

| SYMBOL | DESCRIPTION |
|----------|---|
| (Symbol) | DEBRAY STREET |
| (Symbol) | STREET TREE |
| (Symbol) | VINES ON CABLES AT STAR SCREENING |
| (Symbol) | PROPOSED CURB RAMP TYP. SEE CIVIL DWGS |
| (Symbol) | REMOVABLE PARKELET; WOOD SEATING & COLORFUL METAL PLANTERS |
| (Symbol) | STREET TREE ON SHATTUCK AVE. SPACING CONFIRMATION OF (E) WATER LINE DEPTH, IF WATER LINE DEPTH IS FOUND TO BE LESS THAN 48" FROM CURB, STREET TREES TO BE ELIMINATED. |
| (Symbol) | BENCH, TYP. |
| (Symbol) | (2) BIKE RACKS |
| (Symbol) | 4'-0" WIDE PLANTED PARKING STRIP, TYP. |
| (Symbol) | TREE IN ON-GRADE PLANTING AREA, TYP. |
| (Symbol) | BASED PLANTER, TYP. |
| (Symbol) | REMOVABLE PARKELET, TYP. |
| (Symbol) | SEAT WALL, TYP. |
| (Symbol) | STORAGE CONTAINER |

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HDO architects planners
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BERKELEY, CA 94710
(415) 841-1011

2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR
2701 SHATTUCK BERKELEY, LLC

PLANTING PLAN - GROUND

sheet
date
scale
job no. BC2
sheet
L2.1

- SYMBOLS**
- DECORATIVE PAVING PATTERNS
 - COLORFUL CONCRETE PAVING
 - BIKE RACKS
 - APRONBACK CHAIR
 - BENCH

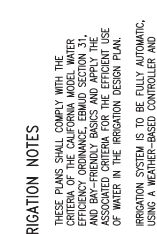
- SITE FINISHINGS**
- BASED PRECAST PLANTERS; VARIOUS SIZES
 - TABLE AND CHAIRS
 - BIKE RACKS
 - APRONBACK CHAIR
 - BENCH

PLANTING NOTES

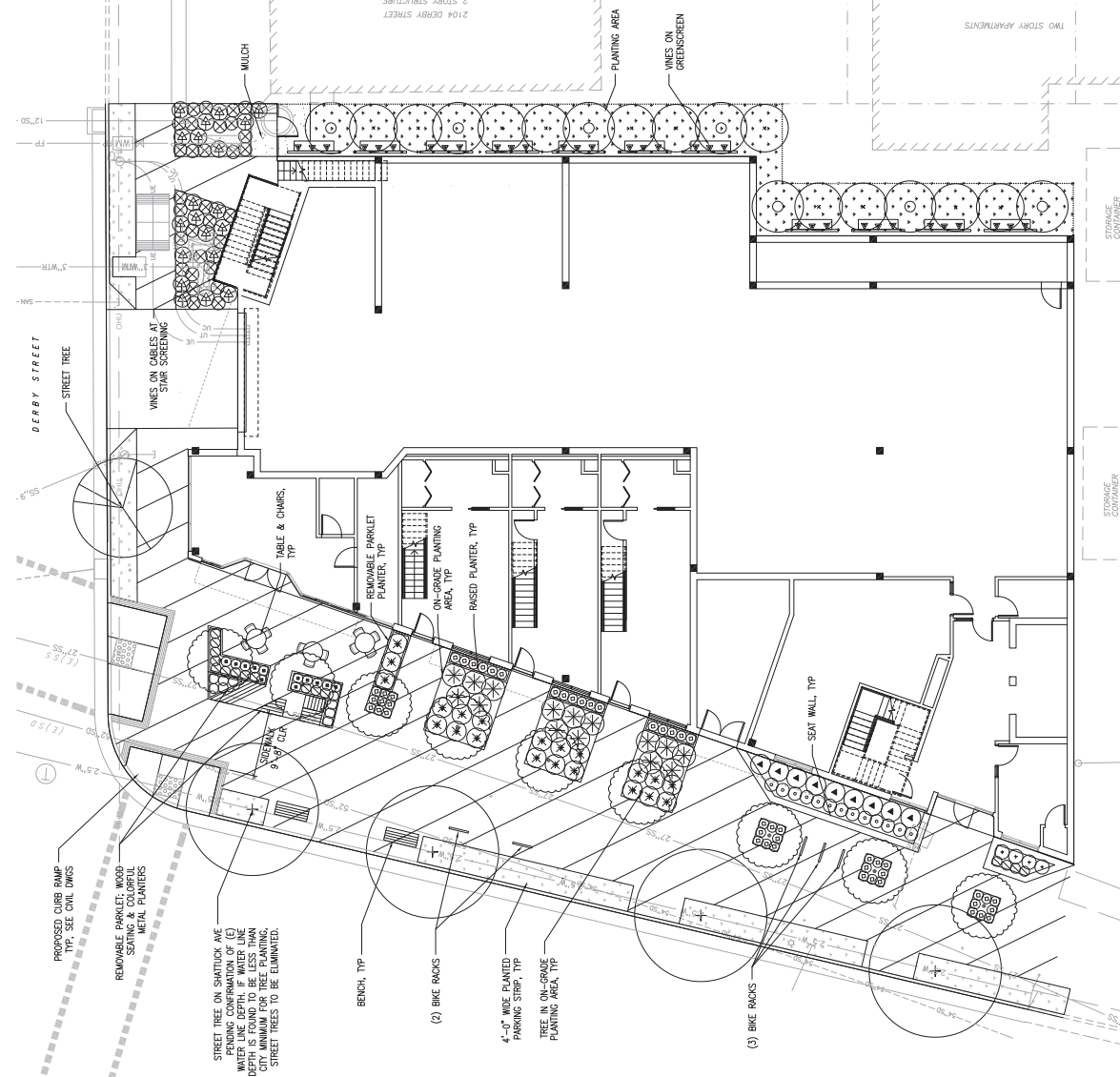
1. SOIL MANAGEMENT DESIGN: UPON COMPLETION OF MASS GRADING, CONTRACTOR TO PROVIDE AGRICULTURAL SOIL ANALYSIS DONE BY A QUALIFIED SOIL-TESTING LABORATORY. SOIL ANALYSIS TO BE PROVIDED TO THE ARCHITECT AND IRRIGATION ENGINEER PRIOR TO AMENDING THE TOPSOIL WITH COMPOST TO BRING ORGANIC MATTER TO A MINIMUM OF 3.5% DRY WEIGHT.
2. ALL PLANTING AREAS SHALL BE TOP-DRESSED WITH A 3" LAYER OF ORGANIC MULCH.
3. STREET TREES TO BE MINIMUM OF 24" BOX SIZE STANDARD TRUNK, A SINGLE DOMINANT CENTRAL LEADER WITH STAKES. ANY TREE NOT MEETING THESE REQUIREMENTS SHALL BE REPLACED BY OWNER.

IRRIGATION NOTES

1. THESE PLANS SHALL COMPLY WITH THE CENTER OF THE CALIFORNIA MODEL WATER EFFICIENCY ORDINANCE, EBMWD SECTION 31, AND BAY-FRIENDLY BASIS AND APPLY THE FOLLOWING REQUIREMENTS TO THE PLANTING OF WATER IN THE IRRIGATION DESIGN PLAN.
2. IRRIGATION SYSTEM IS TO BE FULLY AUTOMATIC, WITH A 15 GALLONS PER MINUTE PER AND LOW-FLOW DRIP SUBSURFACE DRIP AND BUBBLER DISTRIBUTION. BUBBLERS NOT TO EXCEED 15 GALLONS PER MINUTE PER BUBBLER.
3. STREET TREES TO BE IRRIGATED WITH 2 GALLONS PER MINUTE PER TREE. PLANTING PER WEEK BETWEEN MARCH 15TH TO OCT 15TH.



| SYMBOL | BOTANICAL NAME | COMMON NAME |
|----------|--------------------------------------|------------------------------|
| (Symbol) | ACER RUBRUM 'SCARLET' MAPLE, 24" BOX | SCARLET SWEET MAPLE, 24" BOX |
| (Symbol) | ACER BIERBERGANUM | TRUCKEE MAPLE, 24" BOX |
| (Symbol) | LAURESTROBILIA INDICA 'DYNAMIC' | CRAPE MYRTLE |
| (Symbol) | ACER PALMUTUM 'SANGUINUM' | JAPANESE MAPLE, 36" BOX |
| (Symbol) | ACER RUBRUM 'ARMSTRONG' | COLUMBIAN RED MAPLE, 36" BOX |
| (Symbol) | AZARA MICROPHYLLA | BOXLEAF AZARA |
| (Symbol) | CERIS CANADENSIS, MULTI | EASTERN REDBUD, 24" BOX |
| (Symbol) | CITRUS LIMON 'Meyer IMPROVED' | Meyer LEMON |
| (Symbol) | CITRUS KUMQUAT | KUMQUAT |
| (Symbol) | OSMANTHUS FRAGRANS | ORANGE SWEET GUM |
| (Symbol) | ANEMONE X HYBRIDA 'HONORINE JOBERT' | JAPANESE ANEMONE |
| (Symbol) | PERISTEMON H. 'MARGARITA BOY' | BLUE PENSTEMON |
| (Symbol) | CAREX TUMULOCOLA | BERKELEY SEDGE |
| (Symbol) | CORREA 'RAY'S TANGERINE' | AUSTRALIAN FUCHSIA |
| (Symbol) | ANZOANTHUS SPP. | MANGAROO PHMS |
| (Symbol) | IMPHOPIA UMBRA | TORCH LILY |
| (Symbol) | LOMANERA LONGIFOLIA 'BREEZE' | LOMANERA |
| (Symbol) | LOPETALUM V. RUBRUM 'BLUSH' | FRINGE FLOWER |
| (Symbol) | HEMEROCALLIS SPP. | DAYLILLY |
| (Symbol) | PHORMIUM SPP. | NEW ZEALAND FLAX |
| (Symbol) | MULLENBERGIA RIENS | DEER GRASS |
| (Symbol) | POLYSTICHUM MUNITUM | CA. SWORD FERN |
| (Symbol) | PHORMIUM 'MARGARET JONES' | NEW ZEALAND FLAX |
| (Symbol) | ROSMARINUS 'TUSCAN BLUE' | T. BLUE ROSEMARY |
| (Symbol) | SARCOCOCCA HOOGERBAUM 'HUMILIS' | SWEET BOX |
| (Symbol) | VERBENA ENCLARENSIS | PURPLE TOP |
| (Symbol) | CAMPSES RADICANS | TRUMPET VINE |
| (Symbol) | IMPERGONIA 'HAPPY WANDERER' | PURPLE LIAC VINE |
| (Symbol) | SEDUM RUBROTINCTUM | STONECROP |
| (Symbol) | SEDUM SPATHULIFOLIUM 'CAPE MAY' | STONECROP |
| (Symbol) | BOCCONIA GRASS 'YARBROOK' | BLACKHEAT |
| (Symbol) | ACHILLEA MILLEFOLIUM 'PAPYRUS' | 'YARROW |
| (Symbol) | CAREX SPP. | SEDE SPECIES |
| (Symbol) | FESTUCA GAUICA 'ELAHIA BLUE' | BLUE FESCUE |
| (Symbol) | MASELLA TENISSIMA | FEATHER GRASS |
| (Symbol) | TURF | |
| (Symbol) | CAREX DIVALSA | GRAY SEDGE |
| (Symbol) | CAREX TUMULOCOLA | BERKELEY SEDGE |
| (Symbol) | IMPHOPIA UMBRA | GRAY FUCHSIA |
| (Symbol) | JUNCEUS PATENS | GRAY FUCHSIA |
| (Symbol) | POLYSTICHUM MUNITUM | SWORD FERN |
| (Symbol) | ANNUALS, TBD | |
| (Symbol) | CAREX SPP. | SEDE SPECIES |
| (Symbol) | IMPHOPIA UMBRA | GRAY FUCHSIA |
| (Symbol) | PHORMIUM HYBRIDS | NEW ZEALAND FLAX |



| REV | DESCRIPTION |
|-----|----------------|
| 1 | 2020 SUBMITTAL |
| 2 | 11/27/17 |
| 3 | 11/27/17 |
| 4 | 11/27/17 |
| 5 | 11/27/17 |
| 6 | 11/27/17 |
| 7 | 11/27/17 |
| 8 | 11/27/17 |
| 9 | 11/27/17 |
| 10 | 11/27/17 |

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2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

PLANTING PLAN -
PODIUM

Scale: 1/8" = 1'-0"

0 1' 2' 4' 8'

Scale: 1/8" = 1'-0"

1:2.2

SYMBOLS

PAVING

- DECORATIVE PAVING PATTERN
- COLORED CONCRETE PEDESTAL PAVERS

SITE FURNISHINGS

- RAISED PRECAST PLANTERS, VARIOUS SIZES
- TABLE AND CHAIRS
- BIKE RACKS
- ADJONCKACK CHAIR
- BENCH

PLANTING NOTES

- SOIL MANAGEMENT: REFER TO SOIL CHARACTERIZATION OF MASS GRADING TO PROVIDE TO PREPARE AGRICULTURAL SOIL ANALYSIS DONE BY A QUALIFIED SOIL-TESTING LABORATORY. SOIL ANALYSIS SHOULD BE CONDUCTED PRIOR TO AMENDING THE TOPSOIL WITH COMPOST TO BRING ORGANIC MATTER TO A MINIMUM OF 3.5% DRY WEIGHT.
- ALL PLANTING AREAS SHALL BE TOP-DRESSED WITH A 3" LAYER OF ORGANIC MULCH.
- STREET TREES TO BE MINIMUM OF 9" DBH SIZE STANDARD TRUNK, A SINGLE DOMINANT LEADER WITH STAKES. ANY TREE NOT ALIVE AND VIGOROUSLY GROWING AFTER THREE YEARS SHALL BE REPLACED BY ONE.

IRRIGATION NOTES

- THESE PLANS SHALL COMPLY WITH THE CRITERIA OF THE CALIFORNIA WATER EFFICIENCY ORDINANCE, EBMUD SECTION 31, AND BAY-FRIENDLY BASIS AND APPLY THE CRITERIA TO THE IRRIGATION DESIGN PLAN. USE OF WATER IN THE IRRIGATION DESIGN PLAN.
- IRRIGATION SYSTEM IS TO BE FULLY AUTOMATIC, WITH A SCHEDULE OF 15 MINUTE DURATION AND LOW-FLOW DRIP SUBSURFACE DRIP AND BUBBLER DISTRIBUTION. BUBBLERS NOT TO EXCEED 1.5 GALLONS PER MINUTE PER BUBBLER.
- STREET TREES TO BE IRRIGATED WITH 2" DRAINAGE HOLES PER FOOT OF TRUNK DENSITY. PROVIDE A MINIMUM OF 20 GALLON OF WATER PER WEEK BETWEEN MARCH 15TH TO OCT 15TH.

PLANT LIST

| SYMBOL | BOTANICAL NAME | COMMON NAME |
|---------------------------------|-------------------------------------|-------------------------------|
| + | ACER RUBRUM 'SCARSEN' | SCARLET SENDEL MAPLE, 24" BOX |
| ○ | ACER BIERGERANUM | TRIDENT MAPLE, 24" BOX |
| TREES | | |
| ● | LAGERSTROEMIA INDICA 'DYWAMITE' | GRAPE HIRTLE |
| ○ | ACER PALMATUM 'SINGUL KAKU' | JAPANESE MAPLE, 36" BOX |
| ○ | ACER RUBRUM 'ARMSTRONG' | COLUMBIAN RED MAPLE, 36" BOX |
| ○ | AZARA MICROPHYLLO | BOXLEAF AZARA |
| ○ | CERIS CANADENSIS, MULTI | EASTERN REEBIRD, 24" BOX |
| ○ | CITRUS LIMON 'MEYER IMPROVED' | MEYER LEMON |
| ○ | CITRUS KUMQUAT | KUMQUAT |
| ○ | OSMANTHUS FRAGRANS | ORANGE SWEET OLIVE |
| SHRUBS & GRASSES | | |
| ⊗ | ANEMONE X HYBRIDA 'HONORINE JOBERT' | JAPANESE ANEMONE |
| ○ | PENSTEMON H. 'MARGARITA BOY' | BLUE PENSTEMON |
| ○ | CAREX TUMULOCOLA | BERKELEY SEDGE |
| ○ | CORDEA 'RAY'S TANGERINE' | AUSTRALIAN FLORISHA |
| ○ | ANGONZAVIRIS SPP. | KANGAROO PAWNS |
| ○ | KIMPONIA LAMBIA | TORCH LILY |
| ○ | LAMANDRA LONGIFOLIA 'BREEZE' | LAMANDRA |
| ○ | LOROPETALUM V. RUBRUM 'BLUSH' | PRINCE FLOWER |
| ○ | HEMEROCALLIS SPP. | DAYLILY |
| ○ | PHORMIUM SPP. | NEW ZEALAND FLAX |
| ○ | MULHBERGIA RIGENS | DEER GRASS |
| ○ | POLYSTICHUM MUNITUM | CA. SWORD FERN |
| ○ | PHORMIUM 'MARGARET JONES' | NEW ZEALAND FLAX |
| ○ | ROSMARINUS 'TUSCAN BLUE' | T. BLUE ROSEMARY |
| ○ | SARCOCOCOA HODGEREMIA HUMILIS | SWEET BOX |
| ○ | VERBENA BONARIENSIS | PURPLE TOP |
| VINES | | |
| ▲ | CAMPISIS RADICANS | TRUMPET VINE |
| ▲ | HARTENBERGIA 'HAPPY WANDERER' | PURPLE LIAC VINE |
| GREEN ROOF MIX | | |
| ○ | SEDUM RUBROINCTUM | STONECROP |
| ○ | SEDUM SPATHULIFOLIUM 'CAPE | STONECROP |
| ○ | BLANCO | STONECROP |
| ○ | SEDUM 'ANGELUS' | STONECROP |
| ○ | ACHILLEA MILLEFOLIUM 'PAPRIKA' | WARRIOR |
| GROUNDCOVER GRASSES | | |
| ○ | CAREX SPP. | SEDGE SPECIES |
| ○ | FESTUCA GLAUCA 'ELMAH BLUE' | BLUE FESCUE |
| ○ | MUSSELLA TENISSIMIA | FEATHER GRASS |
| ○ | TURF | - |
| GROUNDCOVER PLANTING | | |
| ○ | CAREX DIVULSA | GRAY SEDGE |
| ○ | CAREX TUMULOCOLA | BERKELEY SEDGE |
| ○ | GERANIUM 'ANGELUS' | PLUMBAGO |
| ○ | POLYSTICHUM MUNITUM | SWORD FERN |
| PRECAST POT PLANTING MIX | | |
| ○ | ANNUALS, TBD | SEDGE SPECIES |
| ○ | CAREX SPP. | GRAY FESCUE |
| ○ | VERBENA BONARIENSIS | GRAY FESCUE |
| ○ | PHORMIUM HYBRIDS | NEW ZEALAND FLAX |

2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

PLANTING PLAN -
PODIUM

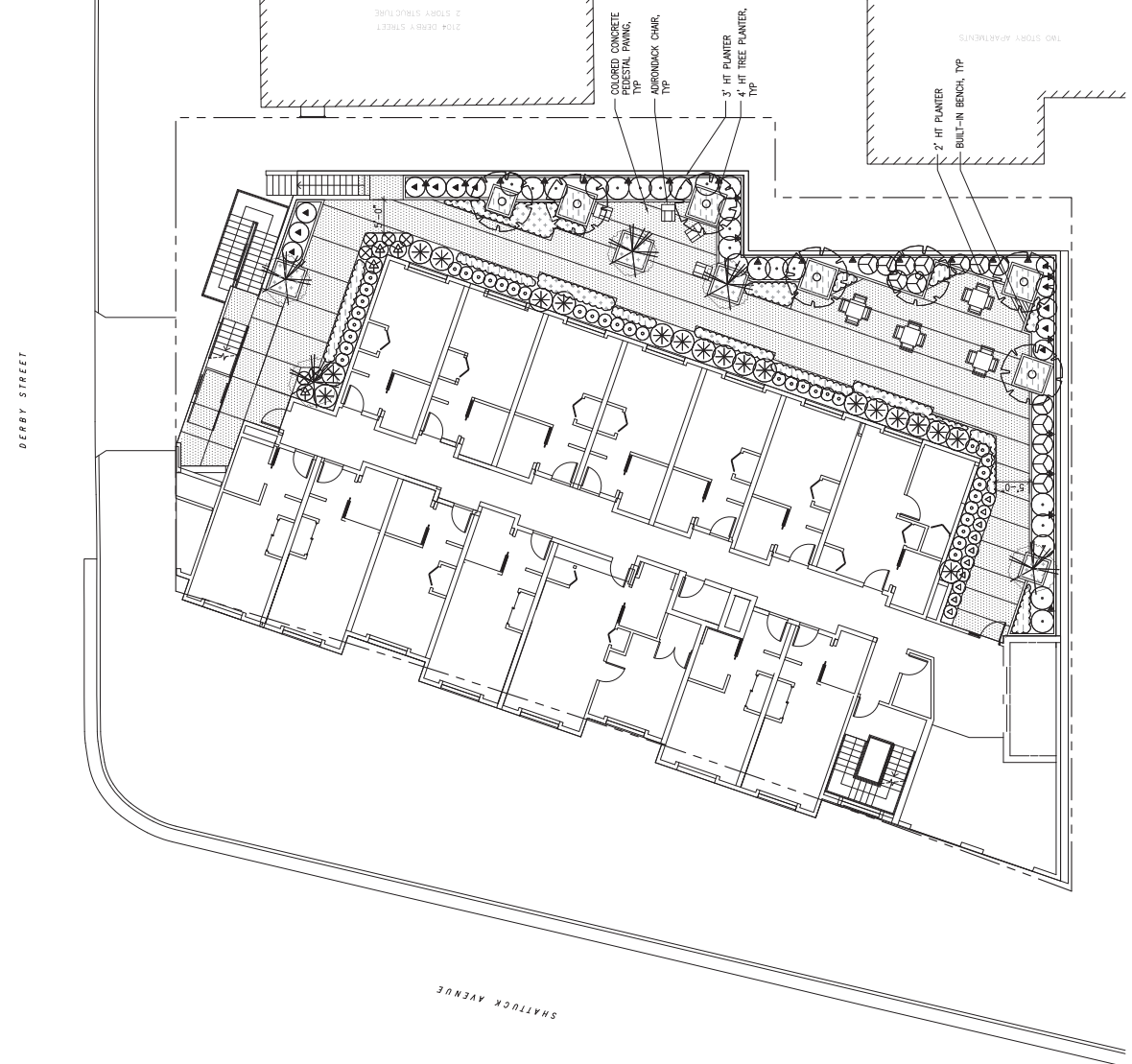
Scale: 1/8" = 1'-0"

0 1' 2' 4' 8'

Scale: 1/8" = 1'-0"

1:2.2

| SYMBOL | BOTANICAL NAME | COMMON NAME |
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| ○ | ANGONZAVIRIS SPP. | KANGAROO PAWNS |
| ○ | KIMPONIA LAMBIA | TORCH LILY |
| ○ | LAMANDRA LONGIFOLIA 'BREEZE' | LAMANDRA |
| ○ | LOROPETALUM V. RUBRUM 'BLUSH' | PRINCE FLOWER |
| ○ | HEMEROCALLIS SPP. | DAYLILY |
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| ○ | MULHBERGIA RIGENS | DEER GRASS |
| ○ | POLYSTICHUM MUNITUM | CA. SWORD FERN |
| ○ | PHORMIUM 'MARGARET JONES' | NEW ZEALAND FLAX |
| ○ | ROSMARINUS 'TUSCAN BLUE' | T. BLUE ROSEMARY |
| ○ | SARCOCOCOA HODGEREMIA HUMILIS | SWEET BOX |
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| VINES | | |
| ▲ | CAMPISIS RADICANS | TRUMPET VINE |
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| GROUNDCOVER GRASSES | | |
| ○ | CAREX SPP. | SEDGE SPECIES |
| ○ | FESTUCA GLAUCA 'ELMAH BLUE' | BLUE FESCUE |
| ○ | MUSSELLA TENISSIMIA | FEATHER GRASS |
| ○ | TURF | - |
| GROUNDCOVER PLANTING | | |
| ○ | CAREX DIVULSA | GRAY SEDGE |
| ○ | CAREX TUMULOCOLA | BERKELEY SEDGE |
| ○ | GERANIUM 'ANGELUS' | PLUMBAGO |
| ○ | POLYSTICHUM MUNITUM | SWORD FERN |
| PRECAST POT PLANTING MIX | | |
| ○ | ANNUALS, TBD | SEDGE SPECIES |
| ○ | CAREX SPP. | GRAY FESCUE |
| ○ | VERBENA BONARIENSIS | GRAY FESCUE |
| ○ | PHORMIUM HYBRIDS | NEW ZEALAND FLAX |



2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

PLANTING PLAN -
PODIUM

Scale: 1/8" = 1'-0"

0 1' 2' 4' 8'

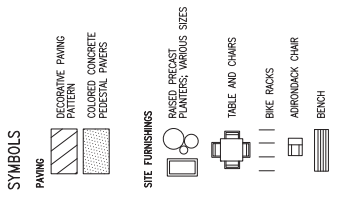
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1:2.2

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| REV | DESCRIPTION |
| 01 | 2018 SUBMITTAL |
| 02 | 2018 SUBMITTAL |
| 03 | 2018 SUBMITTAL |
| 04 | 2018 SUBMITTAL |
| 05 | 2018 SUBMITTAL |
| 06 | 2018 SUBMITTAL |
| 07 | 2018 SUBMITTAL |
| 08 | 2018 SUBMITTAL |
| 09 | 2018 SUBMITTAL |
| 10 | 2018 SUBMITTAL |



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|---------|--------------|
| Checked | Scale |
| Scale | Job No. 1802 |
| Scale | Sheet |
| Scale | L2.3 |

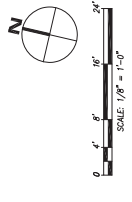


PLANTING NOTES

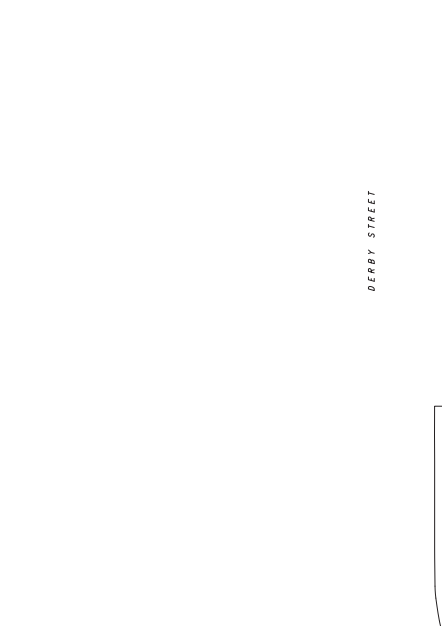
- SOIL MANAGEMENT: REFER TO THE PLAN FOR SOIL MANAGEMENT. PROVIDE A MINIMUM OF 6" OF AGGREGATE TO PROVIDE AGRICULTURAL SOIL ANALYSIS DONE BY A QUALIFIED SOIL-TESTING LABORATORY. SOIL ANALYSIS SHALL BE CONDUCTED FOR AMENDING THE TOPSOIL WITH COMPOST TO BRING ORGANIC MATTER TO A MINIMUM OF 3.5% DRY WEIGHT.
- ALL PLANTING AREAS SHALL BE TOP-DRESSED WITH A 3" LAYER OF ORGANIC MULCH.
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IRRIGATION NOTES

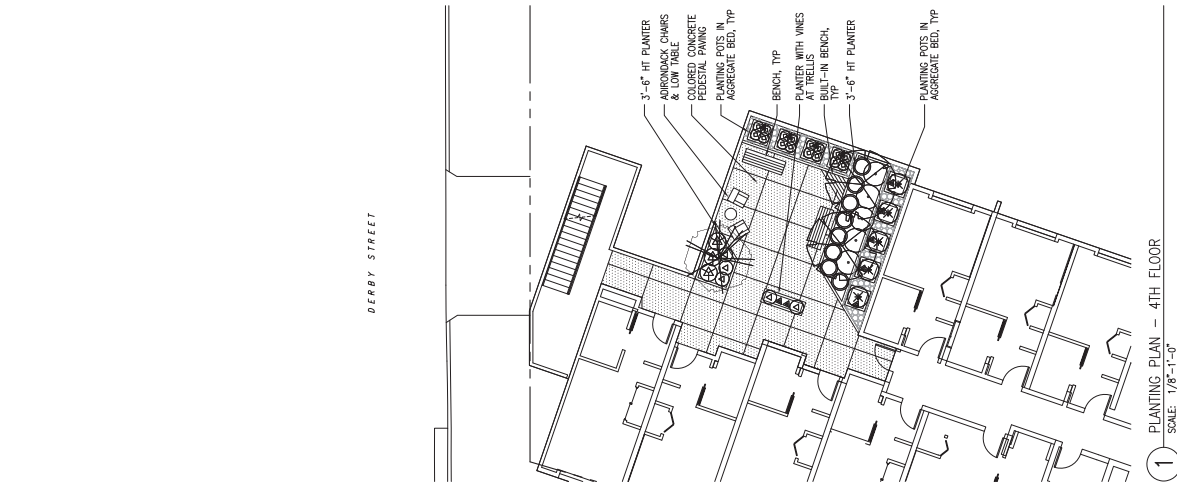
- THESE PLANS SHALL COMPLY WITH THE DESIGN OF THE CALIFORNIA WATER EFFICIENCY ORDINANCE, EBMUD SECTION 31, AND BAY-FRIENDLY BASINS AND APPLY THE REQUIREMENTS OF THE ORDINANCE TO THE USE OF WATER IN THE IRRIGATION DESIGN PLAN.
- IRRIGATION SYSTEM IS TO BE FULLY AUTOMATIC, WITH A SCHEDULING VALVE, MAINLINE AND LOW-FLOW DRIP, SUBSURFACE DRIP, AND BUBBLER DISTRIBUTION. BUBBLERS NOT TO BUBBLE.
- STREET TREES TO BE IRRIGATED WITH 2" POLYETHYLENE GLASS FIBER TUBING. PROVIDE A MINIMUM OF 20 GALLON OF WATER PER WEEK BETWEEN MARCH 15TH TO OCT 15TH.



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| STREET TREES | | |
| + | ACER RUBRUM 'SCARSEN' | SCARLET SEDGEL MAPLE, 24" BOX |
| ○ | ACER BUERGERIANUM | TROENT MAPLE, 24" BOX |
| TREES | | |
| ● | LAGERSTROEMIA INDICA 'DYNAMITE' | GRAPE MYRTLE |
| ○ | ACER PALMATUS 'SANGIS KAKU' MIN HEIGHT: 8'-10' INSTALLED | JAPANESE MAPLE, 36" BOX |
| ○ | ACER RUBRUM 'KAMSTRONG' MIN HEIGHT: 14'-16" INSTALLED | COLUMNAR RED MAPLE, 36" BOX |
| ○ | AZARA MICROPHYLLA | BOULEAF AZARA |
| ○ | CERCIS CANADENSIS, MULTI MIN HEIGHT: 8'-10' INSTALLED | EASTERN REDBUD, 24" BOX |
| ○ | CITRUS LEMON 'NETER IMPROVED' | LEMON LEMON KUMQUAT |
| ○ | CITRUS KUMQUAT | ORANGE SWEET OLIVE |
| ○ | OSMANTHUS FRAGRANS AURANTICUS | ORANGE SWEET OLIVE |
| SHRUBS & GRASSES | | |
| ⊗ | ANEMONE X HYBRIDA 'MONORINE JOBERT' | JAPANESE ANEMONE |
| ○ | PENSTEMON H. 'MARGARITA BOY' | BLUE PENSTEMON |
| ○ | CAREX TUMULICOLA | BERKELEY SEDGE |
| ○ | CORREA 'RAY'S TANGERINE' | AUSTRALIAN FLUCHISA |
| ○ | ANGICANTHUS SPP. | KANGAROO PINKS |
| ○ | KNIPHOFIA UMBRA | TORCH LILY |
| ○ | LAMANDRA LONGIFOLIA 'BREEZE' | LAMANDRA |
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| ○ | VERBENA BONARIENSIS | PURPLE TOP |
| VINES | | |
| ▲ | CAMPERS RADICANS | TRUMPET VINE |
| ▲ | HARDENBERGIA 'HAPPY WANDERER' | PURPLE LILAC VINE |
| GREEN ROOF MIX | | |
| ● | SEDUM RUBROVITICUM | STONECROP |
| ● | SEDUM SPATHULIFOLIUM 'CAPE BLAND' | STONECROP |
| ● | SEDUM ANDELINA | STONECROP |
| ● | SEDUM GRACILE | STONECROP |
| ● | SEDUM PRICKERIANUM | STONECROP |
| ● | SEDUM VITICOLUM 'PATRICK' | STONECROP |
| GROUNDCOVER GRASSES | | |
| ● | CAREX SPP. | SEDGE SPECIES |
| ● | FESTUCA GLAUCA 'ELUM BLUE' | BLUE FESCUE |
| ● | MASSIELLA TENUISSIMA | FATHER GRASS |
| GROUNDCOVER PLANTING | | |
| ● | CAREX DALLSIA | GRAY SEDGE |
| ● | CAREX TUMULICOLA | BERKELEY SEDGE |
| ● | CERASTIUM PLUMBAGINOIDES | DMARF PLUMBAGO |
| ● | SEDUM SPECTABILE | STONECROP |
| ● | POLYSTICHUM MUNITUM | SWORD FERN |
| PRECAST POT PLANTING MIX | | |
| ● | ANNUALS, TEND | SEDGE SPECIES |
| ● | CAREX SPP. | TORCH LILY |
| ● | KNIPHOFIA UMBRA | NEW ZEALAND FLAX |
| ● | PHORNIUM HIBRIDUS | NEW ZEALAND FLAX |



2 PLANTING PLAN - 5TH FLOOR
SCALE: 1/8" = 1'-0"



1 PLANTING PLAN - 4TH FLOOR
SCALE: 1/8" = 1'-0"

| | |
|-----|----------------|
| REV | DESCRIPTION |
| 1 | 2018 SUBMITTAL |
| 2 | 2018 SUBMITTAL |
| 3 | 2018 SUBMITTAL |
| 4 | 2018 SUBMITTAL |
| 5 | 2018 SUBMITTAL |
| 6 | 2018 SUBMITTAL |
| 7 | 2018 SUBMITTAL |
| 8 | 2018 SUBMITTAL |
| 9 | 2018 SUBMITTAL |
| 10 | 2018 SUBMITTAL |

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2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

PLANTING
PLAN -
ROOF

drawn
checked
date
scale
JOB NO.
DATE
L2.4

SYMBOLS

PAVING

- DECORATIVE PAVING PATTERN
- COLORED CONCRETE PEDESTAL PAVERS

SITE FURNISHINGS

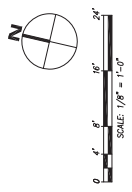
- RAISED PRECAST PLANTERS, VARIOUS SIZES
- TABLE AND CHAIRS
- BIKE RACKS
- APRON/DACK CHAIR
- BENCH

PLANTING NOTES

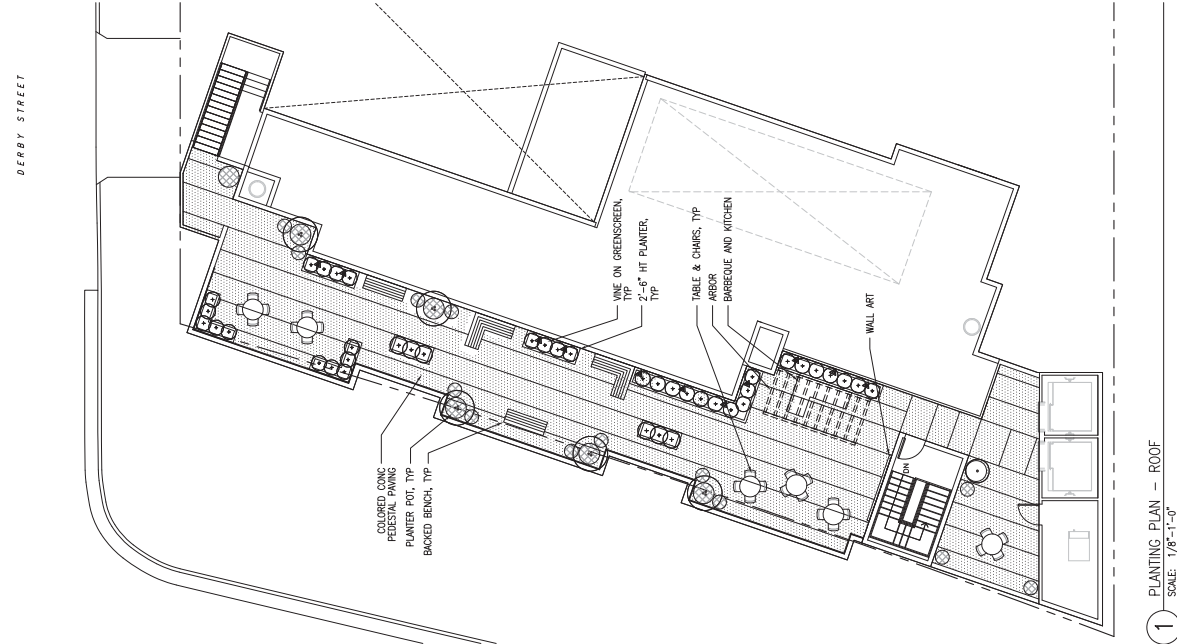
- SOIL MANAGEMENT: REFER UPON COMPLETION OF MASS GRADING TO CONTRACTOR TO PROVIDE AGRICULTURAL SOIL ANALYSIS DONE BY A QUALIFIED SOIL-TESTING LABORATORY. SOIL ANALYSIS SHOULD BE CONDUCTED FOR EACH PLANTING AREA. SOIL SHOULD BE AMENDED TO BRING THE TOPSOIL WITH COMPOST TO A MINIMUM OF 3.5% DRY WEIGHT.
- ALL PLANTING AREAS SHALL BE TOP-DRESSED WITH A 3" LAYER OF ORGANIC MULCH.
- STREET TREES TO BE MINIMUM OF 9" DB SIZE STANDARD TRUNK, A SINGLE DOMINANT CENTRAL LEADER WITH BRACES. ANY TREE NOT LIVE AND VIGOROUSLY GROWING AFTER THREE YEARS SHALL BE REPLACED BY ONE.

IRRIGATION NOTES

- THESE PLANS SHALL COMPLY WITH THE CRITERIA OF THE CALIFORNIA WATER EFFICIENCY ORDINANCE, EBMUD SECTION 31, AND BAY-FRIENDLY BASIS AND APPLY THE FOLLOWING CRITERIA TO THE USE OF WATER IN THE IRRIGATION DESIGN PLAN:
 - IRRIGATION SYSTEM IS TO BE FULLY AUTOMATIC, WITH A 15-MINUTE CYCLE AND A MAXIMUM LOW-FLOW DRIP SUBSURFACE DRIP AND BUBBLER DISTRIBUTION. BUBBLERS NOT TO EXCEED 1.5 GALLONS PER MINUTE PER BUBBLER.
 - STREET TREES TO BE IRRIGATED WITH 2" DRAINAGE HOLES AND BUBBLERS. PROVIDE A MINIMUM OF 20 GALLON OF WATER PER WEEK BETWEEN MARCH 15TH TO OCT 15TH.



| SYMBOL | BOTANICAL NAME | COMMON NAME |
|--------|-------------------------------------|--------------------------------|
| + | ACER RUBRUM 'SCARSEN' | SCARLET SPINDEL MAPLE, 24" BOX |
| ○ | ACER BUERGERIANUM | TRIDENT MAPLE, 24" BOX |
| ● | LAGERSTROEMIA INDICA 'DYNAMITE' | GRAPE MYRTLE |
| ○ | ACER PALMUM 'SANGIS KAVU' | JAPANESE MAPLE, 36" BOX |
| ○ | ACER RUBRUM 'ARMSTRONG' | COLUMNAR RED MAPLE, 36" BOX |
| ○ | AZARA WOODPHILIA | BOULEAF AZARA |
| ○ | CERCIS CANADENSIS, MULTI | EASTERN REDBUD, 24" BOX |
| ○ | CITRUS LUNA 'WATER IMPROVED' | WATER LEMON KUMQUAT |
| ○ | OSMANTHUS FRAGRANS AURANTIACUS | ORANGE SWEET OLIVE |
| ⊗ | SHRUBS & GRASSES | |
| ⊗ | ANEMONE X HYBRIDA 'HONORINE JARRET' | JAPANESE ANEMONE |
| ⊗ | PENSTEMON H. 'MARGARITA BOP' | BLUE PENSTEMON |
| ⊗ | CAREX TUMULOCOLA | BERKELEY SEDGE |
| ⊗ | CORREA 'RAY'S TANGERINE' | AUSTRALIAN FLUCHISA |
| ⊗ | ANGICANTHOS SPP. | KANGAROO PINKS |
| ⊗ | KINHPHIA UMARA | TORCH LILY |
| ⊗ | LOMANDRA LONGIFOLIA 'BREEZE' | LOMANDRA |
| ⊗ | LOROPETALUM V. RUBRUM 'BLUSH' | FRINCE FLOWER |
| ⊗ | HEMORCALIS SPP. | DARTLILY |
| ⊗ | PHORNIUM SPP. | NEW ZEALAND FLAX |
| ⊗ | MULHENERGIA RIENS | DEER GRASS |
| ⊗ | POLYSTICHUM MUNITUM | CA. SWORD FERN |
| ⊗ | PHORNIUM 'MARGARET JONES' | NEW ZEALAND FLAX |
| ⊗ | ROSMARINUS 'TUSCAN BLUE' | T. BLUE ROSEMARY |
| ⊗ | SARODOCOCOA HOOKERIANA HUMILIS | SWEET BOX |
| ⊗ | VERBENA BONARIENSIS | PURPLE TOP |
| ▲ | CAMPUS RADICANS | TRUMPET VINE |
| ▲ | HADDERBERGIA 'HAPPY WANDERER' | PURPLE LILAC VINE |
| ■ | GREEN ROOF MIX | |
| ■ | SEDUM RUBROINCTUM | STONECROP |
| ■ | SEDUM SPATHULIFOLIUM 'CAPE BLAUO' | STONECROP |
| ■ | SEDUM 'ANGELINA' | STONECROP |
| ■ | PHORNIUM 'GRANDE' | NEW ZEALAND FLAX |
| ■ | PHORNIUM 'MARGARET JONES' | NEW ZEALAND FLAX |
| ■ | SEDUM 'ELEUTERIUM PATRIAE' | STONECROP |
| ■ | GROUNDCOVER GRASSES | |
| ■ | CAREX SPP. | SEDGE GRASSES |
| ■ | FESTUCA GALICA 'ELIUM BLUE' | BLUE FESCUE |
| ■ | MASSIELLA TENUISSIMA | FEATHER GRASS |
| ■ | TURF | |
| ■ | GROUNDCOVER PLANTING | |
| ■ | CAREX OVALIS | GRAY SEDGE |
| ■ | CAREX TUMULOCOLA | BERKELEY SEDGE |
| ■ | CERANTHODIA PLUMBAGINOIDES | DWARF PLUMBAGO |
| ■ | PHORNIUM MUNITUM | NEW ZEALAND FLAX |
| ■ | POLYSTICHUM MUNITUM | CA. SWORD FERN |
| ■ | PRECAST POT PLANTING MIX | |
| ■ | ANNUALS, TEND | SEDGE SPECIES |
| ■ | CAREX SPP. | TORCH LILY |
| ■ | KINHPHIA UMARA | NEW ZEALAND FLAX |
| ■ | PHORNIUM HYBRIDS | NEW ZEALAND FLAX |



1 PLANTING PLAN - ROOF
SCALE: 1/8" = 1'-0"

| REV | DESCRIPTION | DATE |
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| 1 | PKG SUBMITTAL | 12/18/16 @ 11/27/17 |
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| 100 | PKG SUBMITTAL | 12/18/16 @ 11/27/17 |

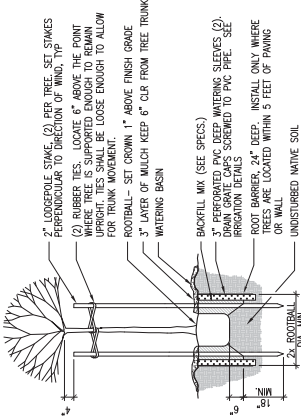
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2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

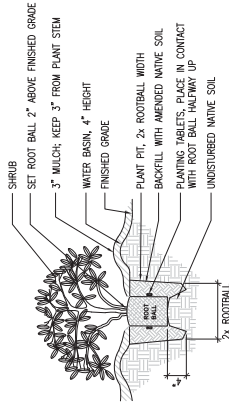
PLANTING
DETAILS

drawn
checked
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1802
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L2.5



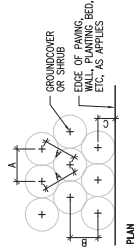
NOTE
EXCAVATE PLANTING PIT TO 2x THE WIDTH OF THE ROOTBALL. SCARIFY SIDES OF PIT.

1 TREE PLANTING
SCALE: 1/2" = 1'



2 SHRUB PLANTING
SCALE: 1" = 1'

| PLANT SPACING & QUANTITIES CHART | | |
|----------------------------------|---------|----------------------------------|
| SPACING | SPACING | NUMBER OF PLANTS PER SQUARE FOOT |
| 4'-0" | 8'-0" | 0.0625 |
| 6'-0" | 12'-0" | 0.0278 |
| 8'-0" | 16'-0" | 0.0156 |
| 10'-0" | 20'-0" | 0.0078 |
| 12'-0" | 24'-0" | 0.0043 |
| 14'-0" | 28'-0" | 0.0026 |
| 16'-0" | 32'-0" | 0.0016 |
| 18'-0" | 36'-0" | 0.0010 |
| 20'-0" | 40'-0" | 0.0006 |
| 22'-0" | 44'-0" | 0.0004 |
| 24'-0" | 48'-0" | 0.0003 |
| 26'-0" | 52'-0" | 0.0002 |
| 28'-0" | 56'-0" | 0.0001 |
| 30'-0" | 60'-0" | 0.0001 |



NOTES
1. DIAGRAM APPLIES TO ALL GROUNDCOVER AND MASSED SHRUB PLANTINGS. SUCH PLANTS ARE TO BE SPACED EQUIVALENT TO EACH OTHER IN A TRIANGULAR PATTERN AS SHOWN ABOVE, UNLESS OTHERWISE NOTED ON THE PLANS.
2. WHERE PERMISSIBLE, MASSING OCCURS ADJACENT TO EDGE OF PAVING, WALLS, CURBS, OR ADJACENT PLANTING BEDS, USE SPACING 'C', WHERE 'C' = 1/2 B.

3 PLANT SPACING
SCALE: 1" = 1'



Office of the City Manager

PUBLIC HEARING
March 12, 2019

To: Honorable Mayor and Members of the City Council
From: Dee Williams-Ridley, City Manager
Submitted by: Timothy Burroughs, Director, Planning & Development Department
Subject: ZAB Appeal of 2701 Shattuck Avenue, Use Permit #ZP2016-0244

RECOMMENDATION

Conduct a public hearing and, upon conclusion, adopt a Resolution affirming the Zoning Adjustments Board (ZAB) decision to approve Use Permit #ZP2016-0244 to construct a 5-story, 62-foot tall, mixed-use building with 57 dwelling units (including five Very Low Income units), a 600-square-foot ground-floor quick-service restaurant, and 21¹ parking spaces, and dismiss the appeal.

FISCAL IMPACTS OF RECOMMENDATION

None.

CURRENT SITUATION AND ITS EFFECTS

On December 13, 2016, Bay Rock Multifamily, LLC submitted an application for Use Permit #ZP2016-0244 to construct a 5-story, 62-foot tall, mixed-use building with 57 dwelling units. Several months later, on January 6, 2018, a revised proposal was submitted that included five affordable units in the building, and requested a density bonus under the State Density Bonus Law (DBL).²

On June 29, 2018, after seven rounds of Incomplete Application comments from staff, the application was deemed complete.

On July 26, 2018, the ZAB held a Preview for the project and provided general comments to the applicant.

On August 16, 2018, the Design Review Committee (DRC) conducted a Preliminary Design Review (PDR) of the project, provided comments to the applicant, and continued the PDR to September 20, 2018. In response to DRC comments, the applicant made revisions to the building design and presented the revisions to the DRC on September 20. At that meeting, the DRC completed the PDR and forwarded a favorable

¹ This number (21) reflects the amount of parking in the project after removing nine spaces (three parking lifts), in order to move the ground-floor east wall westward, per Condition #11 of the permit approved by the ZAB on November 8, 2018.

² Government Code section 65915 *et seq.*

recommendation for the project to the ZAB with conditions and recommendations for Final Design Review (FDR).

On November 8, 2018, the ZAB conducted a public hearing for the Use Permit application. After hearing public comments and holding discussion, and adding Condition #11, the ZAB approved the Use Permit by a vote of 7-1-0-1 (Yes: Clarke, Kahn, O'Keefe, Olson, Pinkston, Selawsky, Wright; No: Sheahan; Abstain: None; Absent: Kim).

On November 20, 2018, staff issued the notice of the ZAB decision. On December 3, 2018, Todd Darling and Linda Jensen Darling, the neighbors residing at 2106 Derby Street, filed an appeal of the ZAB decision with the City Clerk. On February 26, 2019, staff posted the public hearing notice at the site and two nearby locations, and mailed notices to property owners and occupants within 300 feet of the project site, and to all registered neighborhood groups that cover this area. This public hearing is required to resolve the appeal.

BACKGROUND

The site is in the CS-A, South Area Commercial zoning district, along a commercial thoroughfare on Shattuck Avenue that is developed with a wide range of building types and uses. Bordering the site to the east is a neighborhood in the R-2, Two-Family Residential zoning district, consisting mostly of 1-story, single-family residences and 2-story, multi-family residences. Several large mixed-use and residential projects have been approved and constructed or are proposed nearby the subject site, in the C-SA district, within last several years:

- Constructed (approved in 2012), "Parker Apartments", 1.5 blocks north of the site at 2598-2600 Shattuck Avenue – 5-story, 60'-tall mixed-use project of two buildings with 155 units;
- Constructed (approved in 2015), a residential modular housing project on the adjacent parcel to the south at 2711 Shattuck Avenue – 4-story, 50'-tall building with 22 units;
- Under construction (approved in 2016), "The Roost", 3 blocks north of the site, and west of Shattuck Avenue at 2029-2035 Blake Street – 5-story, 60'-tall mixed-use building with 82 units;
- ZAB Project Preview held on October 11, 2018, a proposal for a mixed-use building one block north of the subject site at 2628 Shattuck Avenue – 6-story, 65'-tall building with 78 units.

The 2701 Shattuck project site under appeal has had two development proposals since the early 2000's which were approved but never built: a 3-story, 17-unit project in 2002 and a 5-story, 24-unit project in 2007. Both were mixed-use proposals which were approved with reduced setbacks and increased lot coverage compared to the base allowed by zoning.

In 2013, the ZAB considered a proposal for the subject site that was very similar to the current project being appealed – it was a 5-story, mixed-use building with 67 dwelling units (as opposed to the 57 units in the 2018 project). The 2013 project was denied because the ZAB was unable to make findings for approval. In the staff report, the denial findings focused on the building being out of scale and incompatible with the residential neighborhood to the east, and a failure of the applicant to adopt design alternatives suggested by the ZAB that would remedy these issues. (See Attachment 4, ZAB Preview Staff Report). The 2013 project also met with strong neighbor opposition. The project did not include a density bonus.

The current proposal was submitted in 2016, and differed from the 2013 proposal in that it had been re-designed to address the previous denial findings by accepting the design alternatives suggested by the ZAB in 2013. In addition, by invoking Density Bonus law, the developer is entitled to a bonus of 15 units, as well as waivers for height, reduced setbacks, and lot coverage to accommodate the inclusion of the bonus units. Concessions necessary for financial feasibility of the project to provide the affordable units were also granted. (See Attachment 5, ZAB Hearing Staff Report and Project Plans for details.) Furthermore, the current project was eligible for approval according to the State Housing Accountability Act (HAA). Pursuant to the HAA, the ZAB could not deny the project, nor approve it at a reduced density (number of units), because the findings for “specific adverse impact” could not be made.³

At the November 8, 2018 ZAB hearing, given that the project building envelope and density, including waivers for height, reduced setbacks, and lot coverage, were entitled to the project via DBL and the HAA, the ZAB attempted to alleviate persistent neighbor concerns over privacy, massing, and access to sunlight by negotiating design adjustments to the portions of the building closest to the eastern neighboring properties.⁴ The applicant agreed to a condition of approval that was added to the permit that requires substantive changes to the building design, to be presented to and approved by the DRC at FDR, which occurs prior to the application for building permits. Draft plans of the revised design have been submitted, and are attached for the City

³ Housing Accountability Act, California Government Code Section 65589.5(j). The HAA requires that findings for “specific adverse impact” must be made to deny or approve with reduced density a project that is compliant with applicable, objective general plan and zoning standards. The HAA applies to projects that have also received modifications to standards that are granted as waivers or concessions under DBL.

⁴ Because the building envelope was ensured by waivers through DBL, and the number of units was entitled to the project via the HAA, the ZAB only had the ability to influence building design elements such as color, materials, and minor adjustments to the massing that would not affect these entitlements. The ZAB also allowed a reduction in parking to below the minimum requirement per zoning standards (eliminate three parking lifts/nine spaces) to reduce the massing on the ground level on the eastern side of the building in order to address neighbor concerns. See Condition #11, Attachment 1, Exhibit A, Findings and Conditions, for details of revisions to be made by the applicant prior to FDR.

Council's consideration.⁵ (See Attachment 1, Exhibit B, Revised Project Plans – revisions are clouded and labeled “Revised per Condition #11”.)

ENVIRONMENTAL SUSTAINABILITY

The project approved by the ZAB is in compliance with all State and local environmental requirements.

RATIONALE FOR RECOMMENDATION

The issues raised in the appellant's letter and staff's responses follow. For the sake of brevity, the appeal issues are not re-stated in their entirety. Please refer to the attached appeal letter (Attachment 2, Appeal Letter) and the letter referenced in the appeal letter (Attachment 3, Supplemental Communications Letter) for the full text.

Issue 1: City Public Meeting Regulations. The appellants assert that project plans were not made available for public review for a sufficient time period. The City calls for a 30-day review period before the public hearing; the plans were made available seven days before the hearing, on November 8, 2018.

Response 1: The appellant is incorrect about the City's requirements. Public Notice Requirements are specified in the Berkeley Municipal Code (BMC), Section 23B.32.020. The project was noticed in accordance with this section – postcard hearing notices were mailed to all property owners and occupants within 300' of the site and to interested organizations 14 days prior to the hearing (on October 25, 2018), and Notices of Public Hearing were posted at and near the project site on the same day. The postcards and on-site notices provided the link to the project webpage that contains up-to-date application materials, ZAB materials, and all ZAB Preview and DRC materials as of that date. As is also customary and set forth in the City's Commissioners' Manual, the ZAB agenda and

⁵ Condition #11: Final Design Review. The Project requires Final Design Review (FDR) approval by the Design Review Committee. Plans presented at FDR shall include the following design changes:

- A. Eliminate the three south parking lifts along east wall (between floorplan reference lines D and E) and align the exterior podium wall with eastern wall of utility room, creating an approximately 18'-wide setback from the east property line; provide at grade planting in the expanded setback area to the satisfaction of the DRC. (Sheet A2.1)
- B. Move podium railing/parapet to the inside (west) edge of the planting beds so that the planting beds are east of it, to soften the wall edge; detail to be worked out at FDR. (Sheet A2.2)

In addition, the applicant shall consider revising the project to address the following design changes for presentation to the DRC at FDR:

- Better screening on the north stairs and the eastern open space decks to increase privacy;
- Utilize robust plants that grow quickly to provide immediate privacy to east of the site;
- Find a solution for greater privacy on east windows for both residents and neighbors; and
- Explore ways to reduce the apparent massing of the north stair as experienced from the street; consider pulling the stair mass closer into the building.

links to the November 8th hearing materials were posted on the project webpage one week prior the hearing on November 1, 2018.

BMC Sections 23B.32.020.C and F state that the public notices or mailed notices *may* be for a longer time period than 14 days, up to 30 days maximum, when required by State law or extended by the Zoning Officer and/or Board, for applications of major significance. The Board did not take any action to extend the notice period for this project application, so notices were sent and posted 14 days prior to the hearing in accordance with the ordinance.

At the suggestion of a neighbor (now the Appellant), staff revisited the site on Friday, November 2, 2018, eight days after the initial posting of notices, to verify that the notices were still in place. Upon revisiting the site, staff noted that the notices were taken down by an unknown party. Staff re-posted all of the notices on the next business day, Monday, November 5, 2018.

The plan set that was included with the November 8 ZAB materials on the web page was submitted by the applicant on October 30, 2018, and reflected minor changes to the building design that were made in response to comments made by the DRC during PDR. Otherwise, these plans were substantially similar to the plans that had been available to the public since the July 26, 2018 ZAB Preview, and substantially similar to the plans that had been publicly available since the August 16 and September 20 DRC PDR meetings. Thus, a version of the project plans that were essentially the same as the plan set seen by the ZAB on November 8th was available at least four months prior to the hearing. Moreover, the public had opportunities to speak on the project proposal at the July 2018 ZAB Preview, as well as two separate DRC meetings, prior to the November 2018 ZAB decision hearing. Finally, Planning Department staff contact information is publicly available at all times for anyone who needs assistance finding specific information about any application.

Issue 2: Deceptive Plans. The appellants assert that the project plans are purposefully drawn to minimize impact and detriments, and omit information to hide significant impacts in terms of setbacks, massing, shadows, and height. The applicants chose to show shadows at 2 p.m., but not 3 p.m. when significant shadows begin to occur.

Response 2: The applicant submitted plans that adequately met the City's submittal requirements for permit applications. Land Use Planning submittal requirements include: site plans, floor plans, sections, and elevations that are drawn to scale by a licensed architect; street elevations; and

photo simulations from at least four angles that demonstrate maximum impact on views from surrounding properties. The applicant also submitted 3D renderings from additional viewpoints, which are not required, but are typical of a project of this size.

The zoning permit application submittal requirements ask for shadow diagrams that depict shadows which would occur on the summer and winter solstices, and on the date of application, for three times during the day – two hours after sunrise, noon, and two hours before sunset. The applicant has supplied diagrams for these times and for additional times throughout the day. Shadow diagrams for every two hours from sunrise to sunset for each of the dates were submitted, and include the time period of 3 p.m. and later for each date. (See Attachment 1, Exhibit B, Revised Project Plans, sheets S1.0 to S1.4.)

- Issue 3: Affordable Units and In-Lieu Fees. The appellants assert that the detriments resulting from the project outweigh the benefits to the public from four affordable units or the in-lieu fee paid to provide fewer affordable units.
- Response 3: Pursuant to BMC Section 22.20.065, the project is subject to the local Affordable Housing Mitigation Fee (AHMF). The Affordable Housing Mitigation Fee is currently \$34,884 for every market rate unit in the project if paid at issuance of a building permit or \$37,962 if paid at the time a certificate of occupancy is issued. The AHMF ordinance allows an applicant to choose whether to provide Below Market Rate (BMR) units, up to 20% of the total project units, in-lieu of payment of the full fee. The applicant proposes to provide five (9% of the total) Very Low Income (VLI) units and pay the fee for the remainder (11%) of the requirement. The applicant has indicated that they intend to pay the fee amount of approximately \$1 million for the remainder, which would be placed in the City's Housing Trust Fund, which helps to fund affordable housing projects in the City.
- Issue 4: CEQA: The appellants assert that the character of the neighborhood should be protected by CEQA, and CEQA should apply to the project.
- Response 4: The project is exempt from further review under the California Environmental Quality Act (CEQA) under Categorical Exemption Class 32, found in CEQA Guidelines section 15332 ("In-Fill Development Projects").
- Issue 5: Ground-floor Units. The appellants assert that the project appropriates much of the pedestrian space on the sidewalk along the Shattuck Avenue project frontage with private gardens for the ground-level units

and commercial bike racks, without public input, to build an oversized project that provides no front setback and violates other City Codes that require setbacks for ground-level dwelling units.

Response 5: The interface between the ground-floor units and the public sidewalk along Shattuck Avenue was discussed at the ZAB Preview and both DRC meetings, where the public was invited to express any concerns about the project. The bike racks proposed to be outside the lobby on the Shattuck Avenue sidewalk have also been shown on the plan set for all of these meetings. Several solutions were discussed to improve the transition from private to public space at this building frontage, and the layout with raised planting beds and integrated public seating shown on the approved plan set were reviewed by the ZAB, the DRC and the Public Works (PW) department prior to the project's approval on November 8, 2018. Additionally, the DRC will conduct a Final Design Review, and PW will review the plans once more for approval of an encroachment permit prior to the issuance of any building permits.

The project site is in the C-SA (South Area Commercial) zoning district, which refers to the R-4 zoning district yard standards for a mixed-use building. The project is a density bonus proposal, which entitles the project to a waiver for the front yard to be 0 feet, where 15 feet is normally required, in order to accommodate the density bonus units on the site. Though other districts such as the C-NS (North Shattuck Commercial) district may have restrictions for residential uses located on the ground floor near the right of way,⁶ the C-SA District has no such restrictions on ground-floor residential uses, and the project is compliant with all yard standards for the site.

Issue 6: Dormitory Housing. The appellants assert that the design of the building encourages a transient student population that is not consistent with the family character of the existing neighborhood, and is an ad hoc dormitory for U.C. Berkeley without U.C. programs or supervision, which will bring raging parties next to families with toddlers.

Response 6: State law prohibits the City from discriminating among or against types of residents in its approval of new housing. The HAA also prohibits the City from denying approval of the project based on subjective standards or hypothetical concerns about future residents. The 2701 Shattuck project was approved based upon the project's satisfaction of approval findings and all development standards under State law and the municipal code. Concerns about the post-construction operation of the

⁶ The C-NS district requires that in a mixed-use building, no residential use may be located on the ground floor within 20 feet of a property line adjoining a public right-of-way.

building could be addressed by provisions in the Berkeley Municipal Code for the protection of public peace, morals and welfare (nuisance). Any violations of the municipal code can be reported to the City department that handles code enforcement.

Issue 7: Traffic and Safety. The appellants allege that the lack of visibility around the corner would cause car accidents because the project has zero setback on Shattuck Avenue and Derby Street. The lack of parking in the building to the south that just finished construction causes its residents to pull around the corner to Derby and park illegally to visit the new building. A new parking lot at 2701 Shattuck with a few dozen parking spaces and an entrance on Derby will cause cars to queue up to park. Cars driving fast and turning right onto Derby will crash into waiting cars. Also the zero setback on Derby provides exiting cars with no visibility to pull out, increasing the likelihood of cars turning the corner to hit them. There has been no discussion of a traffic study to validate the safety of the design.

Response 7: The applicant submitted a Transportation Assessment (TA) for the project, which was reviewed and deemed adequate by the City's Transportation Division. The TA concluded from an analysis of the site plan that the proposed driveway location would provide adequate sight distance between vehicles exiting the garage and pedestrians / vehicles on Derby Street.⁷ In addition, the TA concluded that the site plan provides sufficient accommodation of access and circulation for pedestrians, bicyclists, transit riders, and motor vehicles. Further, at the November 8 hearing the ZAB directed the applicant to remove three parking stackers or nine parking spaces (in response to neighbor comments on the deficiency of light and privacy for the adjacent residents), which would reduce the number of vehicle trips in and out of the parking lot from the number of trips for the original proposal, and thus further reduce the potential for safety issues at that corner.

Issue 8: Height, Shadow and Privacy. The appellants allege that the stair on the north side of the building and the roof deck, if considered with the proposed trees and rooftop structures, create a 6-story building (and not a 5-story building, as described in the staff report) which will reach a height of 70 feet. The shadow studies did not factor in the trees and rooftop structures. The north stair and the roof deck are open areas where 2701 Shattuck residents will congregate and look down upon adjacent residents' yards. It also increases the shadows on adjacent properties, and is unattractive. It will depress adjacent property values,

⁷ 2701 Shattuck Transportation Assessment, by Kittleson and Associates, dated March 2, 2017, p.10.

increase shadow, decrease light, and decrease privacy for these adjacent properties.

Response 8: The north stair on the project is an exterior stairway that provides access to and emergency egress from the roof deck and all floors of the building. Typically, neither unenclosed stairs nor landscaping (no matter how tall) are considered to be a “story” by definition in the municipal code.⁸ In response to neighbor concerns for privacy expressed at the first DRC meeting, more screening (permeable) was added to the north stair, which increased the built height for the stair at the roof level. Nevertheless, the stair remains unenclosed and does not constitute a sixth story. The enclosed portions of the building reach five stories, and the height of the building, as measured to the top of the parapet, per definition of height in the municipal code, is 62’-4”.⁹

The submitted shadow studies project shadows for all permanent, built elements of the building, but not for soft elements such as plants, trees, or roof deck furniture. This is not unusual, as such soft elements are not permanent, and can change unpredictably in massing and height over time. Furthermore, these elements do not span or cover the entire rooftop area of the building, and therefore would not cause a significant increase in shade compared to the entirety of the permanent, built structure. (The shadow impacts from the building are analyzed in the November 8, 2018 ZAB Hearing Staff Report, Attachment 5, page 19.)

Privacy impacts from the building, including any impacts produced by the north exterior stair, were discussed extensively at both DRC meetings, where the DRC suggested that a setback of the landing at the fifth floor and increased screening on the stair volume be added to the design to address the neighbors’ privacy concerns. These revisions were included in the ZAB-approved plans. In addition, at the November 8 ZAB hearing, the ZAB directed the applicant to eliminate some of the interior, ground-floor parking so that the eastern ground-floor wall could be moved away from the neighbors, to provide greater privacy and light to these residents. Additional requirements by the ZAB are contained in Condition #11 of the Use Permit to remedy privacy, light, and massing

⁸ A “story”, per Berkeley Municipal Code, section 23F, is “That portion of a building included between the upper surface of any floor and the upper surface of the floor next above, except that the topmost story shall be that portion of a building between the floor of the topmost floor and the ceiling or roof above”.

⁹ Per Berkeley Municipal Code, section 23F, the height of a building with a parapet is measured from the average level of the highest and lowest point of that portion of the lot covered by the building to the top of the parapet wall.

concerns from the neighbors. (See Attachment 1, Exhibit A, Findings and Conditions.)

Issue 9: Solar Access and Air Flow. The appellants allege that the project will cause their home to lose 5-6 hours of daylight per day. Their solar panels will be shaded by the building during peak sunlight hours, and will cost them lost revenue from potential energy sales to East Bay Community Energy. It will cause neighbors to use more indoor heating because of the lack of sunlight, cause more seasonal affective disorder, and cause neighbors to lose their ability to grow food in back porch gardens. The project is too massive and tall, and blocks the natural breeze that blows from west to east, causing detriments to gardens, and an increase in summer heat and the need for air conditioning.

Response 9: The project meets development standards for height as set forth in State law and the municipal code. Shadow impacts from new buildings must be expected, and are typically analyzed in the staff report for consideration by the ZAB to inform their decision on projects. The ZAB, via their approval of the project, has determined that the shadow impacts from the proposal to be acceptable in return for the benefits provided by other aspects of the project, within the constraints imposed by development standards for the property and State law.

Likewise, for air flow, any impacts from new buildings, whether it be blocked air flow or new air flow streams created, must be expected. It is anticipated that the shade from the building would help to *lower* summer heat and *reduce* the need for air conditioning inside adjacent homes.

As for light access for solar panels, the California Solar Rights Act does not include provisions to protect solar access, though it does recognize the possibility of a “solar easement” to be created.¹⁰ The Solar Shade Control Act protects solar access from shading by plants and trees, but does not preclude private development which may cast shadows on solar panels.¹¹

¹⁰ The Solar Rights Act comprises the following California codes of law: California Civil Code Sections 714 and 714.1, California Civil Code Section 801-801.5 (solar easements), California Government Code Section 65850.5, California Health and Safety Code Section 17959.1, California Government Code Section 66475.3, and California Government Code Section 66473.1.

¹¹ Government Code, Sections 25980–25986.

Issue 10: Flooding and Derby Creek. The appellants allege that the project site is located on top of Derby Creek. No studies have been submitted for excavation on top of the creek or impact to neighboring properties.

Response 10: Staff consulted with the City Public Works Department prior to the November 8 hearing. PW staff confirmed that the subject property is not in a City creek buffer area because the storm drain on Derby Street intercepts the water from what was known as Derby Creek, which is shown on a historic City creek map (source date, 1850). The storm drain was constructed many years ago, and the creek channel which was once Derby Creek was filled. Thus, the creek protection requirements (such as setbacks for construction) under BMC section 17.08 do not apply to the property. The Building and Safety Division will require a geotechnical report (which analyzes the soils on the site and informs site excavation and foundation design) prior to the issuance of building permits.

In conclusion, the project meets all of the findings necessary for approval of the permit. Therefore, staff recommends that the City Council uphold the ZAB decision to approve the project with the attached Revised Plans and Conditions of Approval.

ALTERNATIVE ACTIONS CONSIDERED

Pursuant to BMC Section 23B.32.060.D, the Council may (1) continue the public hearing, (2) reverse, affirm, or modify the ZAB’s decision, or (3) remand the matter to the ZAB.

Action Deadline:

Pursuant to BMC Section 23B.32.060.G, if the disposition of the appeal has not been determined within 30 days from the date the public hearing was closed by the Council (not including Council recess), then the decision of the Board shall be deemed affirmed and the appeal shall be deemed denied.

CONTACT PERSONS

Timothy Burroughs, Director, Planning & Development Department, (510) 981-7437
Steven Buckley, Land Use Planning Manager, (510) 981-7411
Sharon Gong, Project Planner, (510) 981-7429

Attachments:

1. Draft Resolution
 - Exhibit A: Findings and Conditions
 - Exhibit B: Revised Project Plans, received February 5, 2019
2. Appeal Letter, dated received December 3, 2018
3. Supplemental Communications Letter to ZAB, dated November 5, 2018
4. ZAB Preview Staff Report, dated July 13, 2017

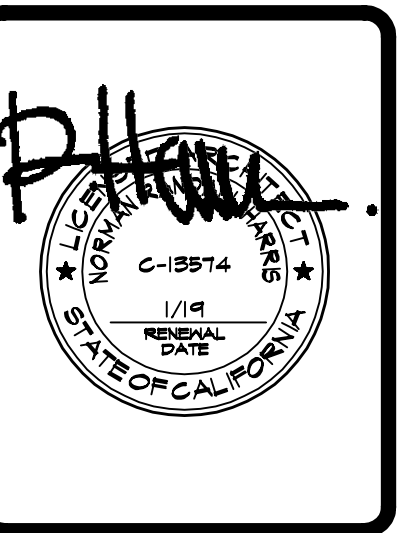
5. ZAB Hearing Staff Report and Project Plans, dated November 11, 2018
6. Index to Administrative Record
7. Administrative Record
8. Public Hearing Notice

2701 SHATTUCK AVENUE



| revisions | by |
|-------------------------------------|----|
| DRC SUBMITTAL 12/15/16 & 1/27/17 | - |
| ZAB SUBMITTAL 4/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 1/09/19 | AY |

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2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
COVER

drawn
checked
RH
date
3/07/18
scale
NO SCALE
job no.
1802
sheet

A.O.O

Received 2/5/19, Revised for City Council Appeal on 3/12/19

BASE PROJECT ZONING REQUIREMENTS

LOT COVERAGE
 40% COVERAGE ALLOWABLE
 LOT SIZE: 11,826 SF
 TOTAL SF ALLOWABLE: 4,730 SF
 ACTUAL COVERAGE: 4,730 SF

OPEN SPACE
 REQUIRED: 40 SF/UNIT USEABLE OPEN SPACE
 42 UNITS X 40 SF/UNIT = 1,680 SF
 PROVIDED OPEN SPACE: 1,850 SF

FAR CALCULATION
 ALLOWABLE FAR: 4.0
 BASE PROJECT FAR: 1.6 (18,947 SF / 11,826 SF = 1.60)

PARKING CALCULATION

COMMERCIAL PARKING
 COMMERCIAL GFA: 558 SF
 REQUIRED STALL RATIO: 1:300 SF
 REQUIRED STALLS: 2
 STALLS PROVIDED: 2

RESIDENTIAL PARKING *
 RESIDENTIAL FLOOR AREA: 18,736 SF
 REQUIRED STALL RATIO: 1:1,000 SF GFA
 REQUIRED STALLS: 19
 STALLS PROVIDED: 23

TOTAL AUTO PARKING: 25 SPACES

COMMERCIAL BIKE PARKING
 COMMERCIAL SPACES REQUIRED: 1 SPACE/2,000 SF COMMERCIAL AREA
 COMMERCIAL FLOOR AREA: 558 SF
 $558 / 2,000 = (0.3) = 1$
 COMMERCIAL SPACES PROVIDED: 1 SPACE

RESIDENTIAL BIKE PARKING
 RES. SPACES REQUIRED: 1 SPACE/2,000 SF RESIDENTIAL AREA
 RES. FLOOR AREA: 19,736 SF
 $19,736 / 2,000 = 9.9$
 RES. BIKE SPACES PROVIDED: 10 SPACES

TOTAL BIKE PARKING: 11 SPACES

ROOFTOP COVERAGE CALCULATION

AVERAGE FLOOR AREA: 18,947 SF / 4 STORIES = 4,737 SF
 ALLOWABLE ROOF COVERAGE: 15% X 4,737 SF = 711 SF

ROOFTOP ELEMENTS
 STAIR 1: 145 SF
 STAIR 2: 166 SF
 ELEVATOR: 157 SF
 COMMERCIAL EXH.: 5 SF
 MACHINE ROOM: 70 SF

TOTAL COVERAGE: 543 SF

* - FIRST 1000 SF EXEMPT OFF-STREET PARKING (BMC SECTION 23E.52.080.C)

PROPOSED DENSITY BONUS PROJECT ZONING REQUIREMENTS

LOT COVERAGE
 LOT SIZE: 11,826 SF
 COVERED AREA OF LOT: 10,217 SF
 $10,217 SF / 11,826 SF \times 100\% = 86\%$

OPEN SPACE
 REQUIRED RATIO: 40 SF PER UNIT
 REQUIRED AREA: 57 UNITS X 40 SF/UNIT = 2,280 SF

PODIUM OPEN SPACE: 2,983 SF
 4TH LEVEL OPEN SPACE: 625 SF
 5TH LEVEL OPEN SPACE: 285 SF
 ROOFTOP OPEN SPACE: 1,979 SF
PROVIDED OPEN SPACE: 5,872 SF

REVISED PER CONDITION #11

FAR CALCULATION
 ALLOWABLE FAR: 4.0
 PROPOSED FAR: 2.4 (27,980 SF / 11,826 SF = 2.36)

PARKING CALCULATION

COMMERCIAL PARKING
 COMMERCIAL AREA: 600 SF
 REQUIRED STALL RATIO: 1:300 SF
 REQUIRED STALLS: 2
 STALLS PROVIDED: 2

RESIDENTIAL PARKING *
 RESIDENTIAL FLOOR AREA: 27,213 SF
 REQUIRED STALL RATIO: 1:1,000 SF
 REQUIRED STALLS: 28
 STALLS PROVIDED: 19

TOTAL AUTO PARKING: 21 SPACES

REVISED PER CONDITION #11

COMMERCIAL BIKE PARKING
 COMMERCIAL SPACES REQUIRED: 1 SPACE / 2,000 SF
 COMMERCIAL FLOOR AREA: 600 SF
 $600 / 2,000 = 0.3$
 COMMERCIAL SPACES PROVIDED: 5 SPACES

RESIDENTIAL BIKE PARKING
 RESIDENTIAL SPACES REQUIRED: 1 SPACE/2000 SF RESIDENTIAL AREA
 RESIDENTIAL FLOOR AREA: 28,213 SF
 $28,213 / 2,000 = 15 (14.1)$
 RESIDENTIAL SPACES PROVIDED: 44 SPACES

TOTAL BIKE PARKING: 49 SPACES

ROOFTOP COVERAGE CALCULATION

AVERAGE FLOOR AREA: 27,980 SF / 5 STORIES = 5,596 SF AVERAGE
 ALLOWABLE ROOF COVERAGE: 15% X 5,596 SF = 839 SF

ROOFTOP ELEMENTS
 MECHANICAL EXH.: 5 SF
 TRASH CHUTE EXH.: 32 SF
 COMMERCIAL EXH.: 21 SF
 MACHINE ROOM: 143 SF
 STAIR: 178 SF
 COVERED WALK: 201 SF
 ELEVATOR: 156 SF
 TRELIS: 98 SF

TOTAL COVERAGE: 834 SF

CITY OF BERKELEY ZONING SUMMARY

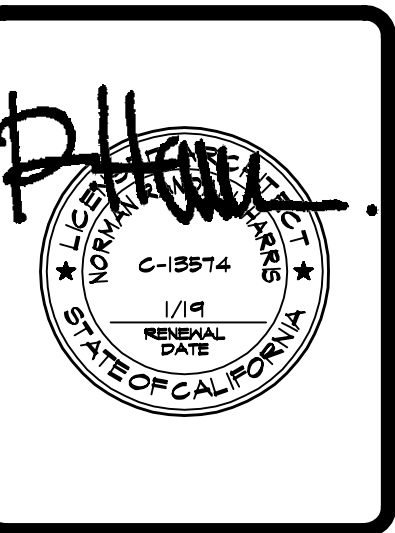
| ZONE | C-SA (SOUTH AREA COMMERCIAL) | | |
|--|------------------------------|--------------|-------------|
| | EXISTING | BASE PROJECT | PROPOSED*** |
| Number of Dwelling Units | 0 | 42 | 57 DU |
| RESIDENTIAL PARKING | 0 | 23 | 19 |
| COMMERCIAL PARKING | 0 | 2 | 2 |
| RESIDENTIAL BIKE STALLS | 0 | 10 | 44 |
| COMMERCIAL BIKE STALLS | 0 | 1 | 5 |
| Front Yard Setback | - | 15 | 0 FT |
| Side Yard Setback (Right Side) | - | 4 | 8 FT |
| Side Yard Setback (Street Side) | - | 6 | 0 FT |
| Rear Yard Setback | - | 15 | 0.5 FT |
| Building Height | - | 50 | 62'-4" FT |
| Building Stories | - | 4 | 5 |
| Lot Area | 11,826 | 11,826 | 11,826 SF |
| Lot Area (Acres) | 0.27 | 0.27 | 0.27 |
| Level 1 | - | 4,118 | 2,440 SF |
| Mezzanine | - | 1,428 | 775 SF |
| Level 2 | - | 4,730 | 6,699 SF |
| Level 3 | - | 4,730 | 6,655 SF |
| Level 4 | - | 4,730 | 5,966 SF |
| Level 5 | - | - | 5,678 SF |
| Roof Level | - | - | SF |
| RFA (Residential Floor Area per BMC)* | | 19,736 | 28,213 SF |
| Commercial | | 558 | 600 SF |
| Trash | | 57 | 468 SF |
| GFA(Residential GFA + Commercial)** | | 18,947 | 27,980 SF |
| Elevators+ Stairs(2nd floor to the top residential floor) | | 1,404 | 1,301 SF |
| Building Footprint | 0 | 4,730 | 10,217 SF |
| Lot coverage | 0 | 40% (max) | 86% |
| FAR (Floor Area Ratio) | 0 | 1.6 | 2.4 |
| Usable Open Space | 0 sf | 1,883 | 6,212 SF |

REVISED PER CONDITION #11

*RFA PER CITY PLANNER'S GUIDANCE, includes stairs and elevators on all residential floors and EXCLUDES TRASH area
 **GFA includes stairs and elevators on the floor of the greatest horizontal extent, commercial space and trash room, Per BMC DEFINITION OF FLOOR AREA, GROSS (23F.04.010)
 ***INCLUDES WAIVERS AND CONCESSIONS

| revisions | by |
|----------------------------------|----|
| DRC SUBMITTAL 12/15/16 & 1/27/17 | - |
| ZAB SUBMITTAL 4/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 1/03/18 | AY |

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 walnut creek, ca 94597
 (925) 256-6042



2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
ZONING & SUPPORTING CALCULATIONS

drawn
 checked
 RH
 date
 3/07/18
 scale
NO SCALE
 job no.
 1802
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AO.IA

STEP 1: BASE PROJECT

THE BASE PROJECT IS A HYPOTHETICAL PROJECT THAT REPRESENTS THE "MAXIMUM ALLOWABLE RESIDENTIAL DENSITY" FOR A PROPOSED PROJECT AT A PARTICULAR SITE.

STEP 1.1 CALCULATE MAX. ALLOWABLE RESIDENTIAL FLOOR AREA
CALCULATE THE BASE PROJECT'S RESIDENTIAL FLOOR AREA, INCLUDING EACH STORY OF A HYPOTHETICAL BUILDING, ON THE PROPOSED SITE.

STEP 1.1: BASE PROJECT RESIDENTIAL CALCULATIONS

| | |
|--|---------------|
| LEVEL 1 RES. | 4,118 sf |
| LEVEL 1 MEZZANINE RES. | 1,428 sf |
| LEVEL 2 RES. | 4,730 sf |
| LEVEL 3 RES. | 4,730 sf |
| LEVEL 4 RES. | 4,730 sf |
| ROOF LEVEL | - |
| TOTAL MAX. RESIDENTIAL FLOOR AREA | 19,736 |

STEP 1.2 CALCULATE AVERAGE UNIT SIZE

USING THE PROPOSED PROJECT'S PLANS, CALCULATE THE TOTAL FLOOR AREA DEDICATED TO RESIDENTIAL USES ON EACH FLOOR.

STEP 1.2A: PROPOSED DENSITY BONUS PROJECT RESIDENTIAL CALCULATIONS

| | |
|-------------------------------------|------------------|
| LEVEL 1 RES. | 2,997 sf |
| LEVEL 1 MEZZANINE RES. | 550 sf |
| LEVEL 2 RES. | 7,617 sf |
| LEVEL 3 RES. | 7,617 sf |
| LEVEL 4 RES. | 7,617 sf |
| ROOF LEVEL | - sf |
| TOTAL PROPOSED DENSITY BONUS | 26,398 sf |

*Calculated per City Density Bonus procedure

STEP 1.2B IDENTIFY THE TOTAL NUMBER OF PROPOSED RESIDENTIAL UNITS

57 UNITS PROPOSED

STEP 1.2C DIVIDE TOTAL PROPOSED DENSITY PROJECT FLOOR AREA BY NUMBER OF UNITS

26,398 SF / 57 UNITS = 463 SF/UNIT

STEP 1.2D CALCULATED AVERAGE UNIT SIZE: 463 SF
(PROPOSED PROJECT REQUESTS A CONCESSION - SEE STEP 3)

STEP 1.3 CALCULATE NUMBER OF BASE PROJECT UNITS
CALCULATE THE BASE PROJECT'S MAXIMUM NUMBER OF RESIDENTIAL UNITS BY DIVIDING THE SQUARE FOOTAGE OF THE BASE PROJECT (STEP 1.1) BY THE AVERAGE UNIT SIZE (STEP 1.2).

STEP 1.1: BASE PROJECT RES. FLOOR AREA: 19,736 SF
STEP 1.2: AVERAGE UNIT SIZE: 463 SF
STEP 1.3: BASE UNITS: 19,736 SF / 463 SF = 42.63 UNITS *

* - ALLOWED 43 UNITS, BUT, DESIGNED TO 42 UNITS

STEP 2: PROPOSED DENSITY BONUS PROJECT

DENSITY BONUS UNITS ARE MARKET-RATE UNITS THAT EXCEED THE "MAXIMUM ALLOWED RESIDENTIAL DENSITY." THE AMOUNT OF AFFORDABLE UNITS AND THEIR AFFORDABILITY.

STEP 2.1 DETERMINE PROPOSED NUMBER AND INCOME LEVEL OF BELOW MARKET RATE (BMR) UNITS.

INCOME LEVEL: VERY-LOW-INCOME UNITS
% AFFORDABLE UNITS: 11%
BASE PROJECT UNITS: 42
AFFORDABLE UNITS: 11% X 42 = (4.62)
= 5 AFFORDABLE UNITS

STEP 2.2 CALCULATE DENSITY INCREASE (%) BASED ON THE DENSITY BONUS LAW AND INFORMATION FROM STEP 2.1.

% GRANTED FOR DENSITY BONUS: 35%
BASE PROJECT UNITS: 42

STEP 2.3 CALCULATE NUMBER OF BONUS UNITS BY APPLYING THE PERCENTAGE FROM STEP 2.2 TO BASE PROJECT.

BONUS UNITS ALLOWED 35% X 42 = (14.7)
= 15 BONUS UNITS
BASE PROJECT UNITS + BONUS UNITS 42 + 15 = 57

UNITS PROPOSED WITH DENSITY BONUS: 57 UNITS

WAIVERS:
NO LIMIT PER CALIFORNIA STATE LAW SECTION 65915

- HEIGHT - BMC 23E.52.070.B.2 TO EXCEED THE HEIGHT AND STORY LIMITS FOR THE DISTRICT (TO HAVE 62'-4" AND 5 STORIES, WHERE 50' AND 4 STORIES ARE REQUIRED).
- BMCS 23E.04.020 TO HAVE ARCHITECTURAL ELEMENTS WHICH EXCEED A DISTRICT'S HEIGHT LIMIT.
- SETBACKS - BMC 23E.52.070.D.5 TO REDUCE THE FRONT, STREET SIDE, AND REAR YARDS; AND TO EXCEED THE LOT COVERAGE LIMIT FOR THE DISTRICT.

- REDUCED FRONT SETBACK**
SETBACK OF 0 FEET ON ALL FLOORS.
- REDUCED STREET SIDE SETBACK**
BUILDING SETBACK OF 0 FEET ON ALL FLOORS.
- REDUCED REAR SETBACK**
OF 6 INCHES ON ALL FLOORS.
- EXCEED LOT COVERAGE**
TO ALLOW 86% COVERAGE.
- (NO WAIVERS ARE REQUIRED FOR THE EAST SIDE SETBACK NOR THE USEABLE OPEN SPACE PER UNIT)

STEP 3: PROPOSED DENSITY BONUS PROJECT WITH WAIVERS AND CONCESSIONS

STEP 3: ZAB ACTS ON THE PROPOSED DENSITY BONUS PROJECT

- 3.1 LIST OF CONCESSIONS (ALLOW 2) AND WAIVERS:**
CONCESSION 1) MOVE PARKING FROM UNDERGROUND TO GROUND LEVEL PARKING
CONCESSION 2) INCREASED UNIT SIZE - TO INCREASE AVERAGE UNIT SIZE FROM 463 S.F. (BASE PROJECT) TO 495 S.F. (PROPOSED PROJECT)

WAIVERS SEE ALSO PROPOSED DENSITY BONUS PROJECT LIST

STEP 3.1: PROPOSED PLUS CONCESSIONS RESIDENTIAL CALCULATIONS

| | |
|---------------------------------------|---------------|
| LEVEL 1 RES. | 2,440 |
| LEVEL 1 MEZZANINE RES. | 775 |
| LEVEL 2 RES. | 6,699 |
| LEVEL 3 RES. | 6,655 |
| LEVEL 4 RES. | 5,966 |
| LEVEL 5 RES. | 5,678 |
| ROOF LEVEL | - |
| TOTAL PROPOSED RES. FLOOR AREA | 28,213 |

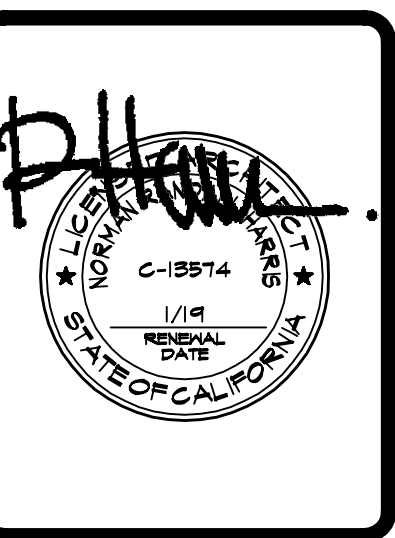
NOTES:
1. DENSITY BONUS FLOOR AREA AND GROSS FLOOR AREA (SHEET A0.2) ARE CALCULATED PER STATE LAW AND LOCAL ORDINANCE.

AVERAGE UNIT SIZE WITH CONCESSIONS AND WAIVERS:
28,213 SF / 57 UNITS = 495 SF/UNIT

AVERAGE UNIT SIZE TO BE LARGER THAN BASE PROJECT/PROPOSED PROJECT [(495 - 463.12) AVGSF] / 463.12 AVG SF = APPROXIMATELY 0.069 (7.0%)

| revisions | by |
|-------------------------------------|----|
| DRC SUBMITTAL 12/15/16 @ 1/27/17 | - |
| ZAB SUBMITTAL 4/12/17 @ 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 4/20/18 | AY |
| ZAB SUBMITTAL 1/09/18 | AY |

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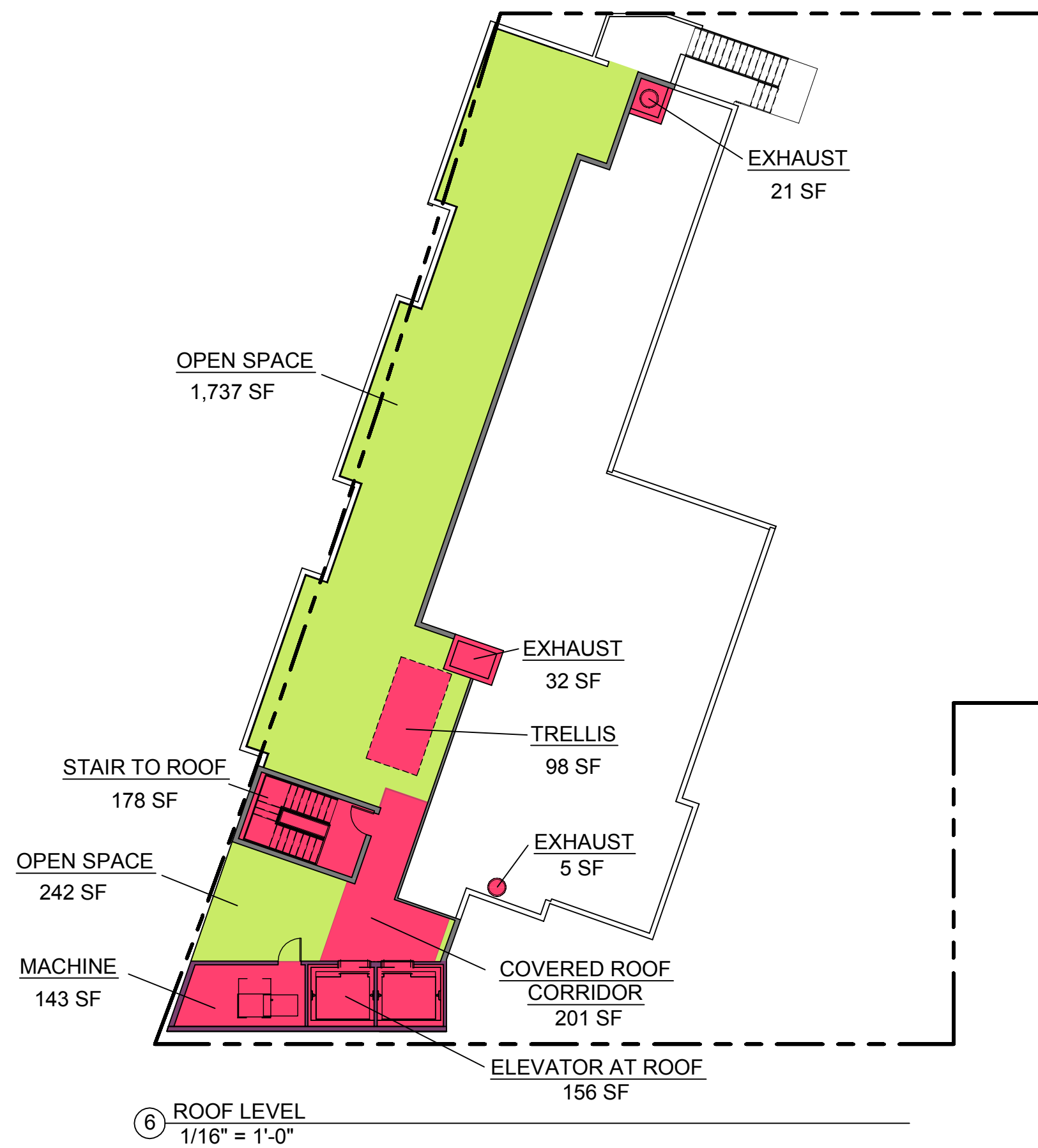


2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
DENSITY BONUS CALCULATIONS

drawn
checked
RH
date
3/07/18
scale
NO SCALE
job no.
1802
sheet

A0.1B



⑥ ROOF LEVEL
1/16" = 1'-0"



⑤ FIFTH FLOOR
1/16" = 1'-0"



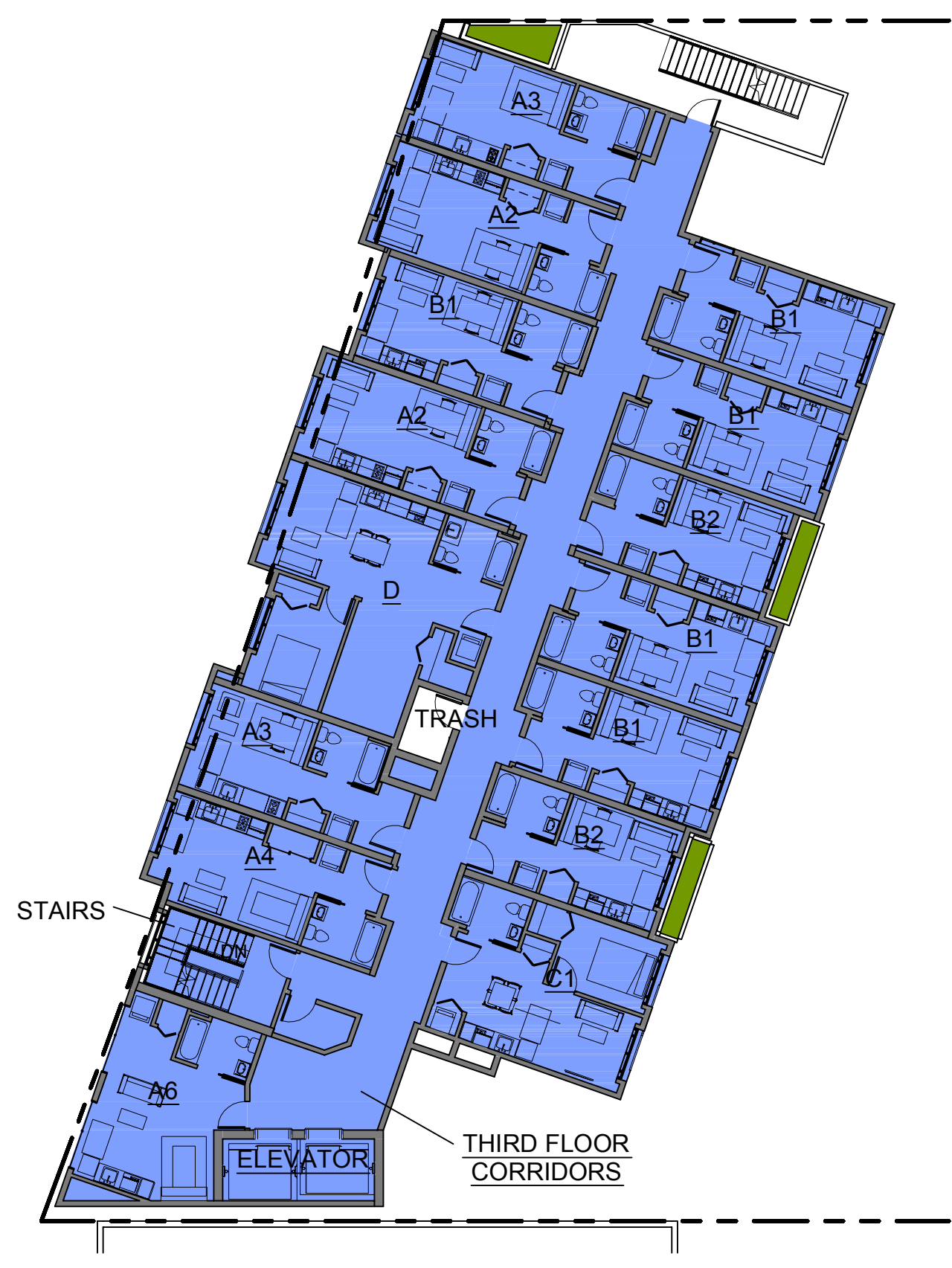
④ FOURTH FLOOR
1/16" = 1'-0"

| PROPOSED RESIDENTIAL FLOOR AREAS | | |
|----------------------------------|-----------|-----------|
| LEVEL | RFA * | GFA ** |
| 1 | 2,440 SF | 2,748 SF |
| M | 775 SF | 775 SF |
| 2/PODIUM | 6,699 SF | 6,391 SF |
| 3 | 6,655 SF | 6,377 SF |
| 4 | 5,966 SF | 5,689 SF |
| 5 | 5,678 SF | 5,400 SF |
| TOTALS | 28,213 SF | 27,380 SF |

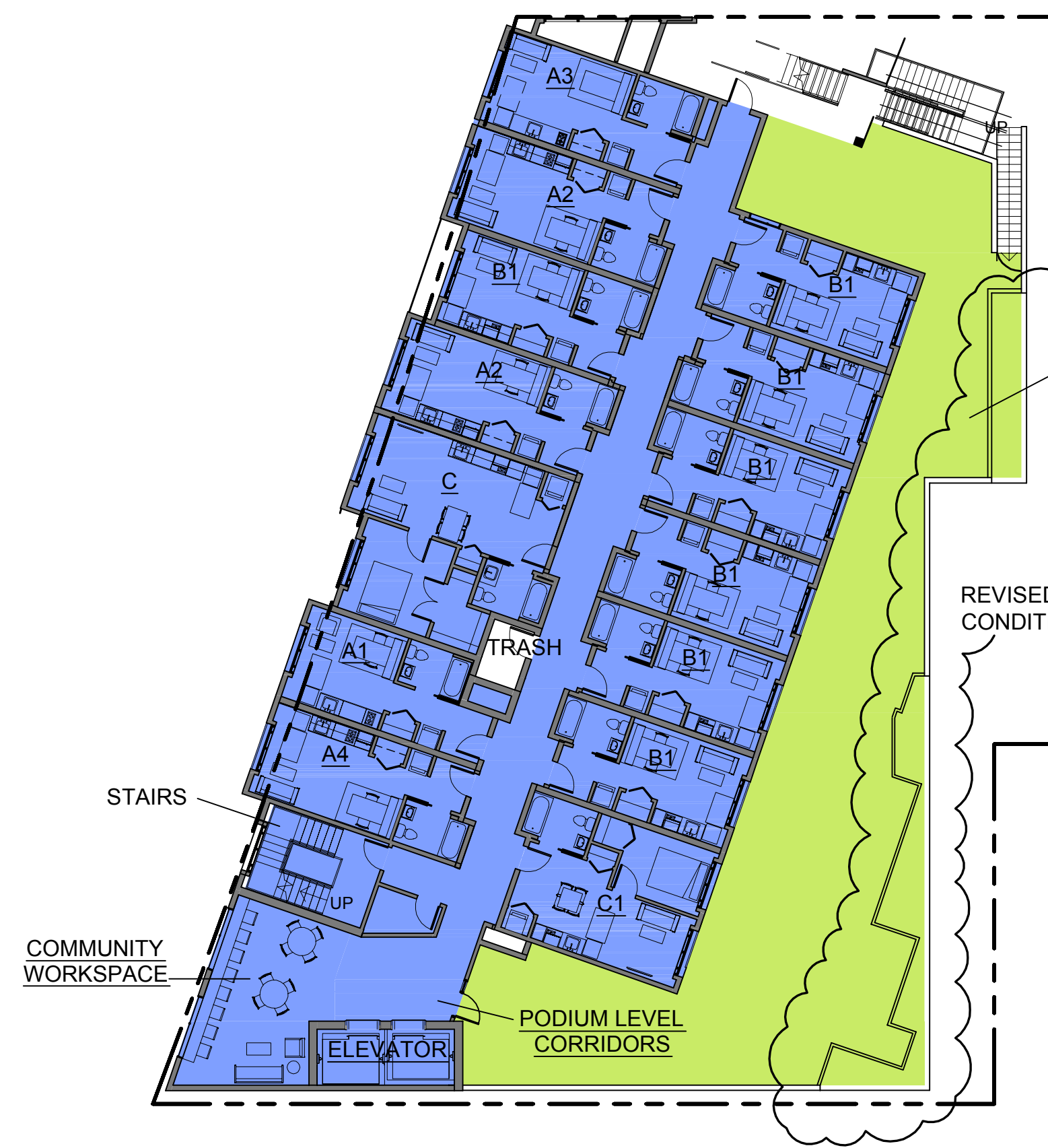
* - AREA OF TRASH ROOM FROM 2ND LEVEL TO 5TH LEVEL = 160 SF
** - AREA OF ELEVATOR AND STAIRS FROM 2ND LEVEL TO 5TH LEVEL = 1301 SF

LEGEND

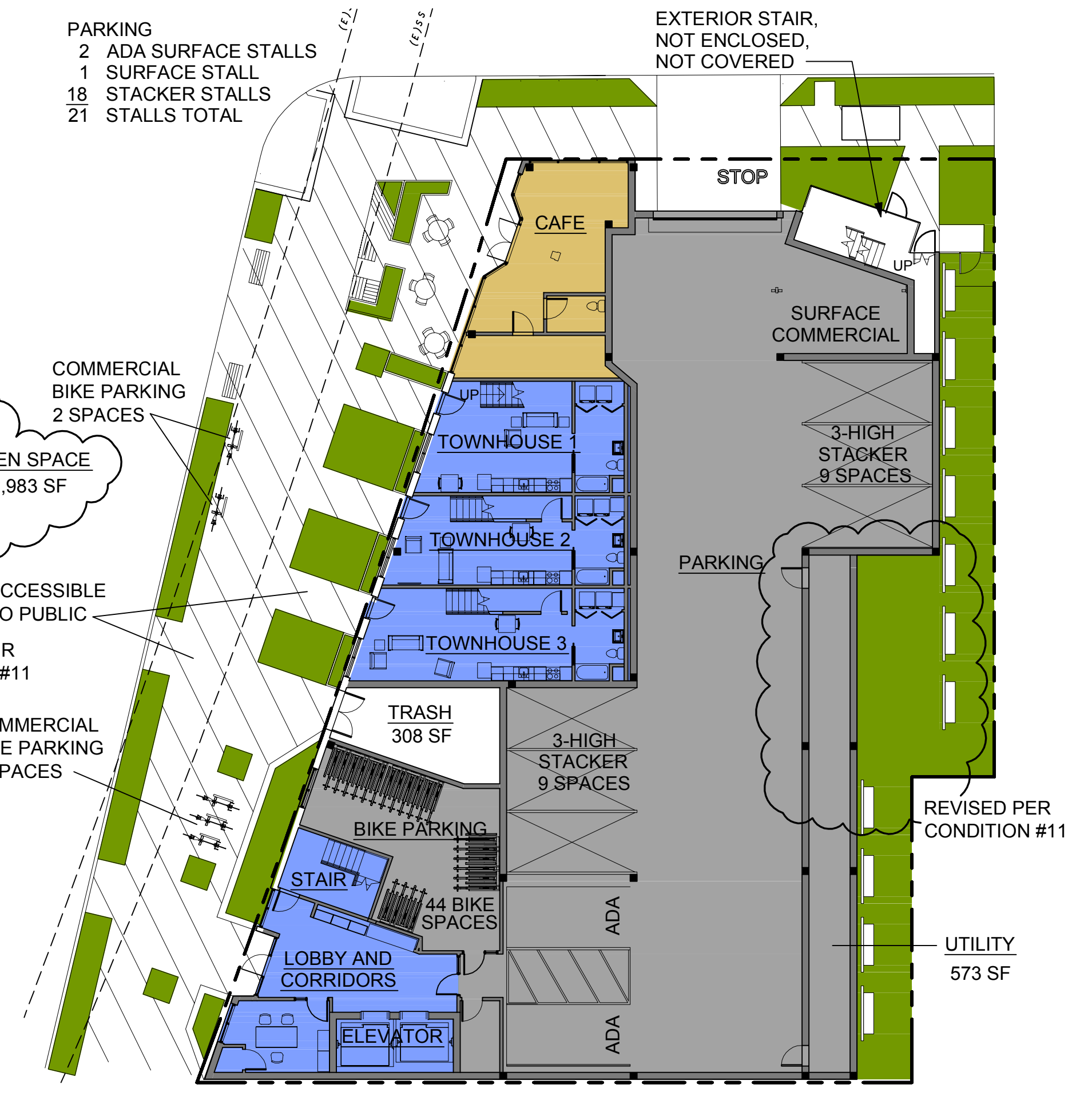
- COMMERCIAL
- PARKING
- RESIDENTIAL
- TRASH
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- ROOFTOP ELEMENTS
- WALL
- PROPERTY LINE



③ THIRD FLOOR
1/16" = 1'-0"



② PODIUM LEVEL
1/16" = 1'-0"

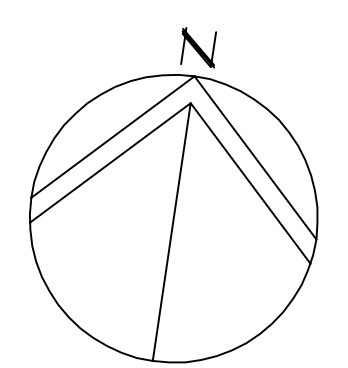


① RESIDENTIAL LOBBY
1/16" = 1'-0"

| UNIT DATA | | | | |
|-----------|----|-------------|----|-----------------|
| UNIT TYPE | # | JUNIOR 1 BR | BR | BA + DEN / LOFT |
| TH | 3 | | | 1 + LOFT |
| A1 | 1 | 1 | | 1 |
| A2 | 6 | 1 | | 1 |
| A3 | 7 | 1 | | 1 |
| A4 | 2 | 1 | | 1 |
| A5 | 1 | 1 | | 1 |
| A6 | 4 | 1 | | 1 |
| B1 | 16 | 1 | | 1 |
| B2 | 9 | 1 | | 1 |
| C | 1 | | 1 | 1 |
| C1 | 4 | | 1 | 1 |
| C2 | 1 | | 1 | 1 |
| D | 2 | | 1 | 1 + DEN |

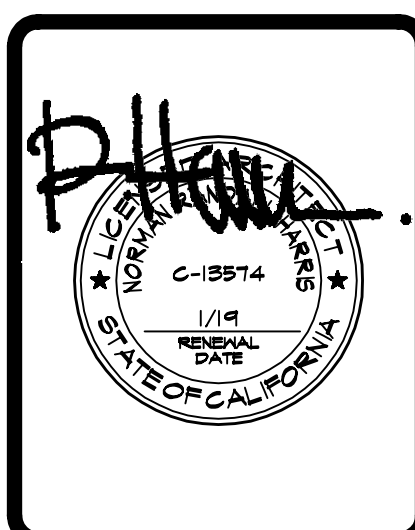
UNIT DATA:

| | |
|--------------------|-----------|
| TOWNHOUSE UNITS: | 3 |
| JUNIOR 1 BR UNITS: | 46 |
| 1 BEDROOM UNITS: | 8 |
| TOTAL UNITS | 57 |



| revisions | by |
|----------------------------------|----|
| DRC SUBMITTAL 12/15/16 & 1/27/17 | - |
| ZAB SUBMITTAL 4/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 1/09/19 | AY |

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walnut creek, ca 94597
(925) 256-6042



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 BERKELEY, CALIFORNIA
 FOR:
2701 SHATTUCK BERKELEY, LLC

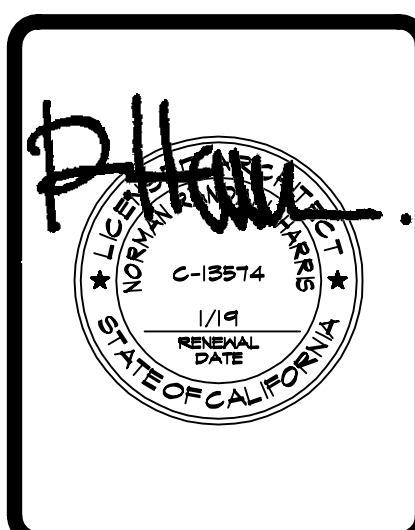
drawing
RESIDENTIAL FLOOR AREAS SUMMARY

drawn
AY
checked
RH
date
3/07/18
scale
AS SHOWN
job no.
1802
sheet

AO.2

| revisions | by |
|-------------------------------------|----|
| DRC SUBMITTAL 12/15/16 & 1/27/17 | - |
| ZAB SUBMITTAL 4/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 11/08/18 | AY |

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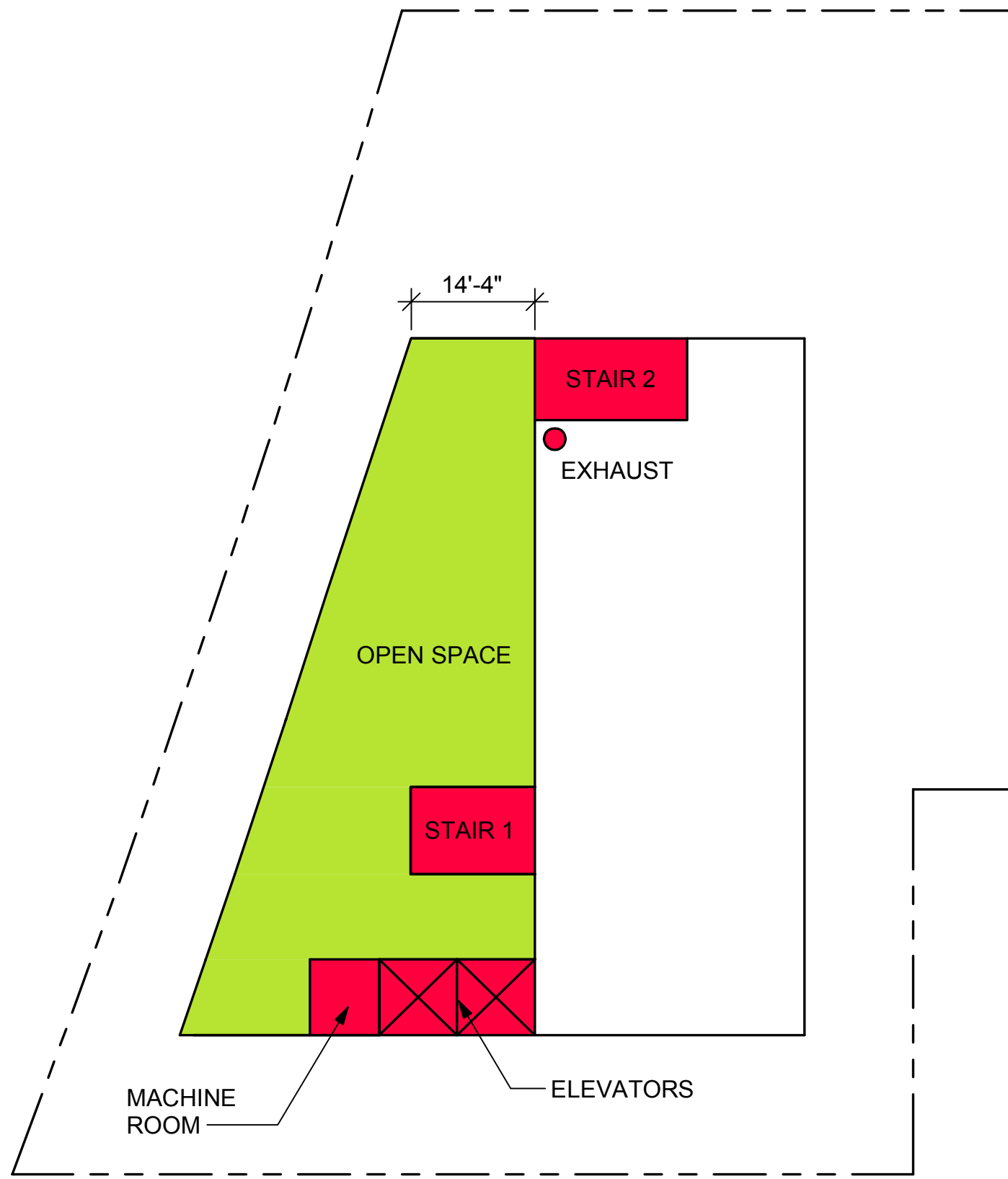


**2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC**

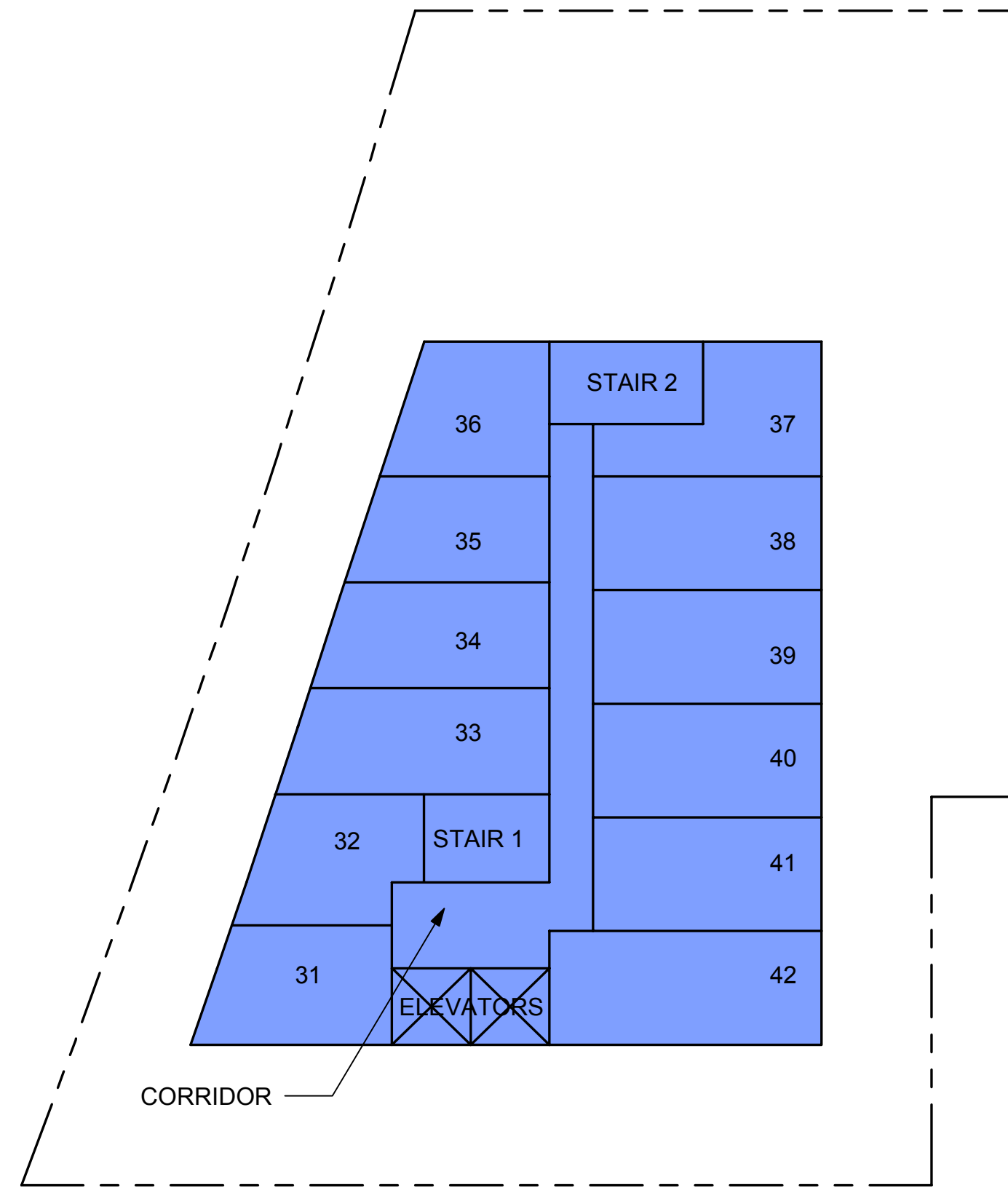
drawing
BASE PROJECT

drawn
AY
checked
RH
date
3/07/18
scale
AS SHOWN
job no.
1802
sheet

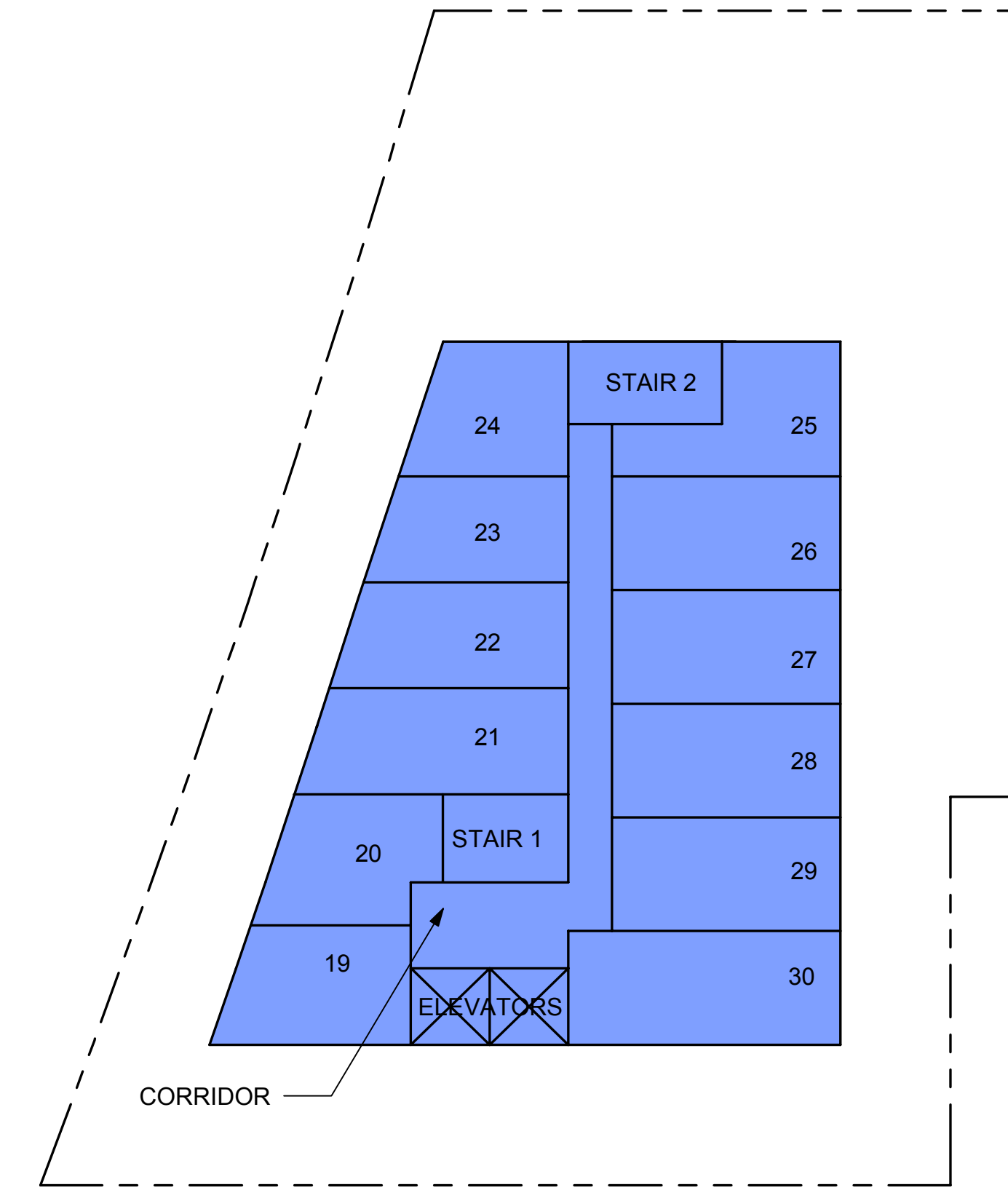
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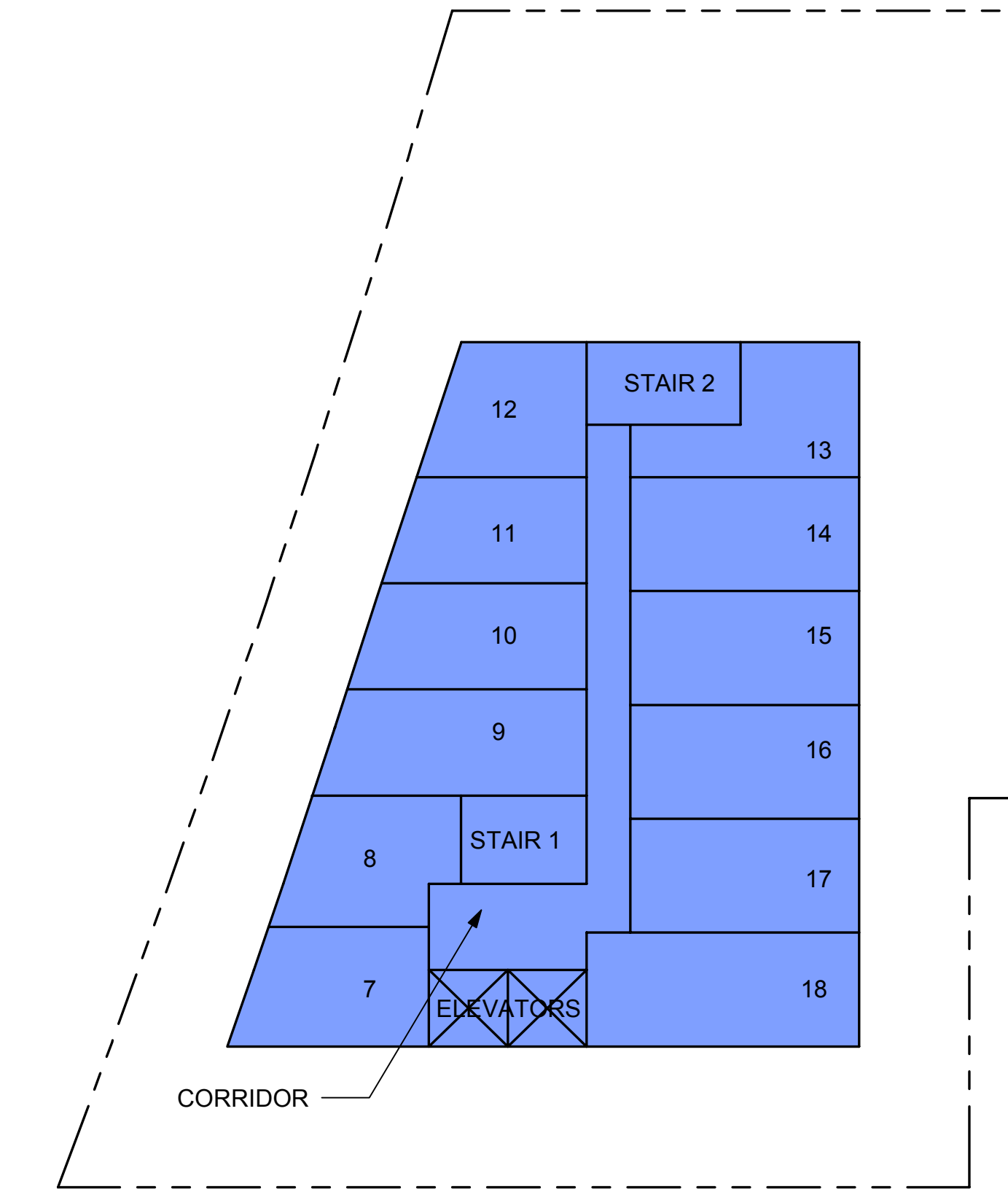
7 BASE PROJECT - ROOF LEVEL
1/16" = 1'-0"



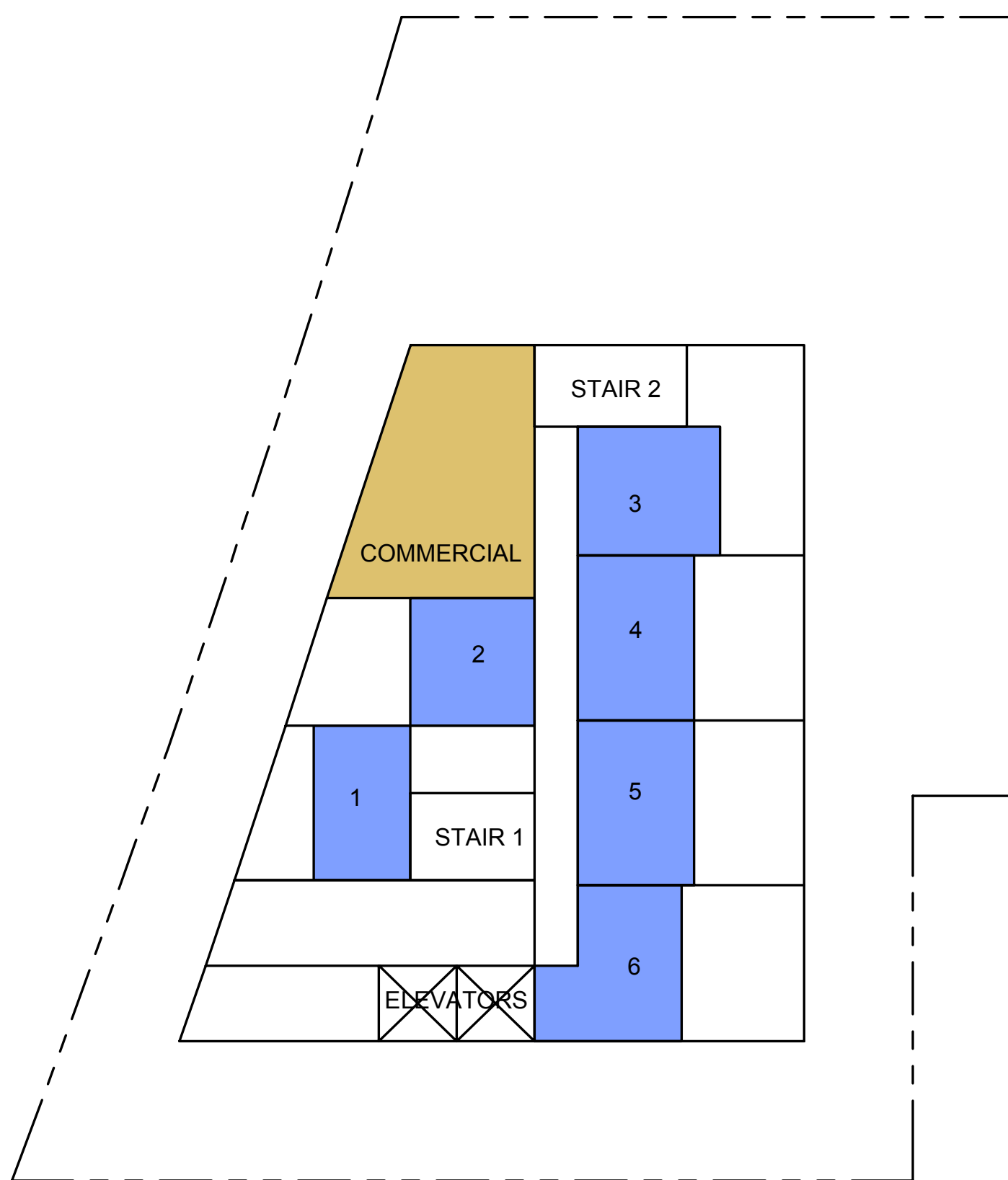
6 BASE PROJECT - FOURTH LEVEL
1/16" = 1'-0"



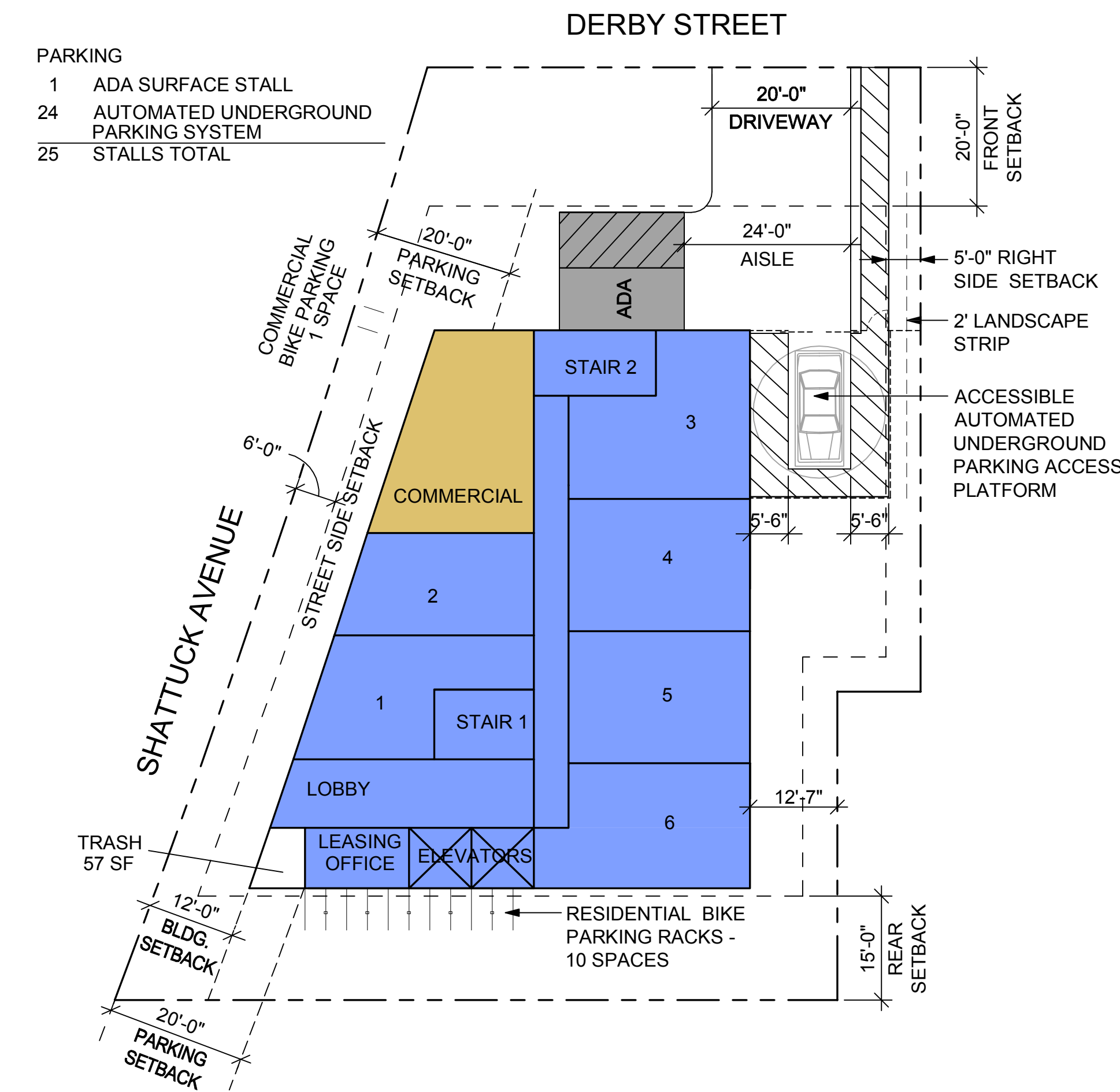
5 BASE PROJECT - THIRD LEVEL
1/16" = 1'-0"



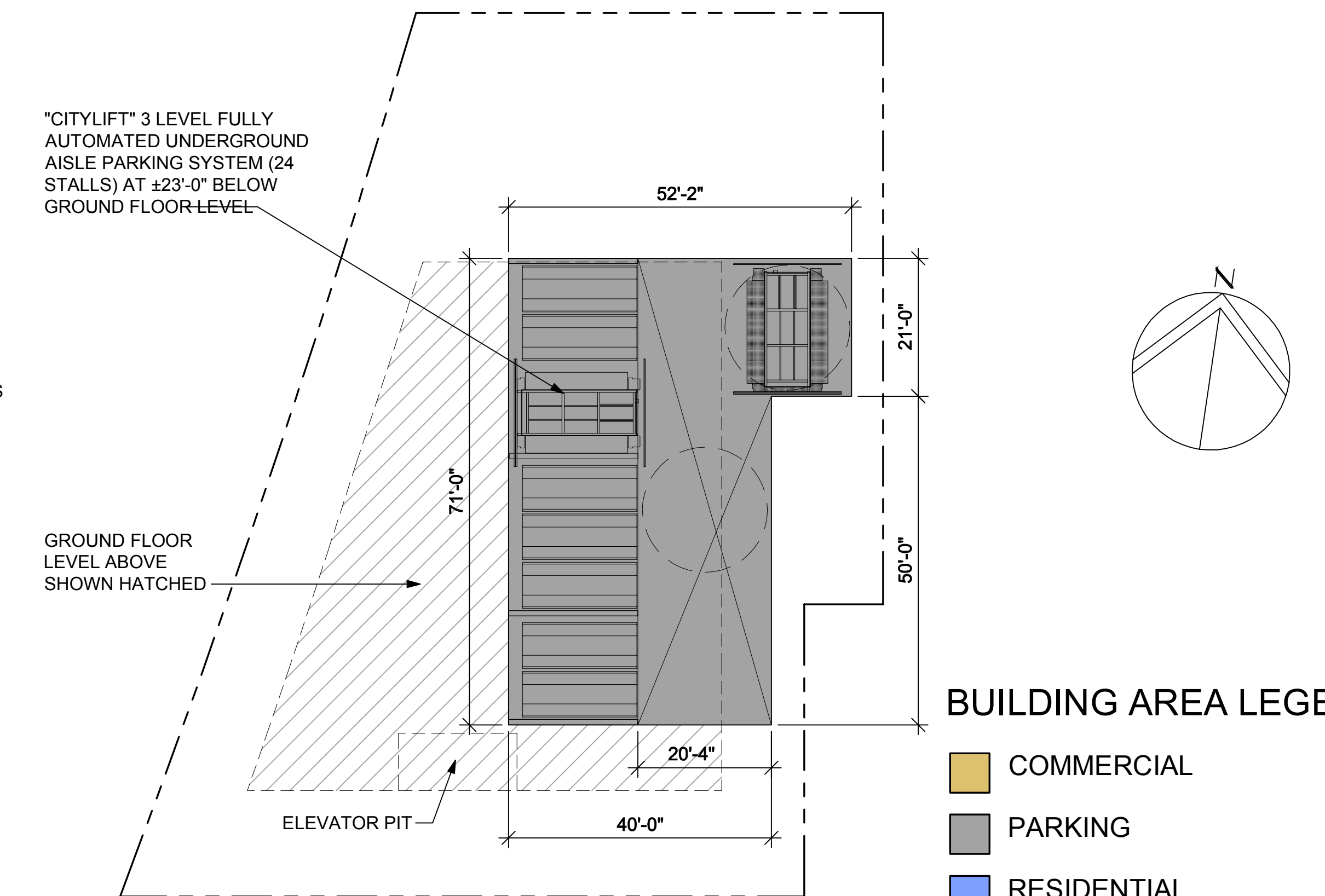
4 BASE PROJECT - SECOND LEVEL
1/16" = 1'-0"



3 BASE PROJECT - MEZZANINE LEVEL PLAN
1/16" = 1'-0"

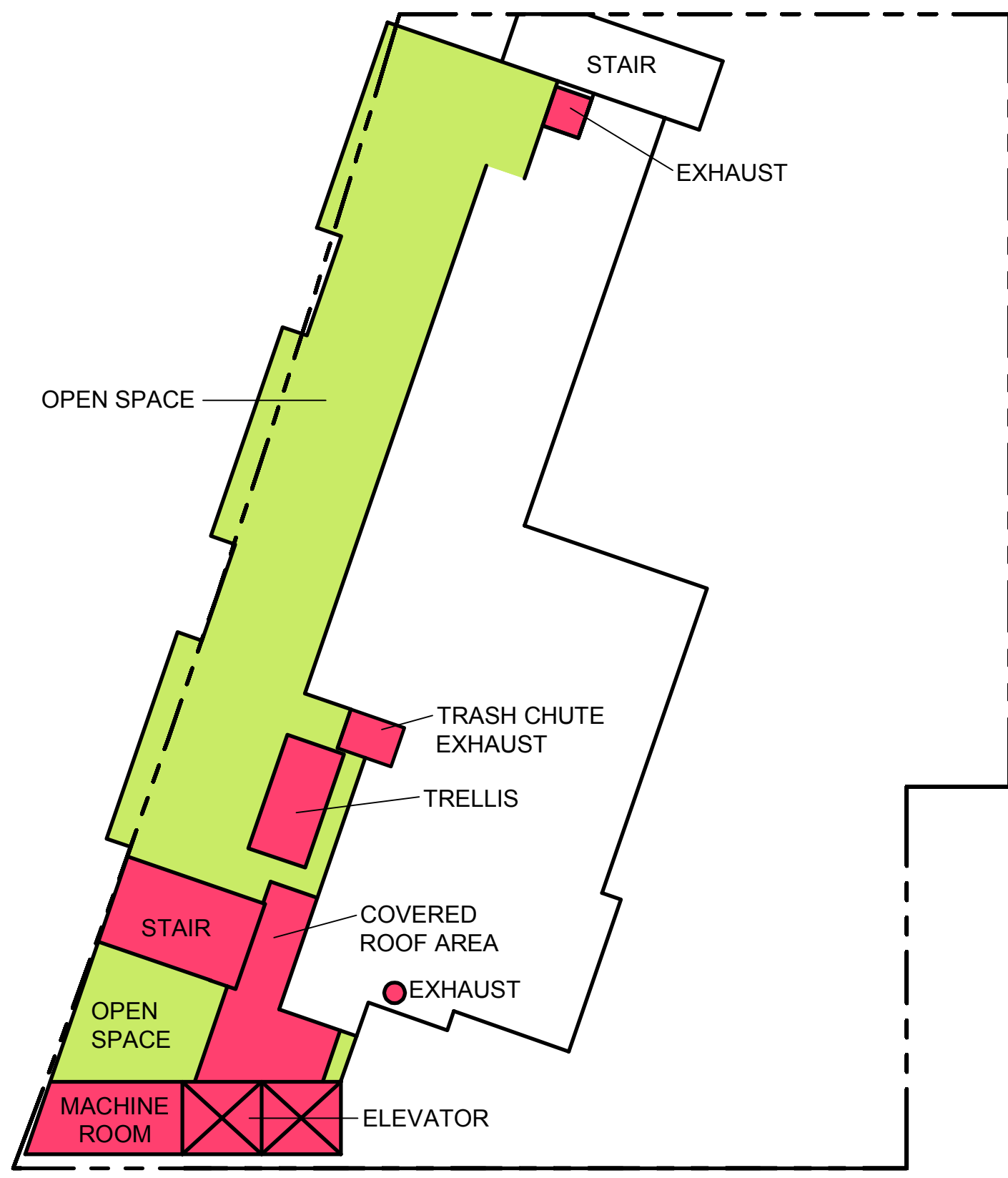


2 BASE PROJECT - GROUND FLOOR PLAN
1/16" = 1'-0"

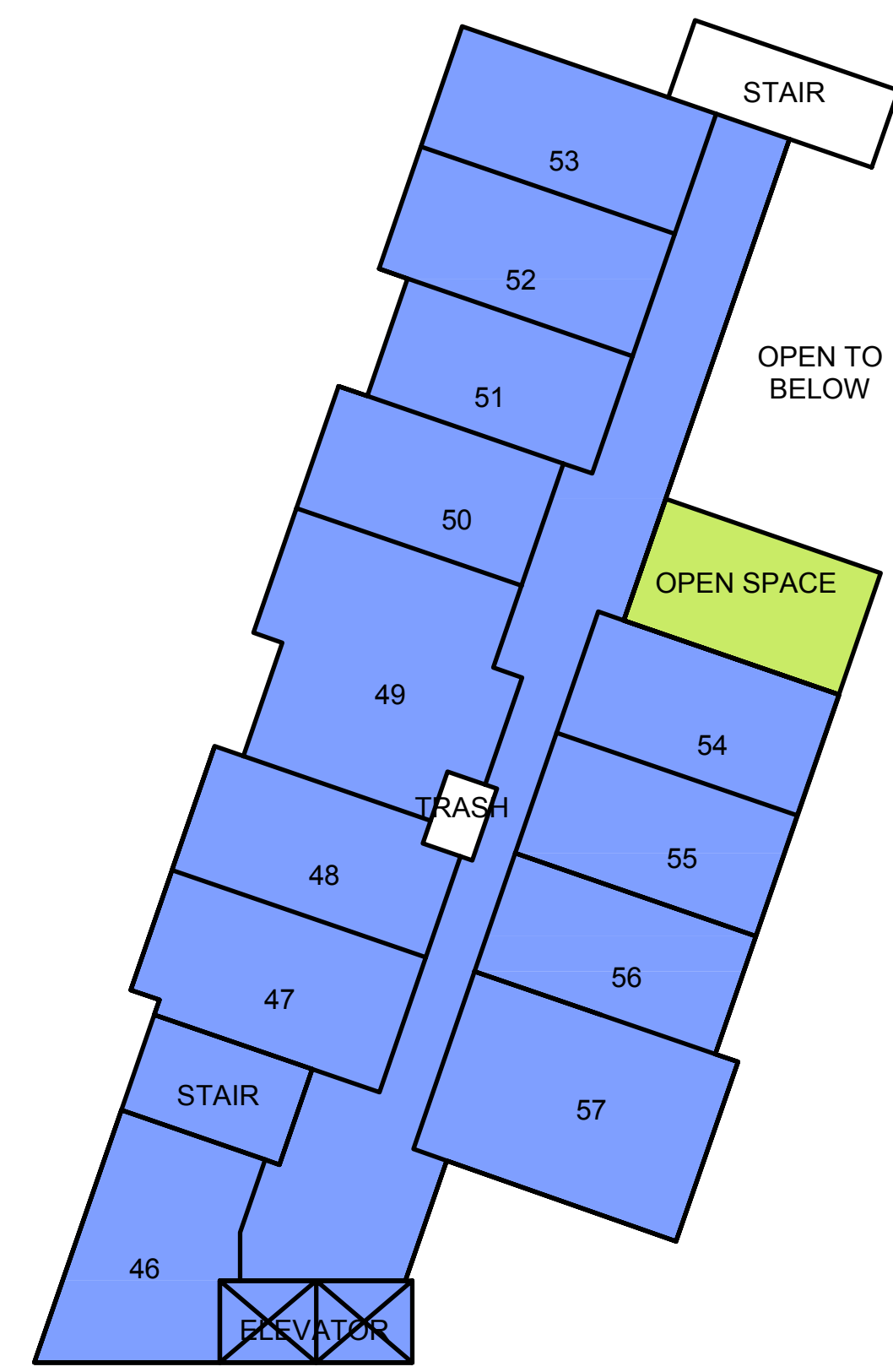


1 BASE PROJECT - UNDERGROUND PARKING PLAN
1/16" = 1'-0"

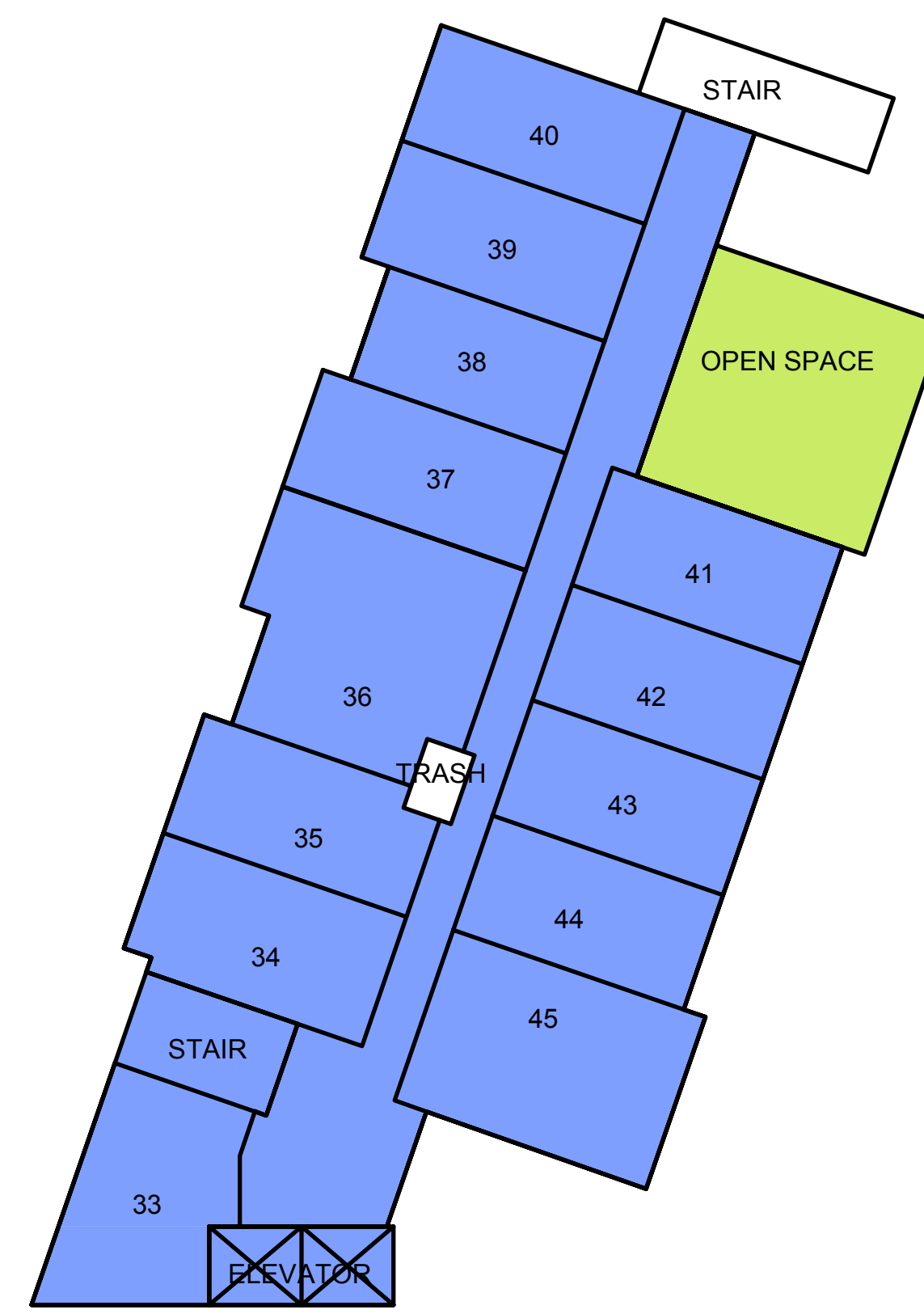
BUILDING AREA LEGEND
 COMMERCIAL
 PARKING
 RESIDENTIAL
 OPEN SPACE
 ROOFTOP ELEMENTS



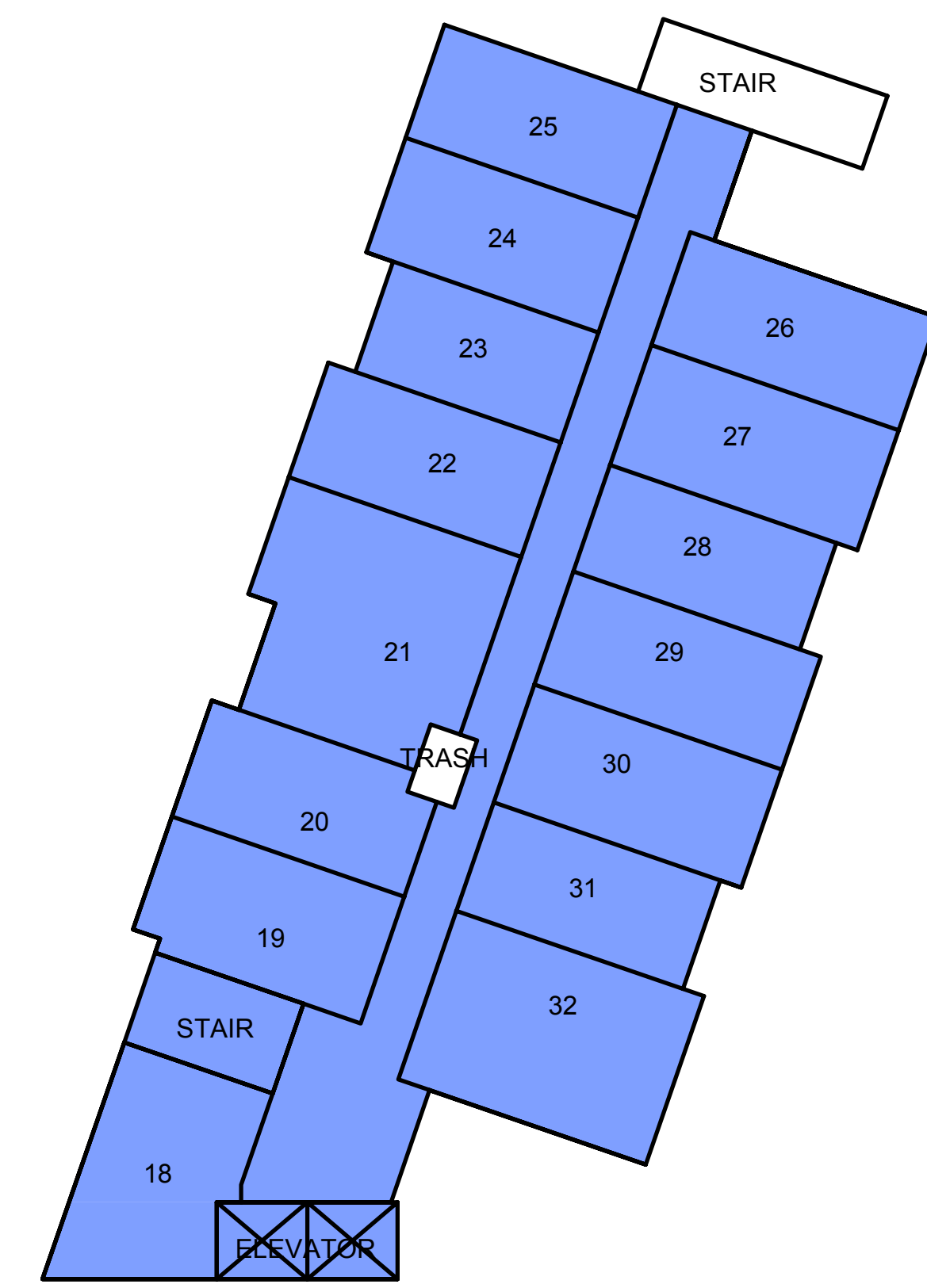
7 PROPOSED - ROOF LEVEL
1/16" = 1'-0"



6 PROPOSED - FIFTH LEVEL
1/16" = 1'-0"



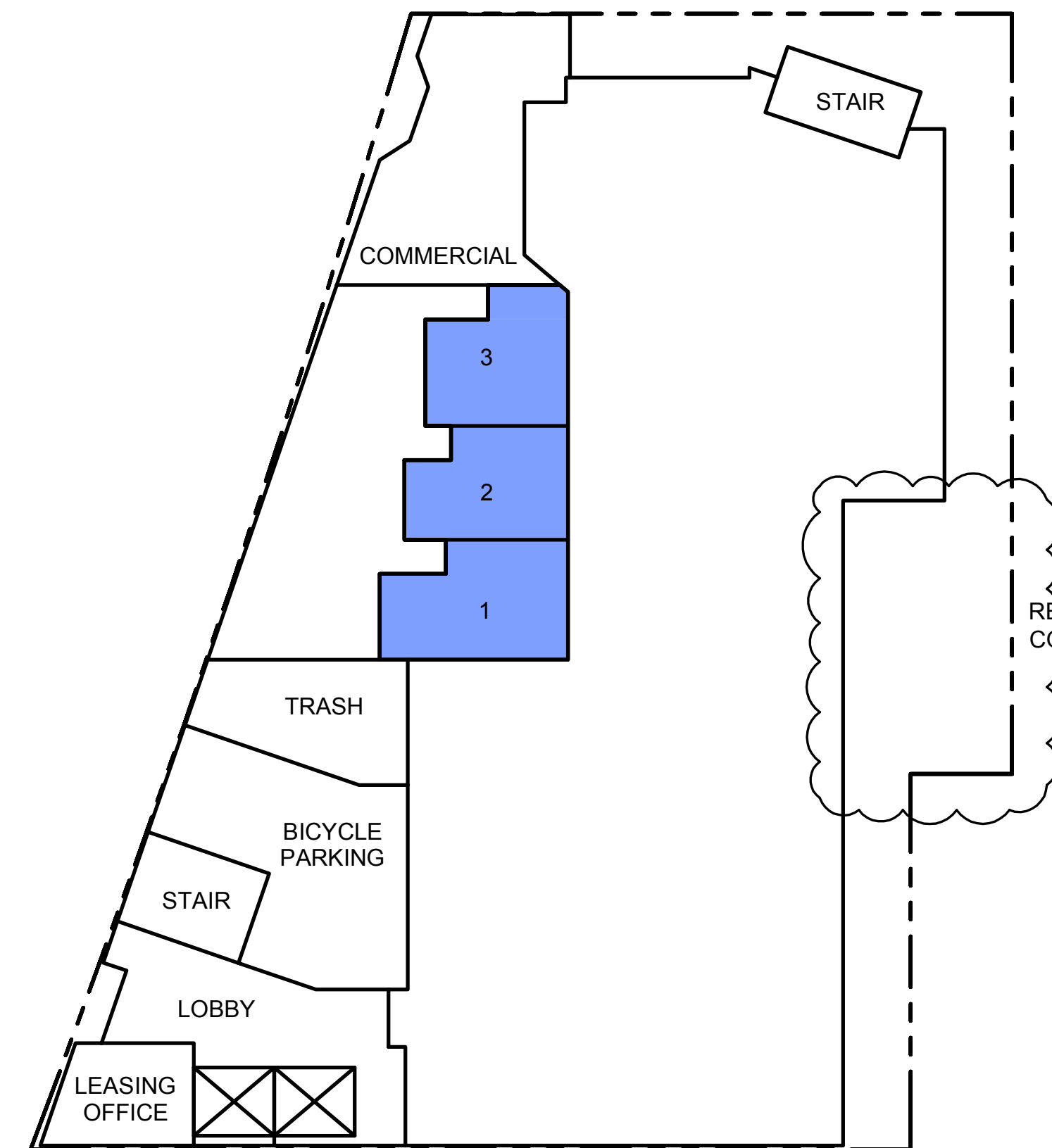
5 PROPOSED - FOURTH LEVEL
1/16" = 1'-0"



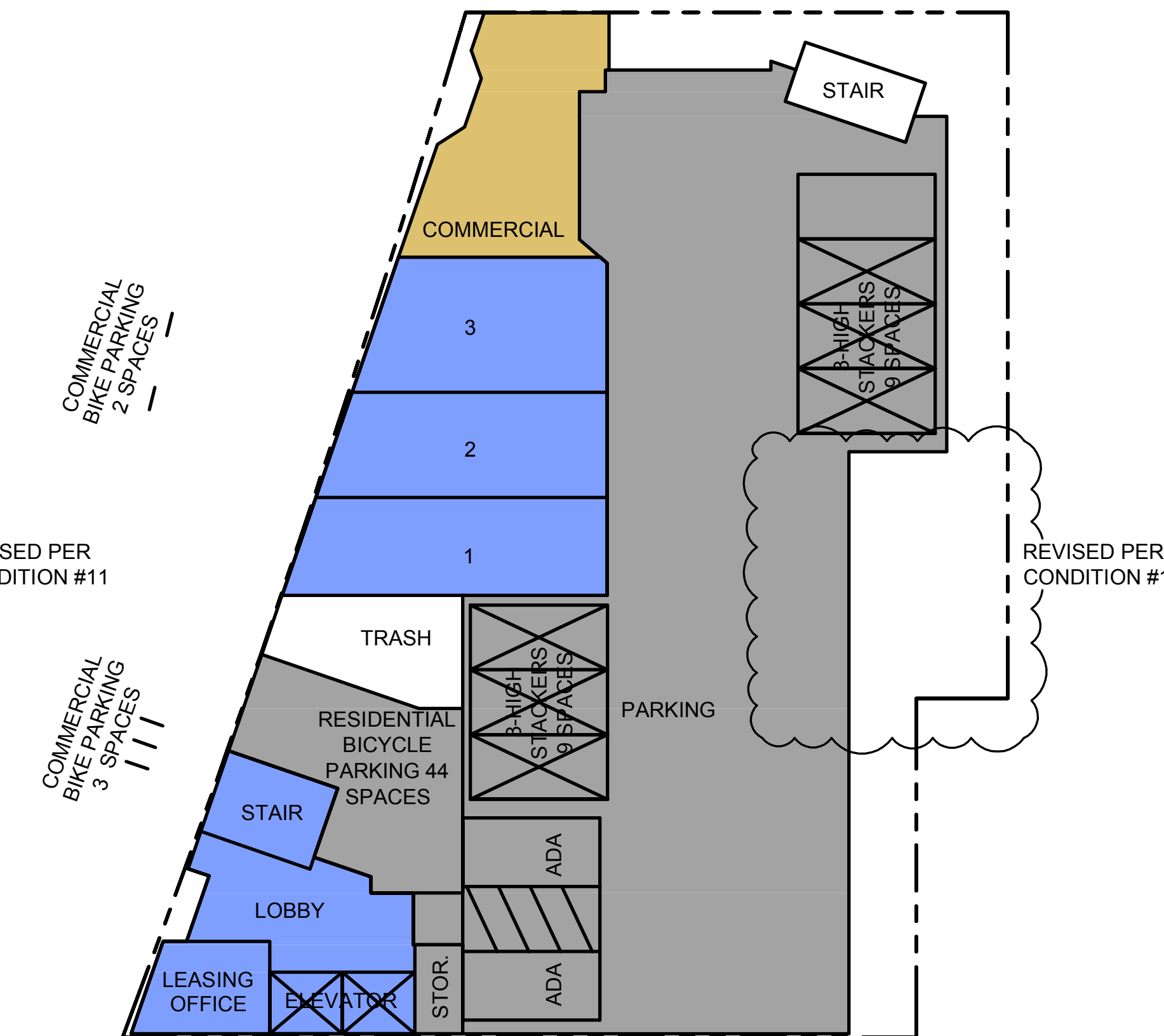
4 PROPOSED - THIRD LEVEL
1/16" = 1'-0"



3 PROPOSED - PODIUM LEVEL
1/16" = 1'-0"



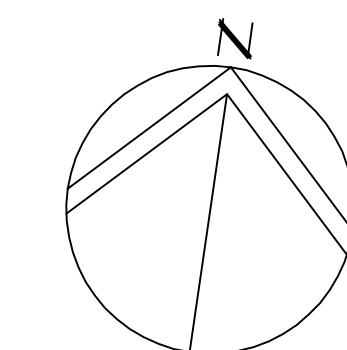
2 PROPOSED - MEZZANINE LEVEL
1/16" = 1'-0"



1 PROPOSED - RESIDENTIAL LOBBY
1/16" = 1'-0"

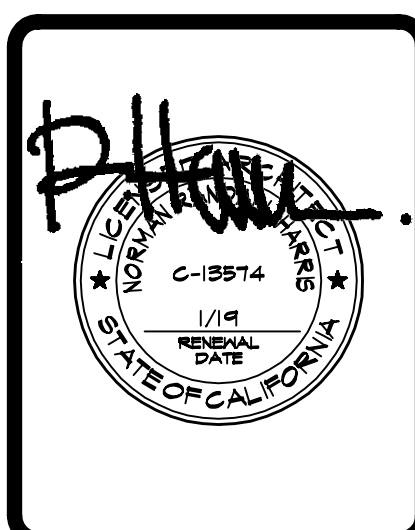
BUILDING AREA LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- OPEN SPACE
- ROOFTOP ELEMENTS



| revisions | by |
|-------------------------------------|----|
| DRC SUBMITTAL 12/15/16 & 1/27/17 | - |
| ZAB SUBMITTAL 4/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 11/08/18 | AY |

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2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
PROPOSED DENSITY BONUS PROJECT

| checked | date |
|---------|---------------|
| RH | 3/07/18 |
| scale | 1/16" = 1'-0" |
| job no. | 1802 |
| sheet | |

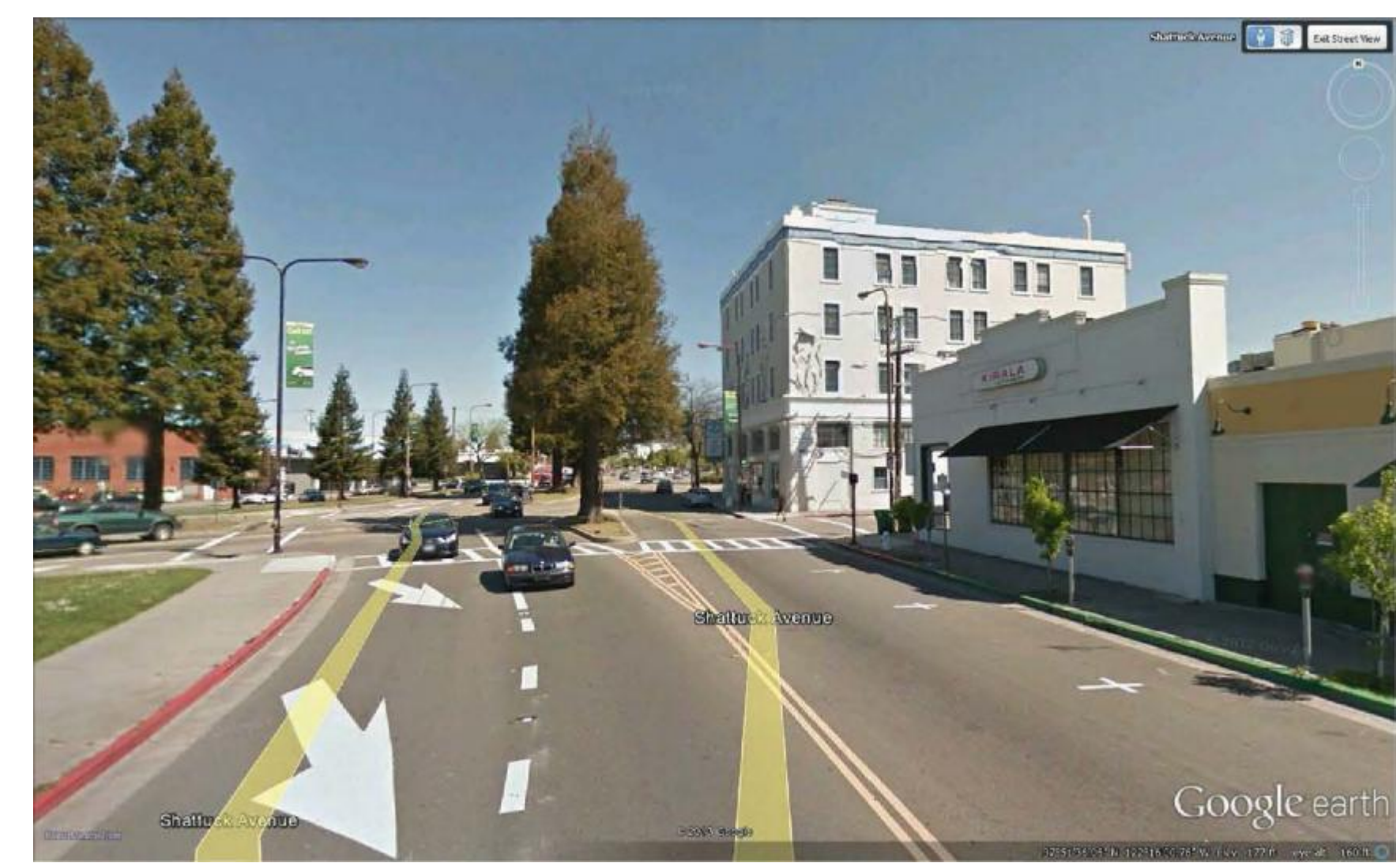
A0.4



8 VIEW EAST ON DERBY
12" = 1'-0"



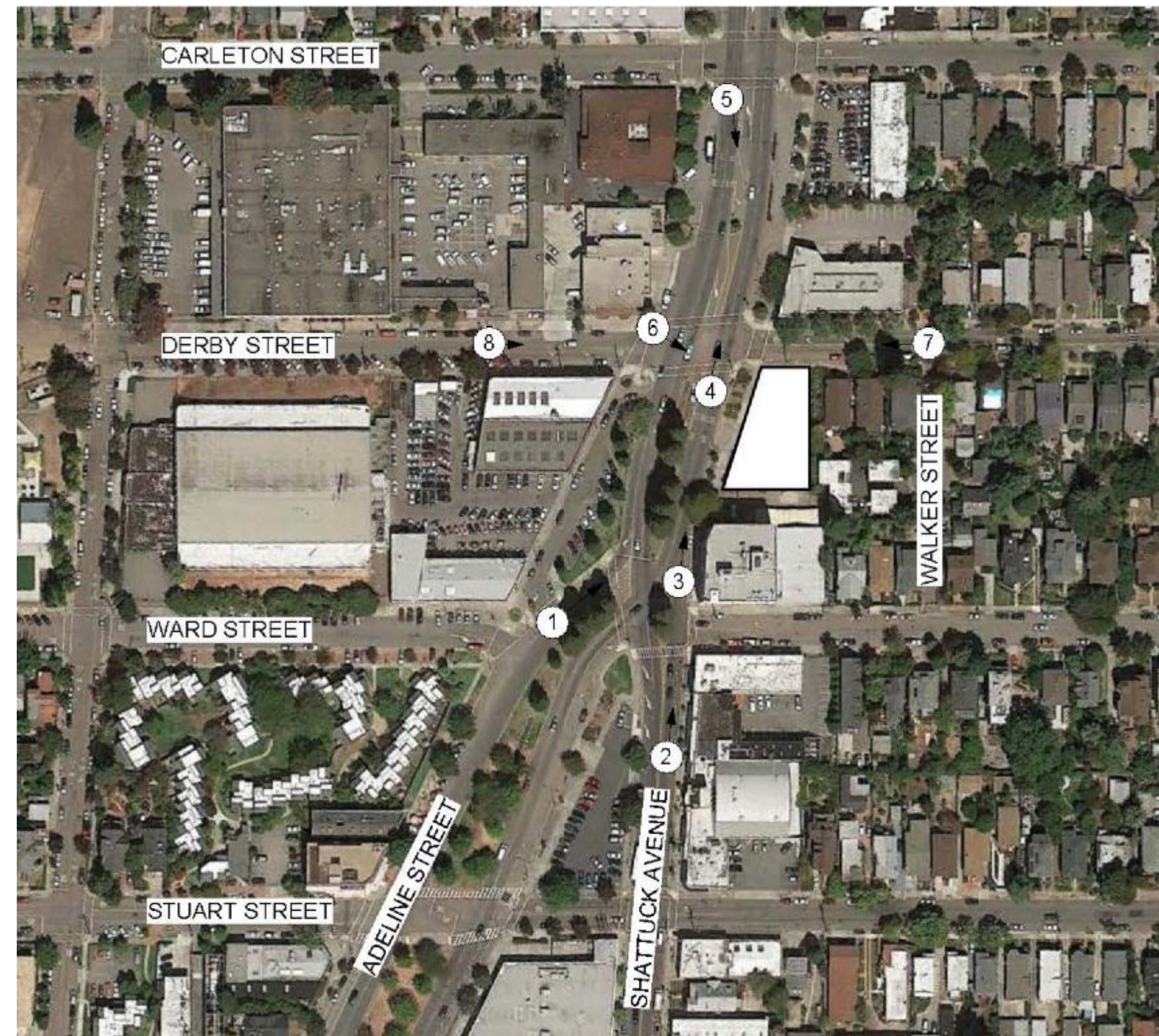
1 VIEW FROM ADELINE AND SHATTUCK
12" = 1'-0"



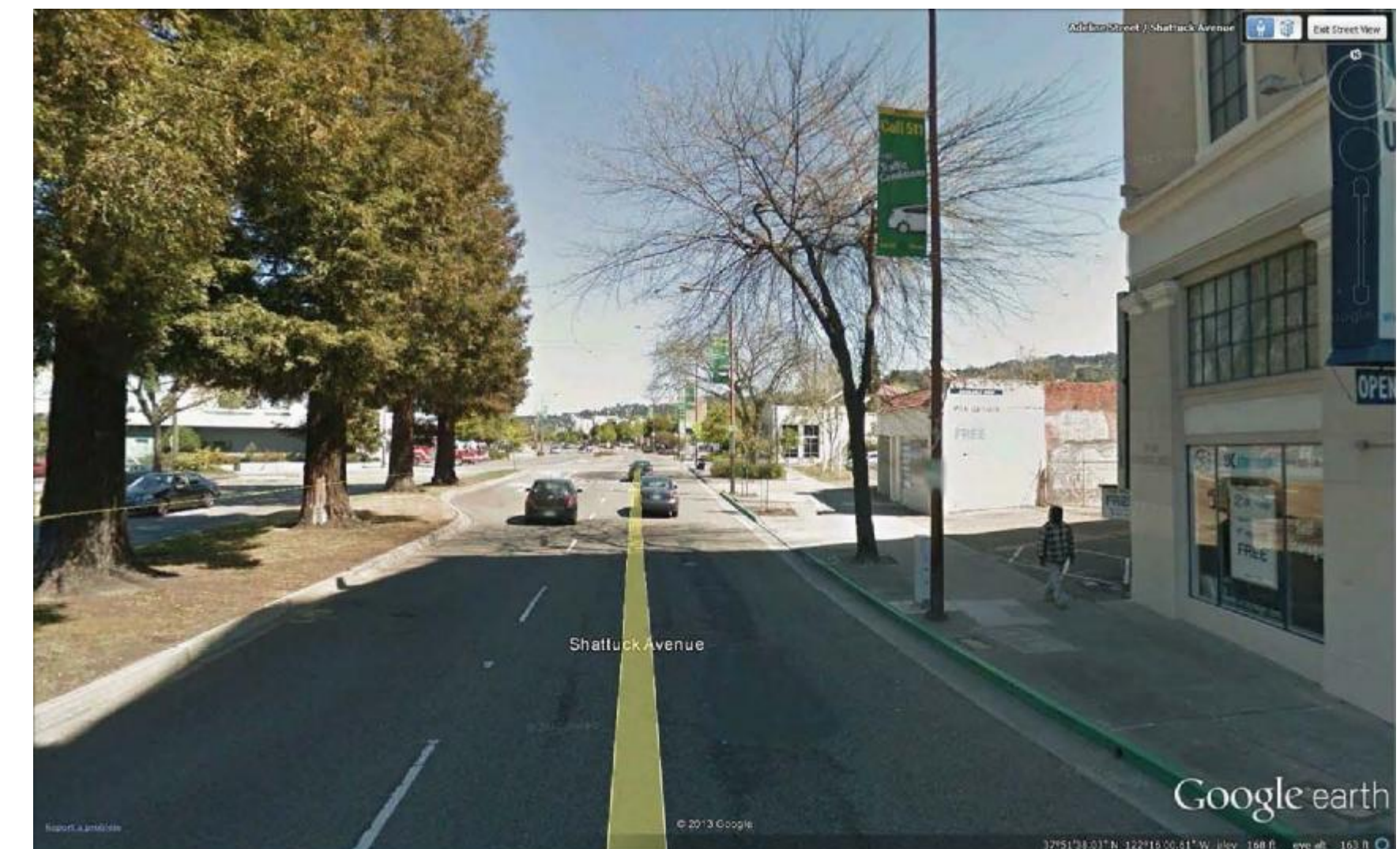
2 VIEW NORTH ON SHATTUCK AT KIRALA
12" = 1'-0"



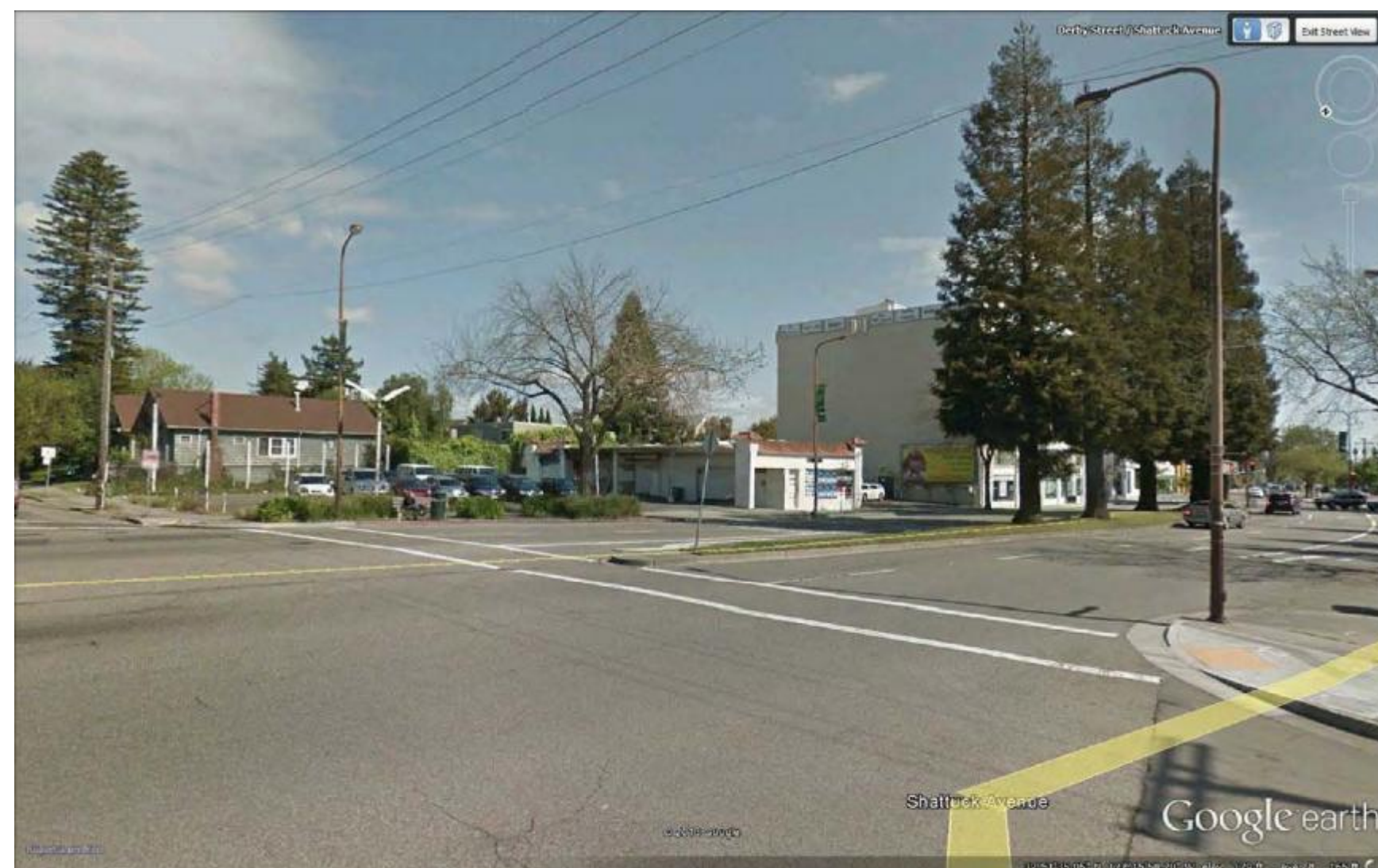
7 VIEW WEST ON DERBY
12" = 1'-0"



0 CONTEXT MAP
12" = 1'-0"



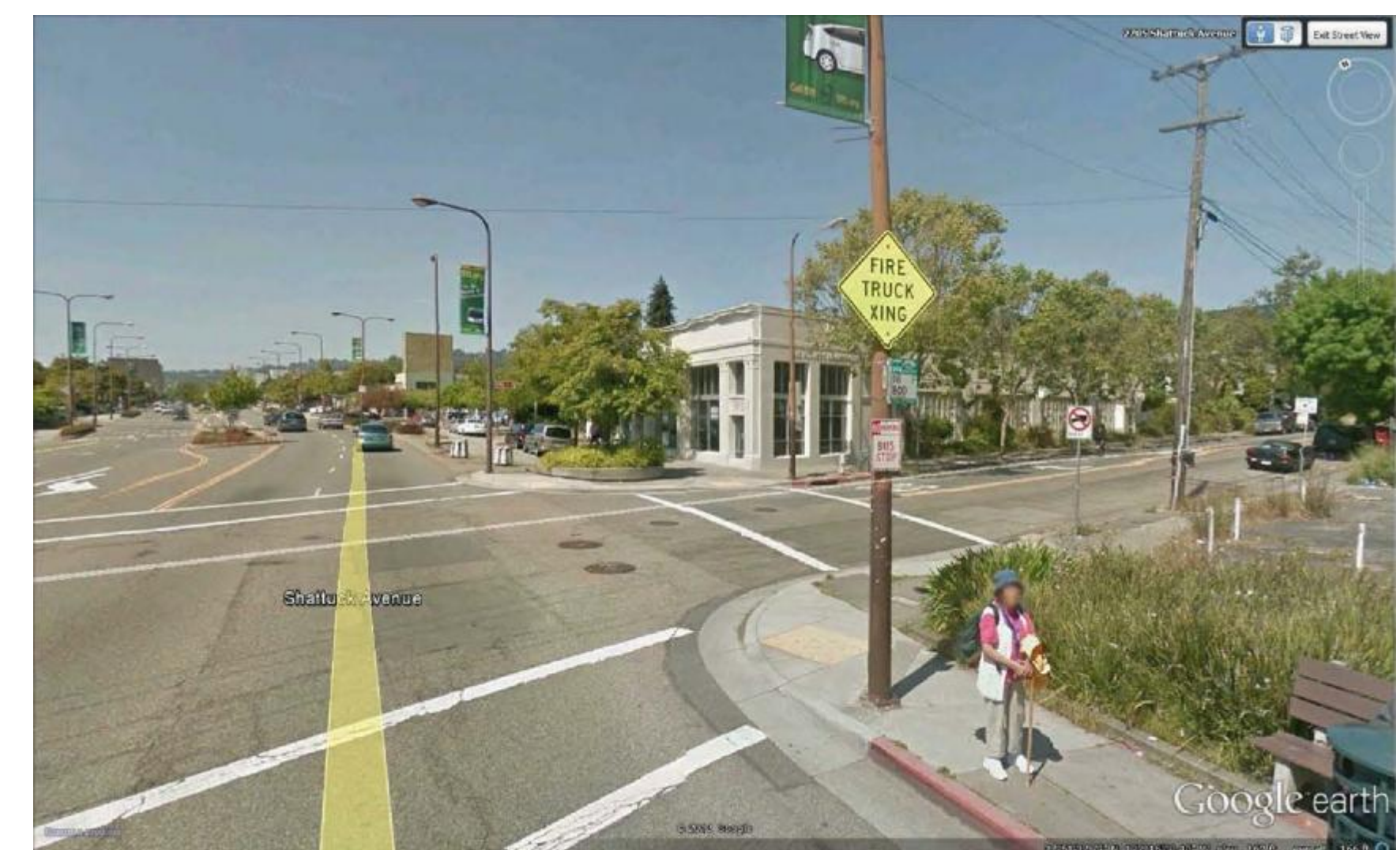
3 VIEW NORTH ON SHATTUCK AT REDWOODS
12" = 1'-0"



6 VIEW OF SITE FROM SHATTUCK AND DERBY
12" = 1'-0"



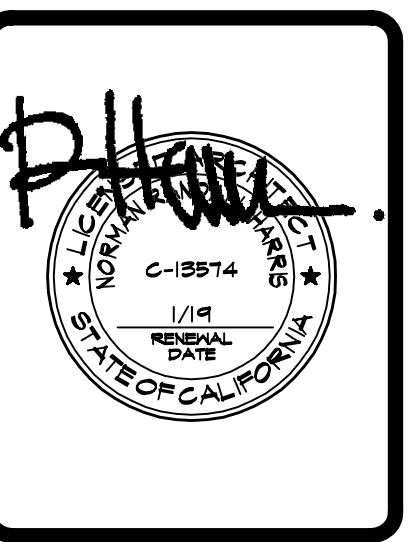
5 VIEW SOUTH ON SHATTUCK
12" = 1'-0"



4 VIEW NORTH AT DERBY AND SHATTUCK
12" = 1'-0"

| revisions | by |
|-------------------------------------|----|
| DRC SUBMITTAL 12/15/16 & 1/27/17 | - |
| ZAB SUBMITTAL 4/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 1/09/19 | AY |

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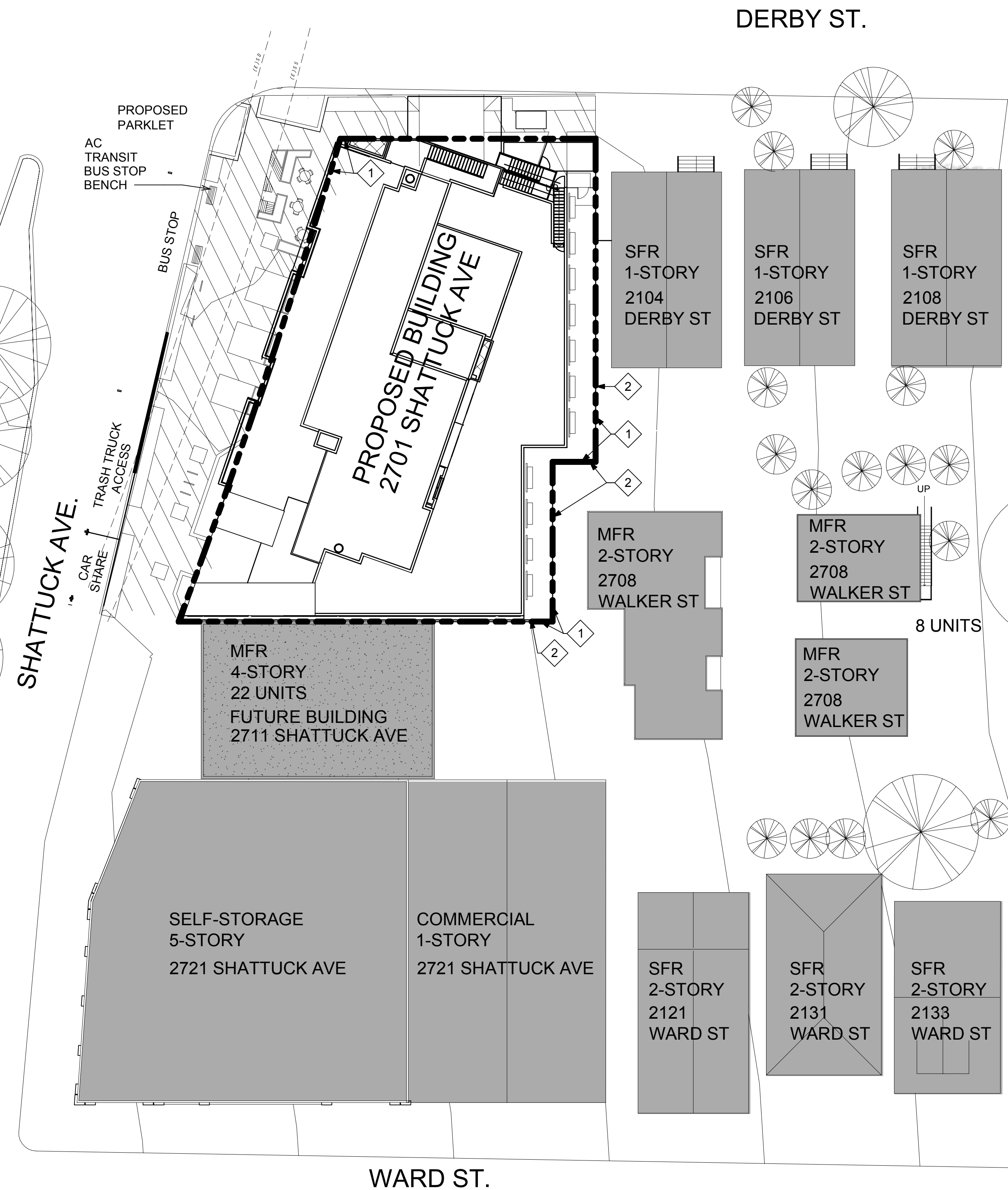
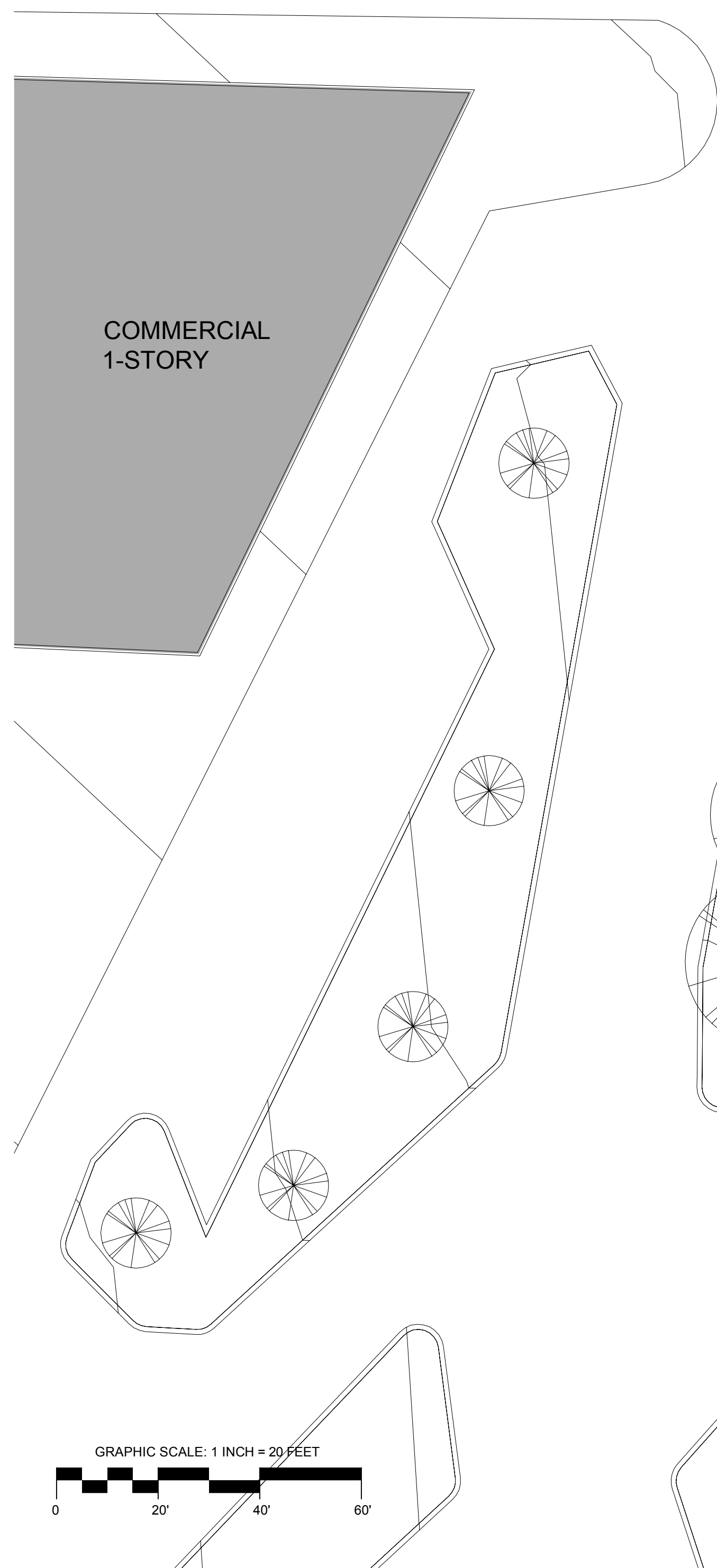
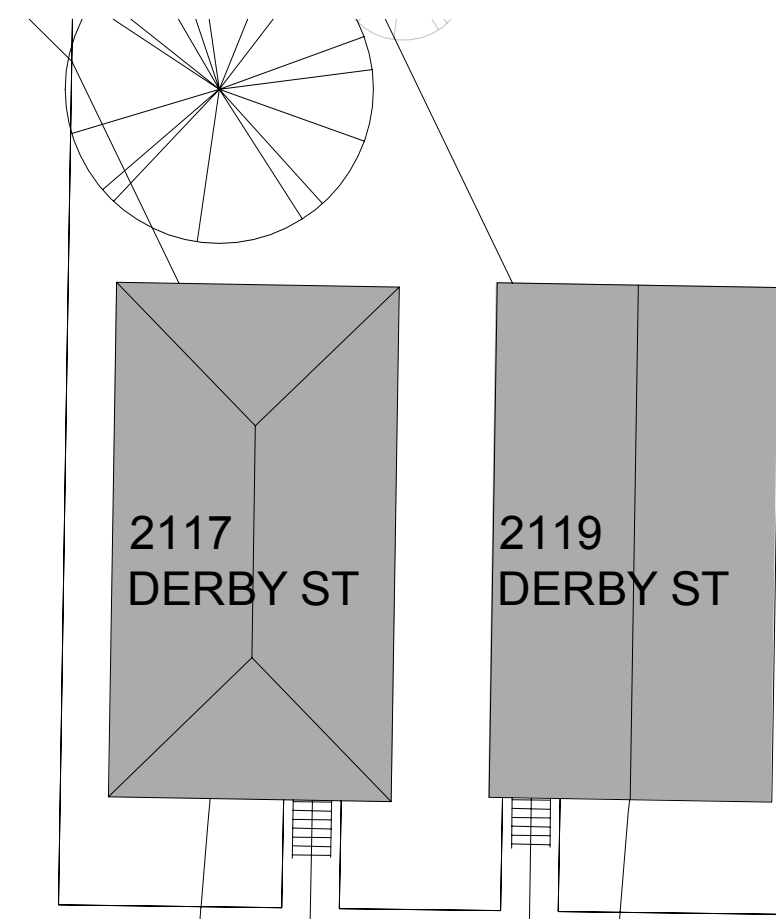
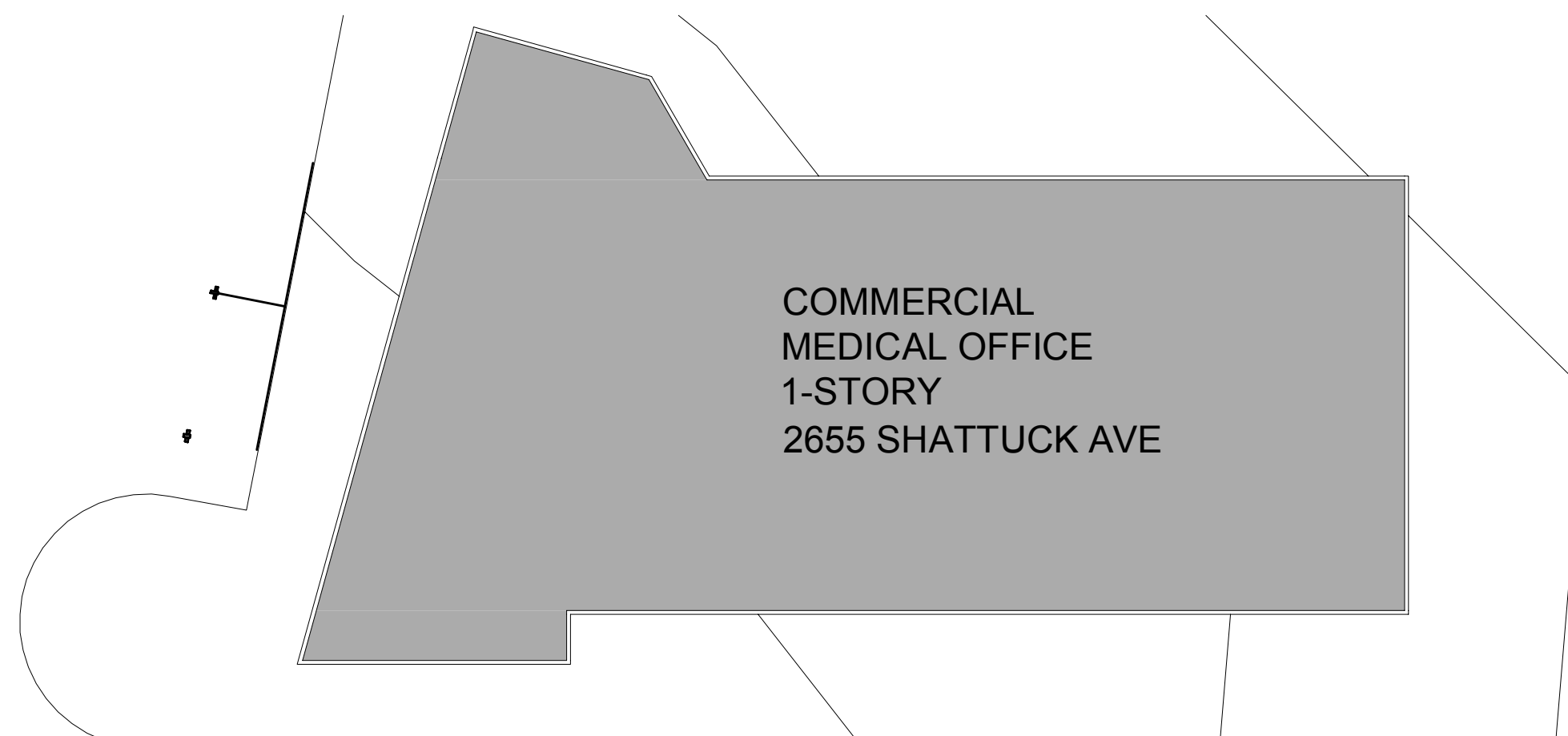
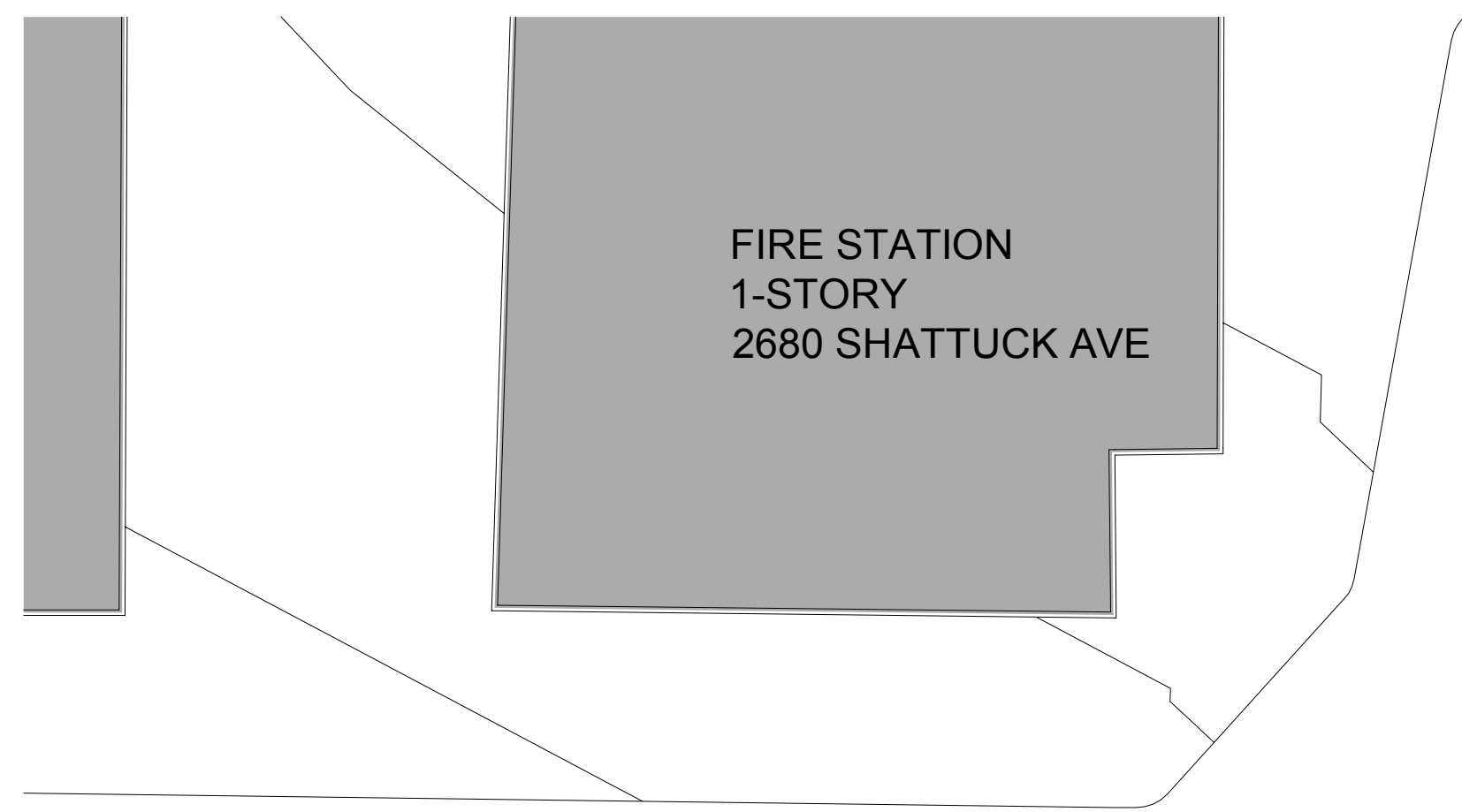


**2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC**

drawing
**EXISTING
CONDITIONS**

drawn
checked
RH
date
3/07/18
scale
12" = 1'-0"
job no.
1802
sheet

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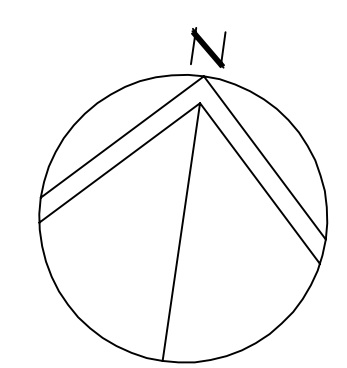
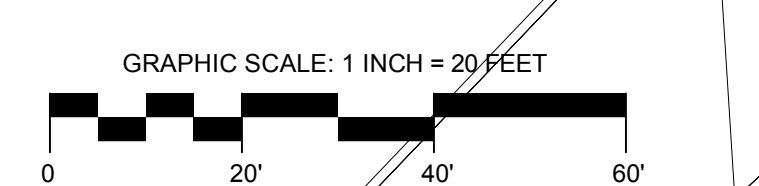


KEY NOTES

- 1 PROPERTY LINE
- 2 6'-0" HIGH ORNAMENTAL METAL FENCE

LEGEND

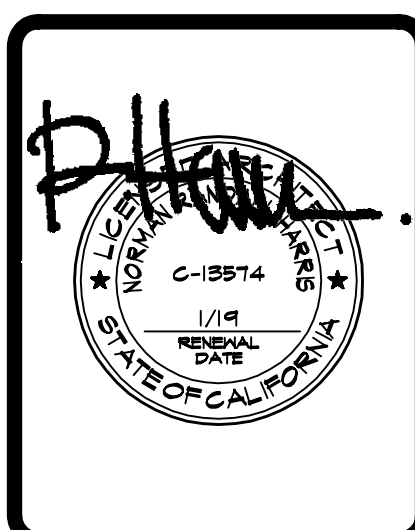
- EXISTING BUILDINGS
- PROPERTY LINE
- EXISTING TREE
- MFR MULTI-FAMILY RESIDENTIAL
- SFR SINGLE-FAMILY RESIDENTIAL



| revisions | by |
|-------------------------------------|----|
| DRC SUBMITTAL 12/15/18 & 1/27/17 | - |
| ZAB SUBMITTAL 9/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 1/09/18 | AY |

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architects, planners

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(925) 256-6042



**2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC**

drawing
SITE PLAN

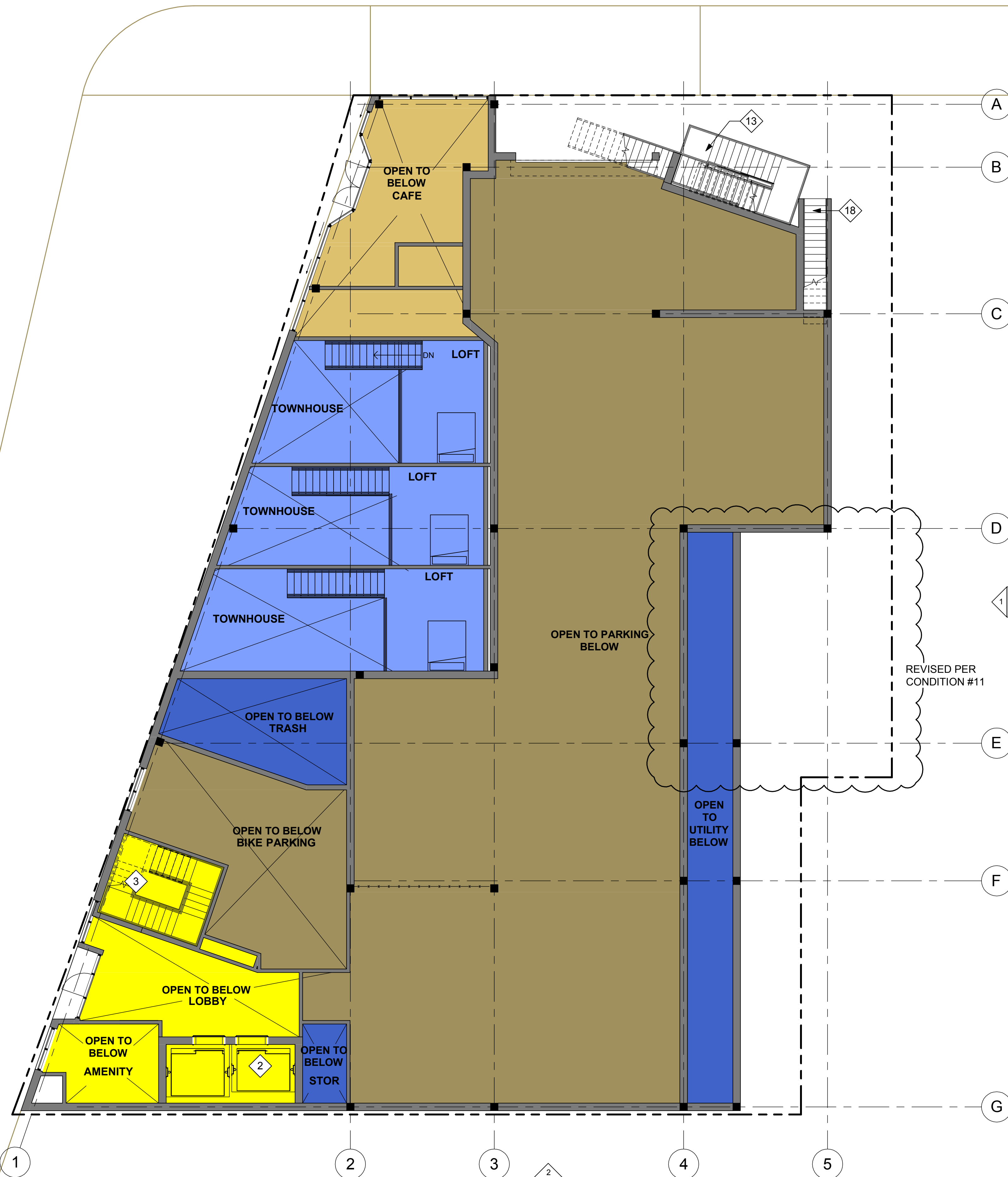
drawn
checked
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date
3/07/18
scale
1" = 3'-0"
job no.
1802
sheet

A1.2

DERBY STREET

A3.1
2

SHATTUCK AVENUE



1 MEZZANINE
1/8" = 1'-0"

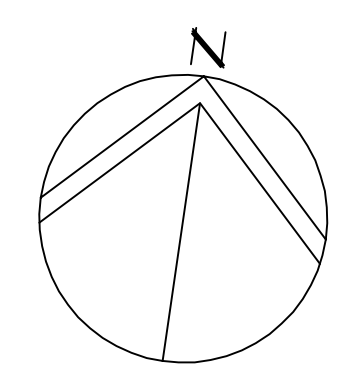
A3.2
2

KEY NOTES

- 1 TRIPLE LIFT PARKING SPACE
- 2 ELEVATOR
- 3 STAIR
- 4 6'-0" HIGH ORNAMENTAL METAL FENCE
- 4.1 PERFORATED METAL SECURITY FENCE W GATE
- 5 RESIDENTIAL ENTRY
- 6 CAFE ENTRY
- 7 GARAGE DOOR WITH VISUAL AND AUDIBLE ALERT SYSTEM MOUNTED ABOVE DOOR. SOUND AND LIGHT CONTROLS IN GARAGE.
- 8 NEW TREE, SEE LANDSCAPE DRAWINGS
- 9 PLANTER, SEE LANDSCAPE DRAWINGS
- 10 HEAVY DUTY DERO HOOP BICYCLE RACKS
- 11 (E) AC TRANSIT BUS STOP WITH BENCH
- 12 OUTDOOR SEATING AREA, SEE LANDSCAPE DRAWINGS
- 13 EXTERIOR STAIR
- 14 PARAPET/RAILING
- 15 MECHANICAL CHASE
- 16 BARBEQUE
- 17 NOT USED
- 18 FIRE ACCESS STAIR
- 19 METAL ROOF / MATCH SIDING SEE ELEVATIONS
- 20 TRASH CHUTE

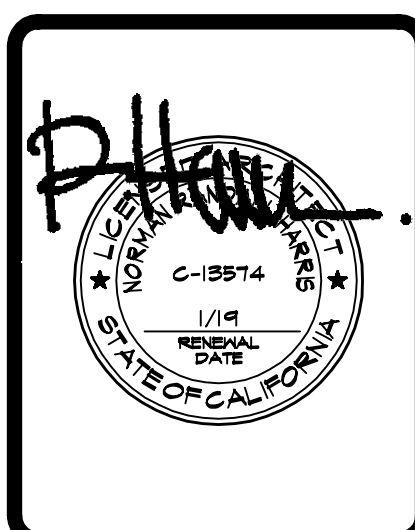
LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- ROOFTOP ELEMENTS
- WALL
- PROPERTY LINE



| revisions | by |
|-------------------------------------|----|
| DRC SUBMITTAL 12/15/18 & 1/27/17 | - |
| ZAB SUBMITTAL 4/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 11/09/18 | AY |

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walnut creek, ca
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2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
 2701 SHATTUCK BERKELEY, LLC

drawing
MEZZANINE PLAN

| drawn |
|---|
| checked RH date 3/07/18 scale 1/8" = 1'-0" |
| job no. 1802 sheet |

A2.1A

| revisions | by |
|-------------------------------------|----|
| DRG SUBMITTAL 12/15/16 & 1/27/17 | - |
| ZAB SUBMITTAL 4/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRG SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 1/09/18 | AY |

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walnut creek, ca
94597
(925) 256-6042

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C-15574
1/19
EXPIRES
DATE
STATE OF CALIFORNIA

2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
**PODIUM
LEVEL
FLOOR PLAN**

drawn
checked
RH
date
3/07/18
scale
1/8" = 1'-0"
job no.
1802
sheet

A2.2

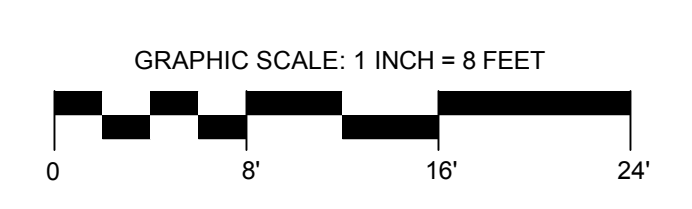
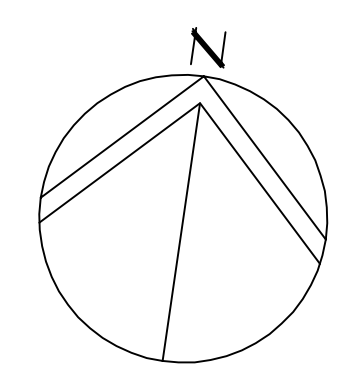


KEY NOTES

- 1 TRIPLE LIFT PARKING SPACE
- 2 ELEVATOR
- 3 STAIR
- 4 6'-0" HIGH ORNAMENTAL METAL FENCE
- 4.1 PERFORATED METAL SECURITY FENCE W GATE
- 5 RESIDENTIAL ENTRY
- 6 CAFE ENTRY
- 7 GARAGE DOOR WITH VISUAL AND AND AUDIBLE ALERT SYSTEM MOUNTED ABOVE DOOR. SOUND AND LIGHT CONTROLS IN GARAGE.
- 8 NEW TREE, SEE LANDSCAPE DRAWINGS
- 9 PLANTER, SEE LANDSCAPE DRAWINGS
- 10 HEAVY DUTY DERO HOOP BICYCLE RACKS
- 11 (E) AC TRANSIT BUS STOP WITH BENCH
- 12 OUTDOOR SEATING AREA, SEE LANDSCAPE DRAWINGS
- 13 EXTERIOR STAIR
- 14 PARAPET/RAILING
- 15 MECHANICAL CHASE
- 16 BARBEQUE
- 17 NOT USED
- 18 FIRE ACCESS STAIR
- 19 METAL ROOF / MATCH SIDING SEE ELEVATIONS
- 20 TRASH CHUTE

LEGEND

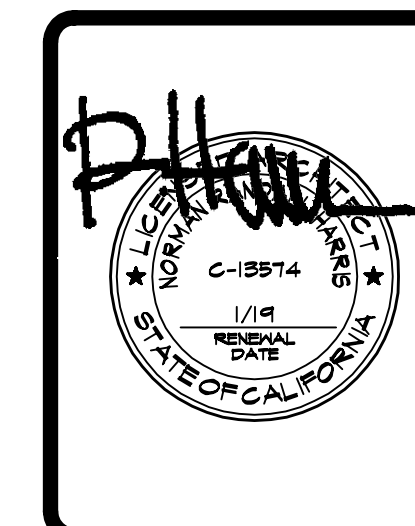
- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- ROOFTOP ELEMENTS
- WALL
- PROPERTY LINE



1 PODIUM LEVEL FLOOR PLAN
1/8" = 1'-0"

| revisions | by |
|-------------------------------------|----|
| DRC SUBMITTAL 12/15/18 & 1/27/17 | - |
| ZAB SUBMITTAL 9/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 1/09/18 | AY |

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(925) 256-6042

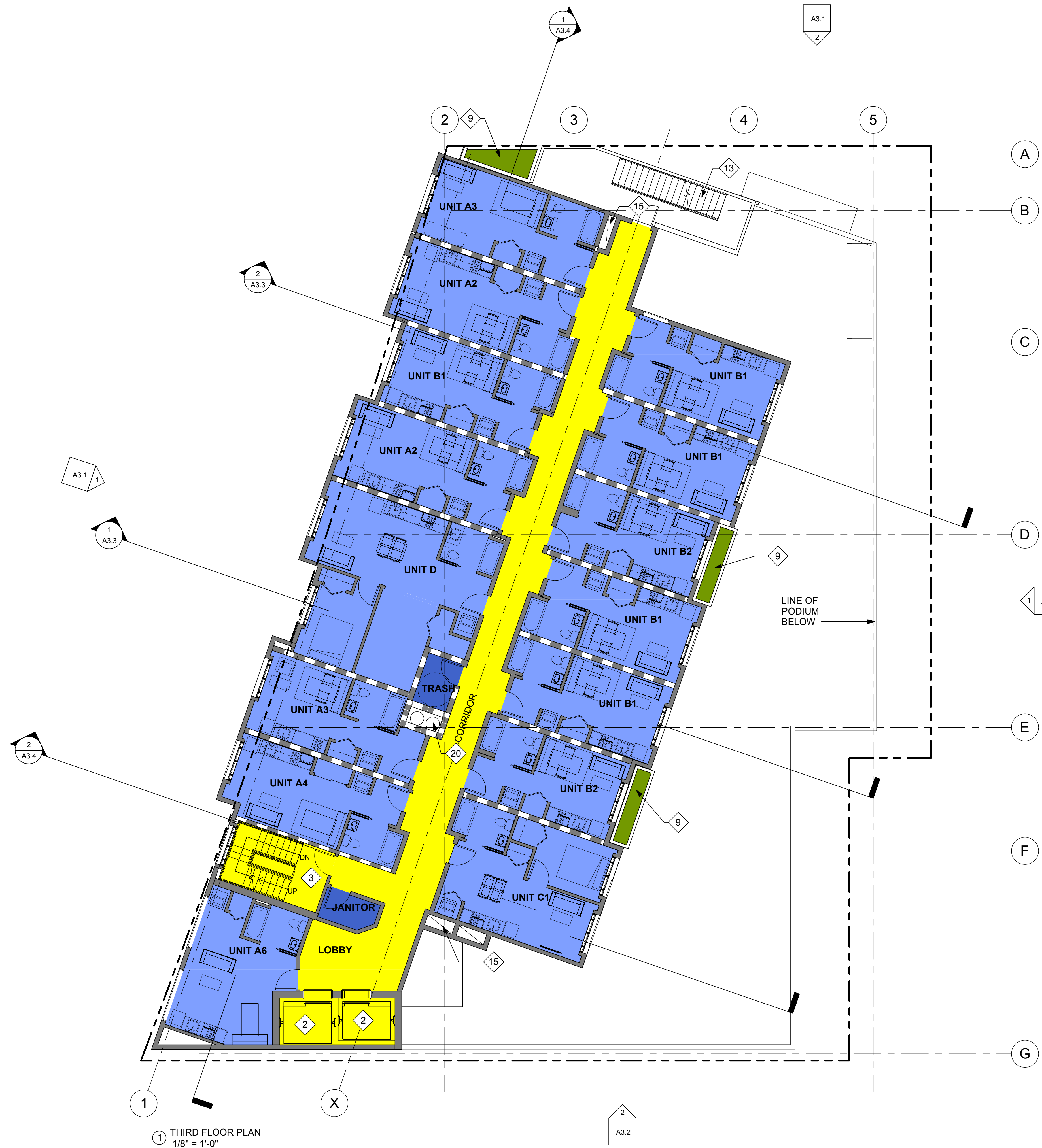


2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
THIRD LEVEL FLOOR PLAN

| | |
|---------|--------------|
| drawn | |
| checked | RH |
| date | 3/07/18 |
| scale | 1/8" = 1'-0" |
| job no. | 1802 |
| sheet | |

A2.3

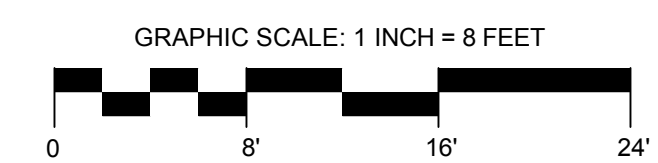


KEY NOTES

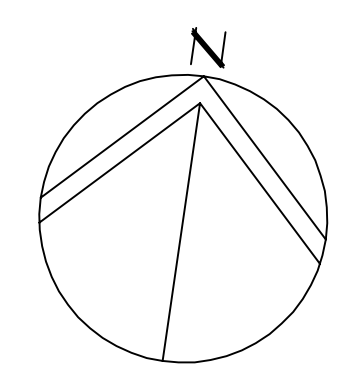
- 1 TRIPLE LIFT PARKING SPACE
- 2 ELEVATOR
- 3 STAIR
- 4 6'-0" HIGH ORNAMENTAL METAL FENCE
- 4.1 PERFORATED METAL SECURITY FENCE W GATE
- 5 RESIDENTIAL ENTRY
- 6 CAFE ENTRY
- 7 GARAGE DOOR WITH VISUAL AND AUDIBLE ALERT SYSTEM MOUNTED ABOVE DOOR. SOUND AND LIGHT CONTROLS IN GARAGE.
- 8 NEW TREE, SEE LANDSCAPE DRAWINGS
- 9 PLANTER, SEE LANDSCAPE DRAWINGS
- 10 HEAVY DUTY DERO HOOP BICYCLE RACKS
- 11 (E) AC TRANSIT BUS STOP WITH BENCH
- 12 OUTDOOR SEATING AREA, SEE LANDSCAPE DRAWINGS
- 13 EXTERIOR STAIR
- 14 PARAPET/RAILING
- 15 MECHANICAL CHASE
- 16 BARBEQUE
- 17 NOT USED
- 18 FIRE ACCESS STAIR
- 19 METAL ROOF / MATCH SIDING SEE ELEVATIONS
- 20 TRASH CHUTE

LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- ROOFTOP ELEMENTS
- WALL
- PROPERTY LINE



1 THIRD FLOOR PLAN
1/8" = 1'-0"



| revisions | by |
|-------------------------------------|----|
| DRC SUBMITTAL 12/15/18 & 1/27/17 | - |
| ZAB SUBMITTAL 9/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 1/09/18 | AY |

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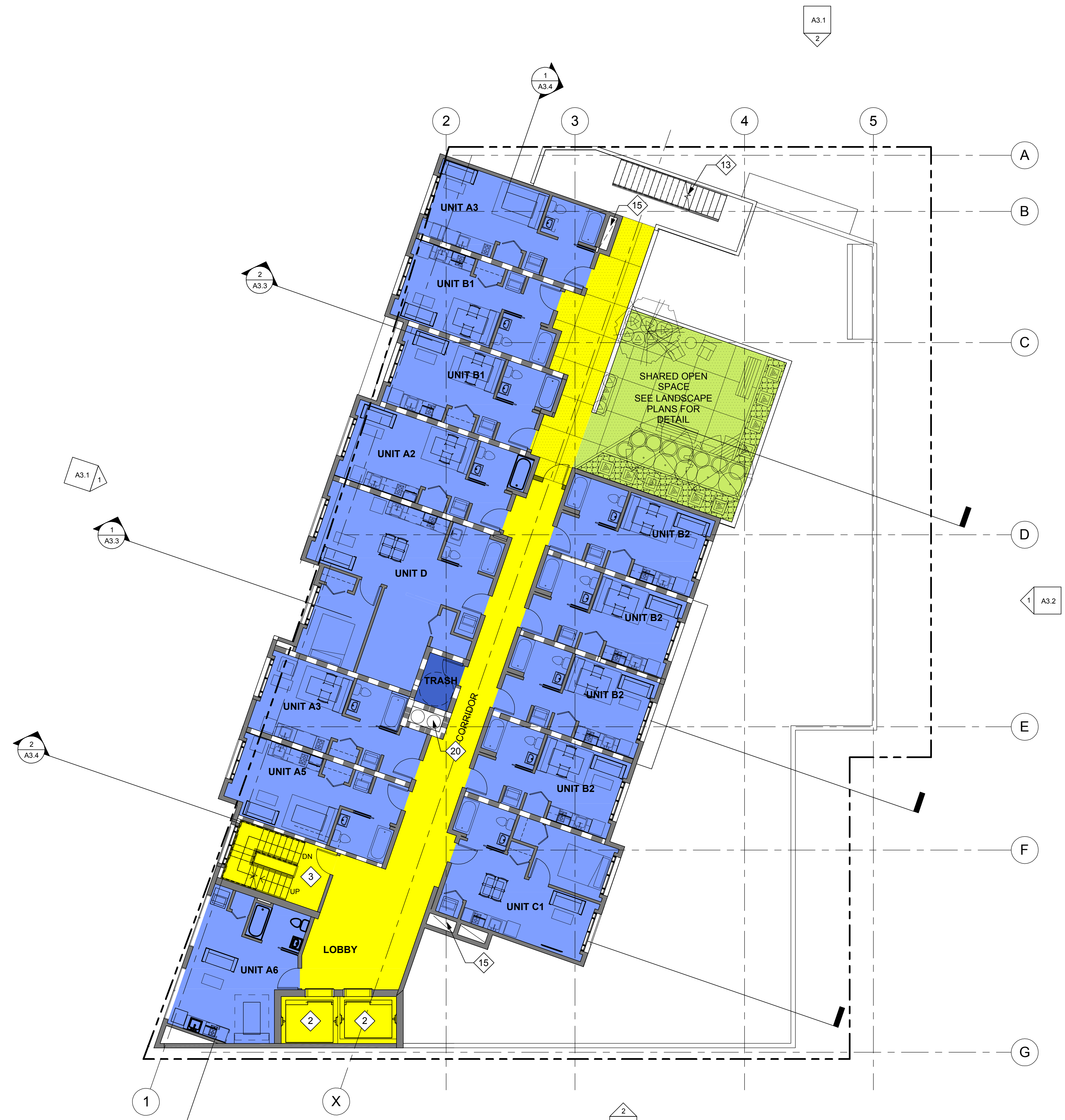
D. H. HALL
LICENSED ARCHITECT
C-15574
1/19
EXPIRES
DATE
STATE OF CALIFORNIA

**2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC**

drawing
**FOURTH
LEVEL
FLOOR PLAN**

drawn
checked
RH
date
3/07/18
scale
1/8" = 1'-0"
job no.
1802
sheet

A2.4



KEY NOTES

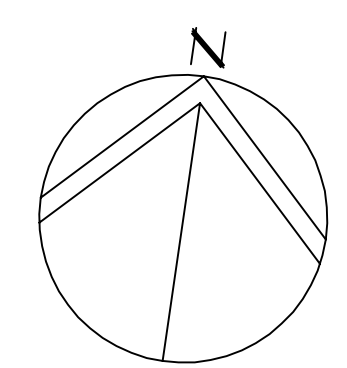
- 1 TRIPLE LIFT PARKING SPACE
- 2 ELEVATOR
- 3 STAIR
- 4 6'-0" HIGH ORNAMENTAL METAL FENCE
- 4.1 PERFORATED METAL SECURITY FENCE W GATE
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- 13 EXTERIOR STAIR
- 14 PARAPET/RAILING
- 15 MECHANICAL CHASE
- 16 BARBEQUE
- 17 NOT USED
- 18 FIRE ACCESS STAIR
- 19 METAL ROOF / MATCH SIDING SEE ELEVATIONS
- 20 TRASH CHUTE

LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- ROOFTOP ELEMENTS
- WALL
- PROPERTY LINE



1 FOURTH FLOOR PLAN
1/8" = 1'-0"





KEY NOTES

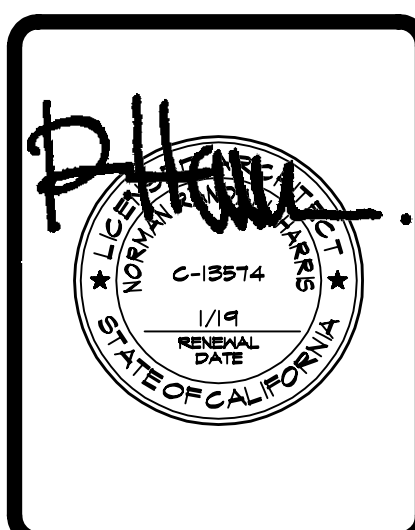
- 1 TRIPLE LIFT PARKING SPACE
- 2 ELEVATOR
- 3 STAIR
- 4 6'-0" HIGH ORNAMENTAL METAL FENCE
- 4.1 PERFORATED METAL SECURITY FENCE W GATE
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- 16 BARBEQUE
- 17 NOT USED
- 18 FIRE ACCESS STAIR
- 19 METAL ROOF / MATCH SIDING SEE ELEVATIONS
- 20 TRASH CHUTE

LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- ROOFTOP ELEMENTS
- WALL
- PROPERTY LINE

| revisions | by |
|----------------------------------|----|
| DRC SUBMITTAL 12/15/18 & 1/27/17 | - |
| ZAB SUBMITTAL 4/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 1/08/18 | AY |

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94597
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2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

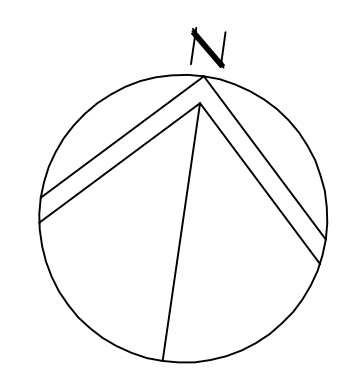
drawing
FIFTH LEVEL FLOOR PLAN

| |
|-----------------------|
| drawn |
| checked RH |
| date 3/07/18 |
| scale 1/8" = 1'-0" |
| job no. 1802 |
| sheet |

A2.5

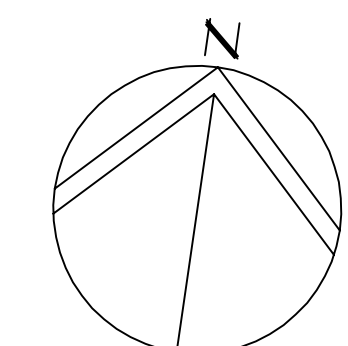
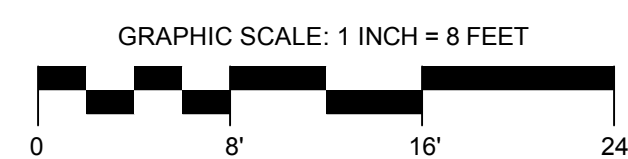


1 FIFTH FLOOR PLAN
1/8" = 1'-0"





1 ROOF PLAN
1/8" = 1'-0"



KEY NOTES

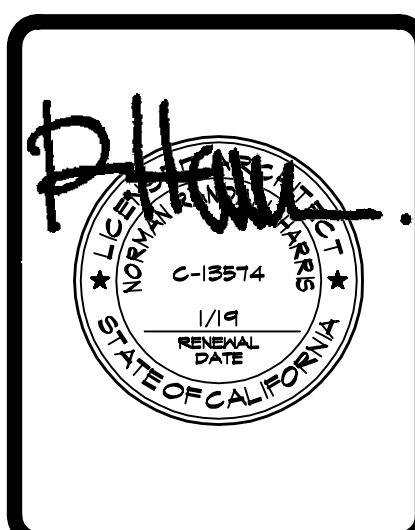
- 1 TRIPLE LIFT PARKING SPACE
- 2 ELEVATOR
- 3 STAIR
- 4 6'-0" HIGH ORNAMENTAL METAL FENCE
- 4.1 PERFORATED METAL SECURITY FENCE W GATE
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- 14 PARAPET/RAILING
- 15 MECHANICAL CHASE
- 16 BARBEQUE
- 17 TRELLIS
- 18 FIRE ACCESS STAIR
- 19 METAL ROOF / MATCH SIDING SEE ELEVATIONS

LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- ROOFTOP ELEMENTS
- WALL
- PROPERTY LINE

| revisions | by |
|----------------------------------|----|
| DRC SUBMITTAL 12/15/18 & 1/27/17 | - |
| ZAB SUBMITTAL 9/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 1/03/18 | AY |

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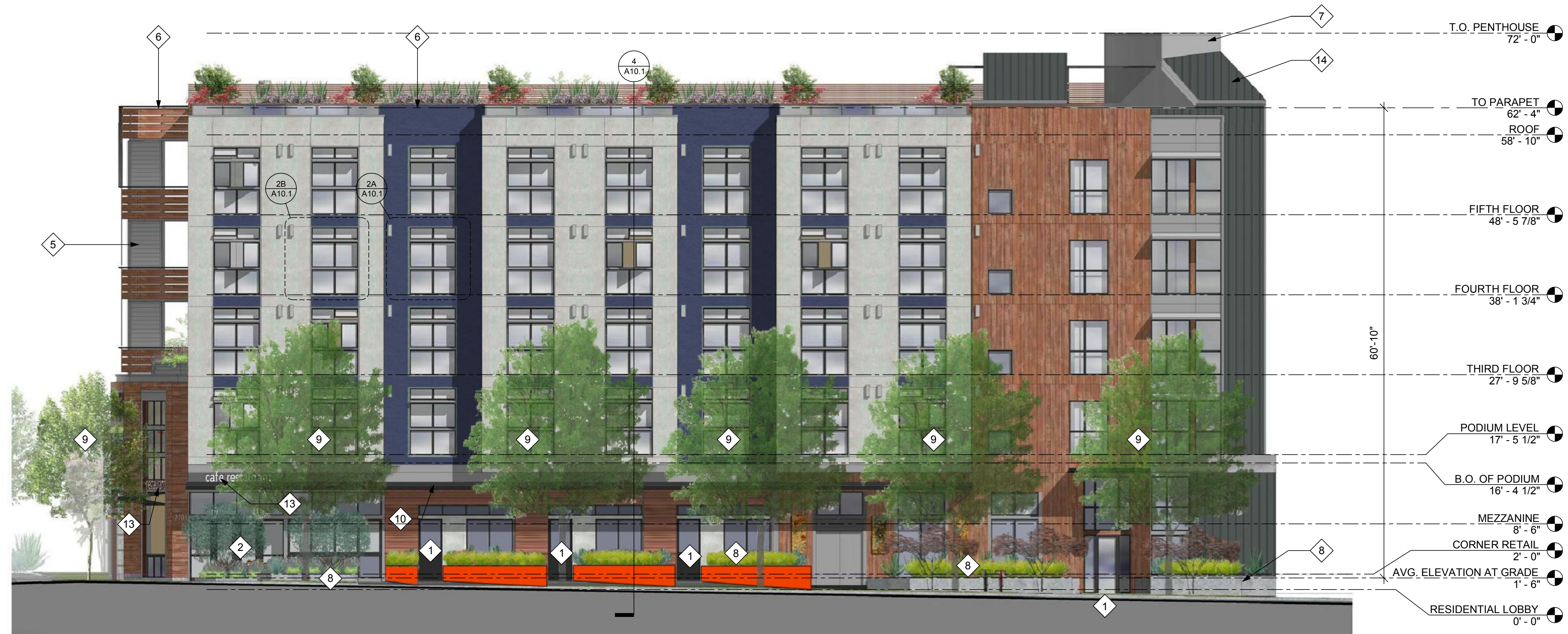


2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
 2701 SHATTUCK BERKELEY, LLC

drawing
ROOF PLAN

| |
|-----------------------|
| drawn |
| checked RH |
| date 3/07/18 |
| scale 1/8" = 1'-0" |
| job no. 1802 |
| sheet |

A2.6

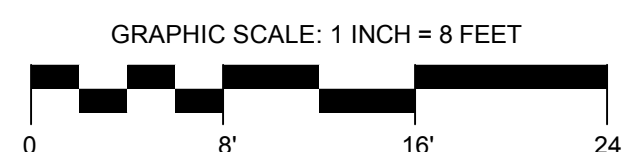


1 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"



2 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"

NOTE: NORMAL TO RESIDENTIAL PORTION OF BUILDING



- T.O. PENTHOUSE 72' - 0"
- TO PARAPET 62' - 4"
- ROOF 58' - 10"
- FIFTH FLOOR 48' - 5 7/8"
- FOURTH FLOOR 38' - 1 3/4"
- THIRD FLOOR 27' - 9 5/8"
- PODIUM LEVEL 17' - 5 1/2"
- B.O. OF PODIUM 16' - 4 1/2"
- MEZZANINE 8' - 6"
- CORNER RETAIL 2' - 0"
- AVG. ELEVATION AT GRADE 1' - 6"
- RESIDENTIAL LOBBY 0' - 0"

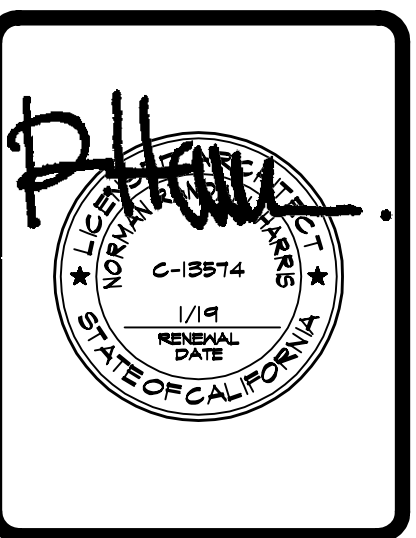
KEY NOTES

- 1 RESIDENTIAL ENTRY
- 2 COMMERCIAL ENTRY
- 3 PARKING GARAGE DOOR
- 4 NOT USED
- 5 EXTERIOR STAIR
- 6 RAILING / PARAPET
- 7 ELEVATOR OVERRUN
- 8 PLANTER, SEE LANDSCAPE PLANS
- 9 TREE, SEE LANDSCAPE PLANS
- 10 AWNING
- 11 NOT USED
- 12 NOT USED
- 13 SIGNAGE
- 14 ROOFTOP MECHANICAL ENCLOSURE
- 15 PERFORATED METAL SECURITY FENCE W GATE

NOTE:
SEE A3.1A FOR MATERIALS LEGEND

| revisions | by |
|----------------------------------|----|
| DRC SUBMITTAL 12/15/16 & 1/27/17 | - |
| ZAB SUBMITTAL 4/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 1/09/18 | AY |

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walnut creek, ca
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2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
EXTERIOR ELEVATIONS

drawn
checked
RH
date
3/07/18
scale
1/8" = 1'-0"
job no.
1802
sheet

A3.1

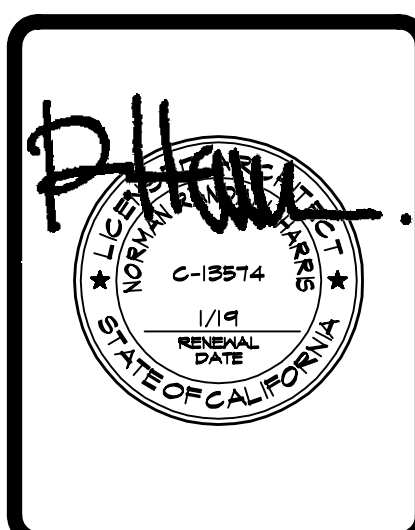


1 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"

- ### LEGEND
- 1 PAINTED STUCCO
BODY COLOR 1
 - 2 PAINTED STUCCO
BODY COLOR 2
 - 3 METAL FLUSH PANELS
COLOR: "DARK BRONZE"
 - 4 CAST-IN-PLACE CONCRETE
 - 5 COMPOSITE WOOD PANEL
COLOR: PARKLEX "AMBER" & "RUBI"
 - 6 ARCHITECTURAL METAL DETAILS
 - 7 STOREFRONT GLAZING WINDOW
 - 8 PERFORATED METAL
 - 9 METAL LOUVERS
 - 10 DARK ANODIZED METAL WINDOWS
 - 11 PUBLIC ART LOCATION

| revisions | by |
|-------------------------------------|----|
| DRC SUBMITTAL 12/15/16 & 1/27/17 | - |
| ZAB SUBMITTAL 4/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 11/09/18 | AY |

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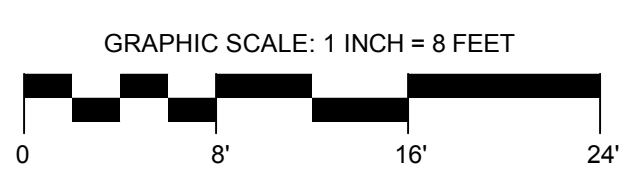


2701 SHATTUCK AVENUE
 BERKELEY, CALIFORNIA
 FOR:
2701 SHATTUCK BERKELEY, LLC



2 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"

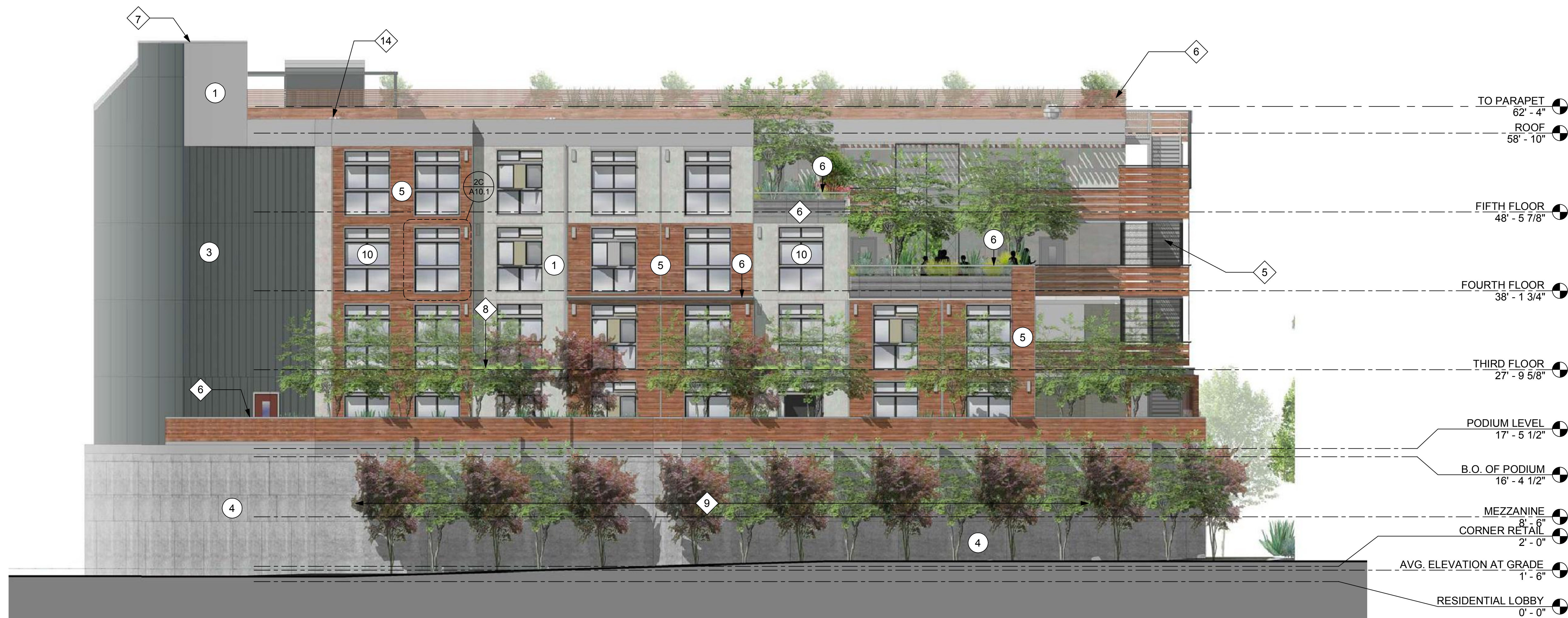
NOTE: NORMAL TO RESIDENTIAL PORTION OF BUILDING



drawing
EXTERIOR
ELEVATIONS
(VIEWED FROM
SIDEWALK)

drawn
checked
RH
date
3/07/18
scale
1/8" = 1'-0"
job no.
1802
sheet

A3.1A



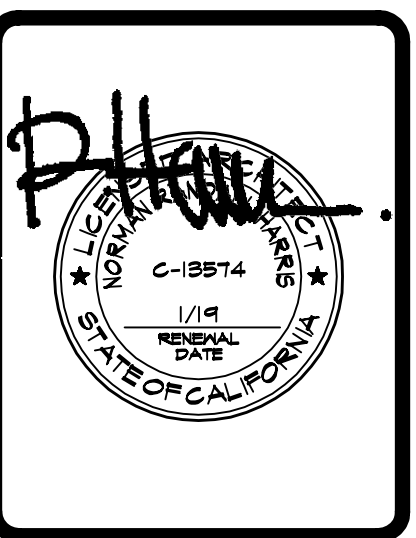
1 EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



2 EXTERIOR ELEVATION SOUTH
1/8" = 1'-0"

| revisions | by |
|-------------------------------------|----|
| DRC SUBMITTAL 12/15/18 & 1/27/17 | - |
| ZAB SUBMITTAL 9/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 1/09/18 | AY |

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2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

KEY NOTES

- 1 RESIDENTIAL ENTRY
- 2 COMMERCIAL ENTRY
- 3 PARKING GARAGE DOOR
- 4 NOT USED
- 5 EXTERIOR STAIR
- 6 RAILING / PARAPET
- 7 ELEVATOR OVERRUN
- 8 PLANTER, SEE LANDSCAPE PLANS
- 9 TREE, SEE LANDSCAPE PLANS
- 10 AWNING
- 11 NOT USED
- 12 NOT USED
- 13 SIGNAGE
- 14 ROOFTOP MECHANICAL ENCLOSURE
- 15 PERFORATED METAL SECURITY FENCE W GATE

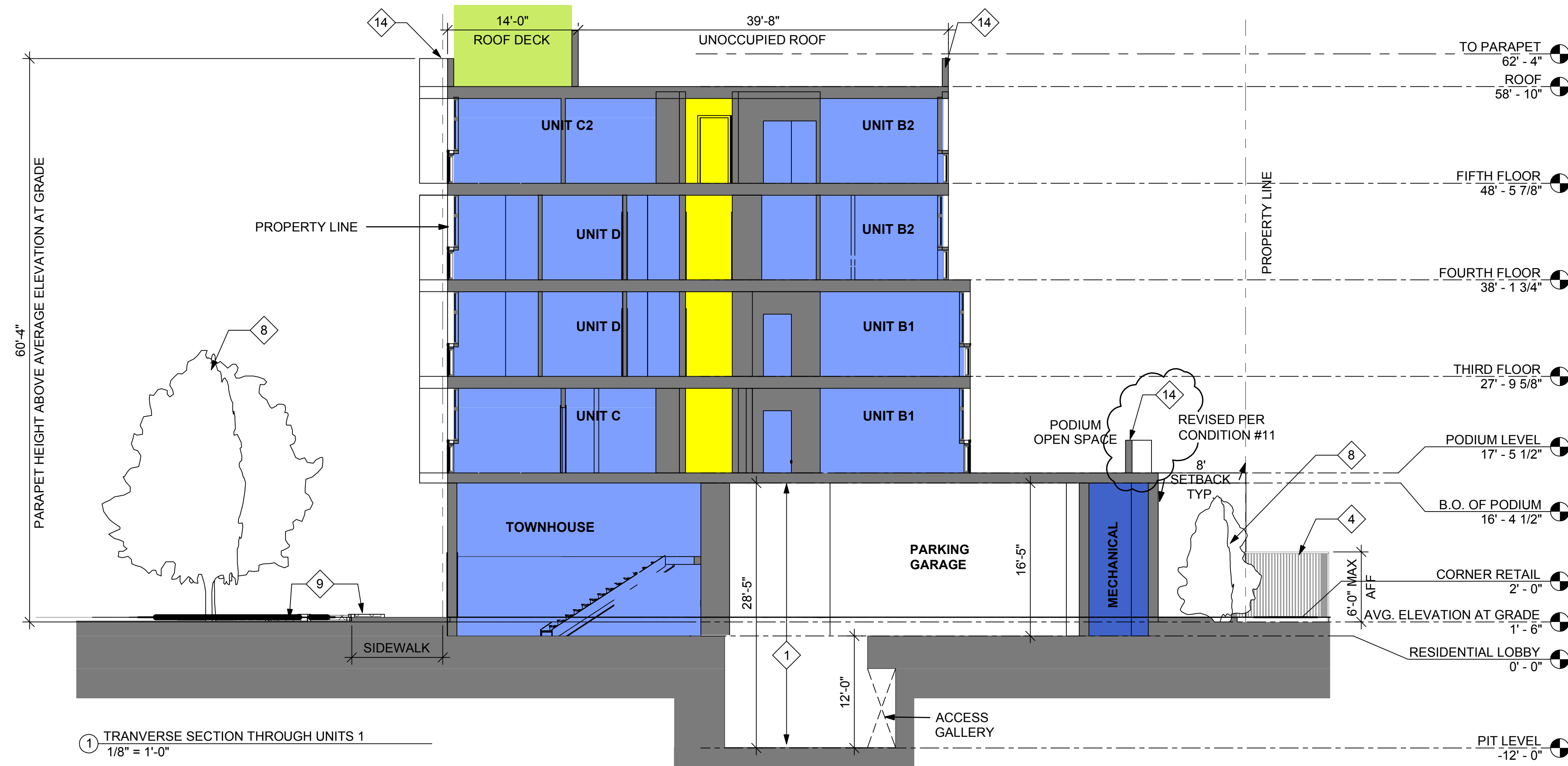
LEGEND

- 1 PAINTED STUCCO BODY COLOR 1
- 2 PAINTED STUCCO BODY COLOR 2
- 3 METAL FLUSH PANELS COLOR: "DARK BRONZE"
- 4 CAST-IN-PLACE CONCRETE
- 5 COMPOSITE WOOD PANEL COLOR: PARKLEX "AMBER" & "RUBI"
- 6 ARCHITECTURAL METAL DETAILS
- 7 STOREFRONT GLAZING WINDOW
- 8 PERFORATED METAL
- 9 METAL LOUVERS
- 10 DARK ANODIZED METAL WINDOWS

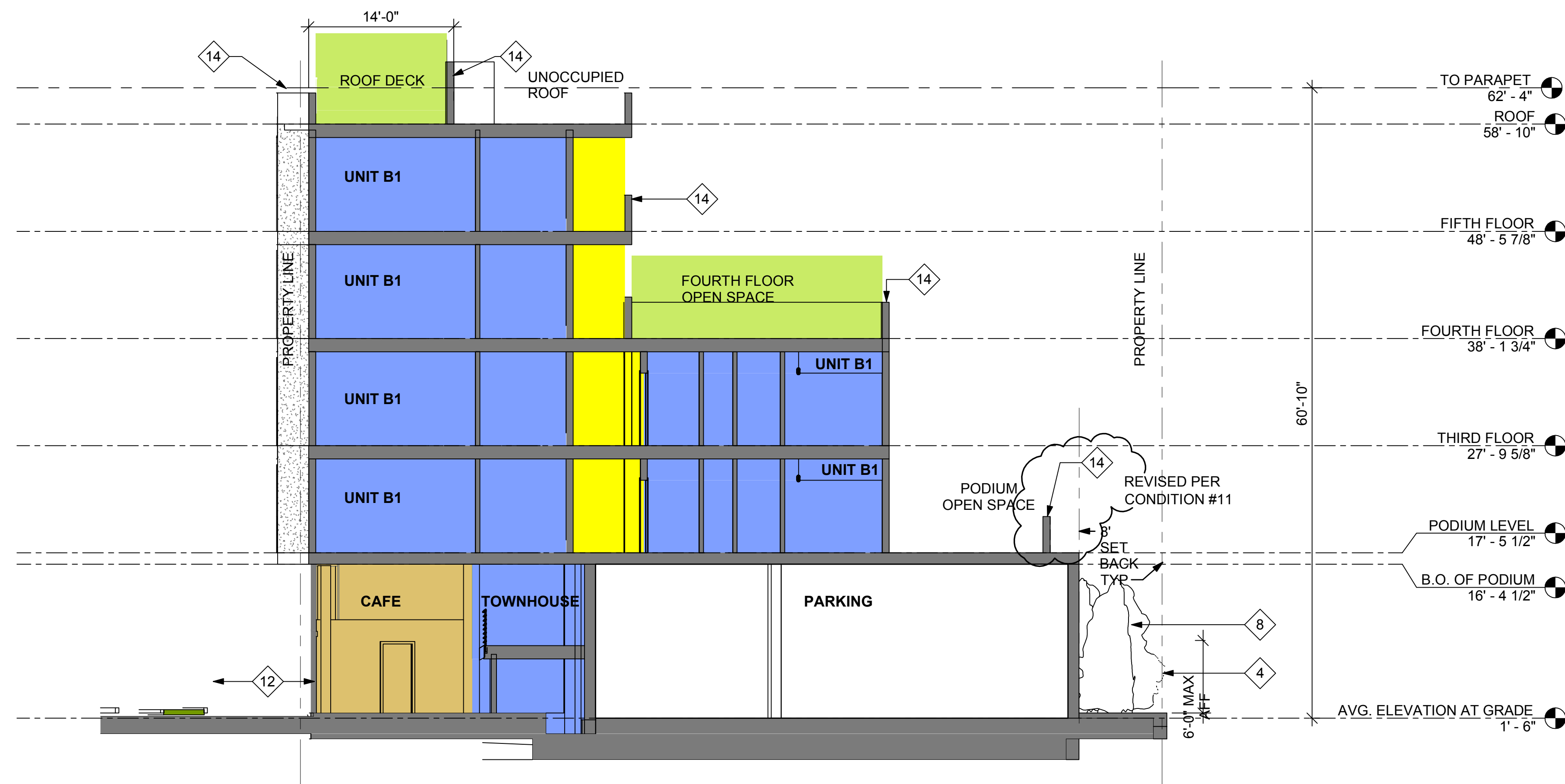
drawing
EXTERIOR ELEVATIONS

| drawn | checked | date | scale | job no. | sheet |
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| | RH | 3/07/18 | 1/8" = 1'-0" | 1802 | |

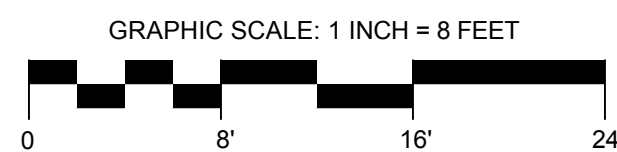
A3.2



① TRANVERSE SECTION THROUGH UNITS 1
1/8" = 1'-0"



② BUILDING SECTION
1/8" = 1'-0"



KEY NOTES

- ① TRIPLE LIFT PARKING SPACE
- ② NOT USED
- ③ STAIR
- ④ FENCE
- ⑤ RESIDENTIAL ENTRY
- ⑥ NOT USED
- ⑦ NOT USED
- ⑧ NEW TREE, SEE LANDSCAPE DRAWINGS
- ⑨ PLANTER, SEE LANDSCAPE DRAWINGS
- ⑩ BICYCLE PARKING
- ⑪ NOT USED
- ⑫ OUTDOOR SEATING AREA, SEE LANDSCAPE DRAWINGS
- ⑬ STAIR ENCLOSURE
- ⑭ PARAPET/RAILING

LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- WALL
- PROPERTY LINE

| revisions | by |
|----------------------------------|----|
| DRC SUBMITTAL 12/15/16 & 1/27/17 | - |
| ZAB SUBMITTAL 4/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 1/09/18 | AY |

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Professional Seal
C-15574
1/18
ARCHITECT
STATE OF CALIFORNIA

2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
BUILDING SECTIONS

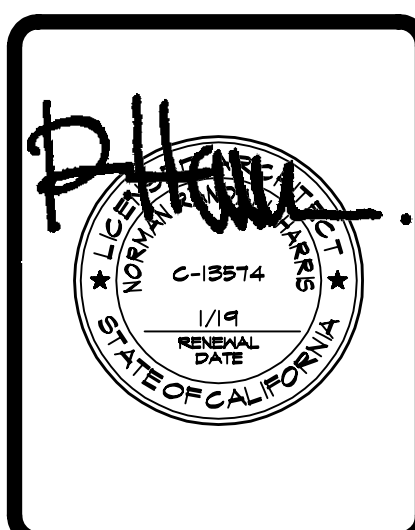
drawn
checked
RH
date
3/07/18
scale
1/8" = 1'-0"
job no.
1802
sheet

A3.3



| revisions | by |
|----------------------------------|----|
| DRC SUBMITTAL 12/15/16 & 1/27/17 | - |
| ZAB SUBMITTAL 4/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 1/09/18 | AY |

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walnut creek, ca 94597
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KEY NOTES

- 1 TRIPLE LIFT PARKING SPACE
- 2 NOT USED
- 3 STAIR
- 4 FENCE
- 5 RESIDENTIAL ENTRY
- 6 NOT USED
- 7 NOT USED
- 8 NEW TREE, SEE LANDSCAPE DRAWINGS
- 9 PLANTER, SEE LANDSCAPE DRAWINGS
- 10 BICYCLE PARKING
- 11 NOT USED
- 12 OUTDOOR SEATING AREA, SEE LANDSCAPE DRAWINGS
- 13 STAIR ENCLOSURE
- 14 PARAPET/RAILING

LEGEND

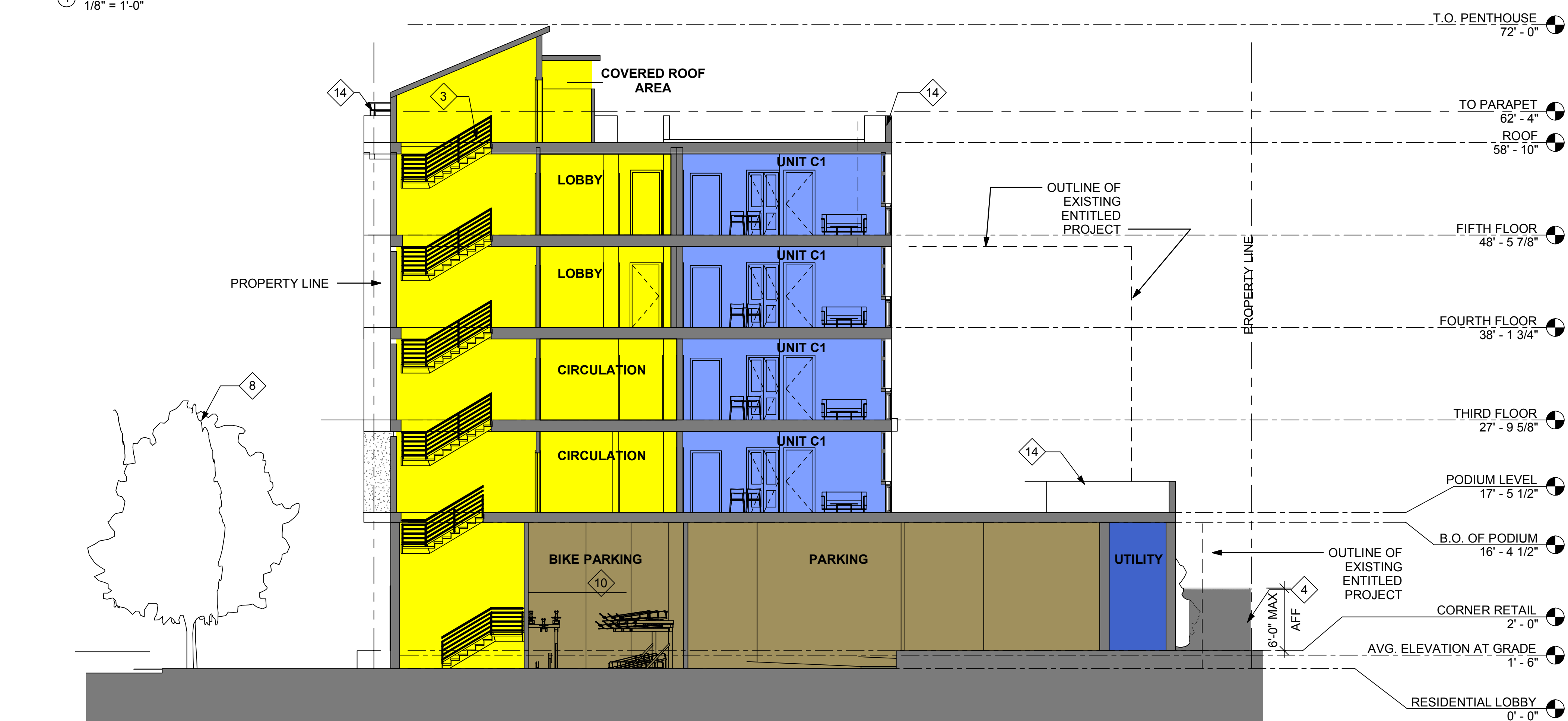
- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- WALL
- PROPERTY LINE

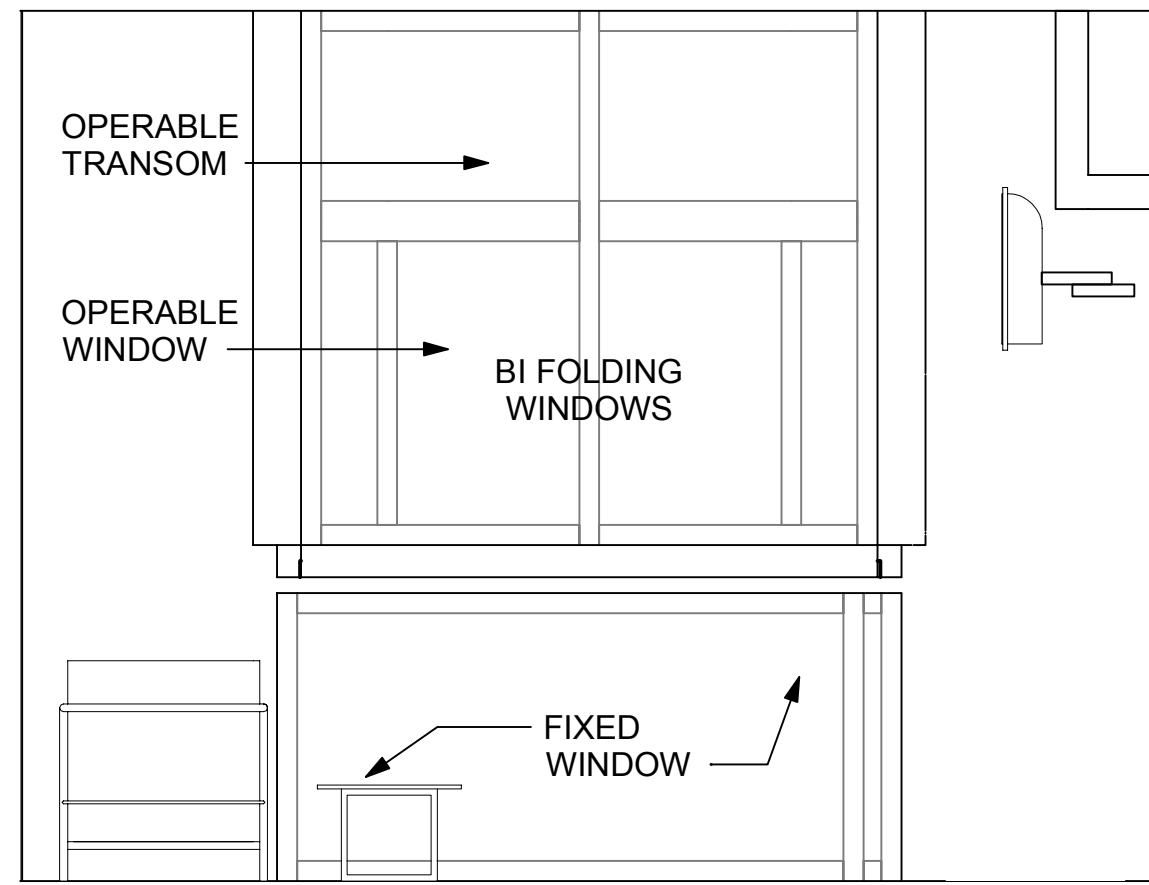
2701 SHATTUCK AVENUE
BERKELEY, CALIFORNIA
FOR:
2701 SHATTUCK BERKELEY, LLC

drawing
BUILDING SECTIONS

| | |
|---------|--------------|
| drawn | |
| checked | RH |
| date | 3/07/18 |
| scale | 1/8" = 1'-0" |
| job no. | 1802 |
| sheet | |

A3.4

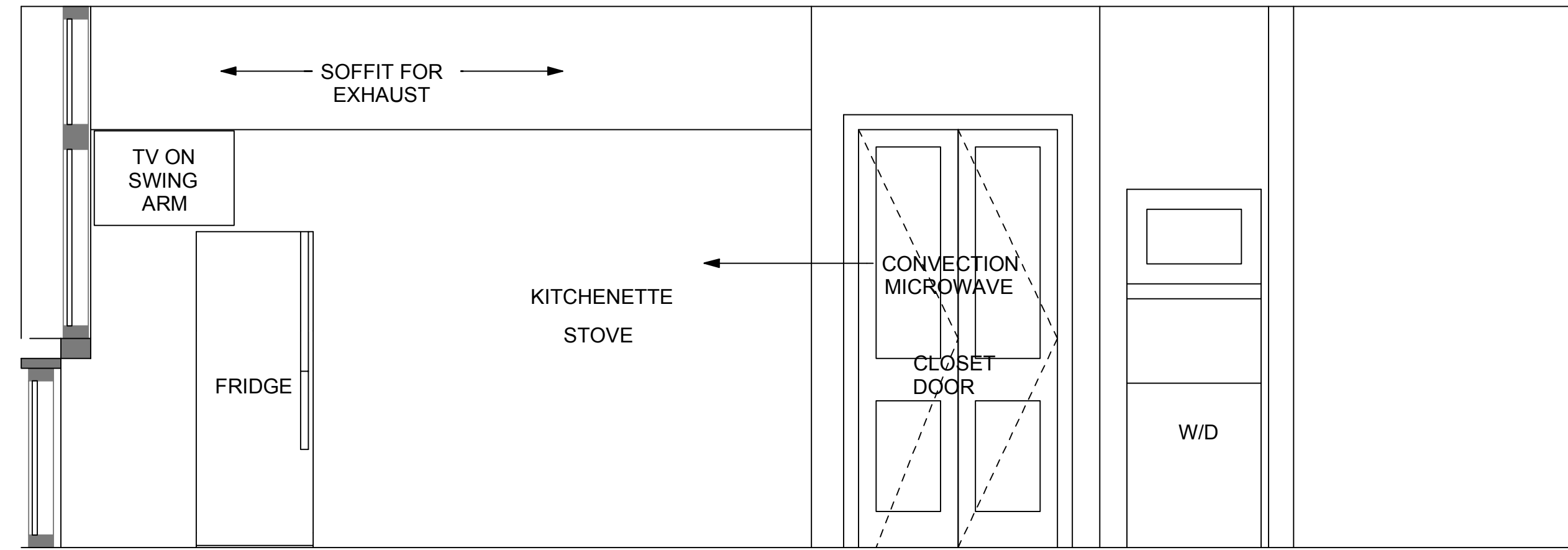




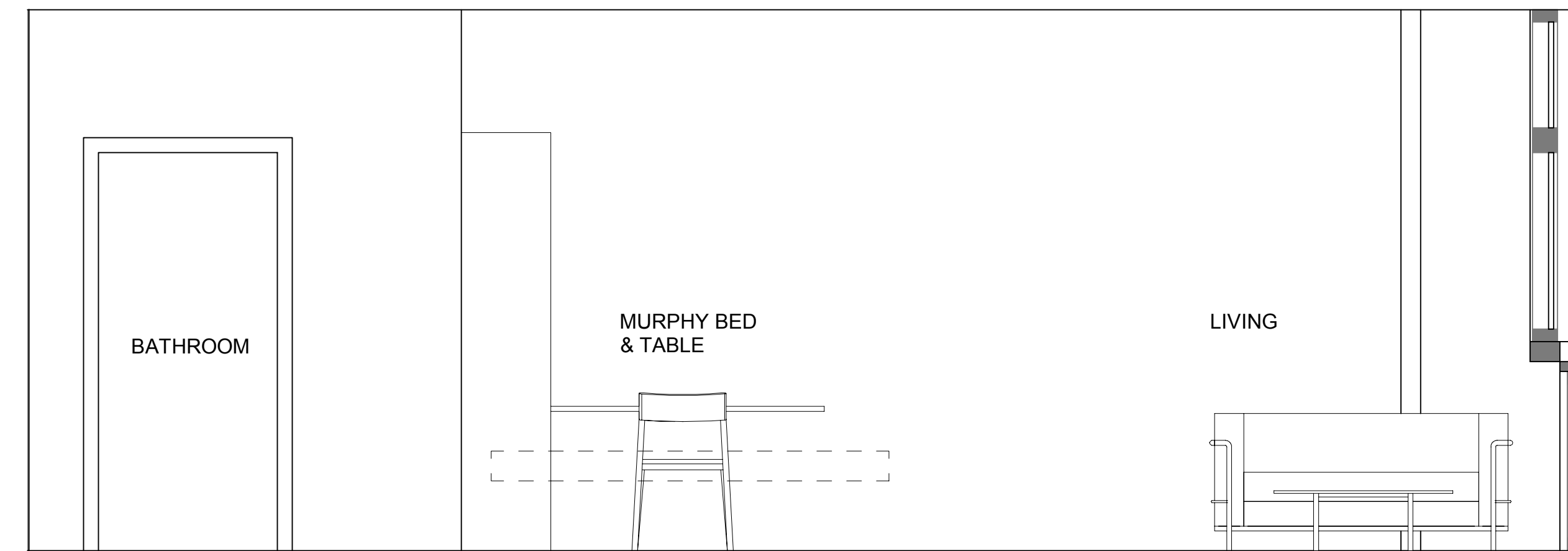
6 WEST ELEVATION OF UNIT A2
1/2" = 1'-0"



5 EAST ELEVATION OF UNIT A2
1/2" = 1'-0"

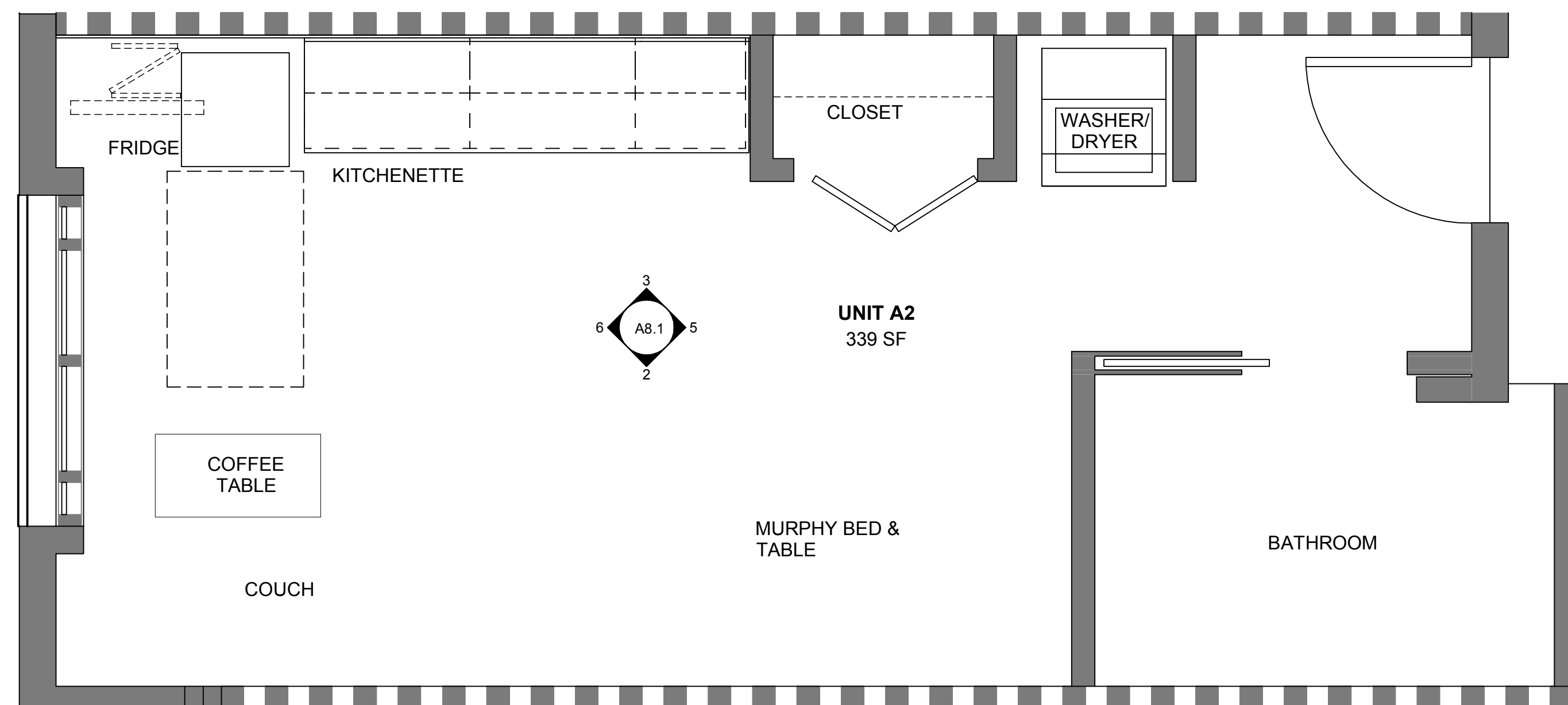


3 NORTH ELEVATION OF UNIT A2
1/2" = 1'-0"



2 SOUTH ELEVATION OF UNIT A2
1/2" = 1'-0"

4 SECTION PERSPECTIVE OF UNIT A2

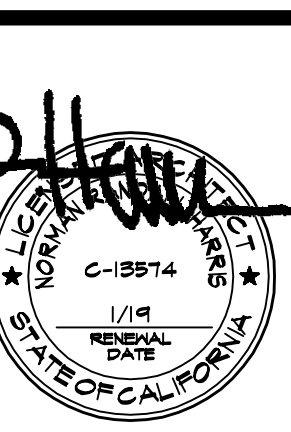


1 UNIT A2 PLAN
1/2" = 1'-0"

| revisions | by |
|-------------------------------------|----|
| DRC SUBMITTAL 12/15/18 & 1/27/17 | - |
| ZAB SUBMITTAL 4/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 11/09/18 | AY |



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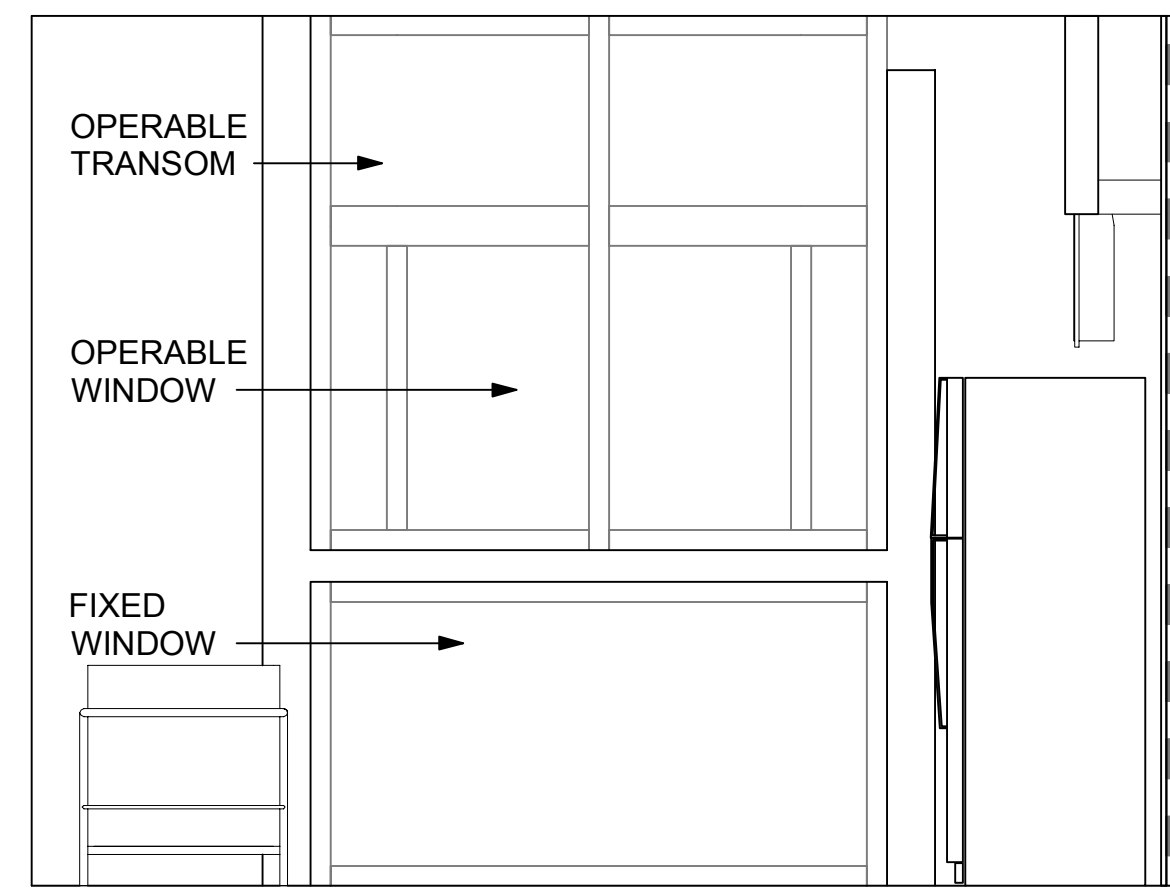


2701 SHATTUCK AVENUE
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2701 SHATTUCK BERKELEY, LLC

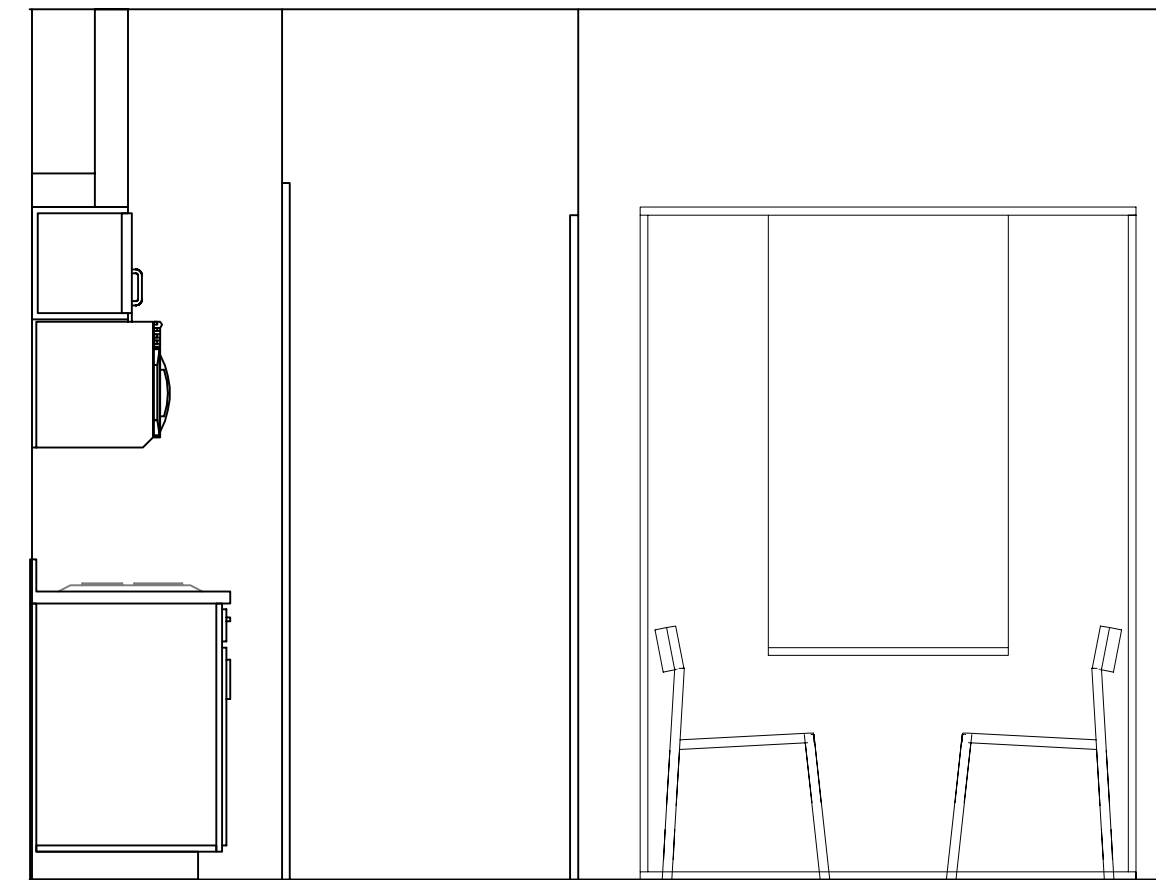
drawn
UNIT A PLANS

| |
|-----------------------|
| checked RH |
| date 3/07/18 |
| scale 1/2" = 1'-0" |
| job no. 1802 |
| sheet |

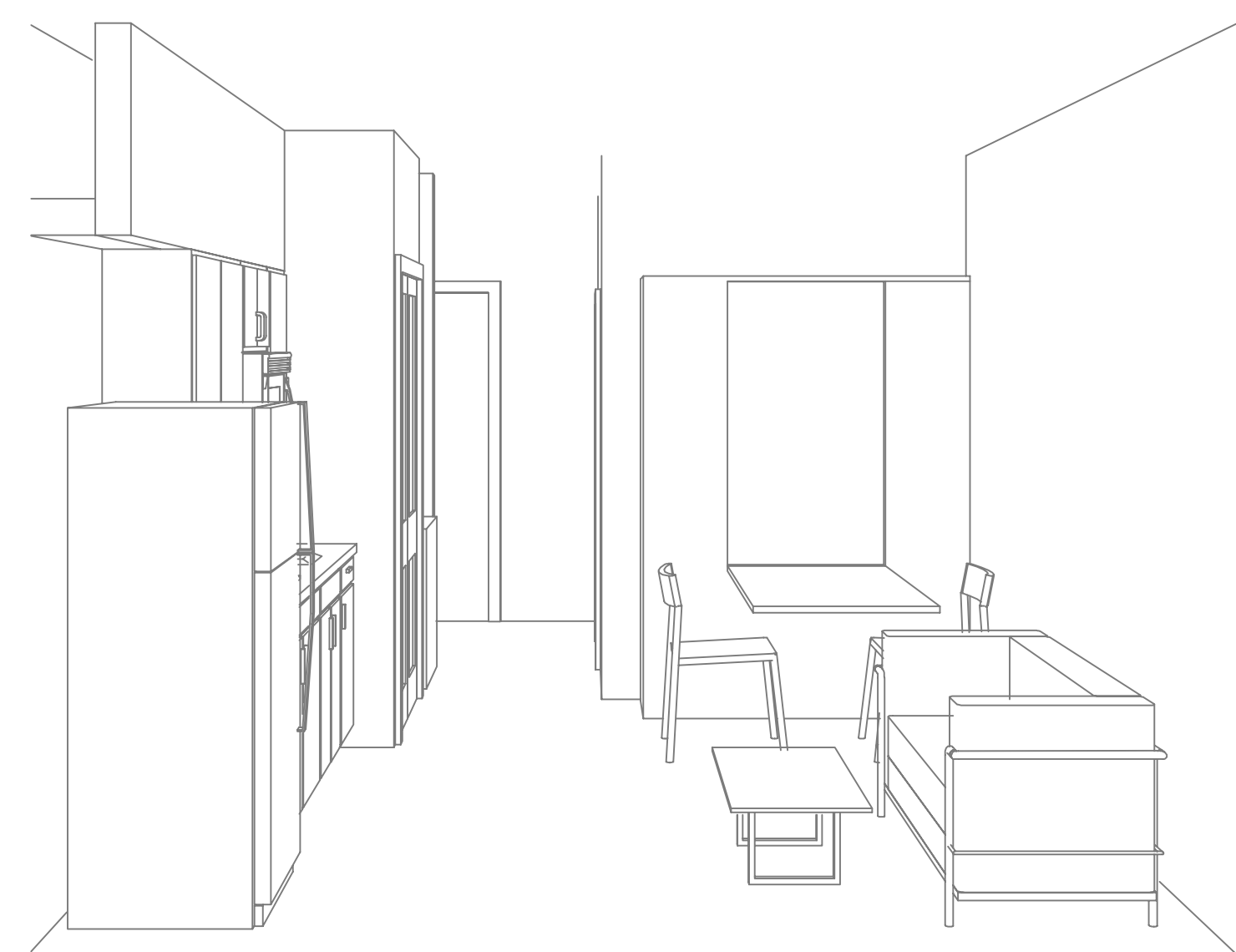
AB.1



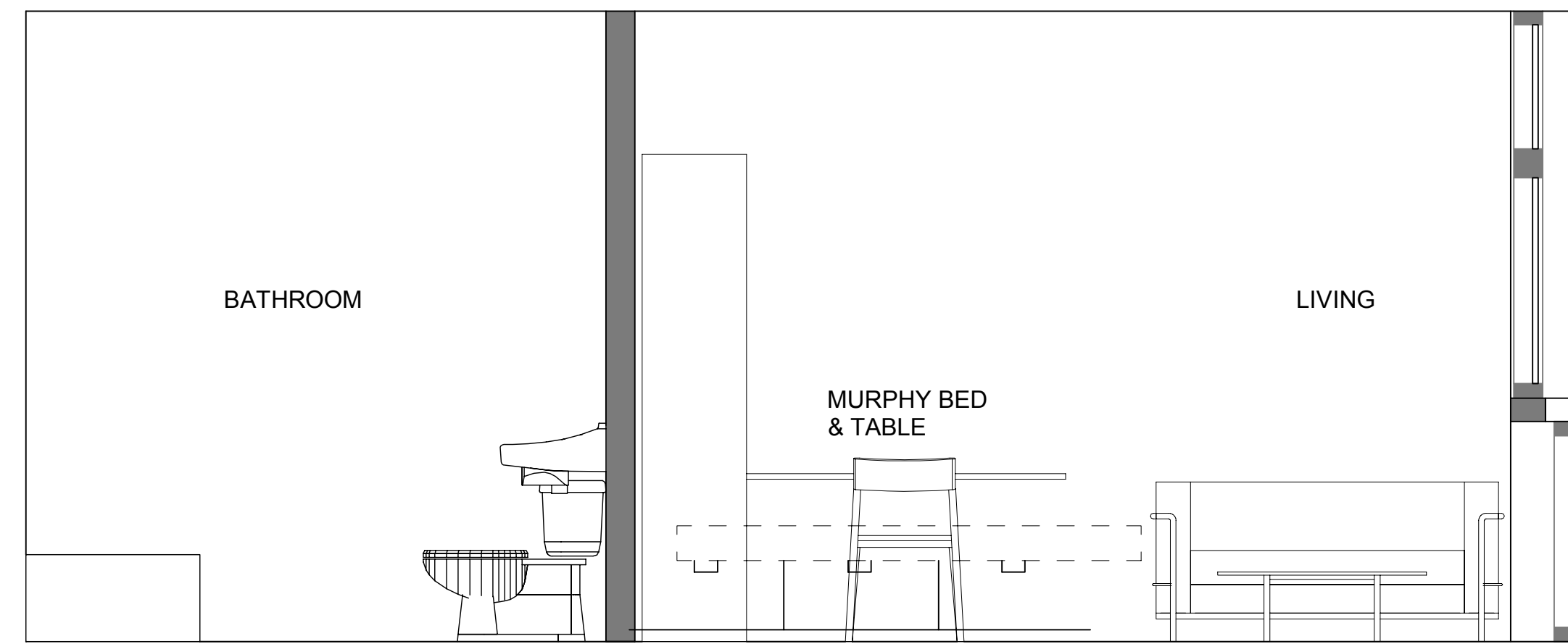
6 EAST ELEVATION OF UNIT B2
1/2" = 1'-0"



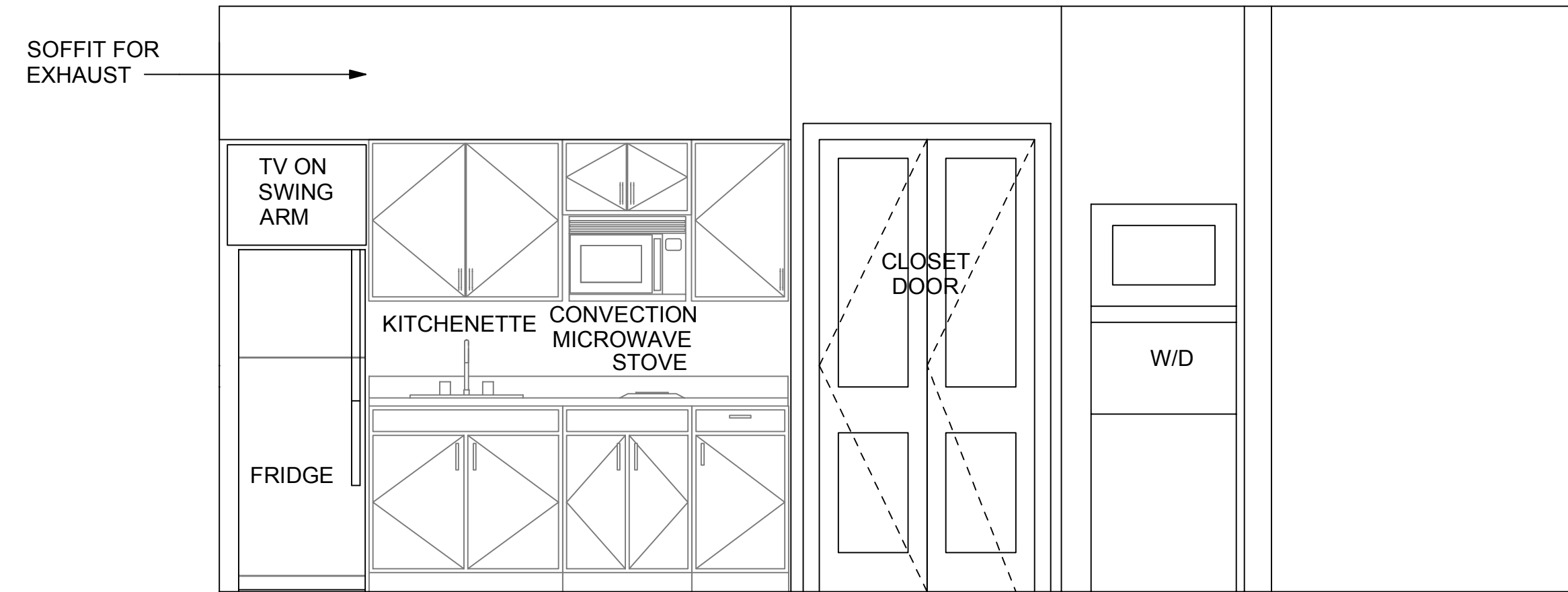
5 WEST ELEVATION OF UNIT B2
1/2" = 1'-0"



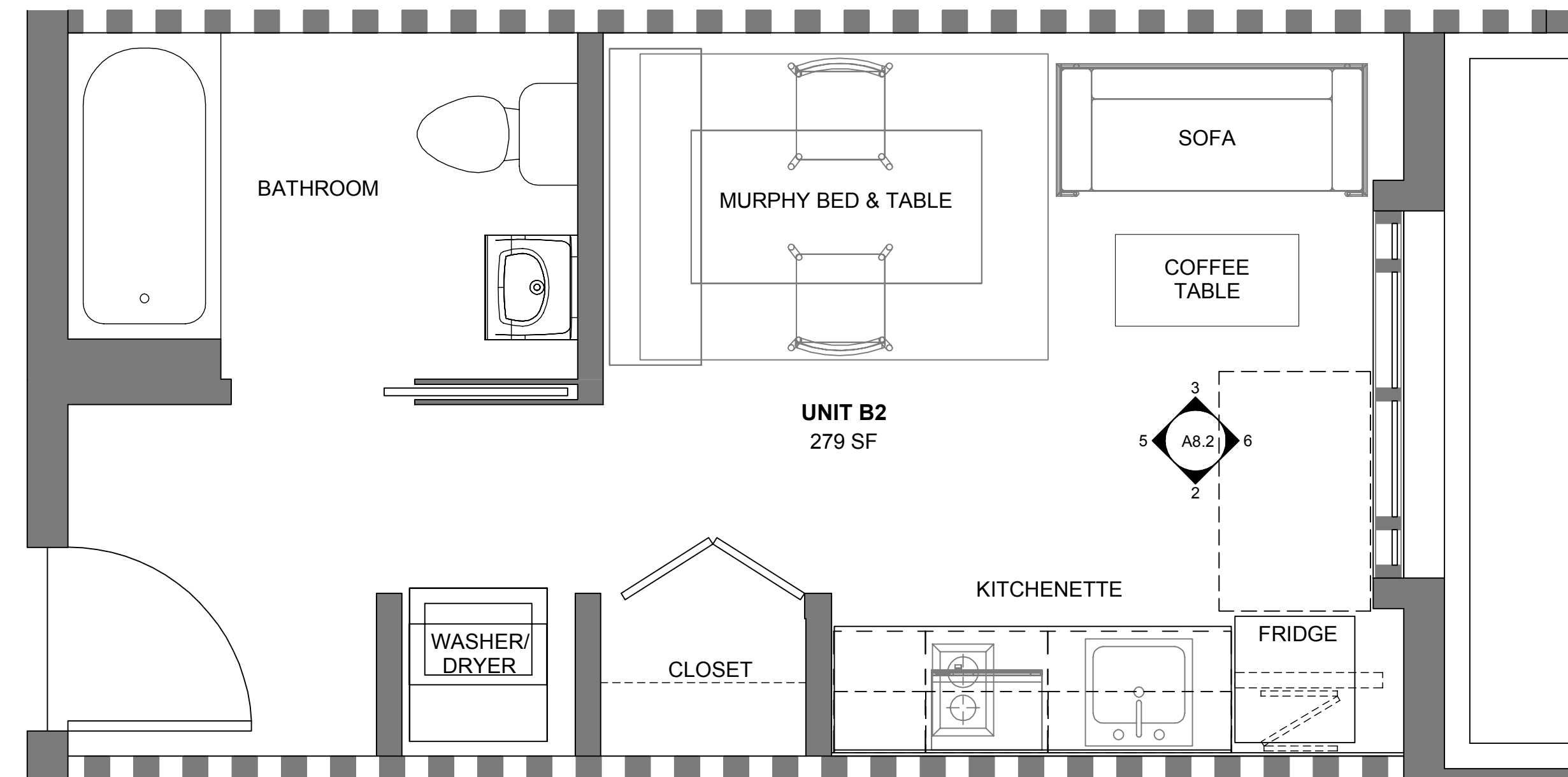
4 SECTION PERSPECTIVE OF UNIT B2



3 NORTH ELEVATION OF UNIT B2
1/2" = 1'-0"



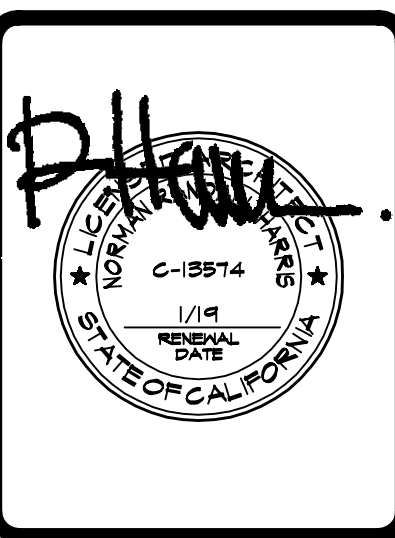
2 SOUTH ELEVATION OF UNIT B2
1/2" = 1'-0"



1 UNIT B2 PLAN
1/2" = 1'-0"

| revisions | by |
|-------------------------------------|----|
| DRG SUBMITTAL 12/15/16 & 1/27/17 | - |
| ZAB SUBMITTAL 4/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRG SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 1/09/18 | AY |

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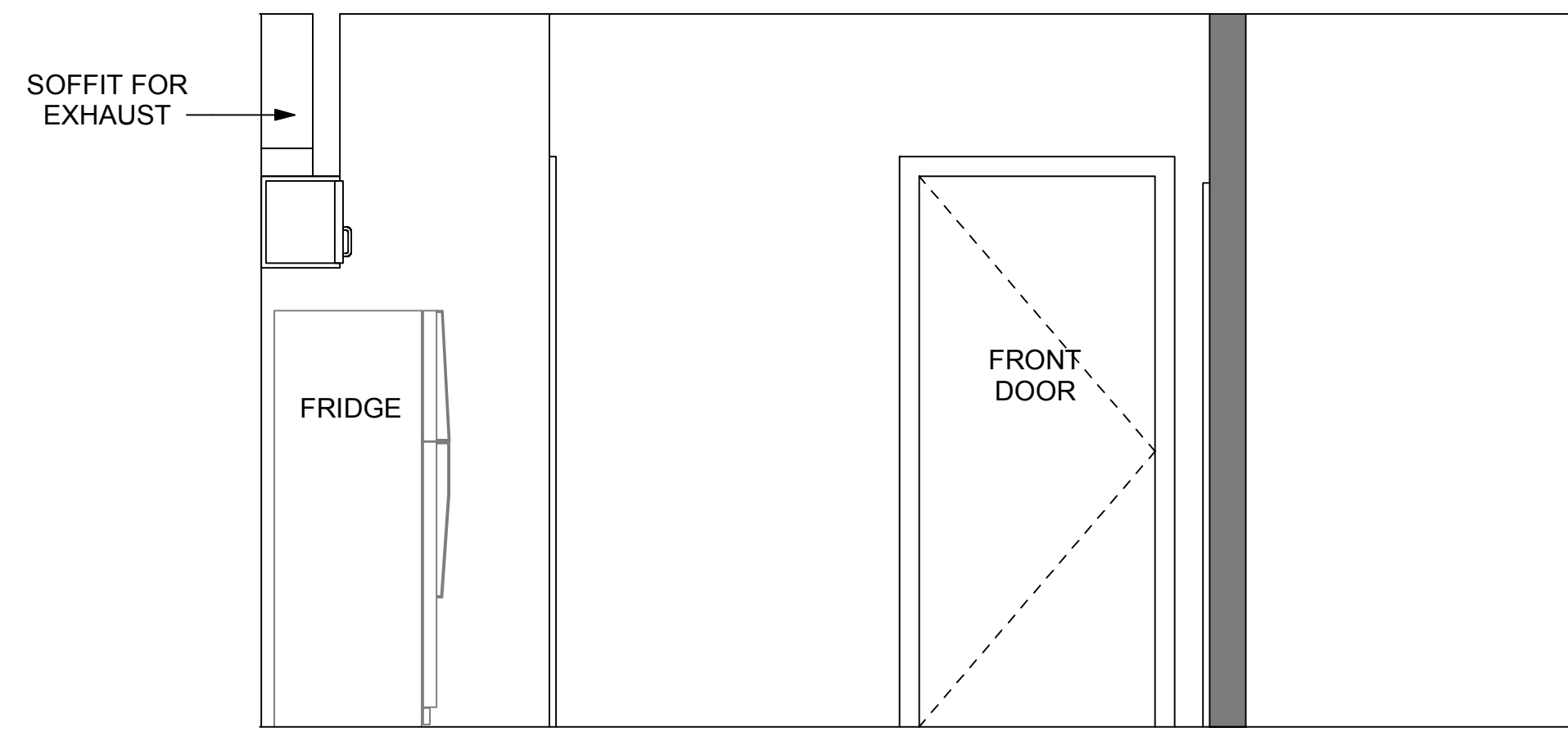


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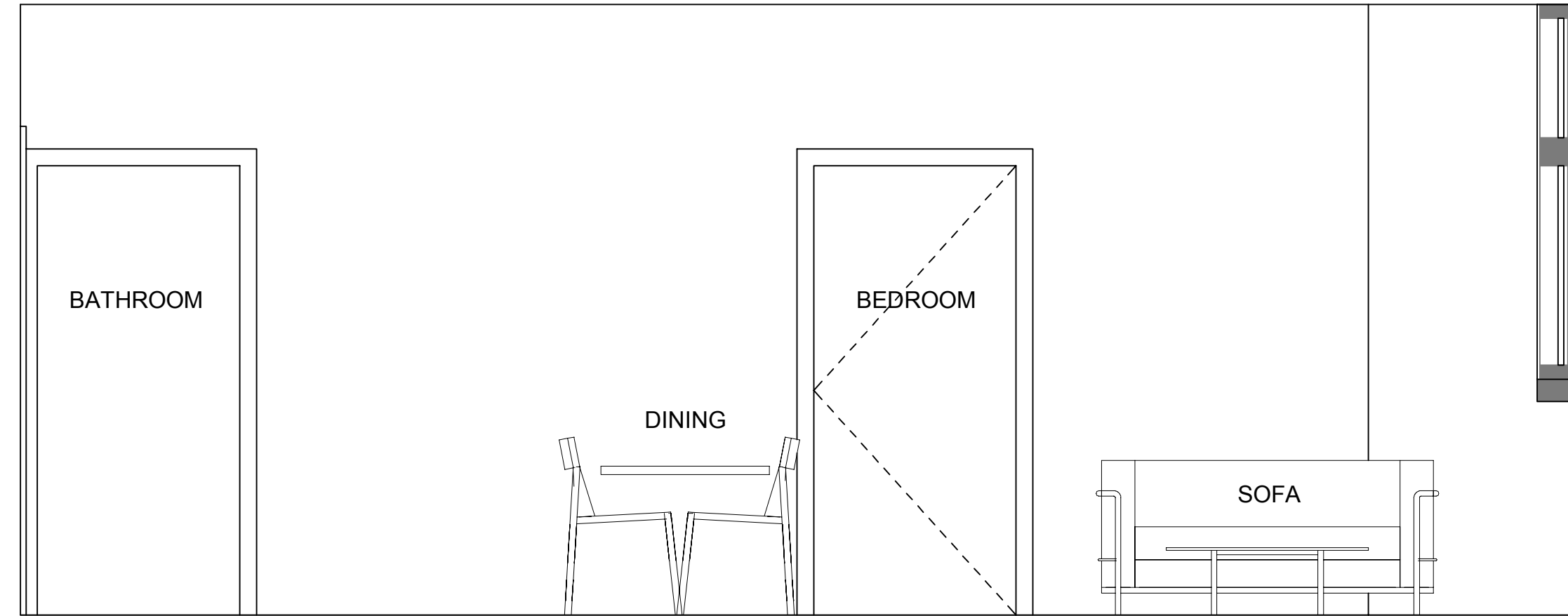
drawing
UNIT B PLANS

drawn
checked
RH
date
3/07/18
scale
1/2" = 1'-0"
job no.
1802
sheet

A8.2



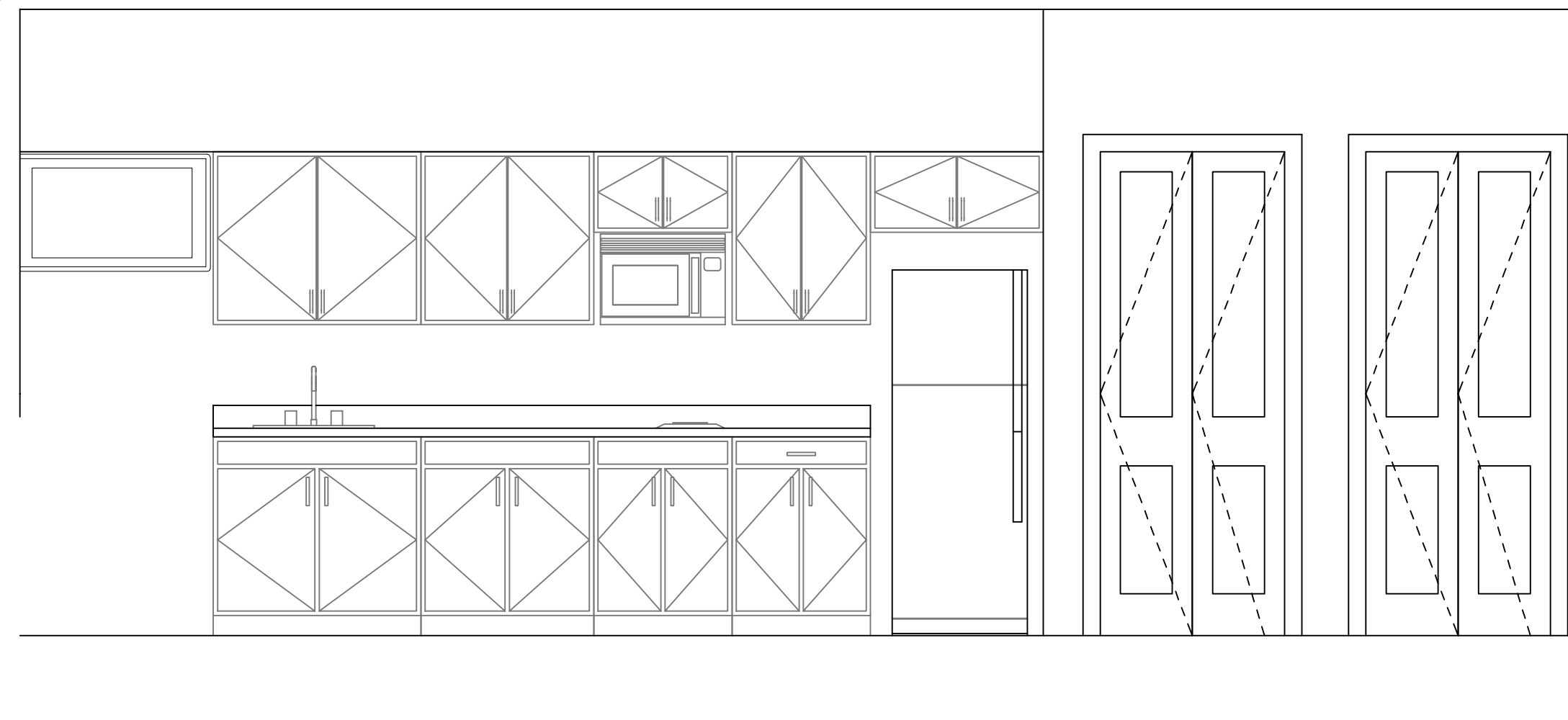
6 EAST ELEVATION OF UNIT C
1/2" = 1'-0"



5 SOUTH ELEVATION OF UNIT C
1/2" = 1'-0"



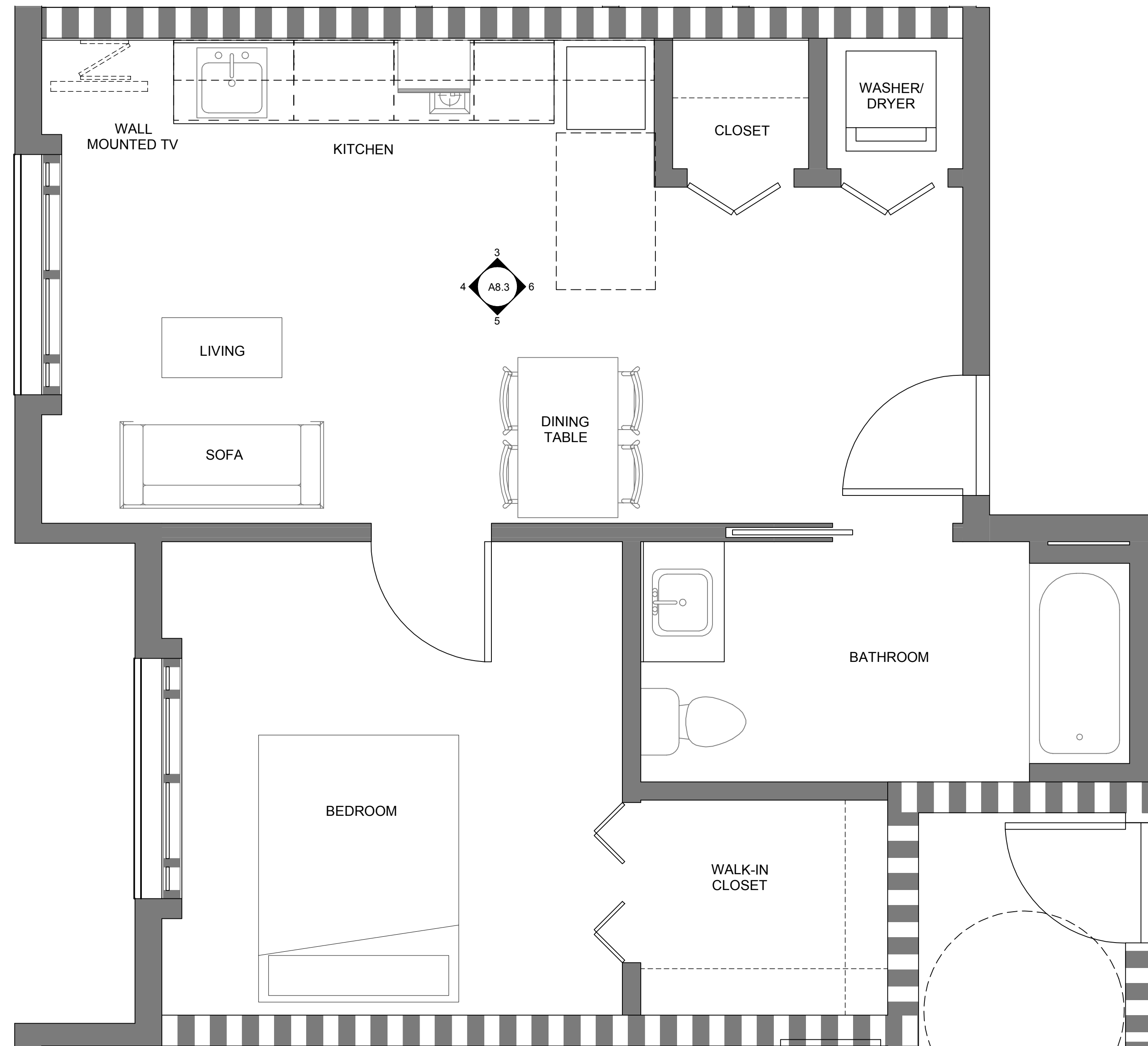
4 WEST ELEVATION OF UNIT C
1/2" = 1'-0"



3 NORTH ELEVATION OF UNIT C
1/2" = 1'-0"



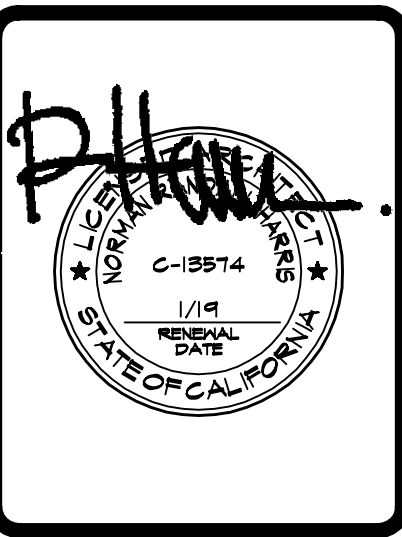
2 SECTIONAL PERSPECTIVE OF UNIT C



1 UNIT C PLAN
1/2" = 1'-0"

| revisions | by |
|--------------------|----|
| DRC SUBMITTAL | - |
| 12/15/18 & 1/27/17 | - |
| ZAB SUBMITTAL | - |
| 4/12/17 & 1/03/18 | AY |
| ZAB SUBMITTAL | AY |
| 3/07/18 | AY |
| ZAB SUBMITTAL | AY |
| 6/28/18 | AY |
| DRC SUBMITTAL | AY |
| 9/20/18 | AY |
| ZAB SUBMITTAL | AY |
| 1/08/18 | AY |

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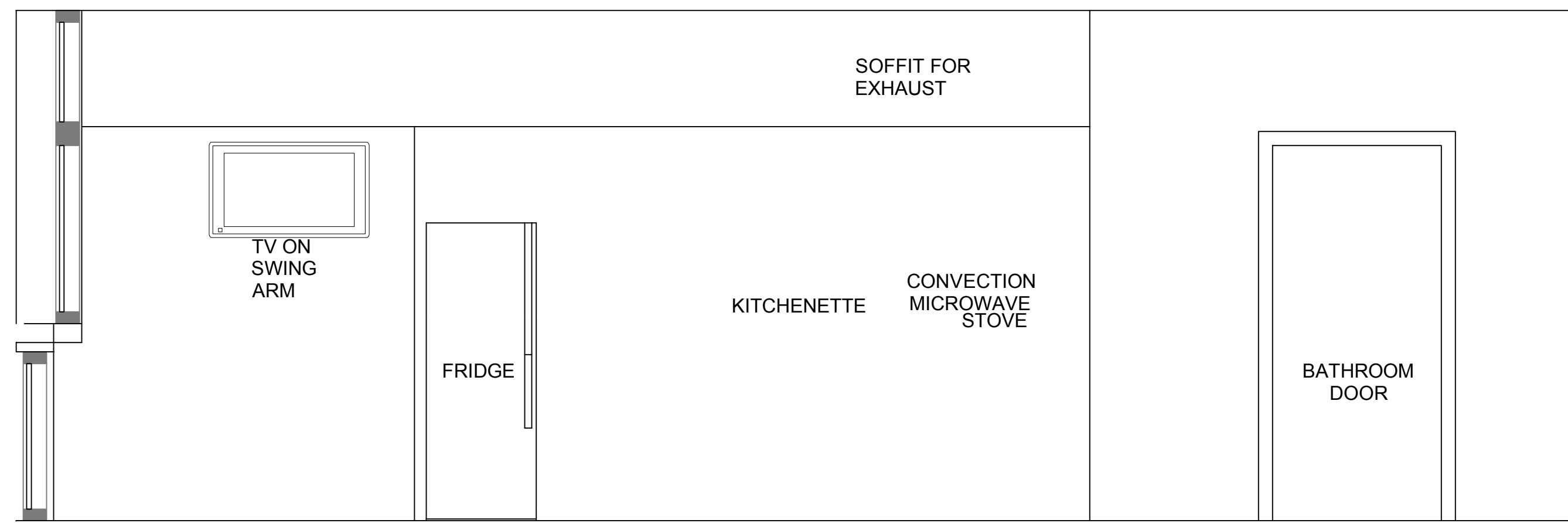


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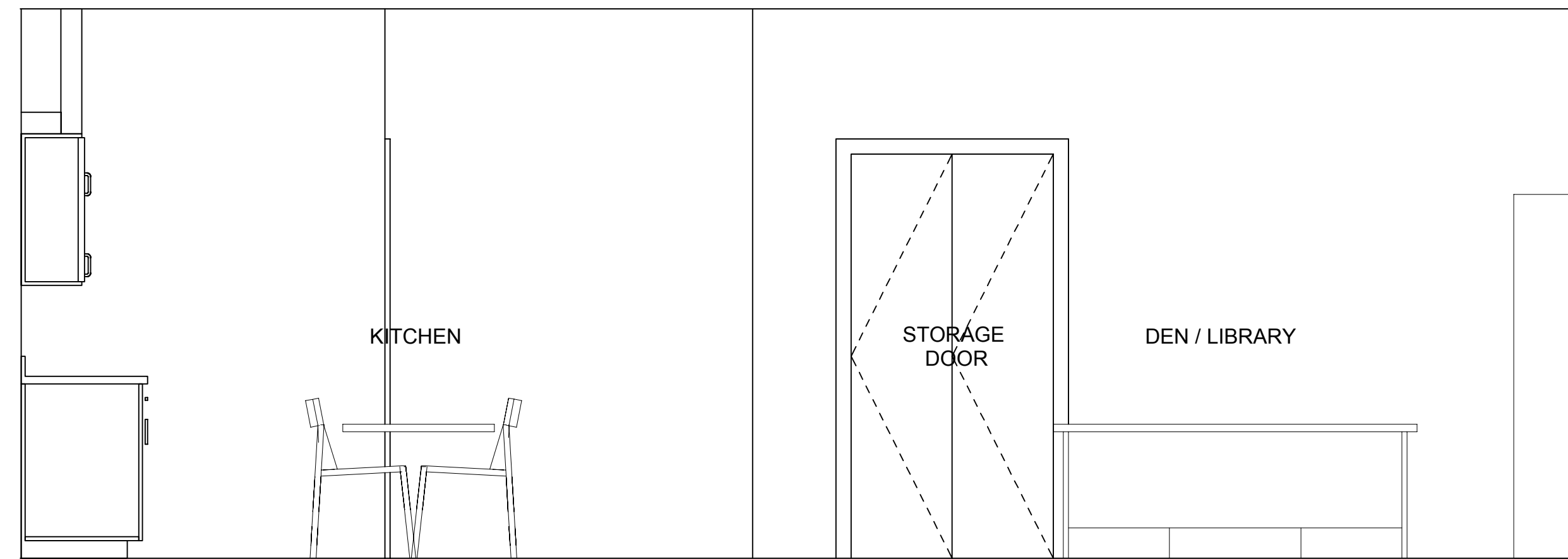
drawing
UNIT C PLANS

| | |
|---------|--------------|
| drawn | |
| checked | RH |
| date | 3/07/18 |
| scale | 1/2" = 1'-0" |
| job no. | 1802 |
| sheet | |

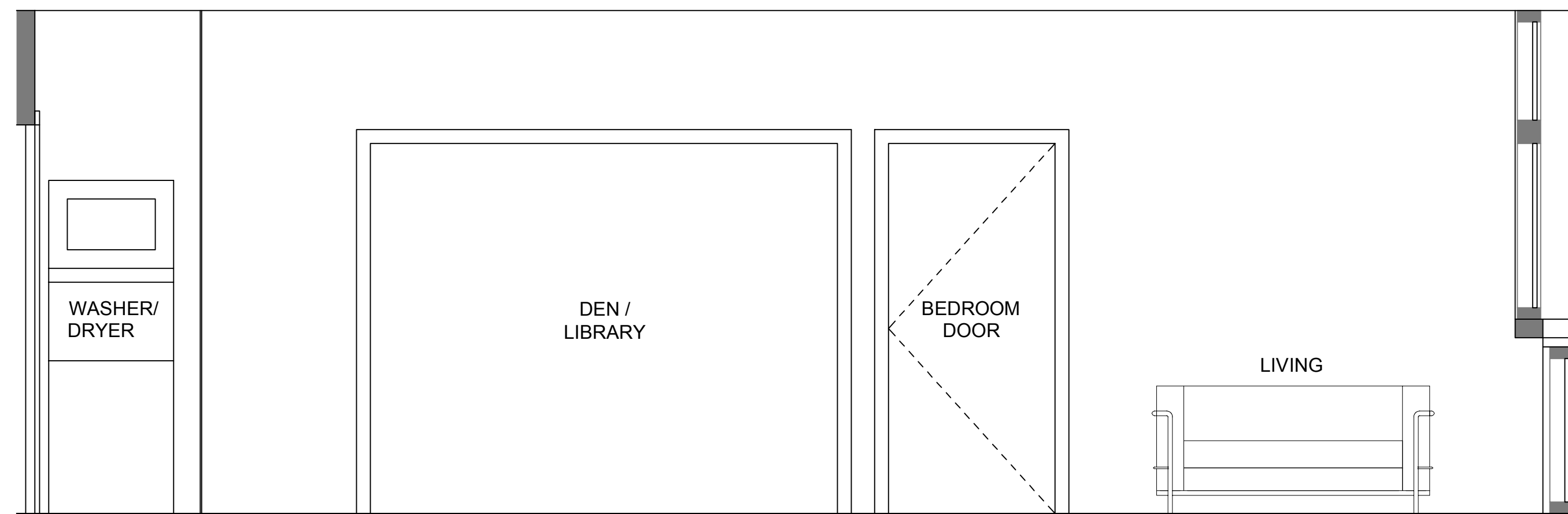
A8.3



6 NORTH ELEVATION OF UNIT D
1/2" = 1'-0"



5 EAST ELEVATION OF UNIT D
1/2" = 1'-0"



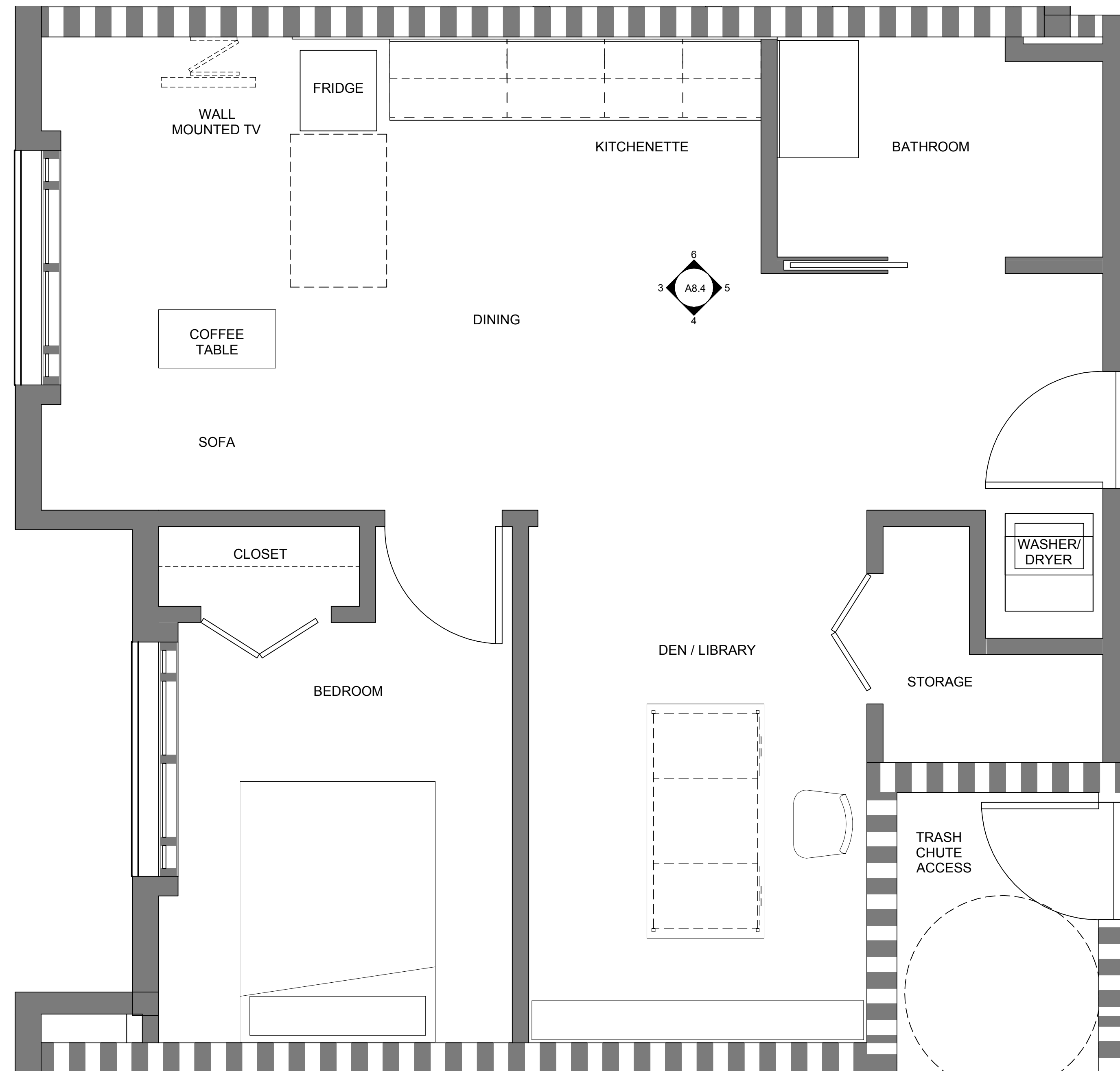
4 SOUTH ELEVATION OF UNIT D
1/2" = 1'-0"



3 WEST ELEVATION OF UNIT D
1/2" = 1'-0"



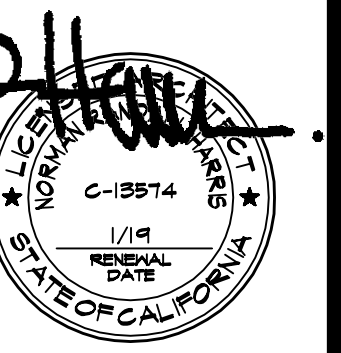
2 SECTIONAL PERSPECTIVE OF UNIT D



1 UNIT D PLAN
1/2" = 1'-0"

| revisions | by |
|-------------------------------------|----|
| DRC SUBMITTAL 12/15/18 & 1/27/17 | - |
| ZAB SUBMITTAL 4/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 1/09/18 | AY |

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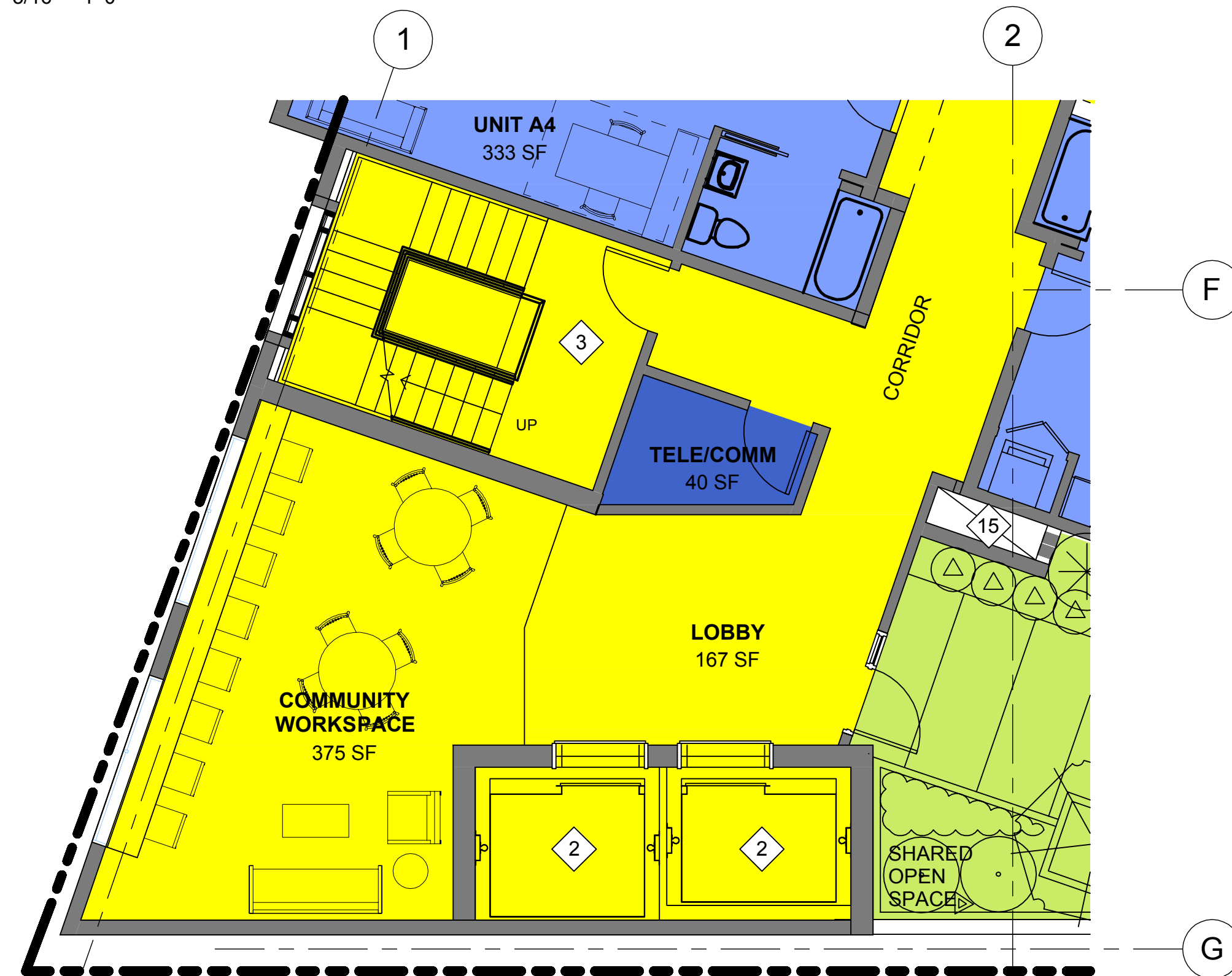
drawing
UNIT D PLANS

| | |
|---------|--------------|
| drawn | |
| checked | RH |
| date | 3/07/18 |
| scale | 1/2" = 1'-0" |
| job no. | 1802 |
| sheet | |

A8.4



1 LOBBY - GROUND FLOOR PLAN
3/16" = 1'-0"



2 PODIUM LEVEL PLAN
3/16" = 1'-0"

KEY NOTES

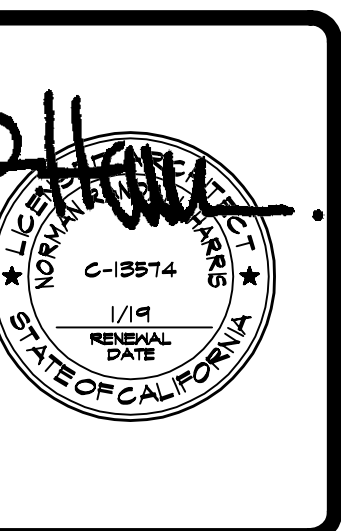
- 1 TRIPLE LIFT PARKING SPACE
- 2 ELEVATOR
- 3 STAIR
- 4 6'-0" HIGH ORNAMENTAL METAL FENCE
- 4.1 PERFORATED METAL SECURITY FENCE W GATE
- 5 RESIDENTIAL ENTRY
- 6 CAFE ENTRY
- 7 GARAGE DOOR WITH VISUAL AND AND AUDIBLE ALERT SYSTEM MOUNTED ABOVE DOOR. SOUND AND LIGHT CONTROLS IN GARAGE.
- 8 NEW TREE, SEE LANDSCAPE DRAWINGS
- 9 PLANTER, SEE LANDSCAPE DRAWINGS
- 10 HEAVY DUTY DERO HOOP BICYCLE RACKS
- 11 (E) AC TRANSIT BUS STOP WITH BENCH
- 12 OUTDOOR SEATING AREA, SEE LANDSCAPE DRAWINGS
- 13 EXTERIOR STAIR
- 14 PARAPET/RAILING
- 15 MECHANICAL CHASE
- 16 BARBEQUE
- 17 NOT USED
- 18 FIRE ACCESS STAIR
- 19 METAL ROOF / MATCH SIDING SEE ELEVATIONS
- 20 TRASH CHUTE

LEGEND

- COMMERCIAL
- PARKING
- RESIDENTIAL
- UTILITY
- OPEN SPACE
- LANDSCAPING
- CIRCULATION
- WALL
- PROPERTY LINE

| revisions | by |
|-------------------------------------|----|
| DRC SUBMITTAL 12/15/16 & 1/27/17 | - |
| ZAB SUBMITTAL 4/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 11/09/18 | AY |

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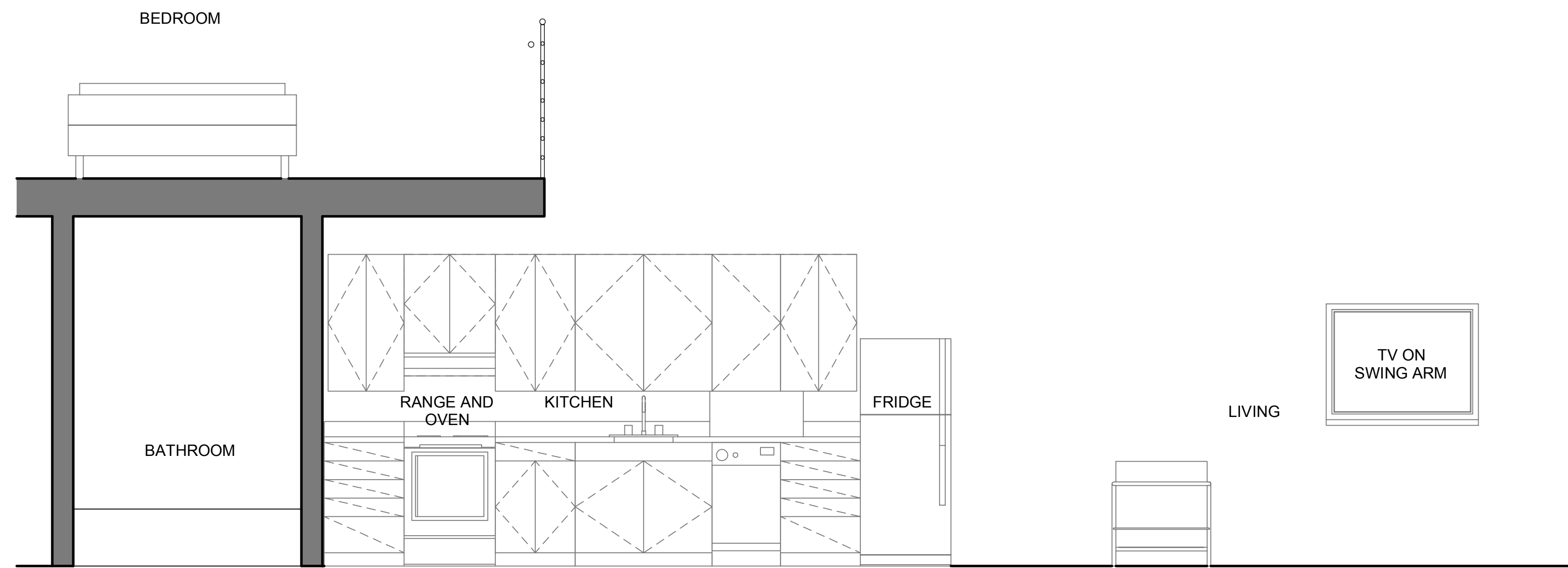


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FOR:
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drawing
**ENLARGED
LOBBY
PLANS**

drawn
checked
RH
date
3/07/18
scale
3/16" = 1'-0"
job no.
1802
sheet

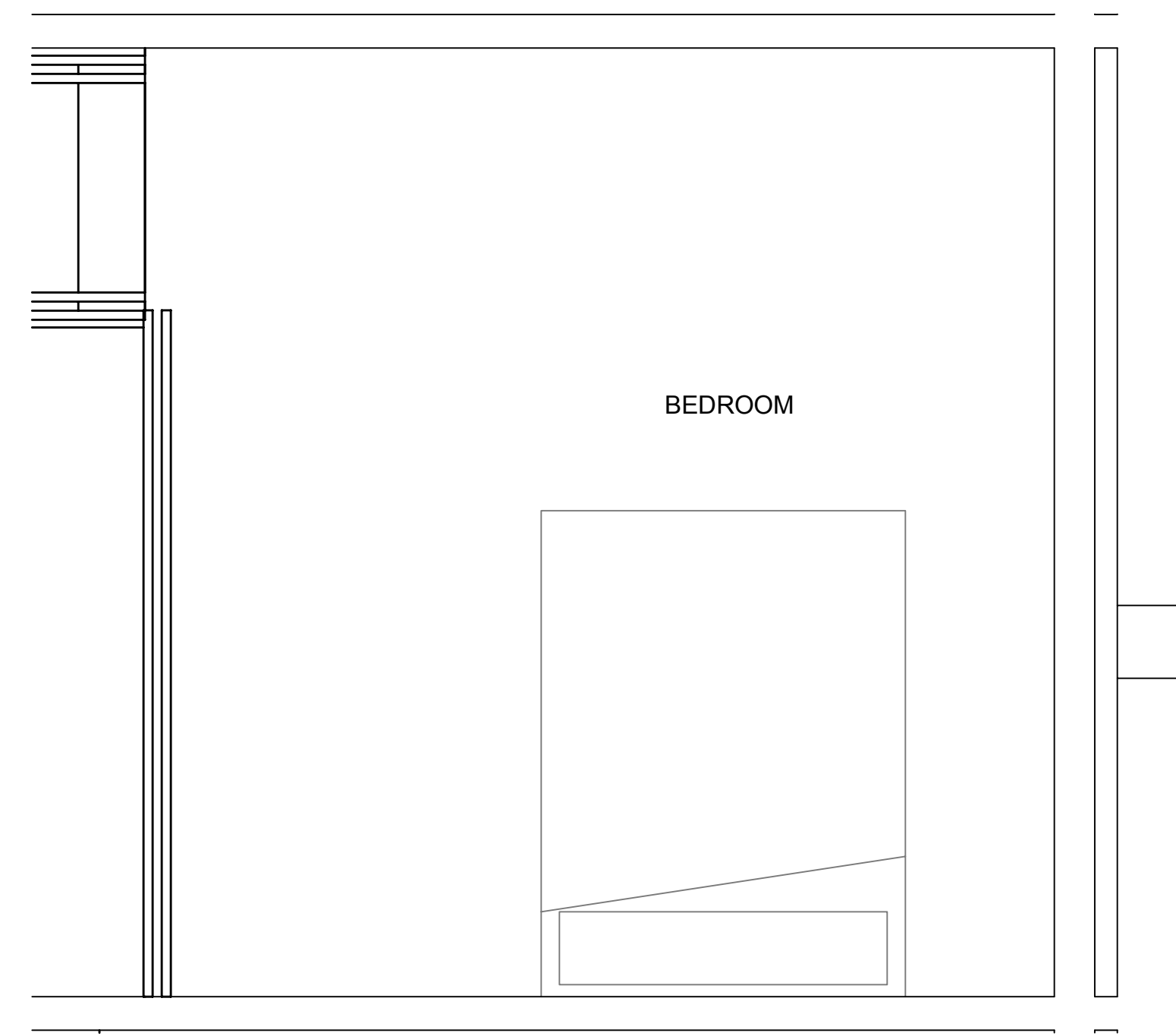
A8.5



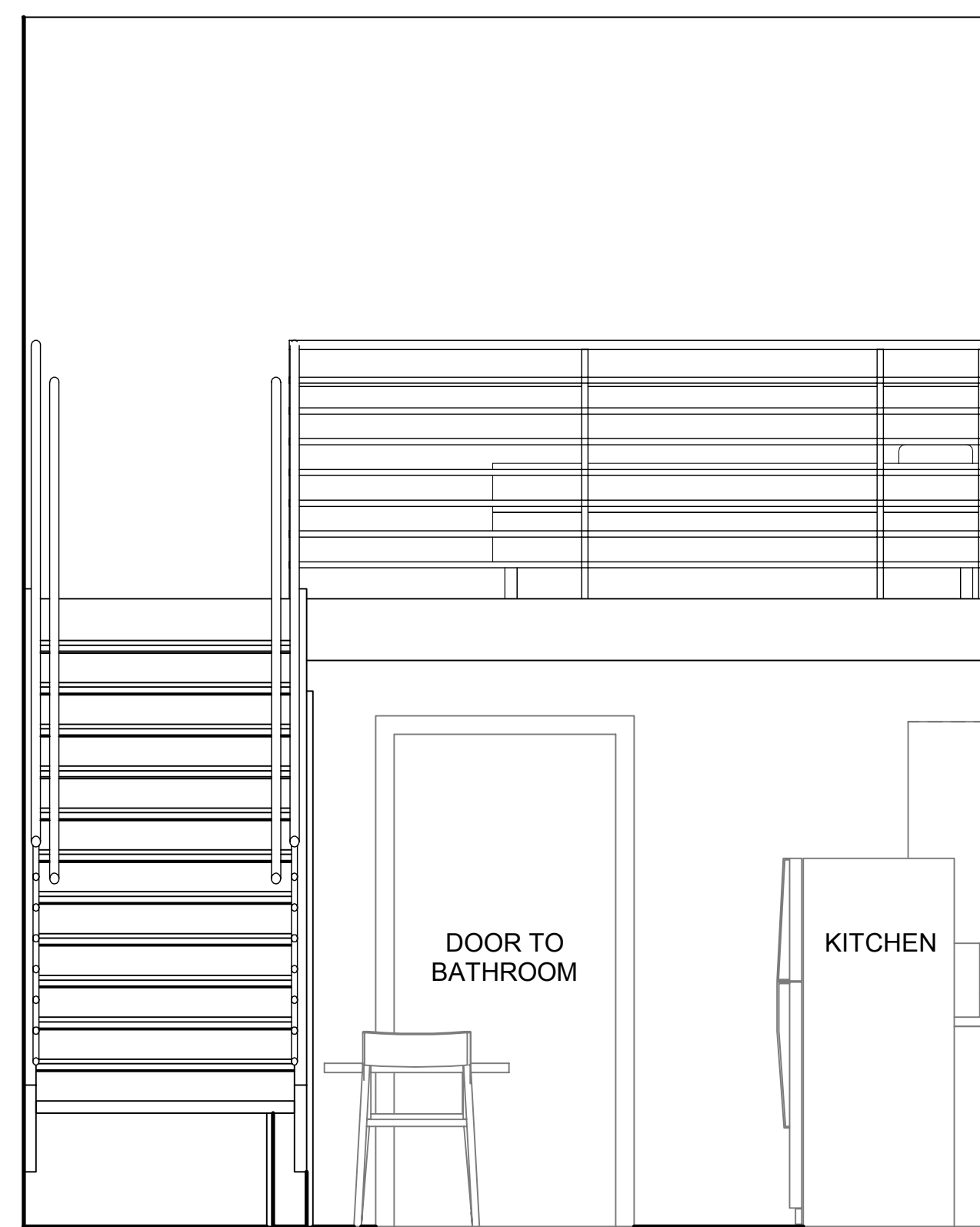
5 SOUTH ELEVATION OF TOWNHOUSE
1/2" = 1'-0"



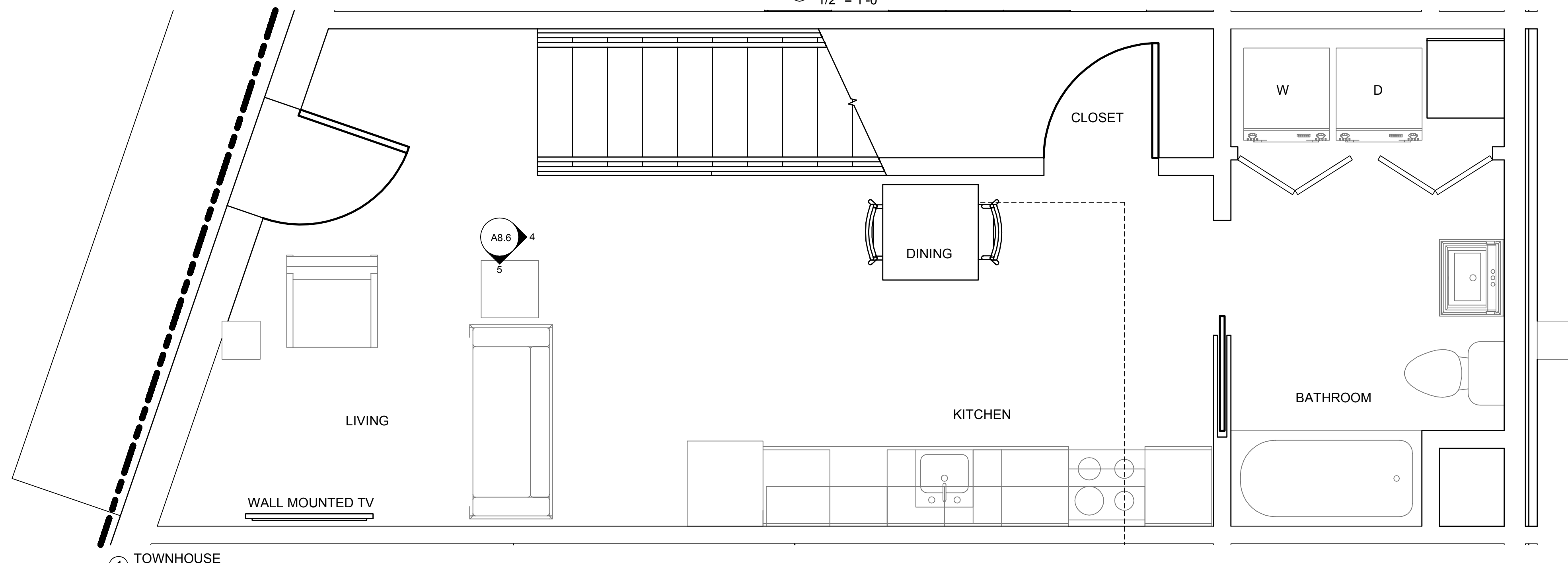
3 SECTION PERSPECTIVE OF TOWNHOUSE



2 TOWN HOUSE MEZZANINE
1/2" = 1'-0"



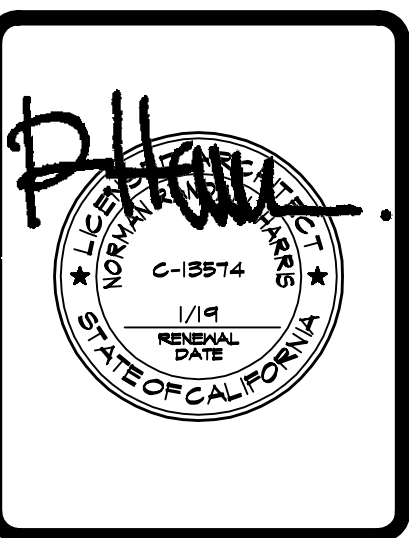
4 WEST ELEVATION OF TOWNHOUSE
1/2" = 1'-0"



1 TOWNHOUSE
1/2" = 1'-0"

| revisions | by |
|-------------------------------------|----|
| DRC SUBMITTAL 12/15/16 & 1/27/17 | - |
| ZAB SUBMITTAL 4/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 1/09/18 | AY |

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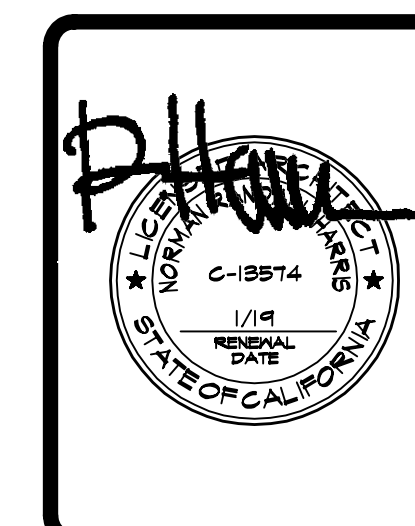
drawing
TOWNHOUSE
PLANS

drawn
checked
RH
date
3/07/18
scale
1/2" = 1'-0"
job no.
1802
sheet

A8.6

| revisions | by |
|-------------------------------------|----|
| DRC SUBMITTAL 12/15/16 & 1/27/17 | - |
| ZAB SUBMITTAL 4/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 1/09/18 | AY |

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3D VIEW LOOKING NORTH FROM
STORAGE BUILDING

drawing
3D VIEWS

drawn
checked
RH
date
3/07/18
scale
NO SCALE
job no.
1802
sheet

AP.1



3D VIEW LOOKING WEST ON DERBY STREET



3D VIEW FROM WALKER STREET



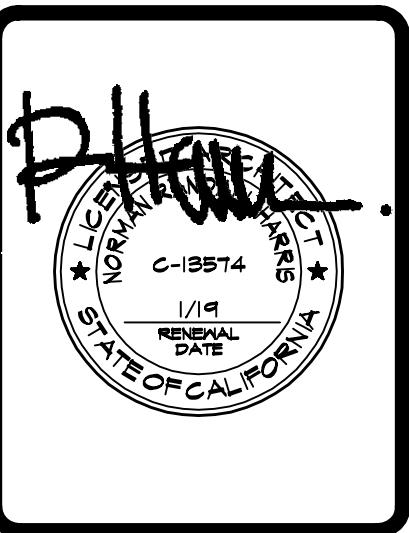
3D VIEW OF DERBY STREET EXIT



3D VIEW OF DERBY FACADE

| revisions | by |
|-------------------------------------|----|
| DRC SUBMITTAL 12/15/18 & 1/27/17 | - |
| ZAB SUBMITTAL 4/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 4/20/18 | AY |
| ZAB SUBMITTAL 1/09/18 | AY |

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drawn
3D VIEWS

| |
|-------------------|
| checked RH |
| date 3/07/18 |
| scale NO SCALE |
| job no. 1802 |
| sheet |

A9.2



BIRD'S EYE VIEW OF NORTHWEST CORNER



BIRD'S EYE VIEW OF SOUTHWEST CORNER



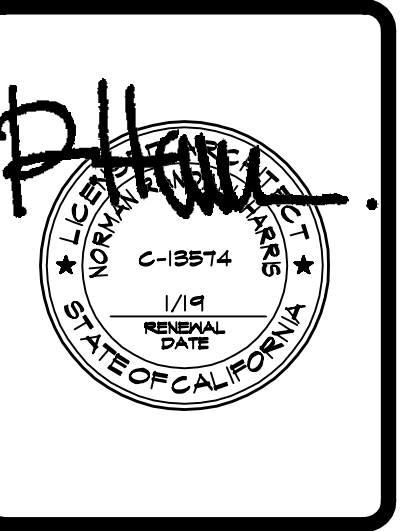
BIRD'S EYE VIEW OF NORTHEAST CORNER



BIRD'S EYE VIEW OF SOUTHEAST CORNER

| revisions | by |
|-------------------------------------|----|
| DRC SUBMITTAL 12/15/16 & 1/27/17 | - |
| ZAB SUBMITTAL 4/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 1/09/19 | AY |

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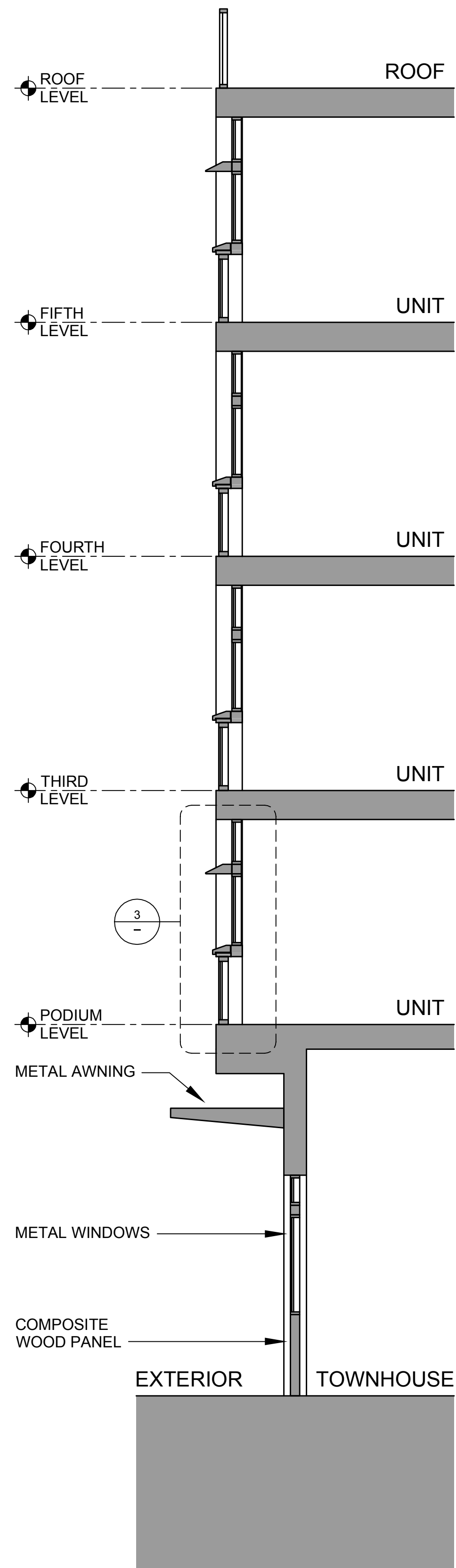


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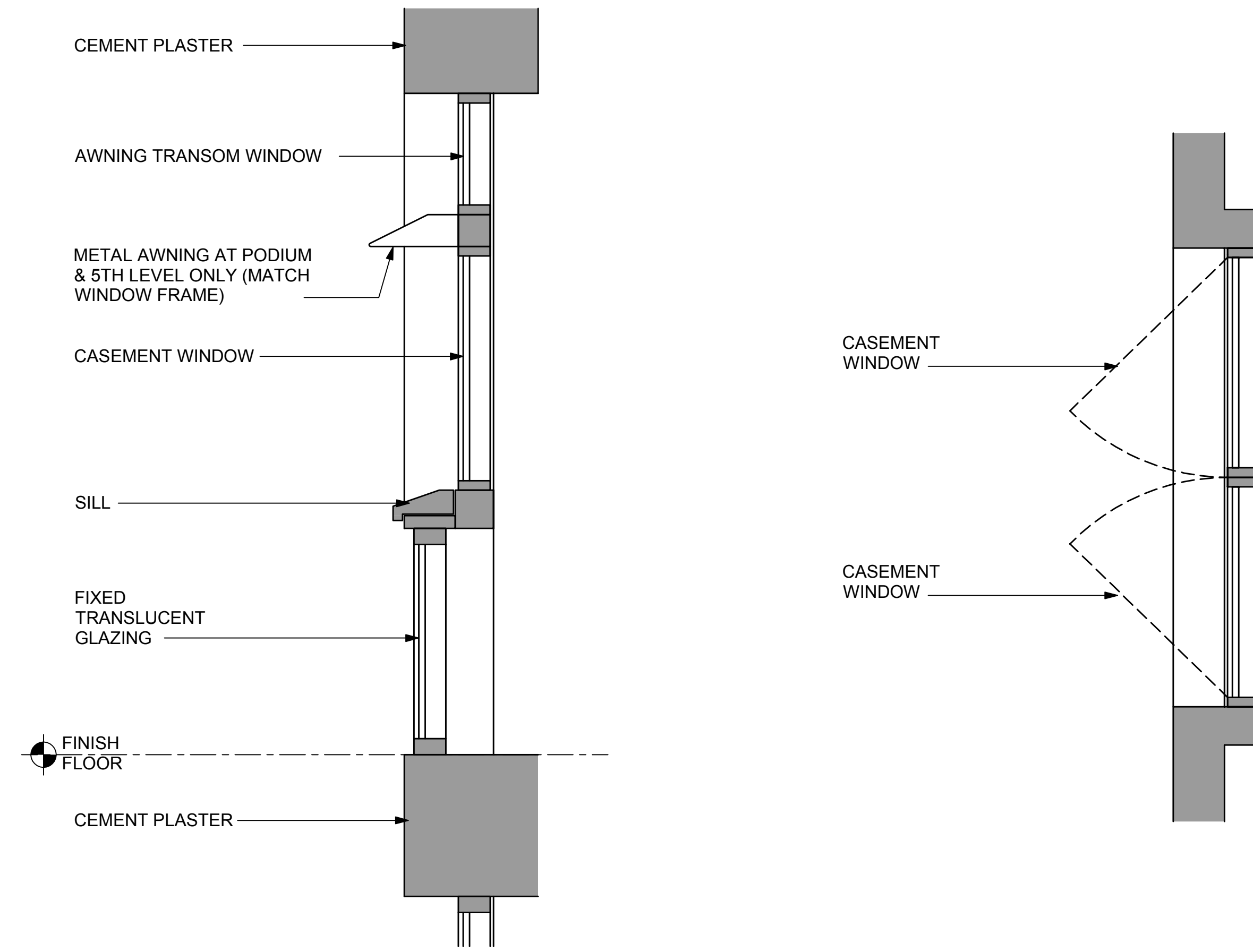
drawing
3D VIEWS

drawn
checked
RH
date
3/07/18
scale
NO SCALE
job no.
1802
sheet

A9.4

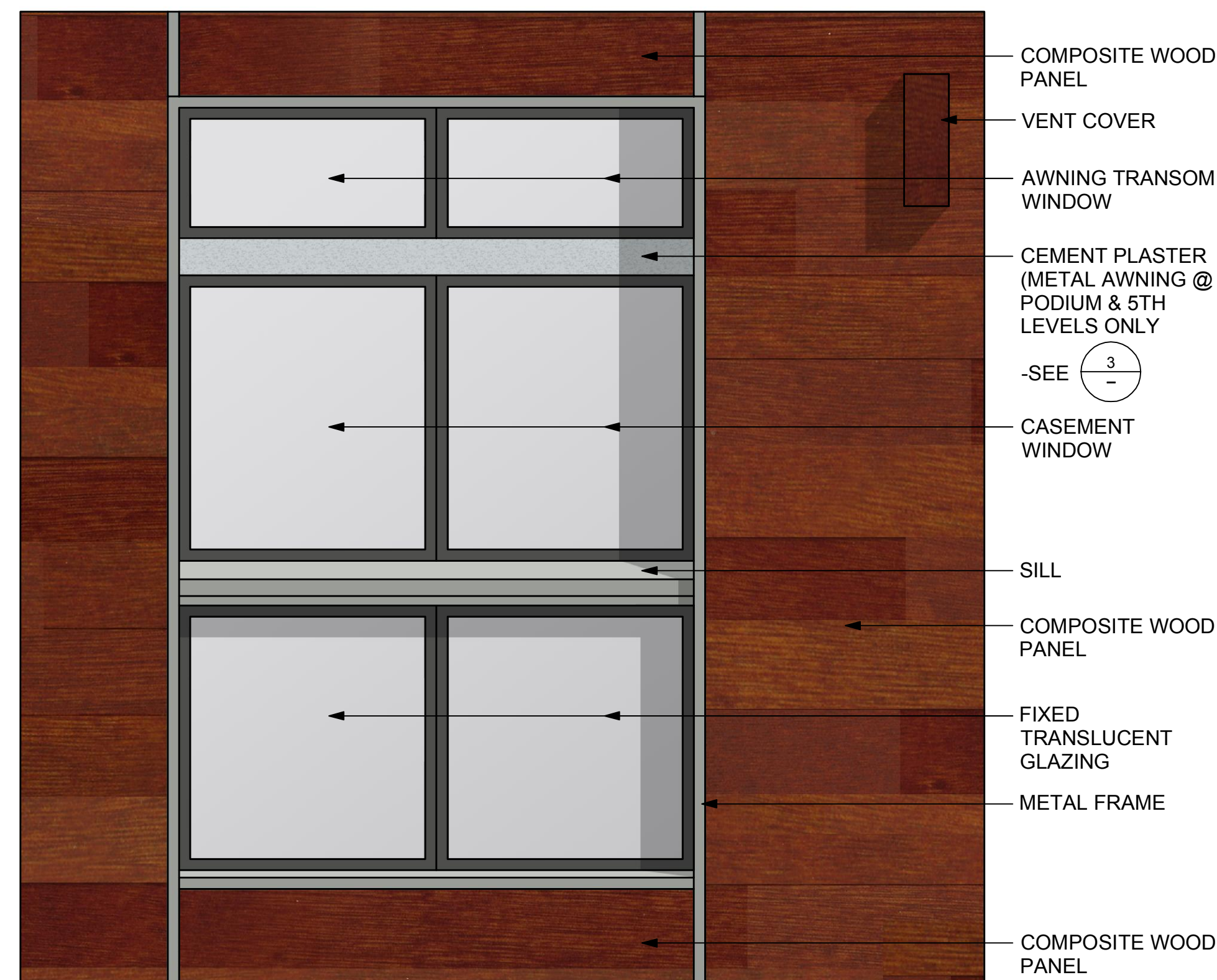


4 WALL SECTION
1/4" = 1'-0"

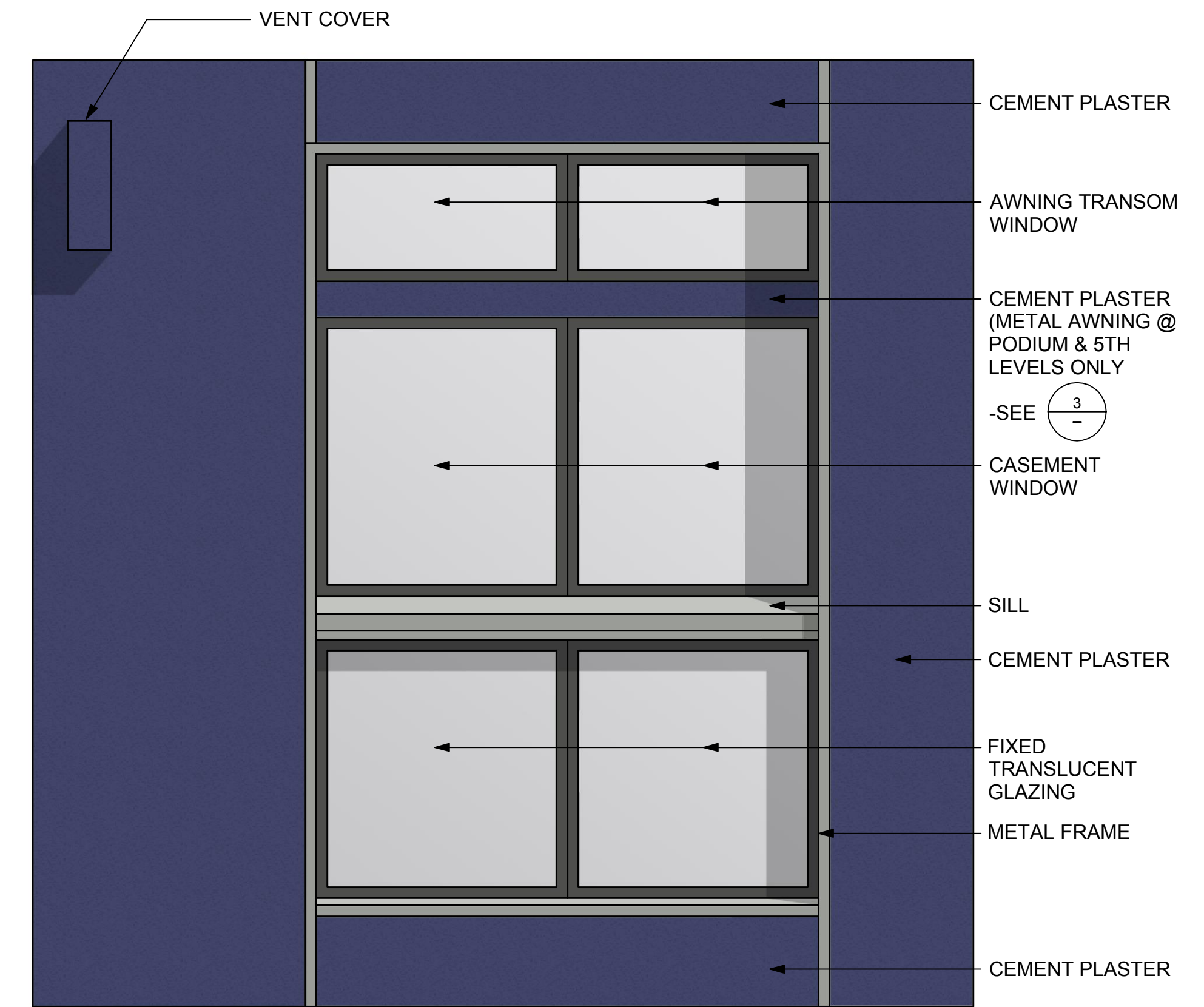


3 TYPICAL SECTION AT WINDOW SYSTEM
3/4" = 1'-0"

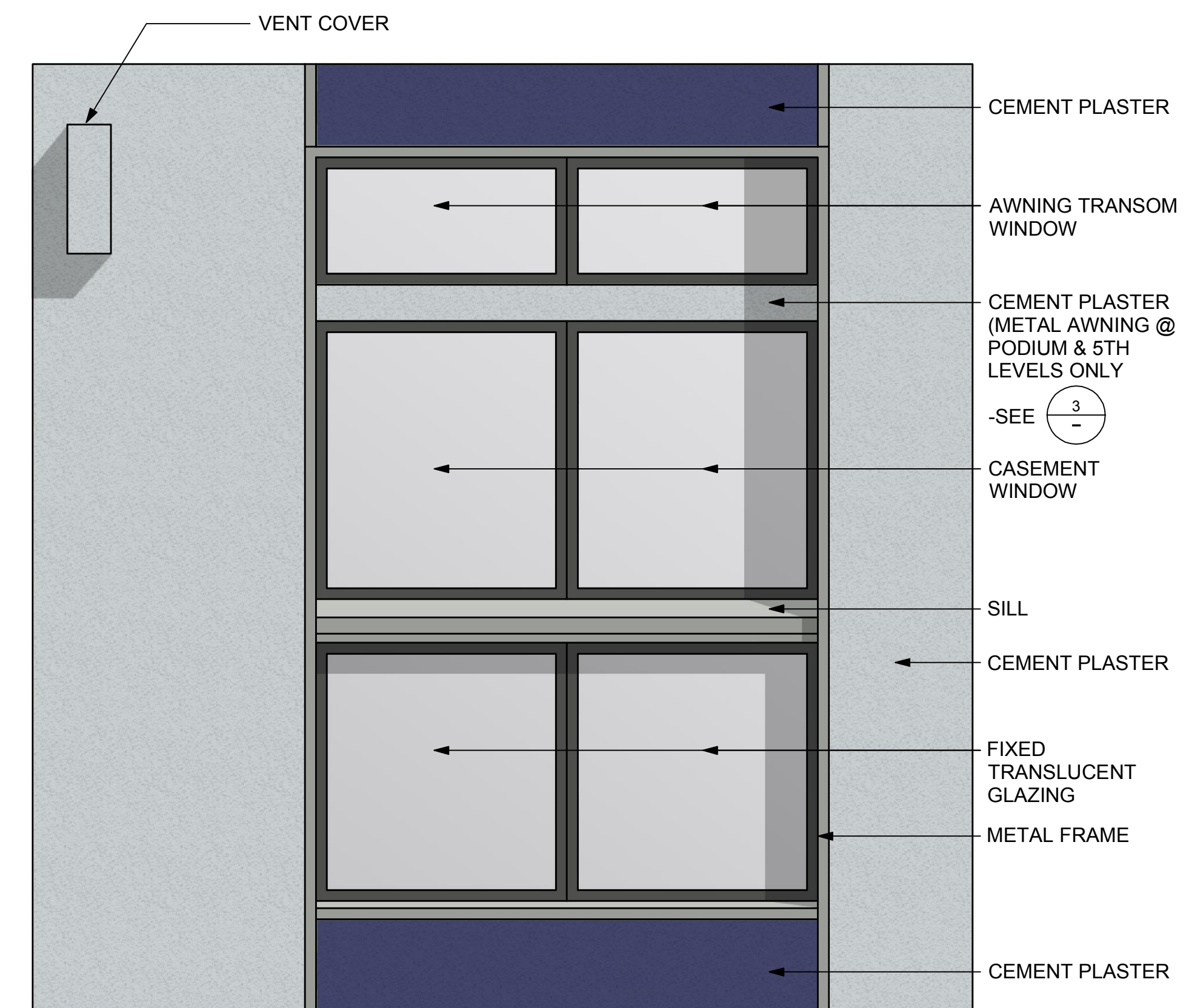
1 WINDOW SYSTEM PLAN
3/4" = 1'-0"



2 DETAIL ELEVATION OF UNIT WINDOW
3/4" = 1'-0"



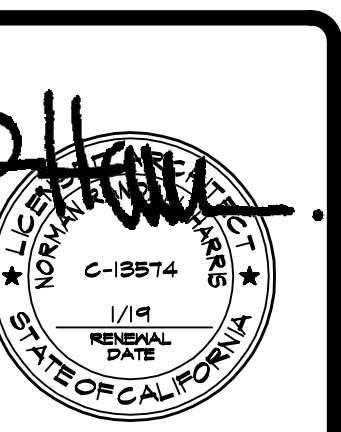
A



B

| revisions | by |
|-------------------------------------|----|
| DRC SUBMITTAL 12/15/18 & 1/27/17 | - |
| ZAB SUBMITTAL 9/12/17 & 1/03/18 | - |
| ZAB SUBMITTAL 3/07/18 | AY |
| ZAB SUBMITTAL 6/28/18 | AY |
| DRC SUBMITTAL 9/20/18 | AY |
| ZAB SUBMITTAL 1/09/18 | AY |

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FOR:
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drawing
WINDOW
ASSEMBLY

drawn
MM/AY
checked
RH
date
3/07/18
scale
AS SHOWN
job no.
1802
sheet

A10.1