TYP

2' HT PLANTER

BUILT-IN BENCH, TYP

TWO STORY APARTMENTS

PLANT LIST		
SYMBOL	BOTANICAL NAME	COMMON NAME
STREET TREES		
	ACER RUBRUM 'SCARSEN'	SCARLET SENTIEL MAPLE, 24" BOX
	ACER BUERGERANUM	TRIDENT MAPLE, 24" BOX
TREES		
	LAGERSTROEMIA INDICA 'DYNAMITE'	CRAPE MYRTLE
	ACER PALMATUM 'SANCU KAKU' MIN HEIGHT: 8'-10' INSTALLED	JAPANESE MAPLE, 36" BOX
	ACER RUBRUM 'ARMSTRONG' MIN HEIGHT: 14'-16' INSTALLED	COLUMNAR RED MAPLE, 36" BOX
	AZARA MICROPHYLLA	BOXLEAF AZARA
	CERCIS CANADENSIS, MULTI MIN HEIGHT: 8'-10' INSTALLED	EASTERN REDBUD, 24" BOX
	CITRUS LIMON 'MEYER IMPROVED' CITRUS KUMQUAT	MEYER LEMON KUMQUAT
	OSMANTHUS FRAGRANS AURANTIACUS	ORANGE SWEET OLIVE
SHRUBS & GRASSES		
	ANEMONE X HYBRIDA 'HONORINE JOBERT'	JAPANESE ANEMONE
	PENSTEMON H. 'MARGARITA BOP'	BLUE PENSTEMON
	CAREX TUMULICOLA	BERKELEY SEDGE
	CORREA 'RAY'S TANGERINE'	AUSTRALIAN FUCHSIA
	ANIGOZANTHOS SPP.	KANGAROO PAWS
	KNIPHOFIA UVARIA	TORCH LILY
	LOMANDRA LONGIFOLIA 'BREEZE'	LOMANDRA
	LOROPETALUM V. RUBRUM 'BLUSH'	FRINGE FLOWER
	HEMEROCALLIS SPP.	DAYLILLY
	PHORMIUM SPP.	NEW ZEALAND FLAX
	MUHLENBERGIA RIGENS	DEER GRASS
	POLYSTICHUM MUNITIUM	CA. SWORD FERN
	PHORMIUM 'MARGARET JONES'	NEW ZEALAND FLAX
	ROSMARINUS 'TUSCAN BLUE'	T. BLUE ROSEMARY
	SARCOCOCCA HOOKERIANA HUMILIS	SWEET BOX
	VERBENA BONARIENSIS	PURPLE TOP
VINES		
	CAMPISIS RADICANS	TRUMPET VINE
	HARDENBERGIA 'HAPPY WANDERER'	PURPLE LILAC VINE
GREEN ROOF MIX		
	SEDUM RUBOTINCTUM	STONECROP
	SEDUM SPATHIFOLIUM 'CAPE BLANCO'	STONECROP
	SEDUM 'ANGELINA'	STONECROP
	ERIOGONUM GRANDE V. RUBESCENS	BUCKWHEAT
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GROUNDCOVER GRASSES		
	CAREX SPP.	SEDGE SPECIES
	FESTUCA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE
	NASSELLA TENUISSIMA	FEATHER GRASS
	TURF	-
GROUNDCOVER PLANTING		
	CAREX DIVULSA	GRAY SEDGE
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	CERATOSTIGMA PLUMBAGINOIDES	DWARF PLUMBAGO
	JUNCUS PATENS	GRAY RUSH
	POLYSTICHUM MUNITIUM	SWORD FERN
PRECAST POT PLANTING MIX		
	ANNUALS, TBD CAREX SPP.	SEDGE SPECIES
	KNIPHOFIA UVARIA	TORCH LILY
	JUNCUS PATENS	GRAY RUSH
	PHORMIUM HYBRIDS	NEW ZEALAND FLAX

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SITE FURNISHINGS

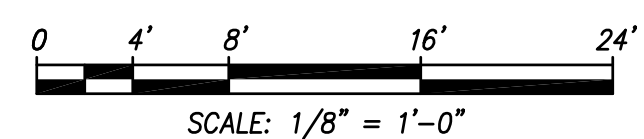
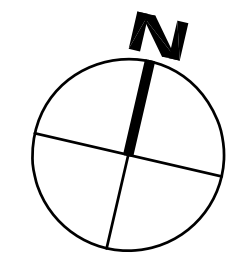
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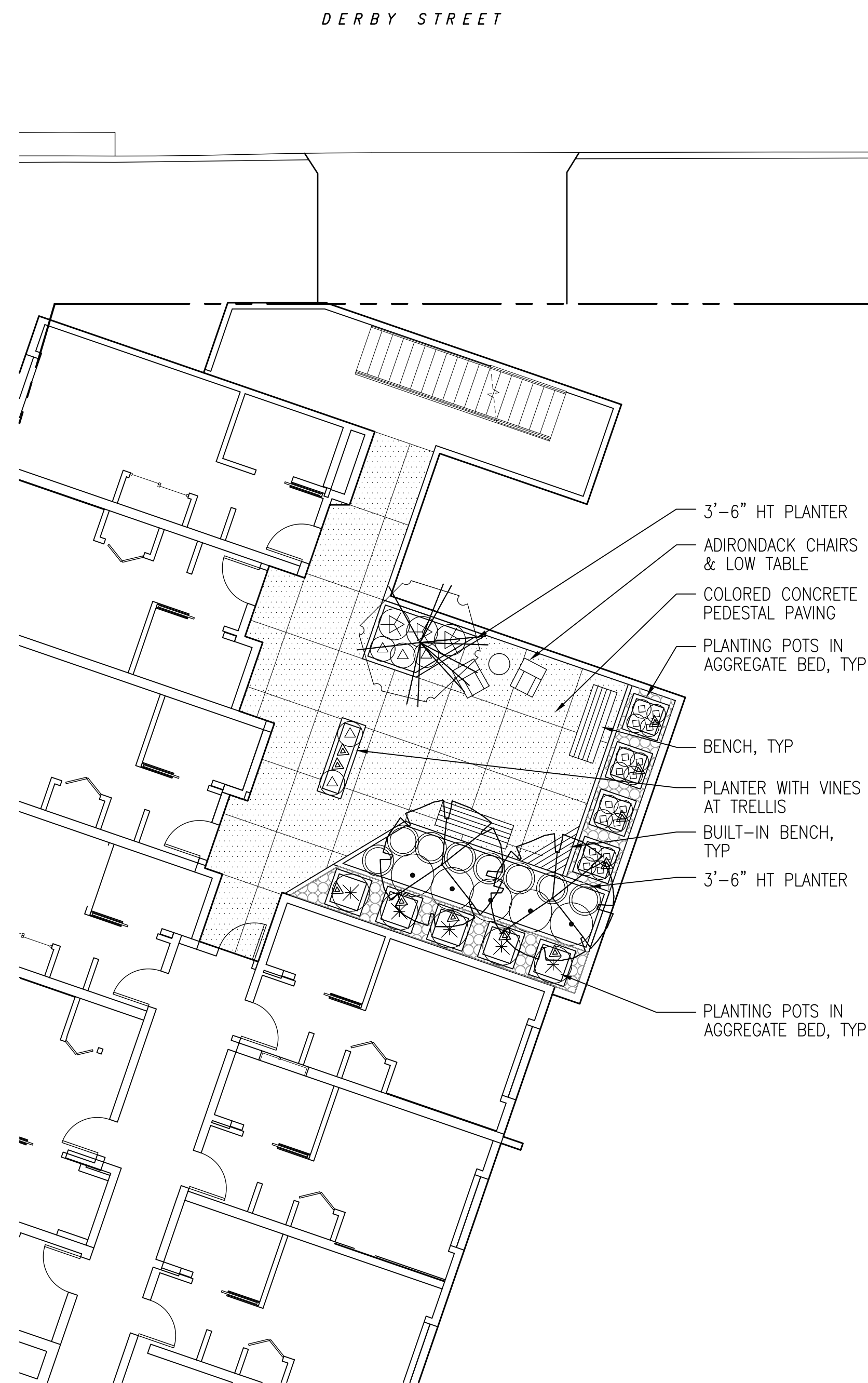
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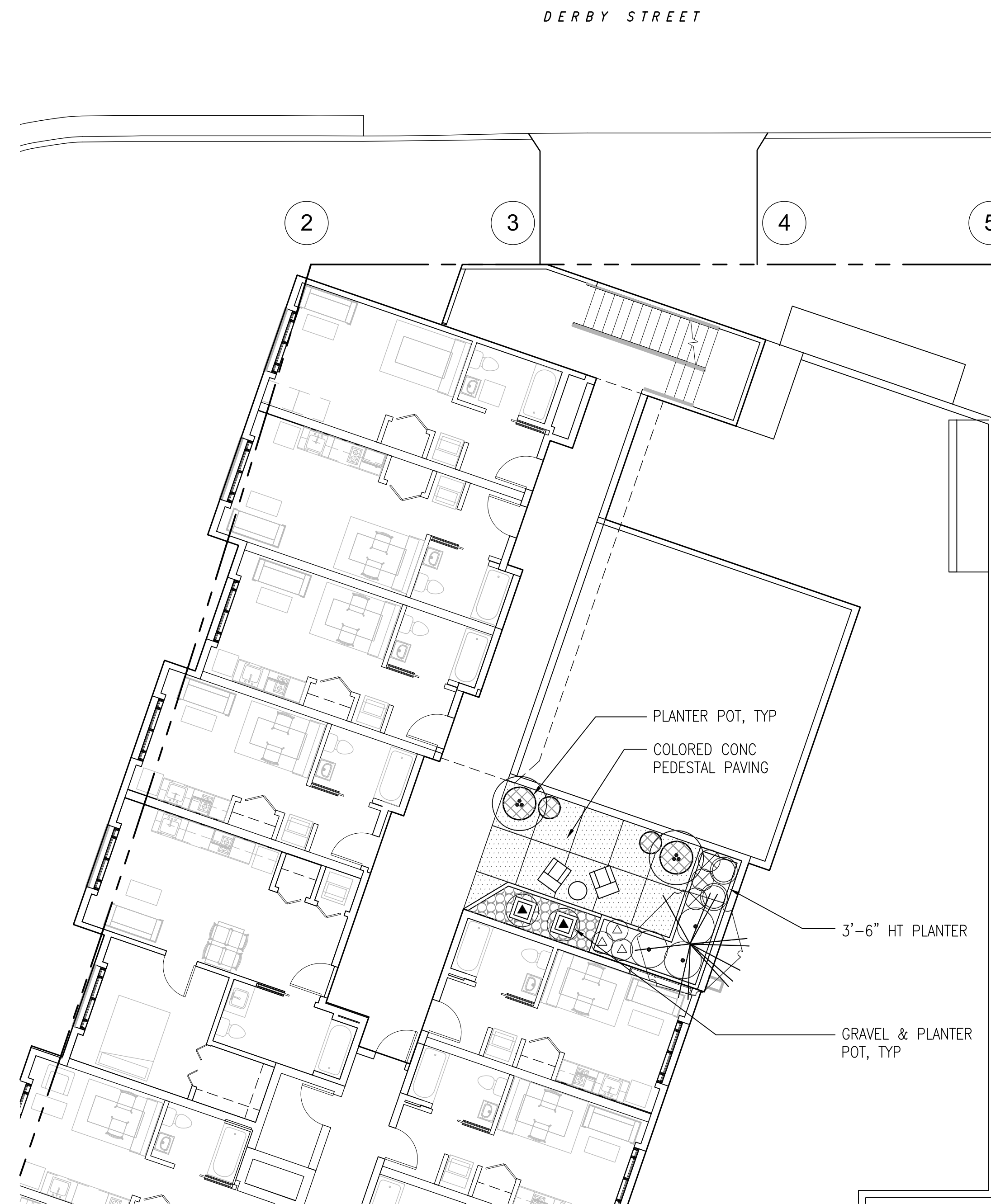
drawing
PLANTING PLAN - PODIUM

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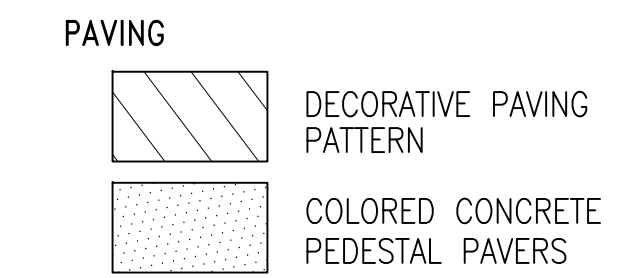
1 PLANTING PLAN - 4TH FLOOR
SCALE: 1/8" = 1'-0"



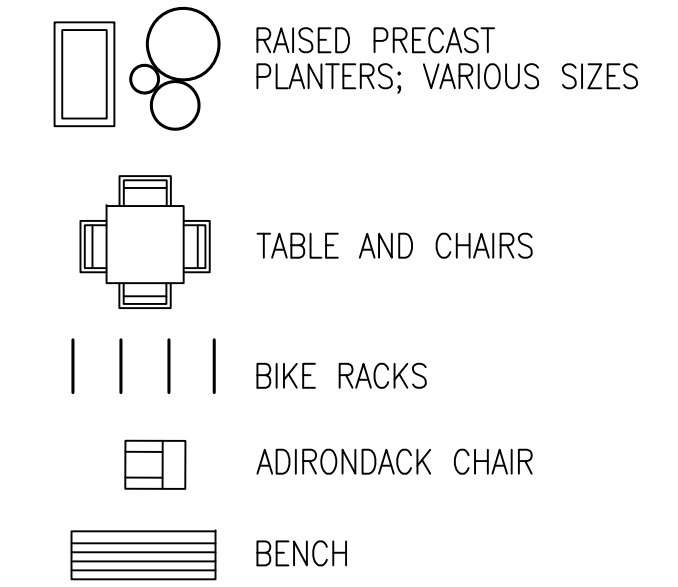
2 PLANTING PLAN - 5TH FLOOR
SCALE: 1/8" = 1'-0"

PLANT LIST		
SYMBOL	BOTANICAL NAME	COMMON NAME
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TREES		
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	KNIPHOFIA UVARIA	TORCH LILY
	LOMANDRA LONGIFOLIA 'BREEZE'	LOMANDRA
	LOROPETALUM V. RUBRUM 'BLUSH'	FRINGE FLOWER
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VINES		
	CAMPDIS RADICANS	TRUMPET VINE
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GROUNDCOVER GRASSES		
	CAREX SPP. FESTUCA GLAUCA 'ELIJAH BLUE' NASSELLA TENUISSIMA	SEDGE SPECIES BLUE FESCUE FEATHER GRASS
	TURF	-
GROUNDCOVER PLANTING		
	CAREX DIVULSA CAREX TUMULICOLA CERATOSTIGMA PLUMBAGINOIDES JUNCUS PATENS POLYSTICHUM MUNITIUM	GRAY SEDGE BERKELEY SEDGE DWARF PLUMBAGO GRAY RUSH SWORD FERN
PRECAST POT PLANTING MIX		
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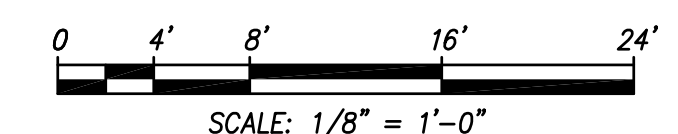
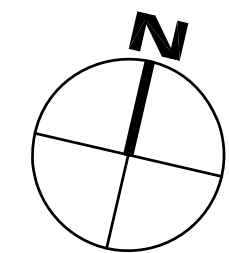


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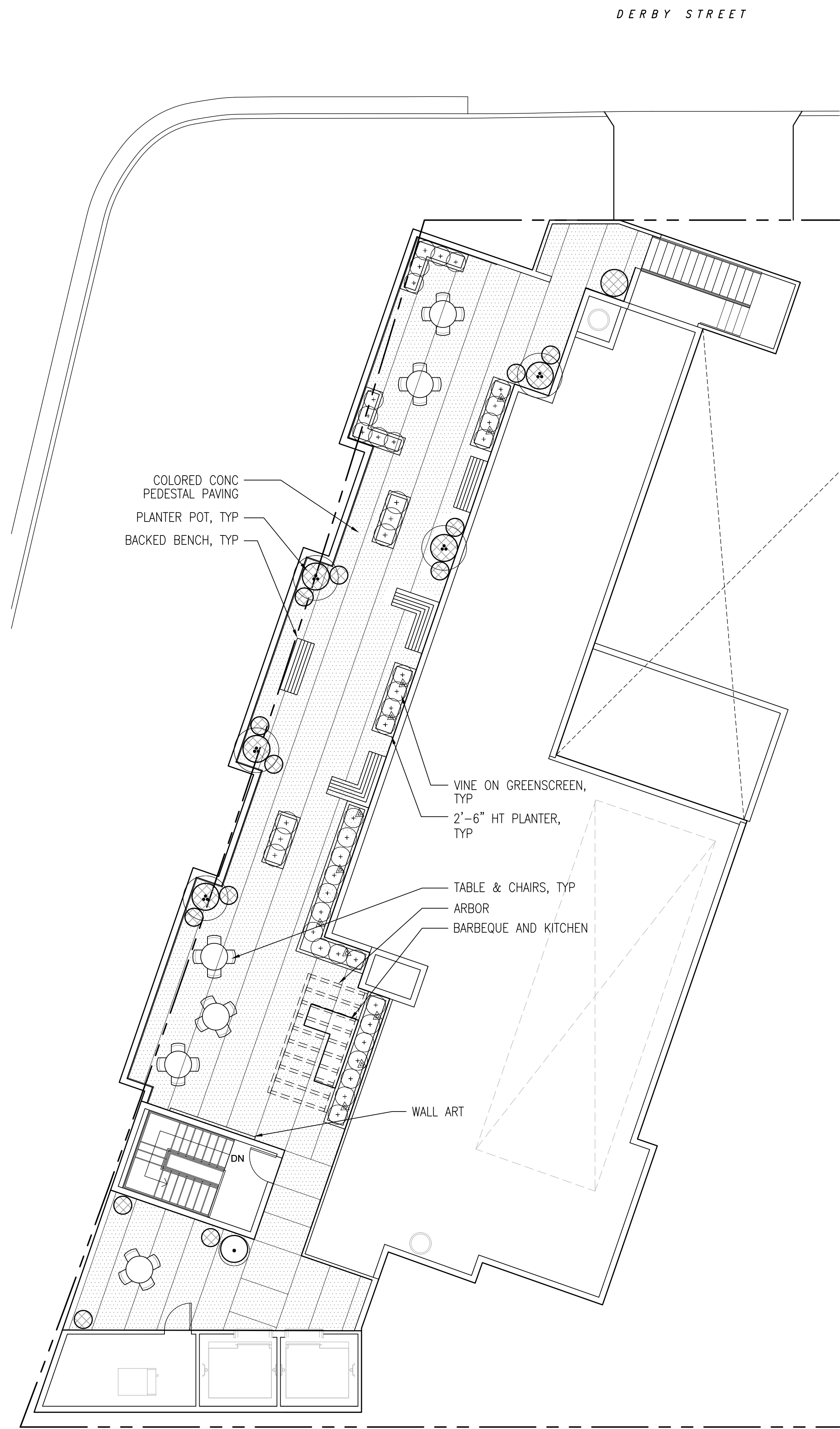
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drawing
PLANTING PLAN - 4TH & 5TH

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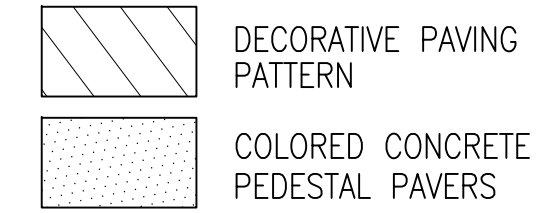


1 PLANTING PLAN - ROOF
SCALE: 1/8" = 1'-0"

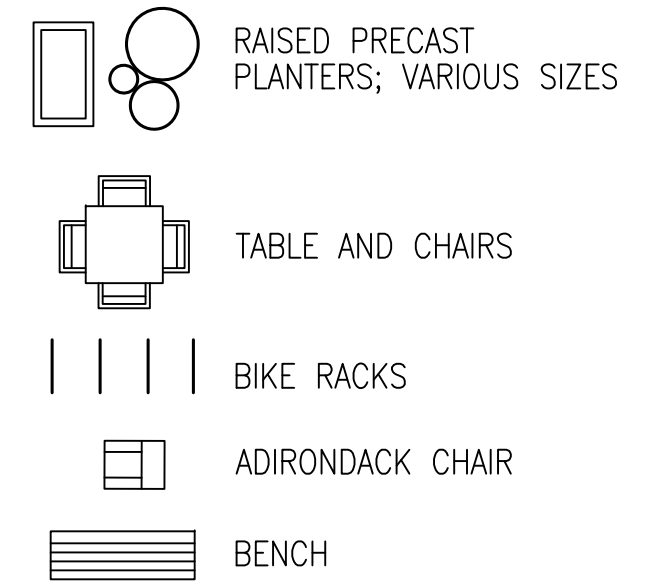
PLANT LIST		
SYMBOL	BOTANICAL NAME	COMMON NAME
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	LOROPETALUM V. RUBRUM 'BLUSH'	FRINGE FLOWER
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PAVING



SITE FURNISHINGS

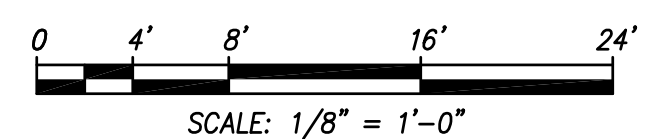
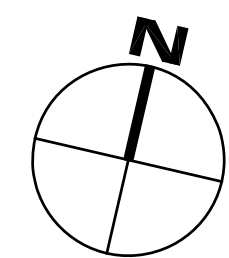


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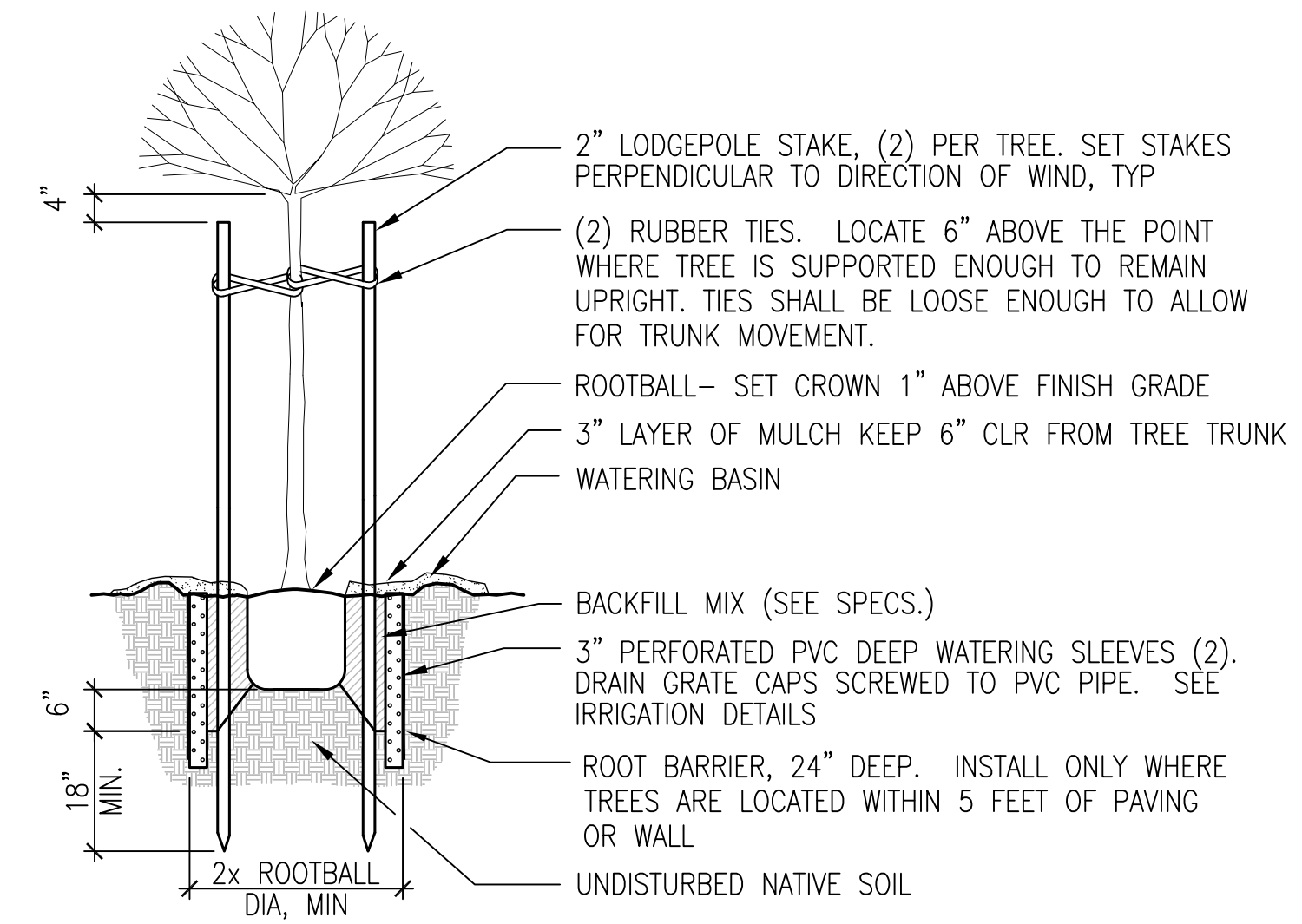
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drawing
PLANTING
PLAN -
ROOF

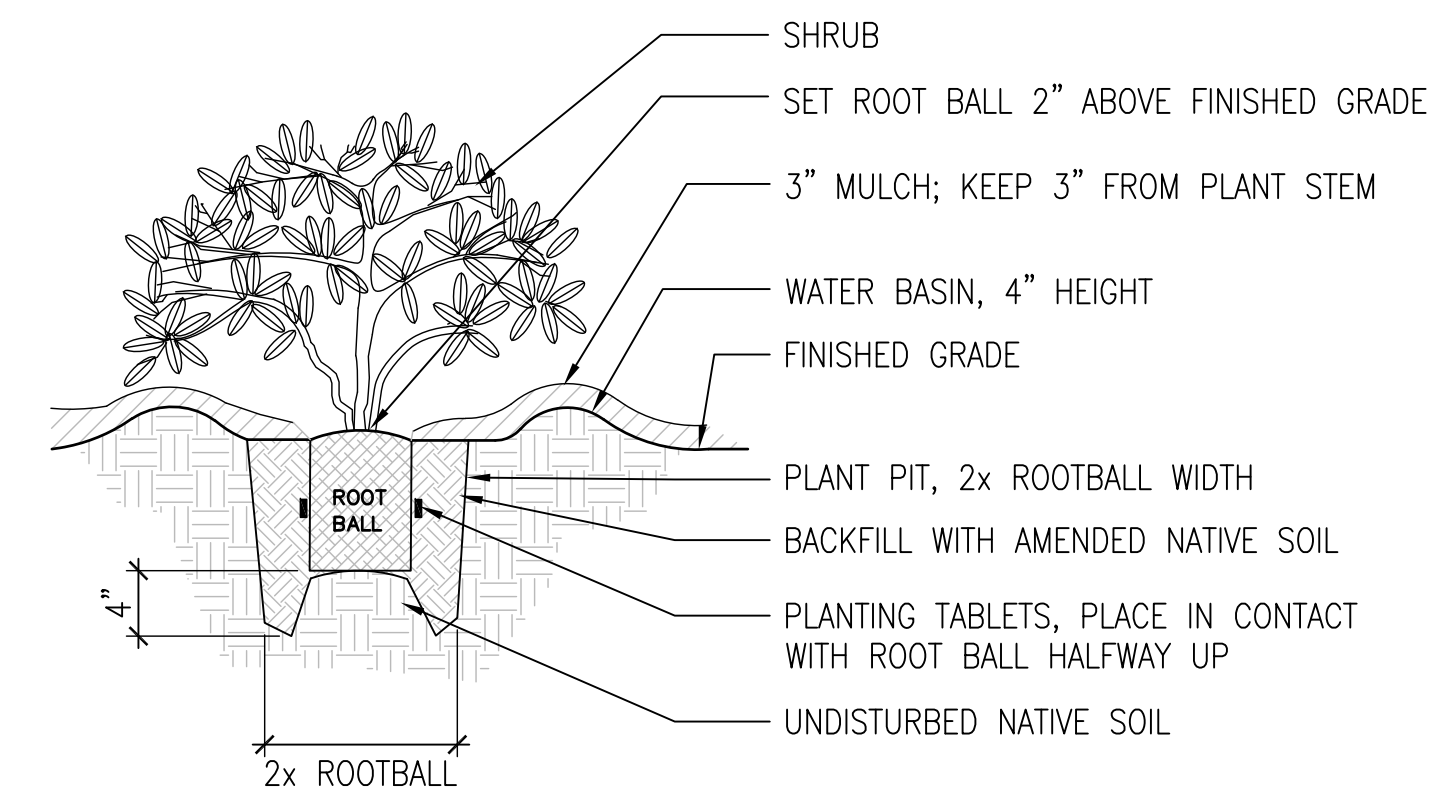
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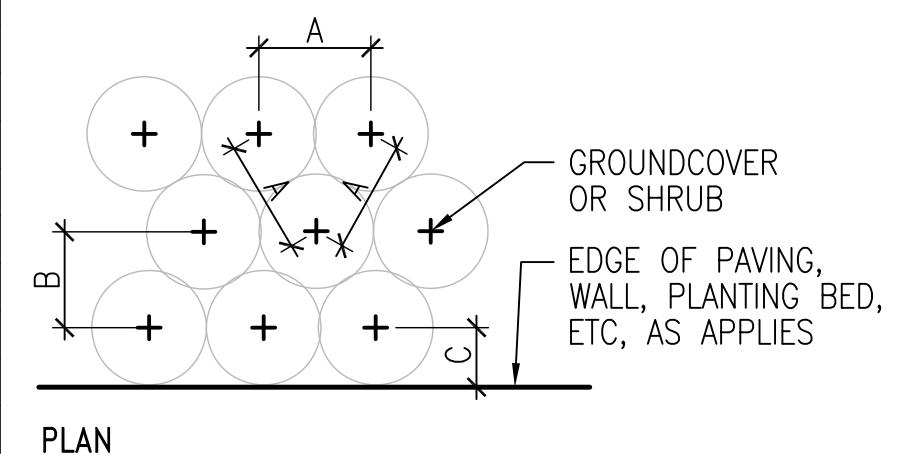
NOTE
EXCAVATE PLANTING PIT TO 2x THE WIDTH OF THE ROOTBALL. SCARIFY SIDES OF PIT.

1 TREE PLANTING
SCALE: 1/2" = 1'



2 SHRUB PLANTING
SCALE: 1" = 1'

PLANT SPACING & QUANTITIES CHART			
SPACING 'A'	SPACING 'B'	SPACING 'C'	NUMBER OF PLANTS PER SQUARE FOOT
6" OC	5.20"	2.60"	4.615
8" OC	6.93"	3.47"	2.597
10" OC	8.66"	4.33"	1.663
1'-0" OC	10.40"	5.20"	1.154
1'-3" OC	13.00"	6.50"	0.738
1'-6" OC	15.60"	7.80"	0.513
2'-0" OC	20.78"	10.39"	0.289
2'-6" OC	26.00"	13.00"	0.185
3'-0" OC	31.18"	15.59"	0.128
3'-6" OC	34.64"	17.32"	0.104
4'-0" OC	41.57"	20.79"	0.072
5'-0" OC	51.96"	25.98"	0.046
6'-0" OC	62.35"	31.18"	0.032



NOTES

1. DIAGRAM APPLIES TO ALL GROUNDCOVER AND MASSES SHRUB PLANTINGS. SUCH PLANTS ARE TO BE SPACED EQUIDISTANT TO EACH OTHER IN A TRIANGULAR PATTERN AS SHOWN ABOVE, UNLESS OTHERWISE NOTED ON THE PLANS.
2. WHERE GROUNDCOVER OR SHRUB MASSING OCCURS ADJACENT TO EDGE OF PAVING, WALLS, CURBS, OR ADJACENT PLANTING BEDS, UTILIZE SPACING 'C', WHERE C=1/2 B.

3 PLANT SPACING
SCALE: 1" = 1'

revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	-
ZAB SUBMITTAL 6/28/18	-
DRC SUBMITTAL 9/20/18	-
ZAB SUBMITTAL 11/08/18	-

HDO
architects, planners
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suite 110
walnut creek, ca
94597
(925) 256-6042

JETT
LANDSCAPE ARCHITECTURE + DESIGN
CRLA # 3335 · 2 Theatre Square # 218
Orinda CA · 94563
925.254.5422 · www.jett.land

**2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC**

drawing
**PLANTING
DETAILS**

drawn
checked
date
scale
job no.
1802
sheet
L2.5


CITY OF BERKELEY
CITY CLERK DEPT

Dec 1, 2018

2018 DEC -3 AM 11:34

RD

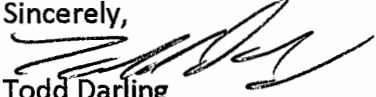
Berkeley Mayor and City Council
c/o City Clerk
2180 Milvia Street
Berkeley, CA 94704


2701

Appeal of Use Permit for ~~2187~~ 2107 Shattuck Avenue, Use Permit # ZP2016-0244

Dear Mayor Arreguin, and City Council Members:

We hereby appeal the Nov. 8, 2018 decision of the Zoning Adjustment Board on the proposed development at 2107 Shattuck. Appellants request that the City Council vacate the Use Permit approvals, the ZAB's adoption of the plans, and all other permits, approvals, licenses or entitlements approved by the ZAB for all the reasons described in the project opponent's written comments submitted to the ZAB for the Nov 8 meeting. The ZAB mistakenly interprets the state density bonus law as allowing the developers excessive concessions and zoning waivers, and fails to take into account that the out-of-scale mass of the development on a small, irregularly shaped lot, transfers too many detriments, liabilities and encroachments onto the public, nearby residents and landowners. These issues include, but are not limited to: the lack of set-backs and step-downs and other violations and inconsistencies of the proposed permits with the City general plan, zoning code and land use and energy polices; the privatization of public right of way by the developers and proposed tenants; violations of the California State Solar Rights Act of 1978 and the city's own solar power initiative; the liabilities created by the lack of adequate traffic study given the busy location and operation of mechanical parking devices; subterranean excavations on top of an underground creek; and other matters that will be raised on or before the date that the Council hears the appeal.

Sincerely,

Todd Darling
310-828-5662 (mobile)


Linda Jensen Darling
510-225-0922

We the undersigned support the Appeal of Use Permit for 2107 Shattuck Avenue, Use Permit # ZP2016-0244 . We live within 300 feet of the proposed project's property line. Page 1

NAME	ADDRESS	DATE
<i>Eugenie Candau</i>		
Eugenie Candau	2108 Derby St.	1 Dec. 2018
Rachid El Mousse	2708 Walker St #7	1 Dec 2018
Halima Bensadek	2708 Walker St #6	12/01/2018
Ridly Mook	2146 Derby St	Dec 18
Anupama Gomez	2135 Ward St	12/1/18
CHRISTOPHER CANZONIERI	2116 DERBY ST	12/1/18
Monica Canzonieri	2116 Derby St	12/1/18
<i>Keith Dunham</i>	2126 Derby St.	12/1/18
Elizabeth Dittmars	2117 Derby St.	12/1/18
JON BALDERSTAD	2128 Derby St	12/1/18
Louise Rosenblatt	2124 Derby St.	12/1/18
Gail Brown	2124 Derby St	12/1/18
<i>Anna T...</i>	2124 Derby St	12/1/18
Patricia Bell	2703 Walker St.	12/2/18
Karen Congdon	2703 WALKER ST	12.2/18
<i>Anna T...</i>	2135 WARD ST	12.2.18
<i>Anna T...</i>	2707 Walker St.	12/2/18
<i>Anna T...</i>	2707 Walker St	12/2/18

We the undersigned support the Appeal of Use Permit for 2107 Shattuck Avenue, Use Permit # ZP2016-0244. We live within 300 feet of the proposed project's property line. Page 2

NAME

ADDRESS

DATE

Mohamed Touzani 2708 Walker St #8 Berkeley 94705-12/01/18

Nora Boumvar 2708 walker St #8 Berkeley 94705 12/01/18

Samy Belkadi 2708 walker St #3 Berkeley 94705 12/01/18

Miloud TATAR 2708 Walker St #3 Berkeley 94705 12/01/18

Nadee Mubarak 2708 walker St #4 Berkeley 94705 12/01/18

Saeeda Bagum 2708 walker St #4 Berkeley 94705 12/01/18

Ali sidisalah 2708 walker St #6 Berkeley 12/02/18

Jacob, Melinda

Subject: FW: 2701 Shattuck Comments for ZAB hearing Nov 8
Attachments: ZAB 2701 Shattuck vNov 1 TD comments NO PHOTO.pdf; Car parked on Derby sidewalk at Shattuck Nov 2 2018.jpg

From: Todd Darling [<mailto:tdarling2000@yahoo.com>]
Sent: Monday, November 05, 2018 10:08 AM
To: Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>
Cc: Bartlett, Ben <BBartlett@cityofberkeley.info>
Subject: 2701 Shattuck Comments for ZAB hearing Nov 8

To the Zoning Adjustments Board:

Please find my comments attached.

Since the final plans for 2701 Shattuck were only made available on Nov. 1, 2018 - seven days before the hearing - it was impossible to examine the plans and send in our comments prior to the seven day deadline of the Nov 8 ZAB meeting. Since we live one door away from this proposed project, we would appreciate if our comments are delivered promptly to the ZAB members so they have time to receive and to read.

It should be noted that Berkeley City Planning failed to allow a thirty day period after the release of the plans before the ZAB meeting was scheduled. The Planning Department has allowed the same tactic recently used by the Trump Administration when it supplied documents to the Judiciary Committee regarding Judge Kavanaugh: the documents regarding the Judge's time in the Bush White House arrived at the committee so late as to foreclose adequate analysis of the documents prior to the crucial public hearing.

Given the route taken by the developers, and allowed by City Planning, our comments arrive after the seven day deadline. Kindly make sure they are delivered promptly.

Sincerely,
Todd Darling
Linda Jensen Darling
Derby St.

Dear Members of the Zoning Adjustment Board.

I urge you to consider the following issues related to the 2701 Shattuck proposal:

- the project creates too many detriments to justify the underlying density bonus;
- procedures to arrive at this hearing, on this schedule, is fundamentally flawed and effectively limits the public's right to participate – this meeting should have been at least two weeks later;
- such a low level of affordable housing units does not justify the harm to the public good created by this project– a number so low that they still have to pay substantial “in-lieu” fees;
- the scale of the building requires too much privatization of public space and right away;
- project's scale will present traffic hazards that cannot be mitigated; for the nearby property owners,
- the impacts of this project amount to a “taking” and will vastly reduce the enjoyment and value of our homes;
- and the scale of the project negatively effects other state and locally mandated priorities such as solar power and local food.

The negative aspects of the project are not limited to these issues, as you will read below.

Most, if not all of these problems derive from trying to put a too large building on a too small lot. This lot is immediately adjacent to an already dense, residential neighborhood that has been there for more than one hundred years.

Our home is located approximately thirty-eight feet from the 2701 Shattuck property. There is already a plan that has been approved by ZAB, but the developers have chosen to ignore this option and have vastly increased the scale for this small property. It is important to set aside notions that the state's “Housing Accountability Act” is ironclad and cannot be challenged. That law cannot give carte blanche to any developer to do anything without consequence. This law has its limits, and this building clearly goes over those boundaries by creating too heavy a burden of detriments on both landowners and the public, and violates local solar power initiatives.

In Lieu Fees

The fair examination of this proposal hinges on two things: the detriments caused the public and nearby landowners and the public benefit of four, small affordable units. The structure is 200% over what is allowed by code, while that increase might be justified in some catastrophe, or some massive public good, this increase of thousands of extra square feet that for a total of 27,300 square feet will yield less than 2000 square feet of “affordable” units. The number of units (5) doesn't even cross the threshold of what the city suggests for affordable units and so the developers are willing to pay millions of dollars “in lieu” fees to get this deal. Clearly, if the developers are required to pay “in lieu” fees to compensate for a lack of affordable housing, then this developer is receiving a windfall profit at the expense of the public without the achievement of the desired social good that underlies this law.

This public subsidy to the private developers should be rejected on these grounds. But, the detriments of this project by themselves outweigh any benefits to the public.

Please note, that this neighborhood is not down-town. Our houses are over one hundred years old. This is a densely packed residential area housing people ranging in age from toddlers to seniors. More people live in the shadow of this building than will ever live inside this building. The character of the neighborhood is supposed to be respected by CEQA, and CEQA should apply in this case because the “density bonus” is bogus.

Violation of City’s public meeting regulations

Procedurally, this hearing should not even be taking place on Nov. 8. The plans were not even available, according to the City’s Planner, Sharon Gong, until Nov 1. Comments are due 7 days before the hearing. That gives one day to view the plans of a huge building and make carefully considered written remarks. This communication will have taken a full work day to prepare. Some of us have to work for a living and cannot take time to make those comments until a week-end rolls around. The City calls for 30 days and adequate time for the public to react to plans. The timing of this hearing effectively disenfranchises the public’s ability to participate in an effective hearing. My written comments will arrive no earlier than Monday Nov 5 so City Planning has handed me a “fait accompli” that my written comments are too late to be included in the ZAB packet, and hence not read by ZAB members prior to their meeting. I will attempt to contact individual ZAB members but then what should be a normal submission will become “ex parte”. This aggressive approach by the developer indicates clearly that they do not want the public to look too closely at their plans.

Detriments:

The project encloses too much of the sidewalk on **Shattuck Blvd**. I walk or skate board down this sidewalk almost daily. Many people walking to and from the restaurant Kerala, Sconehege, and the Berkeley Bowl use this sidewalk, often laden with bags. The developers want to use up the sidewalk with private gardens for their townhouses, and bike rental racks – leaving not much space for actual pedestrians. The developers wish to construct private space to create the semblance a front door step/yard/stoop because their building is zero set-back, and because it violates other Berkeley city codes that say that first floor housing cannot be built without a proper set-back. The building is too large to actually accommodate what they want to rent out – so the developers demand that the public give up its right of way, at no cost, so their tenants can have a front yard. If all Berkeley residents were to similarly claim the public right of way – how much pedestrian space would be left?

The developers also slipped in “commercial bike racks” without any public hearing or input from the public. And all of this will probably require moving the bus stop that is currently on that corner. Three unacceptable detriments caused by the over-size project on Shattuck Blvd sidewalk: inadequate front set-back; privatizing public right of way for private gardens and privatizing public sidewalk for commercial bike racks with zero public consultation.

Traffic

On **Derby Street** the zero foot set-back will make 2701 Shattuck the only structure for the length of Derby to have zero –foot setback. On the corner of Derby and Shattuck the zero feet set back will eventually cause car accidents because of the lack of view around the corner.

Already the complete lack of parking in the building next to it encourages visitors and residents of that building to pull around the corner onto Derby and park illegally. The new building to the south of this lot, open just one month, and already I have witnessed people pull around the corner, park on the sidewalk and then visit the new building. (see attached photo). I witnessed the two men in the car walk into the “Kennedy Building” while I stood there. Add a drive-way on Derby for a couple dozen parking places, that relies on “automatic parking lifts” and there will be a line of traffic waiting to get in, and eventually an impatient visitor will turn that corner too fast and hit a car waiting to get into the drive way. The drive way gate opens onto the sidewalk and leaves next to zero view of the street that often has fast traffic going towards Telegraph. The zero-set back is too much for the circumstance. The accident of someone pulling out of the drive way blindly, getting “T-boned” by a fast-moving car going East could easily cause bodily harm. If there were something greater than zero set back – say the set-back required by code – this might be more easily avoided. The desire for density imposes a threat to public safety. Berkeley should not knowingly exchange an obvious design flaw for bodily harm. This safety issue is a detriment caused by this design. I live near this corner, and I do not see how this design will not result in a tragedy. At least two more detriments added to the list.

There has been no discussion of a traffic study to validate any safety claims of this design.

Stairwell/Viewing platform

The stairway hanging over the north side of the property is part of the zero-feet set back problem. They could have put it on the east side following the contours of the step back of the north-east side of building – but they preferred to place it on the public’s view that is otherwise a protected set-back for a couple miles in either direction. For the immediate neighbors this creates at least two detriments. First it gives a platform six stories high for the residents to gaze down upon our back yards and areas where families and children hang out. Secondly, it increases the shade factor significantly on the surrounding properties. This stairwell goes all the way to the top floor of “open space”, trees, awnings, screens which in reality underscores the fact that this a six-story building the tallest one around. The stairwell is also really ugly. There is another such structure in Oakland down Shattuck and it looks like a jail. So, by itself this stairwell depresses our property value, covers our property in shade, and gives new residents a viewing platforms from which they can surveil our yards and windows.

Examine the placement of this stairwell relative to the lot line – it comes very close to the eastern property line. Notice on p. 17 of their renderings with the drawings of people on the stairway. Why should a new design be so bad as to allow this? This six-story stairwell, with screens and footsteps all times of the day is going to shade my solar panels, look down on my house at close range (about 50 feet away from my house), and deliver a drum-beat of footsteps around the clock. Three more detriments caused by the inflated size and design of this project.

Dormitory next to family residential

The dormitory nature of this building is not in keeping with the family nature of this neighborhood. Even the students in this area live in groups, and so are socialized to be used to groups of people. No one will reside in 279 square feet for very long. It is unlikely they will settle down in this shoe box and raise a family. To get a feel for life in this building please refer to Page 23 of their plans and imagine life in "Unit B-2". Forty-six short term, perhaps uncomfortable dorm dwellers with no common area where they formally mingle is really an intrusion into this residential area. And if UC decides to long term lease the building as happened to the Kennedy building next door the tax base of Berkeley won't even increase. The design of this building guarantees the inhabitants will be uncomfortable, and therefore will be a transient population that will never have much connection with the long term existing residents. Taken over the span of ten years, that could easily be 470 different residents in the dorm rooms. The interactions between the transient inhabitants and the nearby families should concern the City. An ad hoc dormitory for the University, but without any University programs or supervision sounds like a problem. Within a month of opening the new Kennedy dormitory, which ZAB granted shortened setback with the neighbors to the east, already had raging parties until 3 am under the windows of a family with toddlers. Calls to the police went unanswered.

Sixth Floor open space

The viewing decks on the upper floors will be great places to have a party - if they are used. But even if they are not utilized by the inhabitants the trees, screens, coverings and roof top structures essentially makes this a six-story building. The shade of this building is that of a six story building, and the stairwell open to all residents goes up six stories – so this is not a five story building it is a six story building. The shade will be cast from the top of the building which will reach a uniform 70 feet high once the trees, screens and awnings are built. To say otherwise is a disingenuous. **I also question whether or not the shade studies done by the developers include the impact of the sixth story's screens, trees and awnings. Have these factors been included in the shade study?**

Praising the penthouse "open space" at the design review committee was quite ironic since this viewing platform adds greater shade for the neighbors to the east, and adds surveillance for the open space of dozens of neighbors. Give the open space to the new building and simultaneously erodes and worsens the open space of the existing residents - who are at least equal in number. This detriment is clearly shown on the "eastern elevation" on page 19 of their proposal. The sixth story is evident.

I Don't Live In California For The Shade

This project presents a significant shade detriment. The shade drawings are set at 2pm and 4 pm so as to give the impression that it is sunny much longer than it really is. Basically, the shade starts at 2 pm every day of the year. From May until mid-August our home will lose over five to six hours of daylight per day. Many countries and states actually have the "right to sunlight". In our case, the desire to make Berkeley into Brooklyn will have consequences that need to be accounted for.

First and foremost, the City of Berkeley has made it a goal to create solar power. Solar power is particularly important in the summer during the afternoon when air conditioning and day time use is at its peak. Our solar array on our roof will be shaded by this building during the peak hours. This compromises our ability to create energy, which in turn costs of actual money as we cannot sell that power to the "local energy" program in the East Bay. This building's shade takes money out of my pocket, while inhibiting solar energy. Do the developers plan on compensating me for the cost of my solar array? Do the developers plan to pay a carbon tax for the energy they burn to heat and cool this building? This is one example of when too much density has too high an environmental cost. Were this building two floors shorter with adequate set back this problem would go away.

Our potential loss on a 25 -year solar array is about \$2,500 a year or a potential total loss of \$62,500, based on an early estimate of what the system will generate and what the East Bay Community Energy will pay. EBCE was launched in 2018 and will buy solar power and distribute to electric users over PG&E lines.

The environmental impact of this building will also translate in all of the neighbors having to turn on their heat earlier in the day during the winter. We once could rely on the sun to keep our houses warmer. But, since this blocks the sun earlier – we will burn more heating fuel.

Seasonal affect disorder is a real thing- and the building will increase the incidence of this experience for several dozen people.

And, our ability to grow food on our back porch will wither with the construction of this building. In a drought prone, increasingly hot environment growing food of our own is important, is a noted civic value, and it is stupid to plan buildings in a way that forecloses this possibility for the neighbors. The shade creates at least four detriments all of which cost me money.

The sun could actually be the best yardstick for siting and designing buildings. Once again, this building is too large for the lot, and is located in the wrong place. The sun should be a primary guiding factor when planning new, denser structures. If the sun and shade is accounted for, building lots more carefully selected then the construction of new buildings will be more easily accepted by the public. Blocking the sunlight from the west in Berkeley for an entire neighborhood is the worst possible place for a tall structure

Flooding and subterranean creeks

Public safety and the well-being of the neighboring properties faces a serious hazard seen on page 20 where they propose and underground "gallery" for the parking perhaps? On maps you can see that this building is going on top of "Derby Creek". Neighbors who have dug down just a little bit have hit water and needed to install sump pumps. During an El Niño year of heavy rain this underground "gallery" will face problems and who knows the impact on the nearby properties. Do the developers have any known contingency for this? Do they have insurance

to cover the damages their building causes neighboring properties? Has an independent geologist studied this plan? Where are the reports on the dangers of digging directly on top of Derby Creek?

The owners of this building do not live in Berkeley and they will not live on site and they will not care what happens to Berkeley after they've made their money. Flooding will not be their problem unless the City ties them to any damages that this design creates. Has that been done?

Air flow

The air flow is of significant importance to Berkeley. Our breeze blows from the Pacific and the Bay from West to East. This building blocks air flow for everyone on Walker Street and this end of Derby. We have not needed air conditioning, but this building may impose that requirement. With less air flow, our garden does less well, summer heat will increase in this end of the neighborhood and energy use along with it. This is another detriment that effects both our health and our bank accounts. The air-flow would be improved if the building were not a monolith and if it were two stories shorter, per the existing approved plans for this site.

Scale and depth misrepresented by plans

While looking at these plans, please keep in mind that many of the renderings are not to scale and are drawn in such a way as to minimize the impact and detriments of the new structure. The sidewalk is made to appear larger than the set back of the houses. The perspective of the renderings show the houses further away from the structure than they will be in reality. The shade drawings chose 2 pm not 3 pm to show shadows because that is when the shadows commence and by 3 pm they are quite significant. At every step, these plans are an advertising brochure to attempt to fool the viewer.

The various renderings on pages 28-31 manage to distort the perspective so that the viewer is not aware that this building is significantly taller than the self-storage building and the four story building just built adjacent to this lot. Even with the distortion they have a difficult time hiding the imposing height over the immediate neighbors. And it also belies that the trees, screens and shrubbery of the sixth-floor deck will only increase the building's shade detriment-which is not accounted for in their shade drawings.

The shade studies on pages 33-37 indicate the substantial detriment created by this building. Every day, all year long, my house will be in the shade by 2 pm. I do not live in California for the shade. If I wanted to live in shaded, noisy, badly planned city I could move to New York. But, I've been to New York for work and I've decided that the inefficiencies of this "exciting" city make it a nice place to visit but not one where I want to live. If the shade studies showed what the impact of the building was at 3 pm, it would look even worse. Please note this visual deception.

The developers have engaged in deception at every turn. The scheduling of this meeting with the either the connivance or the unwitting cupidity of the City's Planning Department

underscores their contempt for the public and their prospective neighbors. The City of Berkeley hopes for a 30-day notice. We got less than two weeks. There were not public signs posted on the property, they have no proof they didn't put them up and then take them down, because no one ever saw them. Their plans according to Sharon Gong of the Planning Department were only "available on Nov.1". That means instead of 30 days to examine the plans the public only had seven days. To make matters worse, the comments are supposed to be submitted to the City "seven days in advance of the hearing". So, the public on a work day are supposed to go through a forty-page document and write a coherent review AND keep their day job? Clearly, this was done to subvert the public's interest, and on the basis of this the ZAB and the City have to a disturbing degree, disenfranchised the residents and citizens of Berkeley.

This building should not be built, this hearing should not be taking place on Nov. 8 and the future condition of our home, our city will deteriorate if this structure is built. The detriments are substantial and avoidable if the building were to the scale of the lot and the adjacent neighborhood. The addition of 5 affordable units out of 57 is a laughable fig leaf, and the total square footage of affordable space does not justify the taking of my property and the violation of the local zoning limits.

The "crisis" in housing has been defined by the developers and the response from the politicians they fund has resulted in lopsided policies that will not solve the affordable housing crisis, will not protect existing California residents. But while the actual problem is not solved, their false solution will make them richer, and we will still be left with a "crisis" that will never be solved.

We cannot build our way out of this "crisis" as they describe it. But we can destroy our environment by making the developers rich.

Sincerely,
Todd Darling
Linda Jensen Darling,
Derby St. Berkeley, CA





Z O N I N G
A D J U S T M E N T S
B O A R D
S T A F F R E P O R T
- *Project Preview* -

FOR BOARD REVIEW AND COMMENT
JULY 26, 2018

2701 Shattuck Avenue

Project Preview for Use Permit ZP#2016-0244 to construct a 5-story, 62-foot-tall, mixed-use building with 57 dwelling units (including 5 VLI units), a 600-square-foot ground-floor café, and 30 parking spaces.

I. Background

A. Land Use Designations:

- General Plan: AC – Avenue Commercial
- Zoning: C-SA, South Area Commercial District; South Shattuck Strategic Plan

B. Zoning Permits Required:

- Use Permit to construct a new mixed-use development of 5,000 square feet or more, under BMC 23E.52.030.A.

C. Waivers/Concessions Pursuant to State Density Bonus Law:

- Waiver to exceed height – to be 62'-4" maximum, where 50' is the limit, and to be 5 stories where 4 stories is the limit;
- Waiver to reduce the front, street side, side, and rear yards; and to exceed the lot coverage limit for the district:
 - Front setback – 0'-0", where 15' minimum is required;
 - Rear setback – 0'-6", where 15' minimum is required;
 - Left side setback – 4'-0", where 5' minimum is required;
 - Right side (street side) setback – 0'-0", where 6' minimum is required;
 - Lot coverage – 86%, where 40% maximum allowed;
- Concession to increase average unit size from 463 square feet (Base Project) to 495 square feet (Proposed Project); and
- Concession to have ground-level parking in the Proposed Project, when the Base Project parking is underground.

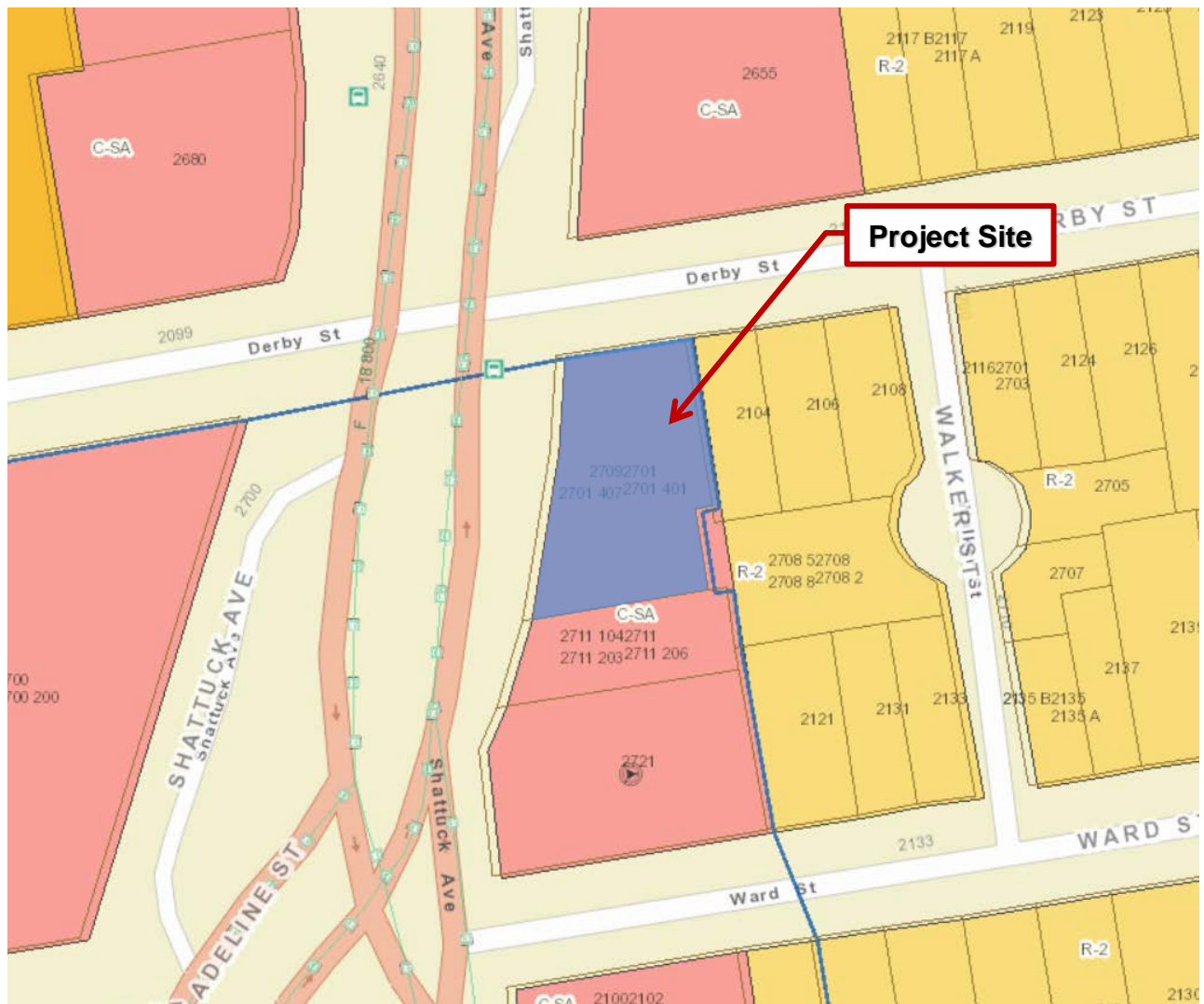
D. CEQA Determination: Categorically exempt pursuant to Section 15332 (In-Fill Development Projects) of the CEQA Guidelines.

E. Parties Involved:


- Applicant Stuart Gruendl, Bay Rock Multifamily, LLC, 411 Pendleton Way, Suite C, Oakland, CA 94621
- Property Owner 2701 Shattuck Berkeley, LLC, 7917 Festival Court, Cupertino, CA 95014

F. Application Materials, Staff Reports and Correspondence are available on the Internet: <https://aca.cityofberkeley.info/Community/>

Figure 1: Zoning Map



Legend

- C-SA: South Area Commercial District
- R-2: Restricted Two-Family Residential District
-  AC Transit Bus Route

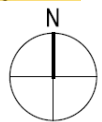


Figure 2: Vicinity Map

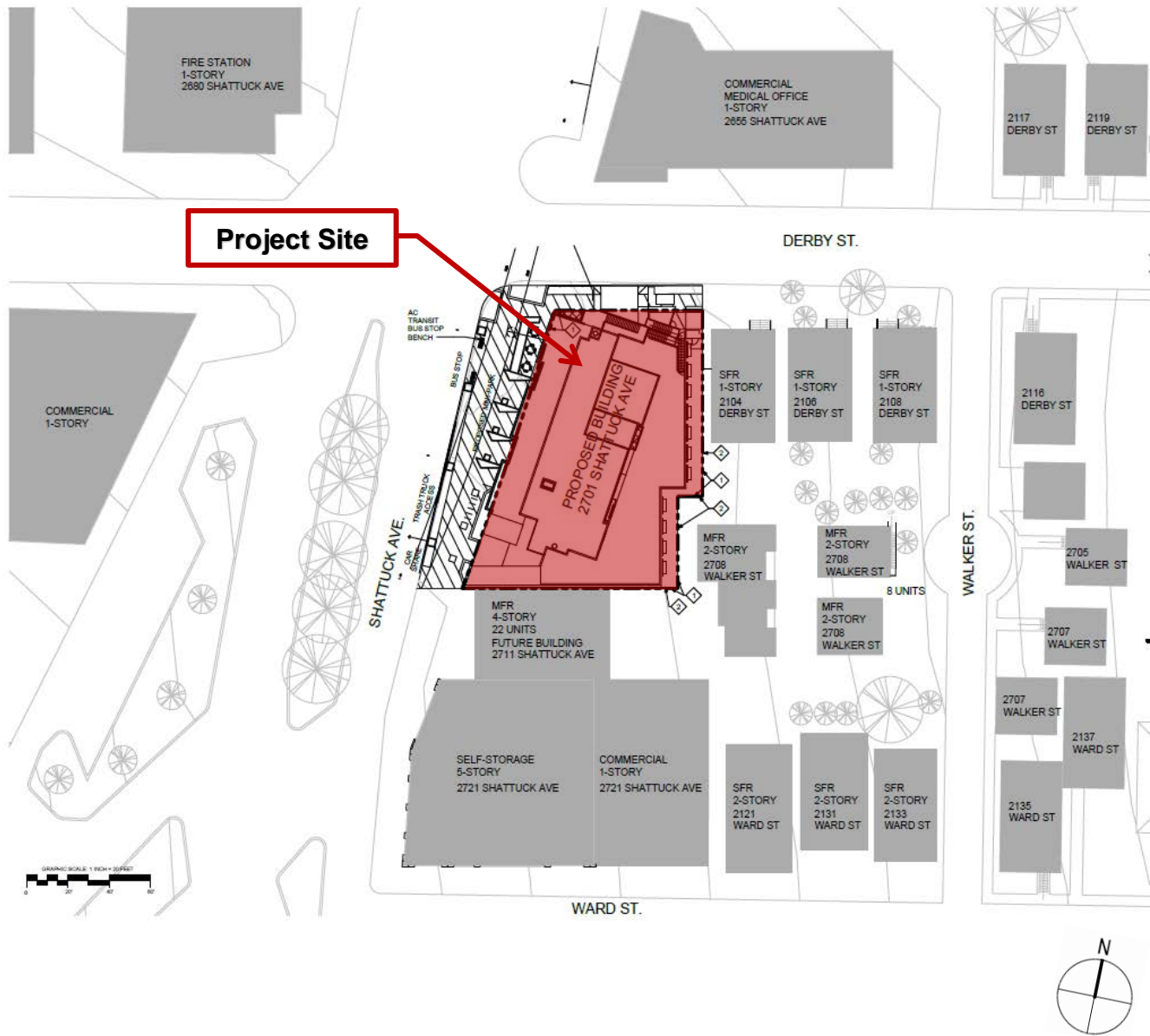


Figure 3: Ground Floor Plan



Figure 4: Shattuck Avenue (West) Elevation



Figure 5: Derby Street (North) Elevation



Figure 6: East Elevation

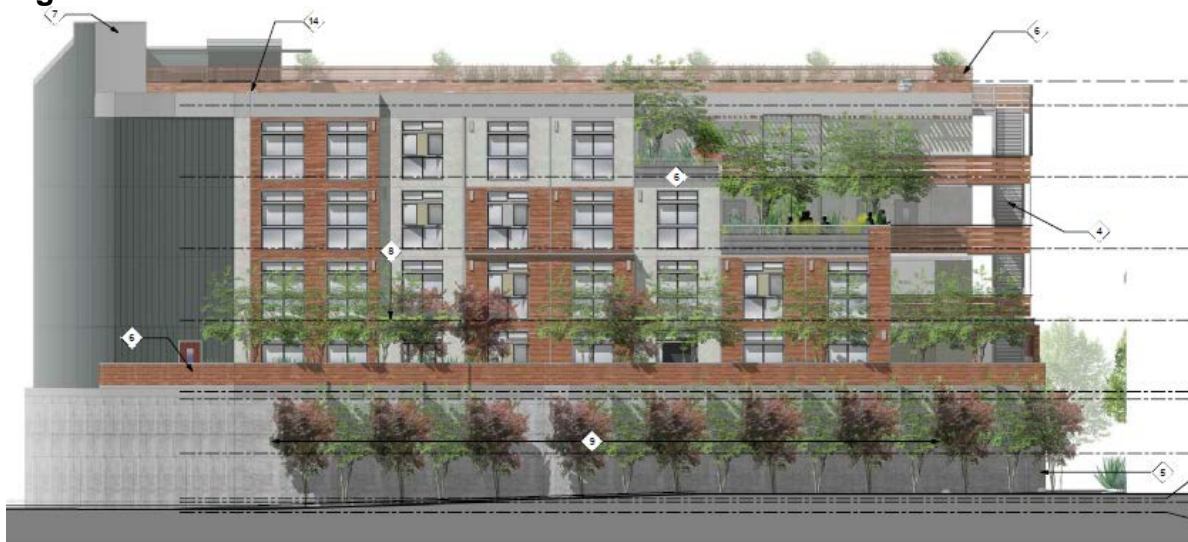


Table 1: Land Use Information

Location		Existing Use	Zoning District	General Plan Designation
Subject Property		Vacant (former Auto Dealership)	C-SA	Avenue Commercial (AC)
Surrounding Adjacent Properties	North	Medical Office		
	Northwest	Berkeley Fire Station		
	West	Auto Dealership		
	East	Single-Family Residential/ Multi-Family Residential	R-2	Medium Density Residential (MDR)
	South	Under Construction – Multi-Family Residential, approved per Use Permit ZP#2015-0206	C-SA	Avenue Commercial (AC)

Table 2: Special Characteristics

Characteristic	Applies to Project?	Explanation
Affordable Child Care Fee & Affordable Housing Fee for qualifying non-residential projects (Resolutions 66,618-N.S. & 66,617-N.S.)	No	This fee applies to projects with more than 7,500 square feet of new non-residential gross floor area. The project includes only 600 square feet of non-residential gross floor area, and thus these requirements do not apply.
Affordable Housing Mitigations for rental housing projects (BMC Section 22.20.065)	Yes	Because the project would have 5 or more dwellings, the project is subject to the affordable housing provisions of BMC 22.20.065. The project would provide 5 Very Low Income units and applicant intends to pay the remaining Mitigation Fee per the formula calculation. See Section V.D for details.
Density Bonus	Yes	The project would provide 5 Very Low Income units, or 12% of the Base Project units, and qualifies for a 35% density bonus (15 units). See Sections V.A and V.B for discussion.
Green Building Score	Yes	The Greenpoint Checklist minimum score is 50, and the maximum is 381. The project achieves a score of 91.
Historic Resources	No	The project site is not designated as a Landmark by the City. Demolition of the auto dealership building was approved with Use Permit #04-1000014 in 2007, and Building Permit #B2016-05314 in 2017. The site is now vacant.
Housing Accountability Act (Govt. Code 65589.5(j))	Yes	The project is a “housing development project” consisting of a mixed-use building, and requests no modifications to development standards beyond waivers and concessions requested under density bonus law. Therefore, the HAA findings apply to this project, and the project cannot be denied at the density proposed unless findings for denial can be made. See Section V.C for discussion.

Characteristic	Applies to Project?	Explanation
Public Art on Private Projects (BMC Chapter 23C.23)	Yes	The project is subject to the Percentage for Public Art on Private Projects ordinance. The applicant is electing to provide on-site art to comply. The art proposal will be submitted prior to Preliminary Design Review.
Residential Preferred Parking	No	The site is not in a RPP zone. Thus, the project would not be eligible for RPP permits.
Seismic Hazards (SHMA)	No	The project site is not located in an area susceptible to liquefaction, fault rupture or landslide, as defined by the State Seismic Hazards Mapping Act (SHMA). Thus, the project is not subject to additional review to comply with the Act.
Soil/Groundwater Contamination	Yes	The project site is located within the City's Environmental Management Area. Phase I and II reports have been submitted by applicant, and have been reviewed by the City Toxics Division. The Division concluded that no further studies were required, but the project is subject to the City's Standard Conditions of Approval (SCA) for Toxics that requires preparation of a Soil and Groundwater Management Plan (SGMP).
Transit	Yes	The project site is served by multiple bus lines (local, rapid, and transbay) that operate along Shattuck Ave. The site is approximately 1/2 mile from both the Downtown Berkeley BART Station to the north, and the Ashby Station to the south.

Table 3: Project Chronology

Date	Action
May 2001	ZAB Approved 16-unit project (Use Permit #00-10000083)
October 2002	ZAB Approved 17-unit project (Use Permit #02-70000044)
December 2006	ZAB Approved 29-unit project (Use Permit #04-10000014)
January 2007	Appeal of ZAB decision filed (Use Permit #04-10000014)
July 2007	City Council Approved 24-unit project (Use Permit #04-10000014)
November 14, 2013	ZAB Denied 67-unit project (Use Permit #12-10000039)
December 13, 2016	Application submitted for 57-unit project
January 12, 2017	Application deemed incomplete
January 30, 2017	Revised application, 57-unit project submitted as Density Bonus project
February 27, 2017 to June 13, 2018	Application was deemed incomplete six more times during this time period. Incomplete items included missing application submittal requirements and evolving density bonus proposal and calculations
June 20, 2018	Revised application submitted
June 29, 2018	Application deemed complete
July 11, 2018	Public hearing notices mailed/posted
July 26, 2018	ZAB Preview

Table 4: Development Standards

C-SA and R-4 Standards BMC Sections 23E.52.070-080 and 23D.40.070		2013 Project (Denied)	Proposed (Density Bonus Project)	Permitted/Required
Lot Area (sq. ft.)		11,932 ¹	11,826	n/a
Gross Floor Area (sq. ft.)		29,909	27,980	47,304
FAR		2.5	2.4	4 max.
Units		67	57	n/a
Average unit size (sq. ft.) (Residential Floor Area / # of Units)		417	495	n/a
Building Height	Average	61'-0"	62'-4"	50' max.
	Stories	5	5	4 max.
Building Setbacks	Front	0'-0"	0'-0"	15' min.
	Rear	0'-6"	0'-6"	15' min. ²
	East Side	4'-0"	4'-0"	5' min. ²
	West Side (Shattuck)	0'-0" (3' overhang in ROW ³)	0'-0" (3' overhang in ROW ³)	6' min. ²
Lot Coverage (%)		85	86	40
Usable Open Space (sq. ft.)		4,381 (2,680 min. req'd)	6,070	2,280 min. (40 s.f./d.u.)
Parking	Commercial	4 (3 min. req'd)	2	2 min. (1 spc/300 s.f.)
	Residential	28 (29 min. req'd)	28	27 min. (R-4 Dist Std: 1 spc/1,000 s.f.)
	Total	32	30	29
Bicycle Parking		61	46	0 (1 spc/2,000 s.f. commercial)
<p>¹ The lot area was listed as 11,932 in the 2013 use permit staff report. The lot area for the current proposal was confirmed with a survey to be 11,826 square feet. Calculations dependent upon lot area are based on the respective lot area amounts.</p> <p>² Setbacks are for ground floor. Minimum setbacks for floors two through five are as follows (per floor: 1st Floor/2nd Floor/3rd Floor etc.): Front, 15/15/15/15'; Rear, 15/15/17/19'; East Side, 5/6/8/10'; and West (street) Side, 8/10/12/14'.</p> <p>³ An encroachment Permit would be required from the Public Works Department.</p> <p>☐ = Waiver/Concession requested to depart from the district standard.</p>				

II. Project Setting

A. Neighborhood/Area Description: (See Figure 1: Zoning Map, and Figure 2: Vicinity Map.) The subject site is located on the southeast corner of the intersection of Shattuck Avenue and Derby Street. Like the subject site, the adjacent and confronting parcels to the north, west, and south of the site are in the South Area Commercial District (C-SA) and lie in the South Shattuck Strategic Plan (SSSP). With the exception of the five-story, 60-foot-tall UC Storage building two parcels south of the site at the corner of Shattuck Avenue and Ward Street; the five-story, 60'-4" tall Parker Apartments 1.5

blocks north, on west side of Shattuck Avenue; and the four-story, 50-foot-tall building under construction on the adjacent parcel to the south of the subject site, development along Shattuck Avenue that is south of Dwight Way (south of the Downtown Mixed Use District) consists of one- and two-story commercial and mixed-use buildings. Adjacent parcels to east are in the Restricted Two-Family Residential District (R-2), and contain one-story, single-family residences on Derby Street and two-story, multi-family residences on Walker Street.

B. Site Conditions/Background: The subject site was a used car dealership for over 15 years and was occasionally used for car storage. Demolition of the commercial building was approved with Use Permit #04-10000014 in 2007. The Building Permit for the demolition (#B2016-05314) was issued in April of 2017, and the site is now vacant.

In May 2001, the City approved a use permit (Use Permit #00-10000083) for the construction of a 50', three-story, 25,000-square-foot, mixed-use building with 16 dwelling units, 3,200 square feet of commercial floor area, and 17 parking spaces. This project was granted use permits to reduce all setbacks, to provide less than the minimum number of off-street parking spaces and to increase the allowed lot coverage above the maximum. This permit was later modified in October, 2002 (Use Permit #02-70000044), to add one dwelling unit. The project was never built.

In July 2007, the City approved a use permit (Use Permit #04-10000014) for a 55', five-story, 33,598-square-foot, mixed-use building with 24 dwelling units, 3,200 square feet of commercial spaces and 24 parking spaces. This project was granted use permits to exceed the height/story limit to allow a partial fifth floor, to reduce all setbacks, to provide less than the minimum number of off-street parking spaces and to increase the allowed lot coverage above the maximum. This project was also not built.

In November 2013, the City denied a use permit for a 61', 5-story, 29,909-square-foot, mixed-use building with 67 dwelling units, a 1,969-square-foot, full-service restaurant, and 32 parking spaces. The building design was very similar to the current proposal and requested exceedances for height and lot coverage, and reductions to the front, street side, and rear setbacks. See section V.E for a discussion of the 2013 denial findings and a comparison of the 2013 project with the current proposal.

III. Project Description

The project proposes to construct a five-story, 62-foot-tall, mixed-use building on a vacant site with the following main components:

- 57 dwelling units – 46 studios; 6 one-bedroom units; 2 two-bedroom units; 3 two-level, townhomes;
- 5 Very Low Income (VLI) units;
- 600-square-foot, ground floor, quick-service restaurant (café);
- 6,070 square feet of usable open space – podium, 4th floor, 5th floor, and roof decks

- 30 car parking spaces and 46 bicycle parking spaces;
- Sidewalk public space and outdoor café seating area (subject to approval from the Public Works Department)

(See Figure 3: Ground Floor Plan, and Figures 4 through 6: Elevations. See Attachment 1, Plan Set, for the full set of project drawings.)

IV. Community Discussion

Neighbor/Community Concerns: Prior to submitting the application to the City on December 13, 2016, a pre-application poster was installed by the applicant at the project site. On November 3, 2016, a neighborhood meeting was held to review the project and discuss concerns, and was attended by nine members of the public.

On July 11, 2018, the City mailed public hearing notices to property owners and occupants within 300' of the site, and to interested neighborhood organizations and the City posted notices within the neighborhood in three locations. No further communications regarding the project were received as of the writing of this staff report.

V. Issues and Analysis

A. Density Bonus Units: The project would be eligible for a density bonus under Government Code Section 65915, through the inclusion of five VLI units. According to the City's Density Bonus Procedures (2014), the Base Project was calculated to have 43 units as the maximum allowable density for the site¹. The Base Project includes 42 units (one less than the maximum allowable density) with an average unit size of 463 square feet, in a four-story building. (See Table 5: Base vs. Proposed Project and Table 6: Density Bonus.) Five VLI units in the Proposed Project qualifies the development for a 35% density bonus which equates to 15 bonus units, resulting in a 57-unit Proposed Project, with an average unit size of 495 square feet, in a five-story building. The increase in average unit size in the Proposed Project over the Base Project (a 7% increase) would be allowed through a concession². See the next section, V.B, for a discussion of the concessions.

¹ Per the City's Density Bonus Procedures (DBP), the "Base Project" is the largest project allowed on the site that is fully compliant with district development standards (i.e. height, setbacks, usable open space, parking, etc.), or, the *maximum allowable density* for the site. The City uses the DBP to calculate the maximum allowable density for a site where there is no density standard in the zoning district, and to determine the number of units in the "Proposed Project", which is the number of Base Project units plus the number of density bonus units that can be added according to the percentage of BMR units proposed, per Government Code, section 65915(f).

² Per the City's 2014 DBP, the calculation of maximum allowable density uses the average unit size of the Proposed Project to calculate the number of allowable units in the Base Project. Typically, the average unit size must remain consistent from the Base Project to the Proposed Project to prevent applicants from creating a Base Project that would be far denser and/or poorer in design quality than the applicant actually desires to build, for the purpose of obtaining a larger density bonus. However, the 2014 DBP allowed a Concession for the increase of average unit size. The applicant is utilizing this provision, which is not included in the current, 2018 DBP. The application was deemed substantially complete prior to the City's adoption of the 2018 DBP. Because of this concession, the City's application of the 2014 DBP was altered to allow the increase in residential area

Table 5: Base vs. Proposed Project

Floor	Base Project		Proposed Project	
	Residential Gross Floor Area (GFA)	Base Units	Residential GFA with DBU	Total Units [Base + Density Bonus Units (DBU)]
Totals:	19,736	42*	28,213	57*
Average Unit Size:	463 sq. ft.		495 sq. ft. (7% increase)	

*Per Gov't Code 65915(q), all unit calculations are rounded up to the nearest whole number.

Table 6: Density Bonus – Per CA Gov't Code 65915

Qualifying Units	Density Bonus Achieved	Base Project Units*	Number of DBU Achieved*	Proposed Project Units
5 VLI	35% (35% max.)	42 (43 maximum allowable density)	15 (35%x42)	57

*Per Gov't Code 65915(q), all unit calculations are rounded up to the nearest whole number.

B. Density Bonus Waivers and Concessions: The project would be entitled to two concessions (or incentives), under Government Code Section 65915(d), and an unlimited number of waivers, under Section 65915(e).

A concession or incentive is a modification of a zoning code requirement that results in identifiable and actual cost reductions, to provide for affordable housing costs.³ The applicant is requesting two concessions for the project to modify the DBP: 1) to increase the average unit size from 463 square feet in the Base Project to 495 square feet in the Proposed Project, and 2) to have ground-level parking in the Proposed Project, where the Base Project parking would be underground. The applicant provided a pro forma statement to show the cost reductions associated with increasing

after the calculation of the maximum allowable density for the site. This application of the density calculation formula yields the results discussed in the Density Bonus Units analysis.

Under the standard application of the DBP (both the 2014 or 2018 versions), the Base Project would have been calculated to have 40 units as the maximum allowable density for the site, with an average unit size of 495 square feet. Five VLI units in the proposed project would have qualified the development for a 35% density bonus which would have yielded 14 bonus units, for maximum of 54 units in the Proposed Project. Had the applicant not requested a concession for the increase of average unit size, the Proposed Project would have been limited to a maximum of 54 units for the site.

³ The ZAB may deny a request for an incentive or concession only if it can make a written finding, based upon substantial evidence, of one of the following:

- A) The incentive and/or concession is not required to provide for affordable rents or affordable ownership costs, as provided in Government Code Section 65915(d)(1)(A);
- B) The incentive and/or concession would have a specific adverse impact upon public health and safety, or the physical environment, or on any real property listed in the California Register of Historical Resources, and there is no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development unaffordable to low-income, very-low income, and moderate-income households. For the purpose of this Subparagraph, "specific adverse impact" means a significant, quantifiable, direct, and unavoidable impact, based on objective, identified, written public health or safety standards, policies, or conditions, as they existed on the date that the application was deemed complete; or
- C) The concession or incentive would be contrary to State or Federal law.

the average unit size and with ground-level parking compared to underground parking. The pro forma statement was peer reviewed by the City's consultant, Placeworks. The peer review memo prepared by Placeworks concluded that the pro forma statement adequately documented that the "Proposed Project Costs with Concessions" would result in a cost reduction or "decrease in cost per unit" relative to the Base Project costs; and that the concession would be necessary to cover the cost of affordable units and generate a feasible rate of return. Furthermore, staff believes that the concessions would not have specific adverse impacts upon public health and safety, or the physical environment, nor would they be contrary to State or Federal law. Therefore, both concessions would be granted for the project.

A waiver is a modification of a development standard that would otherwise physically preclude the construction of the project with the permitted density bonus and concessions⁴. Waivers for height, setbacks and lot coverage are requested for the project because they are necessary to physically accommodate the full density bonus project on the site. Staff found no evidence to suggest that the waivers would have a specific adverse impact upon public health and safety, or the physical environment, or be contrary to State or Federal law. Therefore, the requested waivers would be granted for the project.

C. Housing Accountability Act: The Housing Accountability Act §65589.5(j) requires that when a proposed housing development complies with applicable, objective general plan and zoning standards, but a local agency proposes to deny the project or approve it only if the density is reduced, the agency must base its decision on written findings supported by substantial evidence that:

1. The development would have a specific adverse impact on public health or safety unless disapproved, or approved at a lower density; and
2. There is no feasible method to satisfactorily mitigate or avoid the specific adverse impact, other than the disapproval, or approval at a lower density.

The Base Project complies with applicable, objective general plan and zoning standards. Therefore, the City may not propose to deny the Base Project or approve the base project only if the density is reduced without basing its decision on the written findings under Government Code § 65589.5(j), above. Staff is aware of no specific adverse impacts that could occur with the construction of Base Project.

The Proposed Project employs the State Density Bonus law and requests concessions and waivers of zoning standards. Accordingly, HAA analysis under Section 65589.5(j)

⁴ The ZAB may deny a request for a waiver only if it can make a written finding, based upon substantial evidence, of one of the following:

- A) The waiver or modification would have a specific adverse impact upon public health and safety, or the physical environment, or on any real property listed in the California Register of Historical Resources, and there is no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development unaffordable to low-income, very-low income, and moderate-income households. For the purpose of this Subparagraph, "specific adverse impact" means a significant, quantifiable, direct, and unavoidable impact, based on objective, identified, written public health or safety standards, policies, or conditions as they existed on the date that the application was deemed complete; or
- B) The waiver or reduction would be contrary to State or Federal law.

does not apply to the proposed project. Instead, under State Density Bonus law, the Zoning Adjustments Board may not deny the concession or waiver unless it can make a written finding under Section 65915, noted above. The project would result in a five-story, 57-unit project, with five dwelling units affordable to VLI households. Approval of the requested concessions are required to provide for affordable rents per Government Code Section 65915(d)(1)(A). Further, Staff believes approval of the requested concessions would not have a specific adverse impact upon public health and safety, or the physical environment, or on any real property listed in the California Register of Historical Resources; nor would approval of the requested concession would be contrary to State or Federal law. Similarly, approval of the requested waivers would not have a specific adverse impact upon public health and safety, or the physical environment, or on any real property listed in the California Register of Historical Resources, and approval would not be contrary to State or Federal law. Per these standards, there are no grounds to deny the requested concession and waivers.

D. Affordable Housing Mitigation Fee: Pursuant to BMC Section 22.20.065, the project is subject to the Affordable Housing Mitigation Fee (AHMF). The AHMF ordinance allows a project to provide Below Market Rate (BMR) units, up to 20% of the total project units, in-lieu of payment of the full fee.⁵ The applicant is prepared to pay the amount of \$918,000 at building permit issuance, or \$999,000 at the time the Certificate of Occupation issuance.

E. Compatibility with District and Adjacent Residential Neighborhood: As mentioned previously, the City denied a project in 2013 that was very similar to the current proposal. The 2013 proposal underwent a Project Preview in August, 2013, a hearing in September, 2013, and five Design Review Committee meetings before the ZAB denied the project in November of 2013. The current proposal is revised from the 2013 proposal to address the issues listed in the denial findings. Because the 2013 proposal underwent extensive review from the ZAB and the DRC regarding the project's compatibility with the district and adjacent residential neighborhood, staff's analysis is presented as a review of how the current proposal addresses the findings for the 2013 denial. Each of the 2013 denial findings are summarized below, and are followed with a staff analysis of how the current proposal satisfies each finding:

1. 2013 Denial Finding: Project would be out of scale with the existing development in the district. Aside from the storage building at Ward and Shattuck (five stories); the approved (but not yet built in 2013) project known as Parker Place (60', five stories); and the project approved at 2711 Shattuck, on the adjacent parcel to the south of the subject site (50', 4 stories, and also not yet built in 2013), the proposed project at 2701 Shattuck would be the tallest building on Shattuck Avenue south of Dwight Way, the edge of the Downtown District.

2018 Project Staff Analysis: In 2013, the Parker Apartments project (known as Parker Place at the time) was not yet constructed, but it is now fully constructed and occupied. At five stories and 60'-4" in height along the Shattuck Avenue

⁵ The Affordable Housing Mitigation Fee is currently \$34,000 per unit if paid at issuance of a building permit and \$37,000 if paid at the time Certificate of Occupancy is issued. The total fee due is calculated with the formula, $[A \times \text{Fee}] - [(B+C)/(A \times 20\%) \times (A \times \text{Fee})]$, where A=Total # Market Rate Units.

frontage, the maximum building height would be similar to the subject proposal, at five stories and 62'-4" tall. The Parker Apartments project minimized the height impacts on the adjacent residential neighborhoods to the west by stepping down the buildings from five stories on the eastern, Shattuck Avenue side (in the C-SA District) to three stories on the western side (in the R-2A District). Like the Parker Apartments, the 2701 Shattuck proposal would also step down from the five-story front in the commercial district along Shattuck Avenue toward the residential district to the east, in order to minimize the height differential between the districts, by stepping down at each level on the northeast corner to two stories high at the eastern setback. Further, as discussed in the next finding analysis, the current 2701 Shattuck proposal has improved the perceived scale of the project by increasing the building setback distances for all of the building floors from the adjacent residences to the east. (See Figures 7 and 8: View from Derby Street – Current Proposal versus 2013 Proposal.)

2. 2013 Denial Finding: Project would not provide an adequate transition to the residential district to the east. The project does not take into consideration the scale of the abutting properties or protect the adjacent residential properties' access to light and air. In past approvals of projects in commercial districts which abut low or low-medium density residential areas, the building mass was clustered towards the commercial street, and transitioned to the adjacent residential districts by lowering the building height and setting back the upper floors toward the adjacent residences, to reduce apparent mass. The (2013) proposal would provide a varied setback in the east side of the building, but the northeast corner, even though set back, would still be 52' high at the fourth floor, while being 16'-10" from the property line closest to the adjacent residences.

2018 Project Staff Analysis: The current 2701 Shattuck proposal has made the following adjustments from the 2013 proposal to address the massing at the northeast corner, resulting in an improved transition from the proposed five-story building to the one-story residences to the east, and increased light and air to these dwellings (see Figures 7 and 8: View from Derby Street – Current Proposal versus 2013 Proposal):

- Eliminated one corner unit from floors 2 through 5 (floors 2 and 3 would be approximately 39' high from grade at 20' from the east property line);
- Stepped back the fourth floor (to be approximately 48' high from grade at 31' from the east property line); and,
- Stepped back the fifth floor (to be approximately 62' high from grade at 35' from the east property line).

Figure 7: View from Derby Street – Current Proposal



Figure 8: View from Derby Street – 2013 Proposal



3. 2013 Denial Finding: Project would be out of scale with the adjacent residential district. The R-2 District abutting the site to the east contains mostly single-family residences, with a few duplex or multi-family properties located on Ward or Walker Street. The residential buildings to the east, along Derby Street, include one-story buildings, and the residential buildings to the southeast along Ward Street are mostly two-story buildings. Because the fourth floor of the proposed (2013) building would be 52' in height and setback from the residential district to the east by only 16'-10", the ZAB finds that the project would not be compatible in scale with the adjacent residential neighborhoods.

2018 Project Staff Analysis: As discussed above under Finding #2, the current proposal has improved the transition from the proposed five-story building to the one- and two-story residences to the east by further stepping back each floor (over the 2013 project) from the eastern residences, resulting in lower heights at the building corners closest to the east property line and a perceived building scale that would be more compatible with this residential district.

4. 2013 Denial Finding: Design alternatives suggested by the ZAB to the applicant were rejected. The ZAB recommended that as many as 12 units should be removed from the fourth and fifth floors at the northeast corner of the site, or alternatively, that the entire fifth floor could be removed to make the development compatible with existing development patterns, and to provide a transition to the residential district to the east.

2018 Project Staff Analysis: Six units were eliminated at the northeast building corner in current proposal (one each from Floors 2 and 3, three from Floor 4, and one from Floor 5) to improve the transition to the residential district to the east. The fifth floor remains in the current proposal, but would be granted as a waiver under density bonus law. (The 2013 proposal was not a density bonus project, and requested a use permit for the fifth floor). Further, since the writing of the 2013 denial finding, the Parker Apartments project (two blocks north, on the west side of Shattuck Avenue) has been completed, which adds two five-story buildings to the surrounding neighborhood context, and is a larger project (156,102 square feet, 155 units) with a larger footprint, on a larger site (60,351 square feet, over two parcels) than the 2701 proposal. The closest five-story building to the subject site is the self-storage building two parcels south of the site (at Shattuck and Ward).

In conclusion, staff finds that each of the findings for denial of the 2013, 2701 Shattuck proposal have been addressed in the current proposal.

- F. Sunlight/shadow:** According to the shadow studies submitted by the applicant (See Attachment 1, Plan Set – Sheets S1.1 to S1.4), the single-family residences to the east (2104, 2106, and 2108 Derby Street) and the multi-family residence to the southeast of the site (2708 Walker Street) would experience the most increased shadows during the few hours before sunset, year-round. Residences to the northeast, beyond the subject block, may experience new shadows in the few hours before sunset in the winter. Shadow impact on these residences to the east and northeast are to be expected because the subject site is located in the C-SA district (commercial), which allows heights of up to 50' and 4 stories (for residential and mixed-

use), whereas the eastern residences are in the R-2 district (residential), which allows heights of up to 28' (35' with a use permit) and 3 stories. The proposal would include an additional story beyond the district height limit to accommodate the density bonus units – a waiver that would be granted (see section V.B for a discussion of waivers). The additional story casts shadows in the eastern direction further than if the project had only four stories. Still, the shadow impacts from the project would be reasonable, given that the duration would be limited to the evening hours and given the height limit differential between the two districts.

New shadows that would be cast onto properties to the west and northwest (across the street at 2680 and 2700 Shattuck Avenue) in the morning hours in the fall and spring months, and on the property to the north (2655 Shattuck Avenue) in the early-afternoon hours in the winter, would only affect commercial properties, and not residences.

G. Traffic/Parking: A Preliminary Transportation Assessment was prepared by the project transportation consultant, Kittelson and Associates, which was reviewed and approved by the City's Traffic Engineer. The study showed that the proposed project would generate 50 weekday AM peak hour person-trips, and 48 weekday PM peak hour person-trips (the sum of trips for all modes). Of these trips, the vehicle trip generation would account for 21 weekday AM peak hour trips, and 16 weekday PM peak hour trips. For other modes, the Project would generate 15 total transit trips, 2 total bicycle trips, and 36 total walk trips. Thus, the project would not exceed the City's 25 peak-hour trip threshold for requiring a full traffic study. The anticipated increase in traffic due to the project would not conflict with any applicable plans, ordinances or policies establishing measures of effectiveness for the performance of the circulation system, and the impact would be less than significant.

The study also showed that, based on a qualitative review of the site plan, access and circulation for pedestrians, bicyclists, transit riders, and motor vehicles would be sufficiently accommodated by the proposed project. The proposed project would provide 30 vehicle parking spaces and 46 long-term bicycle parking spaces, a slight reduction from the numbers in the original proposal of 32 vehicle parking spaces and 56 long-term bicycle parking spaces, on which the study is based. However, the proposed number vehicle parking satisfies and exceeds district parking requirement by one, and the proposed number bicycle parking well exceeds district parking requirement. Thus, staff believes that the off-street parking in the surrounding neighborhood would not be adversely impacted by the project.

VI. Recommendation

Staff recommends that the ZAB provide advisory comments to the applicant regarding the design of the project, and to staff on issues and analyses that the ZAB would like to be addressed in the next staff report.

Attachments:

1. Project Plans, received June 29, 2018
2. Notice of Public Hearing

Staff Planner: Sharon Gong, sgong@cityofberkeley.info, (510) 981-7429



Z O N I N G A D J U S T M E N T S B O A R D S T A F F R E P O R T

FOR BOARD ACTION
NOVEMBER 8, 2018

2701 Shattuck Avenue

Use Permit #ZP2016-0244 to construct a 5-story, 62'-tall, mixed-use building with 57 dwelling units (including 5 VLI units), a 600-square-foot ground-floor quick-service restaurant, and 30 parking spaces.

I. Background

A. Land Use Designations:

- General Plan: AC – Avenue Commercial; South Shattuck Strategic Plan
- Zoning: C-SA, South Area Commercial District

B. Zoning Permits Required:

- Administrative Use Permit, to construct rooftop projections, such as mechanical appurtenances or architectural elements, which exceed the maximum district height limit, under BMC Section 23E.04.020.C;
- Use Permit to construct a new mixed-use development of 5,000 square feet or more, under BMC 23E.52.030.A; and
- Use Permit to construct more than 3,000 square feet of new floor area, under BMC 23E.52.050.

C. Waivers/Concessions Pursuant to State Density Bonus Law:

- Waiver to exceed height – to be 62'-4" maximum, where 50' is the limit, and to be 5 stories where 4 stories is the limit;
- Waiver to reduce the front, street side, side, and rear yards:
 - Front setback – 0'-0", where 15' minimum is required;
 - Rear setback – 0'-6", where 15' minimum is required;
 - Left side setback – 4'-0", where 5' minimum is required;
 - Right side (street side) setback – 0'-0", where 6' minimum is required;
- Waiver to exceed the lot coverage limit – to be 86%, where 40% maximum is allowed;
- Concession to increase average unit size from 463 square feet (Base Project) to 495 square feet (Proposed Project); and
- Concession to have ground-level parking in the Proposed Project, when the Base Project parking is underground.

D. CEQA Determination: Categorically exempt pursuant to Section 15332 ("In-Fill Development Projects") of the CEQA Guidelines.

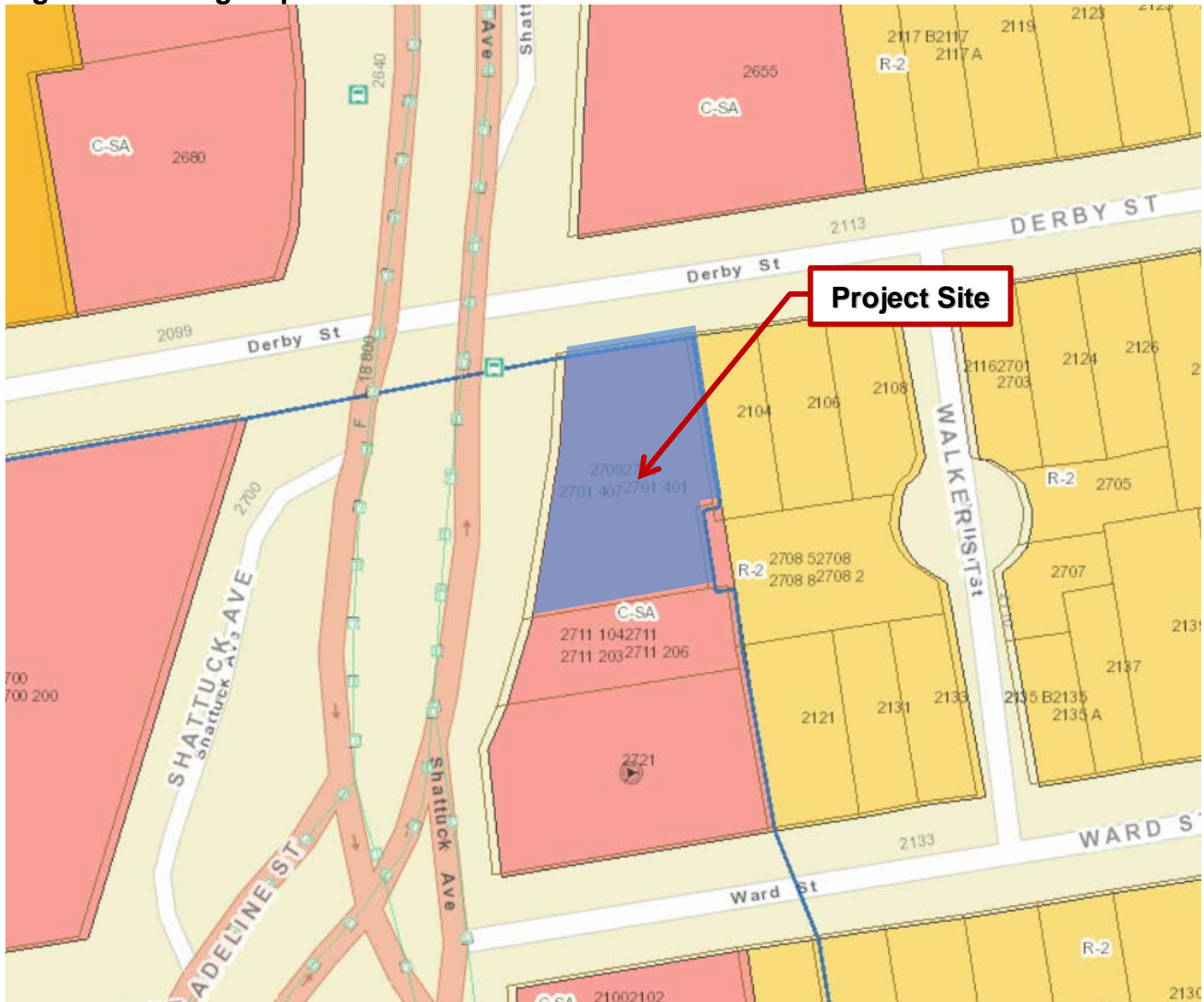
E. Parties Involved:

- Applicant Stuart Gruendl, Bay Rock Multifamily, LLC, 411 Pendleton Way, Suite C, Oakland



- Property Owner 2701 Shattuck Berkeley, LLC, 7917 Festival Court, Cupertino

F. Administrative Record Available: All application materials, staff reports, and correspondence for this project may be found on the Internet at this address: https://www.cityofberkeley.info/Planning_and_Development/Zoning_Adjustment_Board/2701_Shattuck_2016.aspx

Figure 1: Zoning Map



Legend

- C-SA: South Area Commercial District
- R-2: Restricted Two-Family Residential District
-  AC Transit Bus Route
-  Adeline-Shattuck Commercial District Area

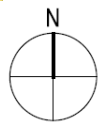


Figure 2: Vicinity Map

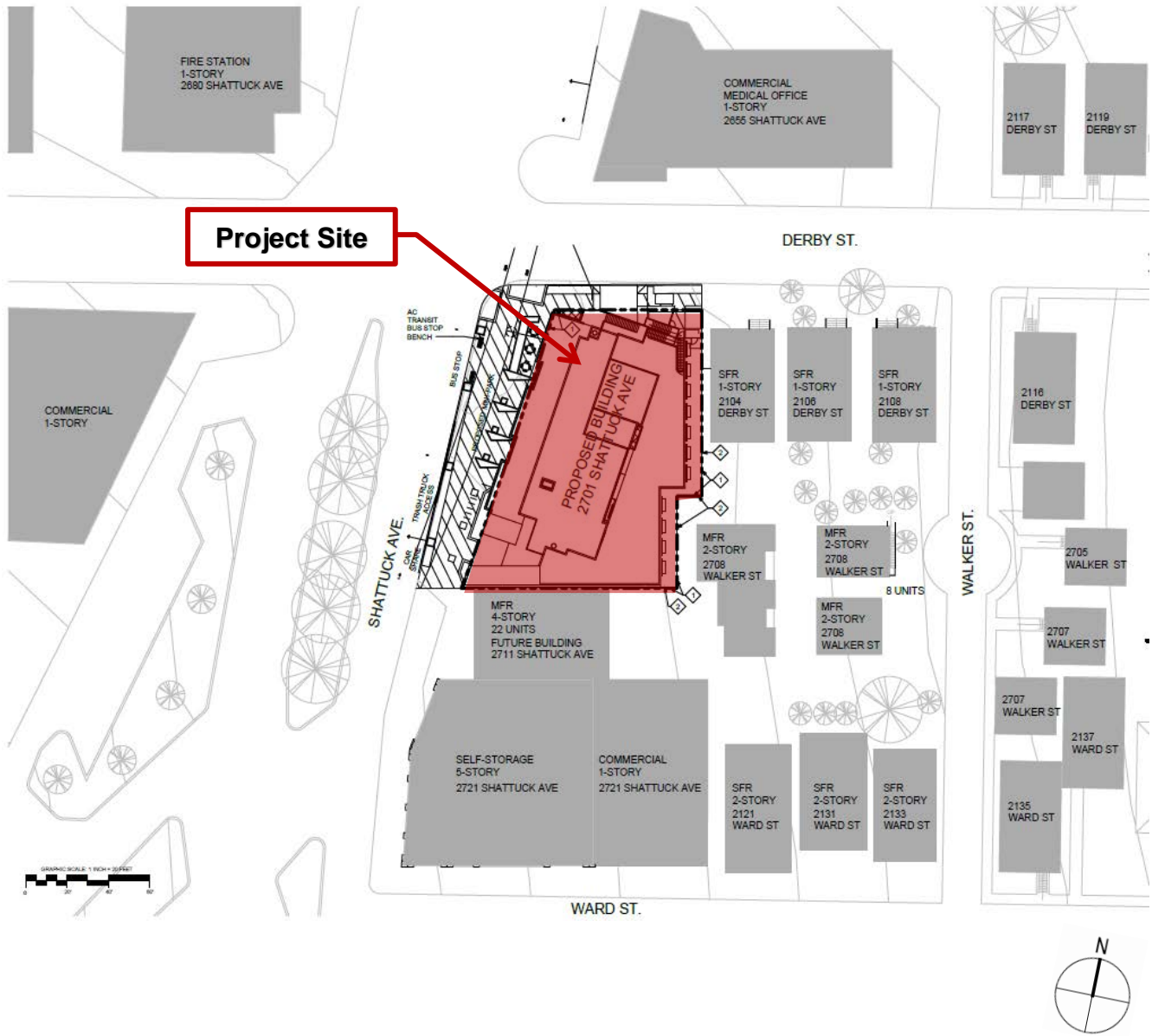


Figure 3: Ground Floor Plan



Figure 4: Shattuck Avenue (West) Elevation

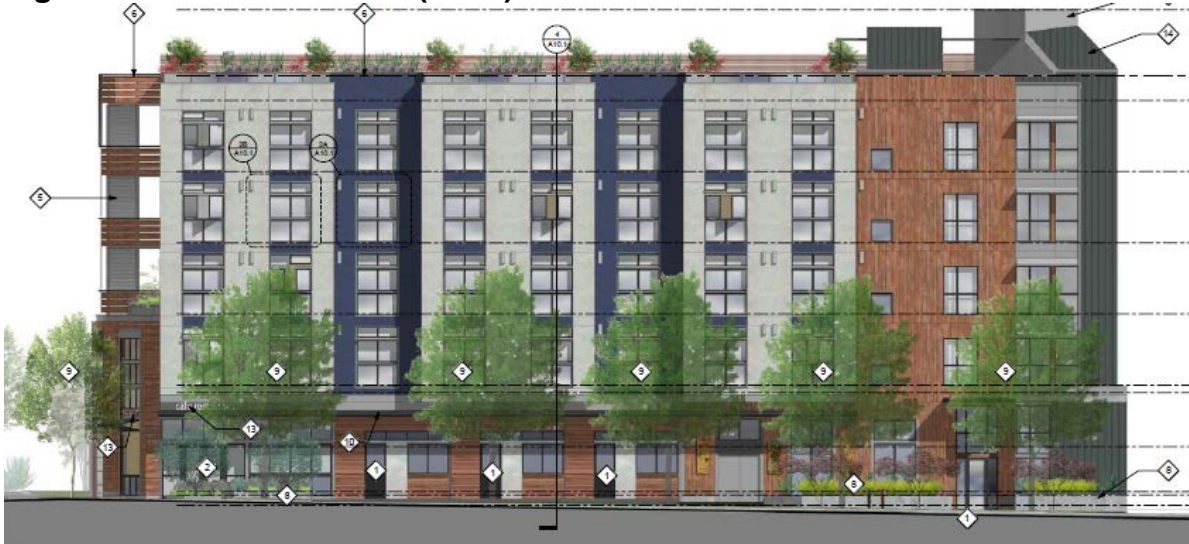


Figure 5: Derby Street (North) Elevation



Figure 6: East Elevation



Table 1: Land Use Information

Location		Existing Use	Zoning District	General Plan Designation
Subject Property		Vacant (former Auto Dealership)	C-SA	Avenue Commercial (AC)
Surrounding Adjacent Properties	North	Medical Office		
	Northwest	Berkeley Fire Station		
	West	Auto Dealership		
	East	Single-Family Residential/ Multi-Family Residential		
	South	Multi-Family Residential	C-SA	Avenue Commercial (AC)

Table 2: Special Characteristics

Characteristic	Applies to Project?	Explanation
Affordable Child Care Fee & Affordable Housing Fee for qualifying non-residential projects (Resolutions 66,618-N.S. & 66,617-N.S.)	No	This fee applies to projects with more than 7,500 square feet of new non-residential gross floor area. The project includes only 600 square feet of non-residential gross floor area, and thus these requirements do not apply.
Affordable Housing Mitigations for rental housing projects (BMC Section 22.20.065)	Yes	Because the project would have 5 or more dwellings, the project is subject to the affordable housing provisions of BMC 22.20.065. The project would provide 5 Very Low Income units and applicant intends to pay the remaining Mitigation Fee per the formula calculation. See Section V.D for details.
Creeks (Per BMC Chapter 17.08)	No	No creek or culvert defined by BMC Chapter 17.08 exists on or within 30' the site.
Density Bonus	Yes	The project would provide 5 Very Low Income units, or 12% of the Base Project units, and qualifies for a 35% density bonus (15 units). See Sections V.A and V.B for discussion.
Green Building Score	Yes	The Greenpoint Checklist minimum score is 50, and the maximum is 381. The project achieves a score of 91.
Historic Resources	No	The project site is not designated as a Landmark by the City. Demolition of the auto dealership building was approved with Use Permit #04-1000014 in 2007, and Building Permit #B2016-05314 in 2017. The site is now vacant.
Housing Accountability Act (Govt. Code 65589.5(j))	Yes	The project is a "housing development project" consisting of a mixed-use building, and requests no modifications to development standards beyond waivers and concessions requested under density bonus law. Therefore, the HAA <i>findings</i> apply to this project, and the project cannot be denied at the density proposed unless findings for denial can be made. See Section V.C for discussion.

Table 2: Special Characteristics

Characteristic	Applies to Project?	Explanation
Public Art on Private Projects (BMC Chapter 23C.23)	Yes	The project is subject to the Percentage for Public Art on Private Projects ordinance. The applicant is electing to provide on-site art to comply. A Conceptual Public Art Plan was presented to the DRC for Preliminary Design Review as part of the overall design proposal. A final proposal will be submitted to the Civic Arts Commission for approval prior to building permit issuance.
Residential Preferred Parking	No	The site is not in a RPP zone. Thus, the project would not be eligible for RPP permits. Most of the neighborhoods to the east and northwest, and small portions of the neighborhood to the southwest, participate in the Residential Preferred Parking program, which limits non-permit parking to two hours.
Seismic Hazards (SHMA)	No	The project site is not located in an area susceptible to liquefaction, fault rupture or landslide, as defined by the State Seismic Hazards Mapping Act (SHMA). Thus, the project is not subject to additional review to comply with the Act.
Soil/Groundwater Contamination	Yes	The project site is located within the City's Environmental Management Area. Phase I and II reports have been submitted by applicant, and have been reviewed by the City Toxics Division. The Division concluded that no further studies were required, but the project is subject to the City's Standard Conditions of Approval (SCA) for Toxics that requires preparation of a Soil and Groundwater Management Plan (SGMP). Per §15300.2 of the CEQA Guidelines, a categorical exemption may not be used on sites listed on the Cortese List (an annually updated list of hazardous materials sites). The project site is <u>not</u> listed on the Cortese List, and qualifies for a categorical exemption for "In-Fill Development Projects".
Transit	Yes	The project site is served by AC Transit bus lines 18, 800 and Transbay Line F, along Shattuck Ave. The site is approximately 1/2 mile from both the Downtown Berkeley BART Station to the north, and the Ashby BART Station to the south.

Table 3: Site Permit History/Project Chronology

Date	Site Permit Action
May 2001	ZAB Approved 16-unit project (Use Permit #00-10000083)
October 2002	ZAB Approved 17-unit project (Use Permit #02-70000044)
December 2006	ZAB Approved 24-unit project (Use Permit #04-10000014)
January 2007	Appeal of ZAB decision filed (Use Permit #04-10000014)
July 2007	City Council Approved 24-unit project (Use Permit #04-10000014)
November 14, 2013	ZAB Denied 67-unit project (Use Permit #12-10000039)
Date	Project Action
December 13, 2016	Application submitted for 57-unit project
January 12, 2017	Application deemed incomplete
January 30, 2017	Revised application, 57-unit project submitted as Density Bonus project
February 27, 2017 to June 13, 2018	Application was deemed incomplete six more times during this time period. Incomplete items included missing application submittal requirements and evolving density bonus proposal and calculations
June 20, 2018	Revised application submitted
June 29, 2018	Application deemed complete
July 11, 2018	Public hearing notices mailed/posted
July 26, 2018	ZAB Preview
August 16, 2018	DRC Preliminary Design Review (PDR); continued to September 20 with comments
September 6, 2018	Revised plans submitted
September 20, 2018	DRC PDR; recommendation for approval to ZAB with Conditions
October 25, 2018	Public hearing notices mailed/posted
November 8, 2018	ZAB Hearing

Table 4: Development Standards

C-SA and R-4 Standards BMC Sections 23E.52.070-080 and 23D.40.070		Proposed	Permitted/Required
Lot Area (sq. ft.)		11,826	n/a
Gross Floor Area (sq. ft.)		27,980	47,304 max.
FAR		2.4	4 max.
Dwelling Units		57	n/a
Building Height	Average	62'-4"	50' max.
	Stories	5	4 max.
Building Setbacks	Front	0'-0"	15' min.
	Rear	0'-6"	15' min. ²
	East Side	4'-0"	5' min. ²
	West Side (Shattuck)	0'-0" (3' overhang in ROW ³)	6' min. ²
Lot Coverage (%)		86	40 max.
Usable Open Space (sq. ft.)		6,212	2,280 min. (40 s.f./d.u.)
Parking	Commercial	2	2 min. (1 spc/300 s.f.)
	Residential	28	27 min. ⁴ (R-4 Dist Std: 1 spc/1,000 s.f.)
	Total	30	29 min.
Bicycle Parking		44	0 (1 spc/2,000 s.f. commercial)
<p>¹ The lot area was listed as 11,932 in the 2013 use permit staff report. The lot area for the current proposal was confirmed with a survey to be 11,826 square feet. Calculations dependent upon lot area are based on the respective lot area amounts.</p> <p>² Setbacks are for ground floor. Minimum setbacks for floors two through five are as follows (per floor: 1st Floor/2nd Floor/3rd Floor etc.): Front, 15/15/15/15'; Rear, 15/15/17/19'; East Side, 5/6/8/10'; and West (street) Side, 8/10/12/14'.</p> <p>³ An encroachment Permit would be required from the Public Works Department.</p> <p>⁴ Per BMC 23E.52.080.C, the first 1,000 square feet of new gross floor area may be exempted from providing Off-street Parking Spaces.</p> <p>■ = Waiver/Concession requested to depart from the district standard.</p>			

II. Project Setting

A. Neighborhood/Area Description: The subject site is located on the southeast corner of the intersection of Shattuck Avenue and Derby Street. Like the subject site, the adjacent and confronting parcels to the north, west, and south of the site are in the South Area Commercial District (C-SA) and are in the area covered by the South Shattuck Strategic Plan (SSSP). Development along Shattuck Avenue that is south of Dwight Way (south of the Downtown Mixed Use District) consists of 1- and 2-story commercial and mixed-use buildings, with the exception of the 5-story, 60'-4"-tall Parker Apartments 1.5 blocks north, on the west side of Shattuck Avenue; the 4-story, 50'-tall building on the adjacent parcel to the south of the subject site; and the 5-story, 60'-tall UC Storage building two parcels south of the site at the corner of Shattuck

Avenue and Ward Street. A proposal for a 6-story, 65'-tall, mixed-use building on the parcel one block north of the subject site (adjacent to the Parker Apartments) was Previewed by the ZAB on October 11, 2018. Adjacent parcels to east are in the Restricted Two-Family Residential District (R-2), and contain 1-story, single-family residences along Derby Street and 2-story, multi-family residences along Walker Street. (See Figure 1: Zoning Map, and Figure 2: Vicinity Map.)

B. Site Conditions/Background: The subject site was a used car dealership in the past, and in the last 10-15 years, was occasionally used for car storage. Demolition of the commercial building was approved with Use Permit #04-10000014 in 2007. The Building Permit for the demolition was issued in April, 2017, and the site is now vacant.

In May 2001, the City approved Use Permit #00-10000083 for the construction of a 3-story, 50'-tall, 25,000-square-foot, mixed-use building with 16 dwelling units, 3,200 square feet of commercial floor area, and 17 parking spaces. This project was granted use permits to reduce all setbacks, to provide less than the minimum number of off-street parking spaces, and to increase the allowed lot coverage above the maximum. This permit was later modified in October, 2002 (Use Permit #02-70000044), to add one dwelling unit. The project was never built.

In July 2007, the City approved Use Permit #04-10000014 for a 5-story, 55'-tall, 33,598-square-foot, mixed-use building with 24 dwelling units, 3,200 square feet of commercial space and 24 parking spaces. This project was granted use permits to exceed the height/story limit to allow a partial fifth floor, to reduce all setbacks, to provide less than the minimum number of off-street parking spaces and to increase the allowed lot coverage above the maximum. This project was also not built.

In November 2013, the City denied Use Permit #12-10000039, a request to construct a 5-story, 61'-tall, 29,909-square-foot, mixed-use building with 67 dwelling units, 1,969-square-feet of full-service restaurant space and 32 parking spaces. The building design was very similar to the current proposal and requested exceedances for height and lot coverage, and reductions to the front, street side, and rear setbacks. See section V.E for a discussion of the 2013 denial findings and a comparison of the 2013 project with the current, 2018 proposal.

III. Project Description

The project proposes to construct a 5-story, 62'-tall, mixed-use building with the following main components:

- 57 dwelling units – 3 two-level, townhomes on the ground floor; and 46 studios; 6 one-bedroom units; and 2 one-bedroom plus den units on the 2nd through 5th floors;
- 5 Very Low Income (VLI) units;
- 600-square-foot, ground floor, quick-service restaurant (café);
- 6,212 square feet of usable open space – on the 2nd, 4th and 5th floors, and a roof deck above the 5th floor;

- 30 automobile parking spaces (27 in triple lifts and 3 at grade) and 44 bicycle parking spaces;
- Sidewalk public space enhancements and outdoor café seating area;
- 310-square-foot community room for the use of on-site residents; and
- Public art integrated into the building façades.

(See Figure 3: Ground Floor Plan, and Figures 4 through 6: Elevations. See Attachment 1, Plan Set, for the full set of project drawings.)

Table 5: Residential Units

Unit Type	Average Unit Size (sq. ft.)	Unit Count	Percentage (%)	Total Area (sq. ft.)
Studio ("Jr. One-Bedroom")	320	46	81	14,720
One-Bedroom	496	6	11	2,976
One-Bedroom plus Den	668	2	4	1,336
Studio Loft ("Townhouse")	715	3	5	2,145
Totals:	372* (Avg all units)	57	100	21,177

*Average size of interior of all units. Does not include residential amenities or circulation.

IV. Community Discussion

A. Neighbor/Community Concerns: On November 3, 2016, a neighborhood meeting was held to review the project and discuss concerns, and was attended by nine members of the public. Prior to submitting the application to the City on December 13, 2016, a pre-application poster was installed by the applicant at the project site.

On July 11, 2018, the City mailed public hearing notices to property owners and occupants within 300' of the site, to interested neighborhood organizations, and the posted notices within the neighborhood in three locations. On July 26, 2018, a ZAB Preview of the project was held. Salient points included a concern for the ambiguity of public/private space in front of townhomes in public right-of-way, and a suggestions to reduce or eliminate parking to reduce overall building mass.

On October 25, 2018, the City mailed public hearing notices to property owners and occupants within 300' of the site, to interested neighborhood organizations, and the posted notices within the neighborhood in three locations. No further communications regarding the project were received as of the writing of this staff report.

B. Design Review Committee: The Design Review Committee (DRC) conducted Preliminary Design Review (PDR) of the project on August 16, 2018, provided comments to the applicant, and continued the PDR to September 20, 2018. In response to comments, the applicant made revisions to the design, including:

- Added screening to the eastern stair landings; cut back landing/stair away from the eastern residences at the fifth floor and roof level, to provide greater privacy to these neighbors;
- More open and inviting, removable, seating and planting areas on public right-of-way/sidewalk area;
- Added stoops with low planters on sidewalk outside of ground-floor townhouses to provide a semi-private transition from private to public¹;
- Re-designed two-bedroom units into one-bedroom plus den, to provide natural light and air to all habitable spaces in all dwelling units; and
- Widened roof deck, to create a gathering space for residents (also serves to increase total usable open space).

The DRC completed PDR on September 20th and forwarded a ***favorable recommendation*** for the project to the ZAB with conditions and recommendations for Final Design Review (Vote: 5-0-0-2; Passmore, Pink – absent):

Conditions:

- Provide metal sunshades over windows on the 2nd and 5th floor;
- Consider final design for planters at ground floor unit entries;
- Review final window details at Final Design Review, including extent of clear and translucent glazing; and
- Provide alternate building colors at Final Design Review.

Recommendations:

- Recommend ZAB discuss sidewalk seating that is not exclusively for café. (ZAB comments will be forwarded to Public Works for consideration.)

V. Issues and Analysis

A. Density Bonus Units: The project is eligible for a density bonus under Government Code Section 65915, through the inclusion of five VLI units. According to the City's Density Bonus Procedures, the Base Project was calculated to have 43 units as the maximum allowable density for the site². The Base Project includes 42 units (one less than the maximum allowable density) with an average unit size of 463 square feet, in a 4-story building. (See Table 6: Base vs. Proposed Project and Table 7: Density Bonus.) Five VLI units in the Proposed Project qualifies the development for a 35% density bonus, which equates to 15 bonus units, resulting in a 57-unit Proposed Project, with an average unit size of 495 square feet, in a 5-story building. The increase in average unit size in the Proposed Project over the Base Project (a 7% increase)

¹ Public Works has since rejected the proposal and has provided preliminary approval of a design that has no stoops and only ground-level planting areas. See Project Site Plan. Approval of an encroachment permit is pending.

² Per the City's Density Bonus Procedures (DBP), the "Base Project" is the largest project allowed on the site that is fully compliant with district development standards (i.e. height, setbacks, usable open space, parking, etc.), or, the *maximum allowable density* for the site. The City uses the DBP to calculate the maximum allowable density for a site where there is no density standard in the zoning district, and to determine the number of units in the "Proposed Project", which is the number of Base Project units plus the number of density bonus units that can be added according to the percentage of BMR units proposed, per Government Code, section 65915(f).

would be allowed through a concession³. See the next section, V.B, for a discussion of the concessions.

Table 6: Base vs. Proposed Project – Per City’s Density Bonus Procedures

	Base Project		Proposed Project	
	Residential Floor Area (RFA)	Base Units	RFA with DBU	Total Units [Base + Density Bonus Units (DBU)]
Totals:	19,736	42*	28,213	57*
Average Unit Size:**	463 sq. ft.		495 sq. ft. (7% increase)	
* Per Gov’t Code 65915(q), all unit calculations are rounded up to the nearest whole number. ** Per City’s Density Bonus Procedures, the Average Unit Size used to calculate density bonus includes residential amenities and circulation.				

Table 7: Density Bonus – Per CA Gov’t Code 65915

Qualifying Units	Density Bonus Achieved	Base Project Units*	Number of DBU Achieved*	Proposed Project Units
5 VLI	35% (35% max.)	42 (43 maximum allowable density)	15 (35%x42)	57
* Per Gov’t Code 65915(q), all unit calculations are rounded up to the nearest whole number.				

B. Density Bonus Waivers and Concessions: The project would be entitled to two concessions (or incentives), under Government Code Section 65915(d), and an unlimited number of waivers, under Section 65915(e).

A concession or incentive is a modification of a zoning code requirement that results in identifiable and actual cost reductions, to provide for affordable housing costs. The applicant is requesting two concessions for the project to modify the DBP: 1) to increase the average unit size from 463 square feet in the Base Project to 495 square feet in the Proposed Project⁴, and 2) to have ground-level parking in the Proposed Project, where the Base Project parking would be underground, using an automated

³ Per the City’s 2014 DBP, the calculation of maximum allowable density uses the average unit size of the Proposed Project to calculate the number of allowable units in the Base Project. Typically, the average unit size must remain consistent from the Base Project to the Proposed Project to prevent applicants from creating a Base Project that would be far denser and/or poorer in design quality than the applicant actually desires to build, for the purpose of obtaining a larger density bonus. However, the 2014 DBP allowed a Concession for the increase of average unit size. The applicant is utilizing this provision, which is not included in the current, 2018 DBP. The application was deemed substantially complete prior to the City’s release of the 2018 DBP. Because of this concession, the City’s application of the 2014 DBP was altered to allow the increase in residential area *after* the calculation of the maximum allowable density for the site. This application of the density calculation formula yields the results discussed in the Density Bonus Units analysis.

⁴ Under the standard application of the DBP (both the 2014 or 2018 versions), the Base Project would result in 40 units as the maximum allowable density for the site, with an average unit size of 495 square feet. Five VLI units in the proposed project would have qualified the development for a 35% density bonus which would have yielded 14 bonus units, for maximum of 54 units in the Proposed Project. Had the applicant not requested a concession for the increase of average unit size, the Proposed Project would have been limited to a maximum of 54 units for the site.

parking machine to move the automobiles from grade into the underground storage garage.

The applicant provided a pro forma statement to show the cost reductions associated with increasing the average unit size and with ground-level parking compared to underground parking. The pro forma statement was peer reviewed by the City's consultant, Placeworks. The City's peer review concluded that the pro forma statement adequately documented that the "Proposed Project Costs with Concessions" would result in a cost reduction or "decrease in cost per unit" relative to the Base Project costs; and that the concessions would be necessary to cover the cost of affordable units.

The City may only deny the concessions if it finds that the concessions would have a specific adverse impact upon public health and safety, or the physical environment, or on any real property listed in the California Register of Historical Resources, and there is no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development unaffordable to low-income, very-low income, and moderate-income households, or if the concession would be contrary to State or Federal law. Staff believes such a finding cannot be made.

A waiver is a modification of a development standard that would otherwise physically preclude the construction of the project with the permitted density bonus and concessions. Waivers for height, setbacks and lot coverage are requested for the project because they are necessary to physically accommodate the full density bonus project on the site. The City may only deny the waivers if it finds that the waivers would have a specific adverse impact upon public health and safety, or the physical environment, or on any real property listed in the California Register of Historical Resources, and there is no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development unaffordable to low-income, very-low income, and moderate-income households, or if the waiver would be contrary to State or Federal law. Staff believes such a finding cannot be made.

C. Housing Accountability Act Analysis: The Housing Accountability Act (HAA), California Government Code Section 65589.5(j), requires that when a proposed housing development complies with the applicable, objective general plan and zoning standards, but a local agency proposes to deny the project or approve it only if the density is reduced, the agency must base its decision on written findings supported by substantial evidence that:

1. The development would have a specific adverse impact⁵ on public health or safety unless disapproved, or approved at a lower density; and
2. There is no feasible method to satisfactorily mitigate or avoid the specific adverse impact, other than the disapproval, or approval at a lower density.

⁵ As used in the Act, a "specific, adverse impact" means a "significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, polices, or conditions as they existed on the date the application was complete."

The base project complies with applicable, objective general plan and zoning standards. Therefore, the City may not deny the base project or approve the base project at a reduced density without basing its decision on the written findings under Section 65589.5(j), above. Staff is aware of no specific adverse impacts that could occur with the construction of the base project.

D. Affordable Housing Mitigation Fee: Pursuant to BMC Section 22.20.065, the project is subject to the Affordable Housing Mitigation Fee (AHMF). The AHMF ordinance allows a project to provide Below Market Rate (BMR) units, up to 20% of the total project units, in-lieu of payment of the full fee. The applicant can choose whether to pay the fee, or provide the in-lieu units in the project, or provide a combination of both.⁶ The applicant has indicated that they intend to pay the amount of \$941,868 at building permit issuance, or \$1,024,974 at the time the Certificate of Occupation issuance.

E. Findings for Use Permit in C-SA District: Pursuant to BMC Section 23E.52.090.B, in order to approve any Use Permit in the district, the Board must make the following required findings. The proposed use or structure must:

1. Be compatible with the purposes of the District;

The project is consistent with the following purposes of the South Area Commercial District (C-SA):

- Implement the Master Plan's designations for Community Commercial, and the Commercial/Residential areas, as well as the policies of the South Berkeley Area Plan.

Staff Analysis: See sections V.J and V.K for the project's consistency with the General Plan and the South Berkeley Area Plan.

- Encourage the location of a wide variety of community-oriented retail goods and services in South Berkeley.
- Encourage development and amenities that support pedestrian-oriented uses.
- Encourage appropriate mixed-use development (retail/office/residential) on appropriate sites in the District.
- Encourage residential development for persons who desire both the convenience of location and more open space than is available in the Downtown:

Staff Analysis: As a mixed-use building with 57 residential units and a 600-square-foot, ground-floor café, with improvements to the sidewalk outdoor space, the proposed project would encourage and engage pedestrian traffic near the site, and provide a place for the nearby residents to gather and engage with the local

⁶ The Affordable Housing Mitigation Fee is currently \$34,884 per unit if paid at issuance of a building permit and \$37,962 if paid at the time Certificate of Occupancy is issued. The following equation will be used to calculate the proportional discount to the fee based on the portion of units provided at Low-Income and Very Low-Income rents: $[A \times \text{Fee}] - [(B+C)/(A \times 20\%) \times (A \times \text{Fee})]$, where A=Total # Market Rate Units; B=# of Very-Low Income Units; & C=# of Low-Income Units.

community. The ground-floor café and enhanced public outdoor space would be a desirable service and destination for local residents, and would encourage them to patronize other local businesses within walking distance.

2. Be compatible in design and character with the District and the adjacent residential neighborhoods;

Staff Analysis: As discussed previously in section V.E, the project would be similar in height, massing, and use to existing, nearby developments, and therefore would be compatible with surrounding uses and buildings within the C-SA district. Also, as discussed in section V.E the project proposal has incorporated design features, such as stepping back from adjacent residences at each floor, to ease the transition from the project to the residential neighborhood and R-2A district to the east.

3. Not result in the domination of one type of commercial/retail use in any one area of the District;

Staff Analysis: The proposed café would add to the mixture of businesses in the neighborhood, which consists of car dealerships, medical offices, self-storage, retail, a pharmacy, a grocery store, and quick- and full-service restaurants, without a predominance of any one type of business.

F. General Non-Detriment: The project is subject to the City's standard conditions of approval regarding construction noise and air quality, waste diversion, toxics, and stormwater requirements, thereby ensuring the project would not be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the area or neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood or to the general welfare of the City.

G. General Plan Consistency: The 2002 General Plan contains several policies applicable to the project, including the following:

1. Policy LU-3–Infill Development: Encourage infill development that is architecturally and environmentally sensitive, embodies principles of sustainable planning and construction, and is compatible with neighboring land uses and architectural design and scale.
2. Policy LU-7–Neighborhood Quality of Life, Action A: Require that new development be consistent with zoning standards and compatible with the scale, historic character, and surrounding uses in the area.
3. Policy LU-23–Transit-Oriented Development: Encourage and maintain zoning that allows greater commercial and residential density and reduced residential parking requirements in areas with above-average transit service such as Downtown Berkeley.
4. Policy LU-5–Affordable Housing Development: Encourage development of affordable housing in the Downtown Plan area, the Southside Plan area, and other transit-oriented locations.

Staff Analysis: As discussed previously in section V.E, the project would be compatible with surrounding uses and buildings within the C-SA district, and would adequately transition to the residential district to the east of the site. The project would bring 57 new residential units, including five Very Low Income units to the area; and with waivers for height, setbacks and lot coverage granted to accommodate the density bonus on the site, would be consistent with district zoning standards. The project site is served by AC Transit bus lines 18, 800 and Transbay Line F along its Shattuck Avenue frontage. The project site is also approximately one-half mile from both the Downtown Berkeley BART station and the Ashby BART station.

5. Policy LU-27–Avenue Commercial Areas: Maintain and improve Avenue Commercial areas, such as University, San Pablo, Telegraph, and South Shattuck, as pedestrian-friendly, visually attractive areas of pedestrian scale and ensure that Avenue areas fully serve neighborhood needs as well as a broader spectrum of needs.
6. Policy T-16–Access by Proximity: Improve access by increasing proximity of residents to services, goods, and employment centers.

Staff Analysis: The project would bring 57 new residential units and a 600-square-foot café, and enhanced public sidewalk space to the neighborhood, thereby contributing to the fast development of the South Shattuck area as a destination for Berkeley residents. Proposed improvements to the sidewalk right-of-way, such as public and café outdoor seating would enhance the pedestrian experience on the site frontage along Shattuck, and would encourage further activation of the Shattuck streetscape in this neighborhood.

7. Policy H-1–Extremely Low, Very Low, Low and Moderate-Income Housing: Increase the number of housing units affordable to Berkeley residents with lower income levels.
8. Policy H-12–Transit-Oriented New Construction: Encourage construction of new medium and high-density housing on major transit corridors and in proximity to transit stations consistent with zoning, applicable area plans, design review guidelines, and the Climate Action Plan.
9. Policy H-33–Regional Housing Needs: Encourage adequate housing production to meet City needs and the City’s share of regional needs.
10. Policy EM-5–“Green” Buildings: Promote and encourage compliance with “green” building standards.
11. Policy UD-16–Context: The design and scale of new or remodeled buildings should respect the built environment in the area, particularly where the character of the built environment is largely defined by an aggregation of historically and architecturally significant buildings.
12. Policy UD-17–Design Elements: In relating a new design to the surrounding area, the factors to consider should include height, massing, materials, color, and detailing or ornament.
13. Policy UD-24–Area Character: Regulate new construction and alterations to ensure that they are truly compatible with and, where feasible, reinforce the desirable design characteristics of the particular area they are in.

14. Policy UD-32–Shadows: New buildings should be designed to minimize impacts on solar access and minimize detrimental shadows.

Staff Analysis: According to the shadow studies submitted by the applicant, the single-family residences to the east (2104, 2106, and 2108 Derby Street) and the multi-family residences abutting the site to the east (2708 Walker Street) would experience the most increased shadows during the few hours before sunset, year-round. Residences to the northeast, beyond the subject block, would experience new shadows in the few hours before sunset in the winter. Shadow impact on these residences to the east and northeast are to be expected, because the subject site is located in the C-SA district (commercial), which allows heights of up to 50' and 4 stories (for residential and mixed-use), whereas the eastern residences are in the R-2 district (residential), which allows heights of up to 28' (35' with a use permit) and 3 stories. Shadow impacts from the project would be reasonable, given that the duration would be limited to the evening hours and given the height limit differential between the two districts.

15. Policy UD-33–Sustainable Design: Promote environmentally sensitive and sustainable design in new buildings.

Staff Analysis: To help the City meet its regional housing needs, the project would add 57 new residential units, including five Very Low Income units, and 600 square feet of new commercial space to a site that is served by or in close proximity to multiple transit lines, in a building that is consistent with City zoning standards and State density bonus law, and would be compatible with the surrounding neighborhood. The project design would have a reasonable level of shadow impact, and has been reviewed in terms of height, massing, materials, color and detailing by the DRC, which has recommended approval of the design to the ZAB. In addition, the project meets green building and sustainable design standards, by achieving a score of 91 on the GreenPoint Rated Checklist, where the minimum is 50, out of a maximum score of 381.

H. South Shattuck Strategic Plan Consistency: The South Shattuck Strategic Plan (adopted in June, 1998) contains strategies applicable to the project, including the following:

1. Economic Development Strategy 1: Encourage a development model of a variety of pedestrian-oriented neighborhood serving businesses supported by anchor commercial sites. Ensure the compatibility of commercial uses and adjacent residential neighborhoods through project design requirements that reduce negative impacts.
2. Economic Development Strategy 2: Encourage the reuse of vacant and underdeveloped Shattuck sites as mixed-use buildings with commercial frontage and residential above, concentrating particularly on opportunity sites that could significantly revitalize the area.
3. Urban Design Strategy 1: Enhance the pedestrian orientation of the commercial corridor through upgraded and expanded streetscape improvements and the reduction of automobile impacts.

4. Urban Design Strategy 2: Enhance the sense of place and district identity through careful building design and improved relationships between buildings, activities, residents, and shoppers in the South Shattuck corridor.
5. Urban Design Strategy 3: Enhance the visual quality of the corridor by creating an overall district identity, using features appropriate to each of the target areas.
6. Transportation Strategy 1: Make capital improvements in the public right-of-way which increase pedestrian access and safety on commercial streets.
7. Transportation Strategy 4: Support alternatives to the automobile (transit, shuttles, bicycling, and walking) by developing and implementing policies which encourage non-automobile travel, including a plan for targeted street improvements.

Staff Analysis: The project would develop a vacant site to bring 57 new residential units and a 600-square-foot quick-service restaurant (café) to the South Shattuck area on a site that is adjacent to transit, adding to a fast-developing neighborhood destination that has undergone recent increases in residential units, mixed-use developments, and pedestrian-oriented goods and services. The project would also provide improvements to the Shattuck frontage sidewalk, such as outdoor café seating and publicly-accessible sidewalk seating areas that would enhance the pedestrian experience along Shattuck Avenue, and further activate the streetscape in this neighborhood.

A Preliminary Transportation Assessment prepared by the project transportation consultant concluded that the anticipated increase in traffic due to the project would be less than significant, and that the off-street parking in the surrounding neighborhood would not be adversely impacted by the project. Thus, the project would not contribute to traffic and parking issues which result of a significant increase automobile use. Rather, by being adjacent to multiple transit lines, the project encourages non-automobile travel.

VI. Recommendation

Because of the project's consistency with the Zoning Ordinance and General Plan, and minimal impact on surrounding properties, staff recommends that the Zoning Adjustments Board APPROVE Use Permit #ZP2016-0244, pursuant to BMC Section 23B.32.050 and subject to the attached Findings and Conditions (see Attachment 1).

Attachments:

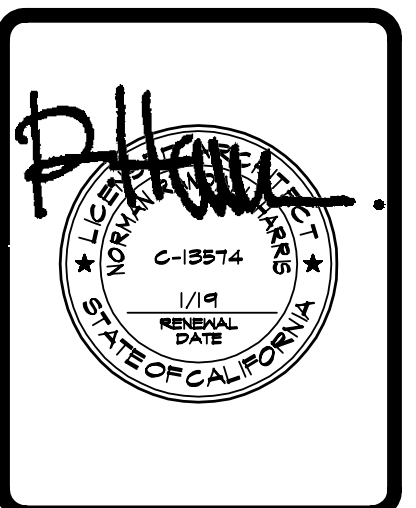
1. Findings and Conditions
2. Project Plans, received October 11, 2018
3. Notice of Public Hearing

Staff Planner: Sharon Gong, sgong@cityofberkeley.info, (510) 981-7429

2701 SHATTUCK AVENUE

revisions	by
DRG SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRG SUBMITTAL 4/20/18	AY
ZAB SUBMITTAL 1/08/18	AY

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BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

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ZAB 11/08/18

BASE PROJECT ZONING REQUIREMENTS

LOT COVERAGE
40% COVERAGE ALLOWABLE
LOT SIZE: 11,826 SF
TOTAL SF ALLOWABLE: 4,730 SF
ACTUAL COVERAGE: 4,730 SF

OPEN SPACE
REQUIRED: 40 SF/UNIT USEABLE OPEN SPACE
42 UNITS X 40 SF/UNIT = 1,680 SF
PROVIDED OPEN SPACE: 1,850 SF

FAR CALCULATION
ALLOWABLE FAR: 4.0
BASE PROJECT FAR: 1.6 (18,947 SF / 11,826 SF = 1.60)

PARKING CALCULATION

COMMERCIAL PARKING
COMMERCIAL GFA: 558 SF
REQUIRED STALL RATIO: 1:300 SF
REQUIRED STALLS: 2
STALLS PROVIDED: 2

RESIDENTIAL PARKING *
RESIDENTIAL FLOOR AREA: 18,736 SF
REQUIRED STALL RATIO: 1:1,000 SF GFA
REQUIRED STALLS: 19
STALLS PROVIDED: 23

TOTAL AUTO PARKING: 25 SPACES

COMMERCIAL BIKE PARKING
COMMERCIAL SPACES REQUIRED: 1 SPACE/2,000 SF COMMERCIAL AREA
COMMERCIAL FLOOR AREA: 558 SF
558 / 2,000 = (0.3) = 1
COMMERCIAL SPACES PROVIDED: 1 SPACE

RESIDENTIAL BIKE PARKING
RES. SPACES REQUIRED: 1 SPACE/2,000 SF RESIDENTIAL AREA
RES. FLOOR AREA: 19,736 SF
19,736 / 2,000 = 9.9
RES. BIKE SPACES PROVIDED: 10 SPACES

TOTAL BIKE PARKING: 11 SPACES

ROOFTOP COVERAGE CALCULATION

AVERAGE FLOOR AREA: 18,947 SF / 4 STORIES = 4,737 SF
ALLOWABLE ROOF COVERAGE: 15% X 4,737 SF = 711 SF

ROOFTOP ELEMENTS
STAIR 1: 145 SF
STAIR 2: 166 SF
ELEVATOR: 157 SF
COMMERCIAL EXH. 5 SF
MACHINE ROOM 70 SF

TOTAL COVERAGE: 543 SF

* - FIRST 1000 SF EXEMPT OFF-STREET PARKING (BMC SECTION 23E.52.080.C)

PROPOSED DENSITY BONUS PROJECT ZONING REQUIREMENTS

LOT COVERAGE
LOT SIZE: 11,826 SF
COVERED AREA OF LOT: 10,217 SF
10,217 SF / 11,826 SF X 100% = 86%

OPEN SPACE
REQUIRED RATIO: 40 SF PER UNIT
REQUIRED AREA: 57 UNITS X 40 SF/UNIT = 2,280 SF

PODIUM OPEN SPACE: 3,323 SF
4TH LEVEL OPEN SPACE: 625 SF
5TH LEVEL OPEN SPACE: 285 SF
ROOFTOP OPEN SPACE: 1,979 SF
PROVIDED OPEN SPACE: 6,212 SF

FAR CALCULATION
ALLOWABLE FAR: 4.0
PROPOSED FAR: 2.4 (27,980 SF / 11,826 SF = 2.36)

PARKING CALCULATION

COMMERCIAL PARKING
COMMERCIAL AREA: 600 SF
REQUIRED STALL RATIO: 1:300 SF
REQUIRED STALLS: 2
STALLS PROVIDED: 2

RESIDENTIAL PARKING *
RESIDENTIAL FLOOR AREA: 27,213 SF
REQUIRED STALL RATIO: 1:1,000 SF
REQUIRED STALLS: 28
STALLS PROVIDED: 28

TOTAL AUTO PARKING: 30 SPACES

COMMERCIAL BIKE PARKING
COMMERCIAL SPACES REQUIRED: 1 SPACE / 2,000 SF
COMMERCIAL FLOOR AREA: 600 SF
600 / 2,000 = 0.3
COMMERCIAL SPACES PROVIDED: 5 SPACES

RESIDENTIAL BIKE PARKING
RESIDENTIAL SPACES REQUIRED: 1 SPACE/2000 SF RESIDENTIAL AREA
RESIDENTIAL FLOOR AREA: 28,213 SF
28,213 / 2,000 = 15 (14.1)
RESIDENTIAL SPACES PROVIDED: 44 SPACES

TOTAL BIKE PARKING: 49 SPACES

ROOFTOP COVERAGE CALCULATION

AVERAGE FLOOR AREA: 27,980 SF / 5 STORIES = 5,596 SF AVERAGE
ALLOWABLE ROOF COVERAGE: 15% X 5,596 SF = 839 SF

ROOFTOP ELEMENTS
MECHANICAL EXH. 5 SF
TRASH CHUTE EXH. 32 SF
COMMERCIAL EXH. 21 SF
MACHINE ROOM 143 SF
STAIR 178 SF
COVERED WALK 201 SF
ELEVATOR 156 SF
TRELLIS 98 SF

TOTAL COVERAGE: 834 SF

CITY OF BERKELEY ZONING SUMMARY

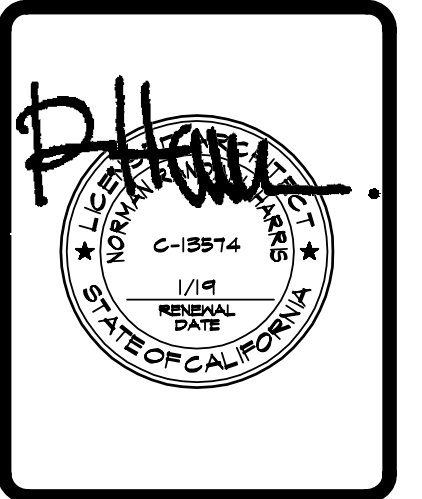
ZONE	C-SA (SOUTH AREA COMMERCIAL)		
	EXISTING	BASE PROJECT	PROPOSED***
Number of Dwelling Units	0	42	57 DU
RESIDENTIAL PARKING	0	23	28
COMMERCIAL PARKING	0	2	2
RESIDENTIAL BIKE STALLS	0	10	44
COMMERCIAL BIKE STALLS	0	1	5
Front Yard Setback	-	15	0 FT
Side Yard Setback (Right Side)	-	4	8 FT
Side Yard Setback (Street Side)	-	6	0 FT
Rear Yard Setback	-	15	0.5 FT
Building Height	-	50	62-4" FT
Building Stories	-	4	5
Lot Area	11,826	11,826	11,826 SF
Lot Area (Acres)	0.27	0.27	0.27
Level 1	-	4,118	2,440 SF
Mezzanine	-	1,428	775 SF
Level 2	-	4,730	6,699 SF
Level 3	-	4,730	6,655 SF
Level 4	-	4,730	5,966 SF
Level 5	-	-	5,678 SF
Roof Level	-	-	SF
RFA (Residential Floor Area per BMC)*		19,736	28,213 SF
Commercial		558	600 SF
Trash		57	468 SF
GFA(Residential GFA + Commercial)**		18,947	27,980 SF
Elevators+ Stairs(2nd floor to the top residential floor)		1,404	1,301 SF
Building Footprint	0	4,730	10,217 SF
Lot coverage	0	40% (max)	86%
FAR (Floor Area Ratio)	0	1.6	2.4
Usable Open Space	0 sf	1,883	6,212 SF

*RFA PER CITY PLANNER'S GUIDANCE, includes stairs and elevators on all residential floors and EXCLUDES TRASH area

**GFA includes stairs and elevators on the floor of the greatest horizontal extent, commercial space and trash room, Per BMC DEFINITION OF FLOOR AREA, GROSS (23F.04.010)

***INCLUDES WAIVERS AND CONCESSIONS

revisions	by
DRG SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRG SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/03/18	AY



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 BERKELEY, CALIFORNIA
 FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
ZONING & SUPPORTING CALCULATIONS

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STEP 1: BASE PROJECT

THE BASE PROJECT IS A HYPOTHETICAL PROJECT THAT REPRESENTS THE "MAXIMUM ALLOWABLE RESIDENTIAL DENSITY" FOR A PROPOSED PROJECT AT A PARTICULAR SITE.

STEP 1.1 CALCULATE MAX. ALLOWABLE RESIDENTIAL FLOOR AREA
 CALCULATE THE BASE PROJECT'S RESIDENTIAL FLOOR AREA, INCLUDING EACH STORY OF A HYPOTHETICAL BUILDING, ON THE PROPOSED SITE.

STEP 1.1: BASE PROJECT RESIDENTIAL CALCULATIONS

LEVEL 1 RES.	4,118 sf
LEVEL 1 MEZZANINE RES.	1,428 sf
LEVEL 2 RES.	4,730 sf
LEVEL 3 RES.	4,730 sf
LEVEL 4 RES.	4,730 sf
ROOF LEVEL	-
TOTAL MAX. RESIDENTIAL FLOOR AREA	19,736

STEP 1.2 CALCULATE AVERAGE UNIT SIZE
 USING THE PROPOSED PROJECT'S PLANS, CALCULATE THE TOTAL FLOOR AREA DEDICATED TO RESIDENTIAL USES ON EACH FLOOR.

STEP 1.2A: PROPOSED DENSITY BONUS PROJECT RESIDENTIAL CALCULATIONS

LEVEL 1 RES.	2,997 sf
LEVEL 1 MEZZANINE RES.	550 sf
LEVEL 2 RES.	7,617 sf
LEVEL 3 RES.	7,617 sf
LEVEL 4 RES.	7,617 sf
ROOF LEVEL	- sf
TOTAL PROPOSED DENSITY BONUS	26,398 sf

*Calculated per City Density Bonus procedure

STEP 1.2B IDENTIFY THE TOTAL NUMBER OF PROPOSED RESIDENTIAL UNITS

57 UNITS PROPOSED

STEP 1.2C DIVIDE TOTAL PROPOSED DENSITY PROJECT FLOOR AREA BY NUMBER OF UNITS

26,398 SF / 57 UNITS = 463 SF/UNIT

STEP 1.2D CALCULATED AVERAGE UNIT SIZE: 463 SF
 (PROPOSED PROJECT REQUESTS A CONCESSION - SEE STEP 3)

STEP 1.3 CALCULATE NUMBER OF BASE PROJECT UNITS
 CALCULATE THE BASE PROJECT'S MAXIMUM NUMBER OF RESIDENTIAL UNITS BY DIVIDING THE SQUARE FOOTAGE OF THE BASE PROJECT (STEP 1.1) BY THE AVERAGE UNIT SIZE (STEP 1.2).

STEP 1.1: BASE PROJECT RES. FLOOR AREA: 19,736 SF
 STEP 1.2: AVERAGE UNIT SIZE: 463 SF
 STEP 1.3: BASE UNITS: 19,736 SF / 463 SF = 42.63 UNITS *

* - ALLOWED 43 UNITS, BUT, DESIGNED TO 42 UNITS

STEP 2: PROPOSED DENSITY BONUS PROJECT

DENSITY BONUS UNITS ARE MARKET-RATE UNITS THAT EXCEED THE "MAXIMUM ALLOWED RESIDENTIAL DENSITY." THE AMOUNT OF AFFORDABLE UNITS AND THEIR AFFORDABILITY.

STEP 2.1 DETERMINE PROPOSED NUMBER AND INCOME LEVEL OF BELOW MARKET RATE (BMR) UNITS.

INCOME LEVEL: VERY-LOW-INCOME UNITS
 % AFFORDABLE UNITS: 11%
 # BASE PROJECT UNITS: 42
 # AFFORDABLE UNITS: 11% X 42 = (4.62)
 = 5 AFFORDABLE UNITS

STEP 2.2 CALCULATE DENSITY INCREASE (%) BASED ON THE DENSITY BONUS LAW AND INFORMATION FROM STEP 2.1.

% GRANTED FOR DENSITY BONUS: 35%
 # BASE PROJECT UNITS: 42

STEP 2.3 CALCULATE NUMBER OF BONUS UNITS BY APPLYING THE PERCENTAGE FROM STEP 2.2 TO BASE PROJECT.

BONUS UNITS ALLOWED 35% X 42 = (14.7)
 = 15 BONUS UNITS
 BASE PROJECT UNITS + BONUS UNITS 42 + 15 = 57

UNITS PROPOSED WITH DENSITY BONUS: 57 UNITS

WAIVERS:
 NO LIMIT PER CALIFORNIA STATE LAW SECTION 65915

- HEIGHT - BMC 23E.52.070.B.2 TO EXCEED THE HEIGHT AND STORY LIMITS FOR THE DISTRICT (TO HAVE 62'-4" AND 5 STORIES, WHERE 50' AND 4 STORIES ARE REQUIRED).
 - BMCS 23E.04.020 TO HAVE ARCHITECTURAL ELEMENTS WHICH EXCEED A DISTRICT'S HEIGHT LIMIT.
 - SETBACKS - BMC 23E.52.070.D.5 TO REDUCE THE FRONT, STREET SIDE, AND REAR YARDS; AND TO EXCEED THE LOT COVERAGE LIMIT FOR THE DISTRICT.
- REDUCED FRONT SETBACK
 SETBACK OF 0 FEET ON ALL FLOORS.
 - REDUCED STREET SIDE SETBACK
 BUILDING SETBACK OF 0 FEET ON ALL FLOORS.
 - REDUCED REAR SETBACK
 OF 6 INCHES ON ALL FLOORS.
 - EXCEED LOT COVERAGE
 TO ALLOW 86% COVERAGE.
 - (NO WAIVERS ARE REQUIRED FOR THE EAST SIDE SETBACK NOR THE USEABLE OPEN SPACE PER UNIT)

STEP 3: PROPOSED DENSITY BONUS PROJECT WITH WAIVERS AND CONCESSIONS

STEP 3: ZAB ACTS ON THE PROPOSED DENSITY BONUS PROJECT

3.1 LIST OF CONCESSIONS (ALLOW 2) AND WAIVERS:
CONCESSION 1) MOVE PARKING FROM UNDERGROUND TO GROUND LEVEL PARKING
CONCESSION 2) INCREASED UNIT SIZE - TO INCREASE AVERAGE UNIT SIZE FROM 463 S.F. (BASE PROJECT) TO 495 S.F. (PROPOSED PROJECT)

WAIVERS SEE ALSO PROPOSED DENSITY BONUS PROJECT LIST

STEP 3.1: PROPOSED PLUS CONCESSIONS RESIDENTIAL CALCULATIONS

LEVEL 1 RES.	2,440
LEVEL 1 MEZZANINE RES.	775
LEVEL 2 RES.	6,699
LEVEL 3 RES.	6,655
LEVEL 4 RES.	5,966
LEVEL 5 RES.	5,678
ROOF LEVEL	-
TOTAL PROPOSED RES. FLOOR AREA	28,213

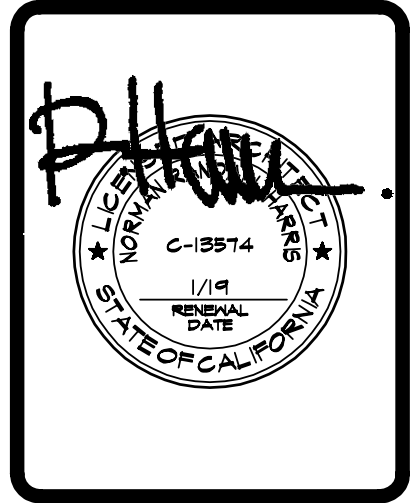
NOTES:
 1. DENSITY BONUS FLOOR AREA AND GROSS FLOOR AREA (SHEET A0.2) ARE CALCULATED PER STATE LAW AND LOCAL ORDINANCE.

AVERAGE UNIT SIZE WITH CONCESSIONS AND WAIVERS:
 28,213 SF / 57 UNITS = 495 SF/UNIT

AVERAGE UNIT SIZE TO BE LARGER THAN BASE PROJECT/PROPOSED PROJECT [(495 - 463.12) AVGSF] / 463.12 AVG SF = APPROXIMATELY 0.069 (7.0%)

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PRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 5/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
PRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/02/18	AY

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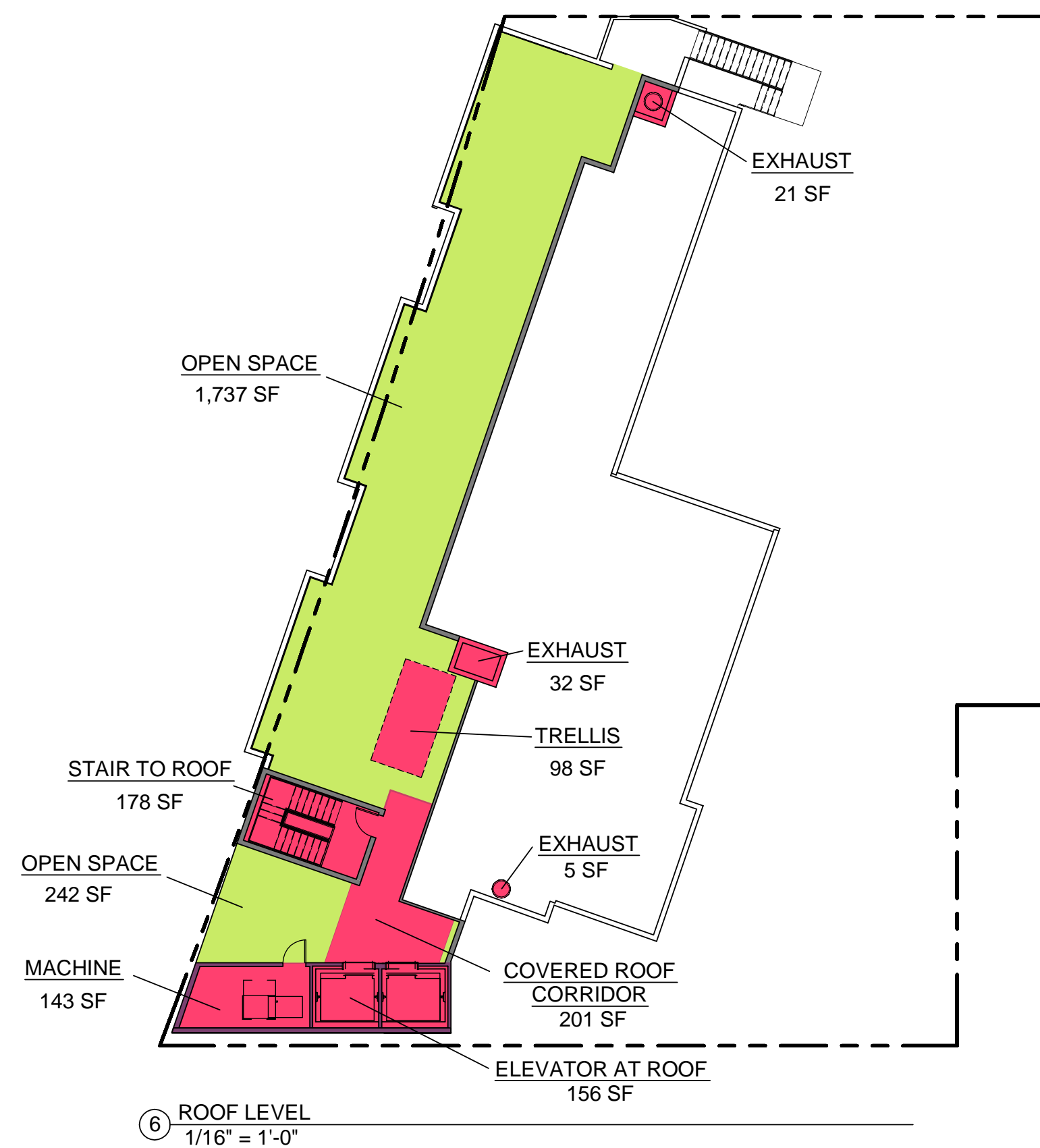


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 BERKELEY, CALIFORNIA
 FOR:
 2701 SHATTUCK BERKELEY, LLC

drawing
 DENSITY
 BONUS
 CALCULATIONS

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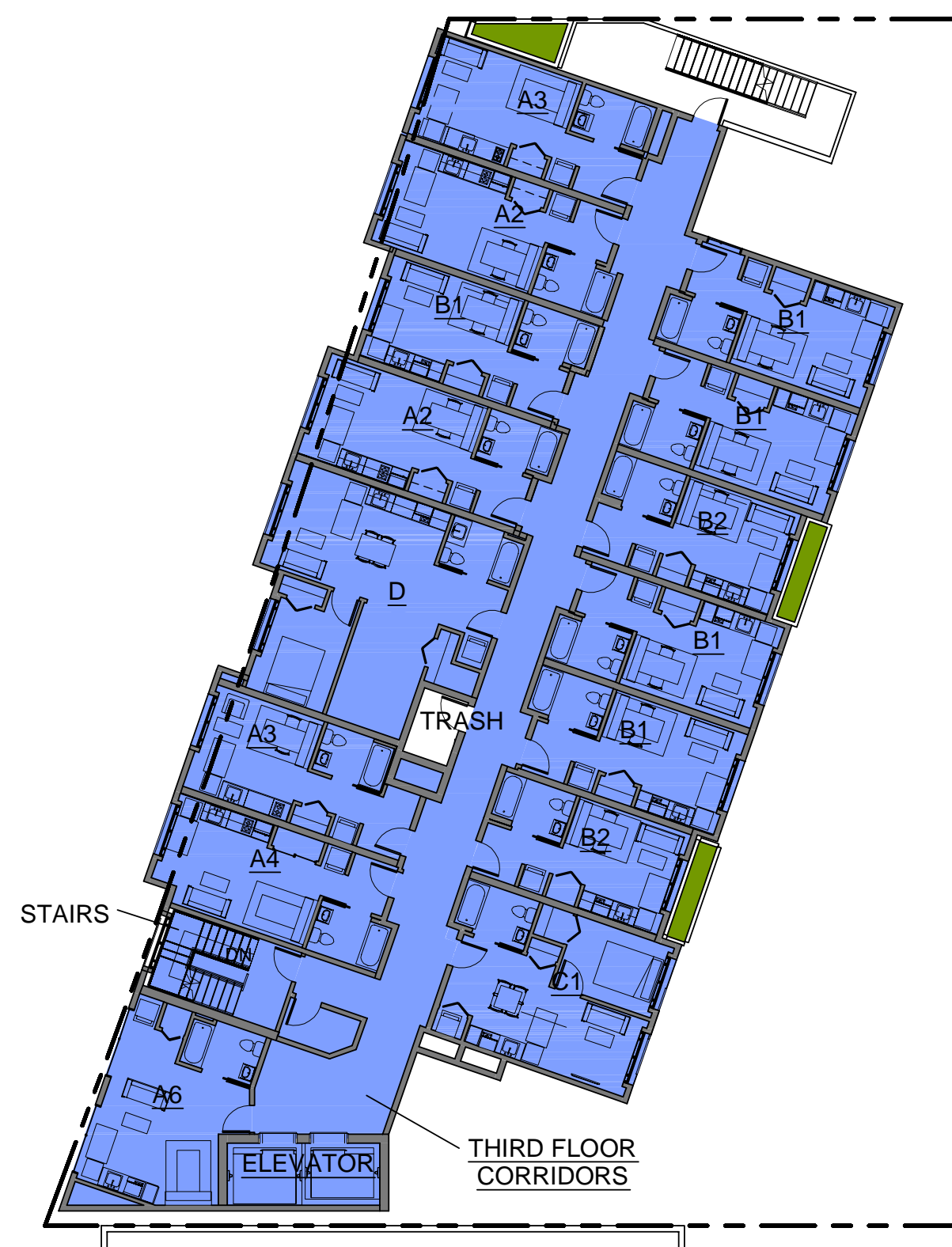
⑥ ROOF LEVEL
1/16" = 1'-0"



⑤ FIFTH FLOOR
1/16" = 1'-0"



④ FOURTH FLOOR
1/16" = 1'-0"



③ THIRD FLOOR
1/16" = 1'-0"



② PODIUM LEVEL
1/16" = 1'-0"



① RESIDENTIAL LOBBY
1/16" = 1'-0"

PROPOSED RESIDENTIAL FLOOR AREAS		
LEVEL	RFA *	GFA **
1	2,440 SF	2,748 SF
M	775 SF	775 SF
2/PODIUM	6,699 SF	6,391 SF
3	6,655 SF	6,377 SF
4	5,966 SF	5,689 SF
5	5,678 SF	5,400 SF
TOTALS	28,213 SF	27,380 SF

* - AREA OF TRASH ROOM FROM 2ND LEVEL TO 5TH LEVEL = 160 SF
** - AREA OF ELEVATOR AND STAIRS FROM 2ND LEVEL TO 5TH LEVEL = 1301 SF

LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- TRASH
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- ROOFTOP ELEMENTS
- WALL
- PROPERTY LINE

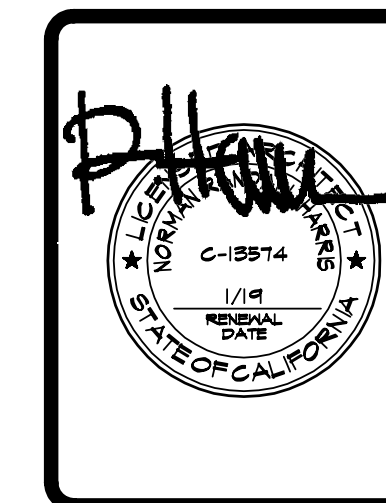
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UNIT TYPE	#	JUNIOR 1 BR	BR	BA	+ DEN / LOFT
TH	3			1	+ LOFT
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A2	6	1		1	
A3	7	1		1	
A4	2	1		1	
A5	1	1		1	
A6	4	1		1	
B1	16	1		1	
B2	9	1		1	
C	1		1	1	
C1	4		1	1	
C2	1		1	1	
D	2		1	1	+ DEN

UNIT DATA:

TOWNHOUSE UNITS:	3
JUNIOR 1 BR UNITS:	46
1 BEDROOM UNITS:	8
TOTAL UNITS	57

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PRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
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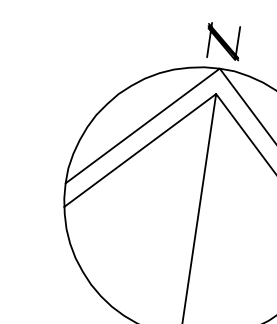


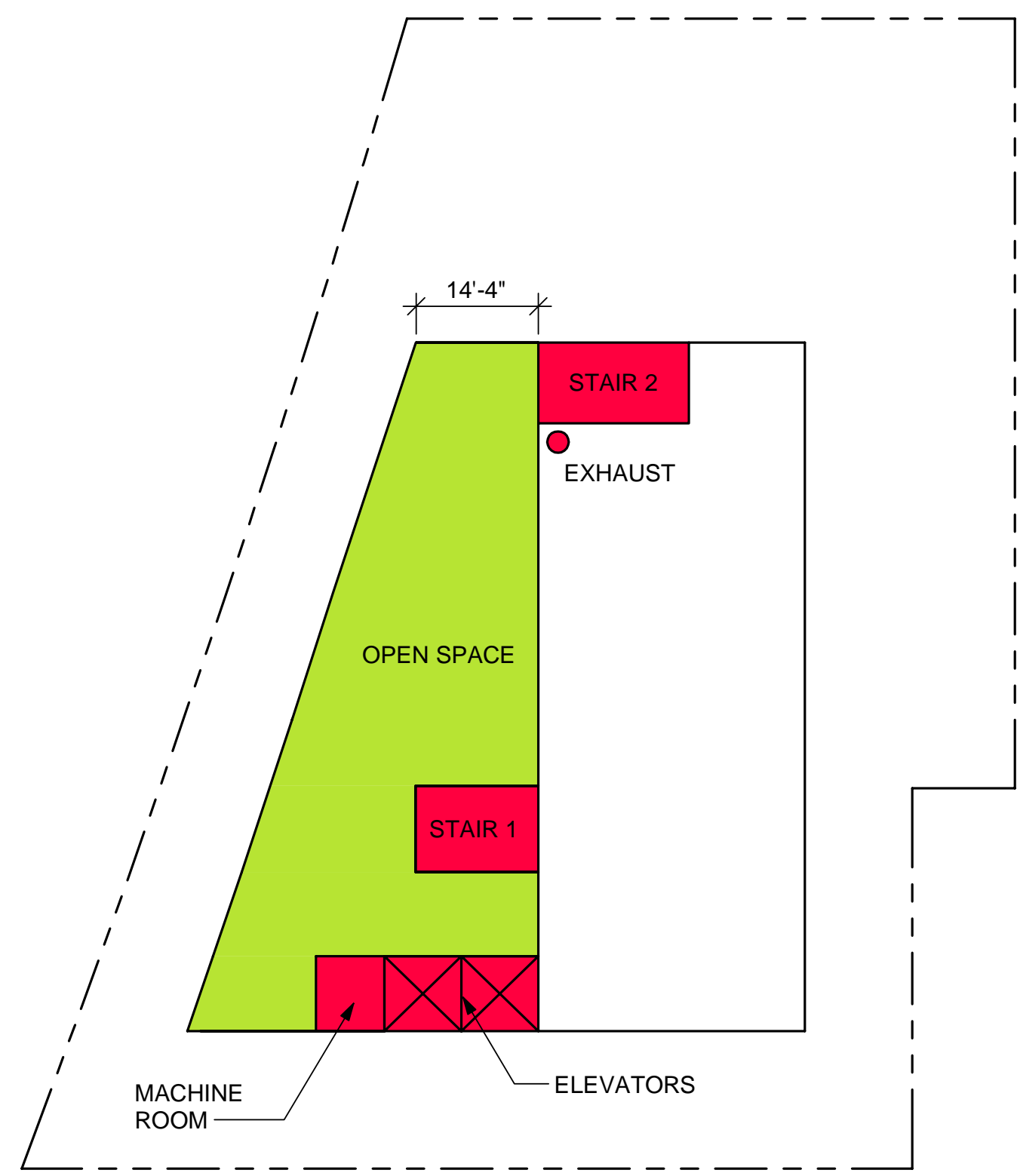
2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
RESIDENTIAL FLOOR AREAS SUMMARY

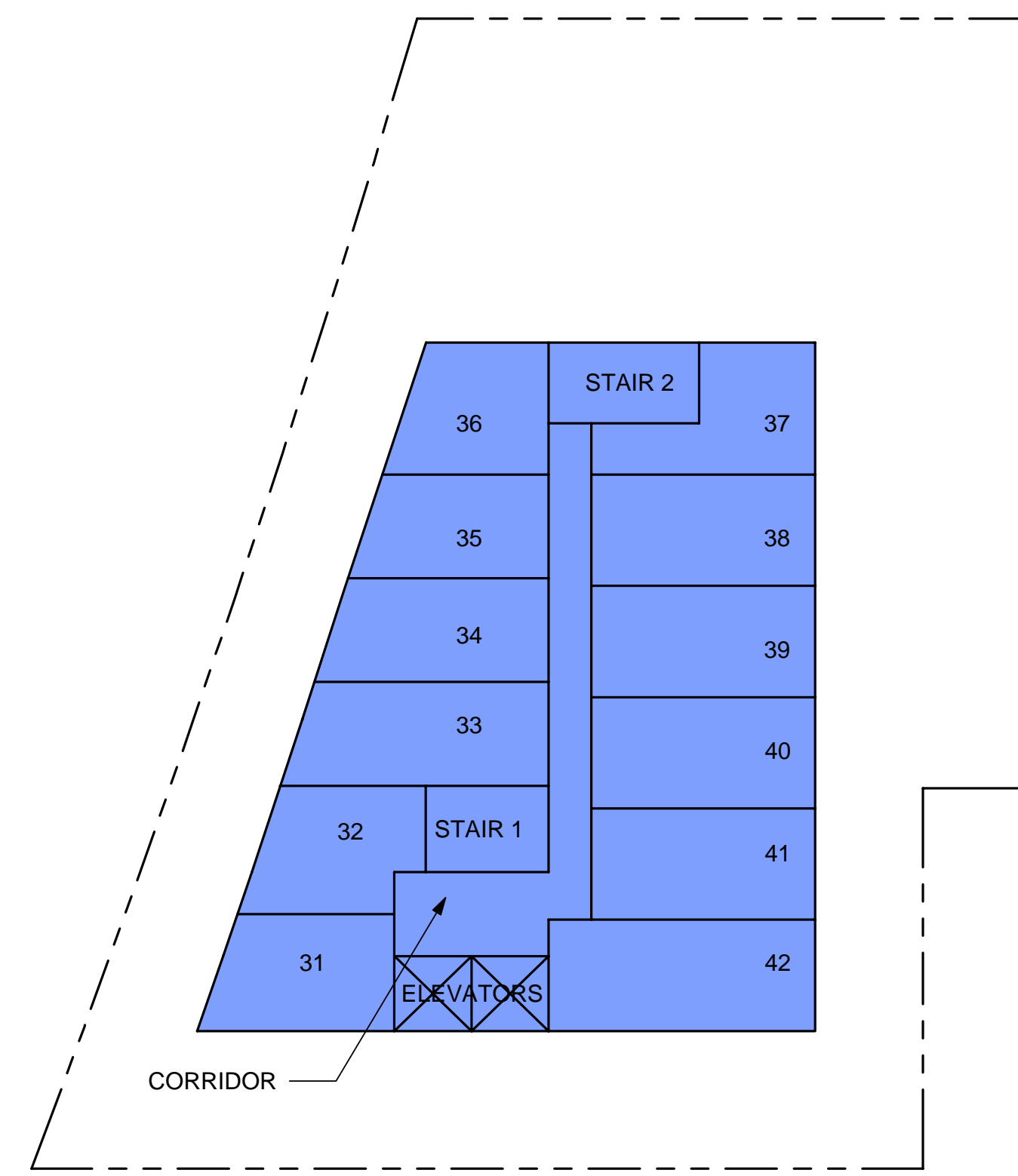
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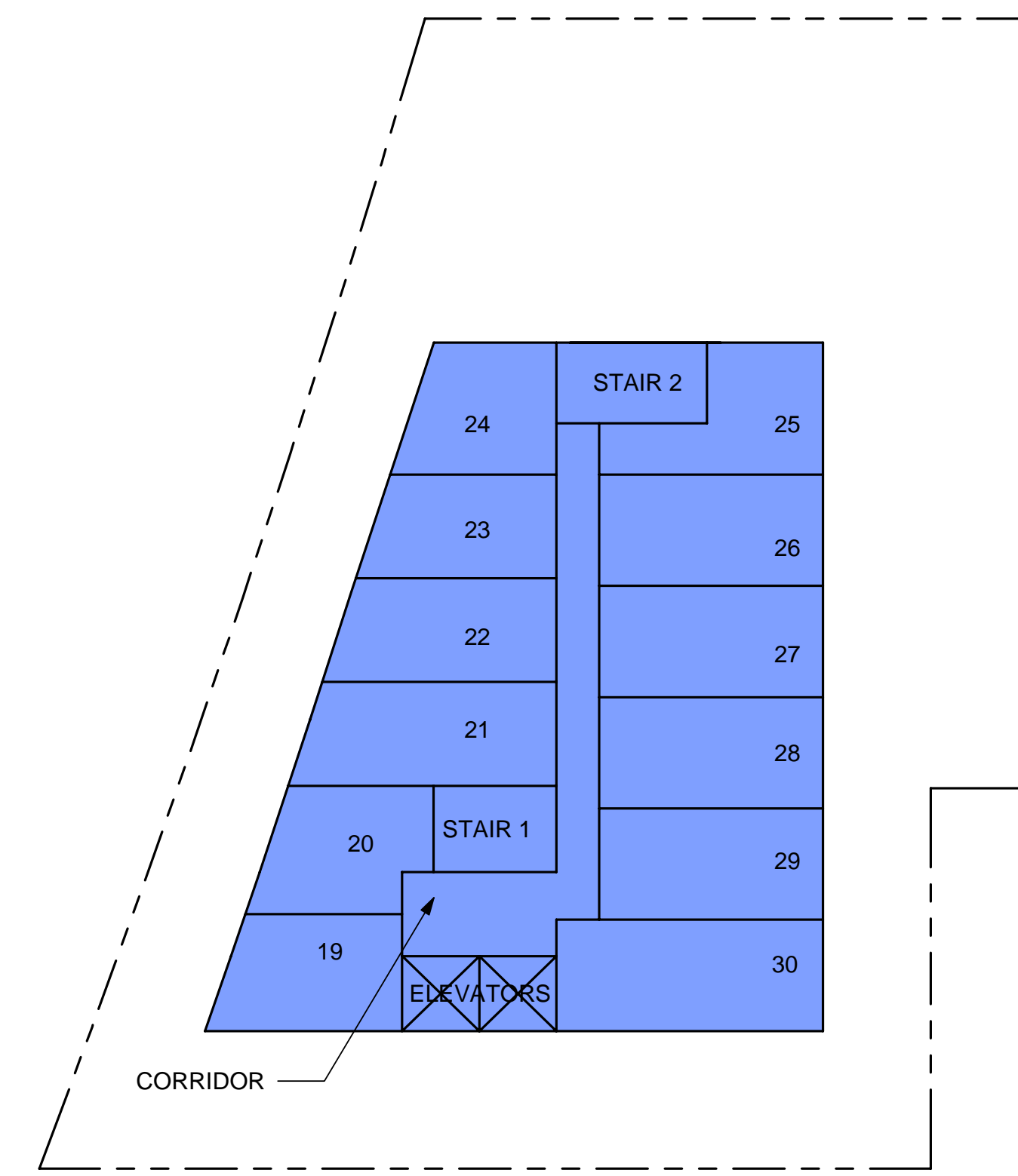




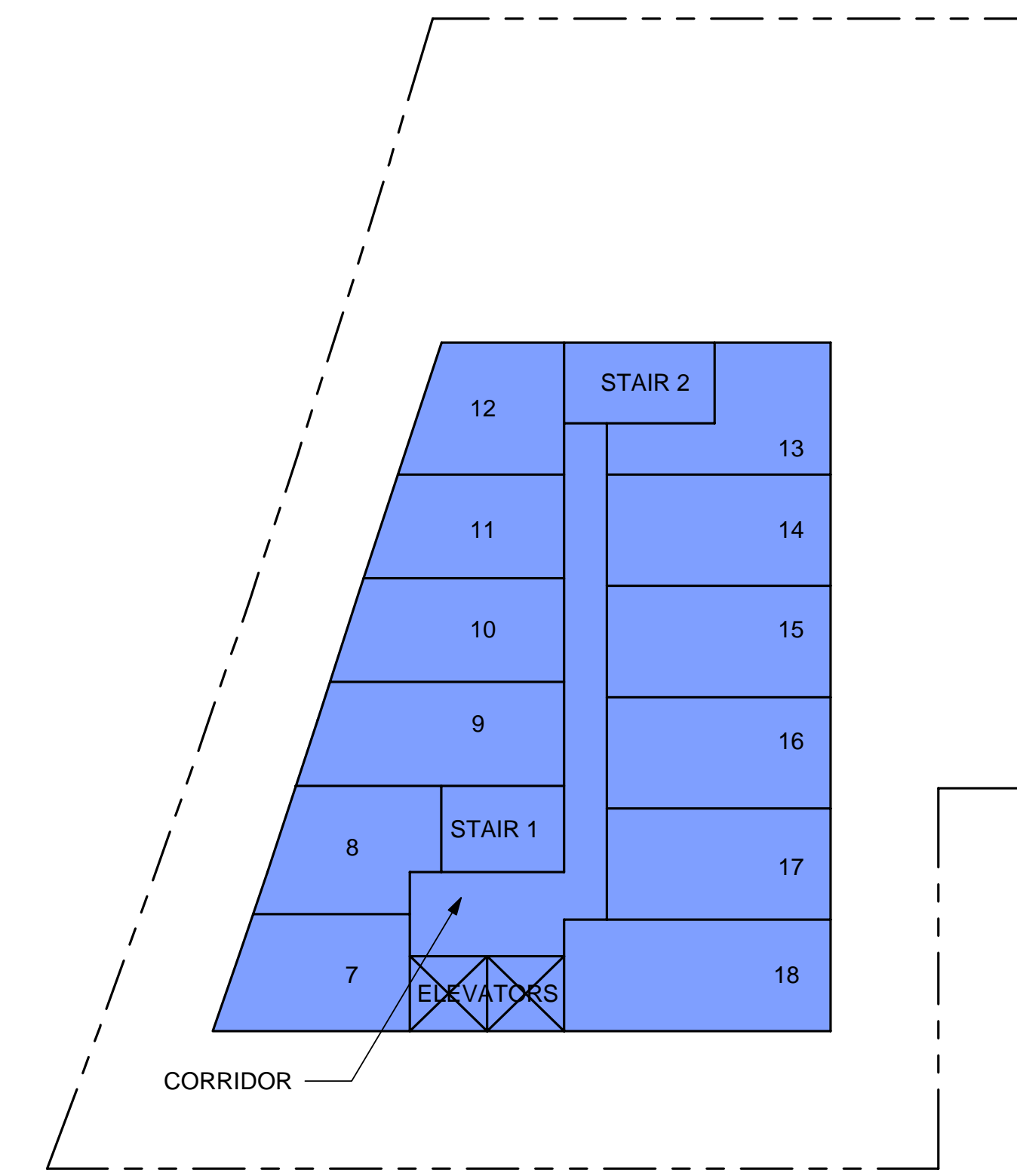
7 BASE PROJECT - ROOF LEVEL
 1/16" = 1'-0"



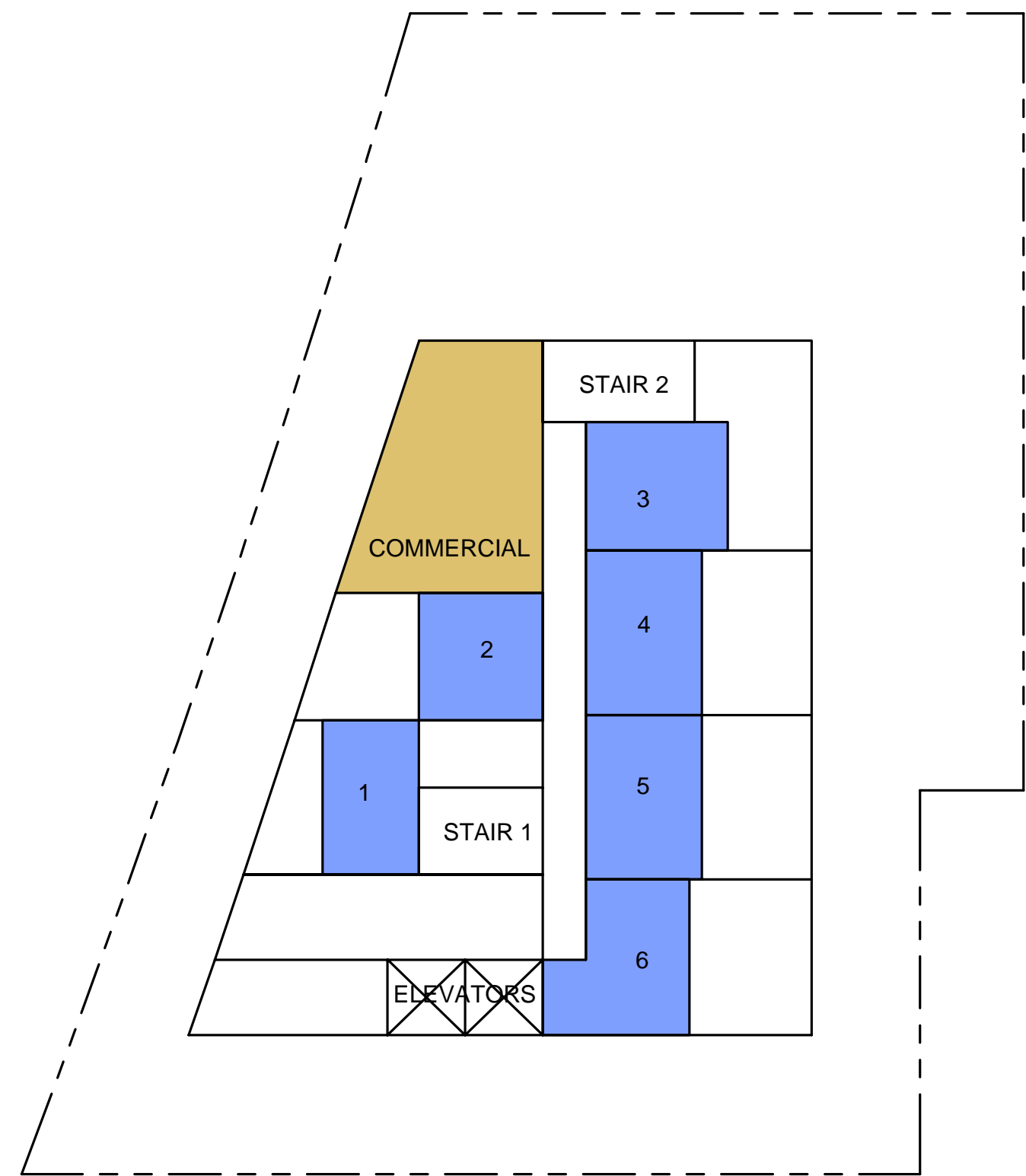
6 BASE PROJECT - FOURTH LEVEL
 1/16" = 1'-0"



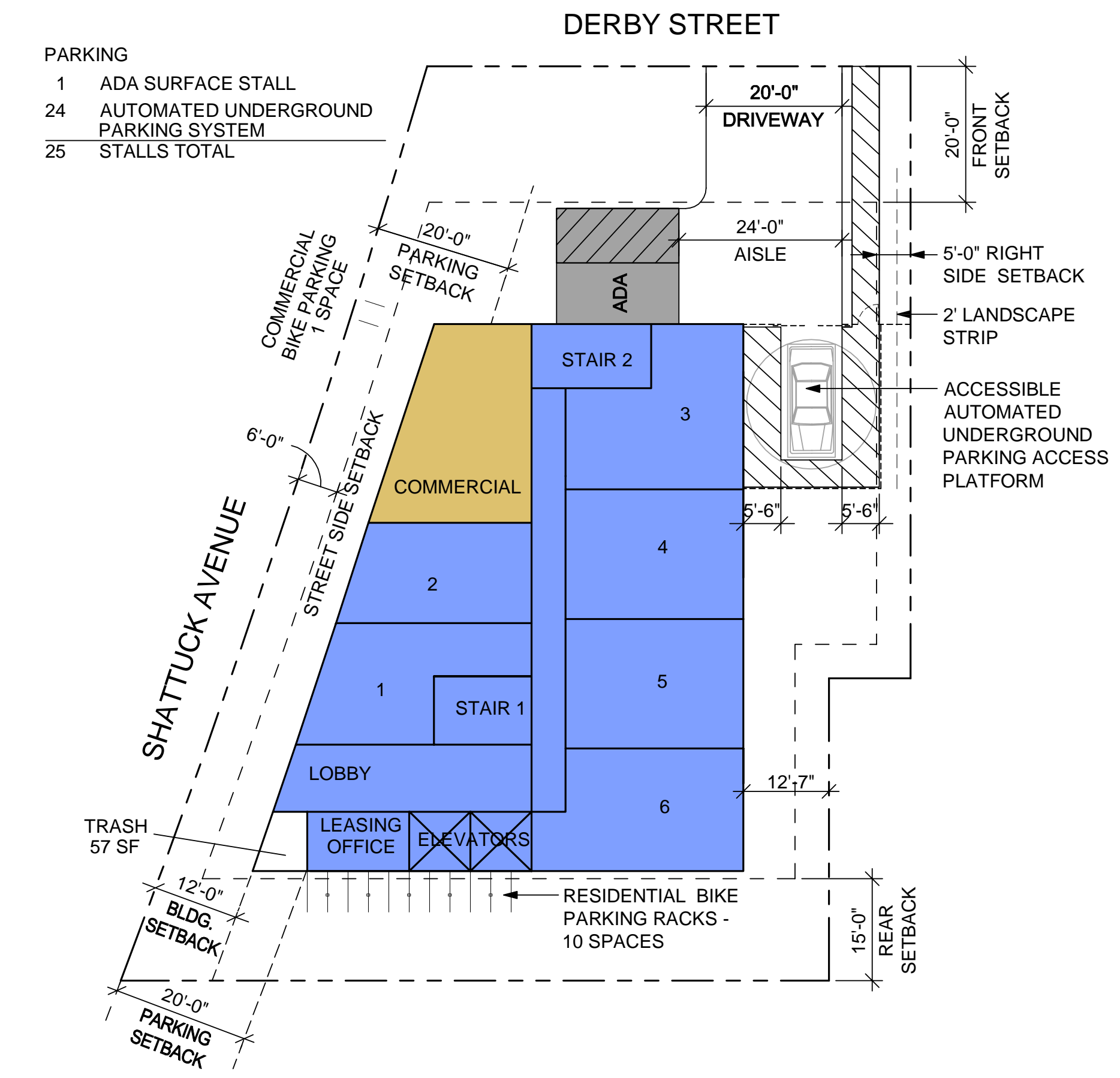
5 BASE PROJECT - THIRD LEVEL
 1/16" = 1'-0"



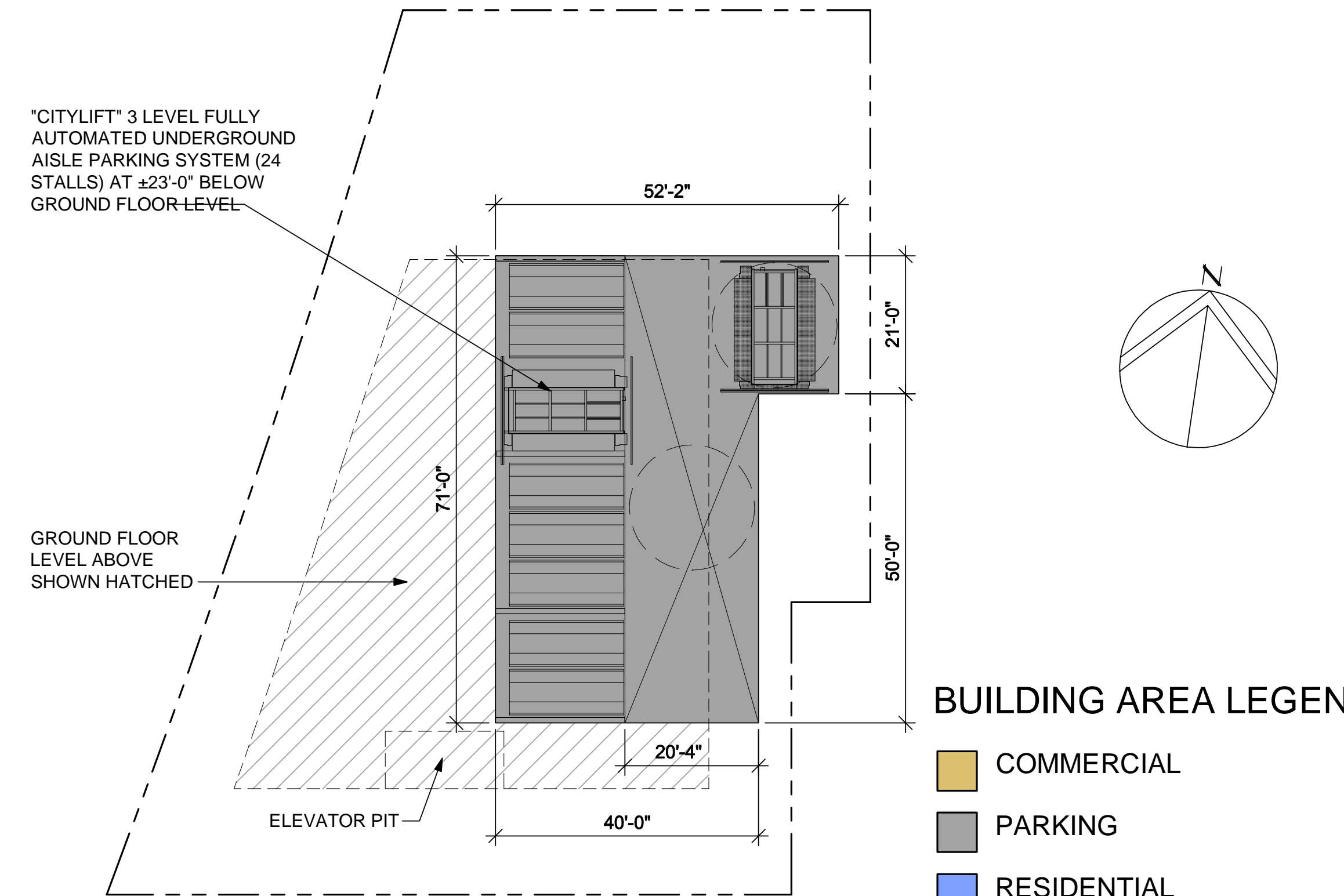
4 BASE PROJECT - SECOND LEVEL
 1/16" = 1'-0"



3 BASE PROJECT - MEZZANINE LEVEL PLAN
 1/16" = 1'-0"



2 BASE PROJECT - GROUND FLOOR PLAN
 1/16" = 1'-0"



1 BASE PROJECT - UNDERGROUND PARKING PLAN
 1/16" = 1'-0"

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DRG SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
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ZAB SUBMITTAL 6/28/18	AY
DRG SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/02/18	AY



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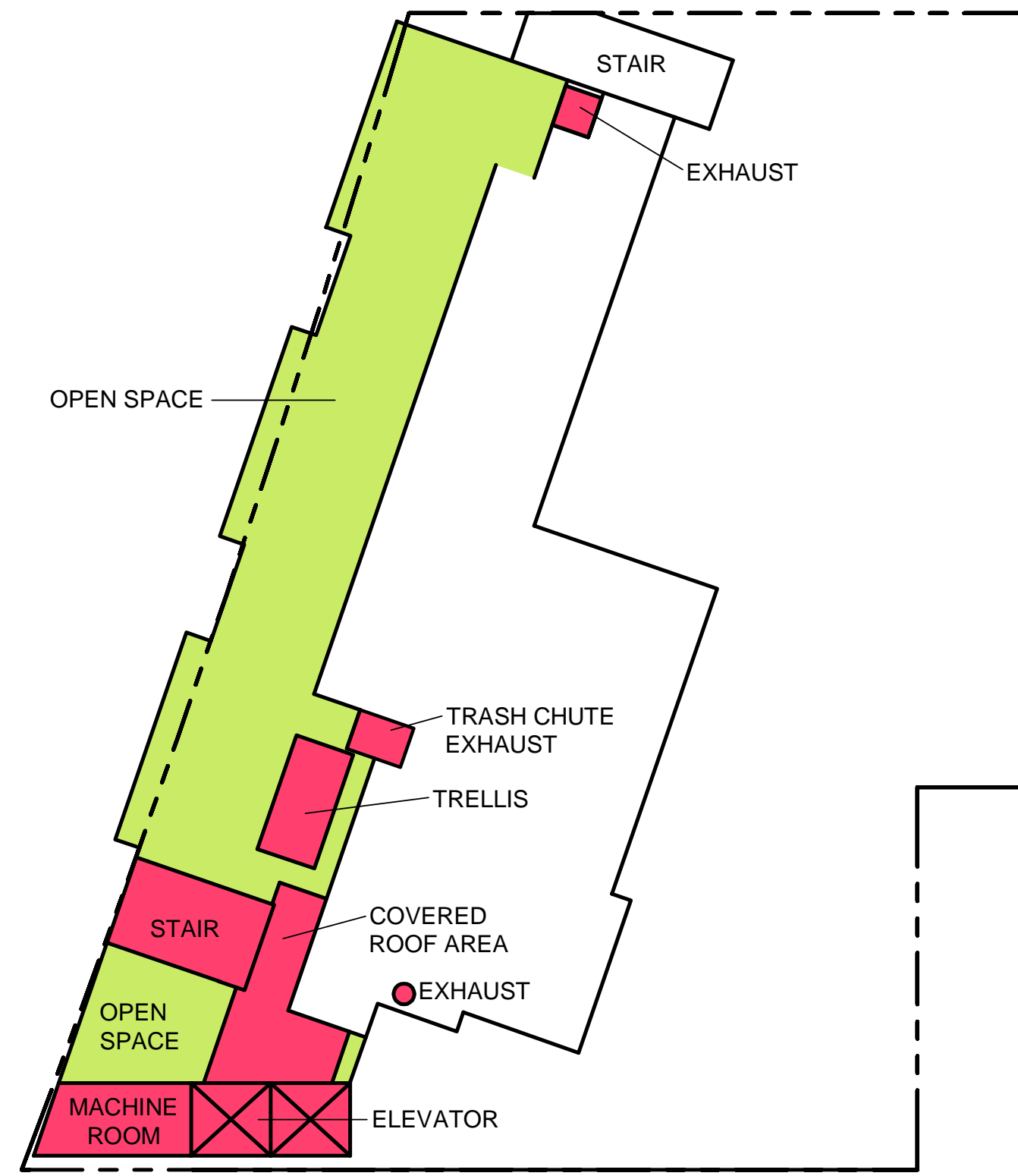
drawing
 BASE PROJECT

drawn	checked	date	scale	job no.	sheet
AY	RH	3/07/18	AS SHOWN	1202	

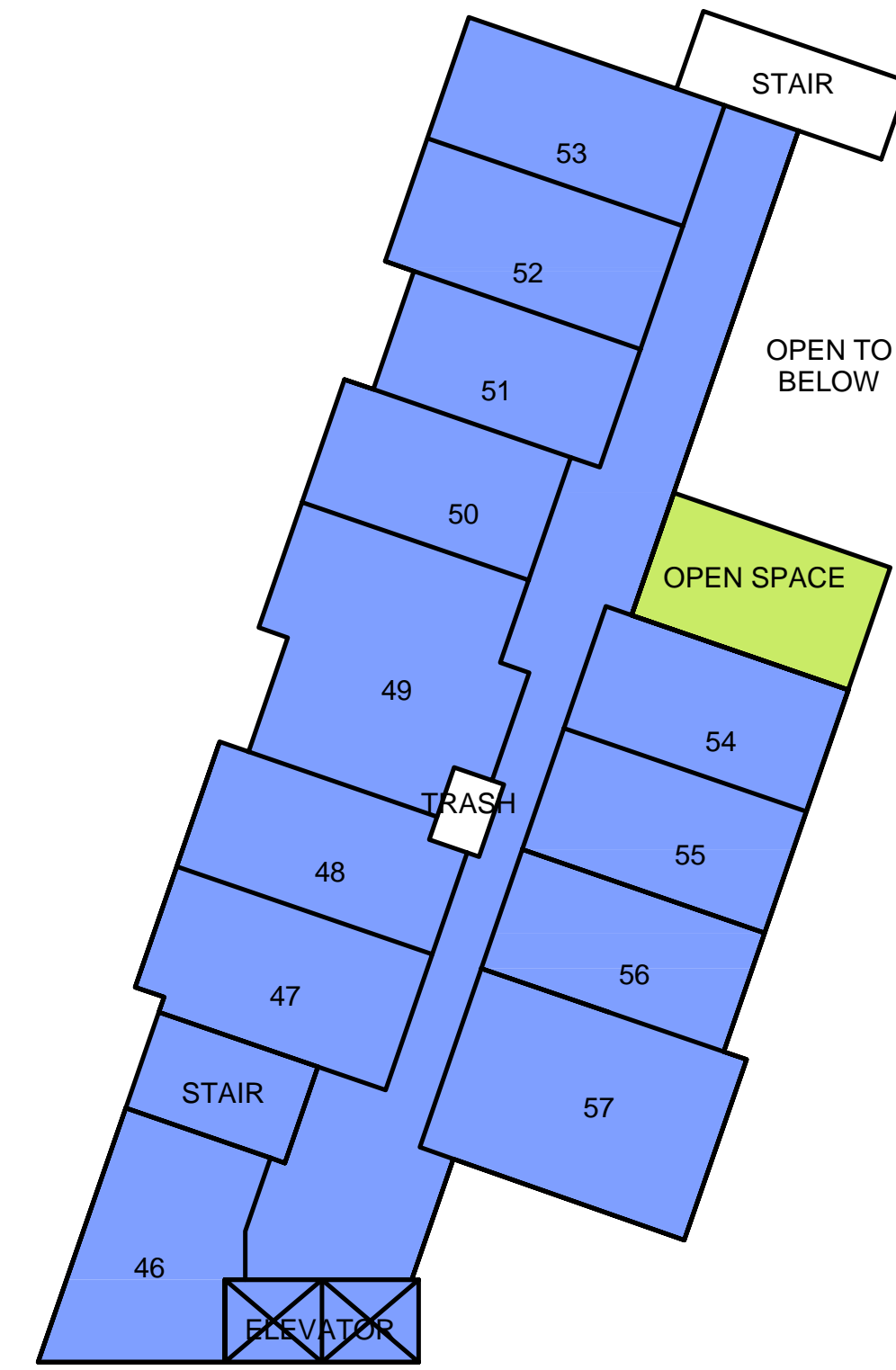
A0.3

BUILDING AREA LEGEND

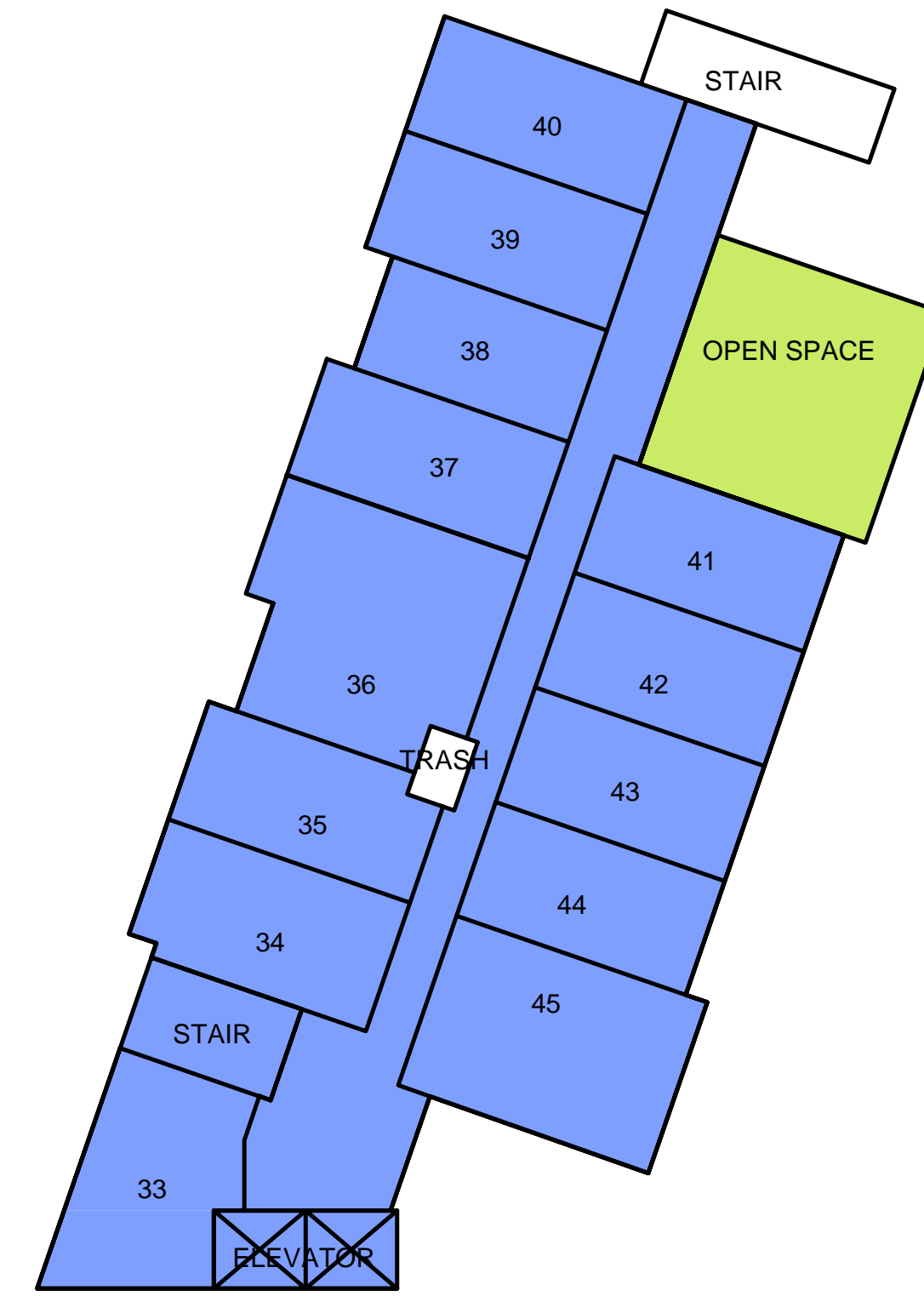
- COMMERCIAL
- PARKING
- RESIDENTIAL
- OPEN SPACE
- ROOFTOP ELEMENTS



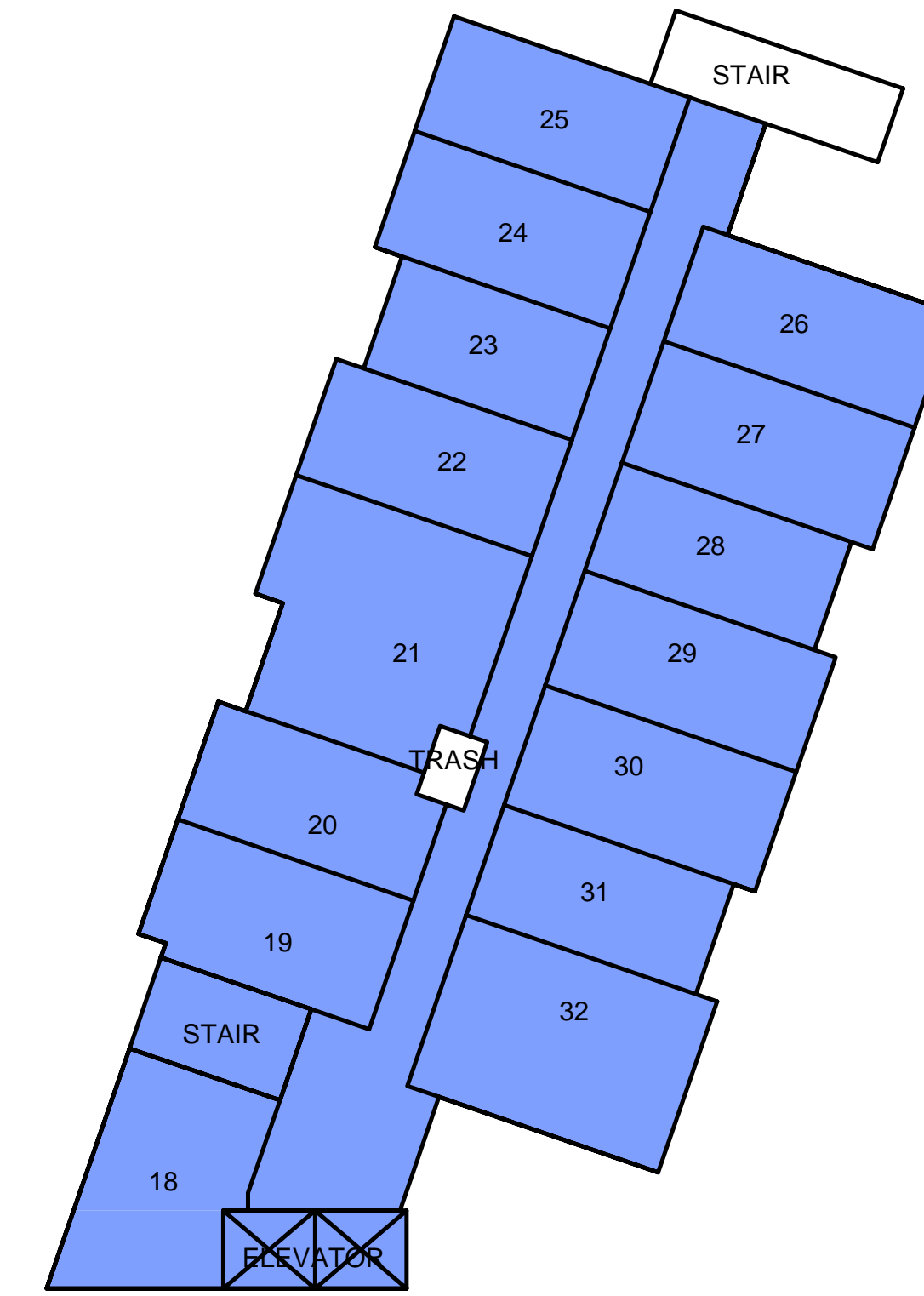
7 PROPOSED - ROOF LEVEL
1/16" = 1'-0"



6 PROPOSED - FIFTH LEVEL
1/16" = 1'-0"



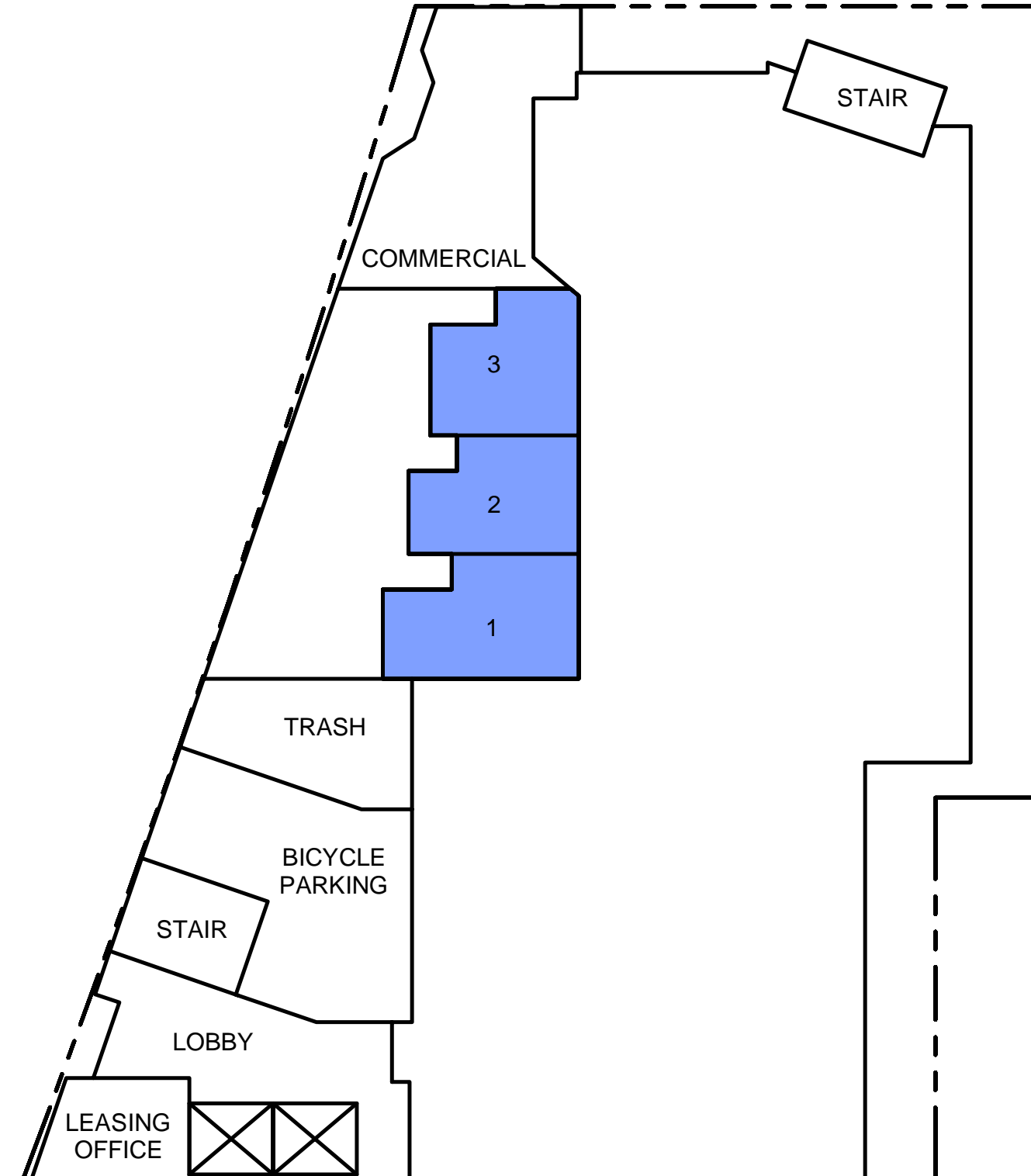
5 PROPOSED - FOURTH LEVEL
1/16" = 1'-0"



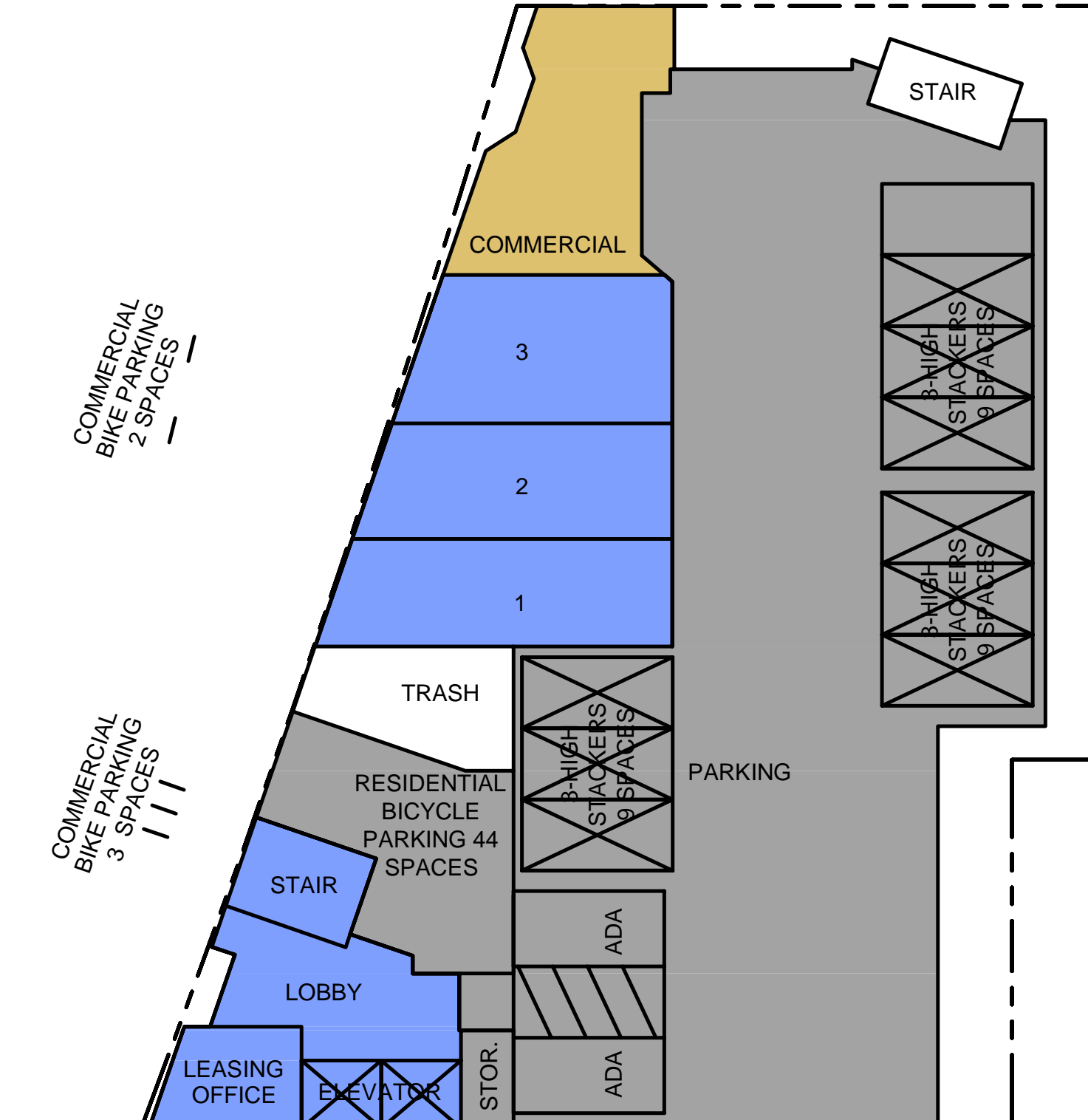
4 PROPOSED - THIRD LEVEL
1/16" = 1'-0"



3 PROPOSED - PODIUM LEVEL
1/16" = 1'-0"



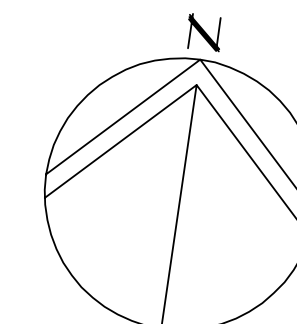
2 PROPOSED - MEZZANINE LEVEL
1/16" = 1'-0"



1 PROPOSED - RESIDENTIAL LOBBY
1/16" = 1'-0"

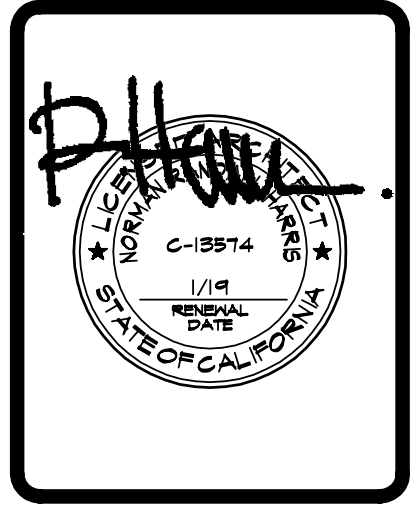
BUILDING AREA LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- OPEN SPACE
- ROOFTOP ELEMENTS



revisions	by
PRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
PRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/03/18	AY

HDO
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walnut creek, ca
94597
(925) 256-6042



2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
PROPOSED DENSITY BONUS PROJECT

drawn
checked
RH
date
3/07/18
scale
1/16" = 1'-0"
job no.
1202
sheet

A0.4



8 VIEW EAST ON DERBY
12" = 1'-0"



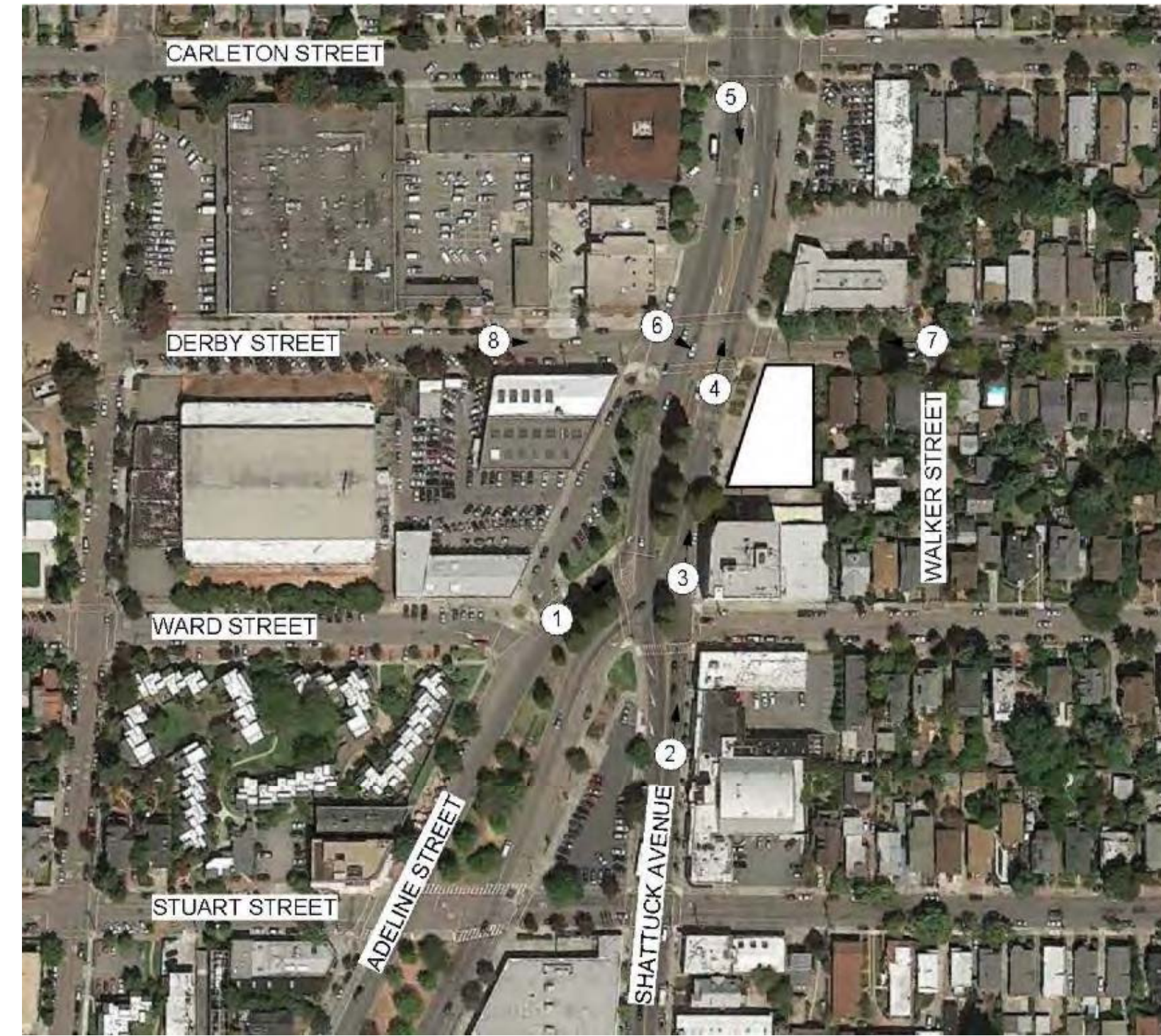
1 VIEW FROM ADELINE AND SHATTUCK
12" = 1'-0"



2 VIEW NORTH ON SHATTUCK AT KIRALA
12" = 1'-0"



7 VIEW WEST ON DERBY
12" = 1'-0"



0 CONTEXT MAP
12" = 1'-0"



3 VIEW NORTH ON SHATTUCK AT REDWOODS
12" = 1'-0"



6 VIEW OF SITE FROM SHATTUCK AND DERBY
12" = 1'-0"



5 VIEW SOUTH ON SHATTUCK
12" = 1'-0"



4 VIEW NORTH AT DERBY AND SHATTUCK
12" = 1'-0"

revisions	by
PRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
PRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/03/18	AY

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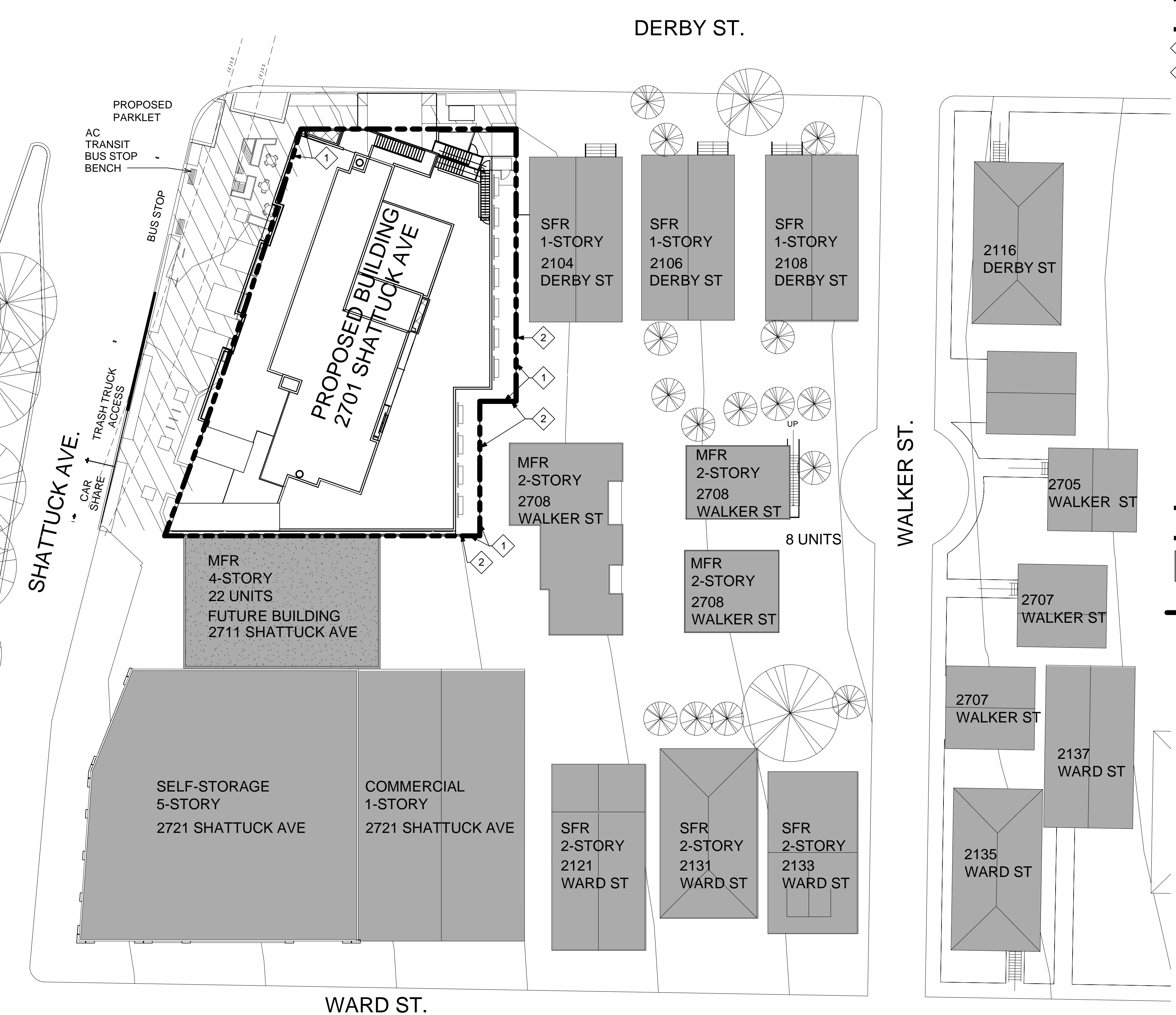
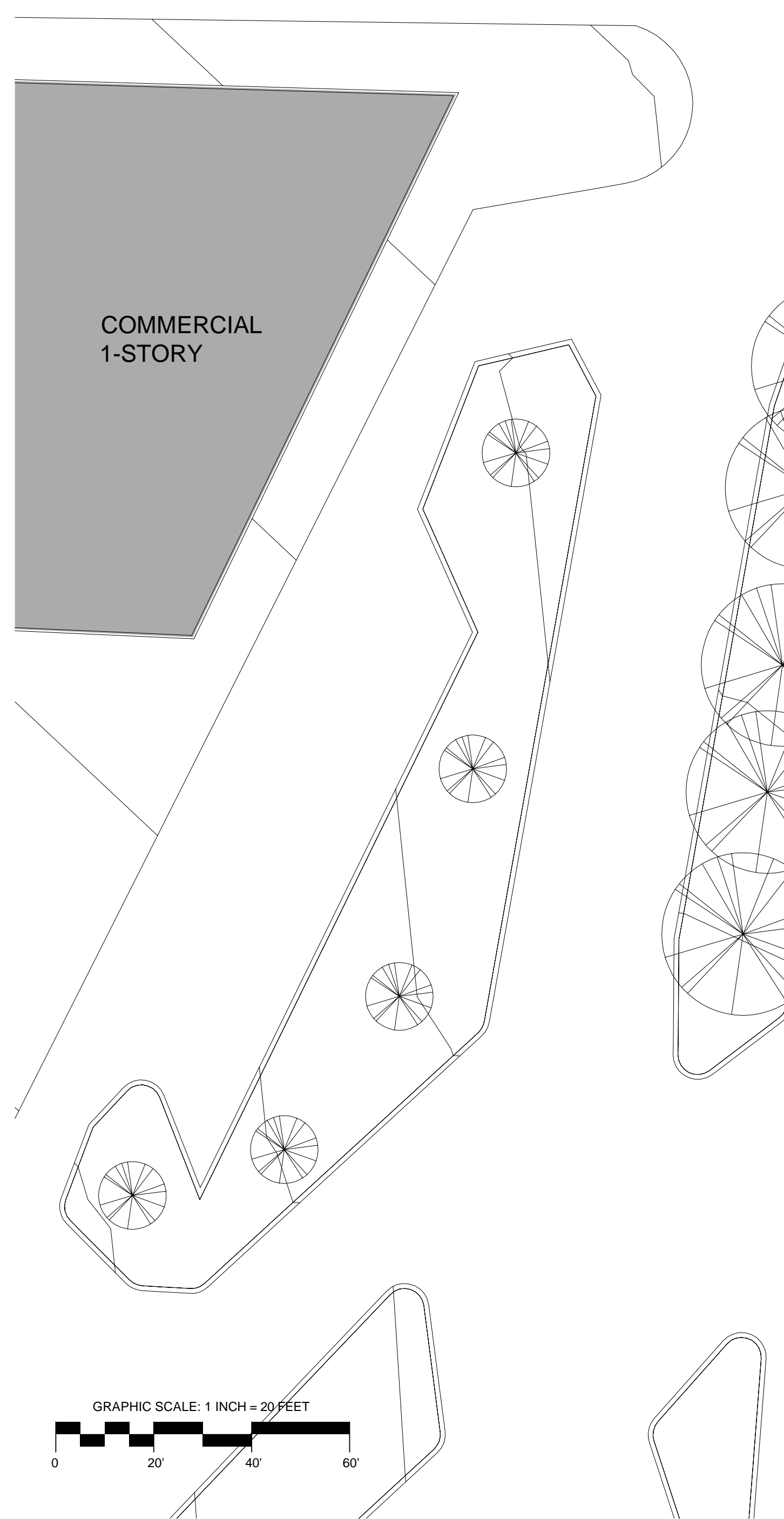
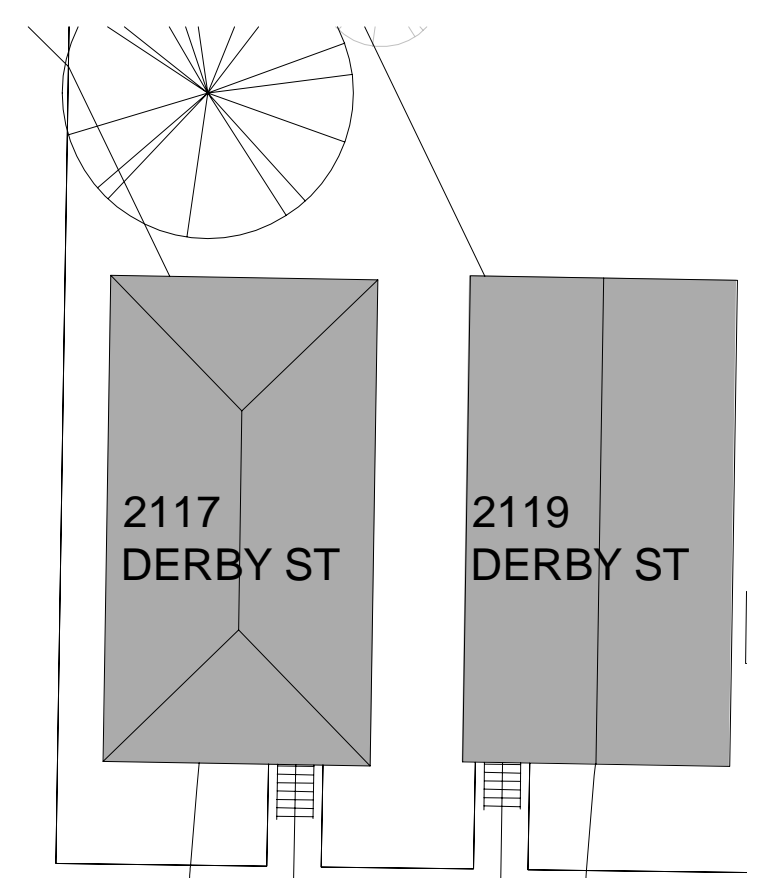
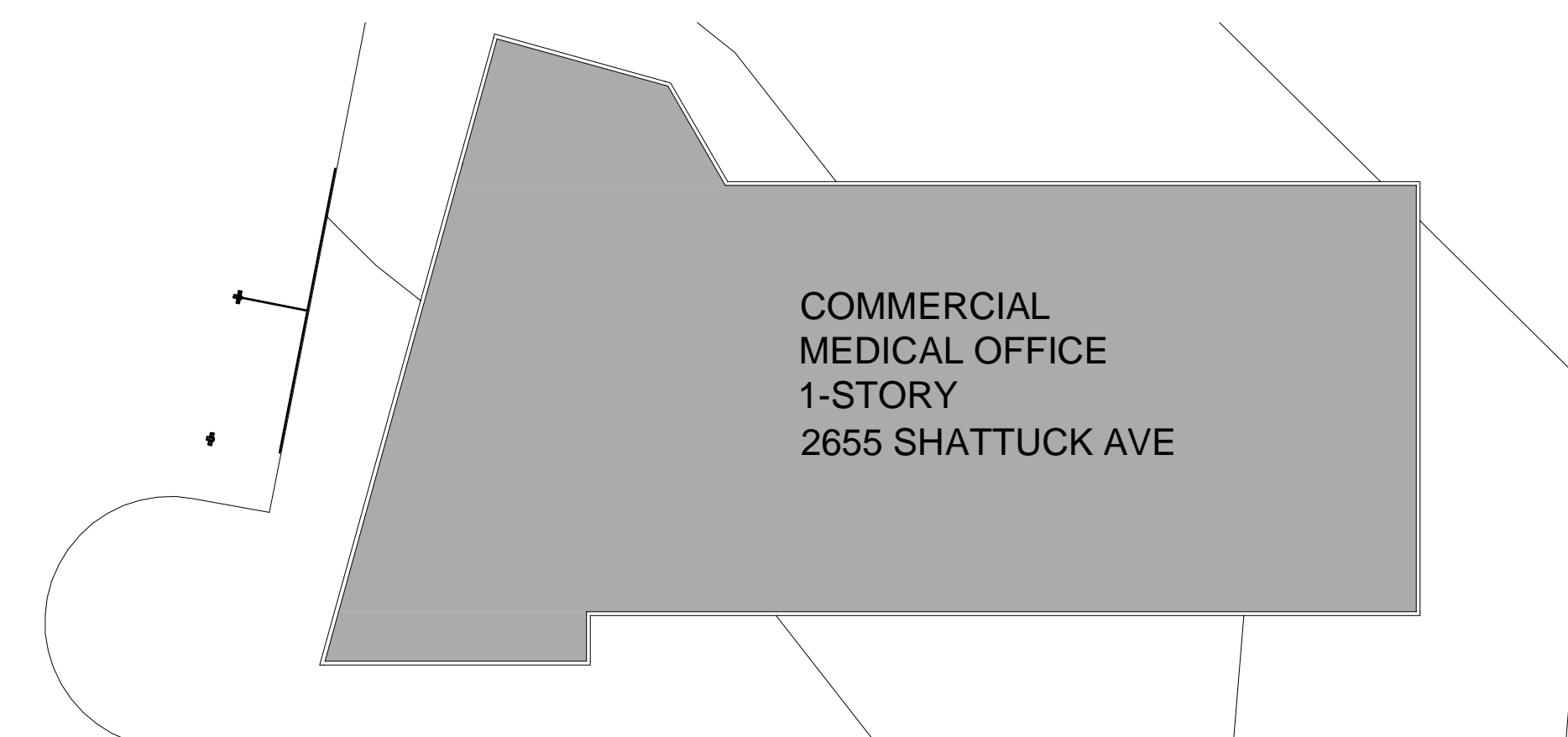
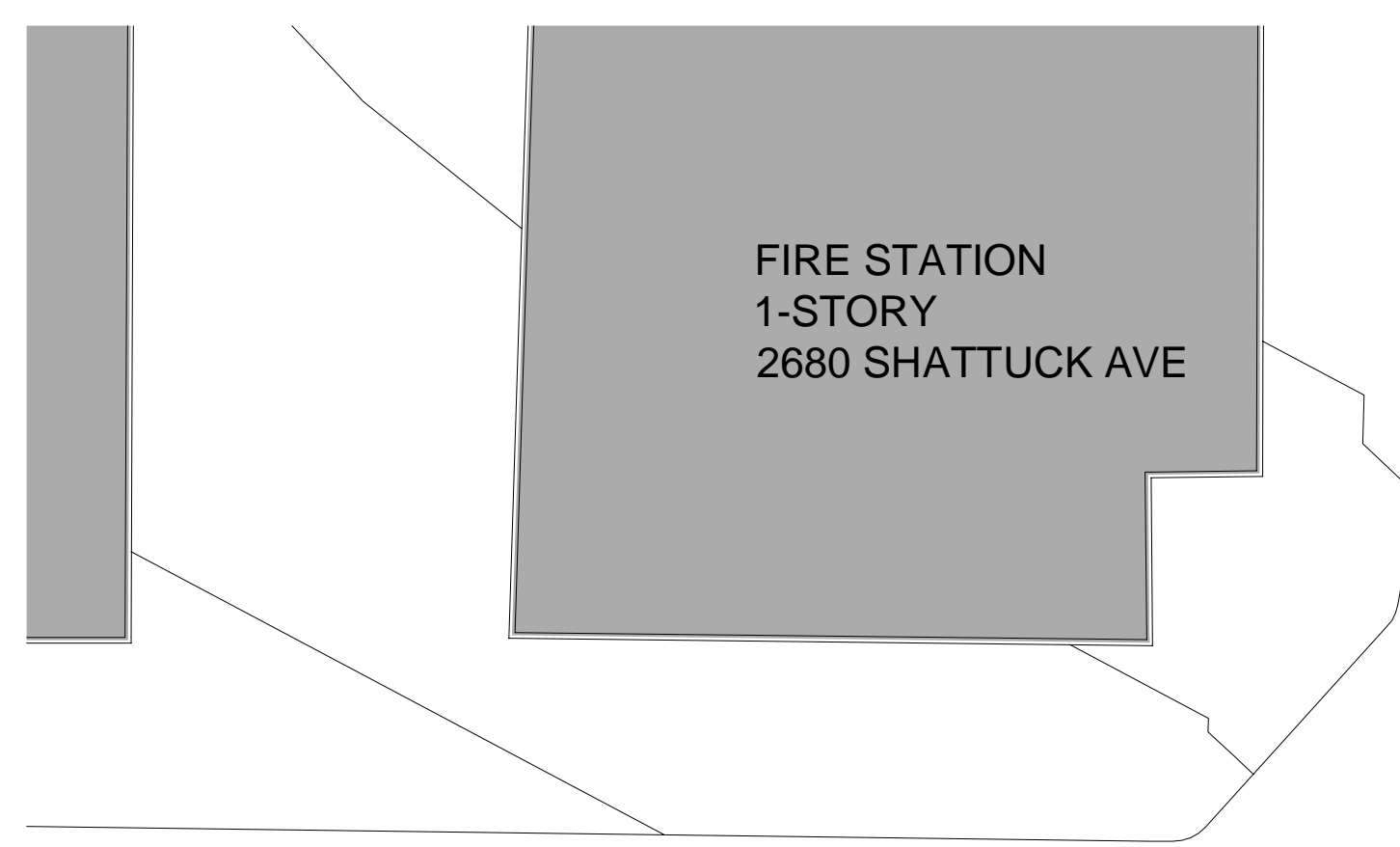


**2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC**

drawing
**EXISTING
CONDITIONS**

drawn
checked RH
date 3/07/18
scale 12" = 1'-0"
job no. 1202
sheet

A.I.I.



KEY NOTES

1 PROPERTY LINE

2 6'-0" HIGH ORNAMENTAL METAL FENCE

LEGEND

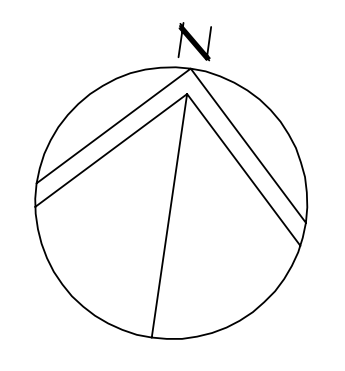
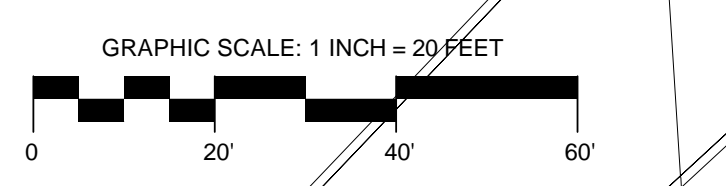
EXISTING BUILDINGS

PROPERTY LINE

EXISTING TREE

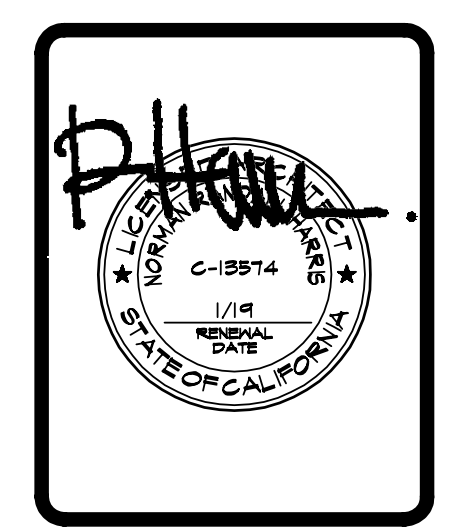
MFR MULTI-FAMILY RESIDENTIAL

SFR SINGLE-FAMILY RESIDENTIAL



revisions	by
PRC SUBMITTAL 12/15/16 & 1/21/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
PRC SUBMITTAL 4/20/18	AY
ZAB SUBMITTAL 1/09/18	AY

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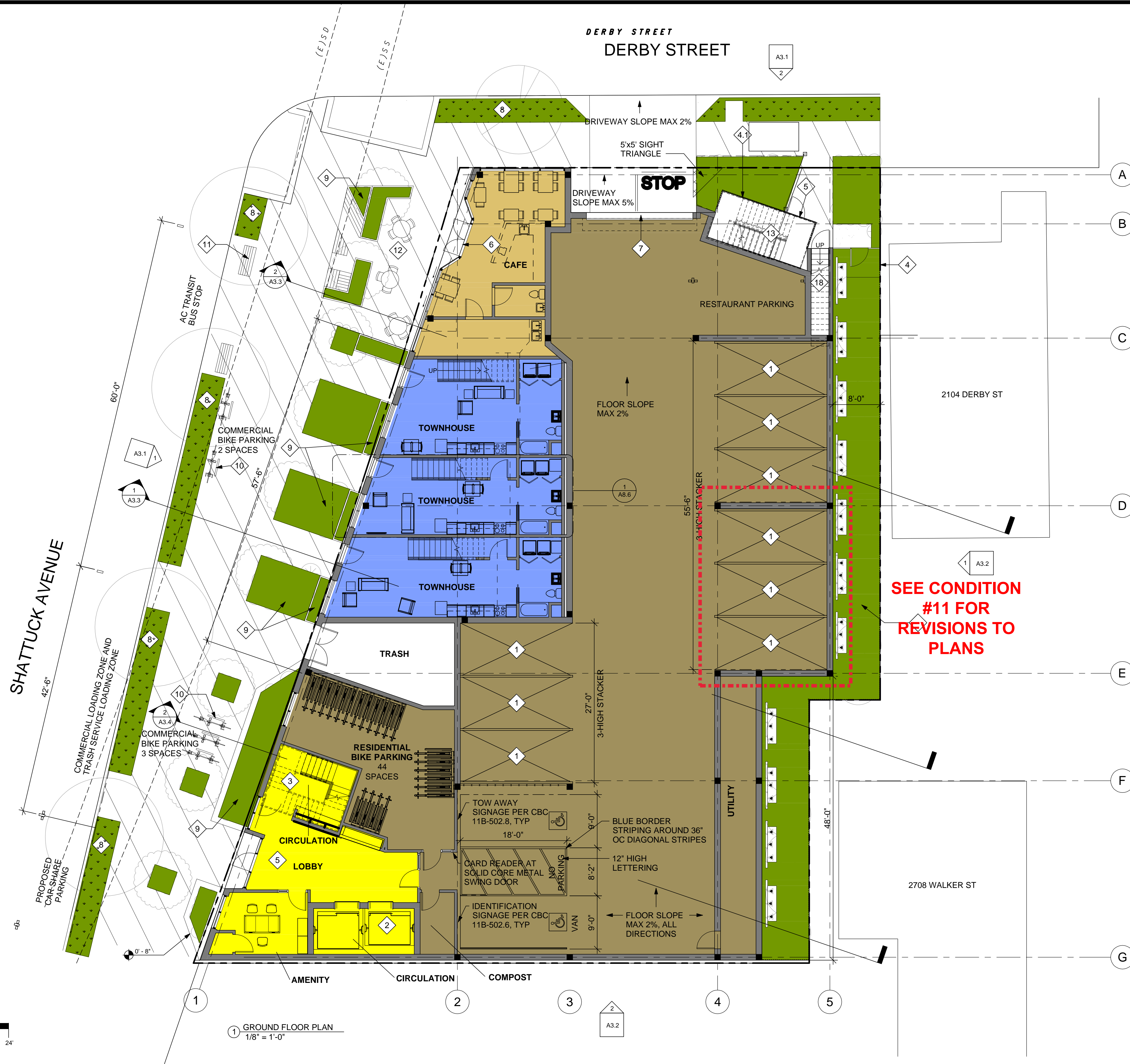


**2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC**

drawing
SITE PLAN

drawn
checked
RH
date
3/07/18
scale
1" = 3'-0"
job no.
1802
sheet

A1.2



SHEET NOTES

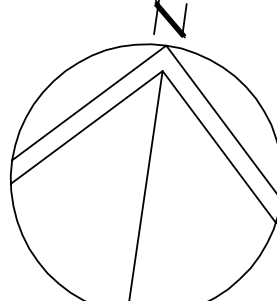
1 CITY OF BERKELEY PUBLIC WORKS TRANSPORTATION DIVISION STAFF ARE TO BE CONTACTED TO REVIEW THE LOCATIONS OF THE BIKE RACKS, ON-STREET PARKING SPACES AND PARKING METER HEAD LOCATIONS BEFORE INSTALLATION. LOCATION MUST BE TENTATIVELY MARKED IN THE FIELD AND APPROVED BY PW TRANSPORTATION SERVICES DIVISION.

KEY NOTES

- 1 TRIPLE LIFT PARKING SPACE
- 2 ELEVATOR
- 3 STAIR
- 4 6'-0" HIGH ORNAMENTAL METAL FENCE
- 4.1 PERFORATED METAL SECURITY FENCE W GATE
- 5 RESIDENTIAL ENTRY
- 6 CAFE ENTRY
- 7 GARAGE DOOR WITH VISUAL AND AUDIBLE ALERT SYSTEM MOUNTED ABOVE DOOR. SOUND AND LIGHT CONTROLS IN GARAGE.
- 8 NEW TREE, SEE LANDSCAPE DRAWINGS
- 9 PLANTER, SEE LANDSCAPE DRAWINGS
- 10 HEAVY DUTY DERO HOOP BICYCLE RACKS
- 11 (E) AC TRANSIT BUS STOP WITH BENCH
- 12 OUTDOOR SEATING AREA, SEE LANDSCAPE DRAWINGS
- 13 EXTERIOR STAIR
- 14 PARAPET/RAILING
- 15 MECHANICAL CHASE
- 16 BARBEQUE
- 17 NOT USED
- 18 FIRE ACCESS STAIR
- 19 METAL ROOF / MATCH SIDING SEE ELEVATIONS
- 20 TRASH CHUTE

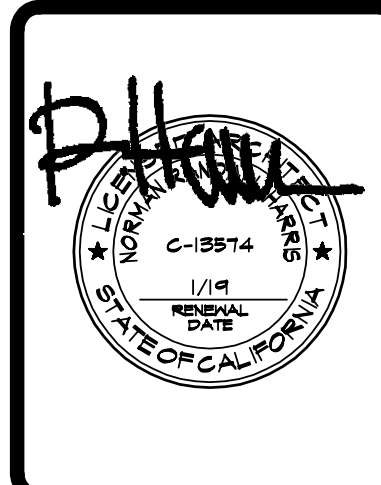
LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- TRASH
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- ROOFTOP ELEMENTS
- WALL
- PROPERTY LINE



revisions	by
PRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 5/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
PRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/03/18	AY

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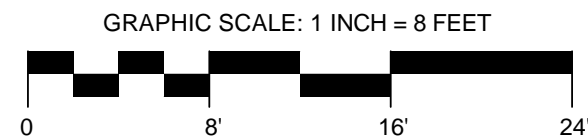


2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
GROUND FLOOR PLAN

drawn	checked	date	scale	job no.	sheet
	RH	3/07/18	1/8" = 1'-0"	1202	

A2.1



1 GROUND FLOOR PLAN
1/8" = 1'-0"



1 MEZZANINE
1/8" = 1'-0"

revisions	by
DRG SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRG SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/03/18	AY

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2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
MEZZANINE PLAN

drawn
checked
RH
date
3/07/18
scale
1/8" = 1'-0"
job no.
1202
sheet

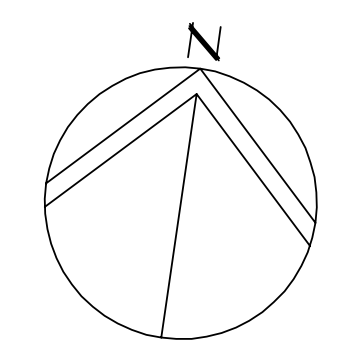
A2.1A

KEY NOTES

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- 2 ELEVATOR
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- 13 EXTERIOR STAIR
- 14 PARAPET/RAILING
- 15 MECHANICAL CHASE
- 16 BARBEQUE
- 17 NOT USED
- 18 FIRE ACCESS STAIR
- 19 METAL ROOF / MATCH SIDING SEE ELEVATIONS
- 20 TRASH CHUTE

LEGEND

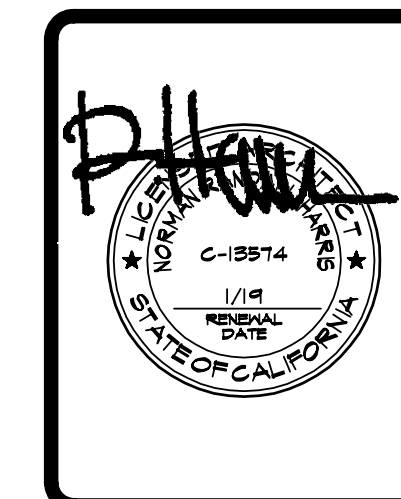
- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- ROOFTOP ELEMENTS
- WALL
- PROPERTY LINE



SEE CONDITION #11 FOR REVISIONS TO PLANS

revisions	by
PRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
PRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/03/18	AY

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 walnut creek, ca
 94597
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2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
PODIUM LEVEL FLOOR PLAN

drawn
checked RH date 3/07/18 scale 1/8" = 1'-0"
job no. 1202
sheet

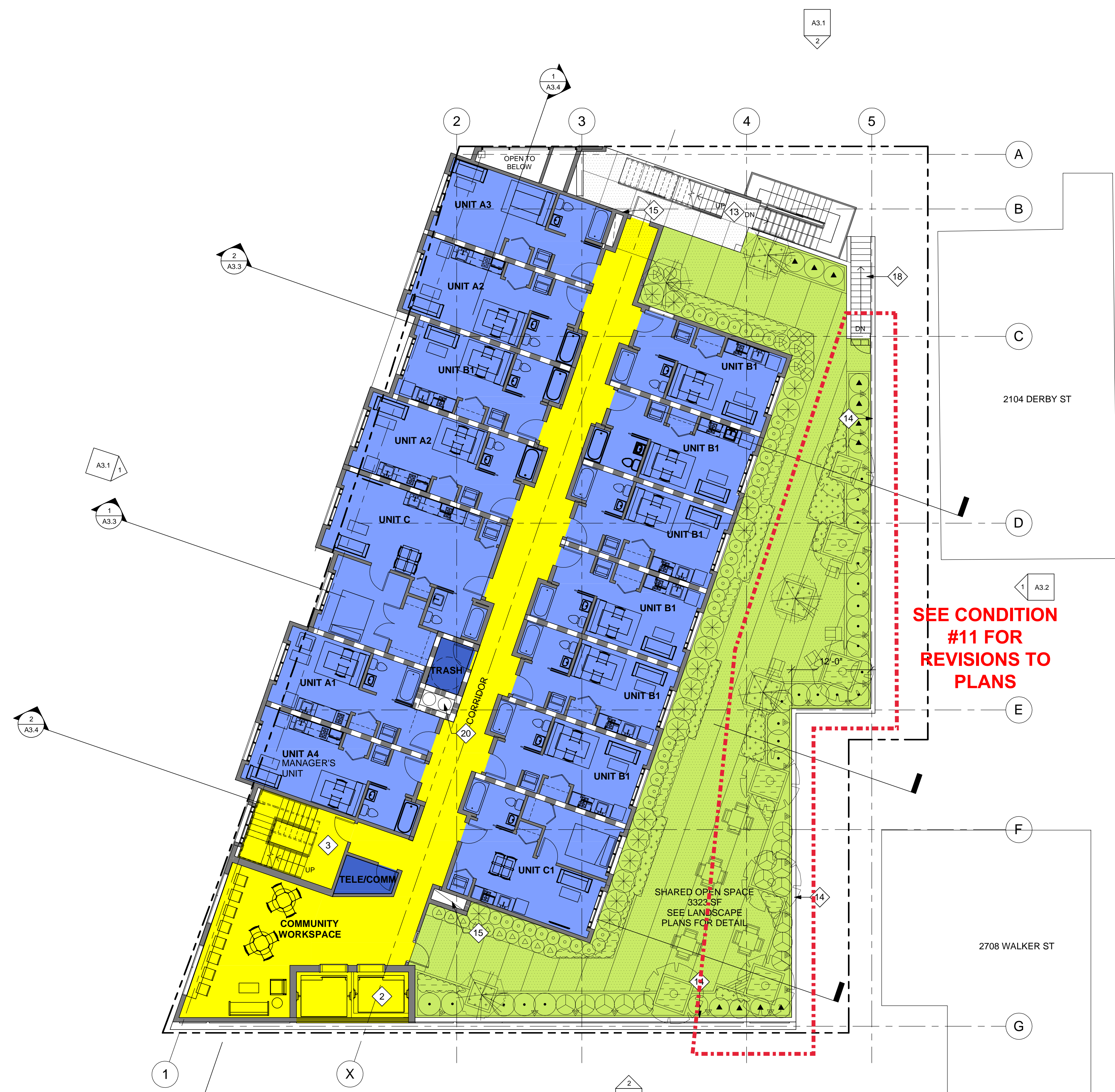
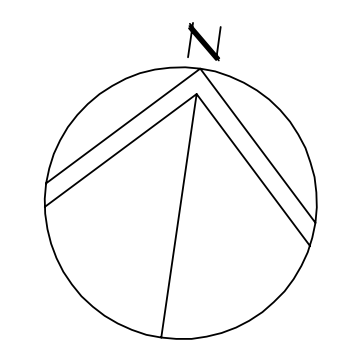
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KEY NOTES

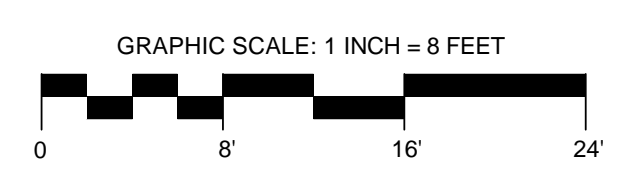
- 1 TRIPLE LIFT PARKING SPACE
- 2 ELEVATOR
- 3 STAIR
- 4 6'-0" HIGH ORNAMENTAL METAL FENCE
- 4.1 PERFORATED METAL SECURITY FENCE W GATE
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- 6 CAFE ENTRY
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- 15 MECHANICAL CHASE
- 16 BARBEQUE
- 17 NOT USED
- 18 FIRE ACCESS STAIR
- 19 METAL ROOF / MATCH SIDING SEE ELEVATIONS
- 20 TRASH CHUTE

LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- ROOFTOP ELEMENTS
- WALL
- PROPERTY LINE



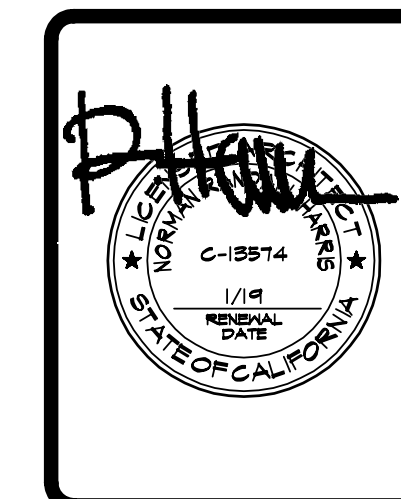
SEE CONDITION #11 FOR REVISIONS TO PLANS



1. PODIUM LEVEL FLOOR PLAN
 1/8" = 1'-0"

revisions	by
PRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
PRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/03/18	AY

HDO
 architects, planners
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 suite 110
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 94597
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2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
**THIRD
 LEVEL
 FLOOR PLAN**

drawn
checked RH
date 3/07/18
scale 1/8" = 1'-0"
job no. 1202
sheet

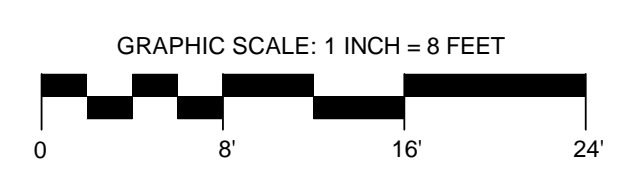
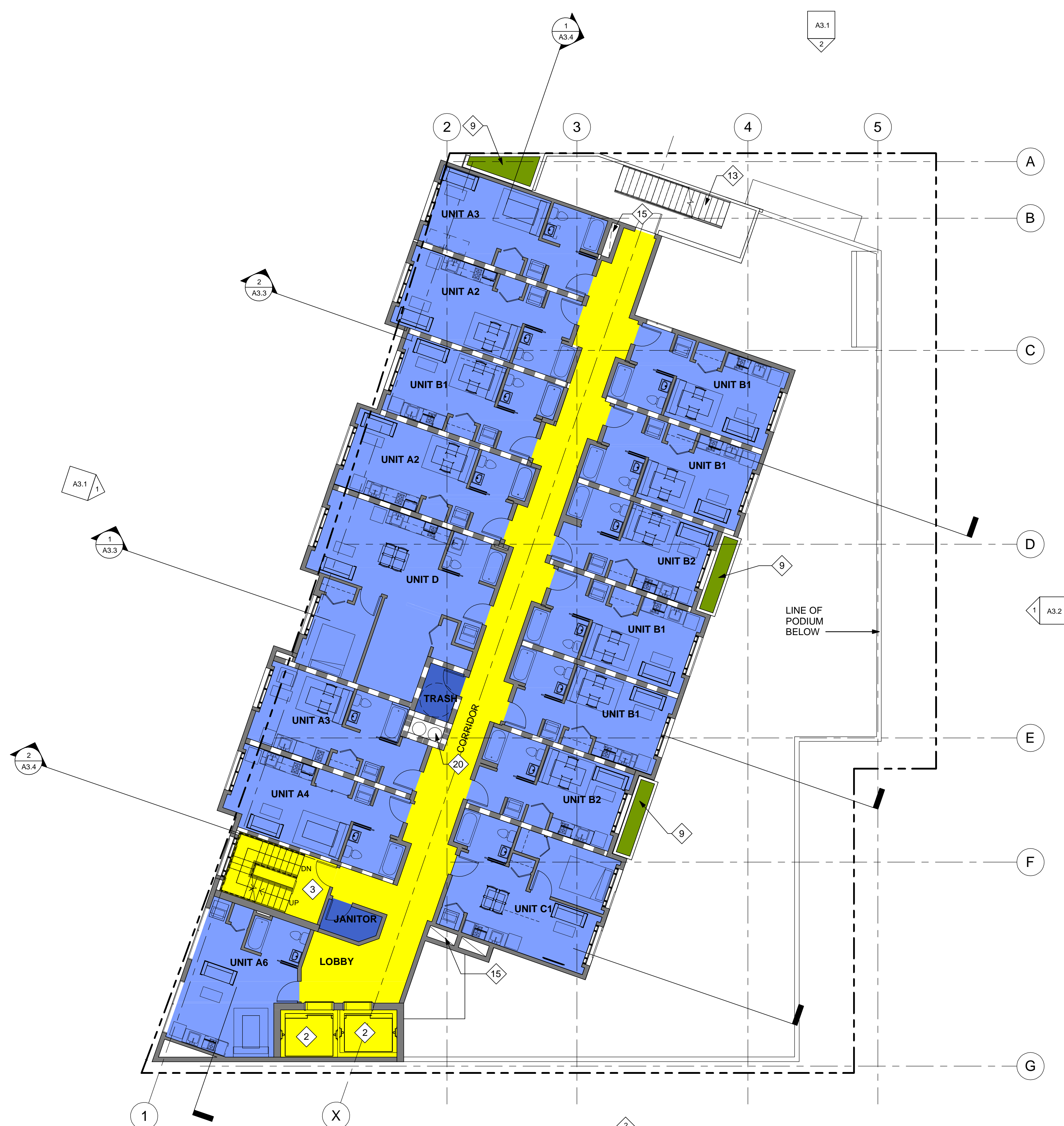
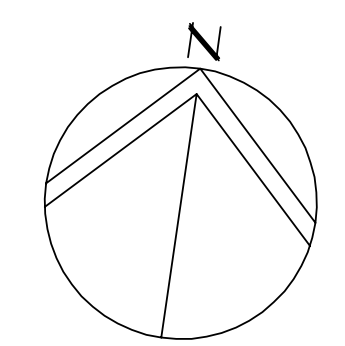
A2.3

KEY NOTES

- 1 TRIPLE LIFT PARKING SPACE
- 2 ELEVATOR
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- 16 BARBEQUE
- 17 NOT USED
- 18 FIRE ACCESS STAIR
- 19 METAL ROOF / MATCH SIDING SEE ELEVATIONS
- 20 TRASH CHUTE

LEGEND

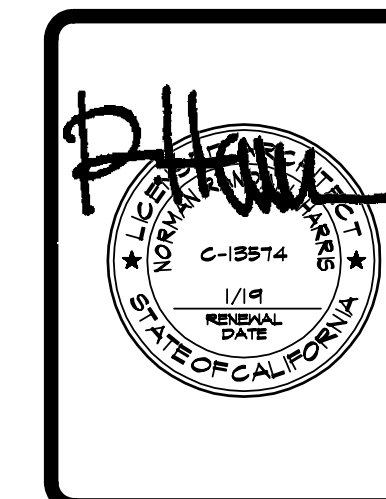
- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- ROOFTOP ELEMENTS
- WALL
- PROPERTY LINE



1 THIRD FLOOR PLAN
 1/8" = 1'-0"

revisions	by
PRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
PRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/03/18	AY

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architects, planners
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2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
**FOURTH
LEVEL
FLOOR PLAN**

drawn
checked RH
date 3/07/18
scale 1/8" = 1'-0"
job no. 1202
sheet

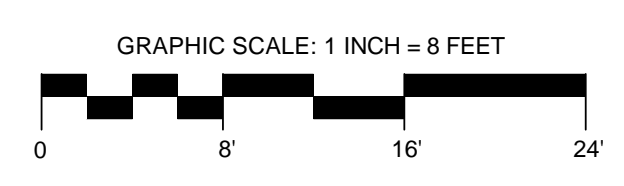
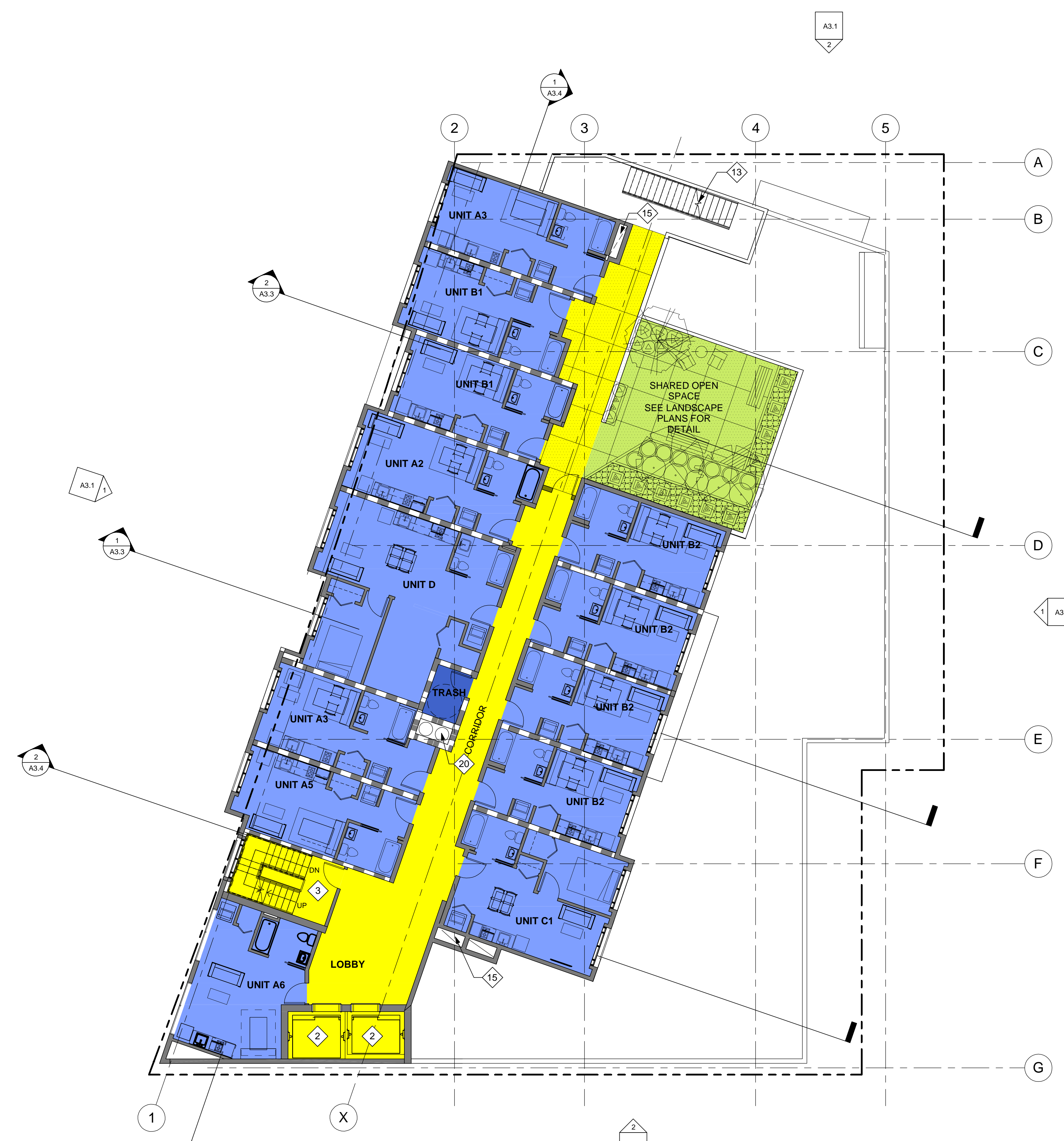
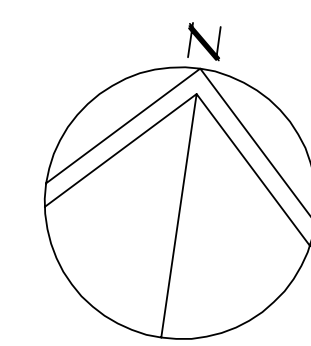
A2.4

KEY NOTES

- 1 TRIPLE LIFT PARKING SPACE
- 2 ELEVATOR
- 3 STAIR
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- 16 BARBEQUE
- 17 NOT USED
- 18 FIRE ACCESS STAIR
- 19 METAL ROOF / MATCH SIDING SEE ELEVATIONS
- 20 TRASH CHUTE

LEGEND

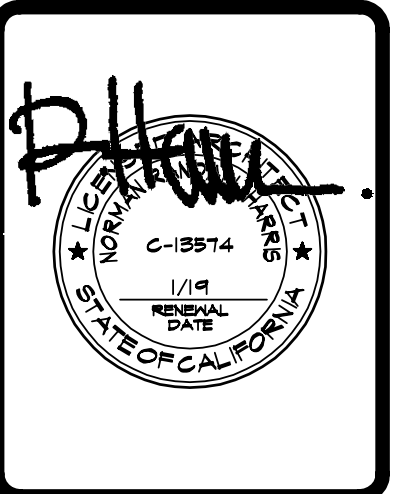
- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- ROOFTOP ELEMENTS
- WALL
- PROPERTY LINE



1 FOURTH FLOOR PLAN
1/8" = 1'-0"

revisions	by
PRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
PRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/03/18	AY

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**2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC**

drawing
**FIFTH
LEVEL
FLOOR PLAN**

drawn	
checked RH	
date 3/07/18	
scale 1/8" = 1'-0"	
job no. 1202	
sheet	

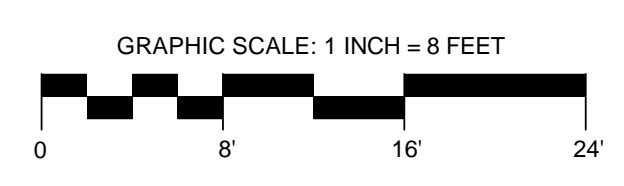
A2.5

KEY NOTES

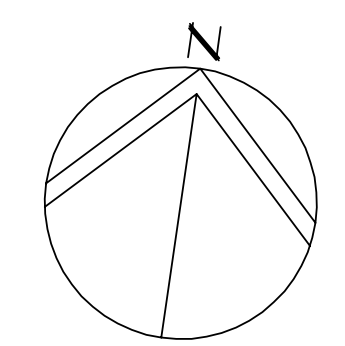
- 1 TRIPLE LIFT PARKING SPACE
- 2 ELEVATOR
- 3 STAIR
- 4 6'-0" HIGH ORNAMENTAL METAL FENCE
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- 11 (E) AC TRANSIT BUS STOP WITH BENCH
- 12 OUTDOOR SEATING AREA, SEE LANDSCAPE DRAWINGS
- 13 EXTERIOR STAIR
- 14 PARAPET/RAILING
- 15 MECHANICAL CHASE
- 16 BARBEQUE
- 17 NOT USED
- 18 FIRE ACCESS STAIR
- 19 METAL ROOF / MATCH SIDING SEE ELEVATIONS
- 20 TRASH CHUTE

LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- ROOFTOP ELEMENTS
- WALL
- PROPERTY LINE



1 FIFTH FLOOR PLAN
1/8" = 1'-0"





KEY NOTES

- 1 TRIPLE LIFT PARKING SPACE
- 2 ELEVATOR
- 3 STAIR
- 4 6'-0" HIGH ORNAMENTAL METAL FENCE
- 4.1 PERFORATED METAL SECURITY FENCE W GATE
- 5 RESIDENTIAL ENTRY
- 6 CAFE ENTRY
- 7 GARAGE DOOR WITH VISUAL AND AND AUDIBLE ALERT SYSTEM MOUNTED ABOVE DOOR. SOUND AND LIGHT CONTROLS IN GARAGE.
- 8 NEW TREE. SEE LANDSCAPE DRAWINGS
- 9 PLANTER. SEE LANDSCAPE DRAWINGS
- 10 HEAVY DUTY DERO HOOP BICYCLE RACKS
- 11 (E) AC TRANSIT BUS STOP WITH BENCH
- 12 OUTDOOR SEATING AREA. SEE LANDSCAPE DRAWINGS
- 13 EXTERIOR STAIR
- 14 PARAPET/RAILING
- 15 MECHANICAL CHASE
- 16 BARBEQUE
- 17 TRELIS
- 18 FIRE ACCESS STAIR
- 19 METAL ROOF / MATCH SIDING SEE ELEVATIONS

LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- ROOFTOP ELEMENTS
- WALL
- PROPERTY LINE

revisions	by
PRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
PRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/03/18	AY

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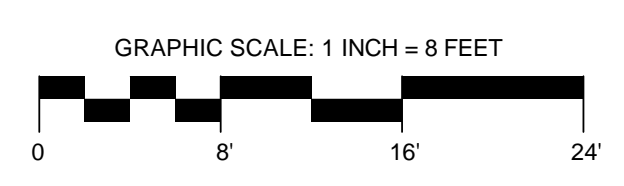


2701 SHATTUCK AVENUE
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 FOR:
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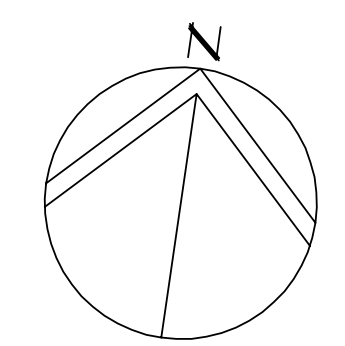
drawing
ROOF PLAN

drawn
checked RH
date 3/07/18
scale 1/8" = 1'-0"
job no. 1802
sheet

A2.6

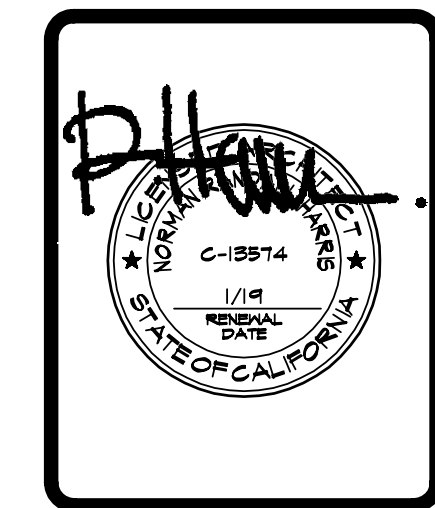


1 ROOF PLAN
 1/8" = 1'-0"



revisions	by
PRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 5/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
PRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/02/18	AY

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 FOR:
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drawing
EXTERIOR ELEVATIONS

drawn
checked RH
date 3/07/18
scale 1/8" = 1'-0"
job no. 1202
sheet

A3.1



1 EXTERIOR ELEVATION - WEST
 1/8" = 1'-0"

KEY NOTES

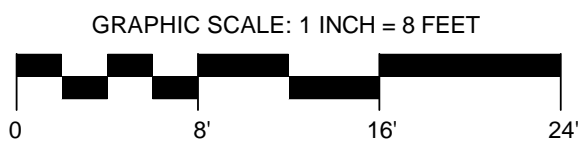
- 1 RESIDENTIAL ENTRY
- 2 COMMERCIAL ENTRY
- 3 PARKING GARAGE DOOR
- 4 NOT USED
- 5 EXTERIOR STAIR
- 6 RAILING / PARAPET
- 7 ELEVATOR OVERRUN
- 8 PLANTER, SEE LANDSCAPE PLANS
- 9 TREE, SEE LANDSCAPE PLANS
- 10 AWNING
- 11 NOT USED
- 12 NOT USED
- 13 SIGNAGE
- 14 ROOFTOP MECHANICAL ENCLOSURE
- 15 PERFORATED METAL SECURITY FENCE W GATE

NOTE:
 SEE A3.1A FOR MATERIALS LEGEND



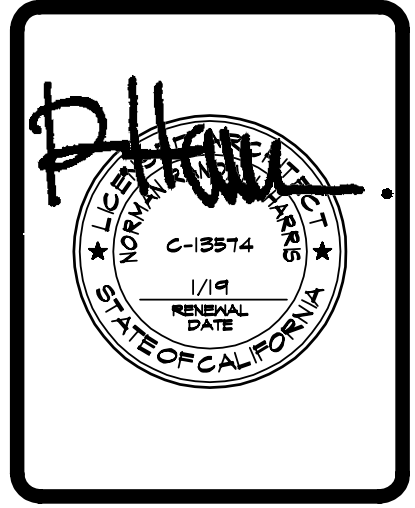
2 EXTERIOR ELEVATION - NORTH
 1/8" = 1'-0"

NOTE: NORMAL TO RESIDENTIAL PORTION OF BUILDING



revisions	by
PRC SUBMITTAL 12/15/16 & 1/21/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 5/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
PRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/02/18	AY

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 FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
EXTERIOR ELEVATIONS (VIEWED FROM SIDEWALK)

drawn
 checked
RH
 date
3/07/18
 scale
1/8" = 1'-0"
 job no.
1202
 sheet

A3.1A



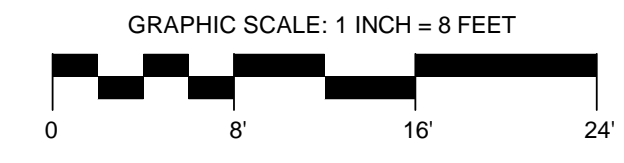
① EXTERIOR ELEVATION - WEST
 1/8" = 1'-0"

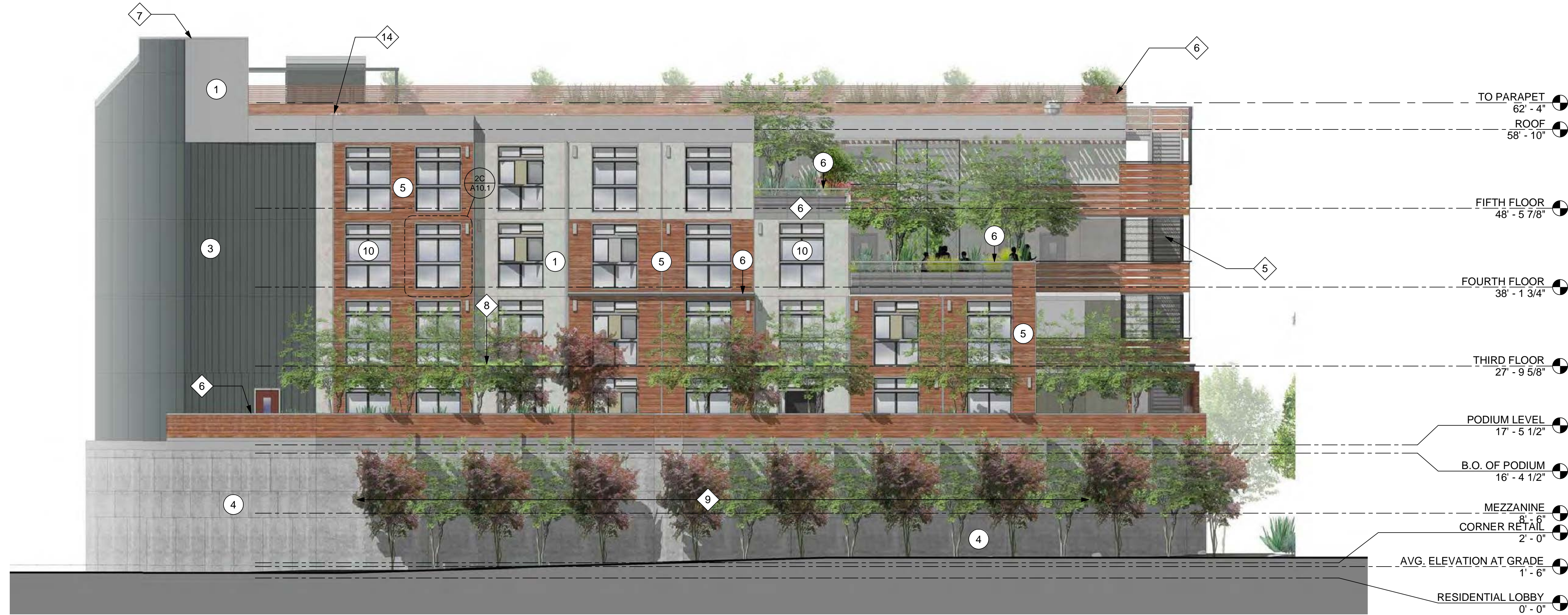
- LEGEND**
- ① PAINTED STUCCO
BODY COLOR 1
 - ② PAINTED STUCCO
BODY COLOR 2
 - ③ METAL FLUSH PANELS
COLOR: "DARK BRONZE"
 - ④ CAST-IN-PLACE CONCRETE
 - ⑤ COMPOSITE WOOD PANEL
COLOR: PARKLEX "AMBER" & "RUBI"
 - ⑥ ARCHITECTURAL METAL DETAILS
 - ⑦ STOREFRONT GLAZING WINDOW
 - ⑧ PERFORATED METAL
 - ⑨ METAL LOUVERS
 - ⑩ DARK ANODIZED METAL WINDOWS
 - ⑪ PUBLIC ART LOCATION



② EXTERIOR ELEVATION - NORTH
 1/8" = 1'-0"

NOTE: NORMAL TO RESIDENTIAL PORTION OF BUILDING





① EXTERIOR ELEVATION - EAST
 1/8" = 1'-0"



② EXTERIOR ELEVATION SOUTH
 1/8" = 1'-0"

KEY NOTES

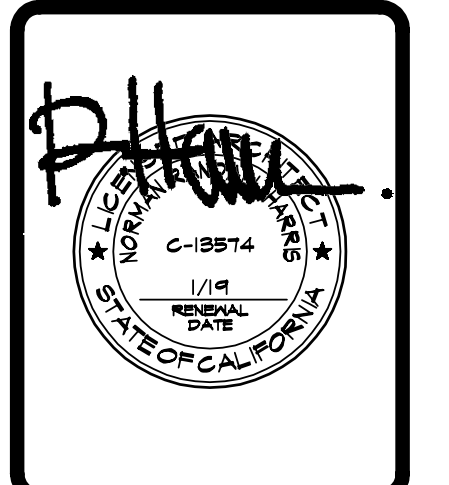
- ① RESIDENTIAL ENTRY
- ② COMMERCIAL ENTRY
- ③ PARKING GARAGE DOOR
- ④ NOT USED
- ⑤ EXTERIOR STAIR
- ⑥ RAILING / PARAPET
- ⑦ ELEVATOR OVERRUN
- ⑧ PLANTER, SEE LANDSCAPE PLANS
- ⑨ TREE, SEE LANDSCAPE PLANS
- ⑩ AWNING
- ⑪ NOT USED
- ⑫ NOT USED
- ⑬ SIGNAGE
- ⑭ ROOFTOP MECHANICAL ENCLOSURE
- ⑮ PERFORATED METAL SECURITY FENCE W GATE

LEGEND

- ① PAINTED STUCCO BODY COLOR 1
- ② PAINTED STUCCO BODY COLOR 2
- ③ METAL FLUSH PANELS COLOR: "DARK BRONZE"
- ④ CAST-IN-PLACE CONCRETE
- ⑤ COMPOSITE WOOD PANEL COLOR: PARKLEX "AMBER" & "RUBI"
- ⑥ ARCHITECTURAL METAL DETAILS
- ⑦ STOREFRONT GLAZING WINDOW
- ⑧ PERFORATED METAL
- ⑨ METAL LOUVERS
- ⑩ DARK ANODIZED METAL WINDOWS

revisions	by
PRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
PRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/08/18	AY

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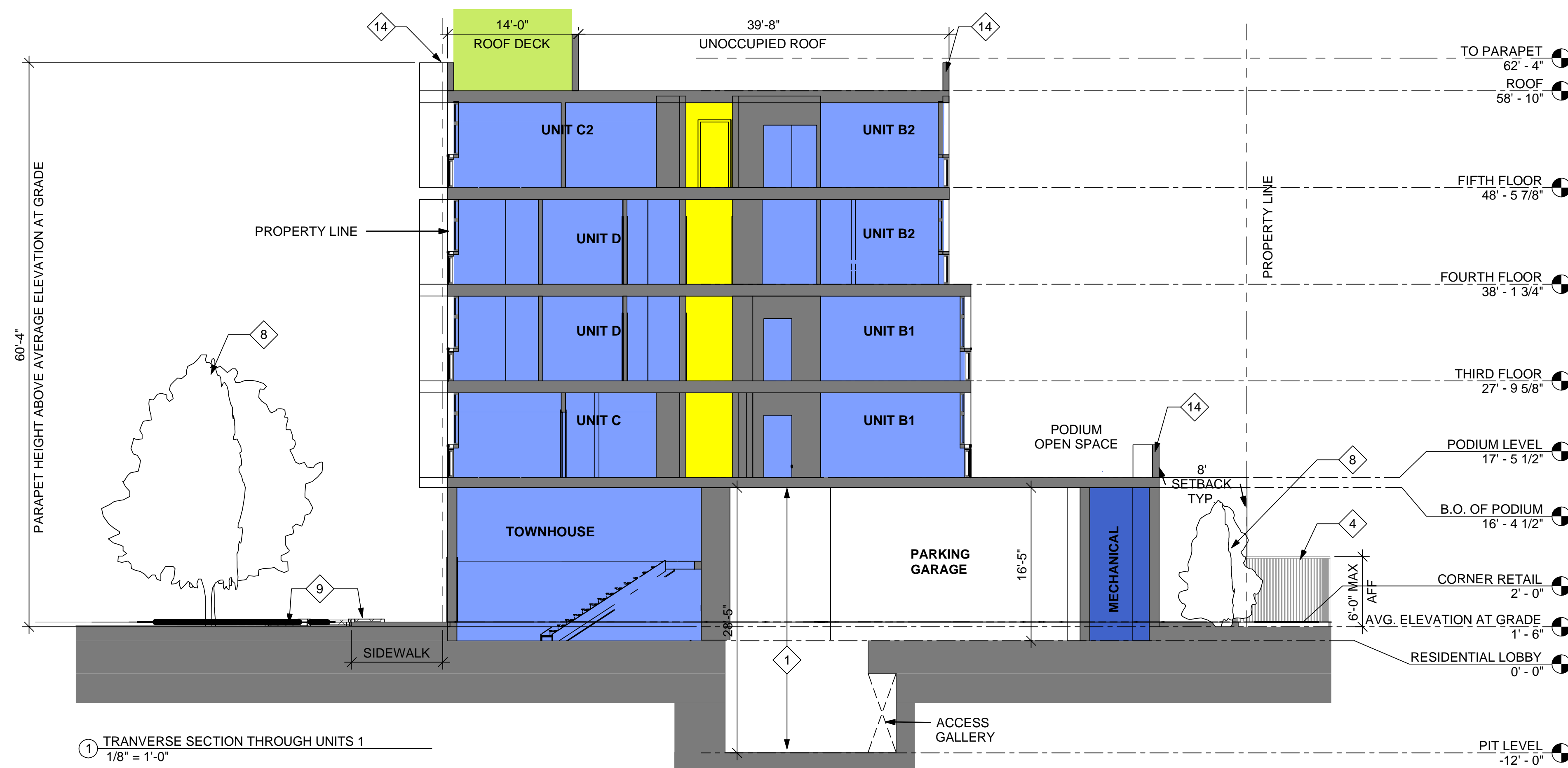


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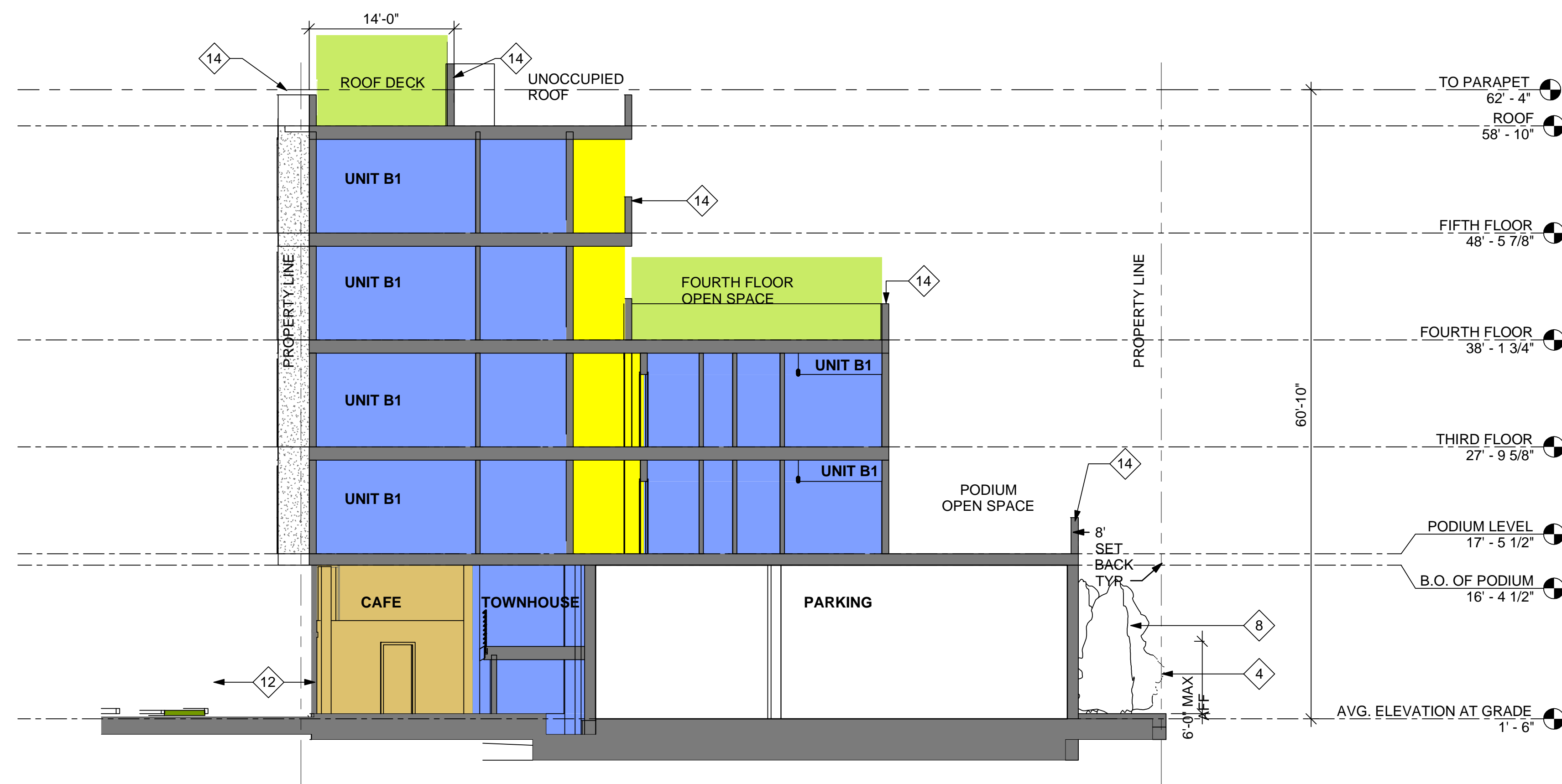
drawing
EXTERIOR ELEVATIONS

checked	date
RH	3/07/18
scale	1/8" = 1'-0"
job no.	1202
sheet	

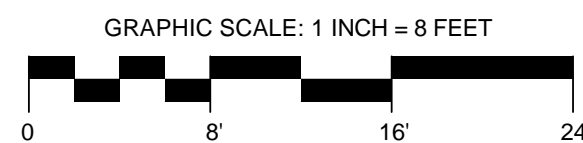
A3.2



① TRANVERSE SECTION THROUGH UNITS 1
 1/8" = 1'-0"



② BUILDING SECTION
 1/8" = 1'-0"



KEY NOTES

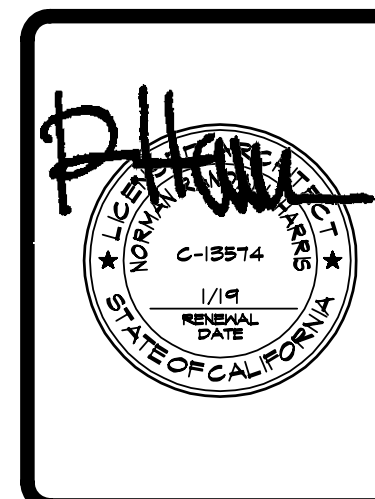
- ① TRIPLE LIFT PARKING SPACE
- ② NOT USED
- ③ STAIR
- ④ FENCE
- ⑤ RESIDENTIAL ENTRY
- ⑥ NOT USED
- ⑦ NOT USED
- ⑧ NEW TREE, SEE LANDSCAPE DRAWINGS
- ⑨ PLANTER, SEE LANDSCAPE DRAWINGS
- ⑩ BICYCLE PARKING
- ⑪ NOT USED
- ⑫ OUTDOOR SEATING AREA, SEE LANDSCAPE DRAWINGS
- ⑬ STAIR ENCLOSURE
- ⑭ PARAPET/RAILING

LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- WALL
- PROPERTY LINE

revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/23/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 4/20/18	AY
ZAB SUBMITTAL 1/28/18	AY

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 FOR:
 2701 SHATTUCK BERKELEY, LLC**

drawing
**BUILDING
 SECTIONS**

drawn
checked RH
date 3/07/18
scale 1/8" = 1'-0"
job no. 1802
sheet

A3.3



① LONGITUDINAL SECTION THROUGH UNITS
 1/8" = 1'-0"

KEY NOTES

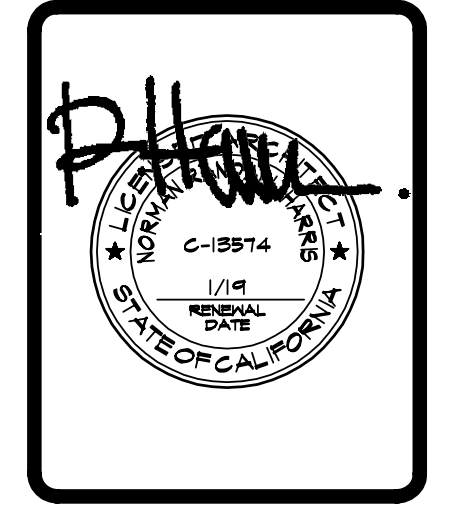
- ① TRIPLE LIFT PARKING SPACE
- ② NOT USED
- ③ STAIR
- ④ FENCE
- ⑤ RESIDENTIAL ENTRY
- ⑥ NOT USED
- ⑦ NOT USED
- ⑧ NEW TREE, SEE LANDSCAPE DRAWINGS
- ⑨ PLANTER, SEE LANDSCAPE DRAWINGS
- ⑩ BICYCLE PARKING
- ⑪ NOT USED
- ⑫ OUTDOOR SEATING AREA, SEE LANDSCAPE DRAWINGS
- ⑬ STAIR ENCLOSURE
- ⑭ PARAPET/RAILING

LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- WALL
- PROPERTY LINE

revisions	by
DRC SUBMITTAL 2/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/02/18	AY

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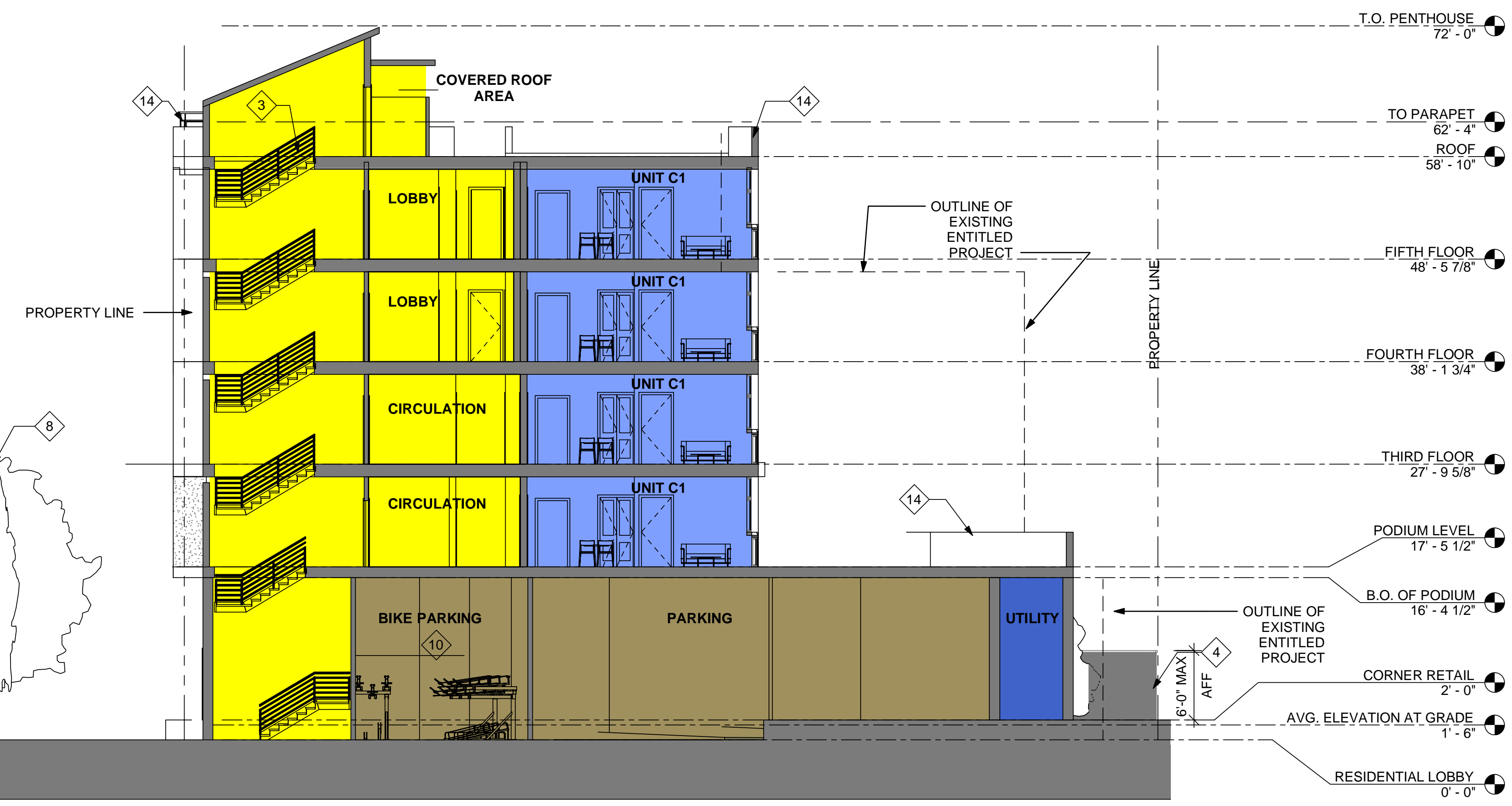


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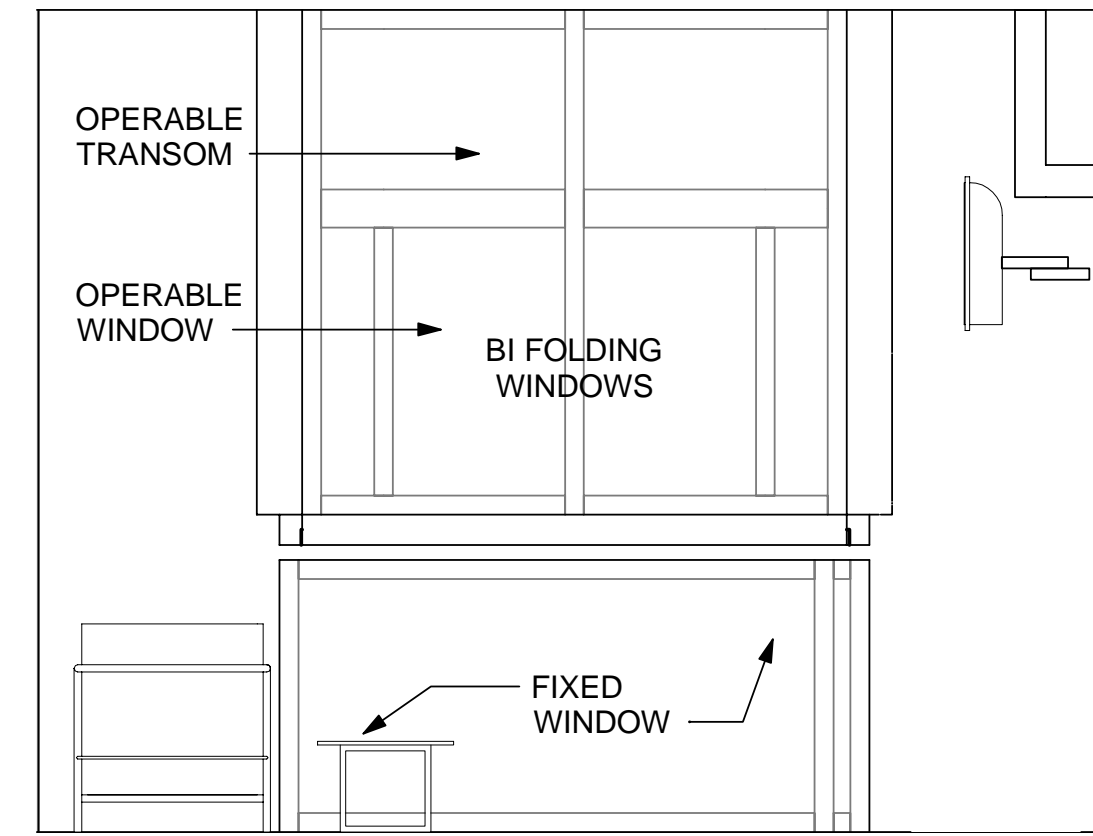
drawing
BUILDING SECTIONS

drawn
 checked
 RH
 date
 3/07/18
 scale
 1/8" = 1'-0"
 job no.
 1802
 sheet

A3.4



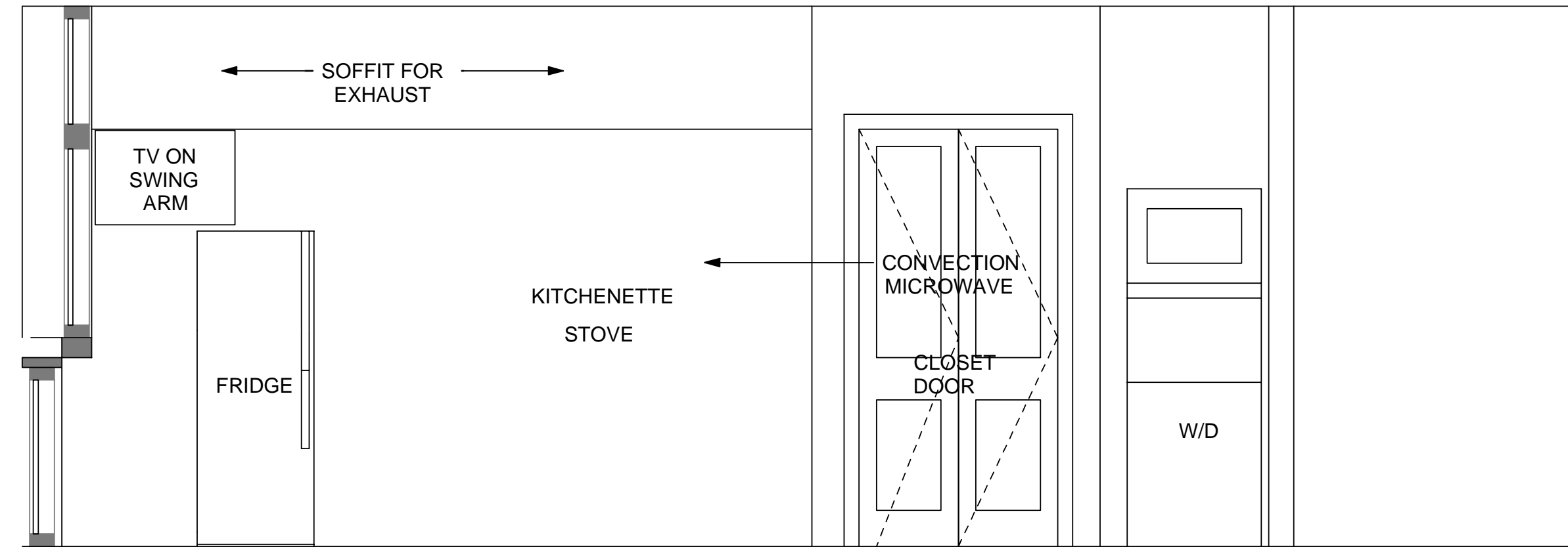
② TRANSVERSE SECTION THROUGH VERTICAL CIRCULATION
 1/8" = 1'-0"



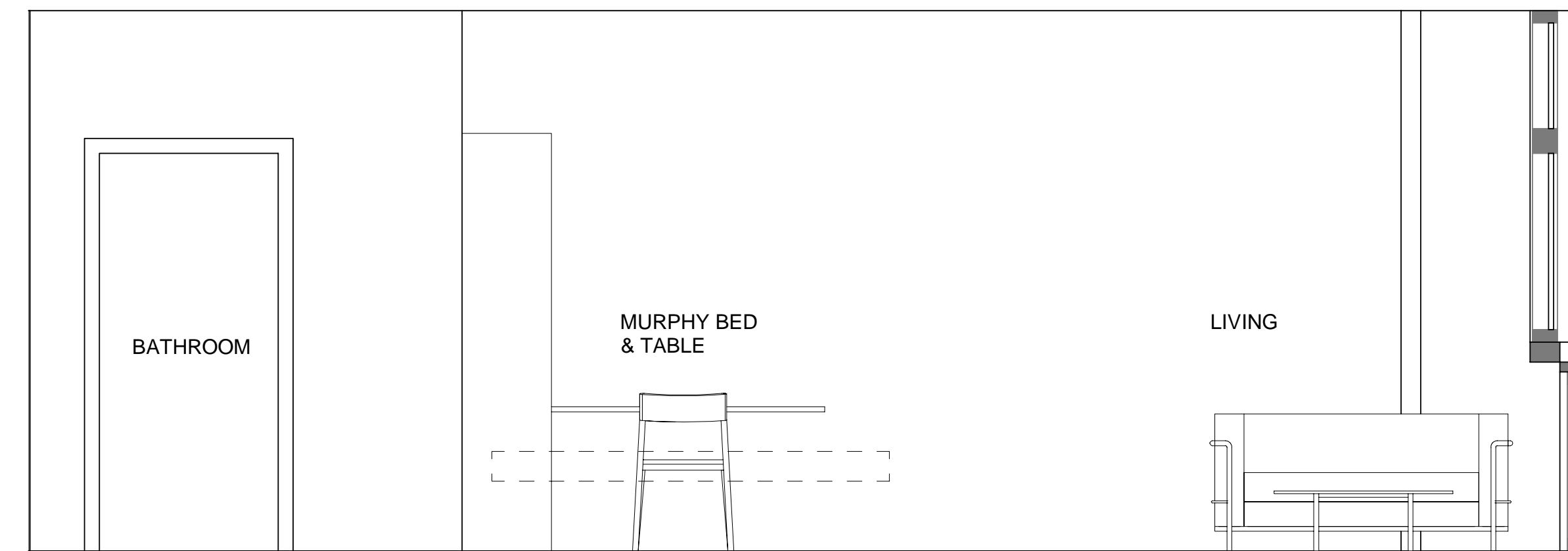
6 WEST ELEVATION OF UNIT A2
 1/2" = 1'-0"



5 EAST ELEVATION OF UNIT A2
 1/2" = 1'-0"

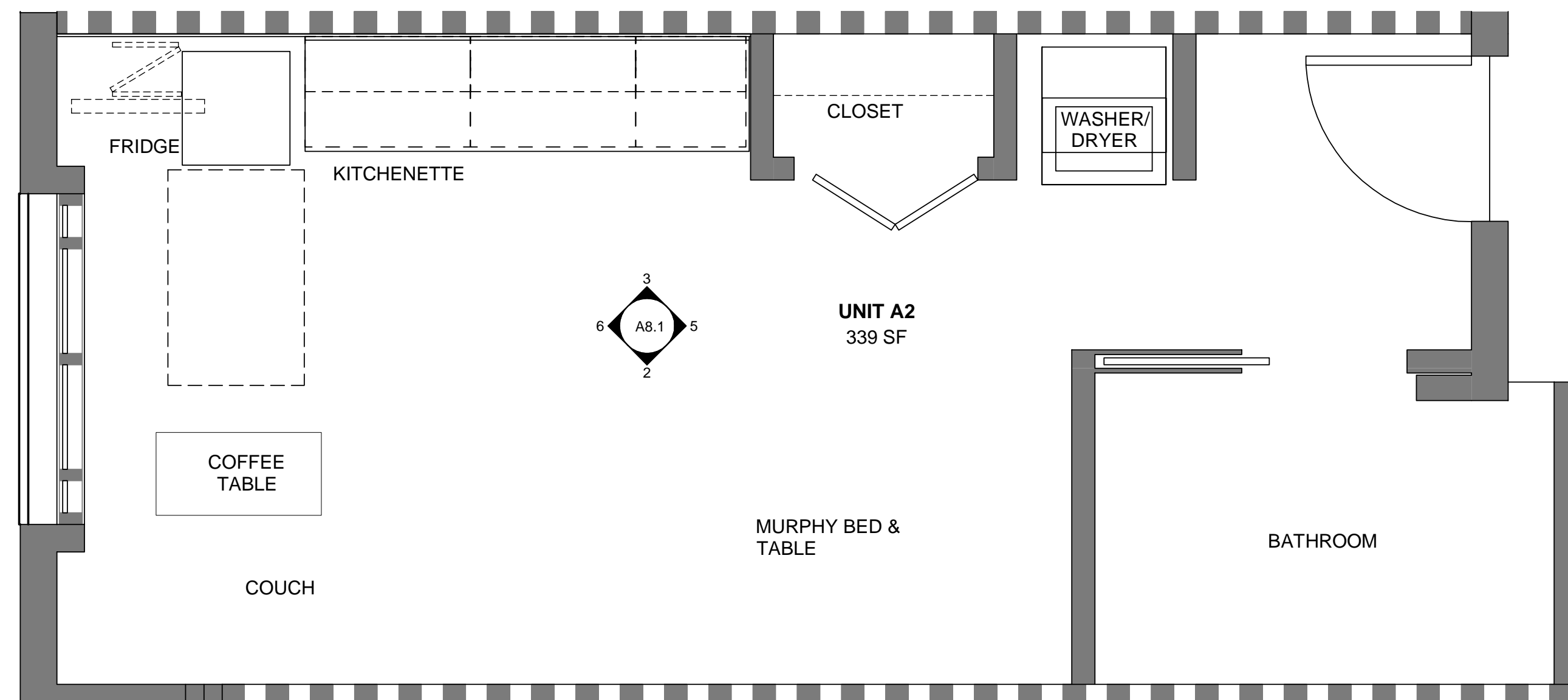


3 NORTH ELEVATION OF UNIT A2
 1/2" = 1'-0"



2 SOUTH ELEVATION OF UNIT A2
 1/2" = 1'-0"

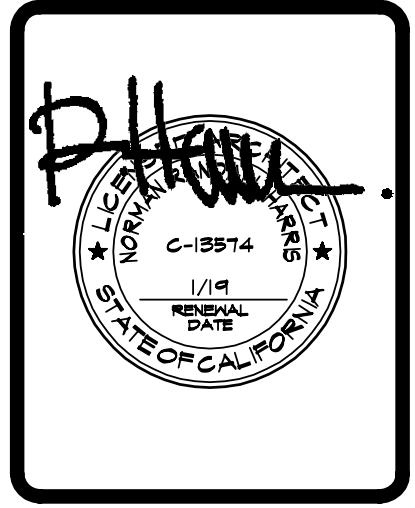
4 SECTION PERSPECTIVE OF UNIT A2
 1/2" = 1'-0"



1 UNIT A2 PLAN
 1/2" = 1'-0"

revisions	by
PRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
PRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/03/18	AY

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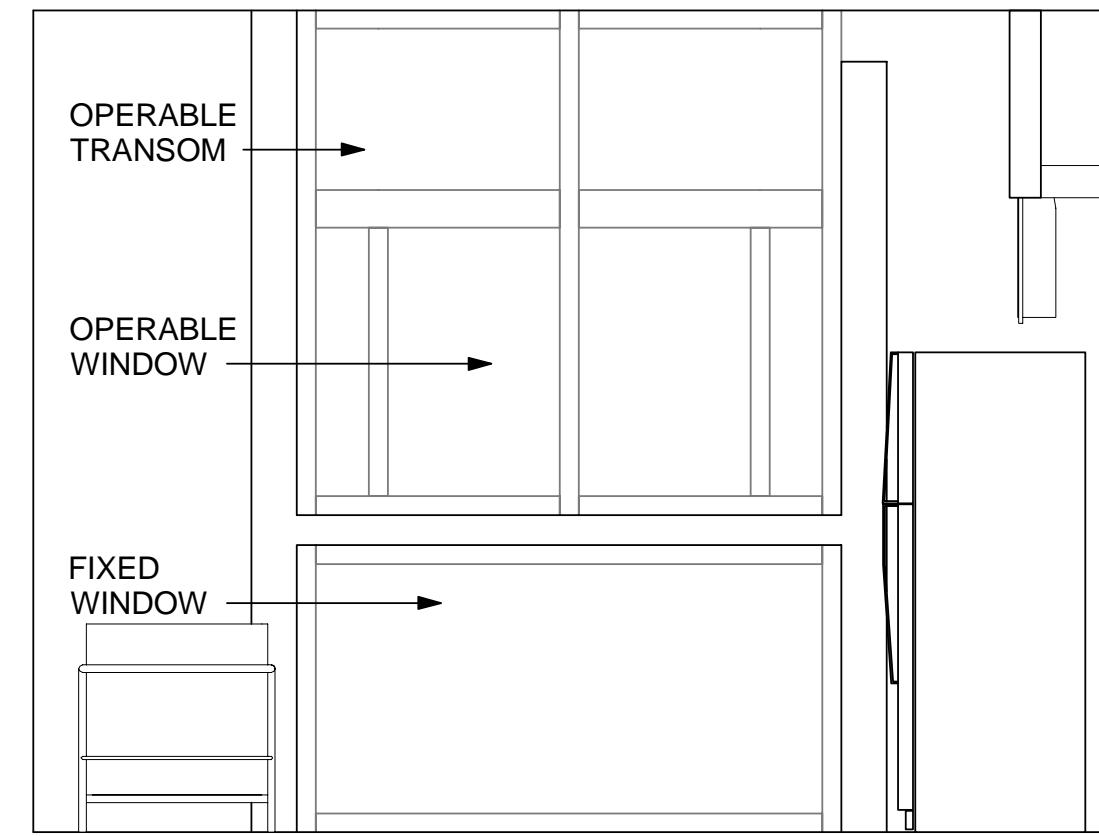


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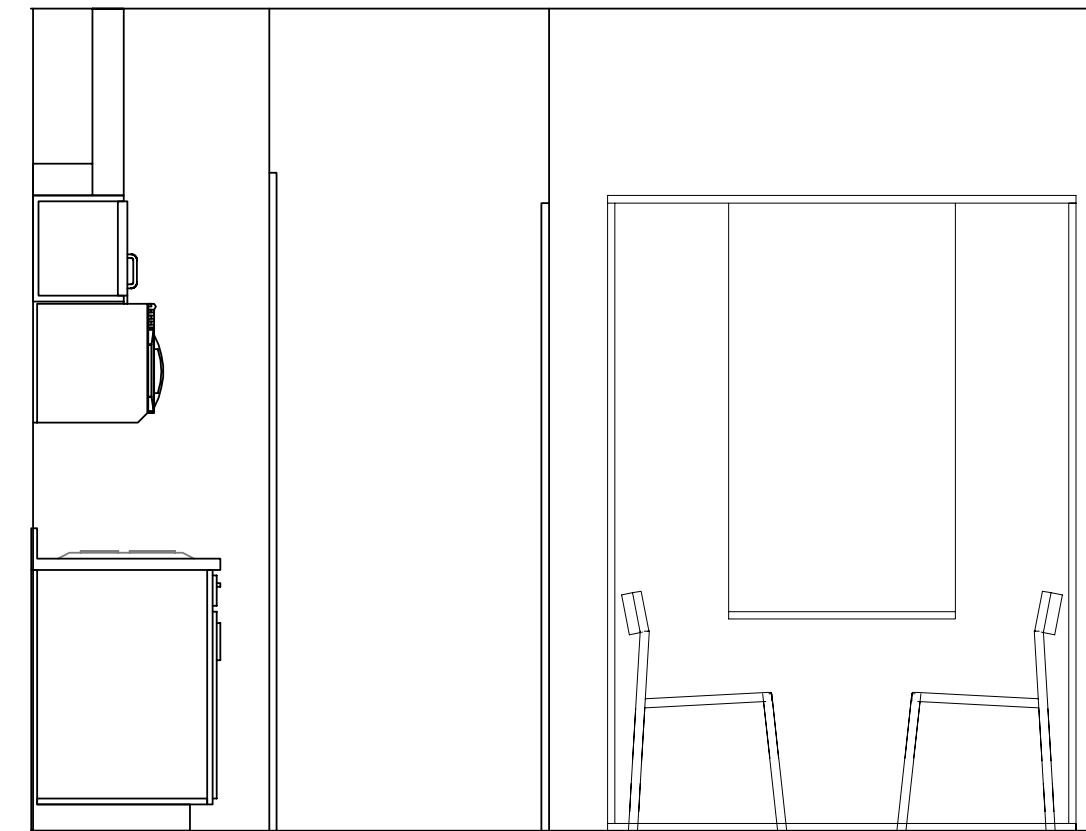
drawing
 UNIT A PLANS

drawn
 checked
 RH
 date
 3/07/18
 scale
 1/2" = 1'-0"
 job no.
 1202
 sheet

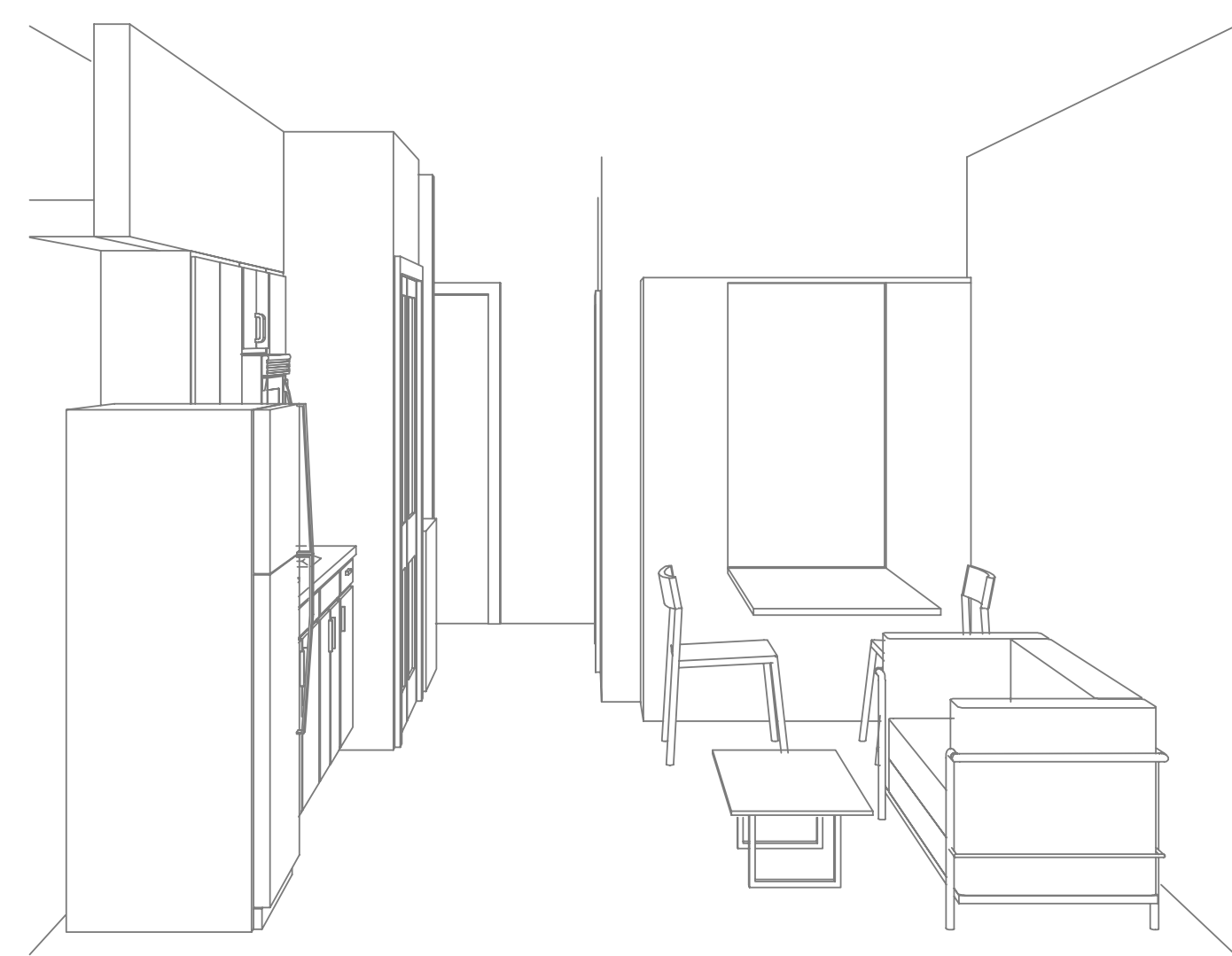
A8.1



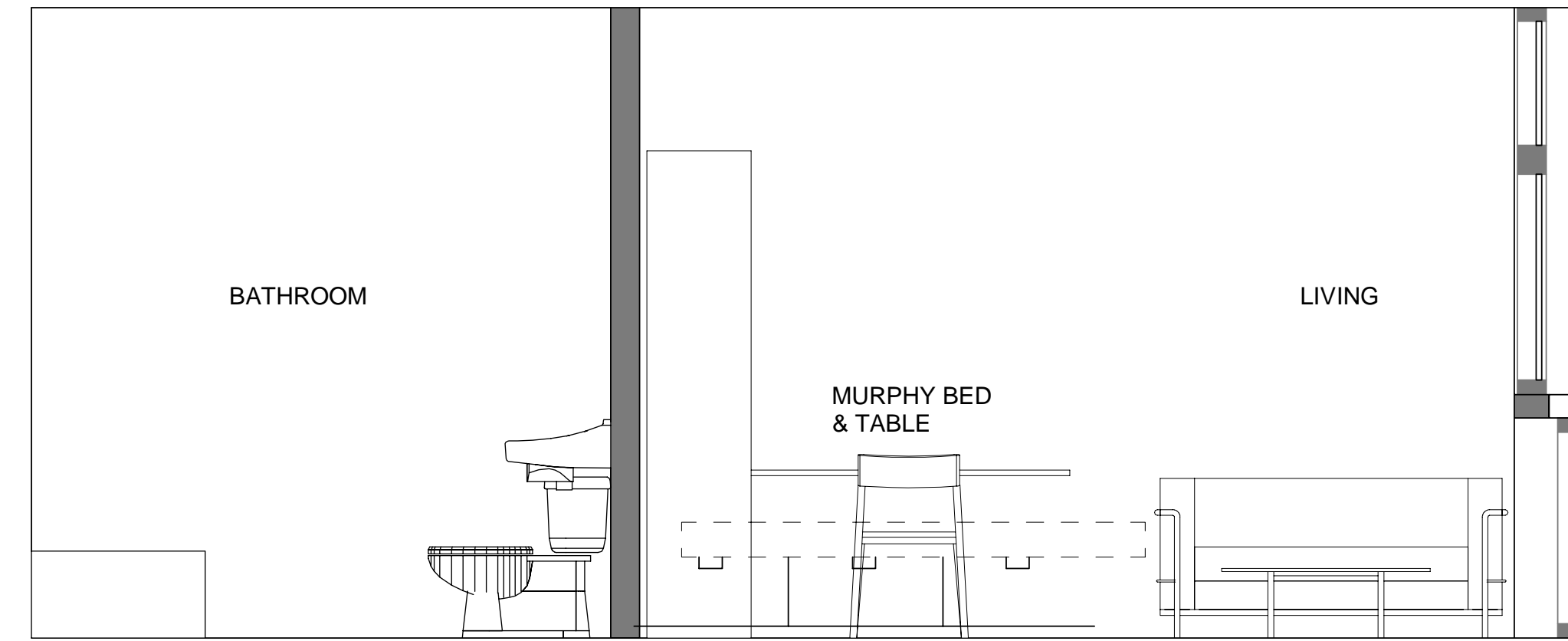
⑥ EAST ELEVATION OF UNIT B2
 1/2" = 1'-0"



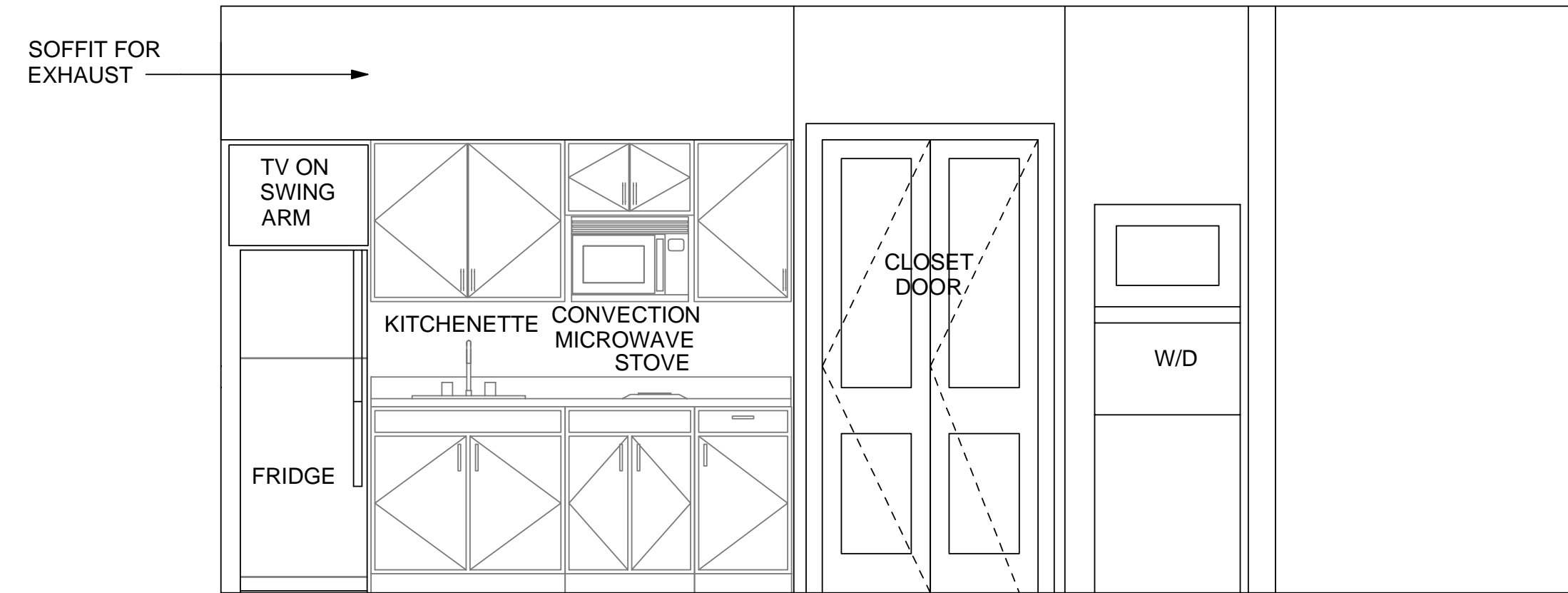
⑤ WEST ELEVATION OF UNIT B2
 1/2" = 1'-0"



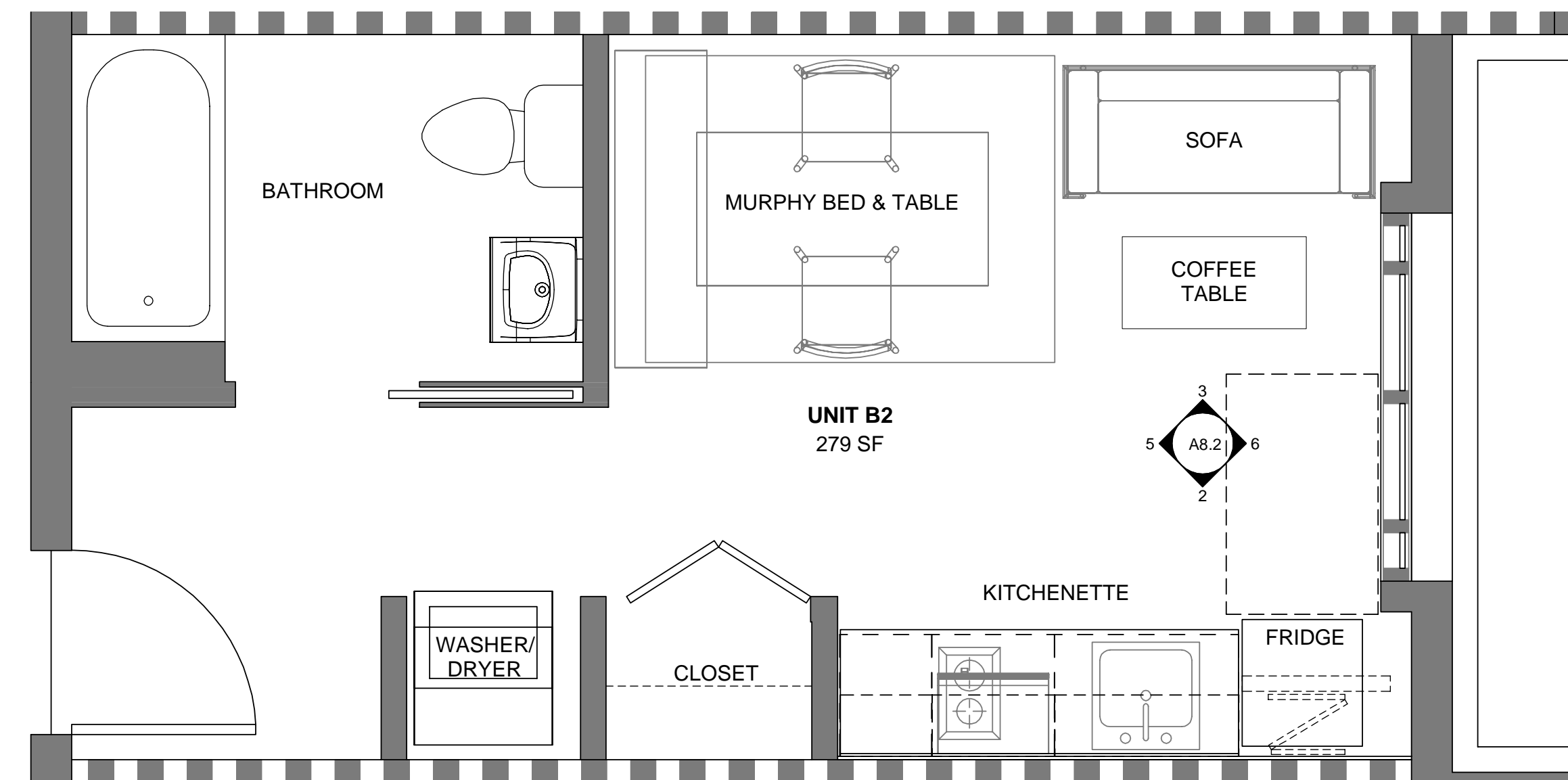
④ SECTION PERSPECTIVE OF UNIT B2



③ NORTH ELEVATION OF UNIT B2
 1/2" = 1'-0"



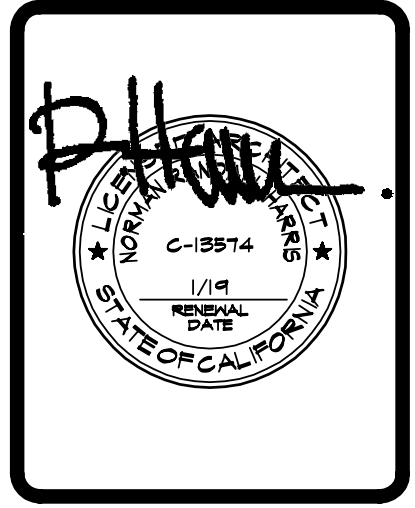
② SOUTH ELEVATION OF UNIT B2
 1/2" = 1'-0"



① UNIT B2 PLAN
 1/2" = 1'-0"

revisions	by
DRG SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRG SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/03/18	AY

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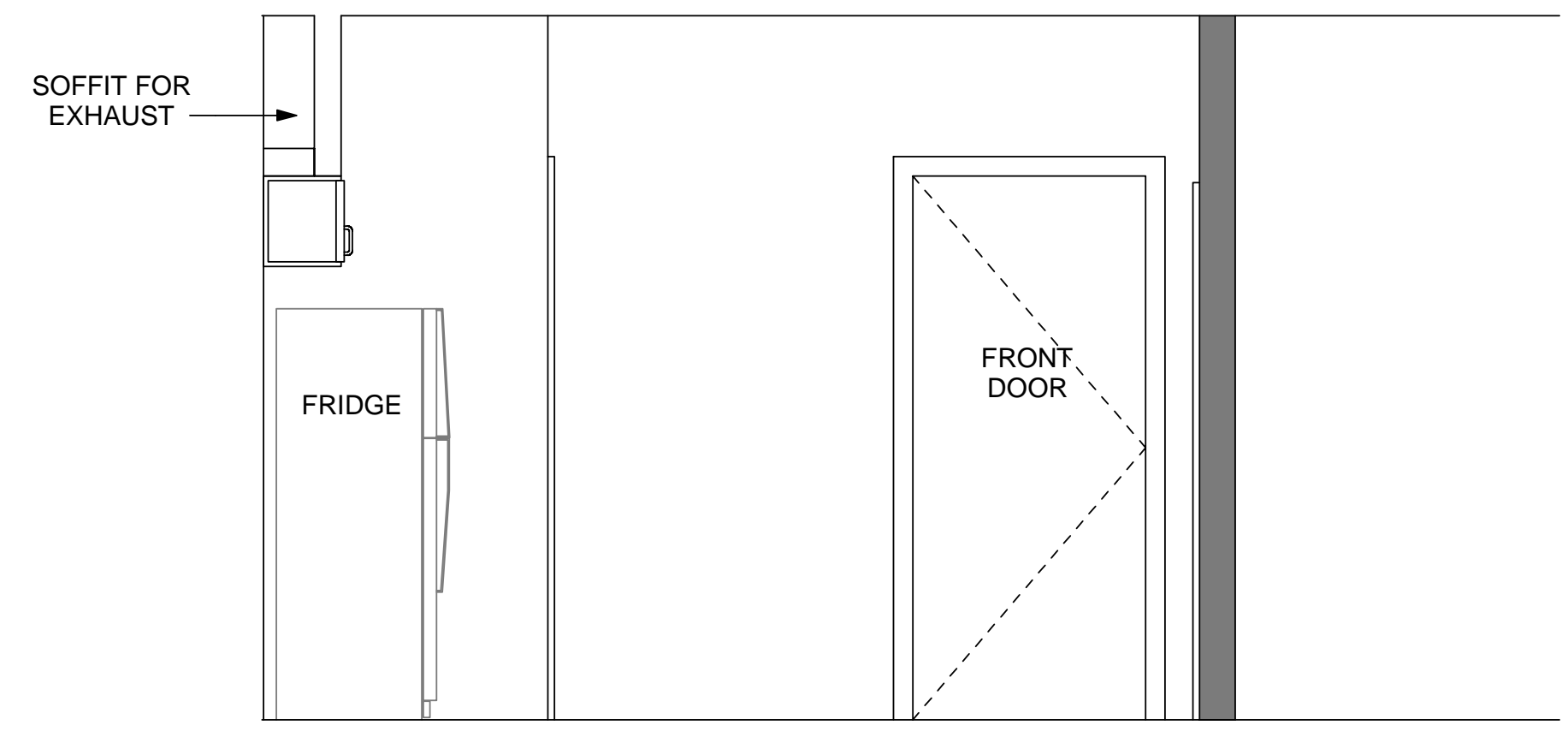


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 FOR:
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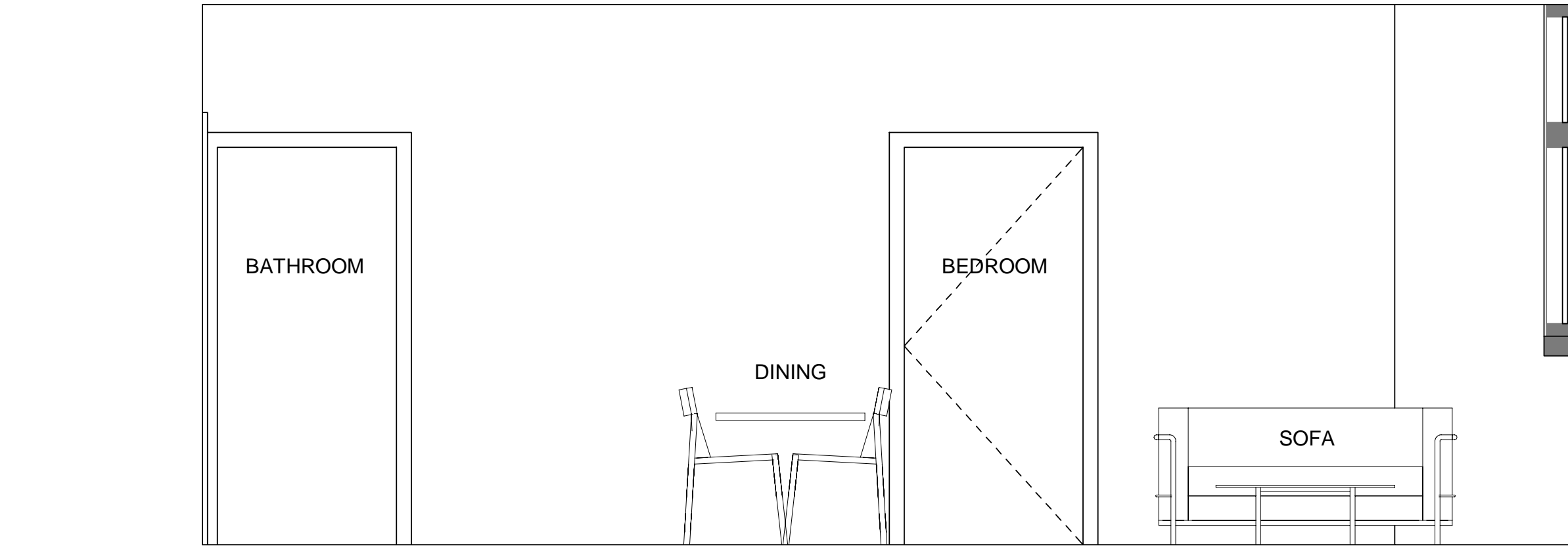
drawing
 UNIT B PLANS

drawn
checked RH
date 3/07/18
scale 1/2" = 1'-0"
job no. 1202
sheet

A8.2



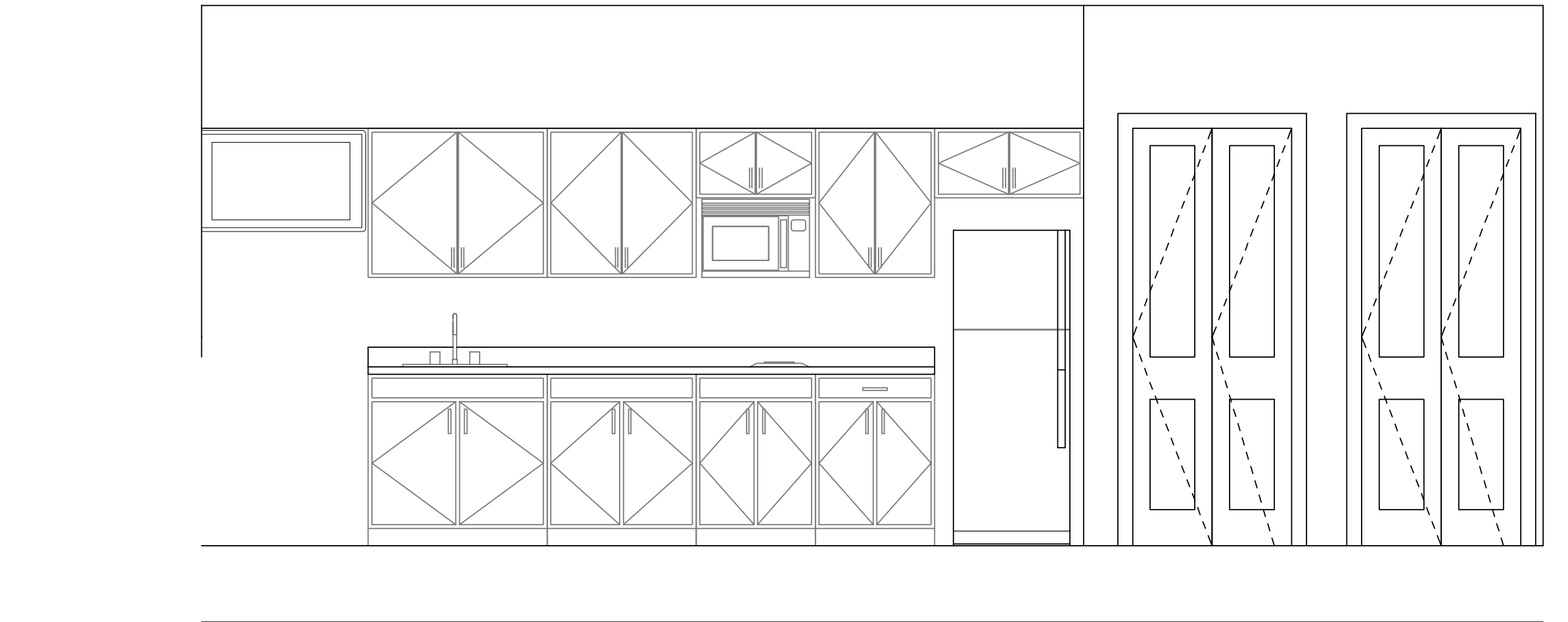
6 EAST ELEVATION OF UNIT C
 1/2" = 1'-0"



5 SOUTH ELEVATION OF UNIT C
 1/2" = 1'-0"



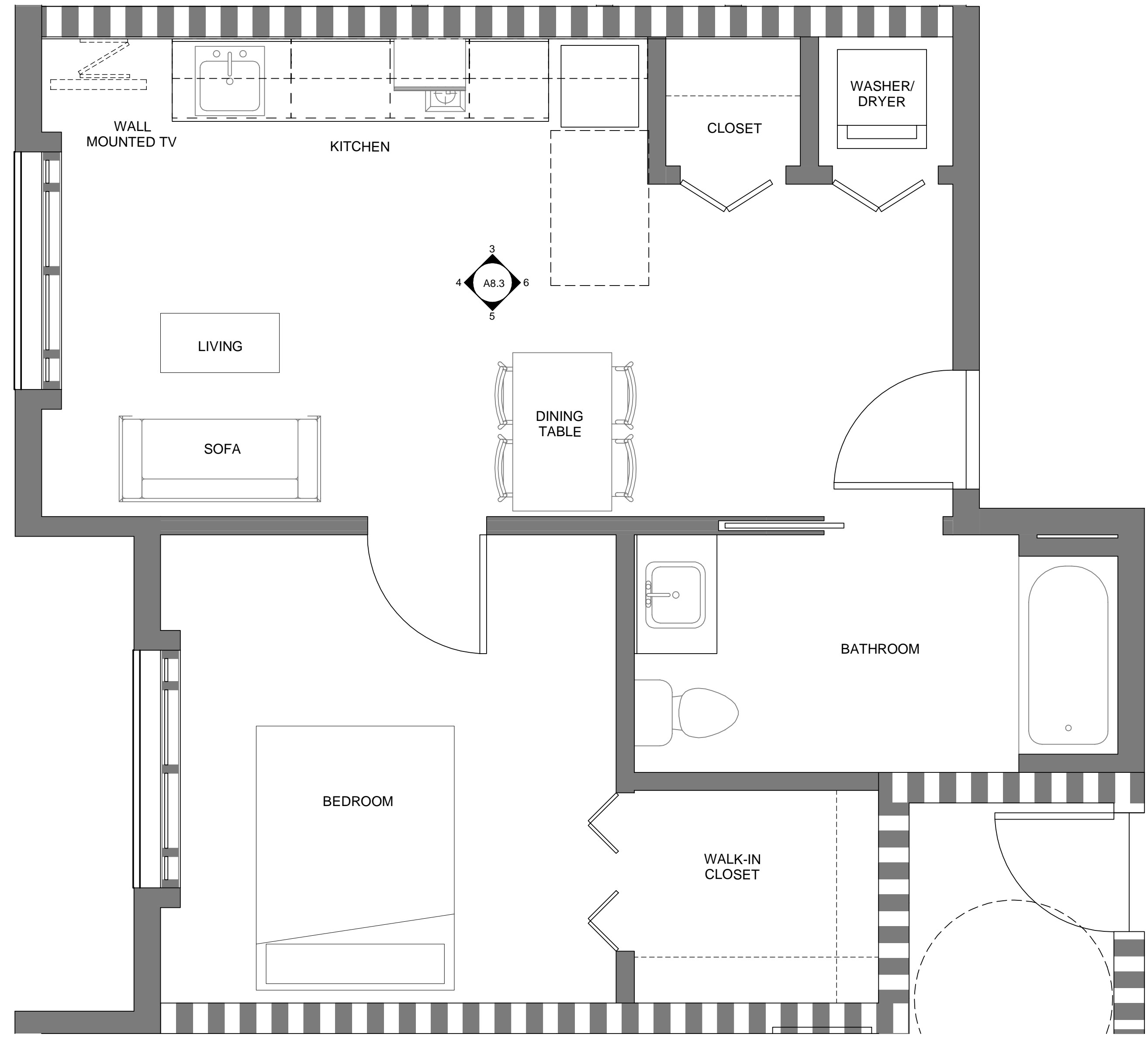
4 WEST ELEVATION OF UNIT C
 1/2" = 1'-0"



3 NORTH ELEVATION OF UNIT C
 1/2" = 1'-0"



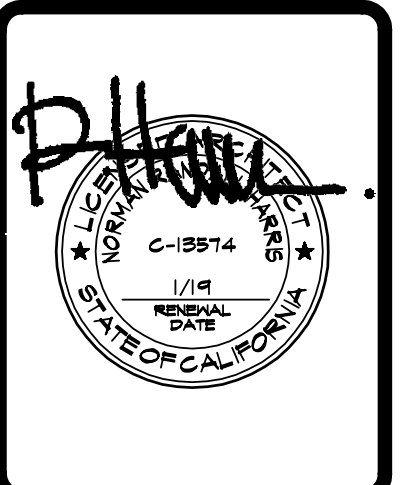
2 SECTIONAL PERSPECTIVE OF UNIT C



1 UNIT C PLAN
 1/2" = 1'-0"

revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/23/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 4/20/18	AY
ZAB SUBMITTAL 1/28/18	AY

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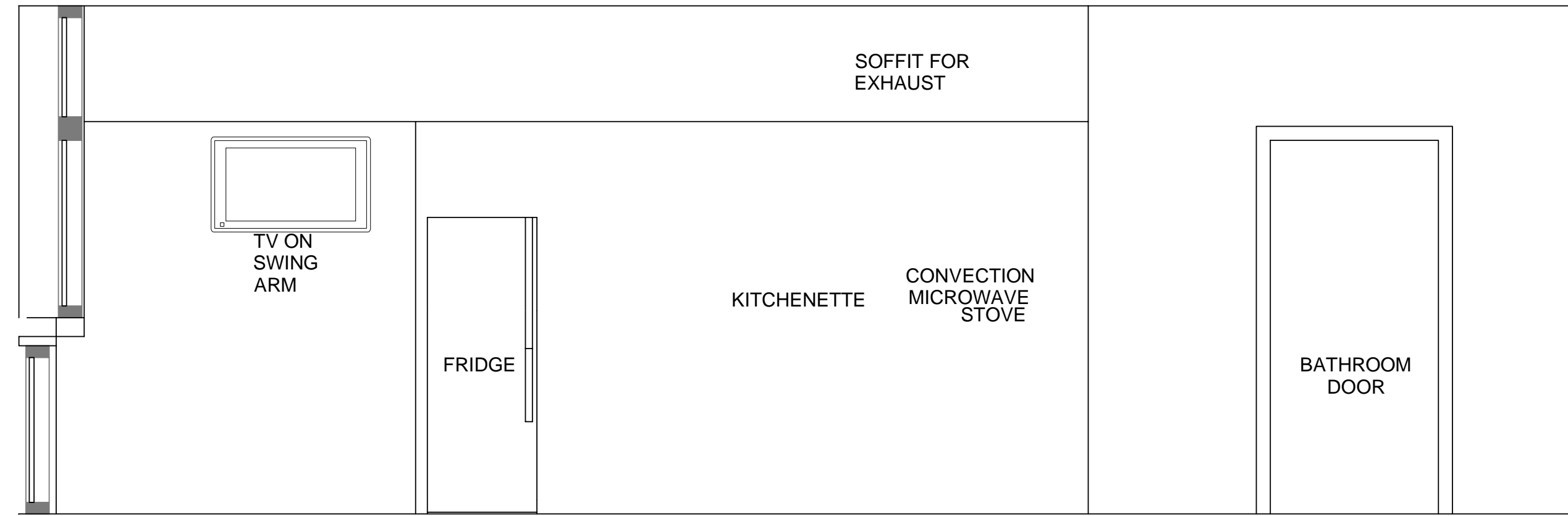


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 FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
UNIT C PLANS

drawn	
checked	RH
date	3/07/18
scale	1/2" = 1'-0"
job no.	1802
sheet	

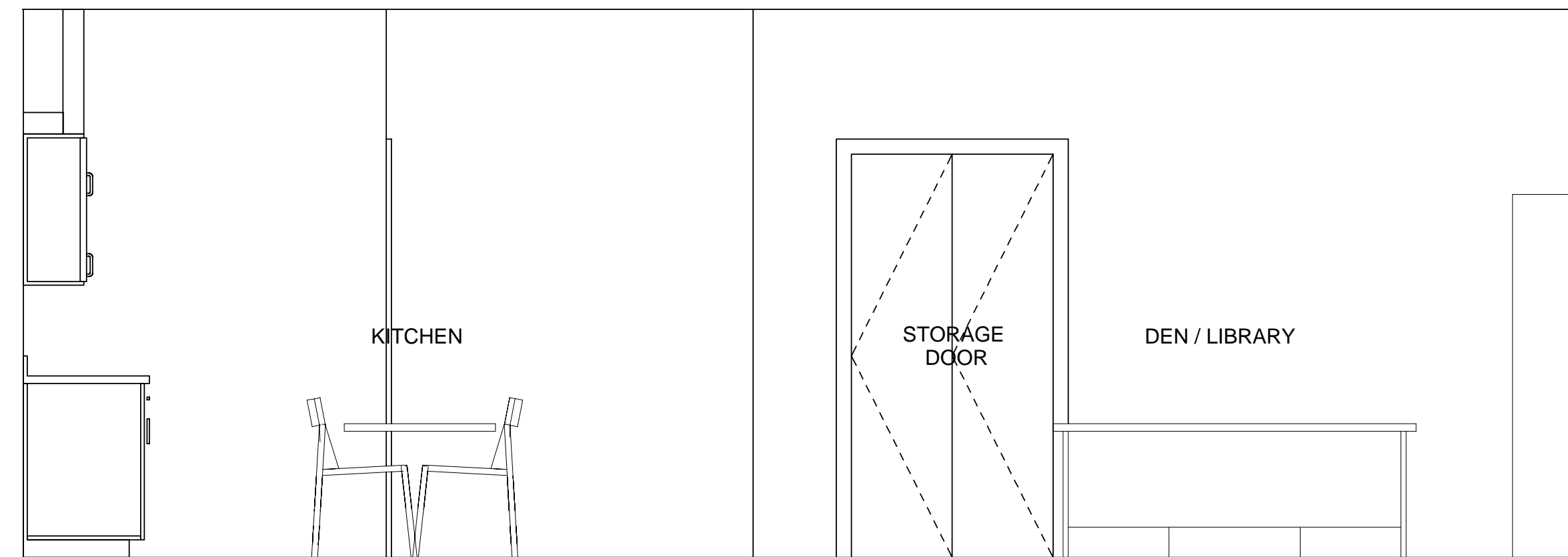
A8.3



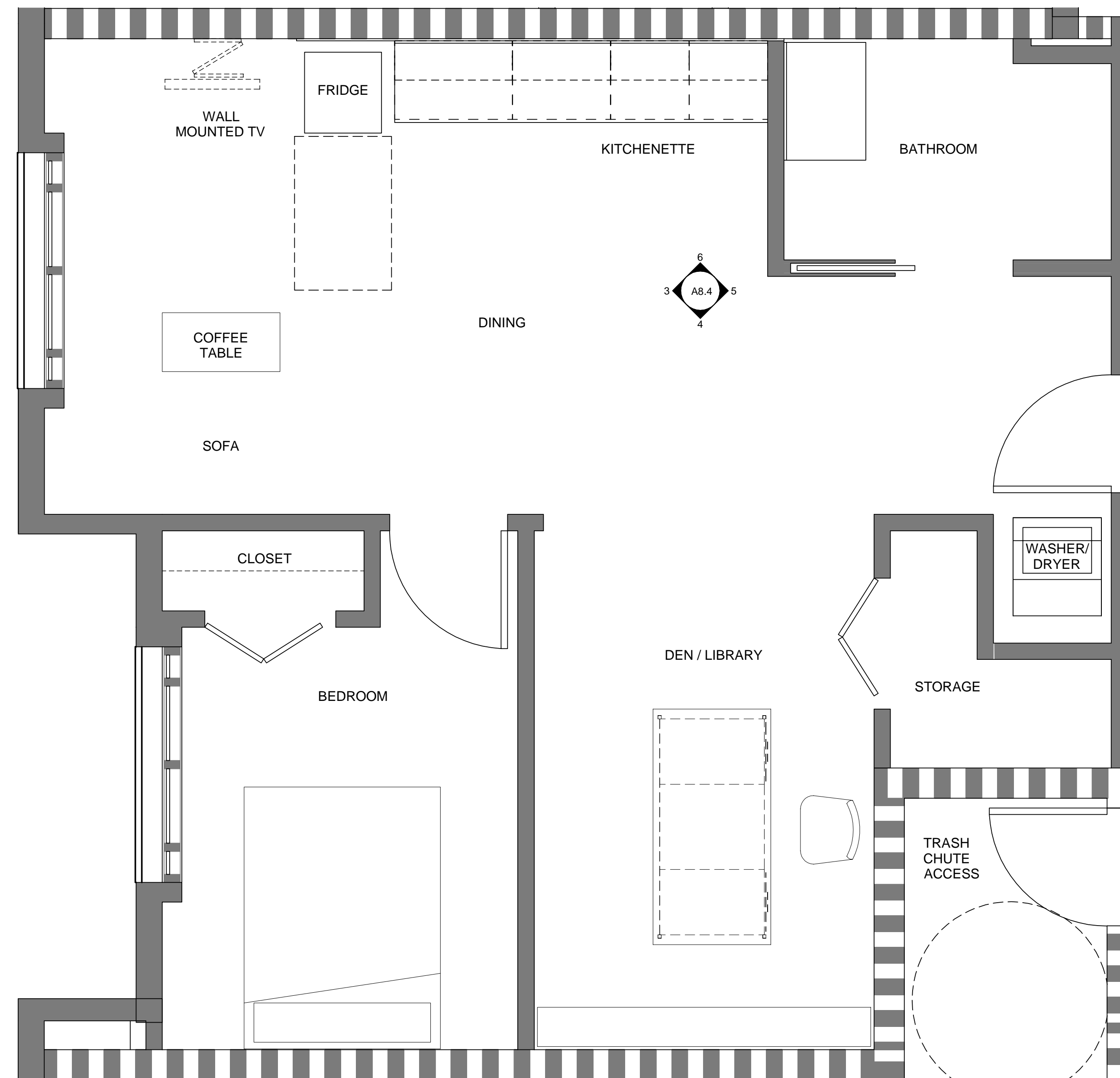
6 NORTH ELEVATION OF UNIT D
1/2" = 1'-0"



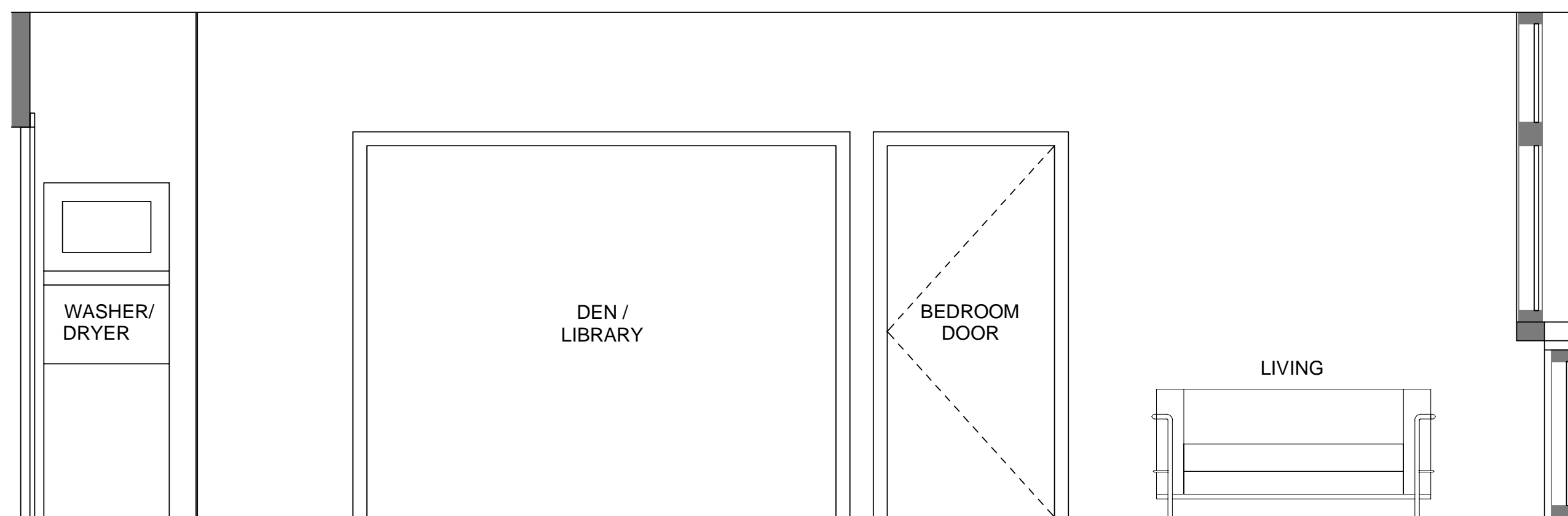
2 SECTIONAL PERSPECTIVE OF UNIT D



5 EAST ELEVATION OF UNIT D
1/2" = 1'-0"



1 UNIT D PLAN
1/2" = 1'-0"



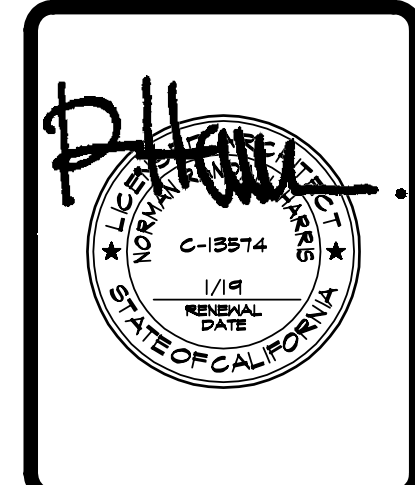
4 SOUTH ELEVATION OF UNIT D
1/2" = 1'-0"



3 WEST ELEVATION OF UNIT D
1/2" = 1'-0"

revisions	by
DRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/23/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRC SUBMITTAL 4/20/18	AY
ZAB SUBMITTAL 1/28/18	AY

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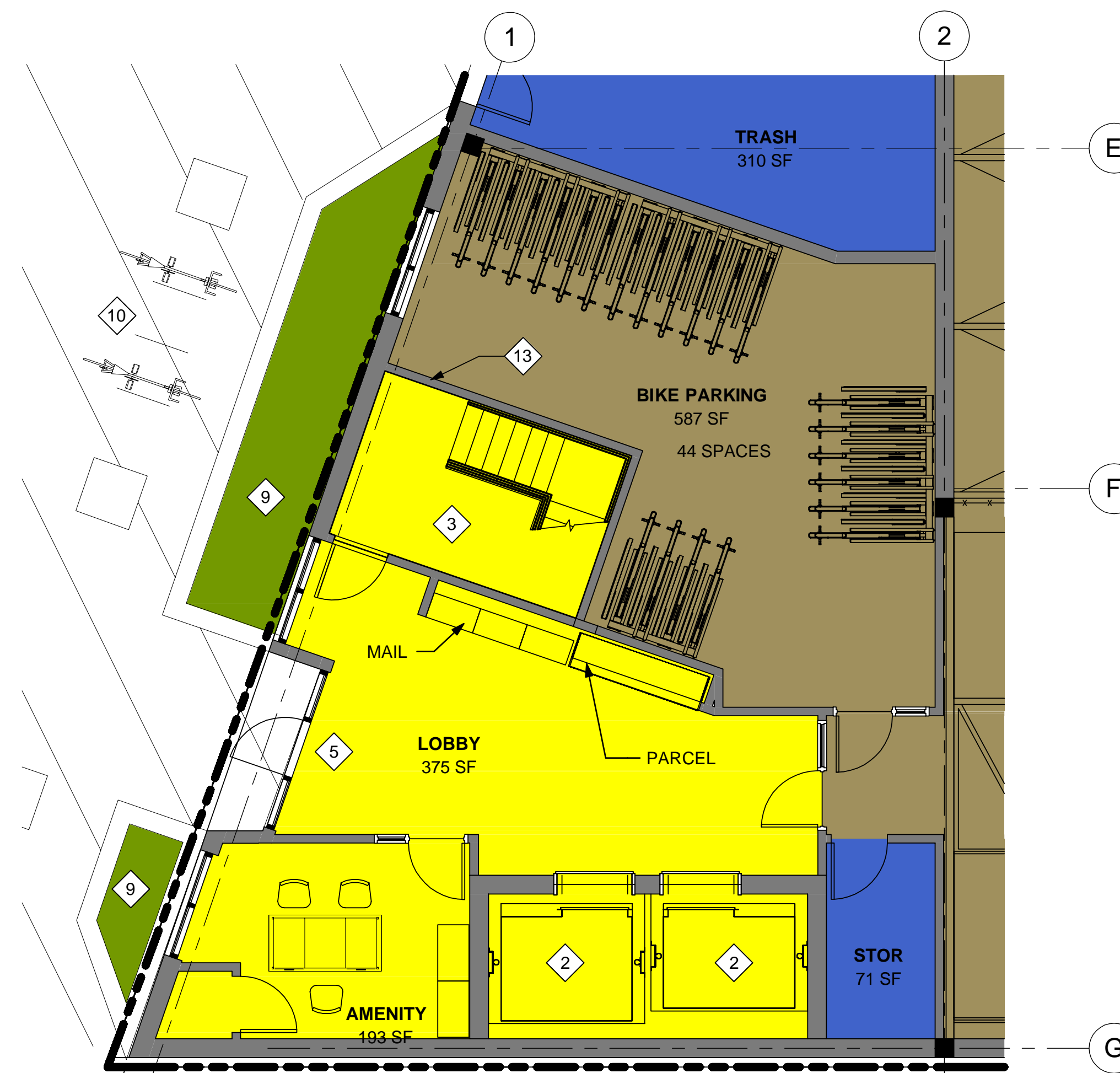


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BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC**

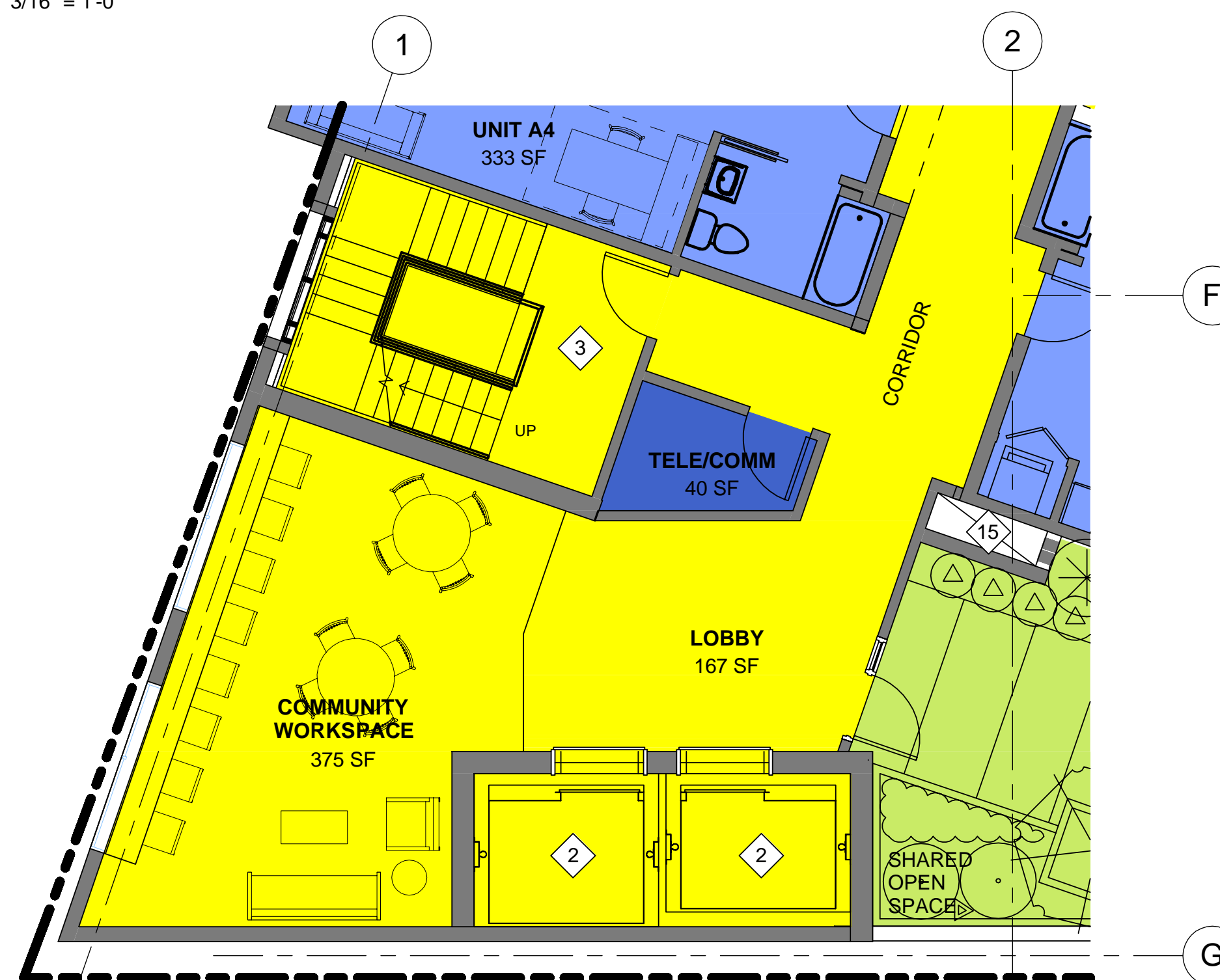
drawing
UNIT D PLANS

drawn
checked RH
date 3/07/18
scale 1/2" = 1'-0"
job no. 1802
sheet

A8.4



1 LOBBY - GROUND FLOOR PLAN
 3/16" = 1'-0"



2 PODIUM LEVEL PLAN
 3/16" = 1'-0"

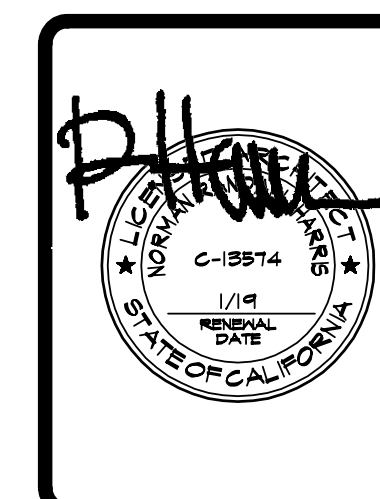
KEY NOTES

- 1 TRIPLE LIFT PARKING SPACE
- 2 ELEVATOR
- 3 STAIR
- 4 6'-0" HIGH ORNAMENTAL METAL FENCE
- 4.1 PERFORATED METAL SECURITY FENCE W GATE
- 5 RESIDENTIAL ENTRY
- 6 CAFE ENTRY
- 7 GARAGE DOOR WITH VISUAL AND AND AUDIBLE ALERT SYSTEM MOUNTED ABOVE DOOR. SOUND AND LIGHT CONTROLS IN GARAGE.
- 8 NEW TREE, SEE LANDSCAPE DRAWINGS
- 9 PLANTER, SEE LANDSCAPE DRAWINGS
- 10 HEAVY DUTY DERO HOOP BICYCLE RACKS
- 11 (E) AC TRANSIT BUS STOP WITH BENCH
- 12 OUTDOOR SEATING AREA, SEE LANDSCAPE DRAWINGS
- 13 EXTERIOR STAIR
- 14 PARAPET/RAILING
- 15 MECHANICAL CHASE
- 16 BARBEQUE
- 17 NOT USED
- 18 FIRE ACCESS STAIR
- 19 METAL ROOF / MATCH SIDING SEE ELEVATIONS
- 20 TRASH CHUTE

LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- WALL
- PROPERTY LINE

revisions	by
DRG SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 5/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRG SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/03/18	AY

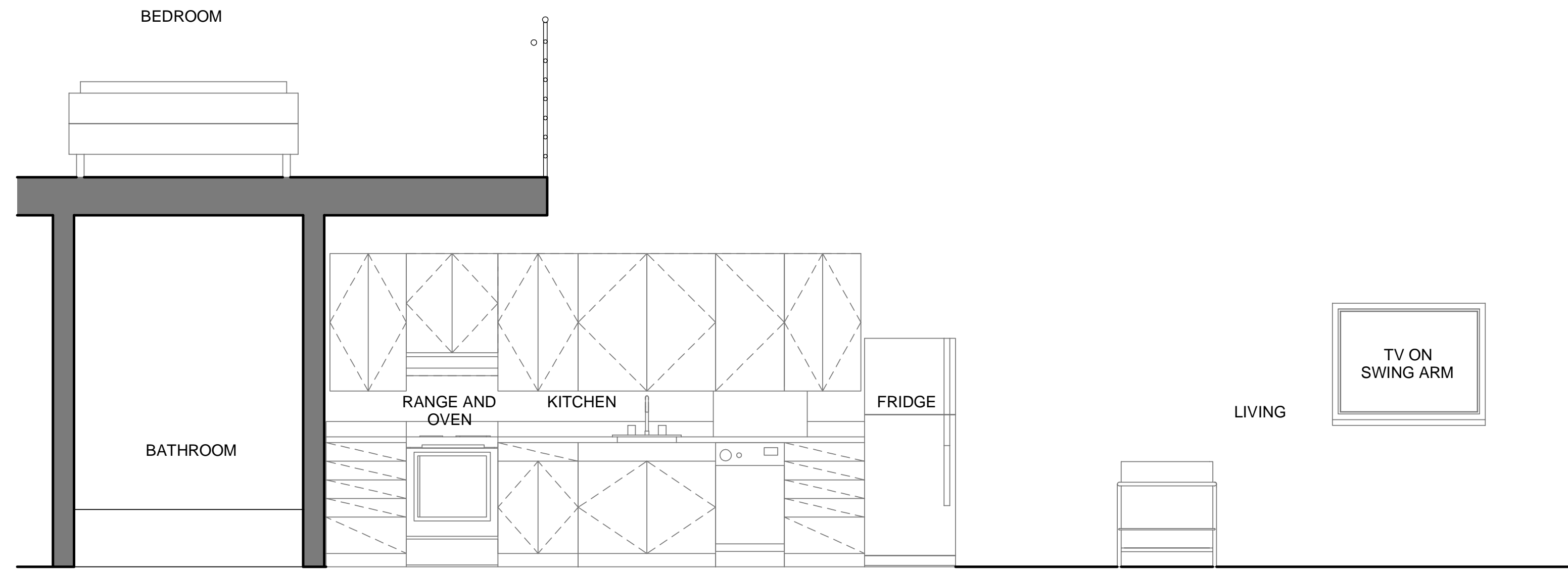


2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
ENLARGED
 LOBBY
 PLANS

drawn
checked RH
date 3/07/18
scale 3/16" = 1'-0"
job no. 1202
sheet

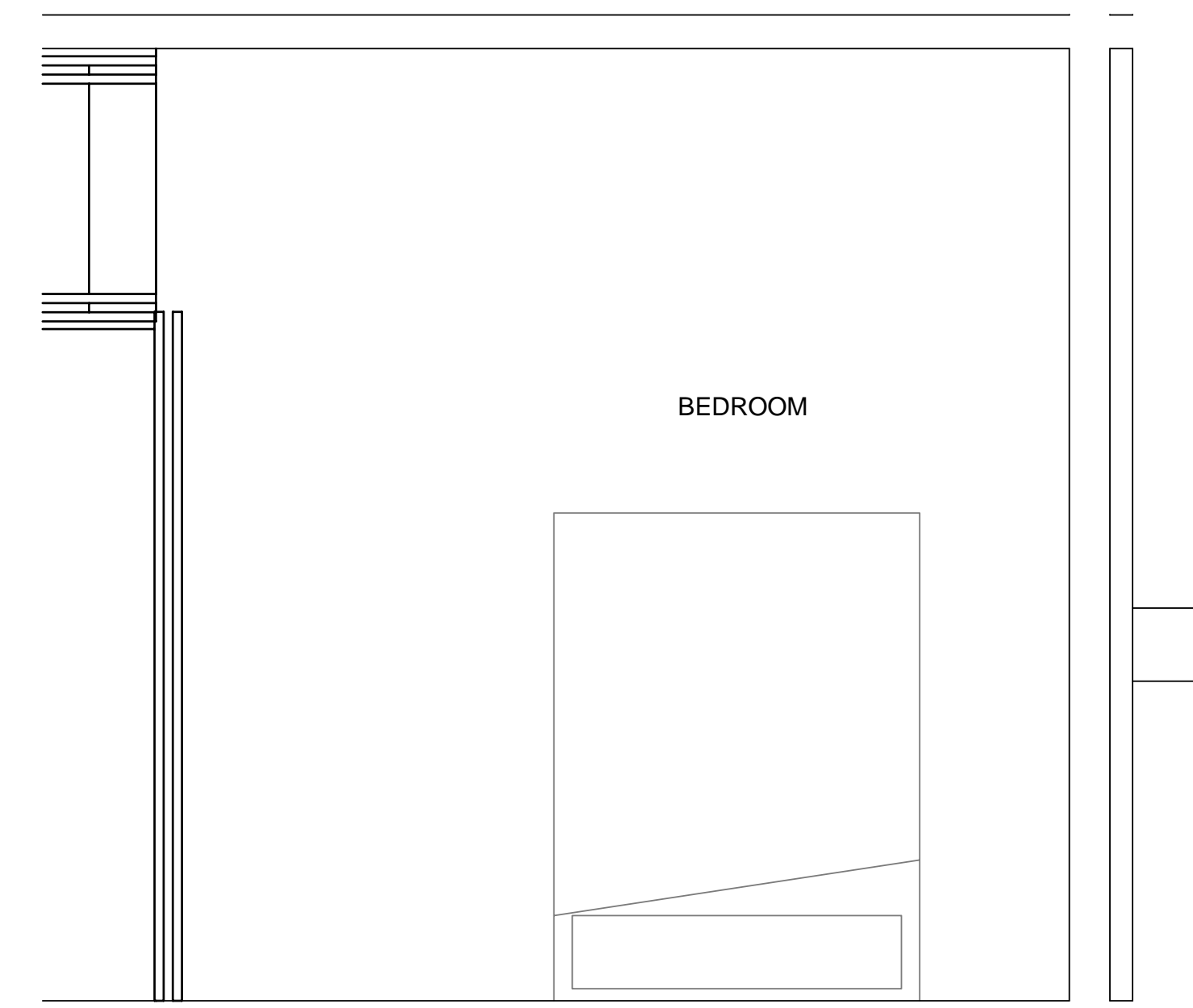
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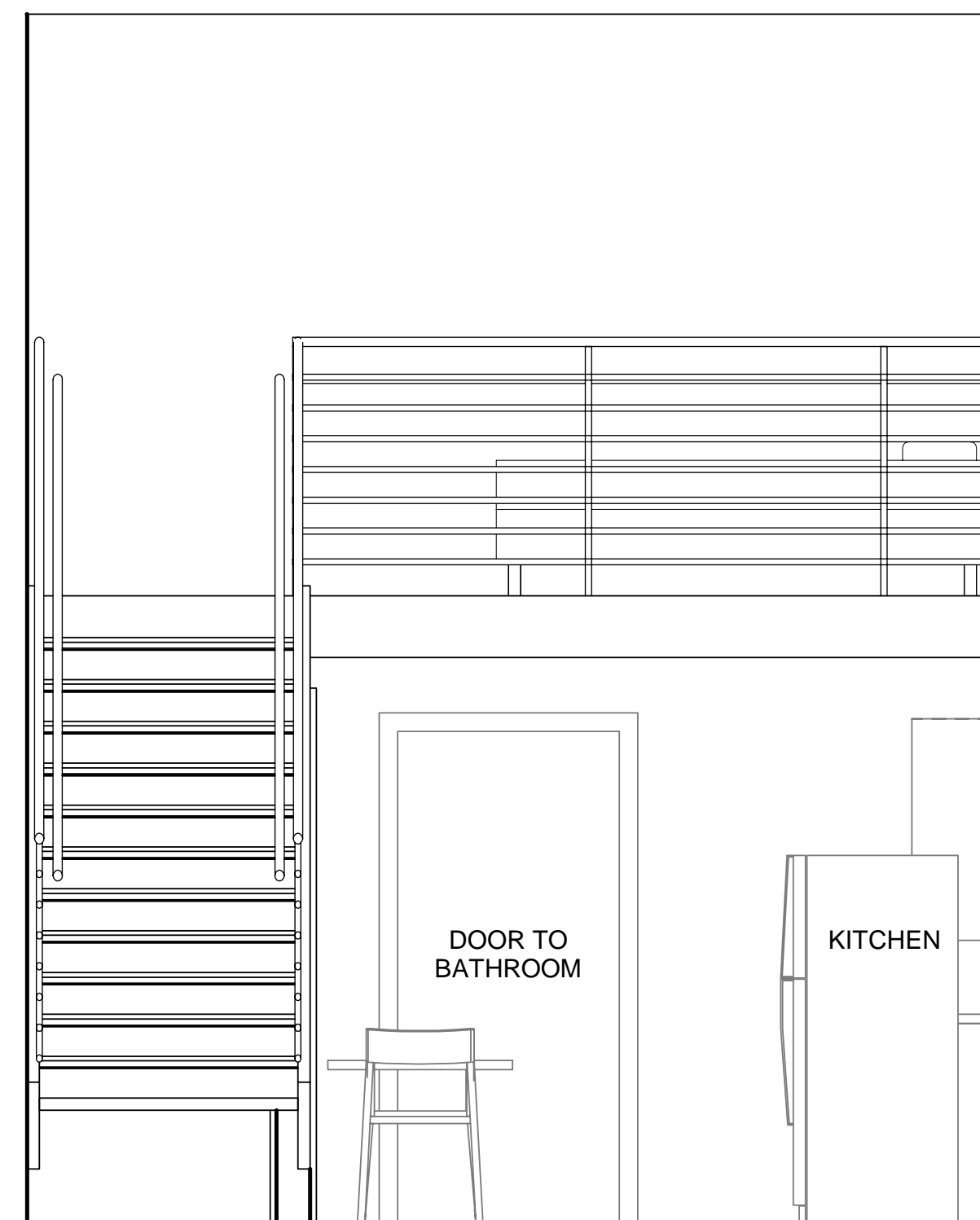
5 SOUTH ELEVATION OF TOWNHOUSE
1/2" = 1'-0"



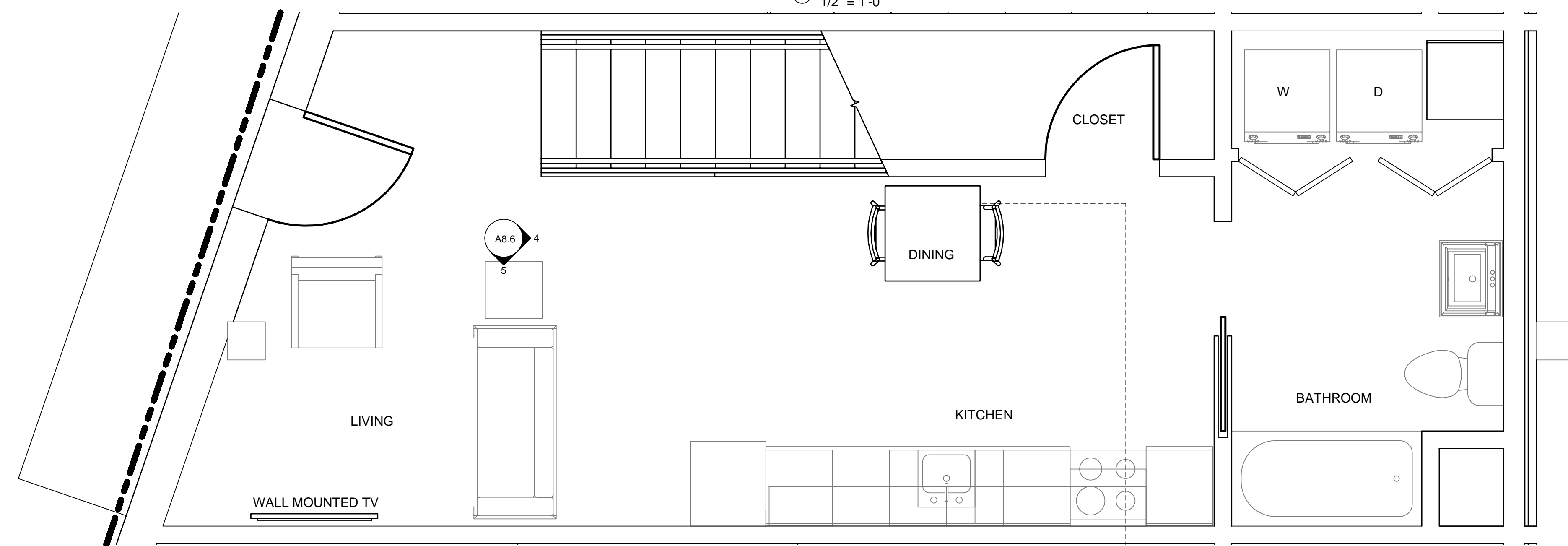
3 SECTION PERSPECTIVE OF TOWNHOUSE



2 TOWN HOUSE MEZZANINE
1/2" = 1'-0"



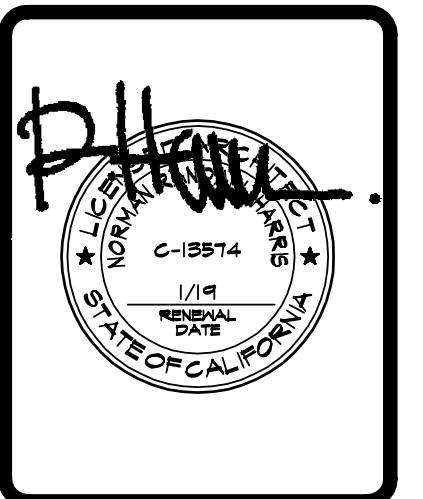
4 WEST ELEVATION OF TOWNHOUSE
1/2" = 1'-0"



1 TOWNHOUSE
1/2" = 1'-0"

revisions	by
DRG SUBMITTAL 12/15/16 & 1/21/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 5/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRG SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/03/18	AY

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BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

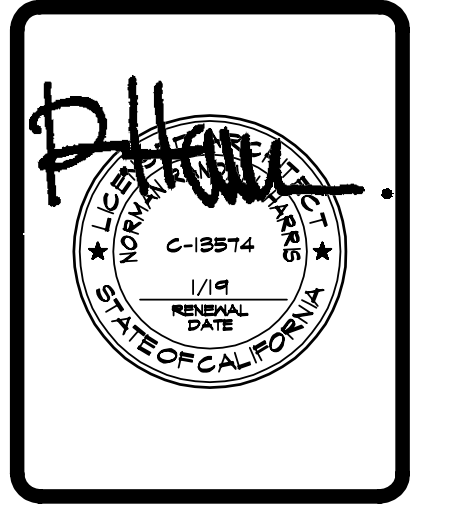
drawing
TOWNHOUSE
PLANS

drawn
checked
RH
date
3/07/18
scale
1/2" = 1'-0"
job no.
1802
sheet

A8.6

revisions	by
PRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
PRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/08/18	AY

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2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
3D VIEWS

drawn
checked
RH
date
3/07/18
scale
NO SCALE
job no.
1202
sheet
A9.1



3D VIEW LOOKING NORTH FROM
STORAGE BUILDING



3D VIEW LOOKING WEST ON DERBY STREET



3D VIEW FROM WALKER STREET



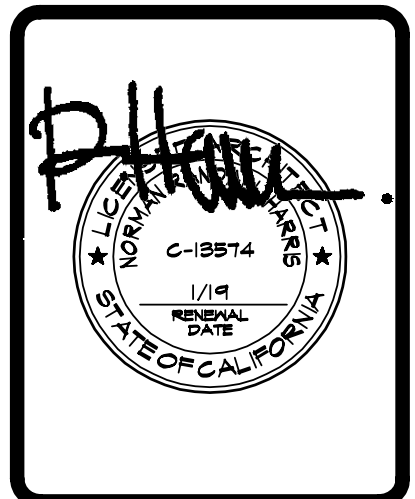
3D VIEW OF DERBY STREET EXIT



3D VIEW OF DERBY FACADE

revisions	by
PRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
PRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/08/18	AY

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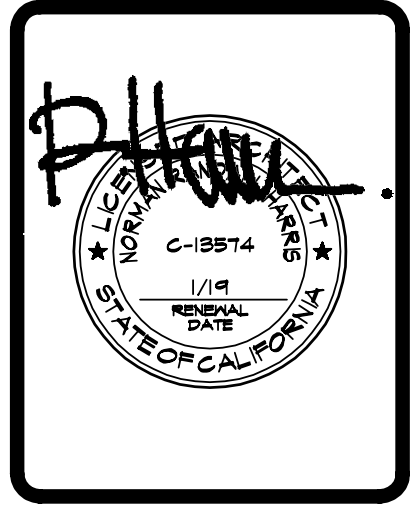
2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
3D VIEWS

drawn
checked
RH
date
3/07/18
scale
NO SCALE
job no.
1802
sheet
A9.2

revisions	by
PRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
PRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/08/18	AY

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**2701 SHATTUCK AVENUE
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FOR:
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drawing
3D VIEWS

drawn
checked
RH
date
3/07/18
scale
NO SCALE
job no.
1802
sheet

A9.3



3D VIEW OF FOURTH FLOOR OPEN SPACE



3D VIEW OF PODIUM OPEN SPACE



BIRD'S EYE VIEW OF NORTHWEST CORNER



BIRD'S EYE VIEW OF SOUTHWEST CORNER



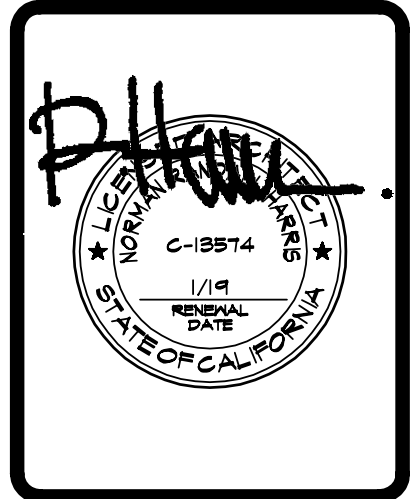
BIRD'S EYE VIEW OF NORTHEAST CORNER



BIRD'S EYE VIEW OF SOUTHEAST CORNER

revisions	by
PRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
PRC SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/08/18	AY

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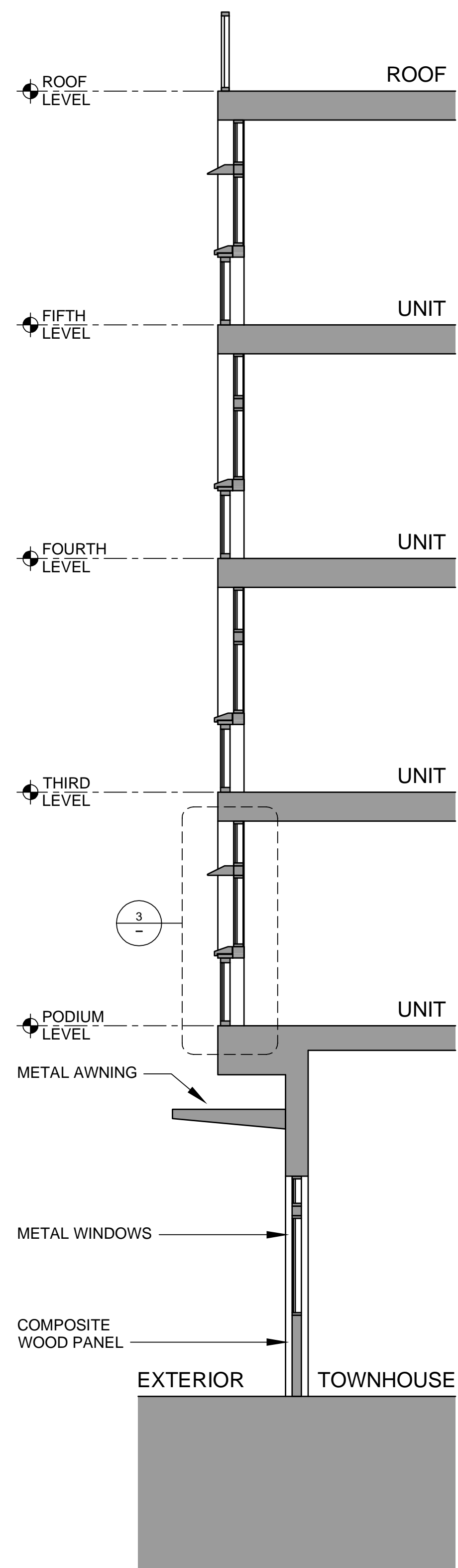


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FOR:
2701 SHATTUCK BERKELEY, LLC**

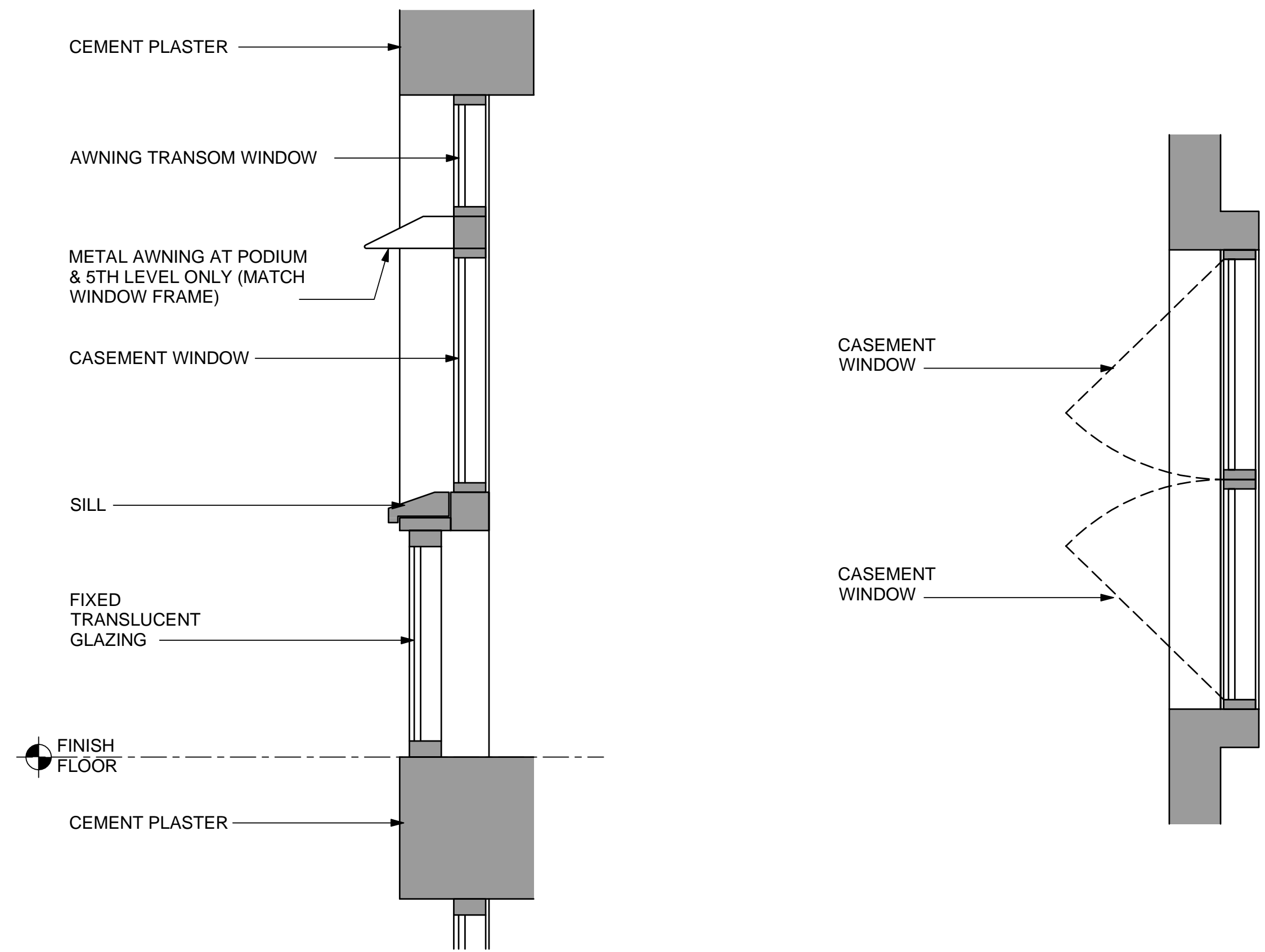
drawing
3D VIEWS

drawn
checked
RH
date
3/07/18
scale
NO SCALE
job no.
1802
sheet

A9.4



4 WALL SECTION
1/4" = 1'-0"



3 TYPICAL SECTION AT WINDOW SYSTEM
3/4" = 1'-0"

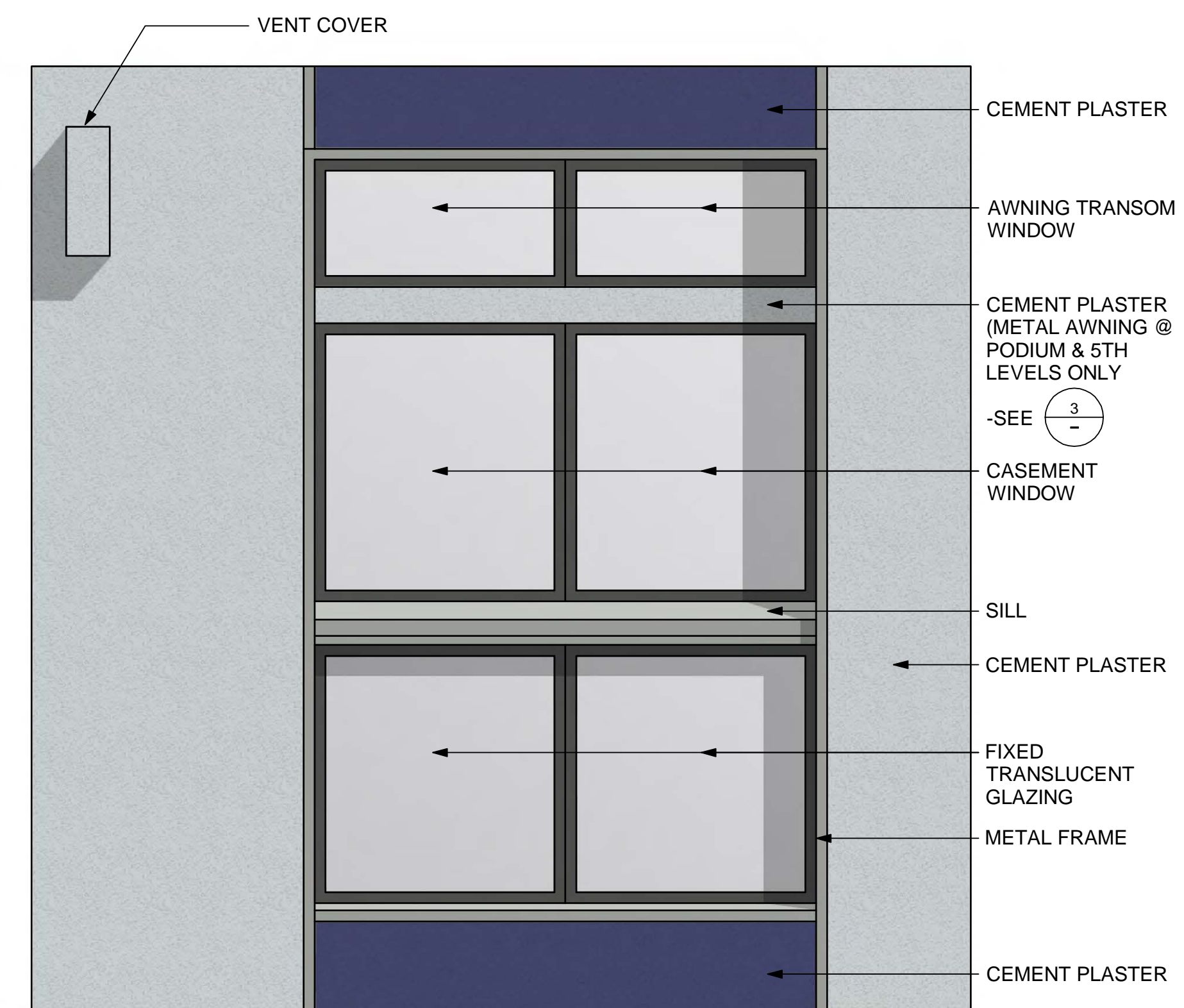
1 WINDOW SYSTEM PLAN
3/4" = 1'-0"



2 DETAIL ELEVATION OF UNIT WINDOW
3/4" = 1'-0"



A



B

revisions	by
DRG SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY
DRG SUBMITTAL 9/20/18	AY
ZAB SUBMITTAL 1/08/18	AY

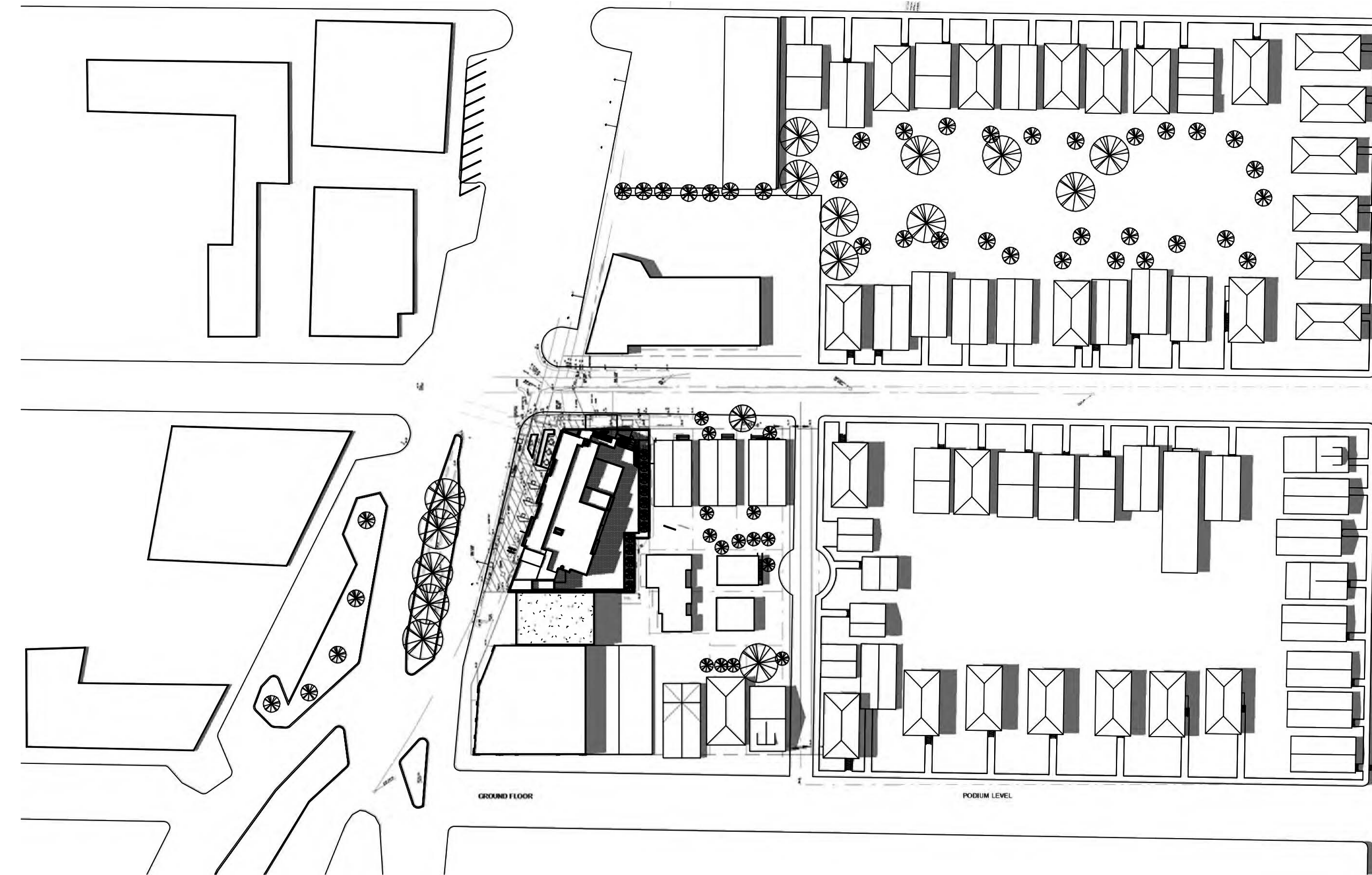
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(925) 256-6042

**2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC**

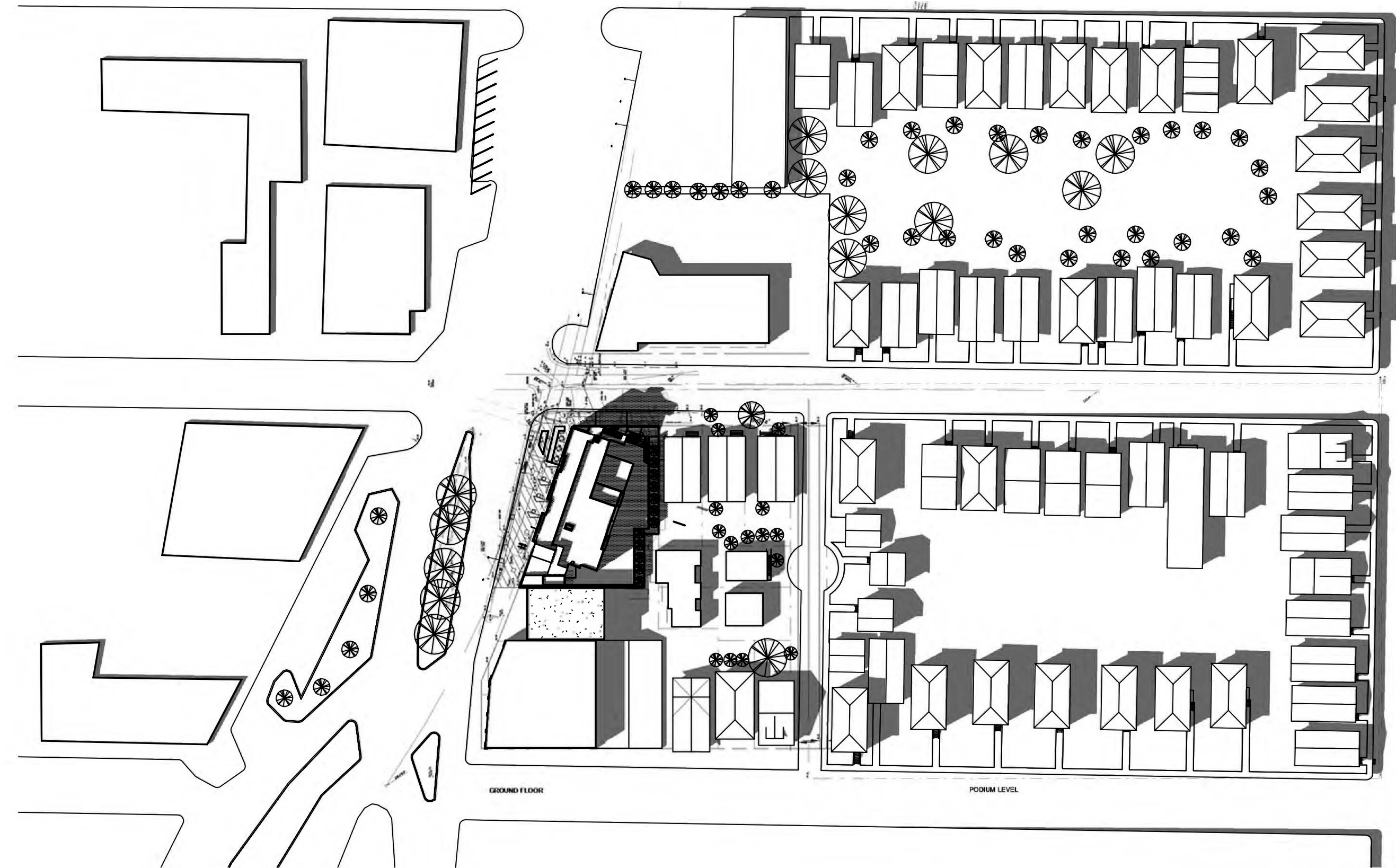
drawing
**WINDOW
ASSEMBLY**

drawn
MM/AY
checked
RH
date
3/07/18
scale
AS SHOWN
job no.
1202
sheet

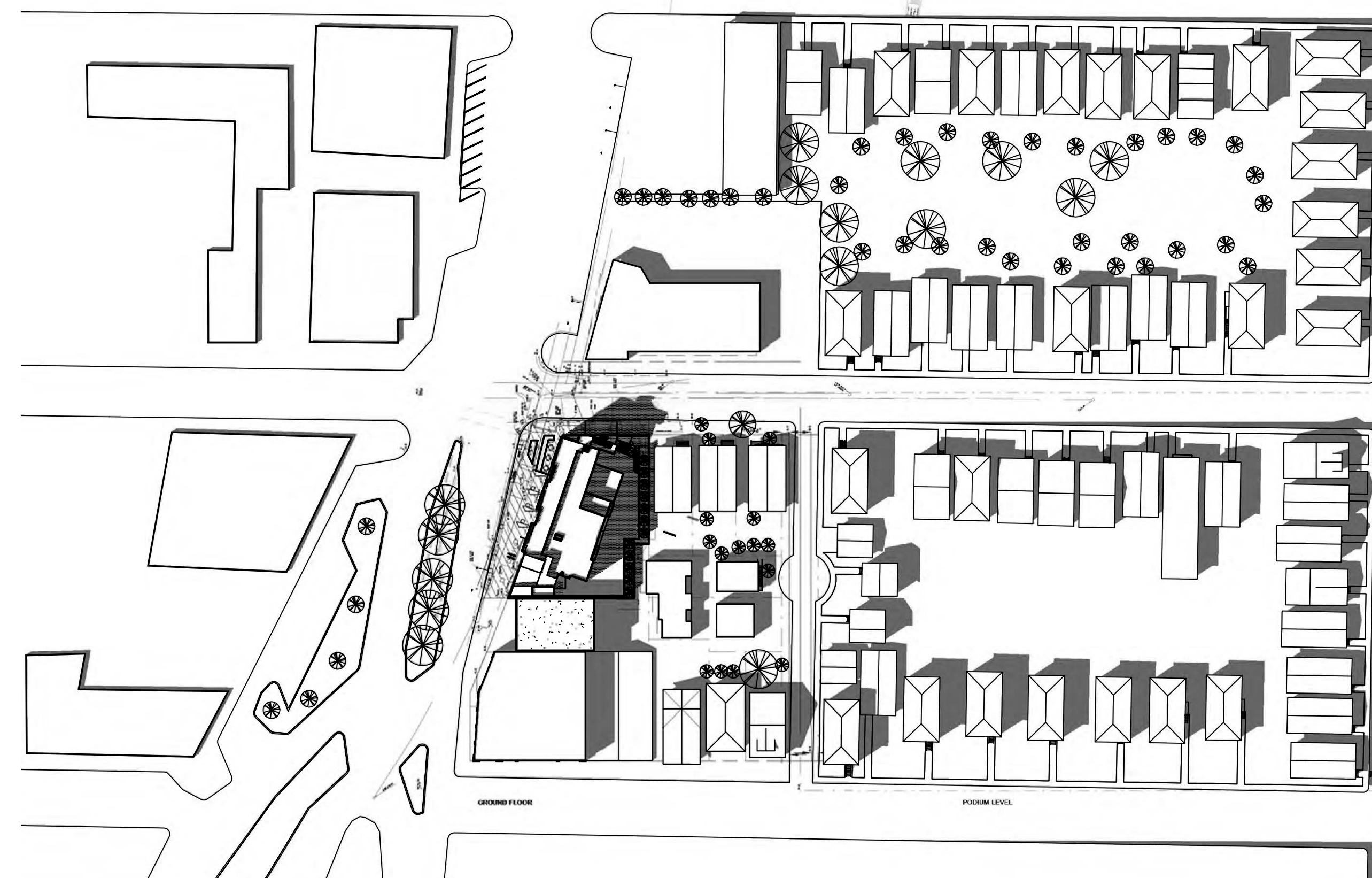
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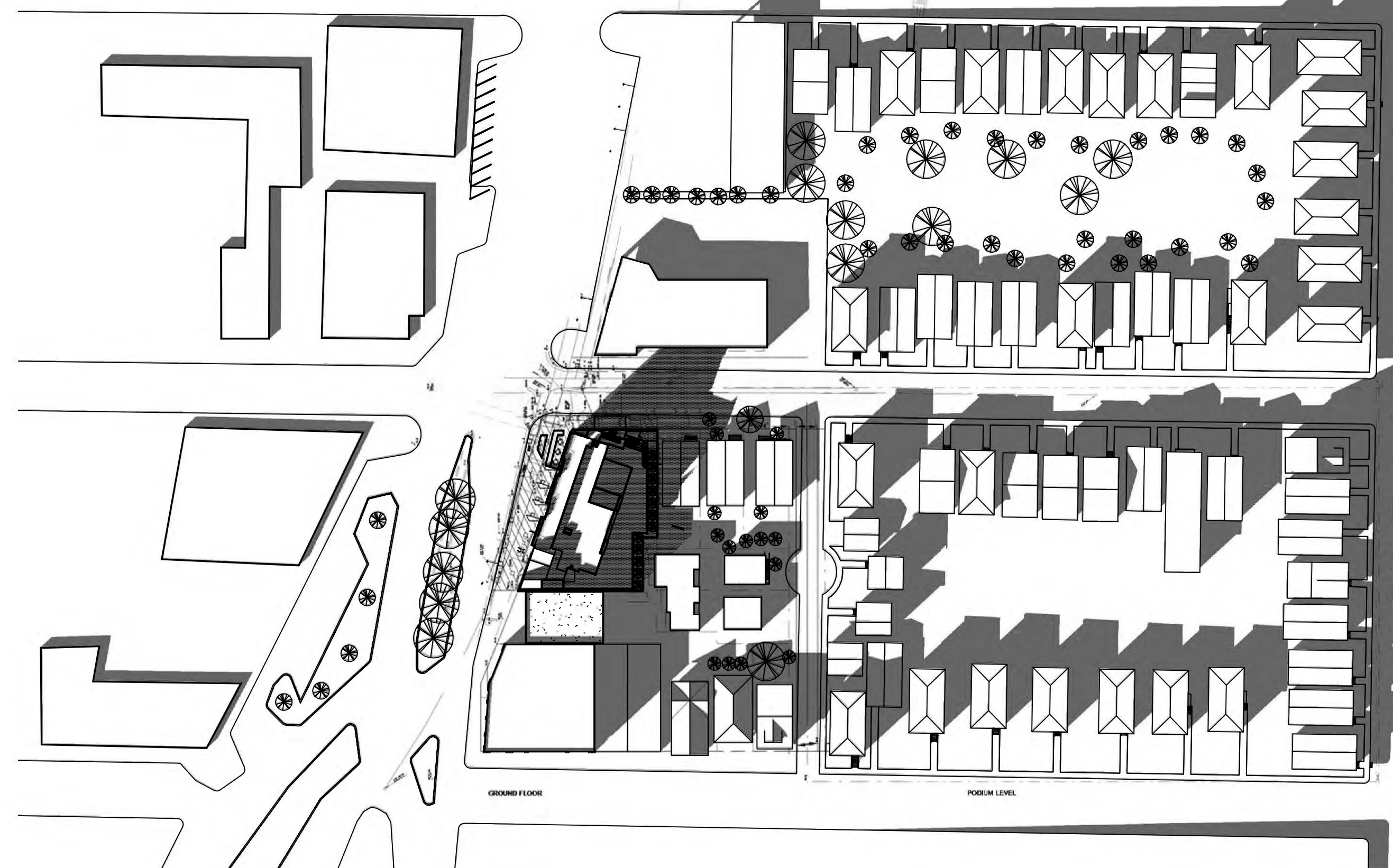
JUNE 21, 2 PM



SEPTEMBER 21, 2 PM



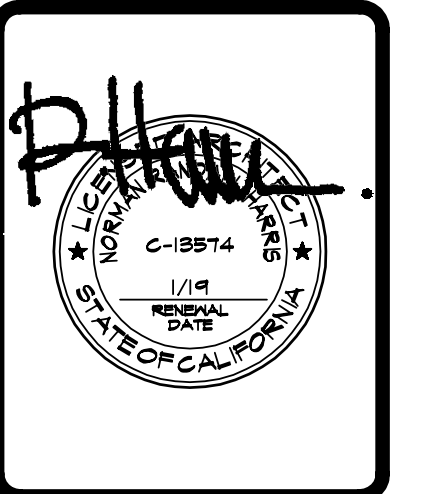
MARCH 21, 2 PM



DECEMBER 21, 2 PM

revisions	by
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ZAB SUBMITTAL 9/12/17	-
ZAB SUBMITTAL 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY

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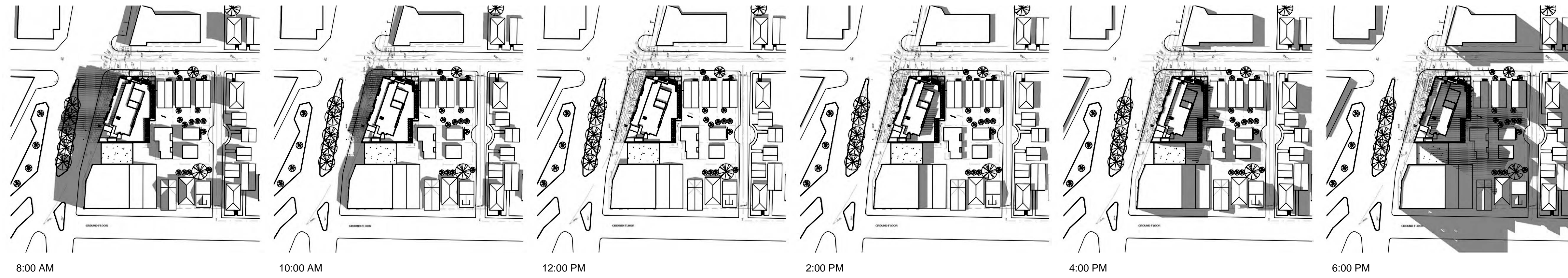
**2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC**

drawing
**SHADOW STUDY
-AFTERNOON**

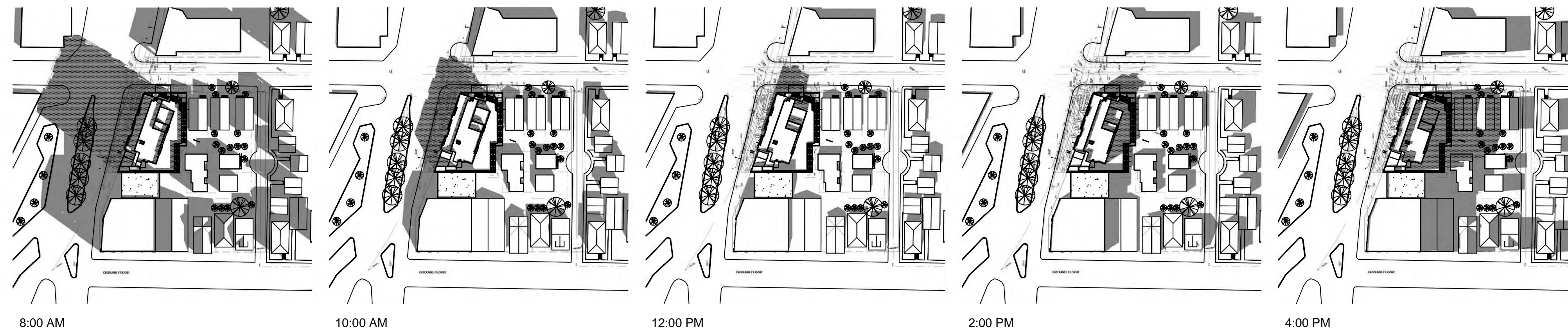
drawn
checked
RH
date
3/07/18
scale
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job no.
1802
sheet

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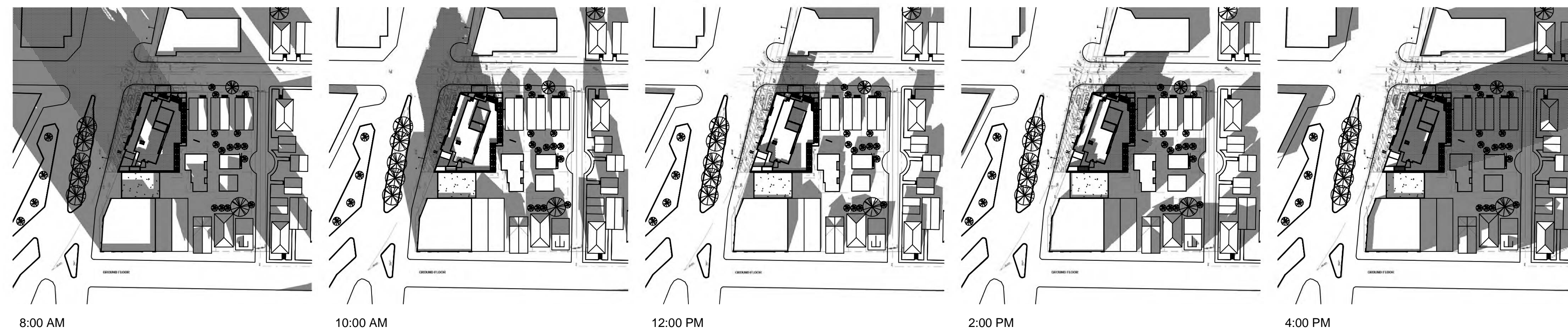
JUNE 21



SEPTEMBER 21, MARCH 21

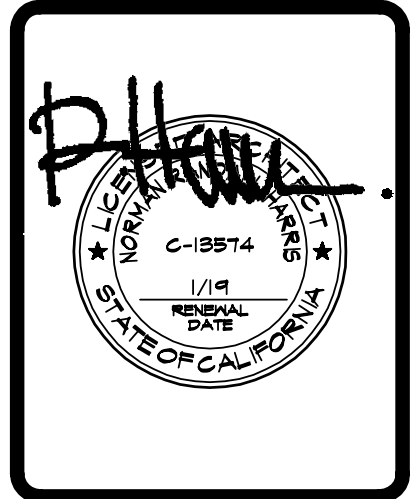


DECEMBER 21



revisions	by
PRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17	-
ZAB SUBMITTAL 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY

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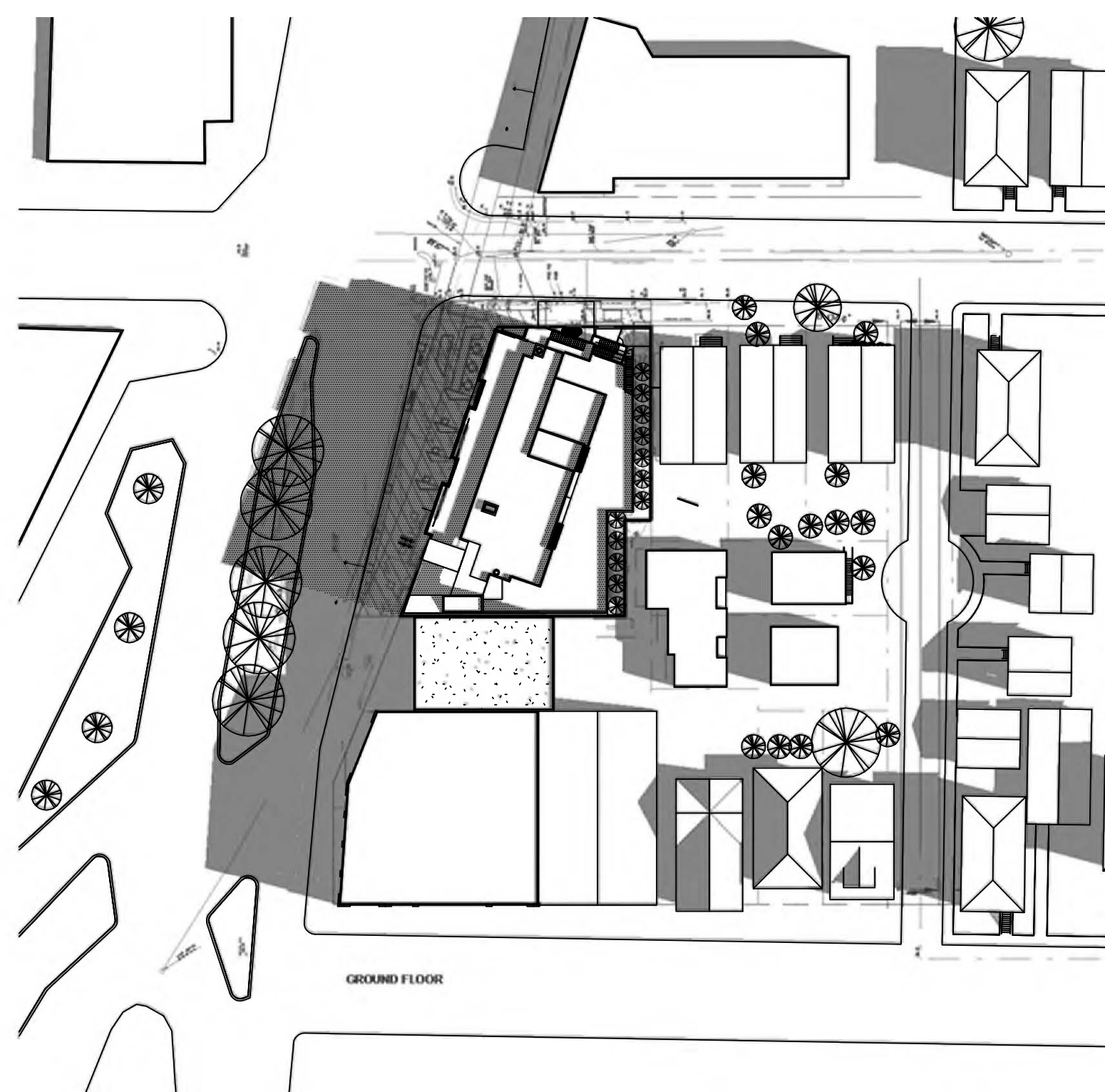
**2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC**

drawing
**SHADOW STUDY
-SEASONAL**

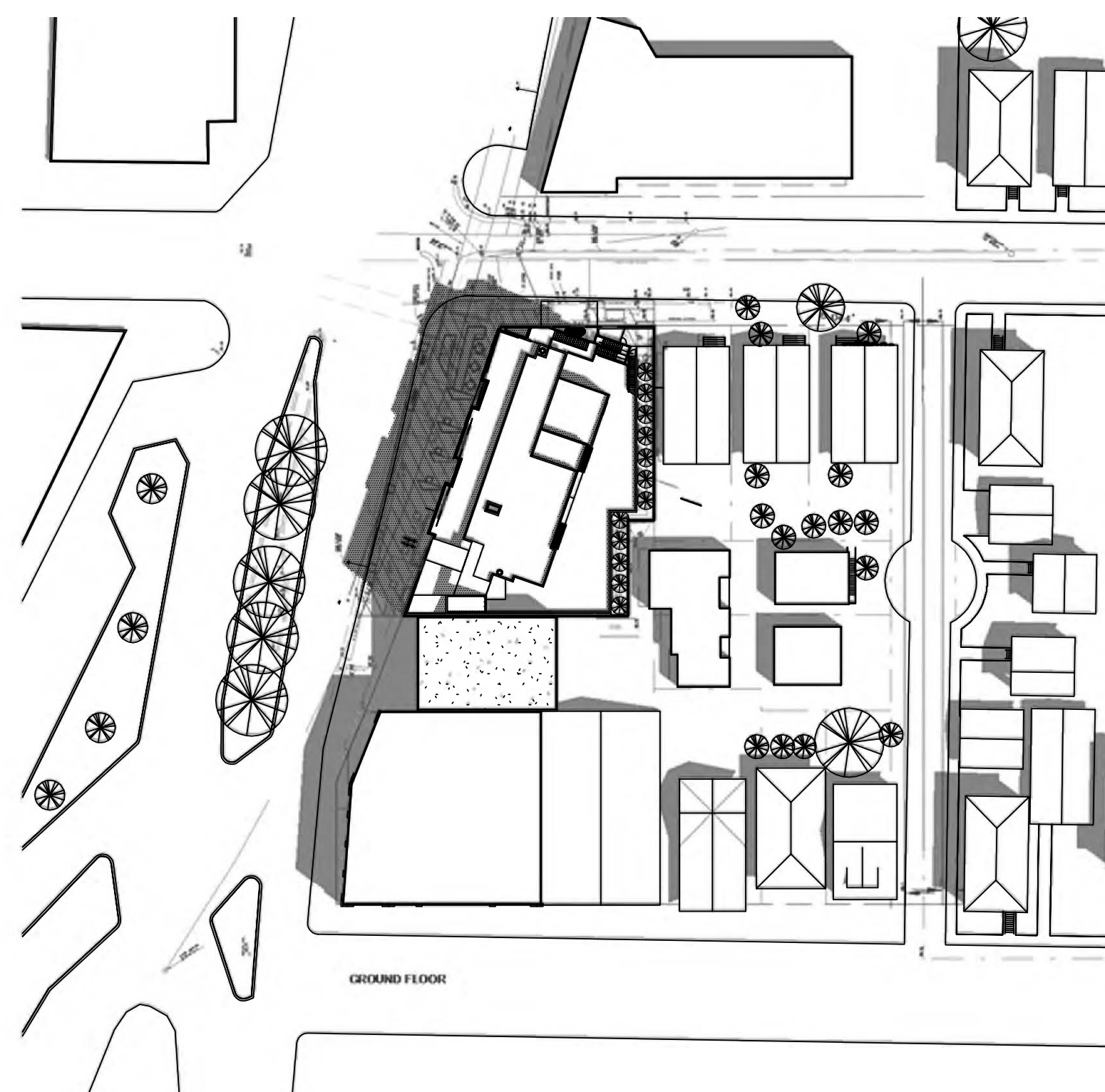
drawn
checked
RH
date
3/07/18
scale
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job no.
1802
sheet



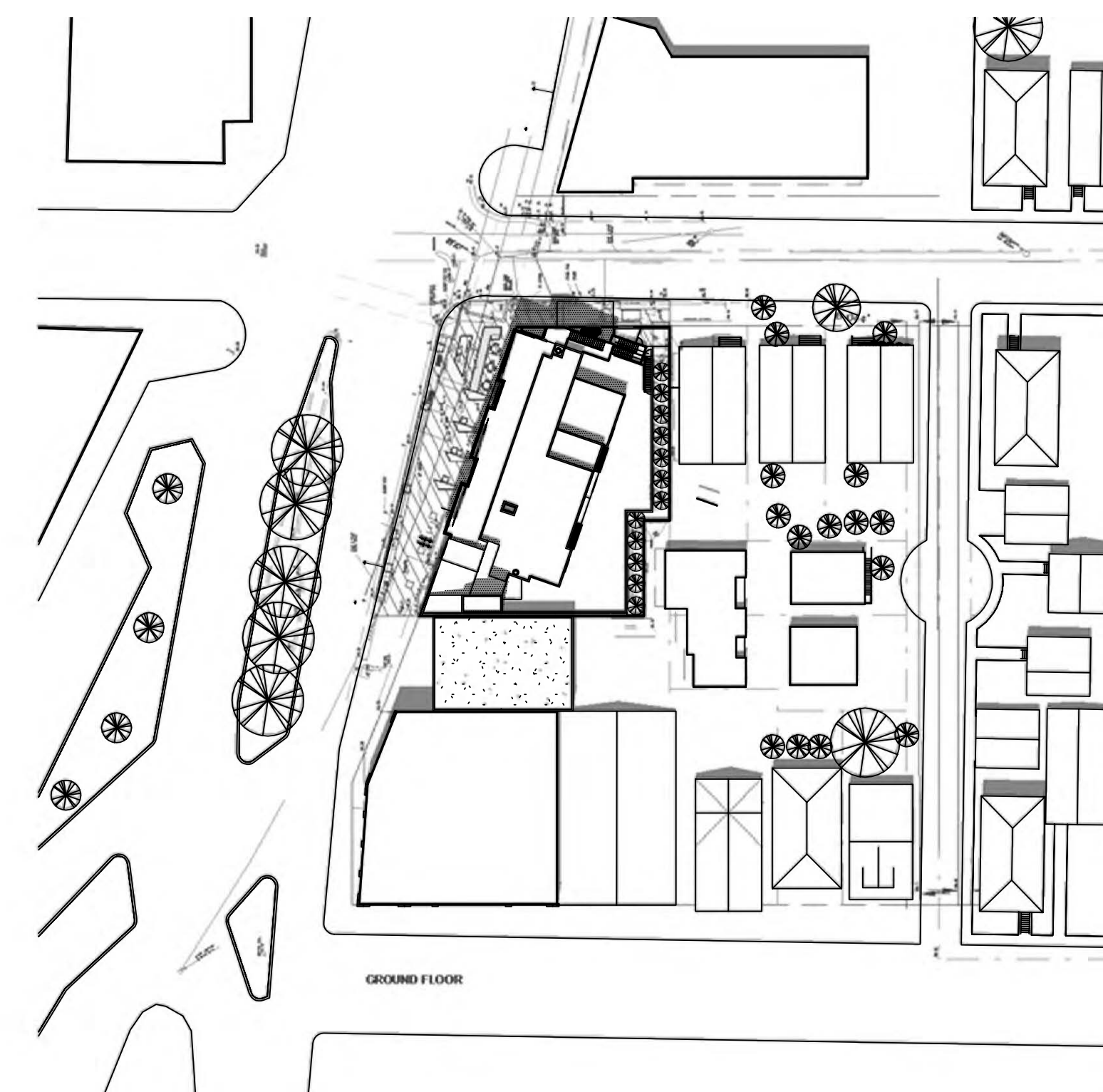
JUNE 21



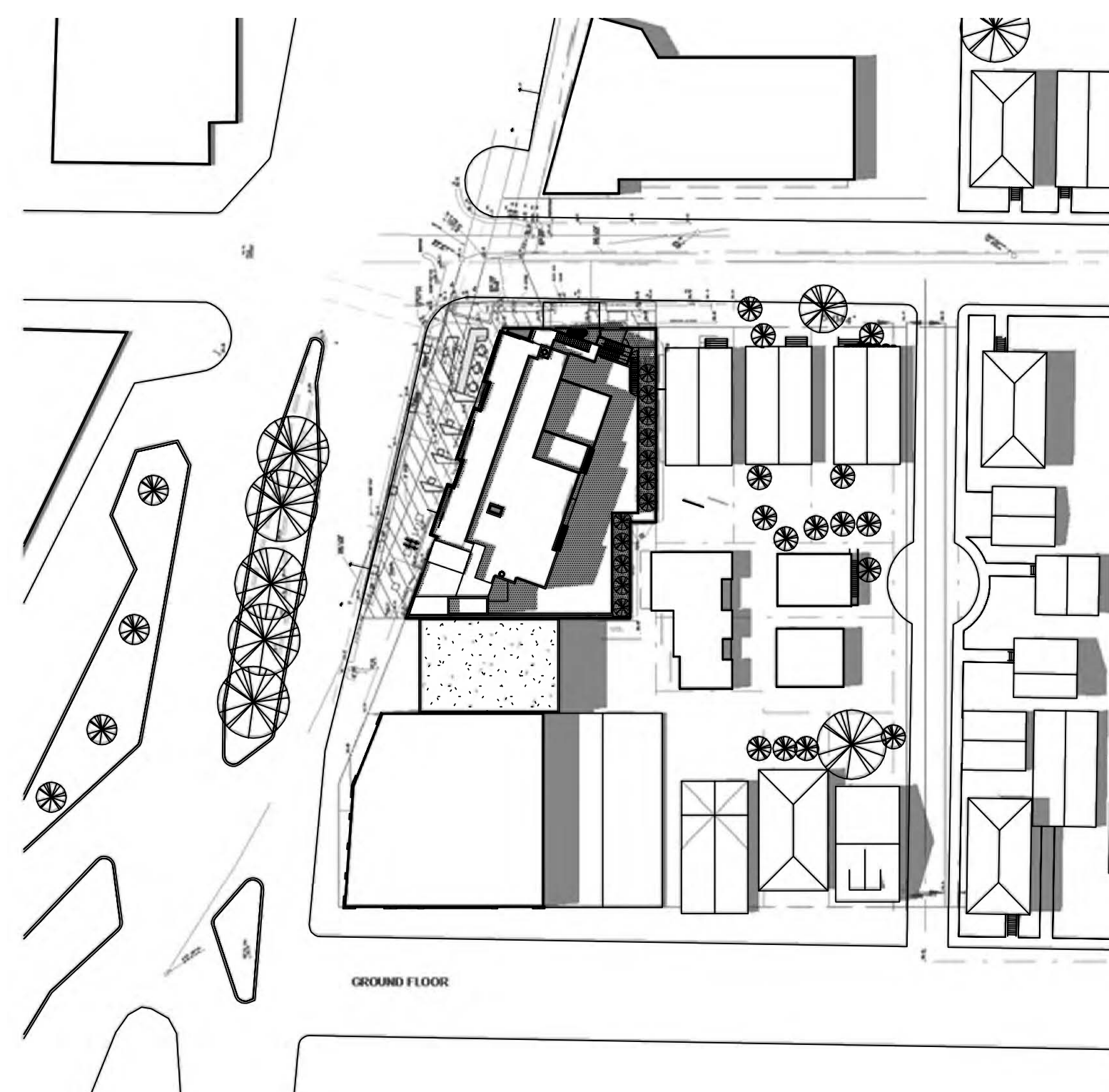
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 1" = 60'-0"



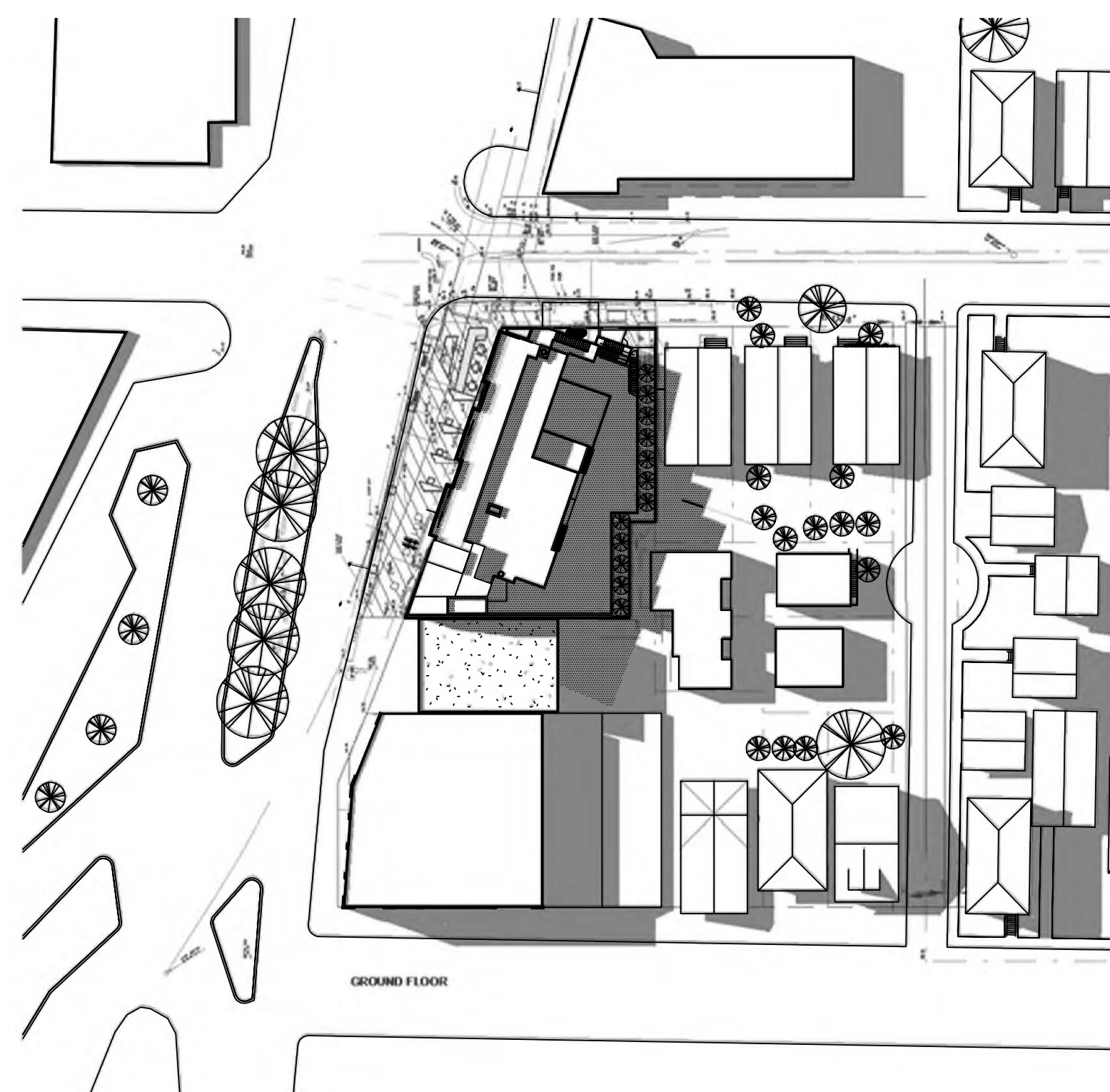
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③ JUNE 21, 12 PM
 1" = 60'-0"



④ JUNE 21, 2 PM
 1" = 60'-0"



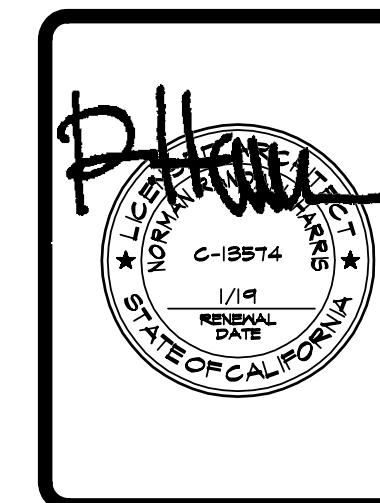
⑤ JUNE 21, 4 PM
 1" = 60'-0"



⑥ JUNE 21, 6 PM
 1" = 60'-0"

revisions	by
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ZAB SUBMITTAL 9/12/17	-
ZAB SUBMITTAL 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY

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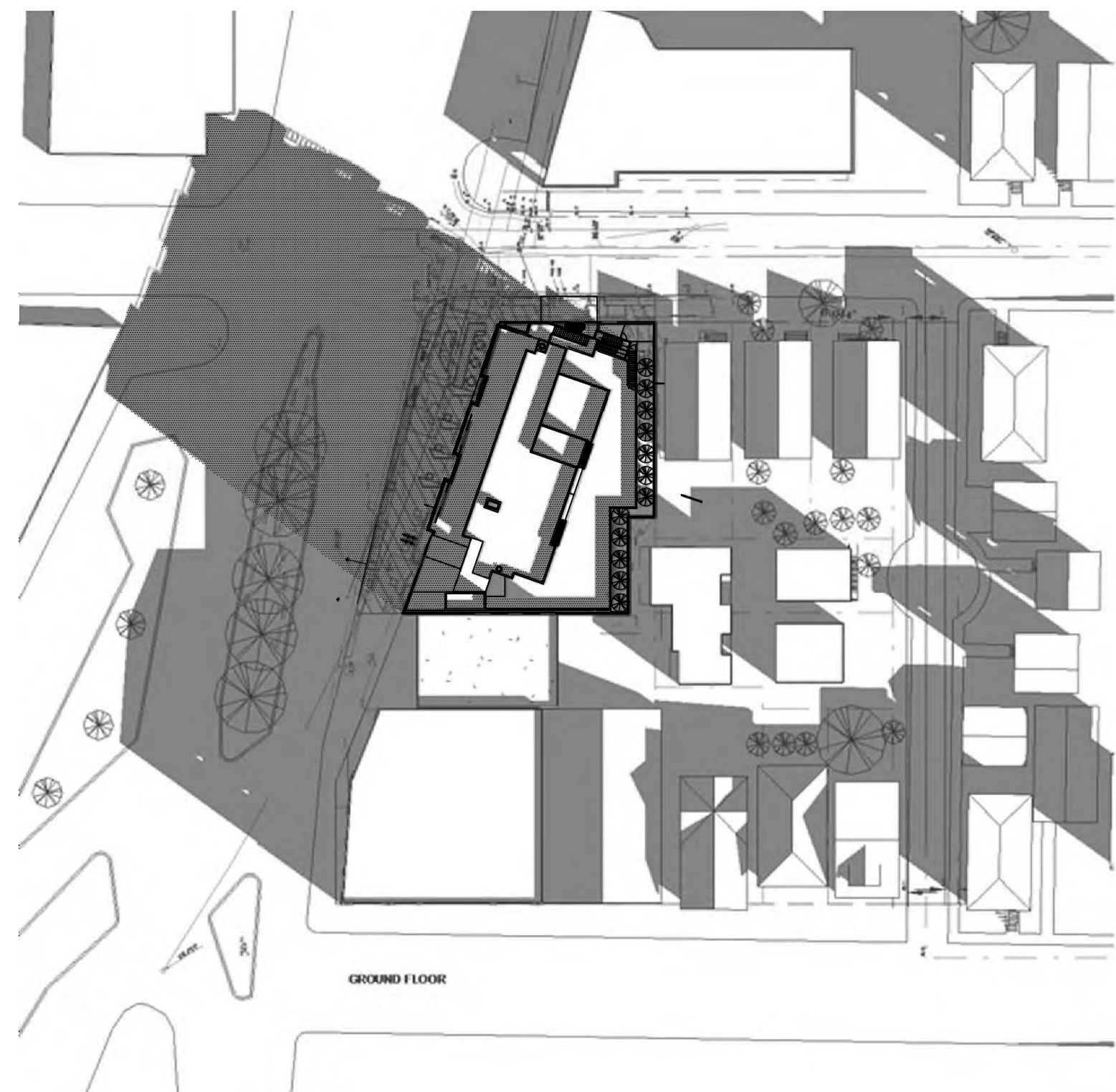
**2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
 2701 SHATTUCK BERKELEY, LLC**

drawing
**SHADOW STUDY
 -JUNE 21**

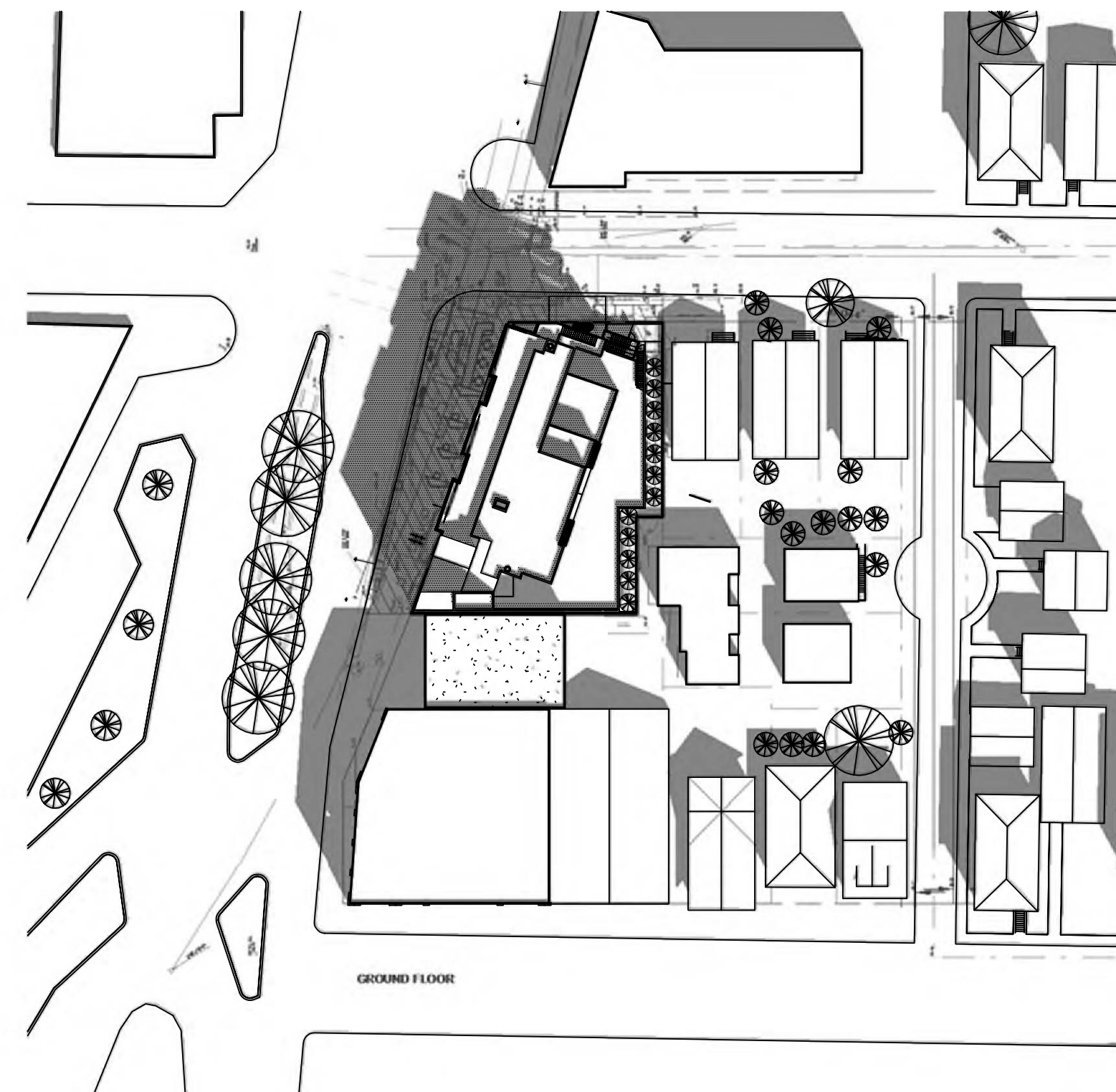
checked RH	date	scale	job no.	sheet
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S|.2

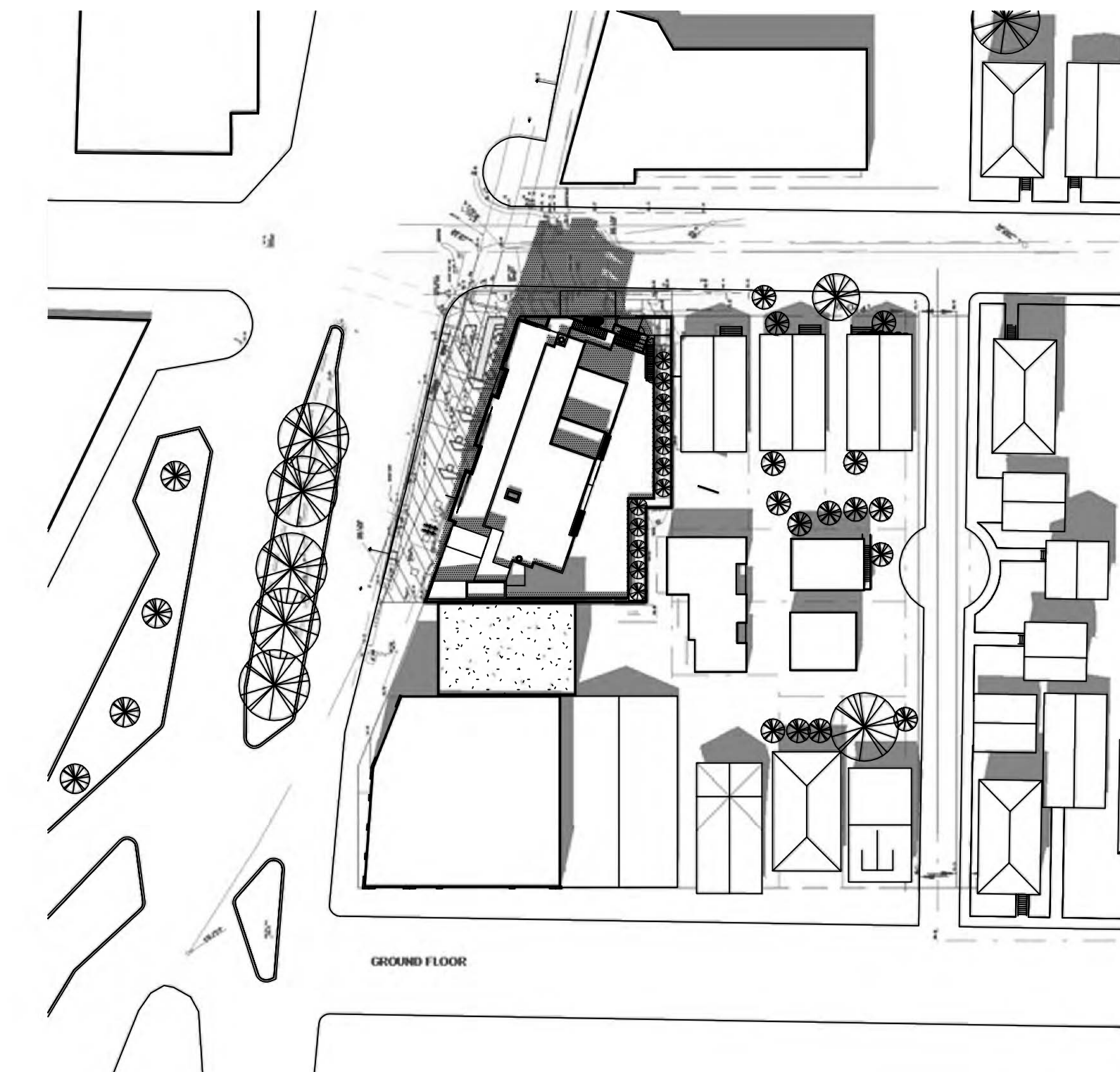
SEPTEMBER 21, MARCH 21



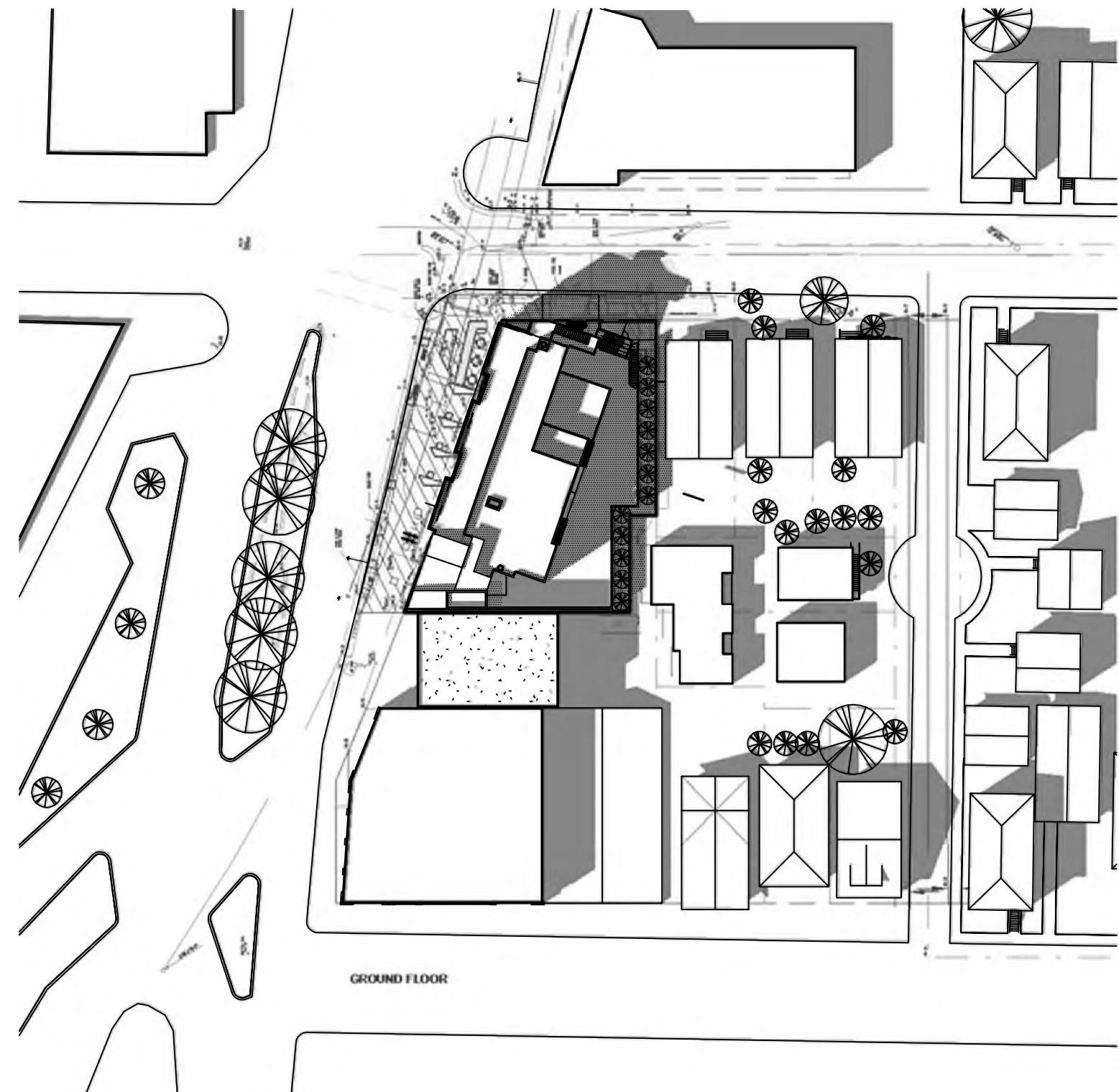
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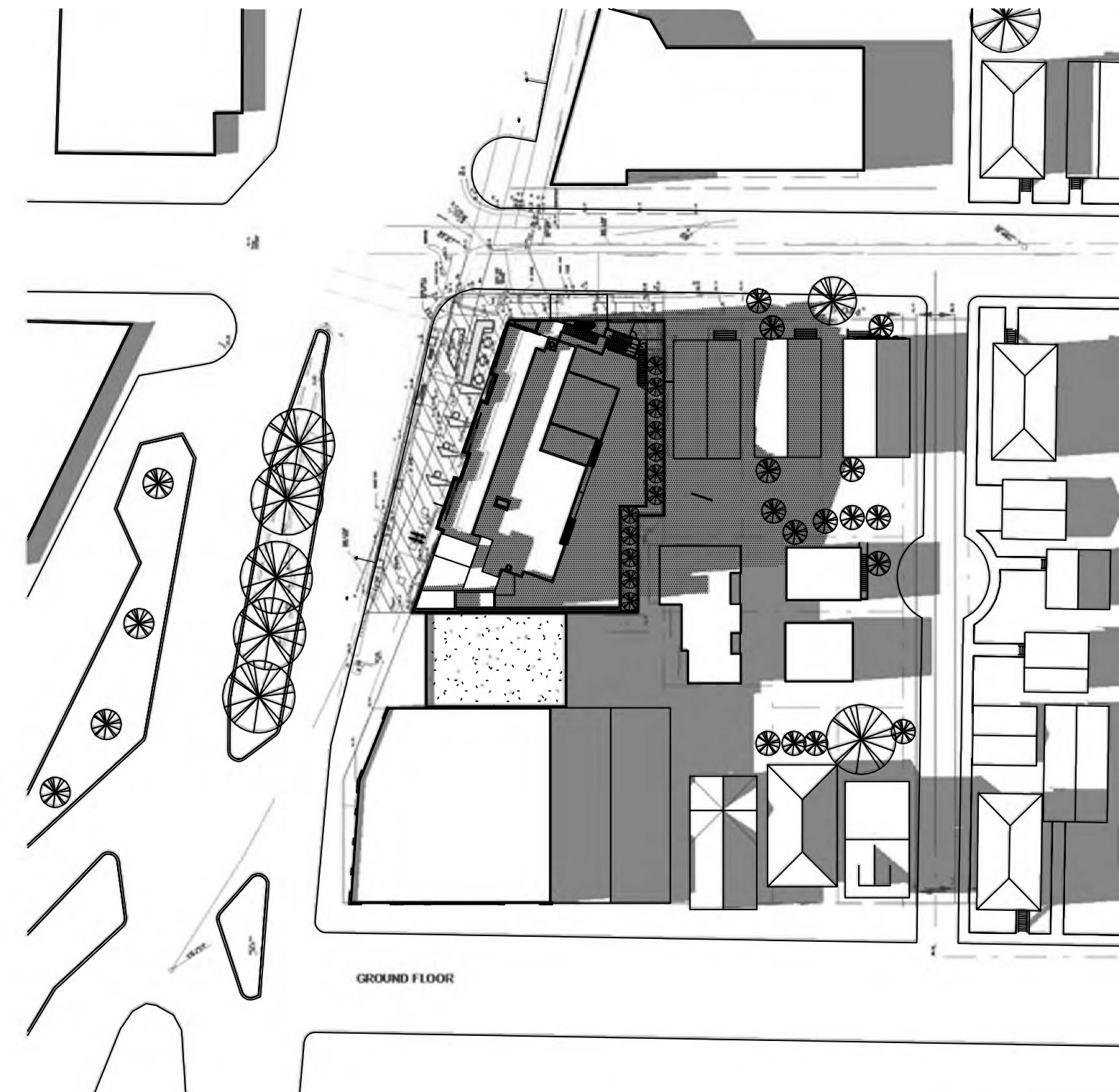
② MARCH 21, SEPTEMBER 21, 10 AM
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③ MARCH 21, SEPTEMBER 21, 12 PM
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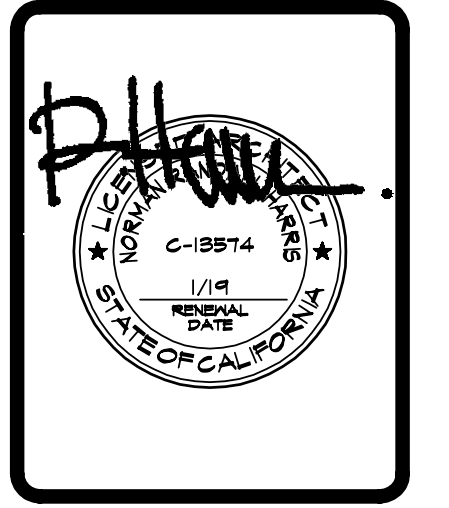
④ MARCH 21, SEPTEMBER 21, 2 PM
 1" = 60'-0"



⑤ MARCH 21, SEPTEMBER 21, 4 PM
 1" = 60'-0"

revisions	by
PRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17	-
ZAB SUBMITTAL 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY

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**2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
 2701 SHATTUCK BERKELEY, LLC**

drawing
 SHADOW STUDY
 -MARCH 21 AND
 SEPTEMBER 21

drawn
checked RH
date 3/07/18
scale 1" = 60'-0"
job no. 1802
sheet

S.3

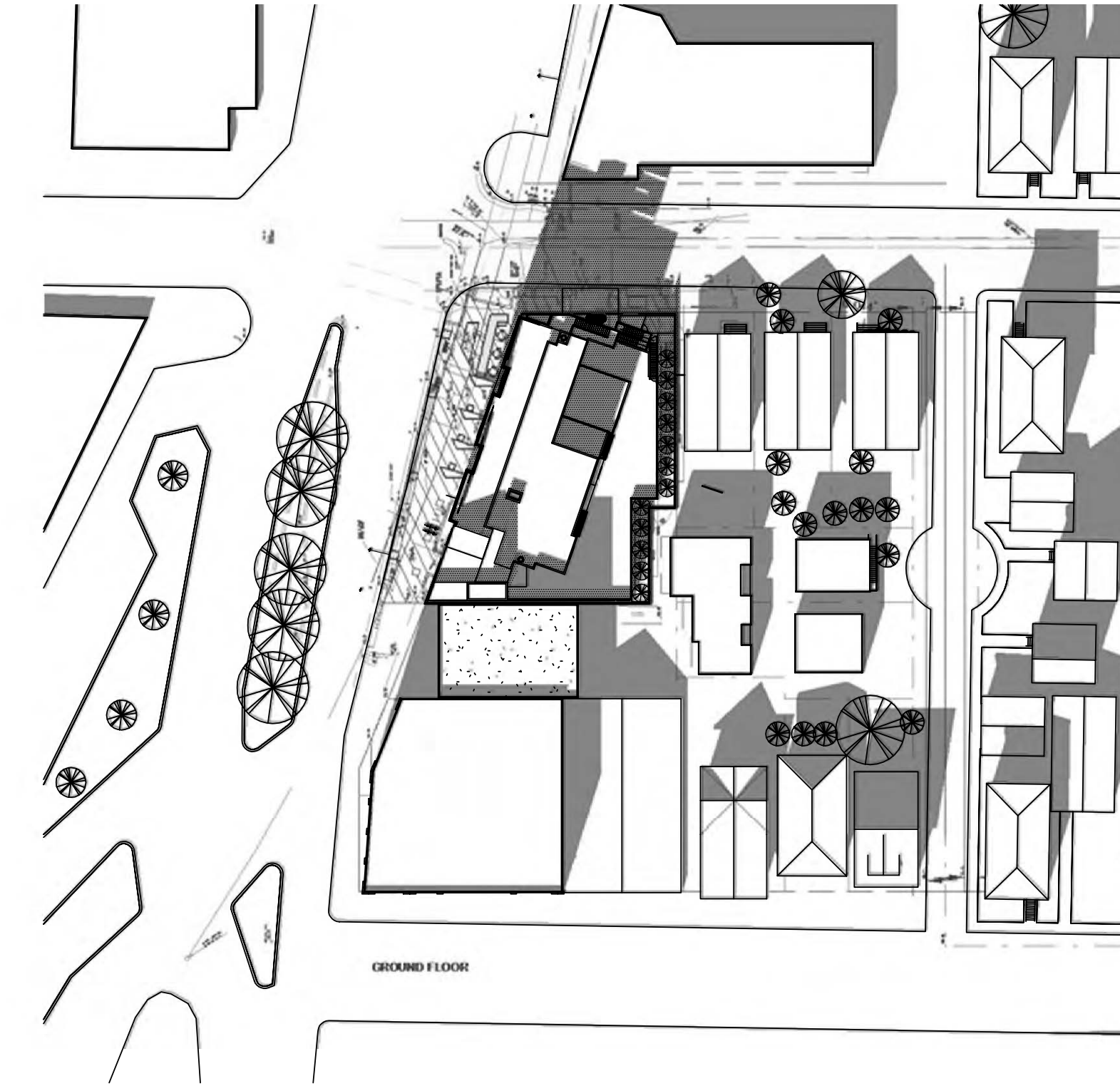
DECEMBER 21



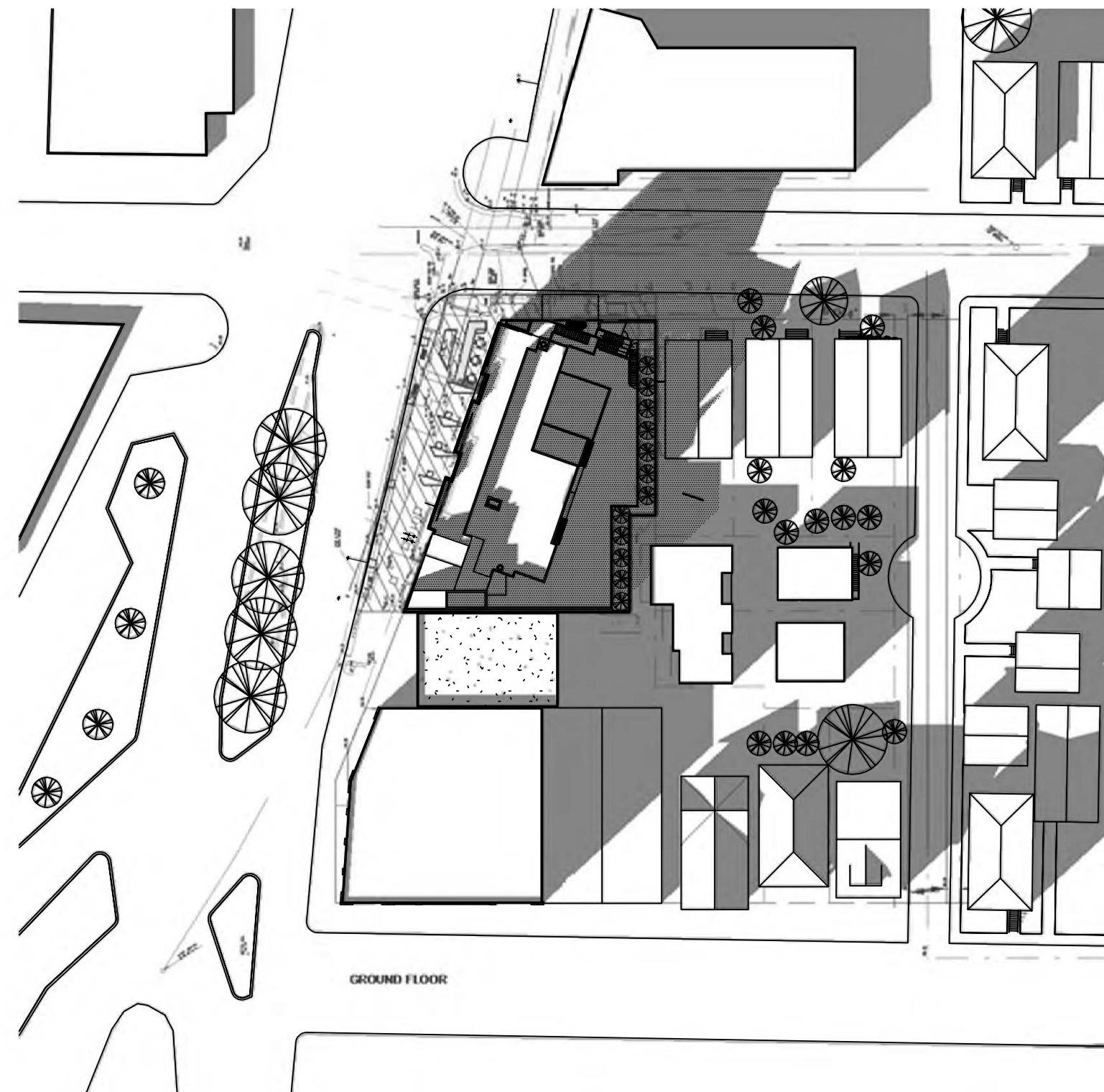
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② DECEMBER 21, 10 AM
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③ DECEMBER 21, 12 PM
 1" = 60'-0"



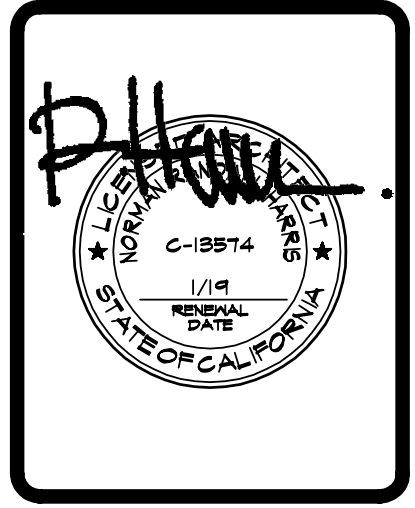
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⑤ DECEMBER 21, 4 PM
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revisions	by
PRC SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17	-
ZAB SUBMITTAL 1/03/18	-
ZAB SUBMITTAL 3/07/18	AY
ZAB SUBMITTAL 6/28/18	AY

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2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
 2701 SHATTUCK BERKELEY, LLC

drawing
 SHADOW STUDY
 -DECEMBER 21

checked RH
date 3/07/18
scale 1" = 60'-0"
job no. 1802
sheet

S.4

2701 SHATTUCK AVENUE CIVIL CONSTRUCTION DOCUMENTS

CITY OF BERKELEY, CALIFORNIA


revisions	by
DRC SUBMITTAL 12/15/16	
DRC SUBMITTAL 1/27/17	
ZAB SUBMITTAL 9/12/17	
ZAB SUBMITTAL 1/03/18	
ZAB SUBMITTAL 3/07/18	
ZAB SUBMITTAL 11/08/2018	



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CALICHI DESIGN GROUP
3000 WILSON AVENUE # 200
OAKLAND, CA 94612
(510) 536-9977
WWW.CALICHI.COM



REDO VICENTE PAVONI
C 69670
EXP. 6-30-2020
CIVIL
STATE OF CALIFORNIA
Redo Vicente Pavoni
10/8/18

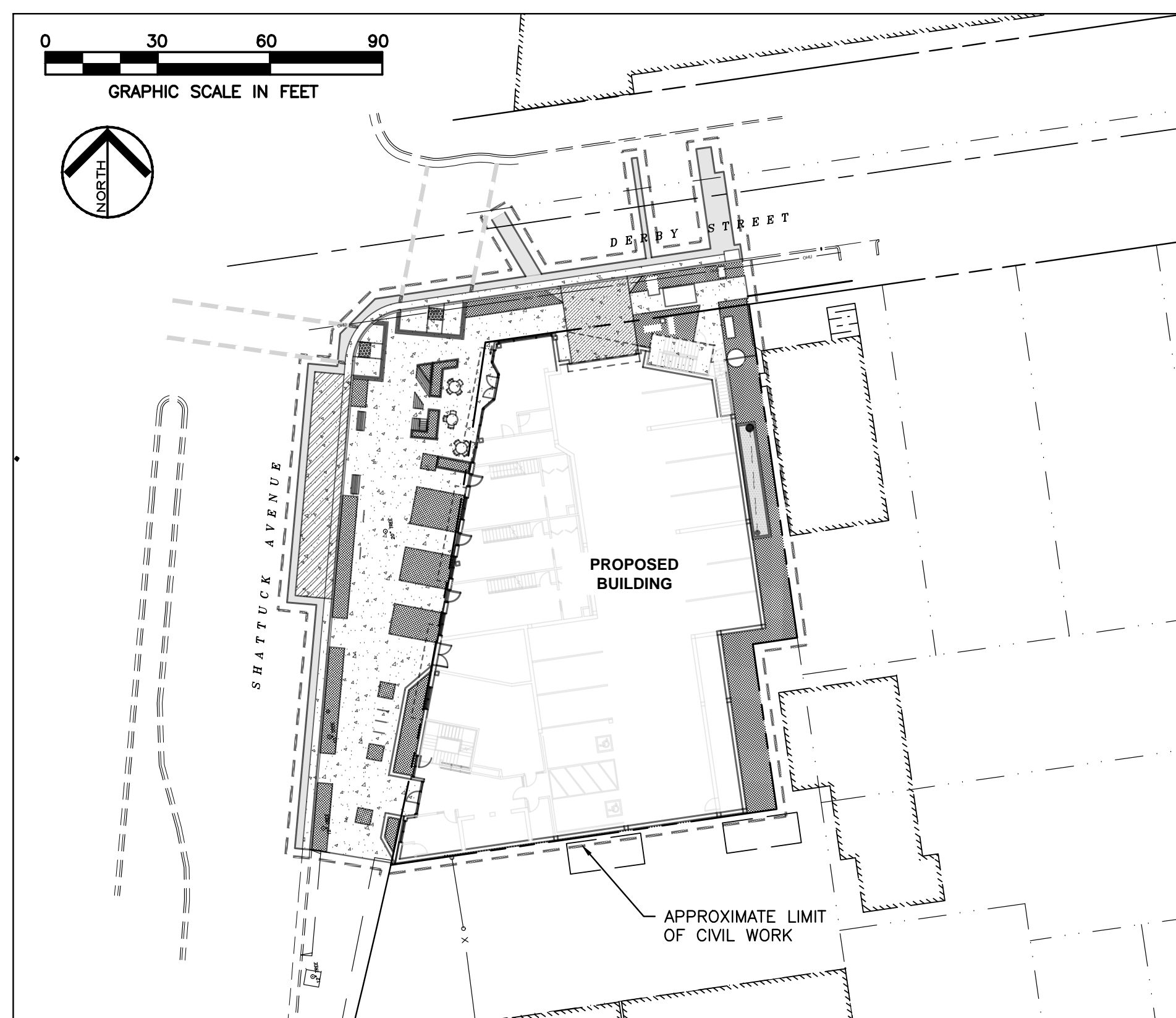
**2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC**

drawing
CIVIL COVER SHEET

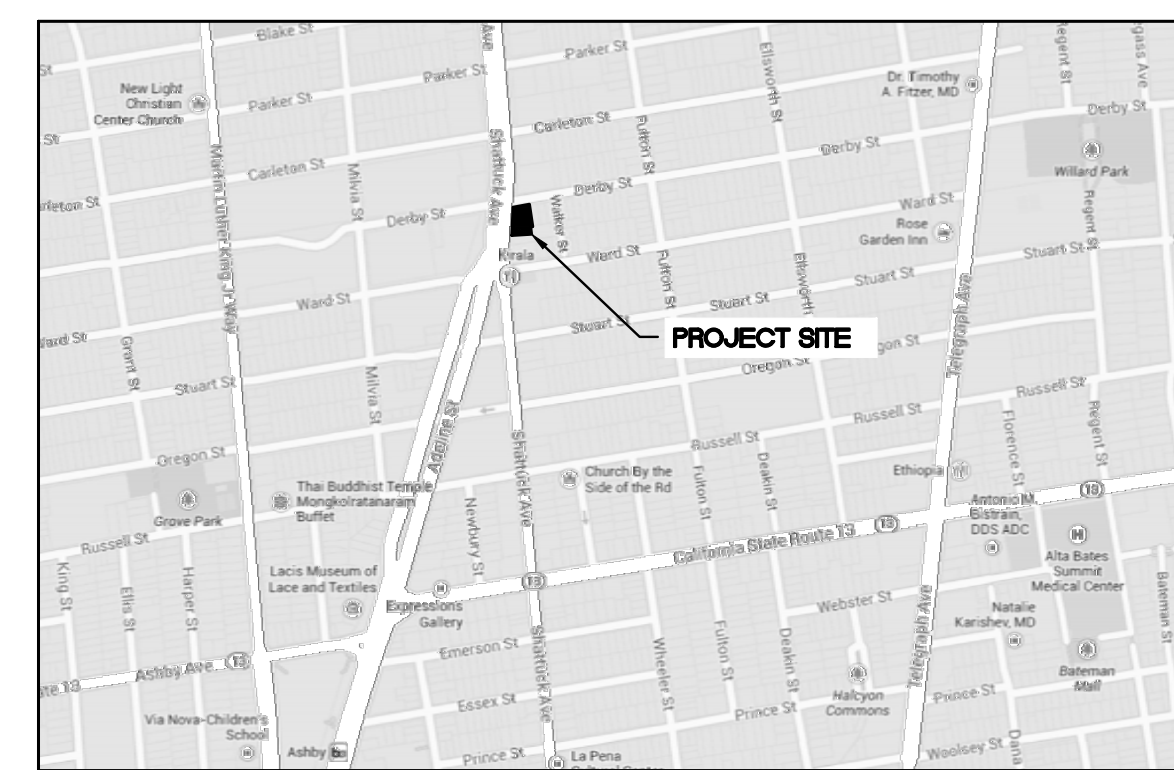
drawn
checked
RD
dct
11/08/18
scale
job no.
1802
sheet
C0.1

LEGEND

---	EXISTING PROPERTY LINE	⊙	EXISTING STREET MONUMENT
---	EXISTING SITE IMPROVEMENTS	W	EXISTING WATER BOX
---	PROPOSED PCC CURB	U	EXISTING UTILITY BOX
---	SAN - EXISTING SANITARY SEWER LINE	FA	EXISTING FIRE ALARM BOX
---	WTR - EXISTING WATER LINE	E	EXISTING ELECTRIC BOX
---	SD - EXISTING STORM DRAIN LINE	⊕	EXISTING JOINT POLE
---	OETC - EXISTING OVERHEAD ELECTRICAL, TELEPHONE, AND COMMUNICATION LINE	⊕	EXISTING WATER VALVE
---	G - EXISTING GAS LINE	⊕	EXISTING FIRE HYDRANT
x	PROPOSED GOOD NEIGHBOR FENCE	⊕	EXISTING GAS VALVE
---	PROPOSED HANDRAIL	⊕	EXISTING SANITARY SEWER MANHOLE
G	PROPOSED GAS SERVICE	⊕	EXISTING SANITARY SEWER CLEANOUT
FP	PROPOSED FIRE WATER SERVICE	⊕	EXISTING STORM DRAIN MANHOLE
6" SAN	PROPOSED SANITARY SEWER LINE	⊕	EXISTING CATCH BASINS
6" SD	PROPOSED STORM DRAIN LATERAL	⊕	EXISTING TRAFFIC SIGNAL
---	PROPOSED PERFORATED STORM DRAIN LINE	⊕	EXISTING STREET LIGHT
WTR	PROPOSED WATER LINE	⊕	EXISTING STREET SIGN
UE	PROPOSED UNDERGROUND ELECTRICAL SERVICE LINE	⊕	EXISTING GRADE
UT	PROPOSED UNDERGROUND TELEPHONE SERVICE LINE	⊕	CONTROL POINT
WTR	PROPOSED UNDERGROUND CABLE SERVICE LINE	⊕	SITE BENCHMARK
---	APPROXIMATE LIMIT OF CIVIL WORK		
△	PROPOSED PCC PAVEMENT SIDEWALK		
▨	PROPOSED CITY OF BERKELEY BUS STOP HEAVY DUTY PCC PAVEMENT BUS STOP		
▨	PROPOSED LANDSCAPE AREA - REFER TO LANDSCAPE PLANS FOR ALL DETAILS		
▨	PROPOSED DETECTABLE WARNING		
▨	PROPOSED AC PAVING		
+	PROPOSED SIGN		
+	PROPOSED BACK FLOW PREVENTER / REDUCE PRESSURE PRINCIPLE DEVICE		
+	PROPOSED WATER SUB-METER		
WM	PROPOSED WATER METER		
⊕	PROPOSED CLEANOUT		
⊕	PROPOSED AREA DRAIN		
⊕	PROPOSED UNDERGROUND ELECTRICAL VAULT. SEE ELECTRICAL PLANS FOR DETAILS		
⊕	PROPOSED UTILITY POLE		



CIVIL IMPROVEMENT PLAN / LIMITS OF CONSTRUCTION



VICINITY MAP
NOT TO SCALE

CIVIL SHEET INDEX

- C0.1 CIVIL COVER SHEET
- C1.0 PRELIMINARY SITE AND UTILITY PLAN
- C2.0 PRELIMINARY GRADING AND DRAINAGE PLAN
- C3.0 PRELIMINARY STORM WATER QUALITY CONTROL PLAN

SOILS REPORT NOTE:

THE CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS AND PROCEDURES AS DESCRIBED IN THE GEOTECHNICAL REPORT TITLED "GEOTECHNICAL INVESTIGATION FOR 2701 SHATTUCK AVENUE BUILDING, BERKELEY, CALIFORNIA"; PREPARED BY AMSO CONSULTING ENGINEERS, DATED JULY 15, 2013.

SURVEY NOTE:

TOPOGRAPHIC SURVEY PROVIDED BY VEGVARY AND VEGVARY, DATED 06/22/2000, AND UPDATED 03/2014 BY MORROW SURVEYING. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

EASEMENT NOTE:

NO TITLE REPORT WAS PROVIDED TO AID IN THE DEVELOPMENT OF THESE PLANS.

CITY OF BERKELEY BENCHMARK

BASED ON THE MORROW SURVEY, THE ELEVATIONS SHOWN HEREON ARE BASED ON CITY OF BERKELEY DATUM. BENCHMARK B3651, ELEVATION = 145.98.

CITY OF BERKELEY ENCROACHMENT PERMIT NOTE:

ALL IMPROVEMENTS SHOWN IN THE RIGHT-OF-WAY REQUIRE APPROVALS AND PERMITS FROM CITY OF BERKELEY PUBLIC WORKS ENGINEERING.

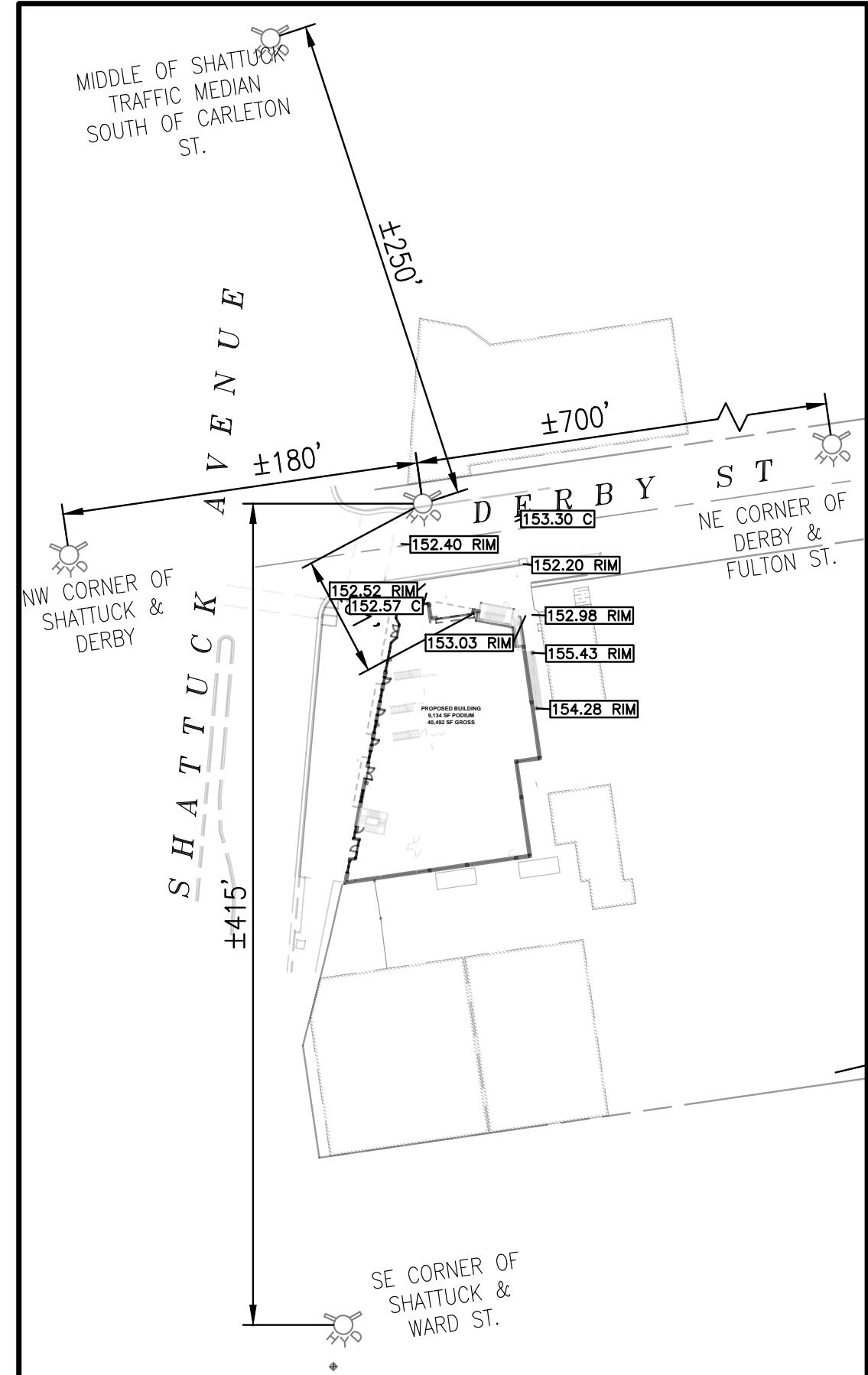
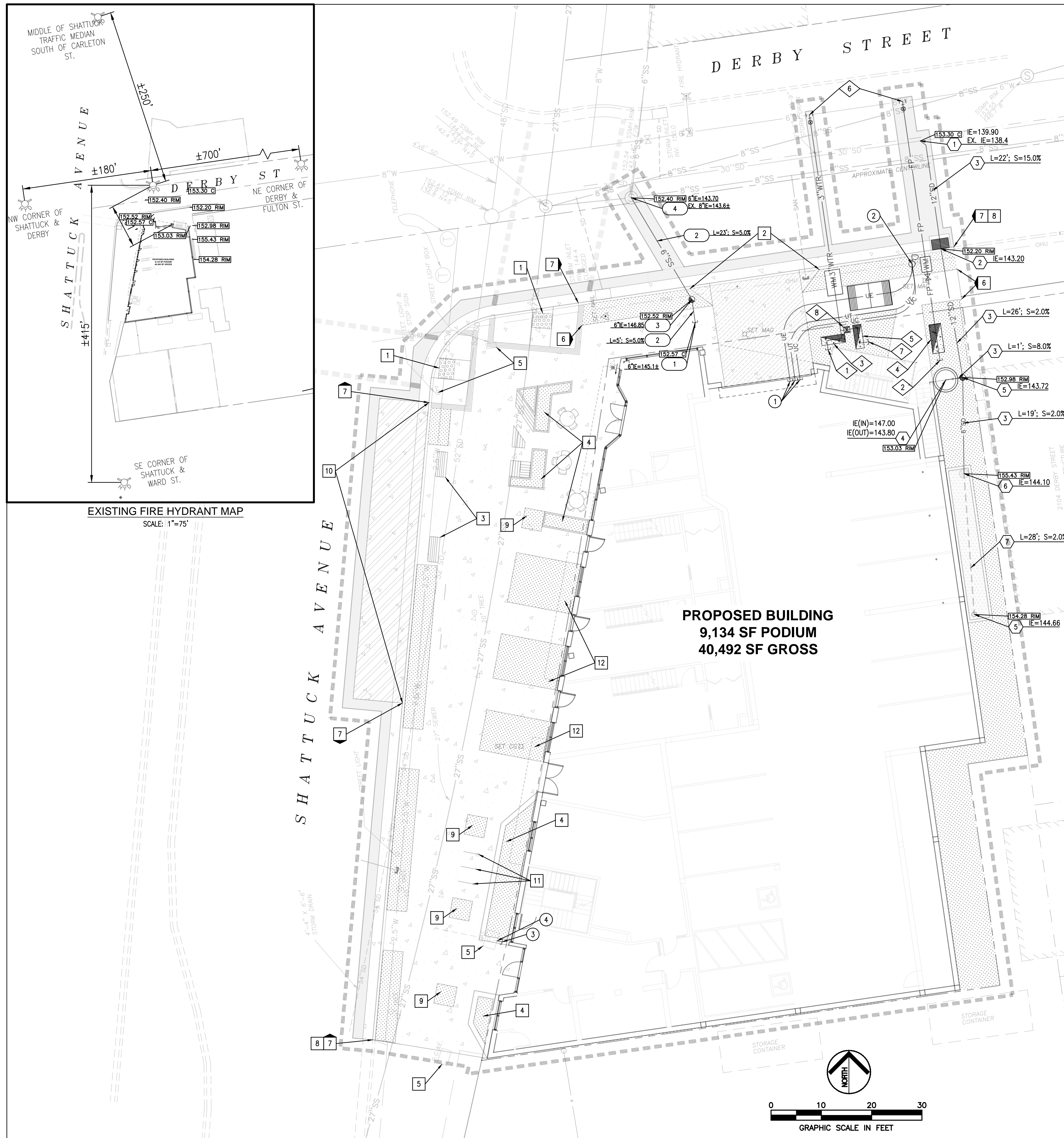
ABBREVIATIONS

AC	ASPHALT CONCRETE	FDC	FIRE DEPARTMENT CONNECTION	N.I.C.	NOT IN CONTRACT	TEV	TELEPHONE VAULT
ADA	AMERICANS WITH DISABILITIES ACT	FF	FINISHED FLOOR	NO	NUMBER	TL	TRAFFIC LIGHT
APN	ASSESSORS PARCEL NUMBER	FG	FINISHED GRADE	N.T.S.	NOT TO SCALE	TOE	TOE OF SLOPE
APWA	AMERICAN PUBLIC WORKS ASSOCIATION	FH	FIRE HYDRANT	O.C.	ON CENTER	TOP	TOP OF SLOPE / TOP OF PIPE
ATM	AUTOMATED TELLER MACHINE	FL	FLOW LINE	OH	OVERHANG	TS	TRAFFIC SIGNAL
AVE	AVENUE	FND	FOUND	P	PAVEMENT	TSPB	TRAFFIC SIGNAL PULL BOX
BAAQMD	BAY AREA AIR QUALITY MANAGEMENT DISTRICT	FOC	FACE OF CURB	PB	PULL BOX	TVLT	TELEPHONE VAULT
BLDG	BUILDING	FP	FIRE PROTECTION	PCC	PORTLAND CEMENT CONCRETE	TOW	TOP OF WALL
BLVD	BOULEVARD	FS	FINISHED SURFACE	PGE	PACIFIC GAS AND ELECTRIC	TYP	TYPICAL
BK	BOOK	FT	FEET	PIV	POST INDICATOR VALVE	UE	UNDERGROUND ELECTRIC
BM	BENCHMARK	FW	FRONT OF WALK	PCC	POINT OF CONNECTION	UT	UNDERGROUND TELEPHONE
BOP	BOTTOM OF PIPE	FWC	FACE OF WALL	PP	POWER POLE	UTIL	UTILITY
BSM	BIOTREATMENT SOIL MIX CONCRETE	C	CONCRETE	PVC	POLYVINYL CHLORIDE	VAR	VARIABLE
C	CONCRETE	G	GAS	RD	ROAD	VAT	VACUUM AIR TUBE
CA	CALIFORNIA	GB	GRADE BREAK	RP	REDUCED PRESSURE	VLT	VAULT
CASQA	CALIFORNIA STORMWATER QUALITY ASSOCIATION	GV	GAS VALVE	S	SLOPE / SOUTH	W	WEST
CB	CATCH BASIN	HDPE	HIGH-DENSITY POLYETHYLENE	SAN	SANITARY SEWER	W/	WITH
CCTV	CLOSED-CIRCUIT TELEVISION	HWY	HIGHWAY	SD	STORM DRAIN	WM	WATER METER
CL	CENTERLINE	HYD	HYDRANT	SDR35	STANDARD DIMENSIONAL RATIO 35	WTR	WATER LINE
CLR	CLEAR	IE	INVERT ELEVATION	SF	SQUARE FEET	WV	WATER VALVE
COMM	COMMUNICATION	INV	INVERT	SL	STREET LIGHT	WWLT	WATER VAULT
CONC	CONCRETE	J	JUNCTION	SLPB	STREET LIGHT PULL BOX		
CVLT	COMMUNICATION VAULT	JP	JOINT POLE	SP	SPECIFIC PLAN		
DCV	DETECTOR CHECK VALVE	L	LENGTH	SPEC	SPECIFICATION		
DCDA	DOUBLE CHECK DETECTOR	L/S	LANDSCAPE	SS	SANITARY SEWER		
	ASSEMBLY	LF	LINEAL FEET	SSCO	SANITARY SEWER CLEAN OUT		
	DROP INLET	LTLT	LOT LIGHT	SSMH	SANITARY SEWER MANHOLE		
	DIAMETER	LUM	LUMINAIRE	ST	STREET		
	DRAWING	MAX	MAXIMUM	STD	STANDARD		
	ELECTRIC / EAST	MH	MANHOLE	STLT	STREET LIGHT		
ECAB	ELECTRIC CABINET	MIN	MINIMUM	SW	SIDEWALK		
EVLT	ELECTRIC VAULT	MON	MONUMENT	T	TELEPHONE		
EX	EXISTING	MTR	METER	TBM	TEMPORARY BENCHMARK		
		N	NORTH	TC	TOP OF CURB		
		NG	NATURAL GROUND	TCD	TRAFFIC CONTROL DEVICE		

UTILITY LOCATE INFORMATION

CALL 811 OR 1-800-227-2600
CALL BEFORE YOU DIG
UTILITY LOCATE SERVICE
WWW.USANORTH.ORG
CALL TWO WORKING DAYS BEFORE YOU DIG

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.



PROPOSED BUILDING
9,134 SF PODIUM
40,492 SF GROSS

LEGEND

- EXISTING PROPERTY LINE
- EXISTING SITE IMPROVEMENTS
- PROPOSED PCC CURB
- SAN EXISTING SANITARY SEWER LINE
- WTR EXISTING WATER LINE
- SD EXISTING STORM DRAIN LINE
- OETC EXISTING OVERHEAD ELECTRICAL, TELEPHONE, AND COMMUNICATION LINE
- G EXISTING GAS LINE
- X PROPOSED GOOD NEIGHBOR FENCE - SEE LANDSCAPE PLANS FOR DETAILS
- PROPOSED HANDRAIL - SEE ARCHITECTURAL PLAN FOR DETAILS
- G PROPOSED GAS SERVICE
- FP PROPOSED FIRE WATER SERVICE
- 6"SS PROPOSED SANITARY SEWER LINE
- 6"SD PROPOSED STORM DRAIN LINE - SEE SHEET C3.0 FOR CONSTRUCTION
- WTR PROPOSED WATER LINE
- UE PROPOSED UNDERGROUND ELECTRICAL SERVICE LINE
- UT PROPOSED UNDERGROUND TELEPHONE SERVICE LINE
- UC PROPOSED UNDERGROUND CABLE SERVICE LINE
- APPROXIMATE LIMIT OF CIVIL WORK

- 1 PROPOSED PCC PAVEMENT SIDEWALK
- 2 PROPOSED CITY OF BERKELEY BUS STOP HEAVY DUTY PCC PAVEMENT BUS STOP
- 3 PROPOSED CITY OF BERKELEY DRIVEWAY HEAVY DUTY PCC PAVEMENT
- 4 PROPOSED LANDSCAPE AREA - REFER TO LANDSCAPE PLANS FOR ALL DETAILS
- 5 PROPOSED DETECTABLE WARNING
- 6 PROPOSED AC PAVING DEEP LIFT
- 7 PROPOSED EBMUD APPROVED LEAD FREE RP DEVICE, WILKINS 375A (3" DOMESTIC) AND WILKINS 975XL2MS (1" IRRIGATION), OR APPROVED EQUIVALENT.
- 8 PROPOSED IRRIGATION SUB-METER - SEE IRRIGATION PLAN FOR DETAILS.
- 9 PROPOSED 3" WATER METER.
- 10 PROPOSED FIRE SERVICE WATER METER WITH SINGLE CHECK VALVE.
- 11 PROPOSED EBMUD APPROVED LEAD-FREE DOUBLE DETECTOR CHECK ASSEMBLY, WILKINS 350A OR APPROVED EQUIVALENT.
- 12 PROPOSED UNDERGROUND ELECTRICAL TRANSFORMER VAULT FOR DETAILS
- 13 PROPOSED RELOCATED JOINT POLE
- 14 PROPOSED CLEANOUT

CIVIL SITE PLAN KEY NOTES

- 1 CITY OF BERKELEY CASE 1 WHEELCHAIR RAMP WITH DETECTABLE WARNING.
- 2 PROPOSED CITY OF BERKELEY COMMERCIAL DRIVEWAY APPROACH WITH CURB AND GUTTER.
- 3 PROPOSED BENCH, SEE LANDSCAPE PLANS FOR DETAIL.
- 4 PROPOSED LANDSCAPE PLANTER BOX. SEE LANDSCAPE PLAN FOR DETAILS.
- 5 ADJUST EXISTING RIM TO GRADE.
- 6 PROPOSED PCC SIDEWALK THICKENED EDGE WHERE PAVING ABUTS LANDSCAPE WITHOUT A CURB.
- 7 STANDARD CITY OF BERKELEY CURB AND GUTTER.
- 8 CONFORM TO EXISTING CURB HEIGHT.
- 9 PROPOSED TREE WELL. SEE LANDSCAPE PLANS FOR DETAIL.
- 10 CITY OF BERKELEY BUS STOP.
- 11 PROPOSED BIKE RACK. SEE LANDSCAPE PLANS FOR DETAIL.
- 12 ON GRADE LANDSCAPE PLANTERS. SEE LANDSCAPE PLANS FOR DETAIL.

- EXISTING STREET MONUMENT
- W EXISTING WATER BOX
- U EXISTING UTILITY BOX
- FA EXISTING FIRE ALARM BOX
- E EXISTING ELECTRIC BOX
- EXISTING JOINT POLE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING CATCH BASINS
- EXISTING STREET LIGHT
- EXISTING STREET SIGN
- EXISTING GRADE
- ▲ CONTROL POINT
- SITE BENCHMARK

SANITARY KEY NOTES

- 1 PROPOSED 6" SANITARY SEWER POINT OF CONNECTION TO BUILDING. SEE PLUMBING PLAN FOR CONTINUATION - BACKWATER CHECK VALVE REQUIRED AT PROPERTY LINE. VERIFY INVERT IN RELATION TO EXISTING SEWER MAIN PRIOR TO CONSTRUCTION.
- 2 PROPOSED 6" DIAMETER SCHEDULE 40 PVC PIPE (OR APPROVED EQUIVALENT). LENGTH AND SLOPE PER PLAN.
- 3 PROPOSED 22.5 BEND WITH CLEANOUT. INVERT ELEVATION PER PLAN.
- 4 BREAK INTO EXISTING SEWER MANHOLE BASE. APPROXIMATE INVERT PER PLAN. CONTRACTOR TO VERIFY NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

WATER KEY NOTES

- 1 PROPOSED 3" DOMESTIC WATER POINT OF CONNECTION TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
- 2 PROPOSED 6" FIRE WATER SERVICE PROTECTION POINT OF CONNECTION TO BUILDING. SEE PLUMBING AND FIRE PROTECTION PLANS FOR CONTINUATION AND LOCATION OF FDC AND PIV.
- 3 PROPOSED ABOVE GROUND 3" BACKFLOW PREVENTION ASSEMBLY FOR DOMESTIC SERVICE LINE.
- 4 PROPOSED ABOVE GROUND 6" DOUBLE CHECK ASSEMBLY FOR FIRE SERVICE. EBMUD TO VERIFY NEED FOR DOUBLE CHECK UPON SERVICE APPLICATION.
- 5 PROPOSED ABOVE GROUND 1" BACKFLOW PREVENTION ASSEMBLY FOR IRRIGATION SERVICE LINE.
- 6 PROPOSED CONNECTION FOR 3" WATER AND 6" FIRE WATER SERVICES TO WATER MAIN IN DERBY STREET.
- 7 PROPOSED 1" IRRIGATION WATER POINT OF CONNECTION. SEE IRRIGATION PLANS FOR CONTINUATION.
- 8 PROPOSED IRRIGATION SUB-METER. SEE IRRIGATION PLANS FOR DETAILS.

DRY UTILITY KEY NOTES

- 1 PROPOSED ELECTRICAL, TELEPHONE AND CABLE/DATA POINT OF CONNECTION TO BUILDING. CONTRACTOR SHALL CONFIRM AND COORDINATE LOCATION WITH ARCHITECTURAL AND ELECTRICAL PLANS FOR CONDUIT SIZE AND TYPE.
- 2 CONNECT PROPOSED ELECTRICAL, TELEPHONE, AND CABLE/DATA TO THE RELOCATED JOINT POLE. CONTRACTOR SHALL CONFIRM AND COORDINATE LOCATION WITH ARCHITECTURAL AND ELECTRICAL PLANS.
- 3 PROPOSED GAS SERVICE LINE POINT OF CONNECTION TO BUILDING. REUSE EXISTING SERVICE LINE - CONFIRM SIZE AND LOCATION WITH MECHANICAL PLANS AND PG&E. GAS METER TO BE LOCATED INSIDE THE BUILDING IN DEDICATED METER ROOM. SEE PLUMBING PLANS FOR CONTINUATION.
- 4 CONNECT GAS SERVICE TO EXISTING GAS VALVE - CONFIRM EXISTING SIZE WITH PG&E.

STORM DRAIN CONSTRUCTION NOTES

- 1 PROPOSED 12" DIAMETER RCP LATERAL CONNECTION TO EXISTING STORM DRAIN BOX CULVERT PER GREENBOOK STANDARD PLAN 335-2, LATEST EDITION. TRENCH AND BACKFILL PER CITY OF BERKELEY STANDARD PLAN.
- 2 PROPOSED CATCH BASIN WITH CURB INLET PER CITY OF BERKELEY STANDARD PLAN 6166.
- 3 PROPOSED 12" DIAMETER RCP STORM DRAIN PIPE OR APPROVED EQUIVALENT. LENGTH AND SLOPE PER PLAN.
- 4 PROPOSED 72" PRE-CAST CONCRETE MANHOLE WITH CONTECH STORMFILTER SFM48 MEDIA FILTER OR APPROVED EQUIVALENT. PROPOSED STORM DRAIN CLEAN-OUT. RIM AND INVERT PER PLAN.
- 5 PROPOSED LANDSCAPE AREA DRAIN INLET. RIM AND INVERT PER PLAN.
- 6 PROPOSED 4" PERFORATED PIPE UNDERDRAIN. LENGTH AND SLOPE PER PLAN.

revisions	by
DRC SUBMITTAL 12/15/16	
DRC SUBMITTAL 1/27/17	
ZAB SUBMITTAL 9/12/17	
ZAB SUBMITTAL 1/03/18	
ZAB SUBMITTAL 3/07/18	
ZAB SUBMITTAL 11/08/2018	

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DUBLIN, CA 94568
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WWW.CALICHI.COM

REGISTERED PROFESSIONAL ENGINEER
RECEIVED VICENTE PAVONI CO.
C 69670
EXP. 6-30-2020
CIVIL
STATE OF CALIFORNIA
Vicente Pavoni
10/8/18

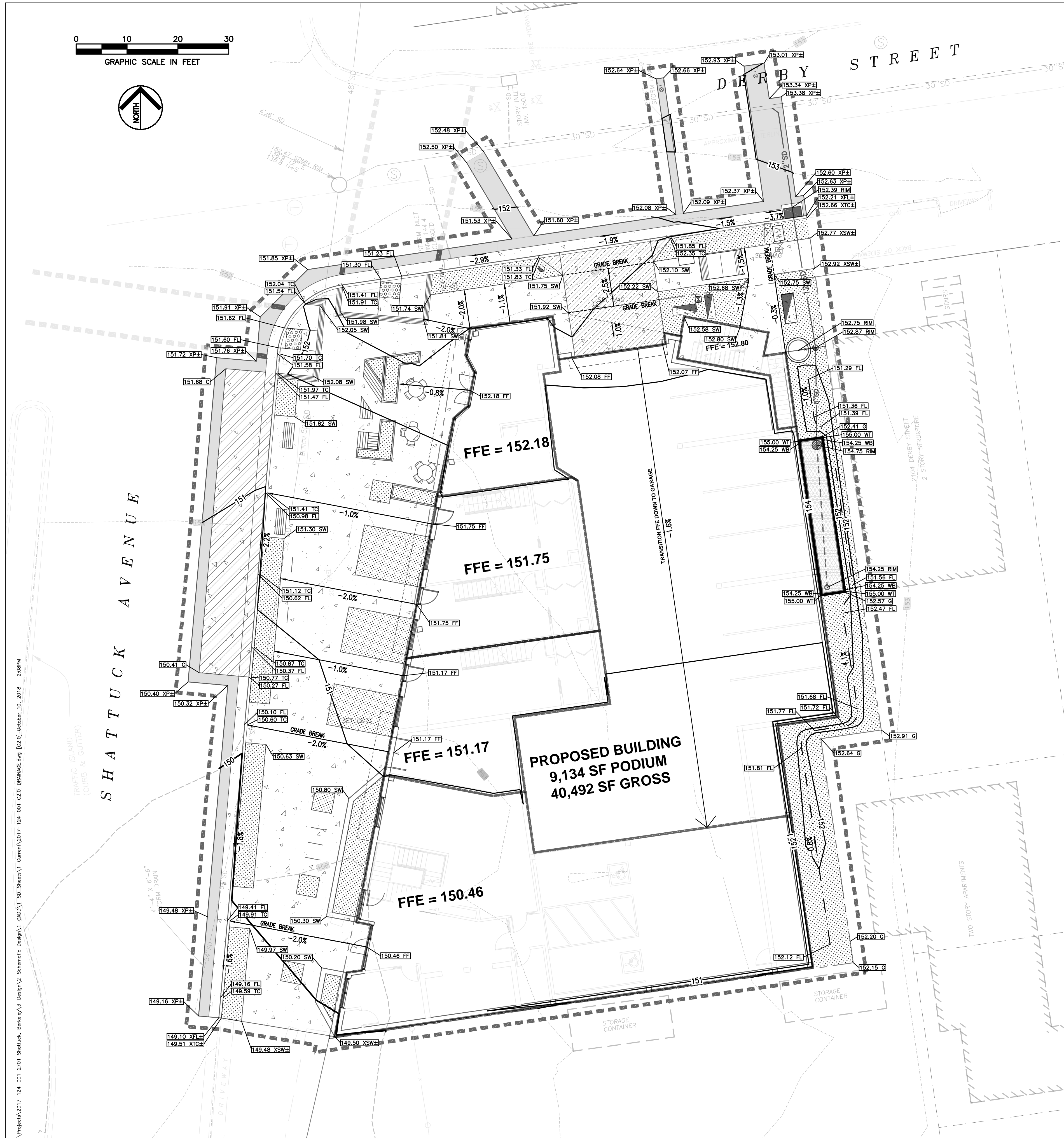
2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
2701 SHATTUCK BERKELEY, LLC

drawing
PRELIMINARY SITE AND UTILITY PLAN

checked	date
RP	11/08/18
scale	
job no.	1802
sheet	

C1.0

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SPOT GRADING LEGEND

- 80.00 EX INDICATES ELEVATION TO MATCH EXISTING
- 80.00 FFF INDICATES ELEVATION AT BUILDING FINISHED FLOOR
- 80.00 C INDICATES ELEVATION AT TOP OF CONCRETE
- 80.00 TC INDICATES ELEVATION AT TOP OF CURB
- 80.00 G INDICATES ELEVATION AT FINISHED GROUND
- 80.00 FL INDICATES ELEVATION AT FLOW LINE
- 80.00 BW INDICATES ELEVATION AT BOTTOM OF WALL
- 80.00 TW INDICATES ELEVATION AT TOP OF WALL
- 80.00 BS INDICATES ELEVATION AT BOTTOM OF STAIR
- 80.00 TS INDICATES ELEVATION AT TOP OF STAIR
- 80.00 RIM INDICATES ELEVATION AT STORM DRAIN RIM
- 1.5% DRAINAGE ARROW AND PROPOSED SLOPE
- 1.32 EXISTING 1-FT CONTOUR
- 1.32 PROPOSED 1-FT CONTOUR

SITE PAVING LEGEND

-
-
-
-

GEOTECHNICAL REPORT NOTE:

THE CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS AND PROCEDURES AS DESCRIBED IN THE SOILS REPORT FOR THE PROJECT SITE BY AMSO CONSULTING ENGINEERS, TITLED "GEOTECHNICAL INVESTIGATION FOR 2701 SHATTUCK AVENUE BUILDING, BERKELEY, CALIFORNIA" AND DATED JULY 15 2013, INCLUDING ALL PROJECT SPECIFICATIONS, REQUIREMENTS, RECOMMENDATIONS AND PROCEDURES IN REGARDS TO OVEREXCAVATION, COMPACTION, SOIL REMEDIATION, DOWATERING, ETC.

PAD ELEVATION NOTE:

PAD ELEVATION SHOWN IS PER THE GEOTECHNICAL REPORT AS PROVIDED BY AMSO CONSULTING ENGINEERS, DATED JULY 15, 2013, AND COORDINATION WITH STRUCTURAL PLANS. CURRENT PAD ELEVATIONS ASSUME 5 INCH PCC SLAB OVER 2 INCH SAND OVER 4-1/4 INCH PEA GRAVEL FOR BUILDING SLABS, AND 18 INCH PCC FOR THE MAT FOUNDATION SLAB. CONTRACTOR TO VERIFY PAD ELEVATION GRADE WITH GEOTECHNICAL REPORT AND FINAL BUILDING STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE MADE AWARE TO THE ENGINEER IMMEDIATELY.

STORM DRAIN SHEET NOTES:

1. ALL SCHEDULE 40 PVC PIPES SHALL HAVE SOLVENT CEMENTED JOINTS PER MANUFACTURER'S RECOMMENDATIONS.

revisions	by
DRC SUBMITTAL 12/15/16	
DRC SUBMITTAL 1/27/17	
ZAB SUBMITTAL 9/12/17	
ZAB SUBMITTAL 1/03/18	
ZAB SUBMITTAL 5/07/18	
ZAB SUBMITTAL 11/08/2018	

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REGISTERED PROFESSIONAL ENGINEER
RECORDING NO. C 69670
EXP. 6-30-2020
CIVIL
STATE OF CALIFORNIA
Paul D. ...
08-1-08

2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
PRELIMINARY GRADING AND DRAINAGE PLAN

drawn
checked
RF
date
11/08/18
scale
job no.
1802
sheet
C2.0

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CORNER PARKLET



VINE CABLES/GREENSCREEN



SITE FURNISHINGS



SEATING



BIKE RACKS



RECYCLING/TRASH

SHRUBS



VINES



STREET TREES

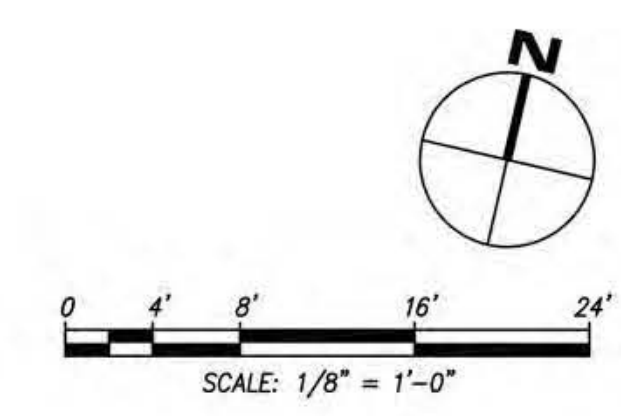


LEGEND

- 1 Concrete paving
- 2 Pedestal pavers
- 3 Bench
- 4 Table & chairs
- 5 Adirondack chair
- 6 Built-in bench
- 7 Bike rack
- 8 Seatwall
- 9 Raised planters
- 10 Low railing
- 11 Grill and kitchen
- 12 Greenscreen/trellis with vines
- 13 Gravel & vines in pots
- 14 Planting area
- 15 Precast pots
- 16 Accent Trees in planting area
- 17 Street Tree, pending water line depth
- 18 Parklet with removable planters & seating

GROUND LEVEL PLANTING MATERIALS

- STREET TREES**
 Acer rubrum 'Scarsen' - Scarlet Sentinel maple (Shattuck Ave)
 Acer buergerianum - Triden maple (Derby St)
- ACCENT TREES**
 Lagerstroemia indica 'Dynamite' - crape myrtle
- PLANTING AREA**
 Acer rubrum 'armstrong' - columnar red maple
 Carex divulsa - gray sedge
 Carex tumulicoides - Berkeley sedge
 Ceratostigma plumbaginoides - dwarf plumbago
 Juncus patens - gray rush
 Polystichum munifolium - sword fern
 Osmanthus fragrans aurantiacus - orange sweet olive
- RAISED PLANTERS / CURBED PLANTERS**
 Anemone x hybrida 'Honorine Jobert' - japanese anemone
 Festuca glauca 'Elijah Blue' - blue fescue
 Helictotrichon sempervirens - blue oat grass
 Kniphofia uvaria - torch lily
 Nephrolepis cordifolia - sword fern
 Penstemon heterophyllus 'Margarita BOP' - blue bedder
 Verbena bonariensis - purple top
- PRECAST POTS**
 Annuals - tbd
 Carex spp. - sedge
 Kniphofia uvaria - torch lily
 Juncus patens - gray rush
 Phormium hybrids - new zealand flax
- VINES ON GREENSCREEN & CABLES**
 Campsis radicans - trumpet vine
 Hardenbergia violacea - lilac vine



revisions	by
DRG SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	-
ZAB SUBMITTAL 6/28/18	-
DRG SUBMITTAL 9/20/18	-
ZAB SUBMITTAL 1/02/18	-

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JETT
 LANDSCAPE ARCHITECTURE + DESIGN
 CRLA #3335 2 Theatre Square #218
 Orinda CA - 94563
 925.254.5422 www.jetland

**2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
 2701 SHATTUCK BERKELEY, LLC**

drawing
**ILLUSTRATIVE
 PLAN -
 GROUND**

drawn
 checked
 date
 scale
 Job no.
 1202
 sheet
L1.1

TREES



SEATING



SHRUBS & GROUNDCOVERS



SHATTUCK AVENUE

DERBY STREET



LEGEND

- 1 Concrete paving
- 2 Pedestal pavers
- 3 Bench
- 4 Table & chairs
- 5 Adirondack chair
- 6 Built-in bench
- 7 Bike rack
- 8 Seatwall
- 9 Raised planters
- 10 Low railing
- 11 Grill and kitchen
- 12 Greenscreen with vines
- 13 Gravel & vines in pots
- 14 Stormwater treatment area
- 15 Precast pots
- 16 Accent Tree in planting area

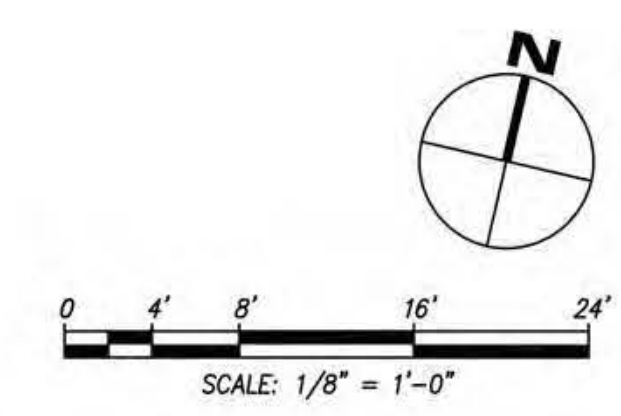
PODIUM PLANTING MATERIALS

- TREES**
- Acer palmatum 'Sangu Kaku' - japanese maple
 - Azara microphylla - box leaf azara
 - Cercis canadensis - eastern redbud
- SHRUB & GRASSES**
- Anemone x hybrida 'Honorine Jobert' - japanese anemone
 - Carex spp. - sedge
 - Festuca glauca 'Elijah Blue' - blue fescue
 - Helictotrichon sempervirens - blue oat grass
 - Loropetalum chinense - fringe flower
 - Muhlenbergia rigens - deer grass
 - Nassella tenuissima - feather grass
 - Nephrolepis cordifolia - sword fern
 - Phormium 'Sunset' - new zealand flax
 - Rosmarinus 'Tuscan Blue' - rosemary
- GREEN ROOF MIX**
- Achillea millefolium 'Paprika' - yarrow
 - Sedum rubrotinctum - stonecrop
 - Sedum spathifolium 'Cape Blanco' - stonecrop
 - Sedum 'Angelina' - stonecrop
 - Eriogonum grande v. rubescens - buckwheat
- RAISED PLANTERS**
- Loropetalum v. rubrum 'Blush' - fringe flower
 - Muhlenbergia rigens - deer grass
 - Rosmarinus 'Tuscan Blue' - rosemary

2014 DERBY STREET
 2 STORY STRUCTURE

AC
 L1.5

100 STORY APARTMENTS



revisions	by
DRG SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	-
ZAB SUBMITTAL 6/28/18	-
DRG SUBMITTAL 9/20/18	-
ZAB SUBMITTAL 1/08/18	-

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**2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
 2701 SHATTUCK BERKELEY, LLC**

drawing
**ILLUSTRATIVE
 PLAN -
 PODIUM**

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 checked
 date
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 job no.
 1802
 sheet

L1.2

TREES



SHRUBS & VINES



PRECAST POTS

LEGEND

- 1 Concrete paving
- 2 Pedestal pavers
- 3 Bench
- 4 Table & chairs
- 5 Adirondack chair
- 6 Built-in bench
- 7 Bike rack
- 8 Seatwall
- 9 Raised planters
- 10 Low railing
- 11 Grill and kitchen
- 12 Greenscreen with vines
- 13 Planting pots in aggregate bed
- 14 Stormwater treatment area
- 15 Precast pots
- 16 Accent Tree in planting area
- 17 Planter with vines at trellis

4th & 5th LEVEL PLANTING MATERIALS

RAISED PRECAST PLANTERS
 Acer palmatum 'Sango Kaku' - Coralbark Maple
 Anemone x hybrida - Japanese anemone
 Cercis canadensis - Redbud
 Correa 'Rays Tangerine' - Australian fuchsia
 Loropetalum v. rubrum - fringe flower
 Polystichum muntilium - California sword fern
 Sarcococca hookeriana - sweet box

PRECAST POTS
 Annuals - tbd
 Carex spp. - sedge
 Citrus limon 'Meyer Improved' - meyer lemon
 Citrus kumquat - kumquat
 Kniphofia uvaria - torch lily
 Juncus patens - gray rush
 Phormium hybrids - New Zealand flax

VINES
 Campsis radicans - trumpet vine

revisions	by
DRG SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/05/18	-
ZAB SUBMITTAL 5/07/18	-
ZAB SUBMITTAL 6/28/18	-
DRG SUBMITTAL 9/20/18	-
ZAB SUBMITTAL 11/08/18	-

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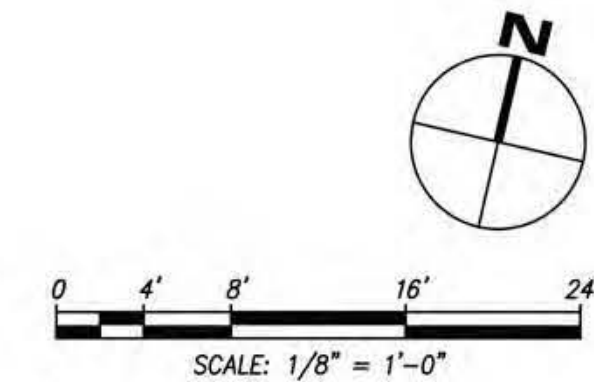
drawing
**ILLUSTRATIVE
 PLAN - 4th &
 5th FLOOR**

drawn
 checked
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 scale
 job no.
 802
 sheet

L1.3

DERBY STREET

DERBY STREET





SHRUBS & TREES



VINES



PRECAST POTS



TRELLIS



LEGEND

- 1 Concrete paving
- 2 Pedestal pavers
- 3 Bench
- 4 Table & chairs
- 5 Adirondack chair
- 6 Built-in bench
- 7 Bike rack
- 8 Seatwall
- 9 Raised planters
- 10 Low railing
- 11 Grill and kitchen with overhead shade structure
- 12 Greenscreen with vines
- 13 Gravel & vines in pots
- 14 Stormwater treatment area
- 15 Precast pots
- 16 Accent Tree in planting area

ROOF PLANTING MATERIALS

- RAISED PRECAST PLANTERS**
- Anemone x hybrida - Japanese anemone
 - Loropetalum v. rubrum - fringe flower
 - Phormium 'Margaret Jones' - new zeland flax
 - Polystichum munitum - California sword fern
 - Sarcococca hookeriana - sweet box
- PRECAST POTS**
- Annuals - TBD
 - Carex spp. - sedge
 - Citrus limon 'Meyer Improved' - meyer lemon
 - Citrus kumquat - kumquat
 - Kniphofia uvaria - torch lily
 - Juncus patens - gray rush
 - Phormium hybrids - new zeland flax
- VINES**
- Campsis radicans - trumpet vine
 - Hardenbergia violacea 'Happy Wanderer' - lilac vine

revisions	by
DRC SUBMITTAL 12/15/16 # 1/27/17	-
ZAB SUBMITTAL 9/12/17 # 1/03/18	-
ZAB SUBMITTAL 3/07/18	-
ZAB SUBMITTAL 6/28/18	-
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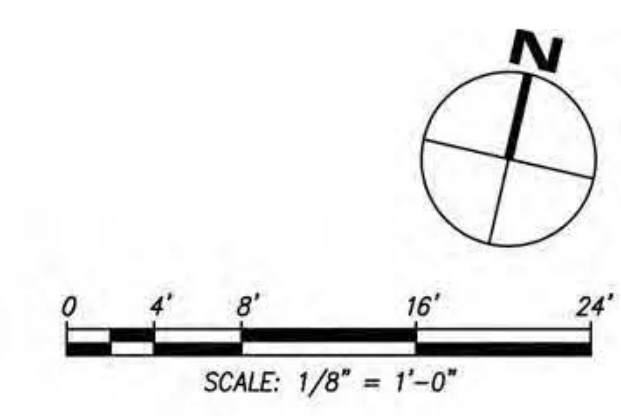
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**2701 SHATTUCK AVENUE
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drawing
**ILLUSTRATIVE
PLAN -
ROOF**

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1 LANDSCAPE PLAN - ROOF
SCALE: 1/8" = 1'-0"



L1.4

revisions	by
DRG SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 9/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	-
ZAB SUBMITTAL 6/28/18	-
DRG SUBMITTAL 9/20/18	-
ZAB SUBMITTAL 1/03/18	-

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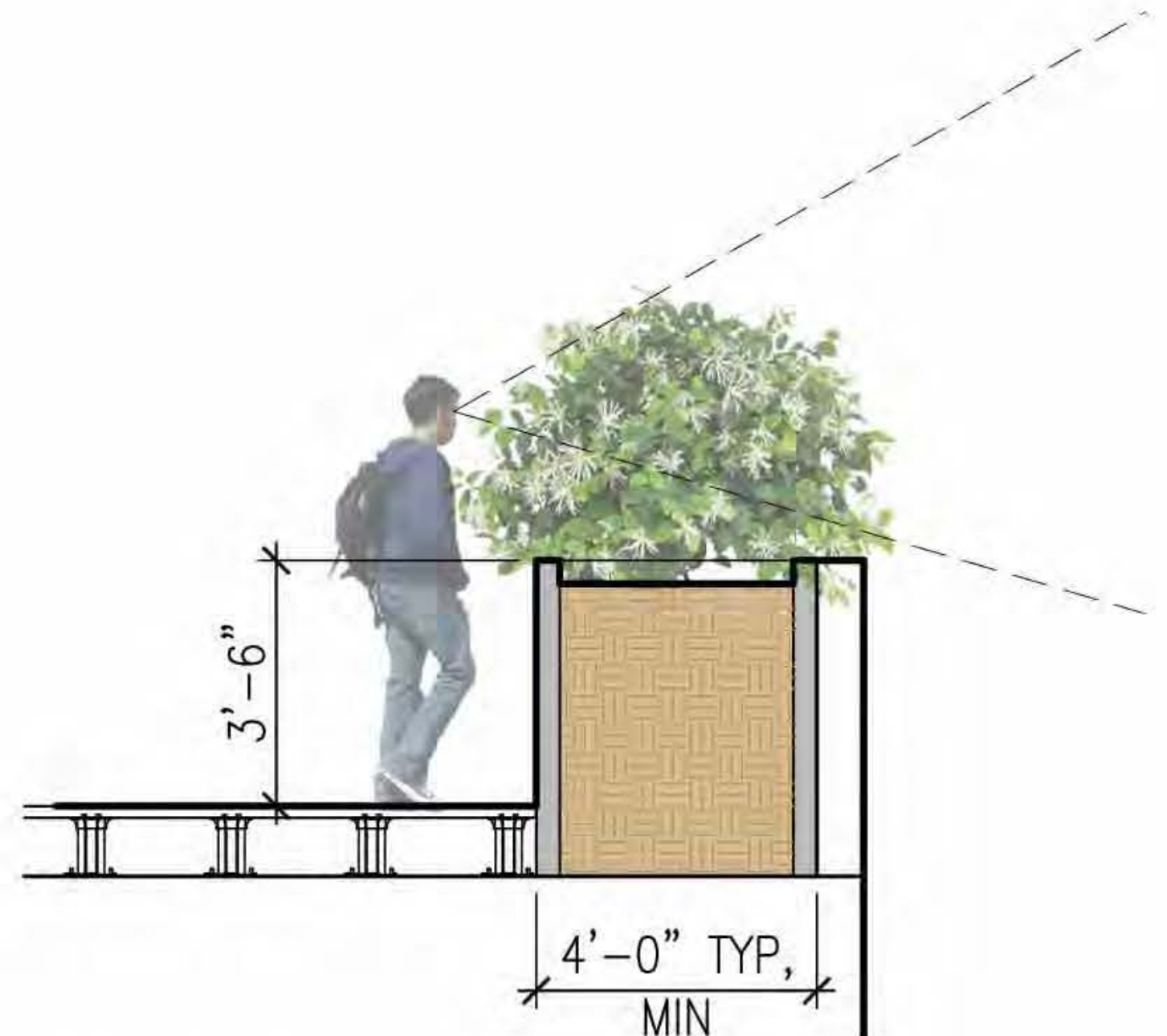
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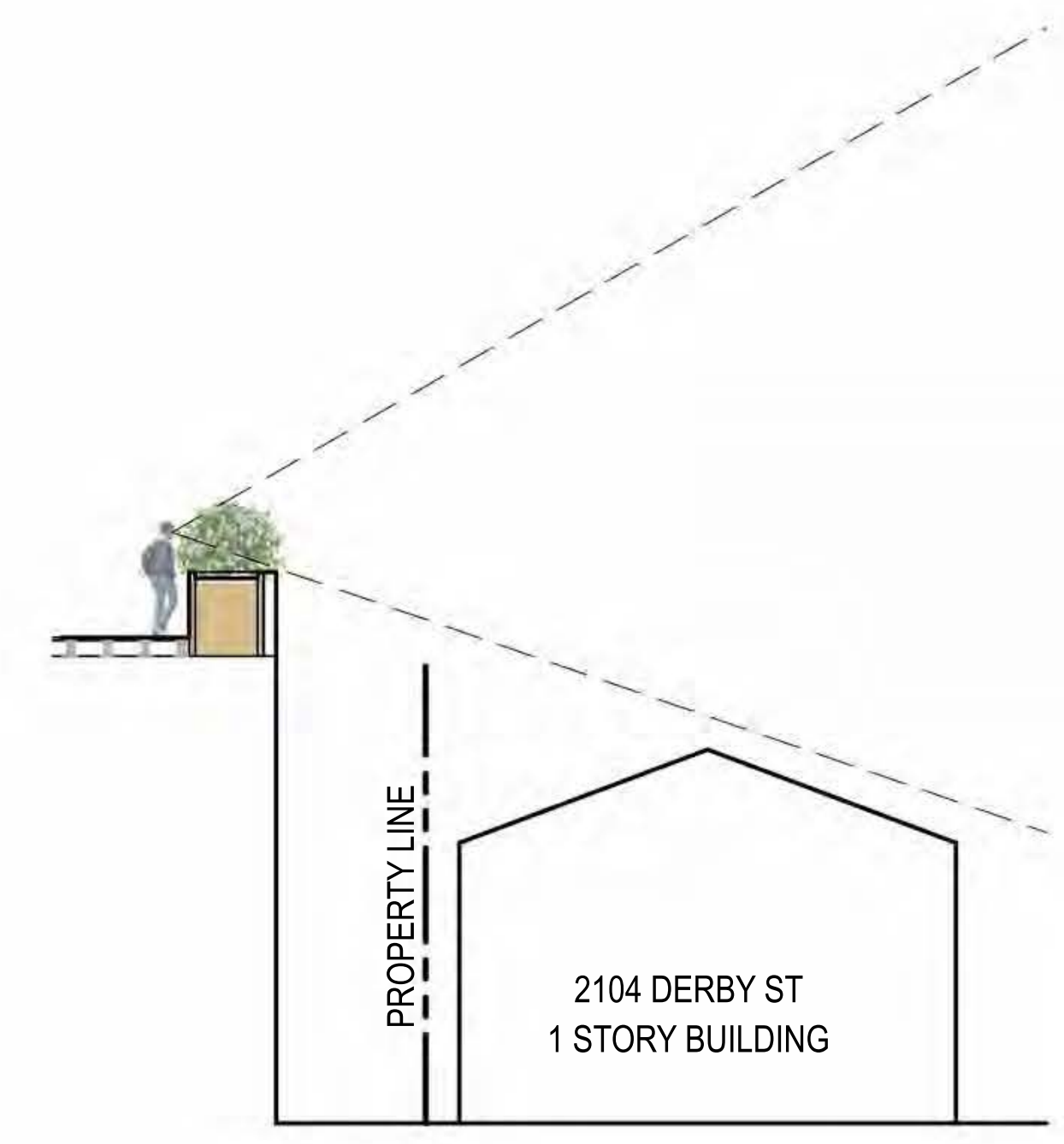
drawing
**ILLUSTRATIVE
SECTIONS**

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job no. 1802
sheet

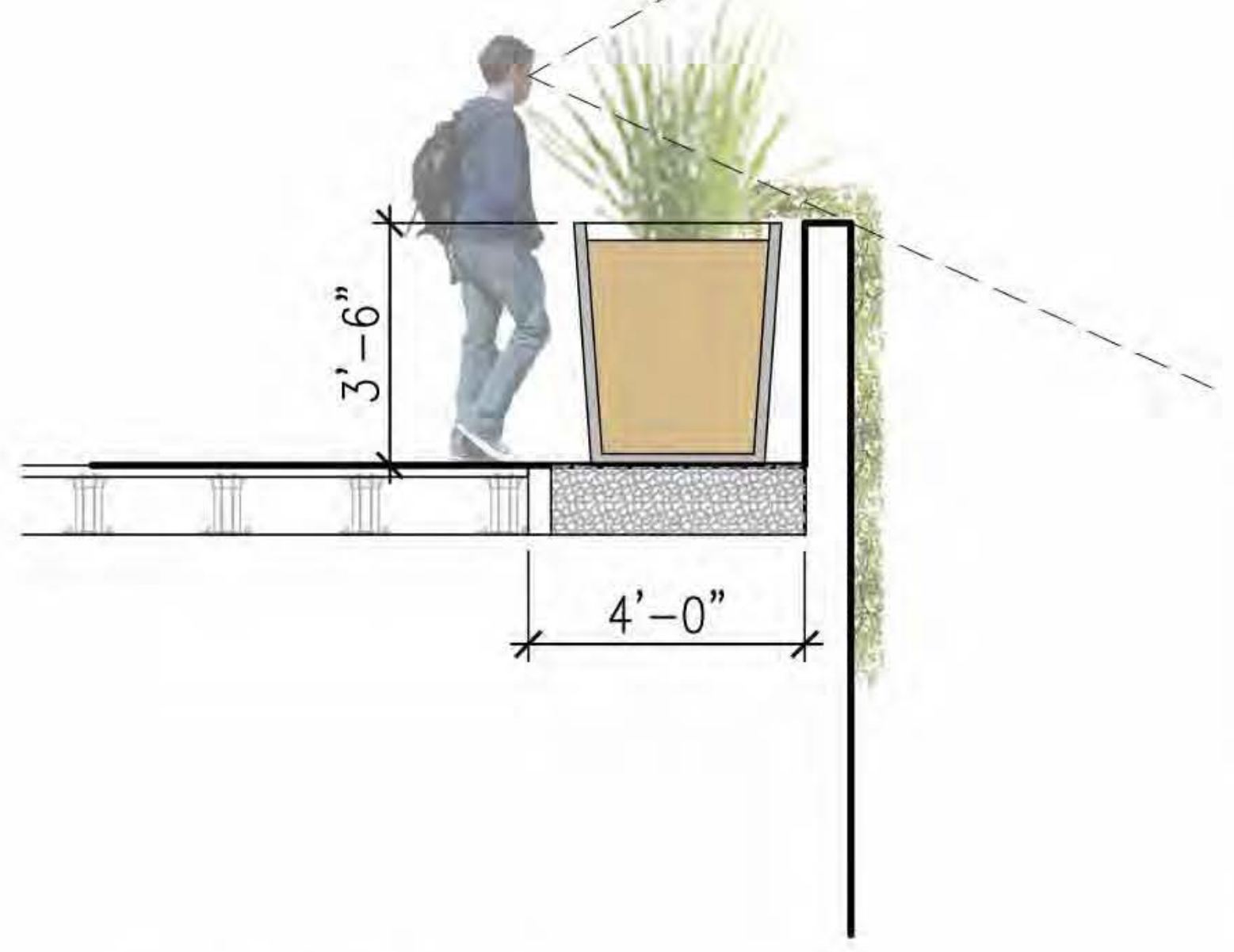
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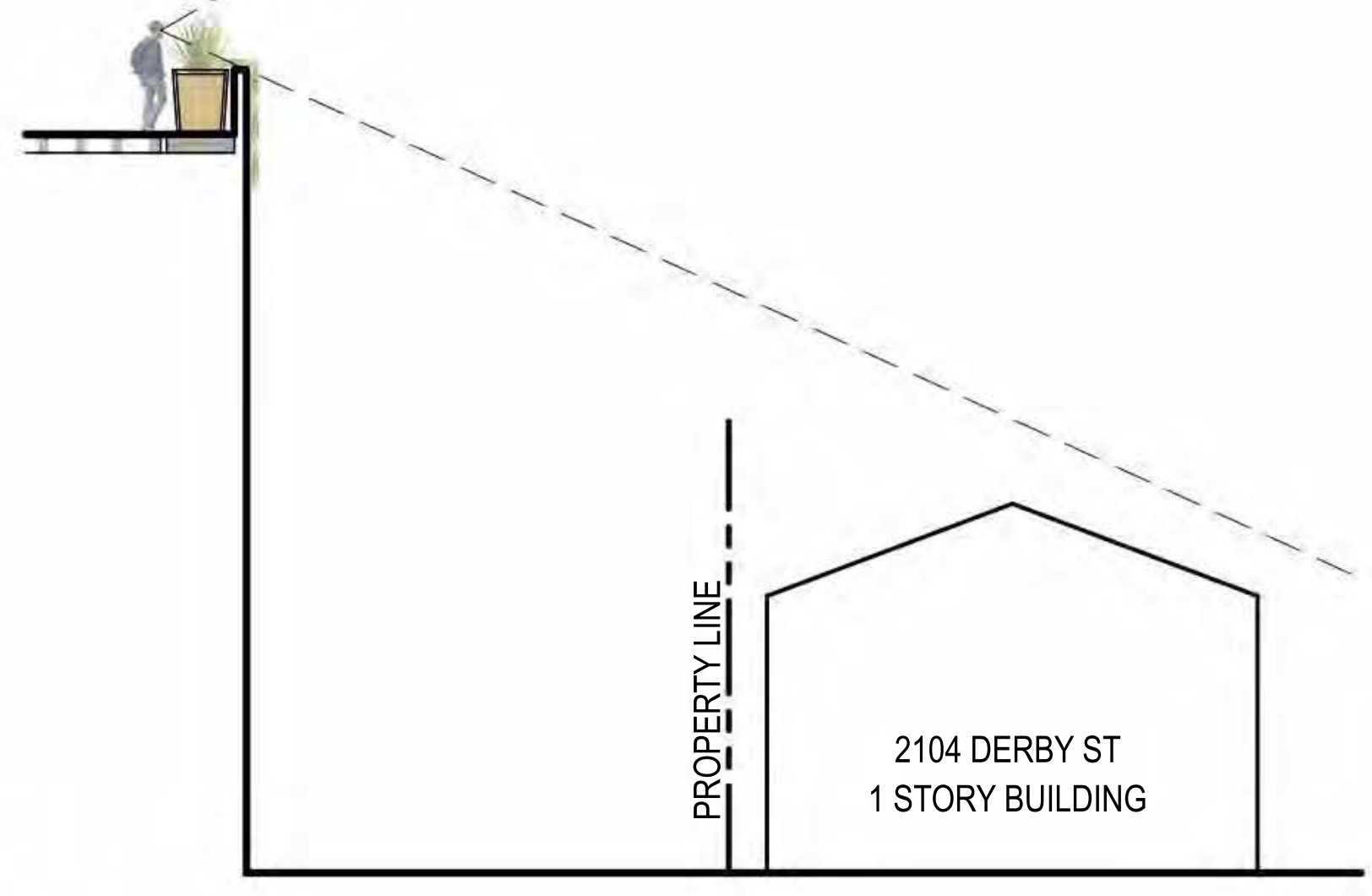
SECTION C - PODIUM
SCALE: 1/4" = 1'-0"



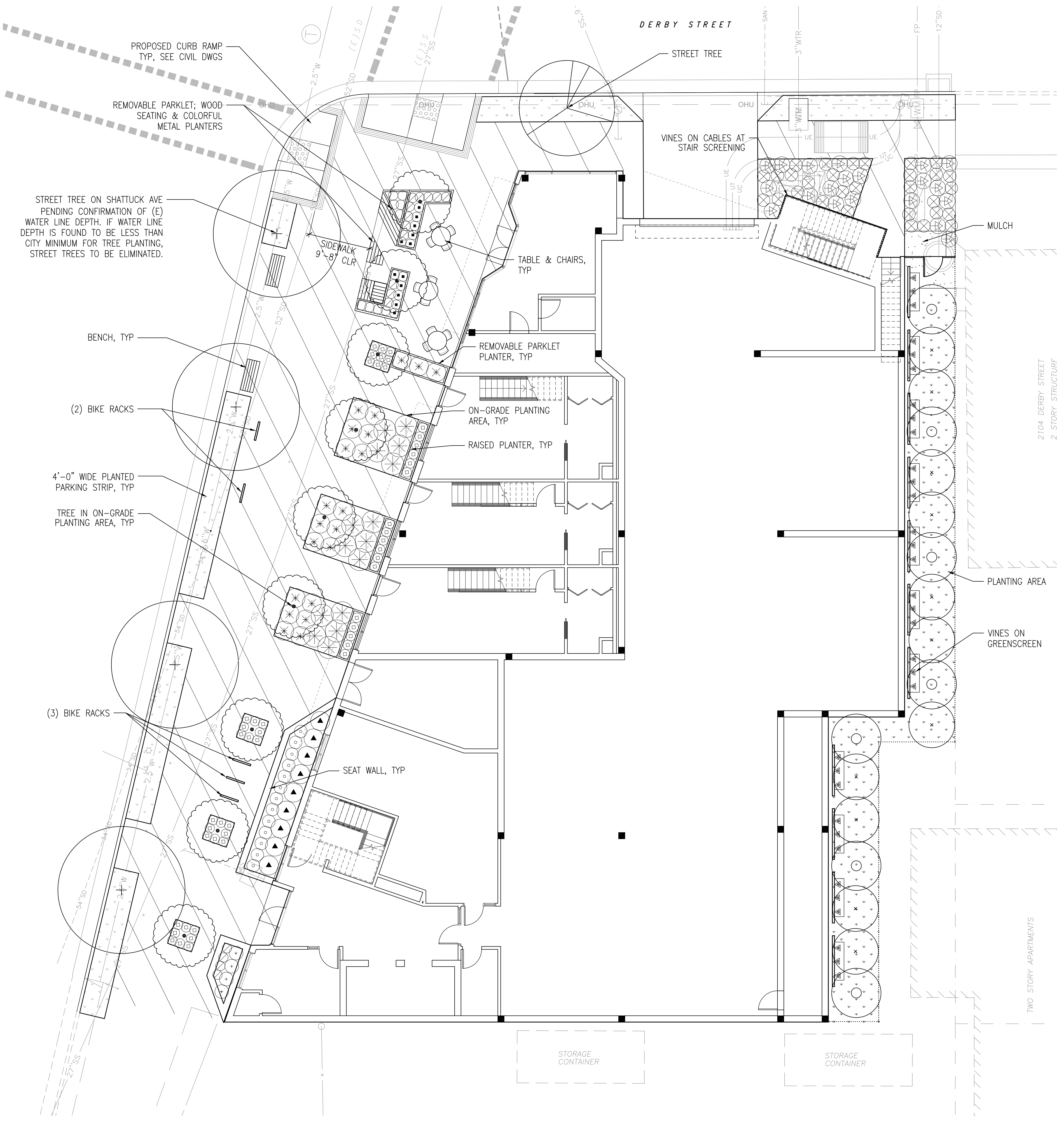
SECTION A - PODIUM
SCALE: 1/16" = 1'-0"



SECTION D - FOURTH AND FIFTH FLOOR, TYP
SCALE: 1/4" = 1'-0"



SECTION B - FOURTH FLOOR
SCALE: 1/16" = 1'-0"

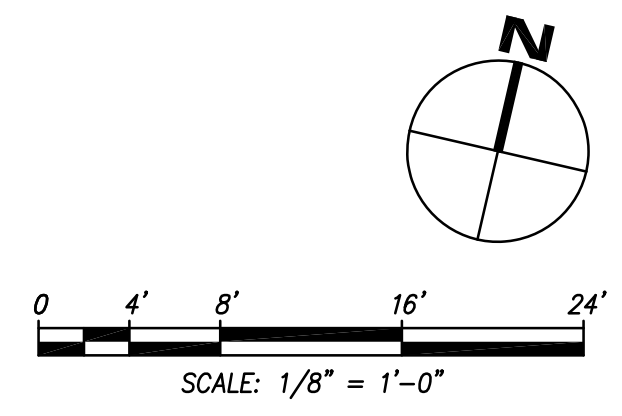


PLANT LIST		
SYMBOL	BOTANICAL NAME	COMMON NAME
STREET TREES		
+	ACER RUBRUM 'SCARSEN'	SCARLET SENTIEL MAPLE, 24" BOX
⊗	ACER BUERGERANUM	TRIDENT MAPLE, 24" BOX
TREES		
●	LAGERSTROEMIA INDICA 'DYNAMITE'	CRAPE MYRTLE
⊗	ACER PALMATUM 'SANGU KAKU' MIN HEIGHT: 8'-10" INSTALLED	JAPANESE MAPLE, 36" BOX
⊗	ACER RUBRUM 'ARMSTRONG' MIN HEIGHT: 14'-16" INSTALLED	COLUMNAR RED MAPLE, 36" BOX
⊗	AZARA MICROPHYLLA	BOXLEAF AZARA
⊗	CERCIS CANADENSIS, MULTI MIN HEIGHT: 8'-10" INSTALLED	EASTERN REDBUD, 24" BOX
⊗	CITRUS LIMON 'MEYER IMPROVED' CITRUS KUMQUAT	MEYER LEMON KUMQUAT
⊗	OSMANTHUS FRAGRANS AURANTIACUS	ORANGE SWEET OLIVE
SHRUBS & GRASSES		
⊗	ANEMONE X HYBRIDA 'HONORINE JOBERT'	JAPANESE ANEMONE
⊗	PENSTEMON H. 'MARGARITA BOP'	BLUE PENSTEMON
⊗	CAREX TUMULICOLA	BERKELEY SEDGE
⊗	CORREA 'RAY'S TANGERINE'	AUSTRALIAN FUCHSIA
⊗	ANIGOZANTHOS SPP.	KANGAROO PAWS
⊗	KNIPHOFIA UVARIA	TORCH LILY
⊗	LOMANDRA LONGIFOLIA 'BREEZE'	LOMANDRA
⊗	LOROPETALUM V. RUBRUM 'BLUSH'	FRINGE FLOWER
⊗	HEMEROCALLIS SPP.	DAYLILLY
⊗	PHORMIUM SPP.	NEW ZEALAND FLAX
⊗	MUHLENBERGIA RIGENS	DEER GRASS
⊗	POLYSTICHUM MUNITIUM	CA. SWORD FERN
⊗	PHORMIUM 'MARGARET JONES'	NEW ZEALAND FLAX
⊗	ROSMARINUS 'TUSCAN BLUE'	T. BLUE ROSEMARY
⊗	SARCOCOCCA HOOKERIANA HUMILIS	SWEET BOX
⊗	VERBENA BONARIENSIS	PURPLE TOP
VINES		
▲	CAMPISIS RADICANS	TRUMPET VINE
▲	HARDENBERGIA 'HAPPY WANDERER'	PURPLE LILAC VINE
GREEN ROOF MIX		
●	SEDUM RUBOTINCTUM	STONECROP
●	SEDUM SPATHIFOLIUM 'CAPE BLANCO'	STONECROP
●	SEDUM 'ANGELINA'	STONECROP
●	ERIOGONUM GRANDE V. RUBESCENS	BUCKWHEAT
●	ACHILLEA MILLEFOLIUM 'PAPRIKA'	YARROW
GROUNDCOVER GRASSES		
●	CAREX SPP.	SEDGE SPECIES
●	FESTUCA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE
●	NASSELLA TENUISSIMA	FEATHER GRASS
●	TURF	-
GROUNDCOVER PLANTING		
●	CAREX DIVULSA	GRAY SEDGE
●	CAREX TUMULICOLA	BERKELEY SEDGE
●	CERATOSTIGMA PLUMBAGINOIDES	DWARF PLUMBAGO
●	JUNCUS PATENS	GRAY RUSH
●	POLYSTICHUM MUNITIUM	SWORD FERN
PRECAST POT PLANTING MIX		
●	ANNUALS, TBD	-
●	CAREX SPP.	SEDGE SPECIES
●	KNIPHOFIA UVARIA	TORCH LILY
●	JUNCUS PATENS	GRAY RUSH
●	PHORMIUM HYBRIDS	NEW ZEALAND FLAX

- SYMBOLS**
- PAVING**
- DECORATIVE PAVING PATTERN
 - COLORED CONCRETE PAVING
- SITE FURNISHINGS**
- RAISED PRECAST PLANTERS; VARIOUS SIZES
 - TABLE AND CHAIRS
 - BIKE RACKS
 - ADIRONDACK CHAIR
 - BENCH

- PLANTING NOTES**
- SOIL MANAGEMENT REPORT: UPON COMPLETION OF MASS GRADING, CONTRACTOR TO PROVIDE AGRICULTURAL SOIL ANALYSIS DONE BY A QUALIFIED SOIL-TESTING LABORATORY. SOIL ANALYSIS LAB TO MAKE RECOMMENDATIONS FOR AMENDING THE TOPSOIL WITH COMPOST TO BRING ORGANIC MATTER TO A MINIMUM OF 3.5% DRY WEIGHT.
 - ALL PLANTING AREAS SHALL BE TOP-DRESSED WITH A 3" LAYER OF ORGANIC MULCH.
 - STREET TREES TO BE MINIMUM OF 24" BOX SIZE STANDARD TRUNK, A SINGLE DOMINANT CENTRAL LEADER WITH STAKES. ANY TREE NOT ALIVE AND VIGOROUSLY GROWING AFTER THREE YEARS SHALL BE REPLACED BY OWNER.

- IRRIGATION NOTES**
- THESE PLANS SHALL COMPLY WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENCY ORDINANCE, EBMUD SECTION 31, AND BAY-FRIENDLY BASICS AND APPLY THE ASSOCIATED CRITERIA FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.
 - IRRIGATION SYSTEM IS TO BE FULLY AUTOMATIC, USING A WEATHER-BASED CONTROLLER AND LOW-FLOW DRIP, SUBSURFACE DRIP, AND BUBBLER DISTRIBUTION. BUBBLERS NOT TO EXCEED 1.5 GALLONS PER MINUTE PER BUBBLER.
 - STREET TREES TO BE IRRIGATED WITH 2 BUBBLERS EACH AND VALVED INDEPENDENTLY. PROVIDE A MINIMUM OF 20 GALLON OF WATER PER WEEK BETWEEN MARCH 15TH TO OCT 15TH.



revisions	by
DRG SUBMITTAL 12/15/16 & 1/27/17	-
ZAB SUBMITTAL 4/12/17 & 1/03/18	-
ZAB SUBMITTAL 3/07/18	-
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**2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC**

drawing
**PLANTING
PLAN -
GROUND**

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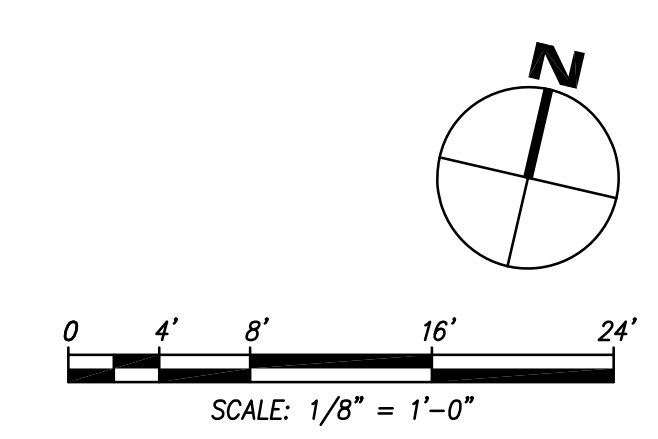
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PLANT LIST		
SYMBOL	BOTANICAL NAME	COMMON NAME
STREET TREES		
+	ACER RUBRUM 'SCARSEN'	SCARLET SENTIEL MAPLE, 24" BOX
⊗	ACER BUERGERANUM	TRIDENT MAPLE, 24" BOX
TREES		
●	LAGERSTROEMIA INDICA 'DYNAMITE'	CRAPE MYRTLE
⊗	ACER PALMATUM 'SANGU KAKU' MIN HEIGHT: 8'-10' INSTALLED	JAPANESE MAPLE, 36" BOX
⊗	ACER RUBRUM 'ARMSTRONG' MIN HEIGHT: 14'-16' INSTALLED	COLUMNAR RED MAPLE, 36" BOX
⊗	AZARA MICROPHYLLA	BOXLEAF AZARA
⊗	CERCIS CANADENSIS, MULTI MIN HEIGHT: 8'-10' INSTALLED	EASTERN REDBUD, 24" BOX
▲	CITRUS LIMON 'MEYER IMPROVED' CITRUS KUMQUAT	MEYER LEMON KUMQUAT
⊗	OSMANTHUS FRAGRANS AURANTIACUS	ORANGE SWEET OLIVE
SHRUBS & GRASSES		
⊗	ANEMONE X HYBRIDA 'HONORINE JOBERT'	JAPANESE ANEMONE
⊗	PENSTEMON H. 'MARGARITA BOP'	BLUE PENSTEMON
⊗	CAREX TUMULICOLA	BERKELEY SEDGE
⊗	CORREA 'RAY'S TANGERINE'	AUSTRALIAN FUCHSIA
⊗	ANIGOZANTHOS SPP.	KANGAROO PAWS
⊗	KNIPHOFIA UVARIA	TORCH LILY
⊗	LOMANDRA LONGIFOLIA 'BREEZE'	LOMANDRA
⊗	LOROPETALUM V. RUBRUM 'BLUSH'	FRINGE FLOWER
⊗	HEMEROCALLIS SPP.	DAYLILLY
⊗	PHORMIUM SPP.	NEW ZEALAND FLAX
▲	MUHLENBERGIA RIGENS	DEER GRASS
⊗	POLYSTICHUM MUNITUM	CA. SWORD FERN
⊗	PHORMIUM 'MARGARET JONES'	NEW ZEALAND FLAX
⊗	ROSMARINUS 'TUSCAN BLUE'	T. BLUE ROSEMARY
⊗	SARCOCOCCA HOOKERIANA HUMILIS	SWEET BOX
⊗	VERBENA BONARIENSIS	PURPLE TOP
VINES		
▲	CAMPISIS RADICANS	TRUMPET VINE
▲	HARDENBERGIA 'HAPPY WANDERER'	PURPLE LILAC VINE
GREEN ROOF MIX		
⊗	SEDUM RUBOTINCTUM	STONECROP
⊗	SEDUM SPATHIFOLIUM 'CAPE BLANCO'	STONECROP
⊗	SEDUM 'ANGELINA'	STONECROP
⊗	ERIOGONUM GRANDE V. RUBESCENS	BUCKWHEAT
⊗	ACHILLEA MILLEFOLIUM 'PAPRIKA'	YARROW
GROUNDCOVER GRASSES		
⊗	CAREX SPP.	SEDGE SPECIES
⊗	FESTUCA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE
⊗	NASSELLA TENUISSIMA	FEATHER GRASS
⊗	TURF	-
GROUNDCOVER PLANTING		
⊗	CAREX DIVULSA	GRAY SEDGE
⊗	CAREX TUMULICOLA	BERKELEY SEDGE
⊗	CERATOSTIGMA PLUMBAGINOIDES	DWARF PLUMBAGO
⊗	JUNCUS PATENS	GRAY RUSH
⊗	POLYSTICHUM MUNITUM	SWORD FERN
PRECAST POT PLANTING MIX		
⊗	ANNUALS, TBD	-
⊗	CAREX SPP.	SEDGE SPECIES
⊗	KNIPHOFIA UVARIA	TORCH LILY
⊗	JUNCUS PATENS	GRAY RUSH
⊗	PHORMIUM HYBRIDS	NEW ZEALAND FLAX

- SYMBOLS**
- PAVING**
- Decorative Paving Pattern
 - Colored Concrete Pedestal Pavers
- SITE FURNISHINGS**
- Raised Precast Planters; Various Sizes
 - Table and Chairs
 - Bike Racks
 - Adirondack Chair
 - Bench

- PLANTING NOTES**
- SOIL MANAGEMENT REPORT: UPON COMPLETION OF MASS GRADING, CONTRACTOR TO PROVIDE AGRICULTURAL SOIL ANALYSIS DONE BY A QUALIFIED SOIL-TESTING LABORATORY. SOIL ANALYSIS LAB TO MAKE RECOMMENDATIONS FOR AMENDING THE TOPSOIL WITH COMPOST TO BRING ORGANIC MATTER TO A MINIMUM OF 3.5% DRY WEIGHT.
 - ALL PLANTING AREAS SHALL BE TOP-DRESSED WITH A 3" LAYER OF ORGANIC MULCH.
 - STREET TREES TO BE MINIMUM OF 24" BOX SIZE STANDARD TRUNK, A SINGLE DOMINANT CENTRAL LEADER WITH STAKES. ANY TREE NOT ALIVE AND VIGOROUSLY GROWING AFTER THREE YEARS SHALL BE REPLACED BY OWNER.
- IRRIGATION NOTES**
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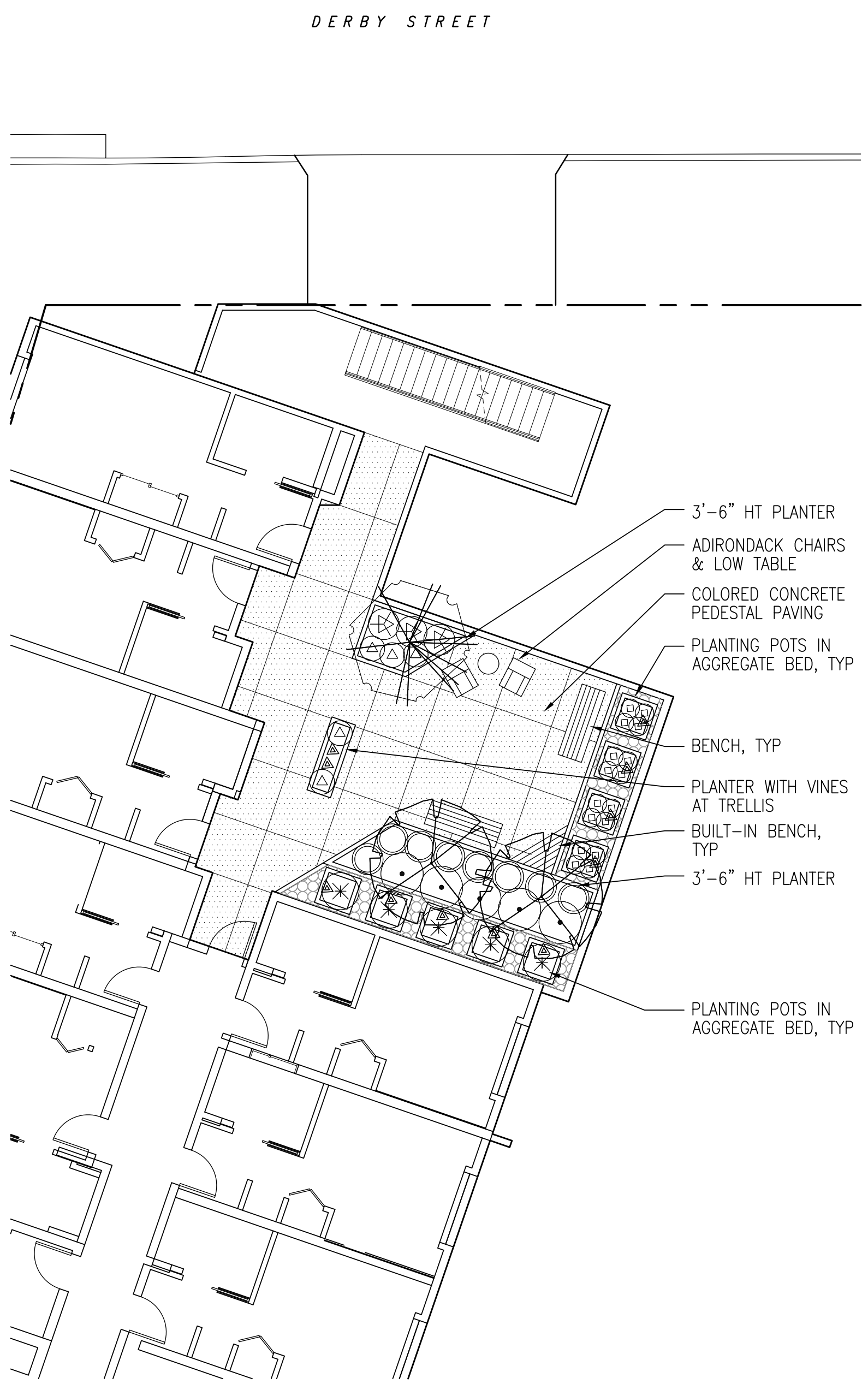
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2701 SHATTUCK BERKELEY, LLC

drawing
PLANTING PLAN - PODIUM

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1 PLANTING PLAN - 4TH FLOOR
SCALE: 1/8" = 1'-0"



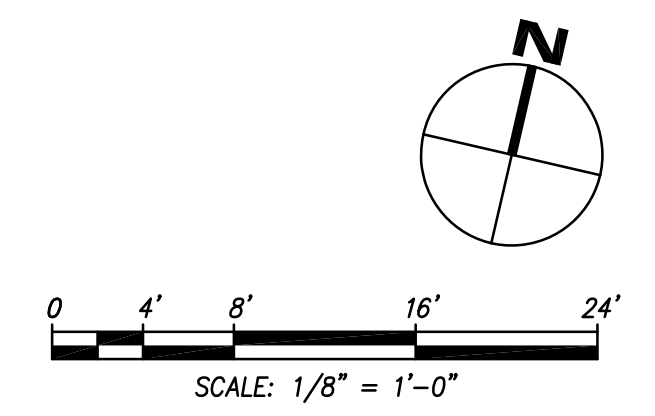
2 PLANTING PLAN - 5TH FLOOR
SCALE: 1/8" = 1'-0"

PLANT LIST		
SYMBOL	BOTANICAL NAME	COMMON NAME
STREET TREES		
	ACER RUBRUM 'SCARSEN'	SCARLET SENTIEL MAPLE, 24" BOX
	ACER BUERGERANUM	TRIDENT MAPLE, 24" BOX
TREES		
	LAGERSTROEMIA INDICA 'DYNAMITE'	CRAPE MYRTLE
	ACER PALMATUM 'SANGU KAKU' MIN HEIGHT: 8'-10' INSTALLED	JAPANESE MAPLE, 36" BOX
	ACER RUBRUM 'ARMSTRONG' MIN HEIGHT: 14'-16' INSTALLED	COLUMNAR RED MAPLE, 36" BOX
	AZARA MICROPHYLLA	BOXLEAF AZARA
	CERCIS CANADENSIS, MULTI MIN HEIGHT: 8'-10' INSTALLED	EASTERN REDBUD, 24" BOX
	CITRUS LIMON 'MEYER IMPROVED' CITRUS KUMQUAT	MEYER LEMON KUMQUAT
	OSMANTHUS FRAGRANS AURANTIACUS	ORANGE SWEET OLIVE
SHRUBS & GRASSES		
	ANEMONE X HYBRIDA 'HONORINE JOBERT'	JAPANESE ANEMONE
	PENSTEMON H. 'MARGARITA BOP'	BLUE PENSTEMON
	CAREX TUMULICOLA	BERKELEY SEDGE
	CORREA 'RAY'S TANGERINE'	AUSTRALIAN FUCHSIA
	ANIGOZANTHOS SPP.	KANGAROO PAWS
	KNIPHOFIA UVARIA	TORCH LILY
	LOMANDRA LONGIFOLIA 'BREEZE'	LOMANDRA
	LOROPETALUM V. RUBRUM 'BLUSH'	FRINGE FLOWER
	HEMEROCALLIS SPP.	DAYLILLY
	PHORMIUM SPP.	NEW ZEALAND FLAX
	MUHLENBERGIA RIGENS	DEER GRASS
	POLYSTICHUM MUNITUM	CA. SWORD FERN
	PHORMIUM 'MARGARET JONES'	NEW ZEALAND FLAX
	ROSMARINUS 'TUSCAN BLUE'	T. BLUE ROSEMARY
	SARCOCOCCA HOOKERIANA HUMILIS	SWEET BOX
	VERBENA BONARIENSIS	PURPLE TOP
VINES		
	CAMPIS RADICANS	TRUMPET VINE
	HARDENBERGIA 'HAPPY WANDERER'	PURPLE LILAC VINE
GREEN ROOF MIX		
	SEDUM RUBOTINCTUM SEDUM SPATHIFOLIUM 'CAPE BLANCO' SEDUM 'ANGELINA' ERIOGONUM GRANDE V. RUBESCENS ACHILLEA MILLEFOLIUM 'PAPRIKA'	STONECROP STONECROP STONECROP BUCKWHEAT YARROW
GROUNDCOVER GRASSES		
	CAREX SPP. FESTUCA GLAUCA 'ELIJAH BLUE' NASSELLA TENUISSIMA	SEDGE SPECIES BLUE FESCUE FEATHER GRASS
	TURF	-
GROUNDCOVER PLANTING		
	CAREX DIVULSA CAREX TUMULICOLA CERATOSTIGMA PLUMBAGINOIDES JUNCUS PATENS POLYSTICHUM MUNITUM	GRAY SEDGE BERKELEY SEDGE DWARF PLUMBAGO GRAY RUSH SWORD FERN
PRECAST POT PLANTING MIX		
	ANNUALS, TBD CAREX SPP. KNIPHOFIA UVARIA JUNCUS PATENS PHORMIUM HYBRIDS	- SEDGE SPECIES TORCH LILY GRAY RUSH NEW ZEALAND FLAX

- SYMBOLS**
- PAVING**
- DECORATIVE PAVING PATTERN
 - COLORED CONCRETE PEDESTAL PAVERS
- SITE FURNISHINGS**
- RAISED PRECAST PLANTERS; VARIOUS SIZES
 - TABLE AND CHAIRS
 - BIKE RACKS
 - ADIRONDACK CHAIR
 - BENCH

- PLANTING NOTES**
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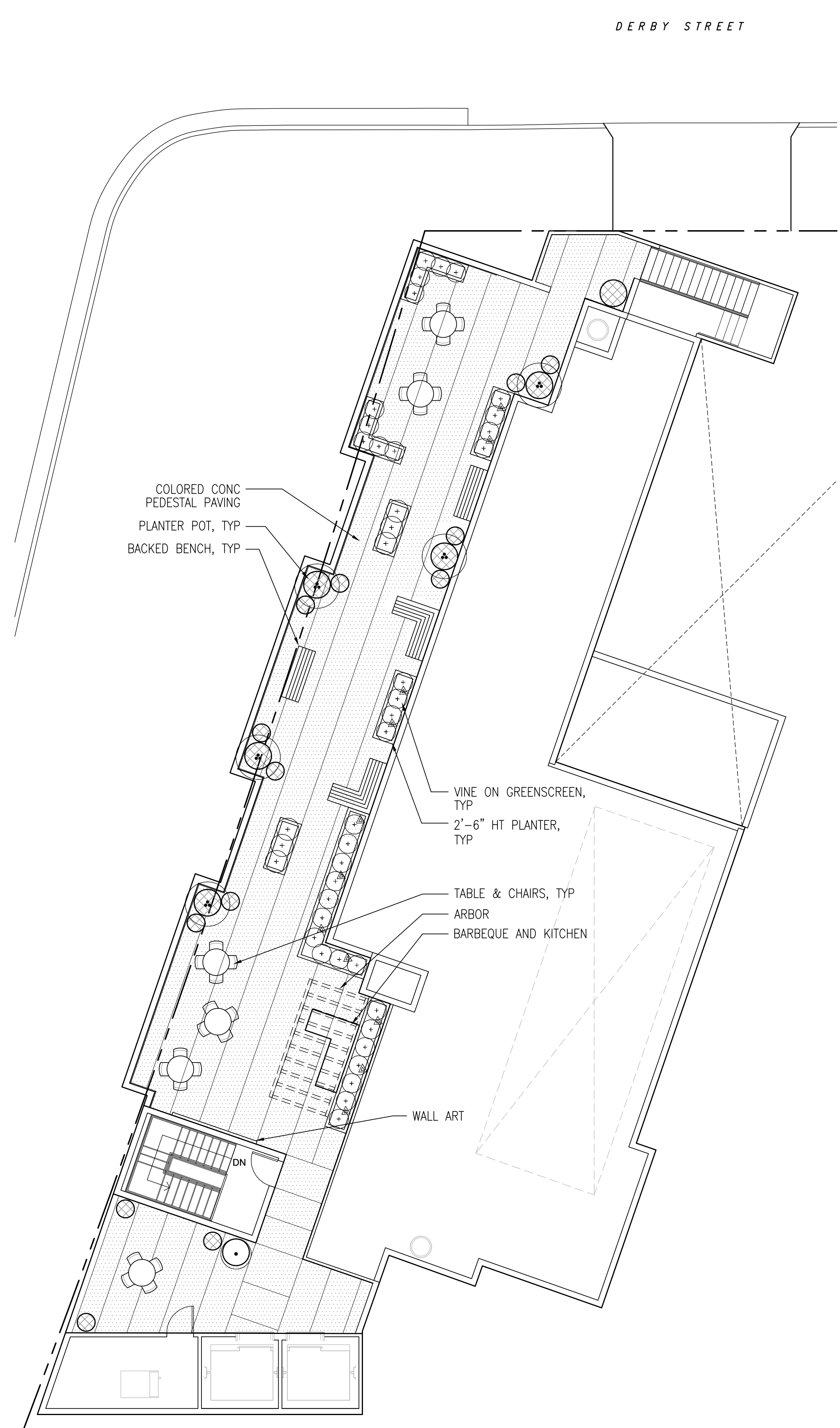
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LANDSCAPE ARCHITECTURE + DESIGN
CRLA #3335 - 2 Theatre Square #218
Orinda CA - 94563
925.254.5422 - www.jett.land

2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
PLANTING PLAN - 4TH & 5TH

drawn
checked
date
scale
job no. 1202
sheet

L2.3



1 PLANTING PLAN - ROOF
SCALE: 1/8" = 1'-0"

SYMBOL	BOTANICAL NAME	COMMON NAME
STREET TREES		
	ACER RUBRUM 'SCARSEN'	SCARLET SENTIEL MAPLE, 24" BOX
	ACER BUERGERANUM	TRIDENT MAPLE, 24" BOX
TREES		
	LAGERSTROEMIA INDICA 'DYNAMITE'	CRAPE MYRTLE
	ACER PALMATUM 'SANGU KAKU' MIN HEIGHT: 8'-10' INSTALLED	JAPANESE MAPLE, 36" BOX
	ACER RUBRUM 'ARMSTRONG' MIN HEIGHT: 14'-16' INSTALLED	COLUMNAR RED MAPLE, 36" BOX
	AZARA MICROPHYLLA	BOXLEAF AZARA
	CERCIS CANADENSIS, MULTI MIN HEIGHT: 8'-10' INSTALLED	EASTERN REDBUD, 24" BOX
	CITRUS LIMON 'MEYER IMPROVED' CITRUS KUMQUAT	MEYER LEMON KUMQUAT
	OSMANTHUS FRAGRANS AURANTIACUS	ORANGE SWEET OLIVE
SHRUBS & GRASSES		
	ANEMONE X HYBRIDA 'HONORINE JOBERT'	JAPANESE ANEMONE
	PENSTEMON H. 'MARGARITA BOP'	BLUE PENSTEMON
	CAREX TUMULICOLA	BERKELEY SEDGE
	CORREA 'RAY'S TANGERINE'	AUSTRALIAN FUCHSIA
	ANIGOZANTHOS SPP.	KANGAROO PAWS
	KNIPHOFIA UVARIA	TORCH LILY
	LOMANDRA LONGIFOLIA 'BREEZE'	LOMANDRA
	LOROPETALUM V. RUBRUM 'BLUSH'	FRINGE FLOWER
	HEMEROCALLIS SPP.	DAYLILLY
	PHORMIUM SPP.	NEW ZEALAND FLAX
	MUHLENBERGIA RIGENS	DEER GRASS
	POLYSTICHUM MUNITIMUM	CA. SWORD FERN
	PHORMIUM 'MARGARET JONES'	NEW ZEALAND FLAX
	ROSMARINUS 'TUSCAN BLUE'	T. BLUE ROSEMARY
	SARCOCOCCA HOOKERIANA HUMILIS	SWEET BOX
	VERBENA BONARIENSIS	PURPLE TOP
VINES		
	CAMPSIS RADICANS	TRUMPET VINE
	HARDENBERGIA 'HAPPY WANDERER'	PURPLE LILAC VINE
GREEN ROOF MIX		
	SEDUM RUBOTINCTUM	STONECROP
	SEDUM SPATHIFOLIUM 'CAPE BLANCO'	STONECROP
	SEDUM 'ANGELINA'	STONECROP
	ERIOGONUM GRANDE V. RUBESCENS	BUCKWHEAT
	ACHILLEA MILLEFOLIUM 'PAPRIKA'	YARROW
GROUNDCOVER GRASSES		
	CAREX SPP.	SEDGE SPECIES
	FESTUCA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE
	NASSELLA TENUISSIMA	FEATHER GRASS
	TURF	-
GROUNDCOVER PLANTING		
	CAREX DIVULSA	GRAY SEDGE
	CAREX TUMULICOLA	BERKELEY SEDGE
	CERATOSTIGMA PLUMBAGINOIDES	DWARF PLUMBAGO
	JUNCUS PATENS	GRAY RUSH
	POLYSTICHUM MUNITIMUM	SWORD FERN
PRECAST POT PLANTING MIX		
	ANNUALS, TBD	SEDGE SPECIES
	CAREX SPP.	TORCH LILY
	KNIPHOFIA UVARIA	GRAY RUSH
	JUNCUS PATENS	NEW ZEALAND FLAX
	PHORMIUM HYBRIDS	NEW ZEALAND FLAX

SYMBOLS

PAVING

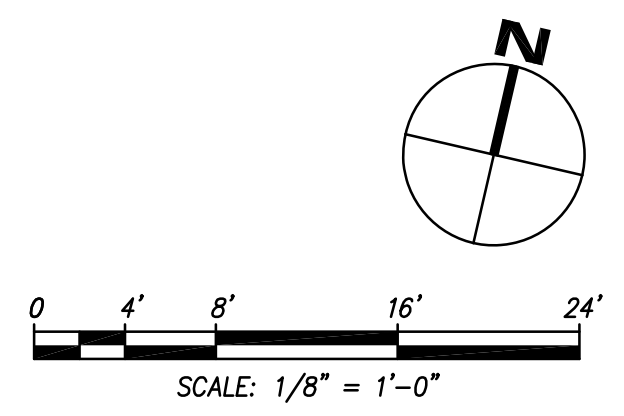
- DECORATIVE PAVING PATTERN
- COLORED CONCRETE PEDESTAL PAVERS

SITE FURNISHINGS

- RAISED PRECAST PLANTERS; VARIOUS SIZES
- TABLE AND CHAIRS
- BIKE RACKS
- ADIRONDACK CHAIR
- BENCH

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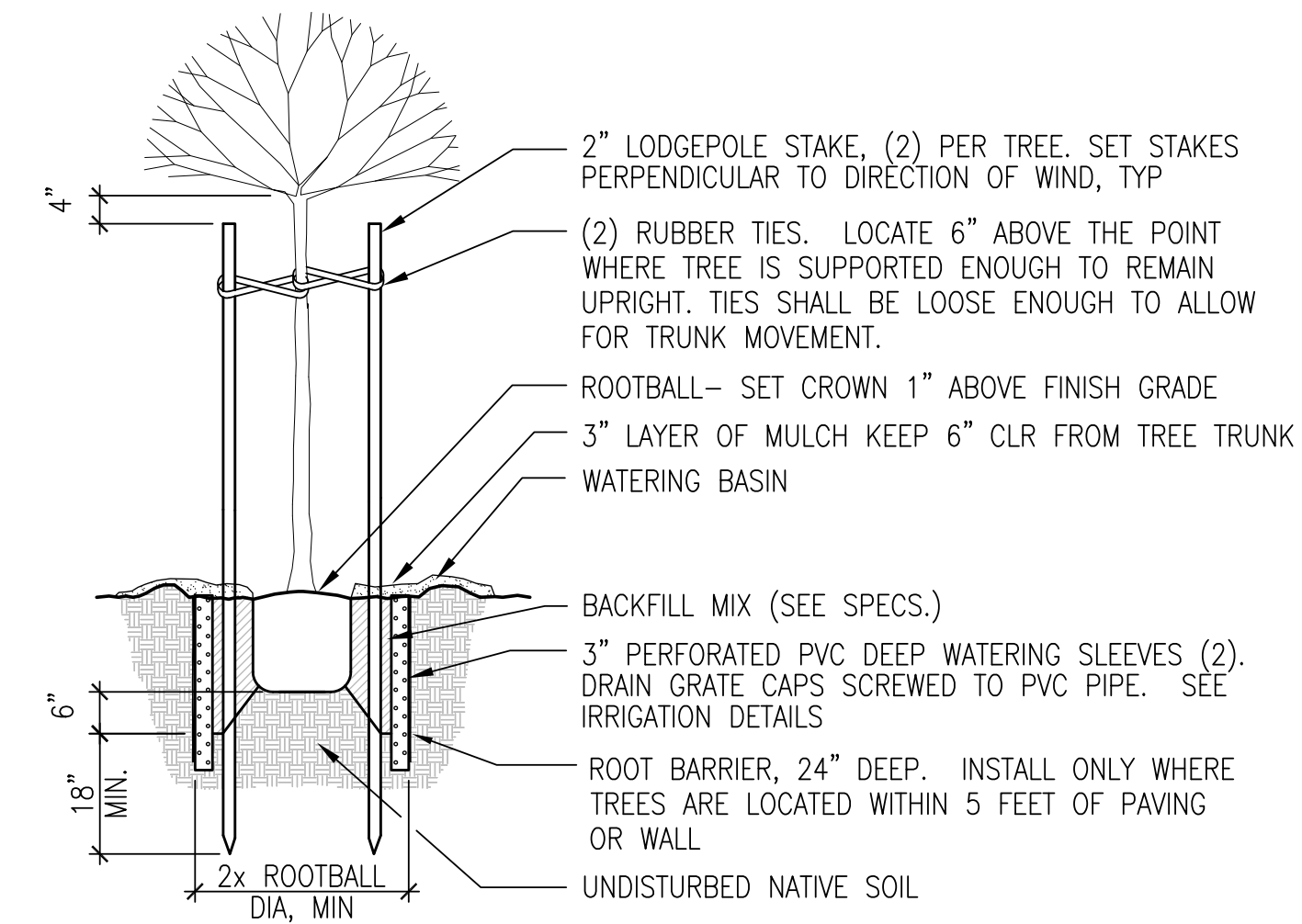
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drawing
PLANTING PLAN - ROOF

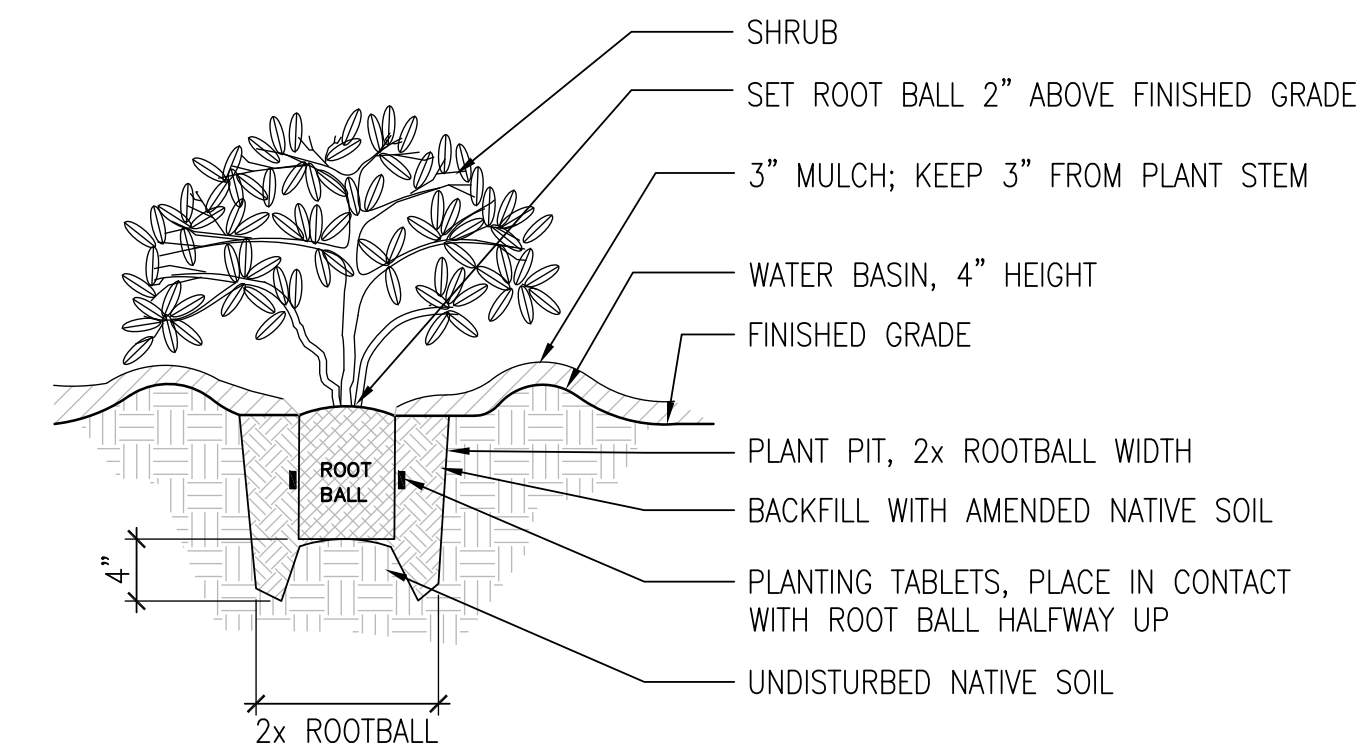
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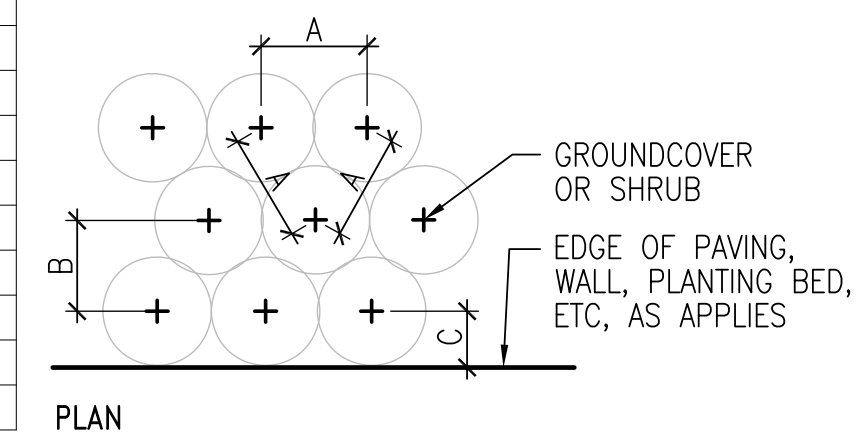
NOTE
EXCAVATE PLANTING PIT TO 2x THE WIDTH OF THE ROOTBALL. SCARIFY SIDES OF PIT.

1 TREE PLANTING
SCALE: 1/2" = 1'



2 SHRUB PLANTING
SCALE: 1" = 1'

PLANT SPACING & QUANTITIES CHART			
SPACING 'A'	SPACING 'B'	SPACING 'C'	NUMBER OF PLANTS PER SQUARE FOOT
6" OC	5.20"	2.60"	4.615
8" OC	6.93"	3.47"	2.597
10" OC	8.66"	4.33"	1.663
1'-0" OC	10.40"	5.20"	1.154
1'-3" OC	13.00"	6.50"	0.738
1'-6" OC	15.60"	7.80"	0.513
2'-0" OC	20.78"	10.39"	0.289
2'-6" OC	26.00"	13.00"	0.185
3'-0" OC	31.18"	15.59"	0.128
3'-6" OC	34.64"	17.32"	0.104
4'-0" OC	41.57"	20.79"	0.072
5'-0" OC	51.96"	25.98"	0.046
6'-0" OC	62.35"	31.18"	0.032



NOTES

- DIAGRAM APPLIES TO ALL GROUNDCOVER AND MASSSED SHRUB PLANTINGS. SUCH PLANTS ARE TO BE SPACED EQUIDISTANT TO EACH OTHER IN A TRIANGULAR PATTERN AS SHOWN ABOVE, UNLESS OTHERWISE NOTED ON THE PLANS.
- WHERE GROUNDCOVER OR SHRUB MASSING OCCURS ADJACENT TO EDGE OF PAVING, WALLS, CURBS, OR ADJACENT PLANTING BEDS, UTILIZE SPACING 'C', WHERE C=1/2 B.

3 PLANT SPACING
SCALE: 1" = 1'

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FOR:
2701 SHATTUCK BERKELEY, LLC**

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**PLANTING
DETAILS**

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Administrative Record
ZAB Appeal:
2701 Shattuck Ave

This attachment is on file and available for review at the City Clerk Department, or can be accessed from the City Council Website. Copies of the attachment are available upon request.

City Clerk Department
2180 Milvia Street
Berkeley, CA 94704
(510) 981-6900

or from:

The City of Berkeley, City Council's Web site
<http://www.cityofberkeley.info/citycouncil/>

**NOTICE OF PUBLIC HEARING-BERKELEY CITY COUNCIL
SCHOOL DISTRICT BOARD ROOM, 1231 ADDISON STREET
ZAB APPEAL: USE PERMIT #ZP2016-0244, 2701 SHATTUCK AVENUE**

Notice is hereby given by the City Council of the City of Berkeley that on **TUESDAY, MARCH 12, 2019 at 6:00 P.M.** a public hearing will be conducted to consider an appeal of a decision by the Zoning Adjustments Board to approve Use Permit #ZP2016-0244, to construct a 5-story, 62-foot tall, mixed-use building with 57 dwelling units (including five Very Low Income units), a 600-square-foot ground-floor quick-service restaurant, and 21 parking spaces, and dismiss the appeal.

A copy of the agenda material for this hearing will be available on the City's website at www.CityofBerkeley.info as of **February 28, 2019**.

For further information, please contact Sharon Gong, Project Planner at (510) 981-7429. Written comments should be mailed or delivered directly to the City Clerk, 2180 Milvia Street, Berkeley, CA 94704, in order to ensure delivery to all Councilmembers and inclusion in the agenda packet.

Communications to the Berkeley City Council are public record and will become part of the City's electronic records, which are accessible through the City's website. **Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to the City Council, will become part of the public record.** If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service or in person to the City Clerk. If you do not want your contact information included in the public record, please do not include that information in your communication. Please contact the City Clerk at 981-6900 or clerk@cityofberkeley.info for further information.

Mark Numainville, City Clerk

Mailed by February 26, 2019

NOTICE CONCERNING YOUR LEGAL RIGHTS: *If you object to a decision by the City Council to approve or deny (Code Civ. Proc. § 1094.6(b)) or approve (Gov. Code 65009(c)(5)) an appeal, the following requirements and restrictions apply: 1) Pursuant to Code of Civil Procedure Section 1094.6, no lawsuit challenging a City decision to deny or approve a Zoning Adjustments Board decision may be filed more than 90 days after the date the Notice of Decision of the action of the City Council is mailed. Any lawsuit not filed within that 90-day period will be barred. 2) In any lawsuit that may be filed against a City Council decision to approve or deny a Zoning Adjustments Board decision, the issues and evidence will be limited to those raised by you or someone else, orally or in writing, at a public hearing or prior to the close of the last public hearing on the project.*

If you challenge the above in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of Berkeley at, or prior to, the public hearing. Background information concerning this proposal will be available at the City Clerk Department and posted on the City of Berkeley webpage at least 10 days prior to the public hearing.

