



Office of the City Manager

INFORMATION CALENDAR  
December 3, 2019

To: Honorable Mayor and Members of the City Council  
From: Dee Williams-Ridley, City Manager  
Submitted by: Timothy Burroughs, Director, Planning and Development Department  
Subject: LPO NOD: 2234 Haste Street/#LMSAP2016-0002

INTRODUCTION

The attached Landmarks Preservation Commission Notice of Decision (NOD) is presented to the Mayor and City Council pursuant to Berkeley Municipal Code/Landmarks Preservation Ordinance (BMC/LPO) Section 3.24.240.A, which requires that “a copy of the Notice of Decision shall be filed with the City Clerk, and the City Clerk shall present said copy to the City Council at its next regular meeting.”

CURRENT SITUATION AND ITS EFFECTS

The Landmark Preservation Commission (LPC/Commission) has approved a Structural Alteration Permit (SAP) for the subject City Landmark property. This action is subject to a 15-day appeal period, which began on November 18, 2019.

BACKGROUND

BMC/LPO Section 3.24.300 allows City Council to review any action of the Landmarks Preservation Commission in granting or denying a Structural Alteration Permit. In order for Council to review the decision on its merits, Council must appeal the Notice of Decision. To do so, a Council member must move this Information Item to Action and then move to set the matter for hearing on its own. Such action must be taken within 15 days of the mailing of the Notice of Decision, or by December 3, 2019. Such certification to Council shall stay all proceedings in the same manner as the filing of an appeal.

If the Council chooses to appeal the action of the Commission, then a public hearing will be set. The Council must rule on the application within 30 days of closing the hearing, otherwise the decision of the Commission is automatically deemed affirmed.

Unless the Council wishes to review the determination of the Commission and make its own decision, the attached NOD is deemed received and filed.

ENVIRONMENTAL SUSTAINABILITY

Landmark designation provides opportunities for the adaptive re-use and rehabilitation of historic resources within the City. The rehabilitation of these resources, rather than their removal, achieves construction and demolition waste diversion, and promotes investment in existing urban centers.

POSSIBLE FUTURE ACTION

The Council may choose to appeal the decision, in which case it would conduct a public hearing at a future date.

FISCAL IMPACTS OF POSSIBLE FUTURE ACTION

There are no known fiscal impacts associated with this action.

CONTACT PERSON

Fatema Crane, Landmarks Preservation Commission Secretary, Planning and Development, 510-981-7410

Attachments:

1: Notice of Decision – #LMSAP2016-0002 for 2234 Haste Street



L A N D M A R K S  
P R E S E R V A T I O N  
C O M M I S S I O N

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N O T I C E O F D E C I S I O N

**DATE OF BOARD DECISION:** October 3, 2019  
**DATE NOTICE MAILED:** November 18, 2019  
**APPEAL PERIOD EXPIRATION:** December 3, 2019  
**EFFECTIVE DATE OF PERMIT (Barring Appeal or Certification):** December 4, 2019<sup>1</sup>

## 2234 Haste Street Brower Houses & David Brower Redwood

**Structural Alteration Permit #LMSAP2016-0002 to replace the building foundation, to introduce new windows and light wells at the basement level, and to modify an existing, projecting deck on an upper story of a multi-unit residential City Landmark building.**

The Landmarks Preservation Commission of the City of Berkeley, **APPROVED** the Structural Alteration Permit for this project.

**APPLICANT:** William Coburn, 1224 Center Street, Oakland, CA 94607

**ZONING DISTRICT:** C-DMU Core, Downtown Mixed-Use Core

**ENVIRONMENTAL REVIEW STATUS:** Categorically exempt from environmental review pursuant to Section 15331 of the CEQA Guidelines for Historical Resource Rehabilitation.

**The Application materials for this project are available online at:**  
<http://www.cityofberkeley.info/zoningapplications>

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<sup>1</sup> Pursuant to BMC Section 1.04.070, if the close of the appeal period falls on a weekend or holiday, then the appeal period expires the following business day. Pursuant to BMC Section 3.24.190, the City Council may “certify” any decision of the LPC for review, within fifteen days from the mailing of the NOD. Such certification shall stay all proceedings in the same manner as the filing of a notice of appeal.

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**FINDINGS, CONDITIONS AND APPROVED PLANS ARE ATTACHED TO THIS NOTICE**

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**COMMISSION VOTE: 5-2-0-2**

**YES:** ADAMS, ALLEN, NARAHARI, OLSON, SCHWARTZ

**NO:** ABRANCHES DA SILVA, MONTGOMERY

**ABSTAIN:** NONE

**ABSENT:** ENCHILL (recused), FINACOM

**TO APPEAL THIS DECISION (see Section 3.24.300 of the Berkeley Municipal Code):**

To appeal a decision of the Landmarks Preservation Commission to the City Council you must:

1. Submit a letter clearly and concisely setting forth the grounds for the appeal to the City Clerk, located at 2180 Milvia Street, 1st Floor, Berkeley. The City Clerk's telephone number is (510) 981-6900.
  - a. Pursuant to BMC Section 3.24.300.A, an appeal may be taken to the City Council by the application of the owners of the property or their authorized agents, or by the application of at least fifty residents of the City aggrieved or affected by any determination of the commission made under the provisions of Chapter 3.24.
2. Submit the required fee (checks and money orders must be payable to 'City of Berkeley'):
  - a. The basic fee for persons other than the applicant is \$500. This fee may be reduced to \$100 if the appeal is signed by persons who lease or own at least 50 percent of the parcels or dwelling units within 300 feet of the project site, or at least 25 such persons (not including dependent children), whichever is less. Signatures collected per the filing requirement in BMC Section 3.24.300.A may be counted towards qualifying for the reduced fee, so long as the signers are qualified. The individual filing the appeal must clearly denote which signatures are to be counted towards qualifying for the reduced fee.
  - b. The fee for appeals of affordable housing projects (defined as projects which provide 50 percent or more affordable units for households earning 80% or less of Area Median Income) is \$500, which may not be reduced.
  - c. The fee for all appeals by Applicants is \$2500.
3. The appeal must be received prior to 5:00 p.m. on the "APPEAL PERIOD EXPIRATION" date shown above (if the close of the appeal period falls on a weekend or holiday, then the appeal period expires the following business day).

If no appeal is received, the landmark designation will be final on the first business day following expiration of the appeal period.

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**STRUCTURAL ALTERATION PERMIT ISSUANCE:**

If no appeal is received, the Structural Alteration permit will be issued on the first business day following expiration of the appeal period, and the project may proceed at that time. Information about the Building Permit process can be found at the following link:

<http://www.ci.berkeley.ca.us/permitservicecenter/>.

**NOTICE CONCERNING YOUR LEGAL RIGHTS:**

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If you object to this decision, the following requirements and restrictions apply:

1. If you challenge this decision in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Landmarks Preservation Commission at, or prior to, the public hearing.
2. You must appeal to the City Council within fifteen (15) days after the Notice of Decision of the action of the Landmarks Preservation Commission is mailed. It is your obligation to notify the Land Use Planning Division in writing of your desire to receive a Notice of Decision when it is completed.
3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than ninety (90) days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that ninety (90) day period will be barred.
4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
5. If you believe that this decision or any condition attached to it denies you any reasonable economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a "taking" of property for public use without just compensation under the California or United States Constitutions, your appeal of this decision must including the following information:
  - A. That this belief is a basis of your appeal.
  - B. Why you believe that the decision or condition constitutes a "taking" of property as set forth above.
  - C. All evidence and argument in support of your belief that the decision or condition constitutes a "taking" as set forth above.

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If you do not do so, you will waive any legal right to claim that your property has been taken, both before the City Council and in court.

**PUBLIC COMMENT:**

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Communications to Berkeley boards, commissions or committees are public record and will become part of the City's electronic records, which are accessible through the City's website. **Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, will become part of the public record.** If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service or in person to the secretary of the relevant board, commission or committee. If you do not want your contact information included in the public record, please do not include that information in your communication. Please contact the secretary to the relevant board, commission or committee for further information.

**FURTHER INFORMATION:**

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Questions about the project should be directed to the project planner, Fatema Crane, at (510) 981-7410 or [fcrane@cityofberkeley.info](mailto:fcrane@cityofberkeley.info). All project application materials, including full-size plans, may be viewed at the Permit Service Center (Zoning counter), 1947 Center Street, between 8 a.m. and 4 p.m., Monday through Friday.

**ATTACHMENTS:**

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1. Approved Findings and Conditions
  2. Project Plans, received **AUGUST 27, 2019**

ATTEST:   
Fatema Crane, Secretary  
Landmarks Preservation Commission

cc: City Clerk  
Applicant: William Coburn  
1224 Center Street  
Oakland, CA 94607  
  
Owner: Everest Properties  
2228 Shattuck Avenue  
Berkeley, CA 94704

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**FINDINGS AND CONDITIONS**

## **2234 Haste Street - Brower Houses and David Brower Redwood Tree**

### **Structural Alteration Permit #LMSAP2016-0002**

**To replace the building foundation, to introduce new windows and light wells at the basement level, and to modify an existing, projecting deck on an upper story of a multi-unit residential City Landmark building.**

#### **CEQA FINDINGS**

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15331 of the CEQA Guidelines (“Historic Resource Restoration/Rehabilitation”). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project will not affect any historical resource.

#### **SECRETARY OF THE INTERIOR’S STANDARDS FINDINGS**

Regarding the Secretary of the Interior’s Standards for Rehabilitation, the Landmarks Preservation Commission of the City of Berkeley makes the following findings:

1. The subject property will continue its residential use with this proposed rehabilitation project.
2. The project does not include removal or alteration of distinctive materials, character-defining features or those “to-be-preserved,” as identified in the 2008 City Landmarks designation for this site.
3. The proposed rehabilitation project for the rear building at this City Landmark site would render it -- as well as the front building -- primarily intact and able to convey their unique identities as physical records of time. No introduction of conjectural features has been proposed.
4. No changes to this property that have acquired historic significance in their own right are the subject of this proposal.
5. Distinctive features, such as the building’s wood shingles, will be preserved with this proposal. Shingles which have deteriorated will be replaced in kind. No other

distinctive materials, finished or construction techniques, or examples of craftsmanship, would be removed or affected by this project.

6. Deteriorated historic features will be repaired rather than replaced, as conditioned herein. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials are prohibited, as conditioned herein.
8. Archeological resources are not known to exist at this site. However, as conditioned herein, procedures and measures for protection will be undertaken if resources are unexpectedly discovered.
9. None of the aspects of this proposal are expected to result in the destruction of historic materials, features and spatial relationships that characterize this City Landmark property. New work, such as basement-level windows and guardrails, will be compatible with and yet differentiated in style from the Victorian-era construction.
10. The proposed new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

#### **LANDMARK PRESERVATION ORDINANCE FINDINGS**

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1. As required by Section 3.24.260 of the Landmarks Preservation Ordinance, the Commission finds that proposed work is appropriate for and consistent with the purposes of the Ordinance, and will preserve and enhance the characteristics and features specified in the designation for this property. Specifically:
  - The proposed project includes a limited scope of work that will result in exterior changes, and none of these changes are expected to permanently or significantly impair the integrity, or alter the character-defining features, of this Victorian-era building.



## **STANDARD CONDITIONS**

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The following conditions, as well as all other applicable provisions of the Landmarks Preservation Ordinance, apply to this Permit:

### **1. Conditions Shall be Printed on Plans**

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Permit, under the title 'Structural Alteration Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

### **2. Plans and Representations Become Conditions**

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

### **3. Subject to All Applicable Laws and Regulations**

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

### **4. Exercise and Lapse of Permits (Section 23B.56.100)**

- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- A. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has:
  - (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

### **5. Indemnification Agreement**

The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorneys fees that may result.

**ADDITIONAL CONDITIONS**

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The following additional conditions are attached to this Permit:

6. **Halt Work/Unanticipated Discovery of Tribal Cultural Resources.** In the event that cultural resources of Native American origin are identified during construction, all work within 50 feet of the discovery shall be redirected. The project applicant and project construction contractor shall notify the City Planning Department within 24 hours. The City will again contact any tribes who have requested consultation under AB 52, as well as contact a qualified archaeologist, to evaluate the resources and situation and provide recommendations. If it is determined that the resource is a tribal cultural resource and thus significant under CEQA, a mitigation plan shall be prepared and implemented in accordance with State guidelines and in consultation with Native American groups. If the resource cannot be avoided, additional measures to avoid or reduce impacts to the resource and to address tribal concerns may be required.
7. **Archaeological Resources** (*Ongoing throughout demolition, grading, and/or construction*). Pursuant to CEQA Guidelines section 15064.5(f), "provisions for historical or unique archaeological resources accidentally discovered during construction" should be instituted. Therefore:
  - A. In the event that any prehistoric or historic subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant and/or lead agency shall consult with a qualified archaeologist, historian or paleontologist to assess the significance of the find.
  - B. If any find is determined to be significant, representatives of the project proponent and/or lead agency and the qualified professional would meet to determine the appropriate avoidance measures or other appropriate measure, with the ultimate determination to be made by the City of Berkeley. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by the qualified professional according to current professional standards.
  - C. In considering any suggested measure proposed by the qualified professional, the project applicant shall determine whether avoidance is necessary or feasible in light of factors such as the uniqueness of the find, project design, costs, and other considerations.
  - D. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery) shall be instituted. Work may proceed on other parts of the project site while mitigation measures for cultural resources is carried out.
  - E. If significant materials are recovered, the qualified professional shall prepare a report on the findings for submittal to the Northwest Information Center.
8. **Human Remains** (*Ongoing throughout demolition, grading, and/or construction*). In the event that human skeletal remains are uncovered at the project site during ground-disturbing activities, all work shall immediately halt and the Alameda County Coroner shall be contacted to evaluate the remains, and following the procedures and protocols pursuant to Section 15064.5 (e)(1) of the CEQA Guidelines. If the County Coroner determines that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to subdivision (c) of Section 7050.5 of the Health and Safety Code, and all excavation and site preparation activities

shall cease within a 50-foot radius of the find until appropriate arrangements are made. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance and avoidance measures (if applicable) shall be completed expeditiously.

9. **Paleontological Resources** (*Ongoing throughout demolition, grading, and/or construction*). In the event of an unanticipated discovery of a paleontological resource during construction, excavations within 50 feet of the find shall be temporarily halted or diverted until the discovery is examined by a qualified paleontologist (per Society of Vertebrate Paleontology standards [SVP 1995,1996]). The qualified paleontologist shall document the discovery as needed, evaluate the potential resource, and assess the significance of the find. The paleontologist shall notify the appropriate agencies to determine procedures that would be followed before construction is allowed to resume at the location of the find. If the City determines that avoidance is not feasible, the paleontologist shall prepare an excavation plan for mitigating the effect of the project on the qualities that make the resource important, and such plan shall be implemented. The plan shall be submitted to the City for review and approval.
10. **Repair and replacement of character-defining features.** Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old or historic feature in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence, to the satisfaction of City staff.
11. **Chemical Treatments.** Any chemical treatments needed as construction progresses will be undertaken using the gentlest means possible.
12. **Clear glass.** All glass is assumed to be clear glass. Any proposed glass that is not clear glass shall be indicated on all drawings, and shall be reviewed for approval by historic preservation staff, prior to approval of any building permit for this project.
13. **Exterior Lighting.** Exterior lighting, including for signage, shall be downcast and not cause glare on the public right-of-way and adjacent parcels.
14. **Colors & Materials.** Prior to staff sign-off of the building permit set of drawings, the applicant shall submit color and materials information for review and approval by staff.
15. **Window Detail.** Prior to staff sign-off of the building permit set of drawings, the applicant shall submit section drawings with details to provide dimensional relief and articulation for all new windows on basement level, for review and approval by staff.
16. **Certified arborist report.** Prior to submittal of any building permit for this project, the applicant shall obtain a certified arborist report with recommendation on the assessment and protection of the Brower redwood tree during project construction. The building permit plans for this project shall incorporate the recommendations of this report.

17. **Plaque.** Prior to submittal of any building permit for this project, the applicant shall indicate on the building permit plans, the location and design of a plaque with information about the historic significance of this Landmark site.
  
18. Upon completion of this project, the property owner shall remove or relocate (and screen, subject to BMC Chapter 23) the dumpster currently stored in the driveway/parking area. The applicant shall consult with the City's Zero Waste Division for guidance on improving and maintaining adequate collection and storage of debris and recycling for this site.

**GENERAL NOTES:**  
 1. SCOPE OF WORK: DEVELOPING CASERMENT IN AREA ALLOWABLES INTO ONE BEDROOMS GAMBROUN & BATH, CONNECTING NEW SPACE TO EXISTING UNIT 1 WITH AN INTERIOR STAIR. ALL NEW WINDOWS WOOD, NEW DOOR WOOD.  
 2. MOIST ELEVATION SHINGLES ON MAIN MOUSE GABLE TO BE REPLACED WITH CEDAR SHINGLES, STAINED DARK BROWN TO GIVE CHARACTER OF REDWOOD SHINGLES. ALL OTHER SHINGLES TO BE PAINTED DARK BROWN TO MATCH.  
 3. TRIM, WINDOWS & DOORS ON EXT. TO BE PAINTED AS NOTED ON ELEV SHEET  
 4. LIGHT WELLS TO BE PROVIDED AS SHOWN ON ELEVATIONS

**2234 Haste St Berkeley CA GENERAL NOTES:**

**Scope of work:** New foundation, expand Unit 1 into casement, no change to other units except chimney removal and patching after removal of chimney.

**1. BUILDING CODES:**  
 ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES INCLUDING CBC, CBC, CEC, CFC, and CMC, AND 2013 CALIFORNIA ENERGY CODE AND CITY ORDINANCES APPLICABLE TO THIS PROJECT. ALL WORK TO CONFORM WITH CITY OF OAKLAND CODES, ORDINANCES AND REQUIREMENTS.

**2. SITE CONDITIONS:**  
 CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING LIMITATIONS. ALL FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF SAME TYPE AND CHARACTER AS THAT SHOWN FOR SIMILAR CONDITIONS. IF DISCREPANCIES ARE DISCOVERED, NOTIFY THE ARCHITECT BEFORE THE PROCEEDING WITH THE WORK.

**3. DIMENSIONS:**  
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. DIMENSIONS ARE TO THE ROUGH FRAME UNLESS OTHERWISE NOTED. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND/OR SPECIFICATIONS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

**4. DEMOLITION:**  
 CONTRACTOR SHALL EXECUTE DEMOLITION WORK TO ENSURE THE SAFETY OF PERSONS AND ADJACENT PROPERTY FROM DAMAGE OF ANY KIND IN CONNECTION WITH THIS WORK. WHERE EXISTING CONSTRUCTION IS CUT, DAMAGED OR REMODELED, PATCH OR REPLACE WITH MATERIALS WHICH MATCH THE KIND, QUALITY AND PERFORMANCE OF ADJACENT SURFACES.

**5. SCHEDULE:**  
 THE CONTRACTOR SHALL INFORM THE OWNER AND ARCHITECT OF THE CONSTRUCTION SCHEDULE PRIOR TO STARTING WORK. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO MINIMIZE DISRUPTION TO OCCUPANTS AND NEIGHBORS DURING CONSTRUCTION.

**6. CHANGE ORDERS:**  
 ALL CHANGE ORDERS SHALL BE AGREED TO AND IN WRITING PRIOR TO EXECUTION OF WORK.

**7. CLEANUP:**  
 THE CONTRACTOR SHALL REMOVE THE CONSTRUCTION DEBRIS AT THE END OF THE JOB AND DISPOSE OF IT LEGALLY. CLEAN ALL NEW WINDOWS AND LEAVE THE JOB BROOM CLEAN.

**ARCHITECTURAL NOTES:**

- A1 SCOPE OF THE PROPOSED WORK IS TO PROVIDE A NEW FOUNDATION AND EXPAND UNIT ONE INTO BASEMENT.
- A2 CER TILE ON 1/2" CEMENTITIOUS BACKER BOARD OVER (2) LAYERS 1/2" FELT PAPER ON WALLS AT TUBS & SHOWERS TO 6"-8" HEIGHT MIN. ABOVE FLOOR AND PER MIN. CBC 807.1 REQUIREMENTS.
- A3 PROVIDE TEMPERED SLIDING CLASS SHOWER DOORS TO MIN. 70"HT. ABOVE DRAIN INLET.
- A4 DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- A5 IF ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE FOUND IN THE DRAWINGS, NOTIFY THE ARCHITECT, PRIOR TO PROCEEDING WITH ANY WORK.
- A6 ALL 2X FRAMING MEMBERS TO BE #2 DF OR BETTER  
 ALL 4X FRAMING MEMBERS TO BE #1DF OR BETTER
- A7 ALL NAILING AND BRACING AS PER CODE.
- A8 NEW VINYL WINDOWS TO MEET TITLE 24 REQUIREMENTS FOR THERMAL TRANSMISSION AND ALL OTHER REQUIRED CONDITIONS.
- A9 IN ALL EXISTING WALLS TO REMAIN, FILL CAVITY WITH MIN R-13 BATT INSUL. PRIOR TO COVERING UP OPENING. FOR ANY CEILING AREA, INSTALL R-30 PROVIDE REQUIRED INSULATION IN NEW FRAMED WALLS IN BASEMENT
- A10 Provide one hour fire rated assembly in the ceiling of the expanded unit ceiling.

A-11 WINDOW U PART 4/8" T-24

**ELECTRICAL NOTES:**

- E1. ALL KITCHEN OUTLETS TO BE 42 INCHES ABOVE FIN FLOOR GFCI PROTECTED
- E2. PROVIDE MIN. TWO 20 AMP CIRCUITS FOR KITCHEN APPLIANCES.
- E3. ANY CLOSET LIGHT FIXTURE CLEARANCES (IF USED) SHALL CONFORM TO CEC 410.8.
- E4. ALL 120 VOLT, SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN UNIT FAMILY ROOMS, DINING, LIVING, PARLORS AND LIBRARIES, DENS, BEDROOMS AND SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR SPACES SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER. 9CEC ART. 210.12
- E5. PROVIDE ONE 20 AMP CIRCUIT FOR ALL BATHROOM OUTLETS PER CEC 210-11 (C) (3) IN NEW BATHROOMS.
- E6. VENT BATH FAN TO EXTERIOR WALL OR ROOF W/ RAIN CAP FAN CAPABLE OF PROVIDING MIN 5 AIR CHANGES/HOUR AS PER CBC 1203.4.2 HUMIDISTATS T BE PROVIDED ACCORDING TO CGBS 4.506.1
- E7. PROVIDE MANUAL-ON MOTION SENSOR FOR INCANDESCENT LIGHTS IN BATHROOMS AS INDICATED.
- E8. PROVIDE MIN. 24" HORIZ. SEPARATION BETWEEN ELECT. BOXES ON OPPOSITE SIDE OF WALLS BETWEEN UNITS.
- E9. MINIMUM OF 50% OF WATTAGE IN KITCHEN TO BE HIGH EFFICIENCY LIGHTS MANUAL-ON MOTION SENSORS OR DIMMER SWITCHES TO BE USED.
- E10. IN ALL OTHER ROOMS & AREAS (I.E. LIVING, BEDROOMS, AND HALLWAYS) PROVIDE HIGH EFFICACY LIGHTS, MANUAL-ON MOTION SENSORS, OR DIMMER SWITCHES AS SHOWN.
- E11. LIGHT FIXTURES IN TUB / SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS".
- E12 ALL SMOKE DETECTORS SHALL BE COMBINATION UNITS WITH CARBON MONOXIDE DETECTORS TO MEET CODE REQUIREMENTS.
- E13 ALL 125 VOLT 15 AND 20 AMP RECEPTACLES SHALL BE LISTED TAMPERPROOF RECEPTACLES (CEC ART. 406.12)

**MECHANICAL / PLUMBING NOTES:**

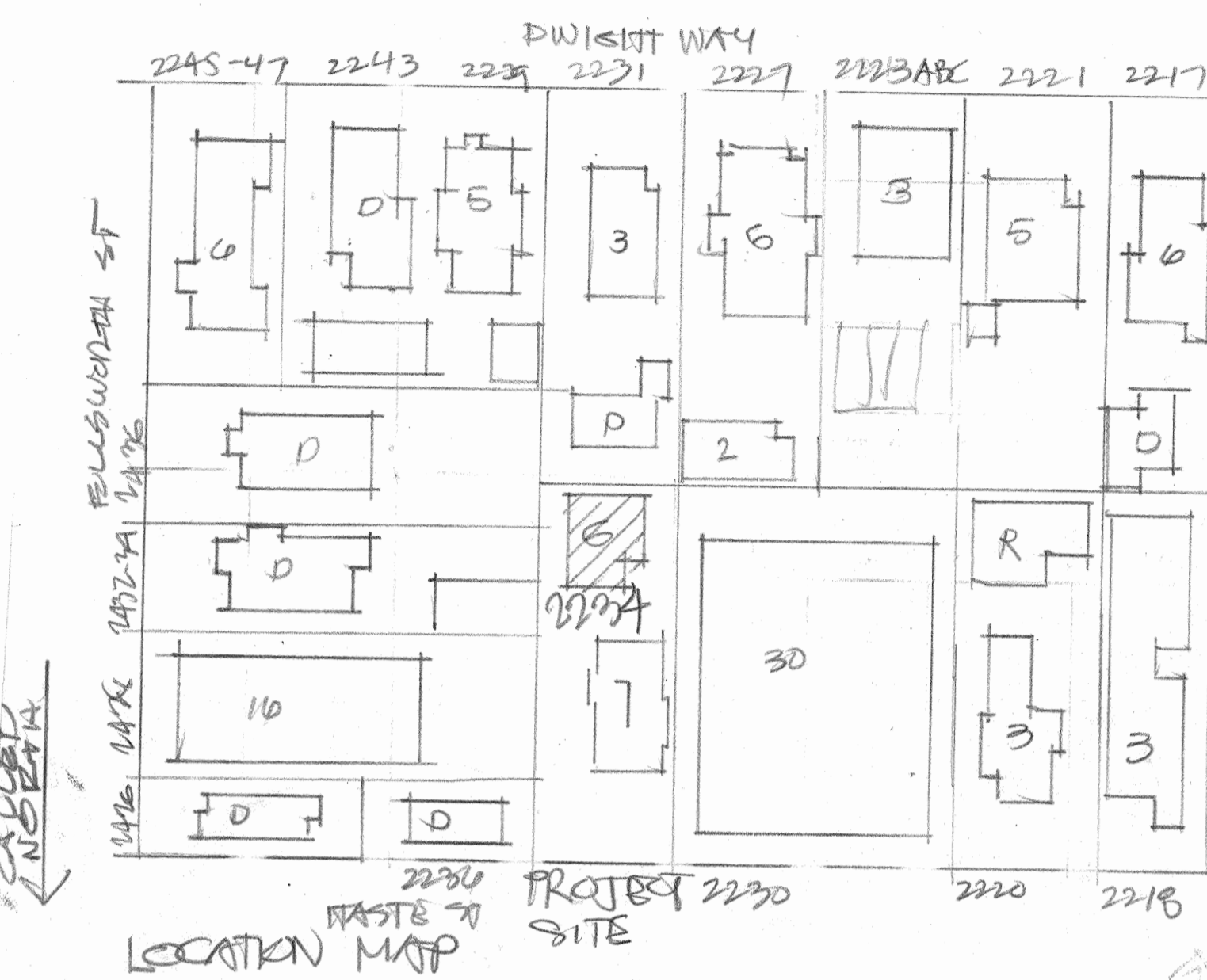
- M1. NEW TOILET TO BE MAX. 1.28 GAL/FLUSH.
- M2. NEW TANK WATER HEATER TO BE INSTALLED AS PER MFR RECOMMENDATIONS.
- M3. BATH COMBINATION SHOWER/TUB CONTROLS (INDIVIDUAL HOT/ COLD PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE) SHALL CONFORM TO CPC 420.0.
- M4. PROVIDE LOW FLOW FAUCET DEVICES OF FIXTURES WITH MAXIMUM FLOW RATE OF 1.8 GAL/MINUTE MEASURED AT 60 PSI (CPC 403.6) BATHROOM LAVATORY FAUCET MAX 1.5 GAL/MIN.

AT 60PSI AND NOT LESS THAN .8GAL/MIN. AT 20PSI 9CPC403.70 SHOWER HEADS MAX FLOW 2.0 GAL/MIN. (MEASURED AT 80 PSI) 9CPC SEC. 408.2

M.5 PROVIDE AUTOMATIC GAS SHUT OFF VALVE ON DOWNSTREAM SIDE OF GAS UTILITY METER

M.6 PLUMBING MAX FLOW RATES OF KIT FAUCET SHALL NOT EXCEED 1.8 GAL/MIN AT 60 PSI. KIT FAUCET MAY TEMPORARILY INCREASE THE FLOW RATE BUT NOT EXCEED 2.2 GAL/MIN. AT 60 PSI. AND MUST DEFAULT TO A MAX FLOW RATE OF 1.5 GAL/MIN G.O.B.

M.7. FOR DRAIN LINES, APPROVED PIPING MATERIALS TO BE USED: POLYVINYL CHLORIDE SDR 20 MIN. POLYETHYLENE SDR 26 MIN. CAST IRON CUPPER LATERAL ONLY, DUCTILE IRON, VITRIFIED CLAY EXTRA STRENGTH, BELL & SPST. FOR PIPE LINE BEYOND THE ROADWAY, CITY OF BERKELEY WILL REQUIRE PVC OR PE, SDR 21 MIN. RCP IS PERMITTED FOR SPM DRAINS,

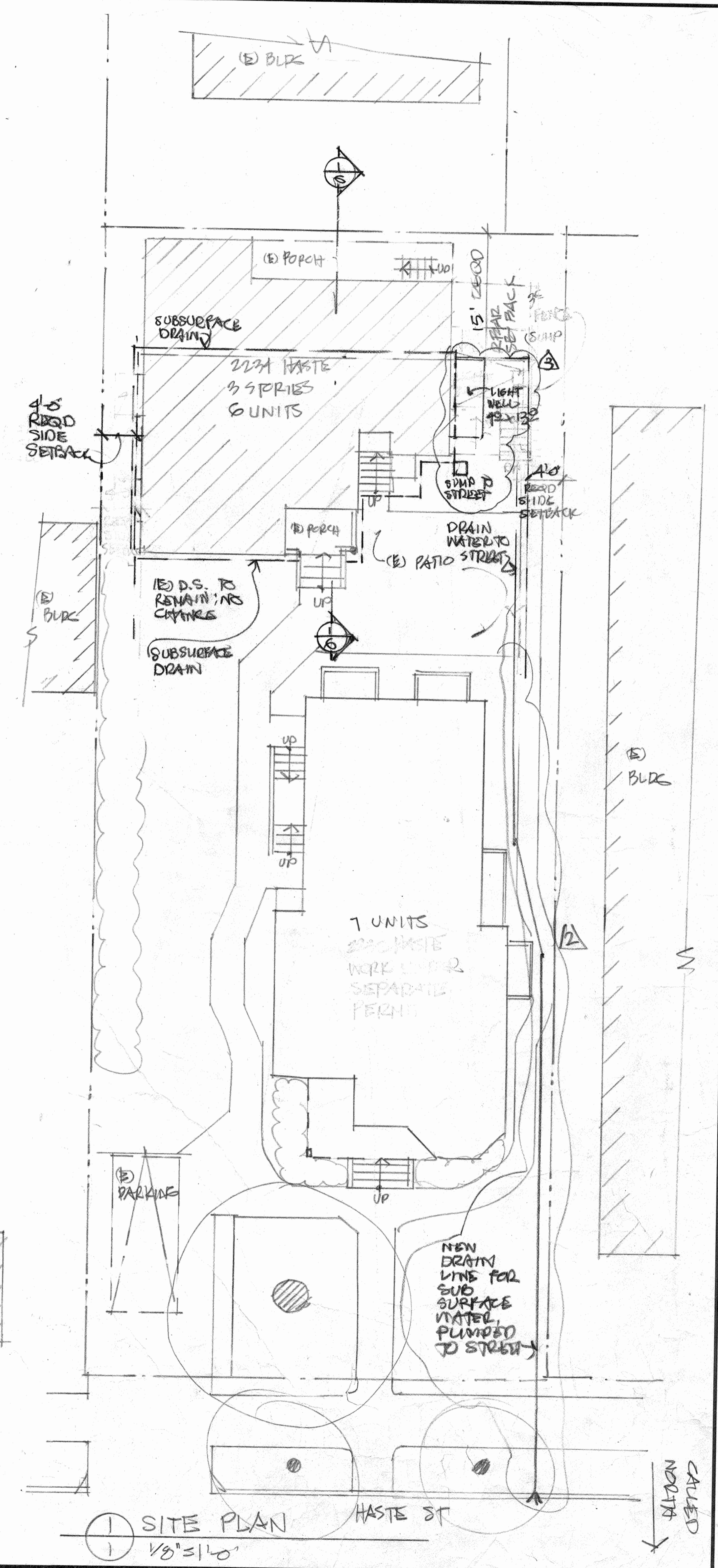


**DEFERRED SUBMITTALS:** ANY DEFERRED SUBMITTAL TO BE REVIEWED & APPROVED BY ARCHITECT OR ENGINEER PRIOR TO BEING SUBMITTED TO THE CITY OF BERKELEY FOR REVIEW & APPROVAL. APPROVAL BY ARCHITECT OR ENGINEER TO BE INDICATED ON SUBMITTAL P CTY

**DEFERRED:**  
 1. LADDER AT LIGHT WELL  
 2. NON TANKLESS WH. FOR OTHER UNITS SEPARATE PERMIT  
 3. 3 GAS METERS MOVED, SEPARATE PERMIT  
 4. A SEPARATE ENGINEERING PERMIT IS REQUIRED FOR CONSTRUCTION SIGNING, CONSTRUCTION PARKING, SIDEWALK OR SEWER WORK IN THE PUBLIC RIGHT OF WAY, TO BE ISSUED AFTER THE APPROVAL AND ISSUANCE OF THE BUILDING PERMIT.

**DRAWING SCHEDULE**

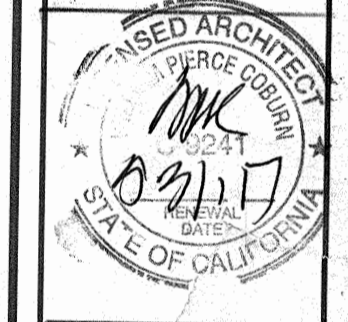
NO	TITLE
1	SITE PLAN
2	EXIST FLOOR 1 & 2 PLAN
3	EXIST FLOOR 3 & ROOF PLAN
4	EXIST & NEW BASEMENT FLOOR PLAN
5	ELEVATIONS
6	SECTION & SCHEDULES
7	DETAILS
8	TITLE 24-1
9	TITLE 24-2
S-1	BASEMENT/PDN PLAN PER
S-2	FRAMING PLATE & DETS
S-3	DETS
S-4	DETS
10	FOR REFERENCE - EXIST & PROPOSED UNIT 1 PLANS
11	CAL GREEN
12	BEST MANAGEMENT PLAN



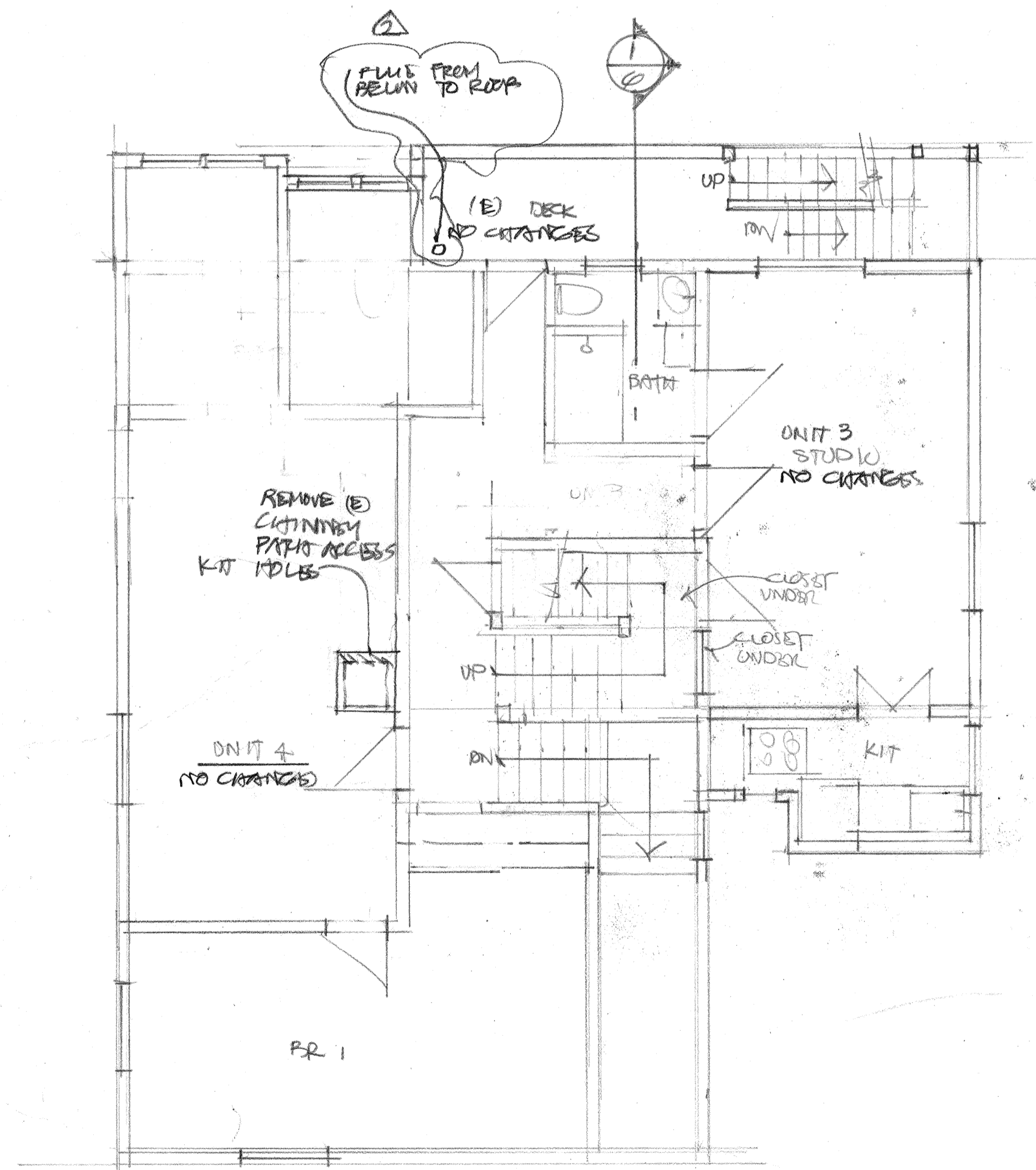
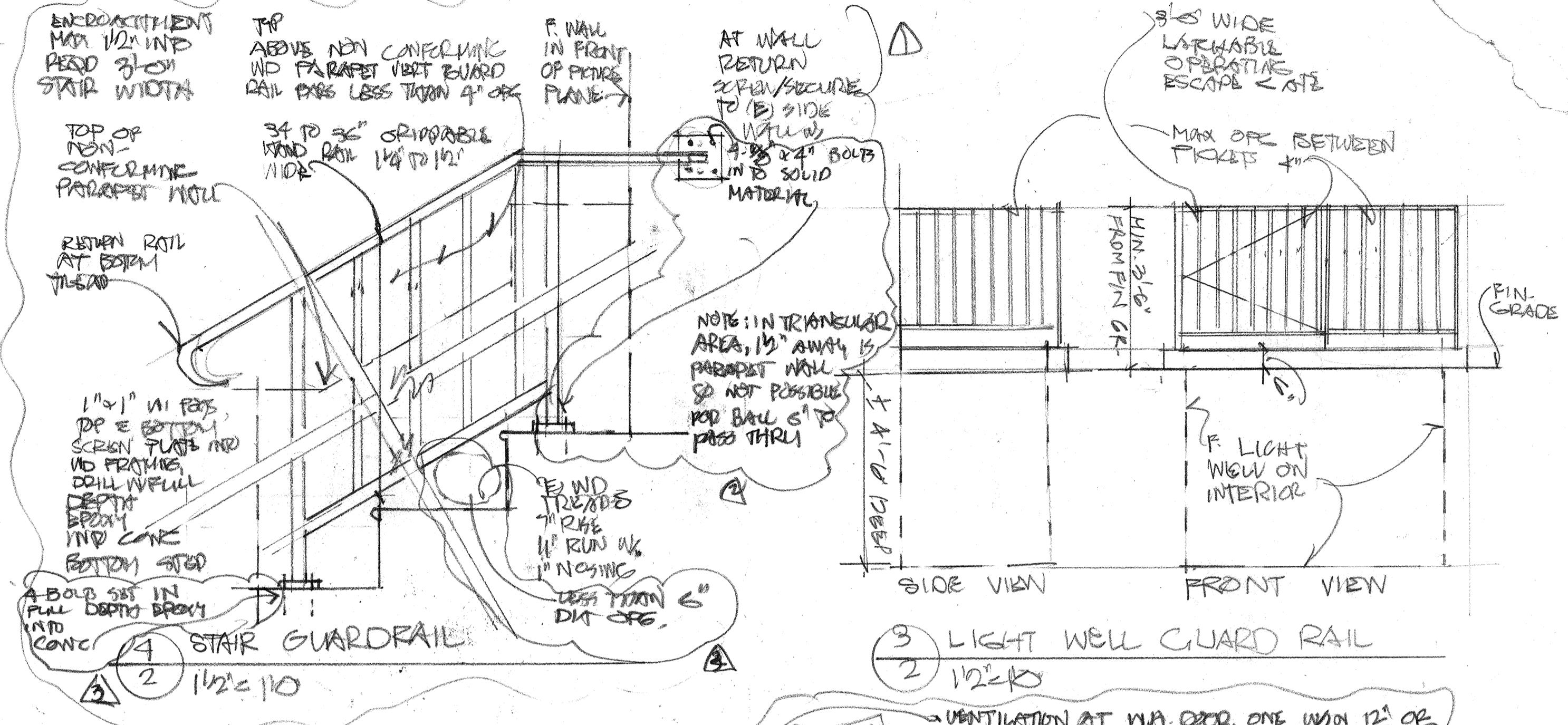
**REVISIONS**

NO	DATE	DESCRIPTION
1	2.7.19	
2	2.7.19	

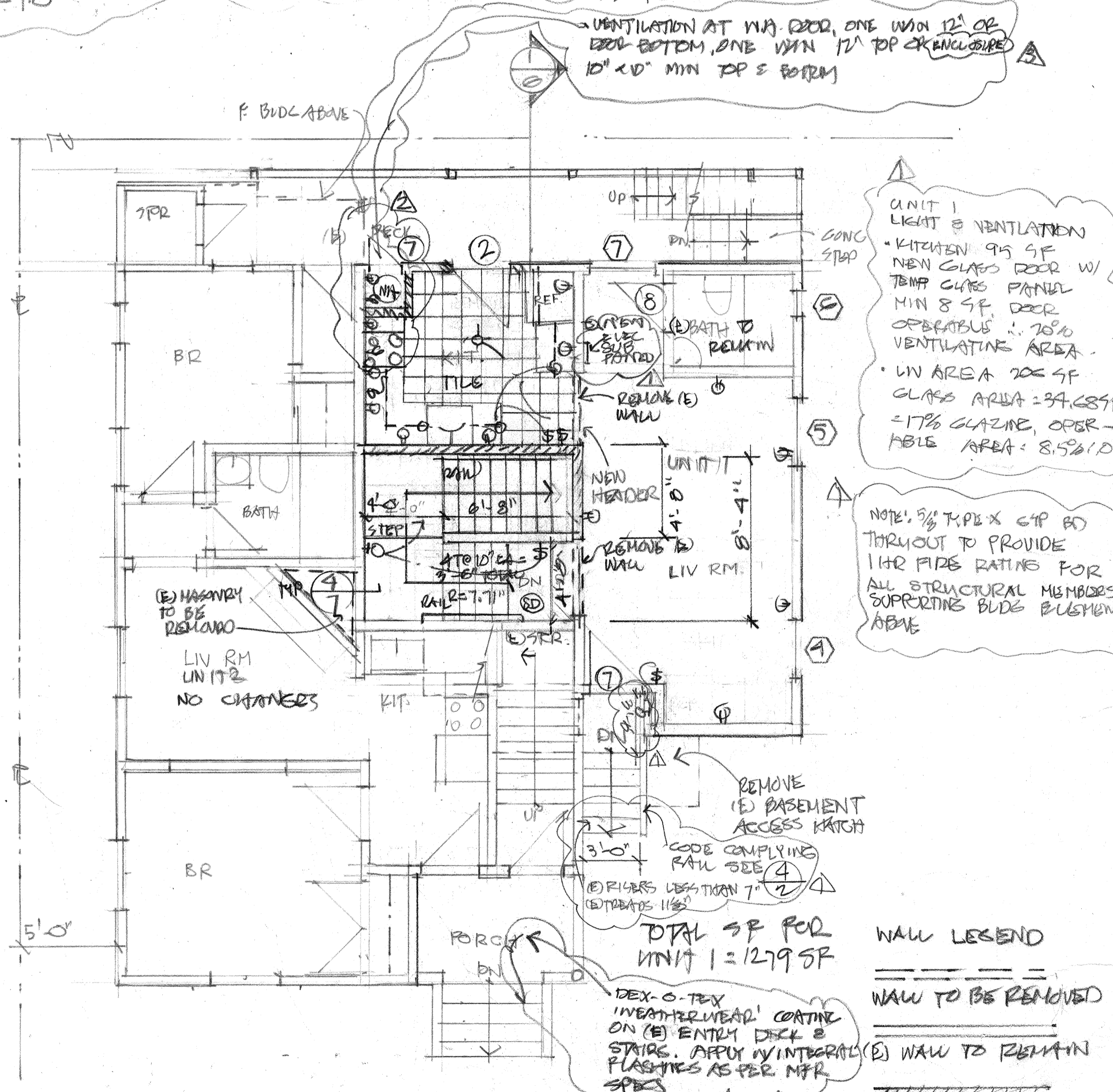
WILLIAM F. CASHAN ARCHITECTS  
 1224 CENTER ST  
 OAKLAND CA 94607  
 510-873-8526  
 510-455-2537  
 510-157-4085  
 william@wfcashan.net



NEW FOUNDATION & UNIT 1 RECONFIGURATION AT:  
 2234 HASTE ST  
 BERKELEY CA  
 DATE: 2.21.16  
 Scale:  
 Drawn:  
 Job:  
 Sheet:  
 Of 16 Sheets



2 SECOND FLOOR  
2 1/4" = 1'0"



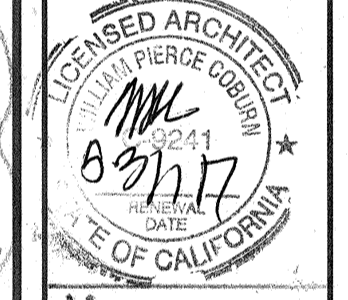
1 FLOOR ONE (483 SF FOR UNIT 1)  
2 1/4" = 1'0"

WALL LEGEND

(---)	WALL TO BE REMOVED
(- - -)	(E) WALL TO REMAIN
(     )	NEW WALL

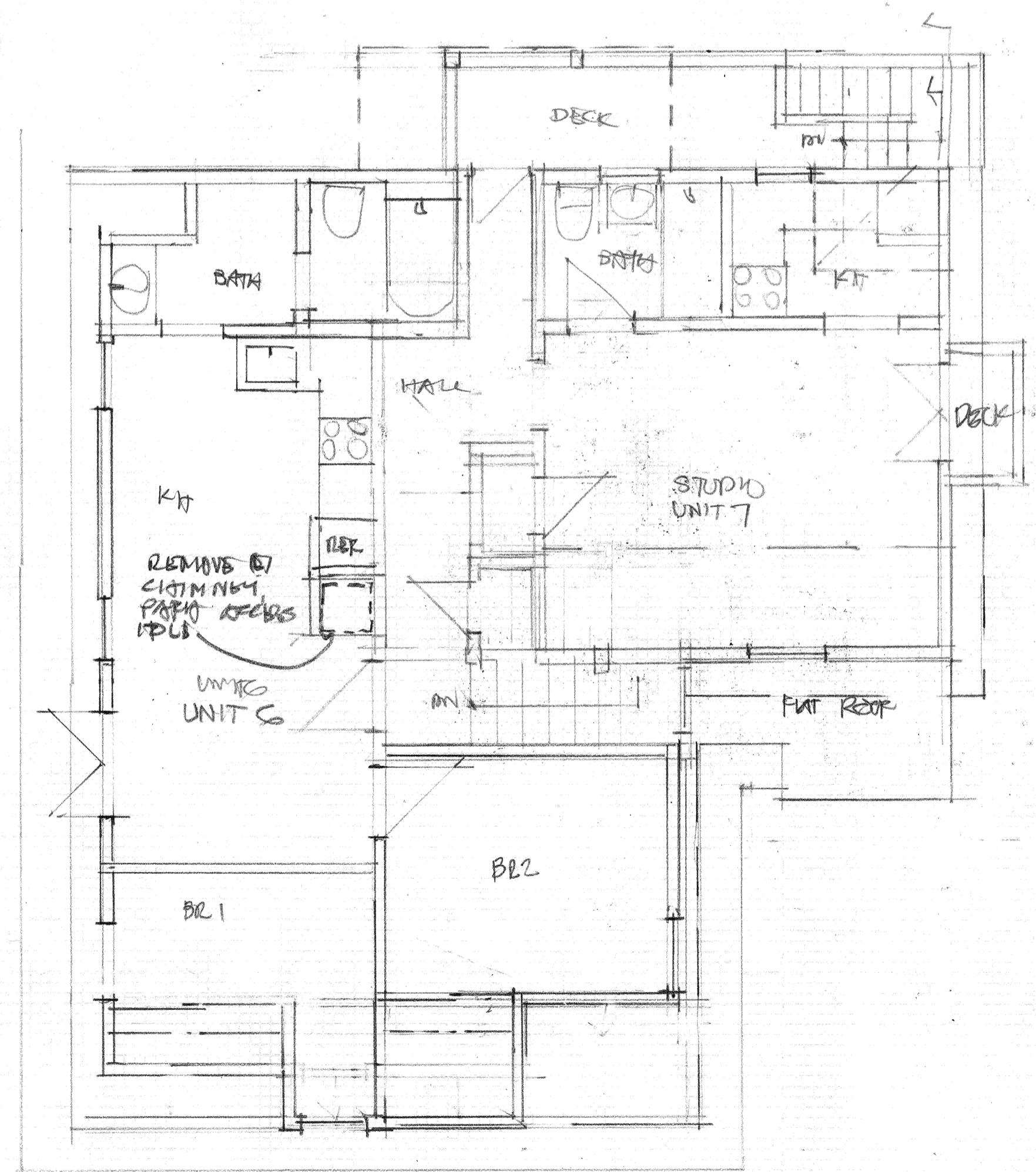
REVISIONS	BY
1 12-12-17	
2 2-18-19	
3 4-16-19	

WILLIAM P. COBURN ARCHITECTS  
510 893 8806  
1224 CENTER ST  
OAKLAND CA 94607  
FAX 510 455 2527  
CEU 510 157 4085  
wpcoburn@pacbell.net

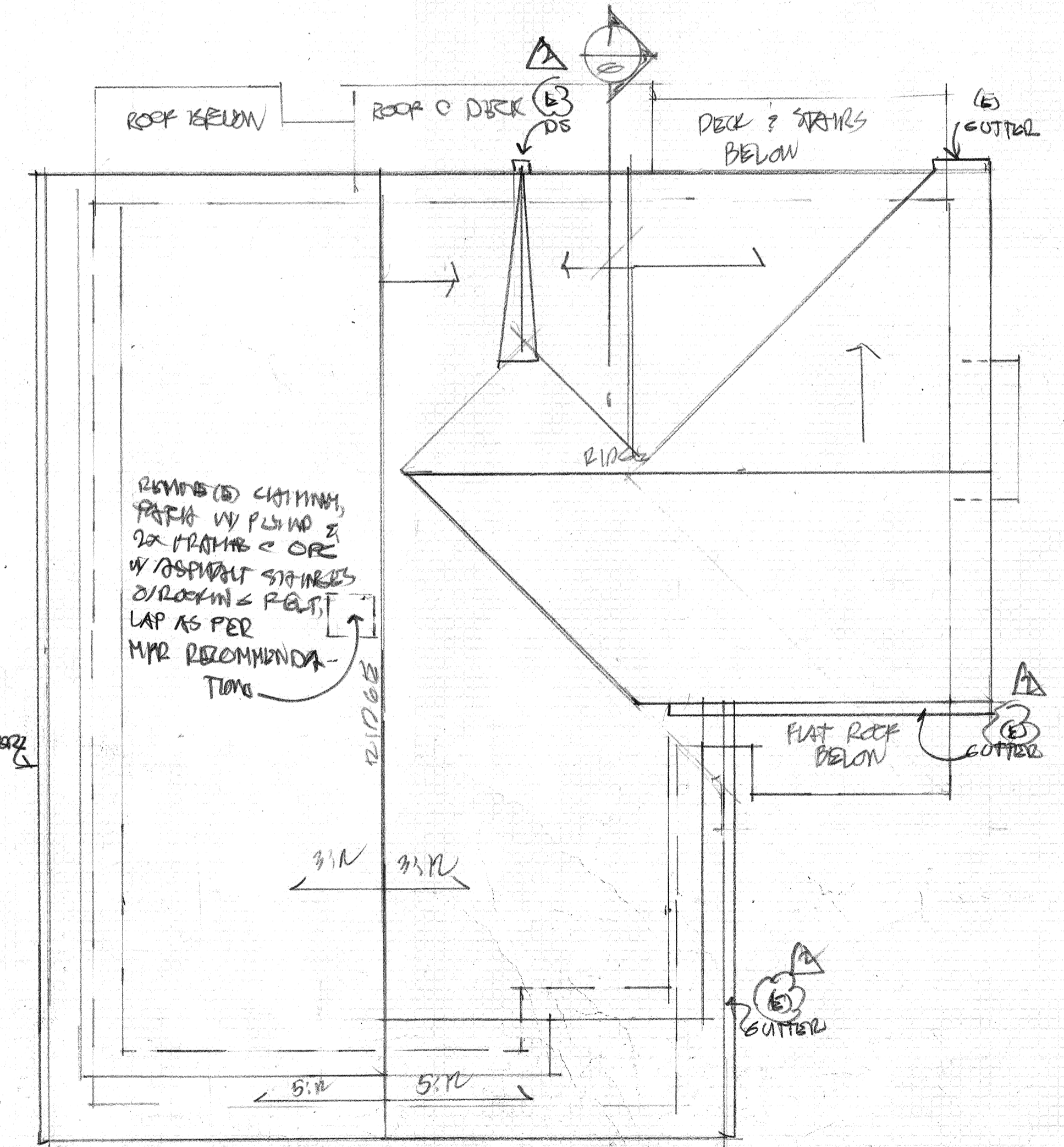


NEW UNIT 1 & UNIT 1 RECONFIGURATION AT:  
1054 MARBLE ST  
BERKELEY CA  
PRK: EVERETT PROPERTIES  
2078 SHATTUCK AVE  
BERKELEY CA 94704

Date: 12-16  
Scale:  
Drawn:  
Job:  
Sheet:  
16 2  
Of: 2  
Sheets



④ THIRD FLOOR PLAN  
1/2" = 1'-0"



⑤ ROOF PLAN  
1/4" = 1'-0"

2.18.19

WILLIAM F. COBURN ARCHITECT  
1001 CENTER ST  
OAKLAND CA 94607  
906.878.8826  
FAX 906.465.2537  
CELL 510.151.4085  
wpcoburn@pacbell.net



NEW FOUNDATION = UNIT 1 RECONFIGURATION AT:  
2024 LARK CREEK ST  
FERRYLAND CA  
FUTURE DEVELOPMENT PROPERTIES  
3273 SHATTUCK AVE  
BERKELEY CA 94704

12.21.16

16 3

04/10/17

DECK SCHEDULE

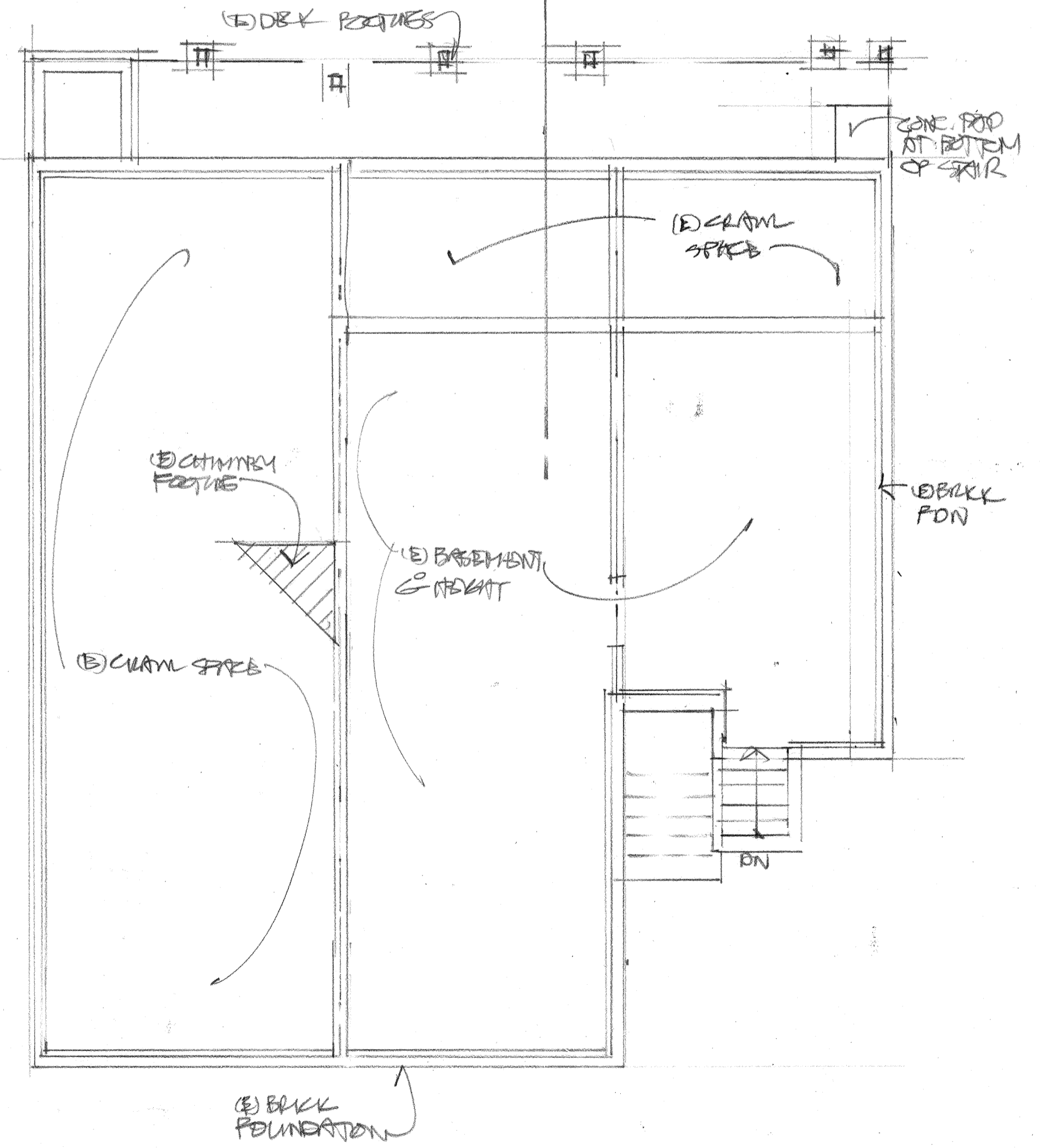
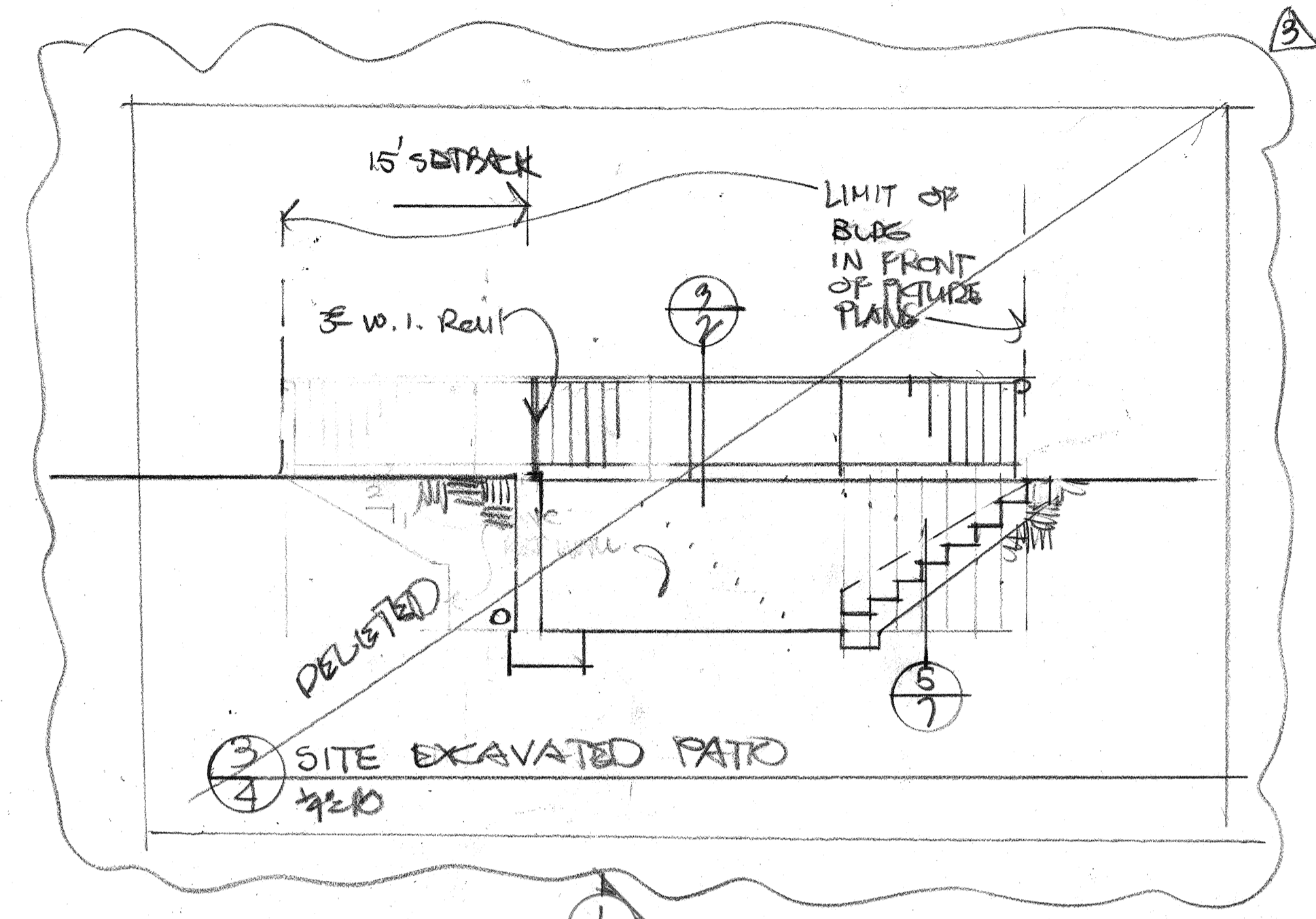
NO	SIZE	MATL	THICK	THRESH	REMARKS
1	6' x 6'	VINYL	1 3/4"	ALUM	TEMP GL
2	2' x 6'	SC WD/CLAD	1 3/4"	ALUM	TEMP GL
3	2' x 6'	SC WD	1 3/8"		
4	2' x 6'	"	"		
5	4' x 8'	TEMP GLASS			OTUBY SHOWER
6	4' x 8'	SC WD	1 3/8"		SI-POLD
7	2' x 6'				(E) TO REMAIN
8	2' x 6'				(W) TO REMAIN
9	3' x 6'	SC WD	1 3/4"	ALUM	*

WINDOW SCHEDULE

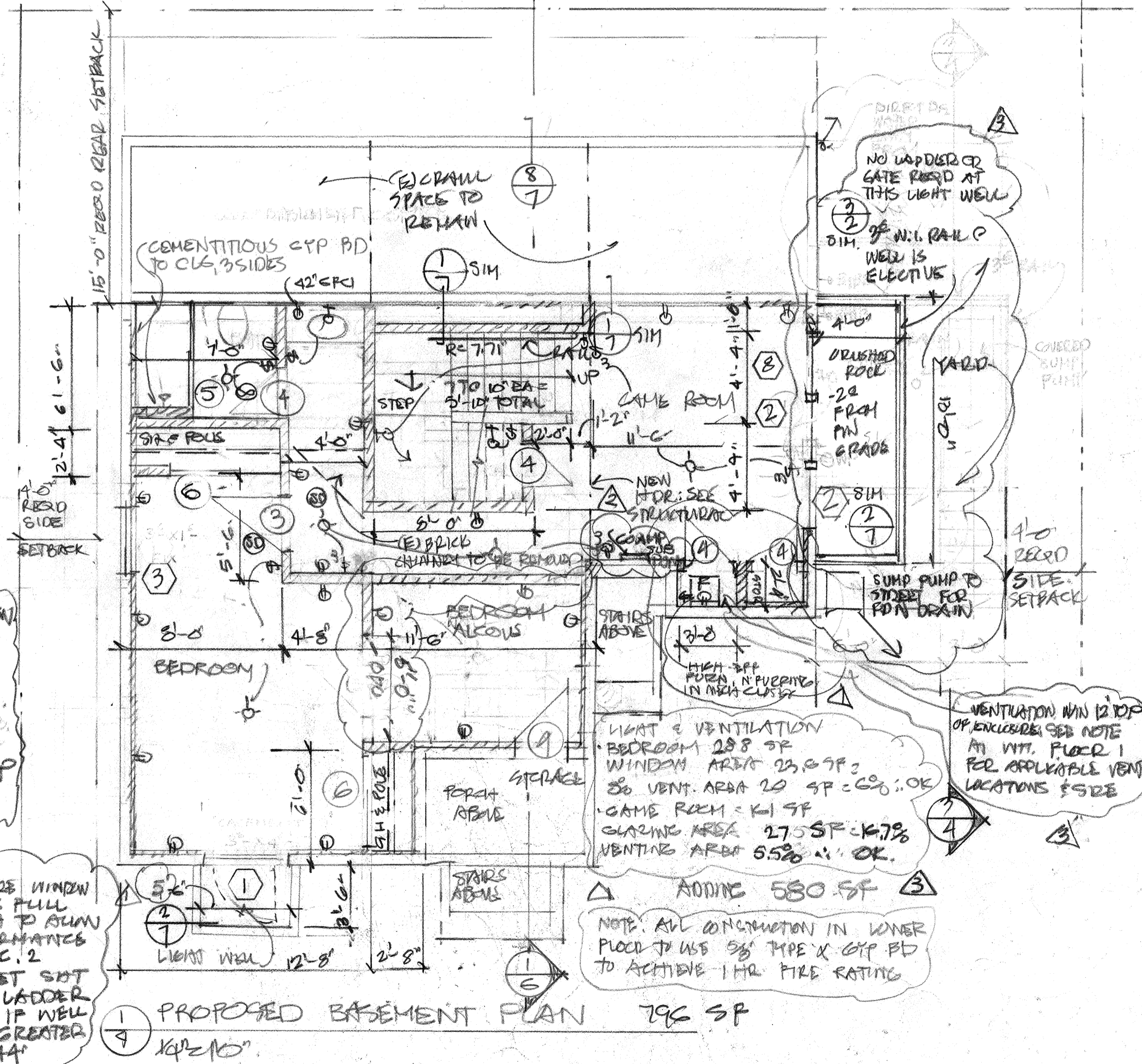
NO	SIZE	TYPE	GLAZING	MATERIAL	REMARKS
1	3' x 4'	CASE	DBL	WD/CLAD	EXIST
2	3' x 4'	FIXED	DBL	WD/CLAD	
3	3' x 12'	FIX	DBL	"	
4	2' x 4'	GH	"	"	*
5	"	"	"	"	*
6	10' x 15'	"	"	"	*
7	3' x 4'	"	"	"	TEMP GLASS
8	3' x 2'	CASE	"	"	

VENTING LOUVERS AS REQ'D BY GAS MFG

\* NO FRAMING CHANGE, VIF WINDOW SIZE, REPLACE IN LIKE KIND  
\*\* WINDOW MIN CLEAR WIDTH 26". AREA OF WINDOW EXCEEDS 9' SO SEE DET SHT'S FOR LIGHT WELL LADDER REETS IF WELL EXCEEDS 4' IN DEPTH.



EXIST FIN PLAN  
4/21/10



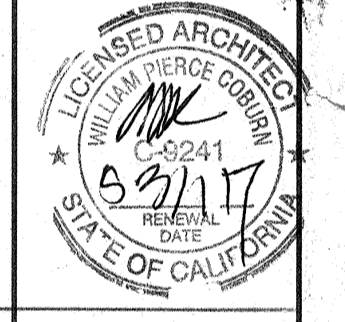
NOTE: SLAB CONSTRUCTION REFER TO STRUCTURAL DRAWINGS. PROPOSED CONC. SLAB W/ #4 BARS MIN 4" B.A. 0/2" SAND O/ 6" MIN W/ MEMB W/ NO LESS THAN 2" LAP O/ 4" CRUSHD ROCK

EMBRSE WINDOW OPENING FULL WIDTH TO SLURR COMPLIANCE W/ CPC. 2  
SEE DET SHT 6 FOR LADDER REQ'D IF WELL DEPTH GREATER THAN 4'

NOTE: ALL CONSTRUCTION IN LOWER FLOOR TO USE 3/8" PIPE X CYP PD TO ACHIEVE 1-HR. FIRE RATING

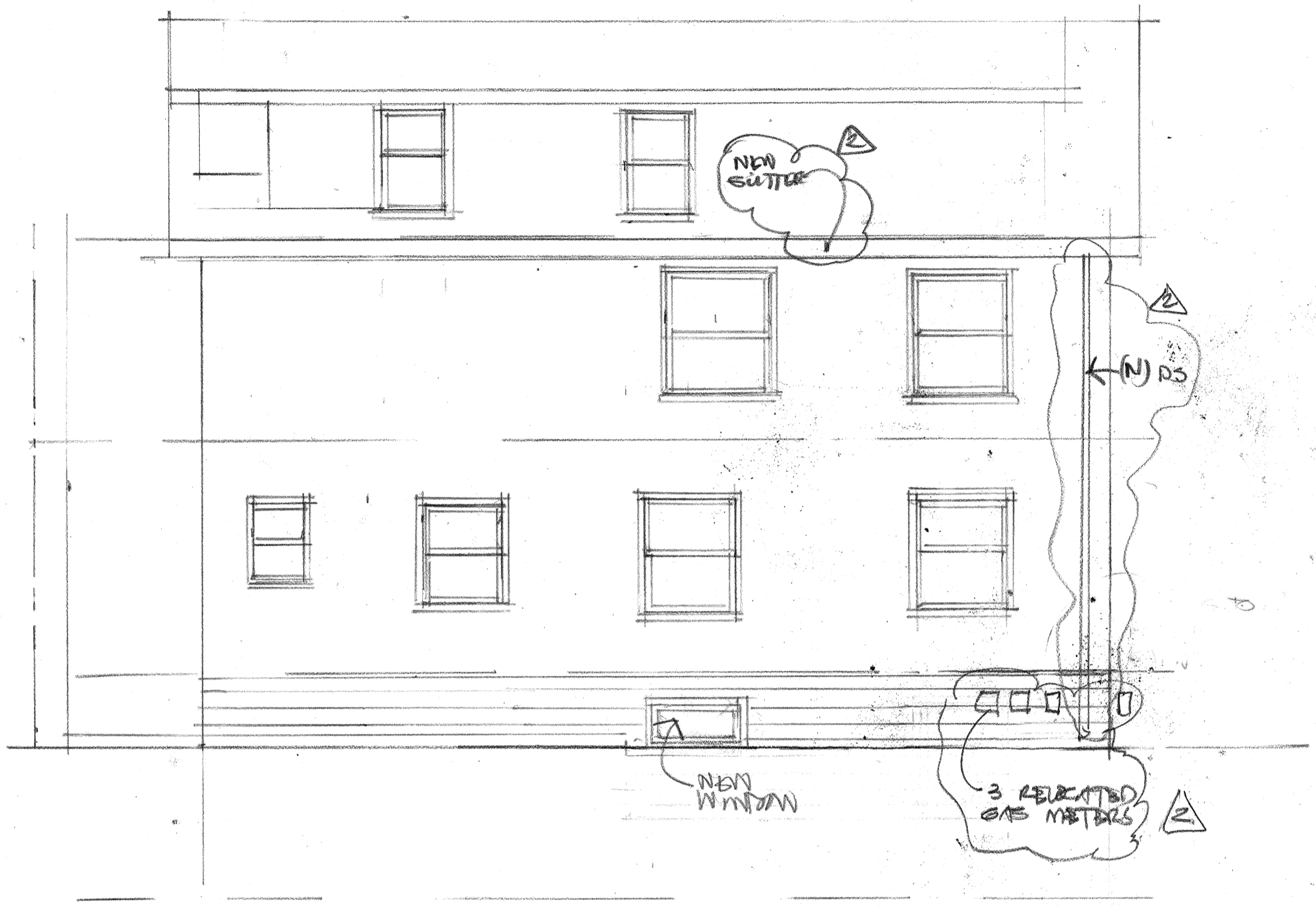
REVISIONS	BY
1	12/21/10
2	2/18/11
3	4/24/11

WILLIAM P. COBURN ARCHITECT  
510-893-8876  
1224 CENTER ST  
OAKLAND CA 94607  
wpcoburn@pacbell.net

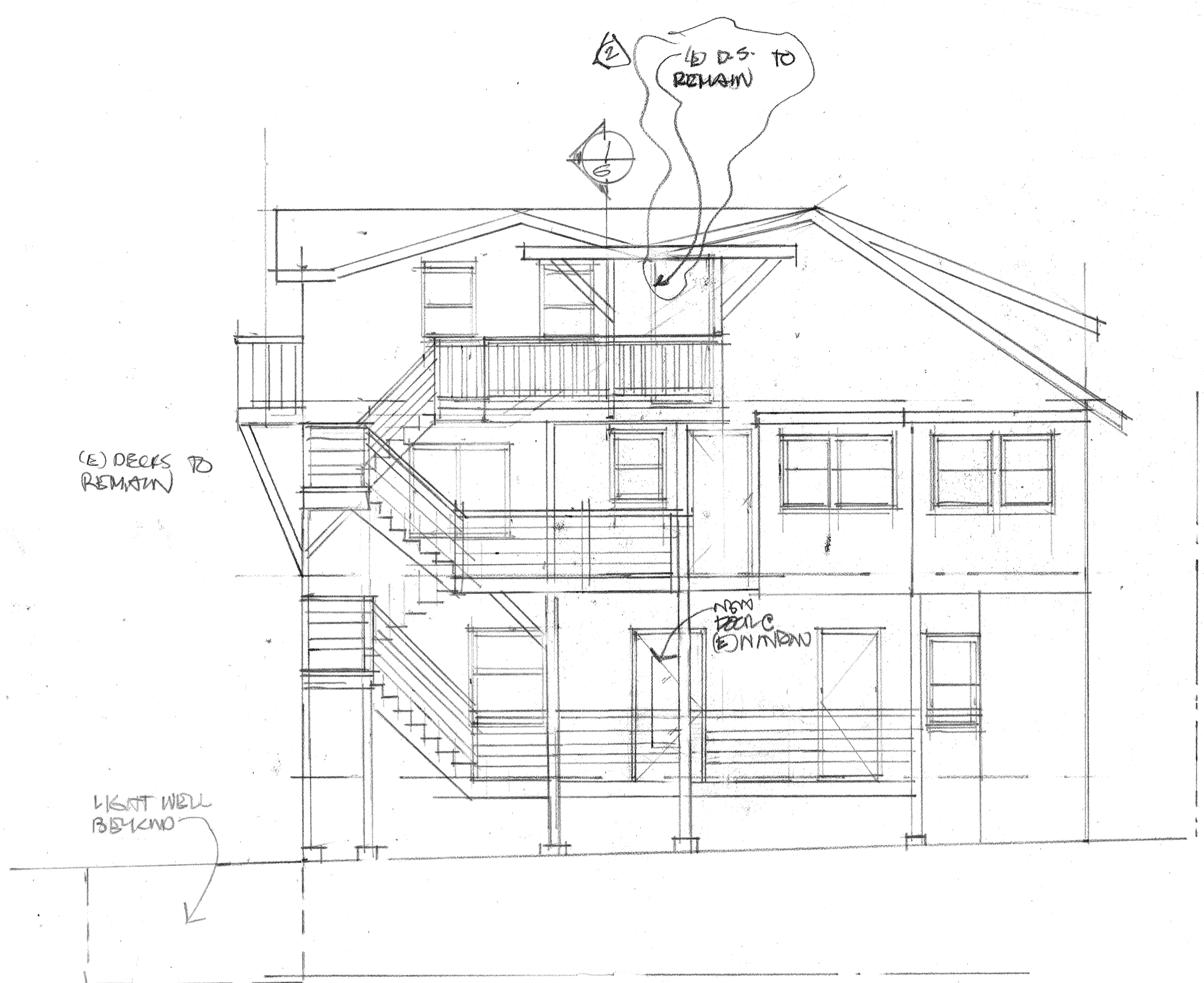


NEW FOUNDATION UNIT RECONFIGURATION AT:  
DECK FOUN. UNIT RECONFIGURATION AT:  
DATE: 12/21/10  
SCALE:  
DRAWN:  
JOB:  
SHEET:  
164  
OF SHEETS

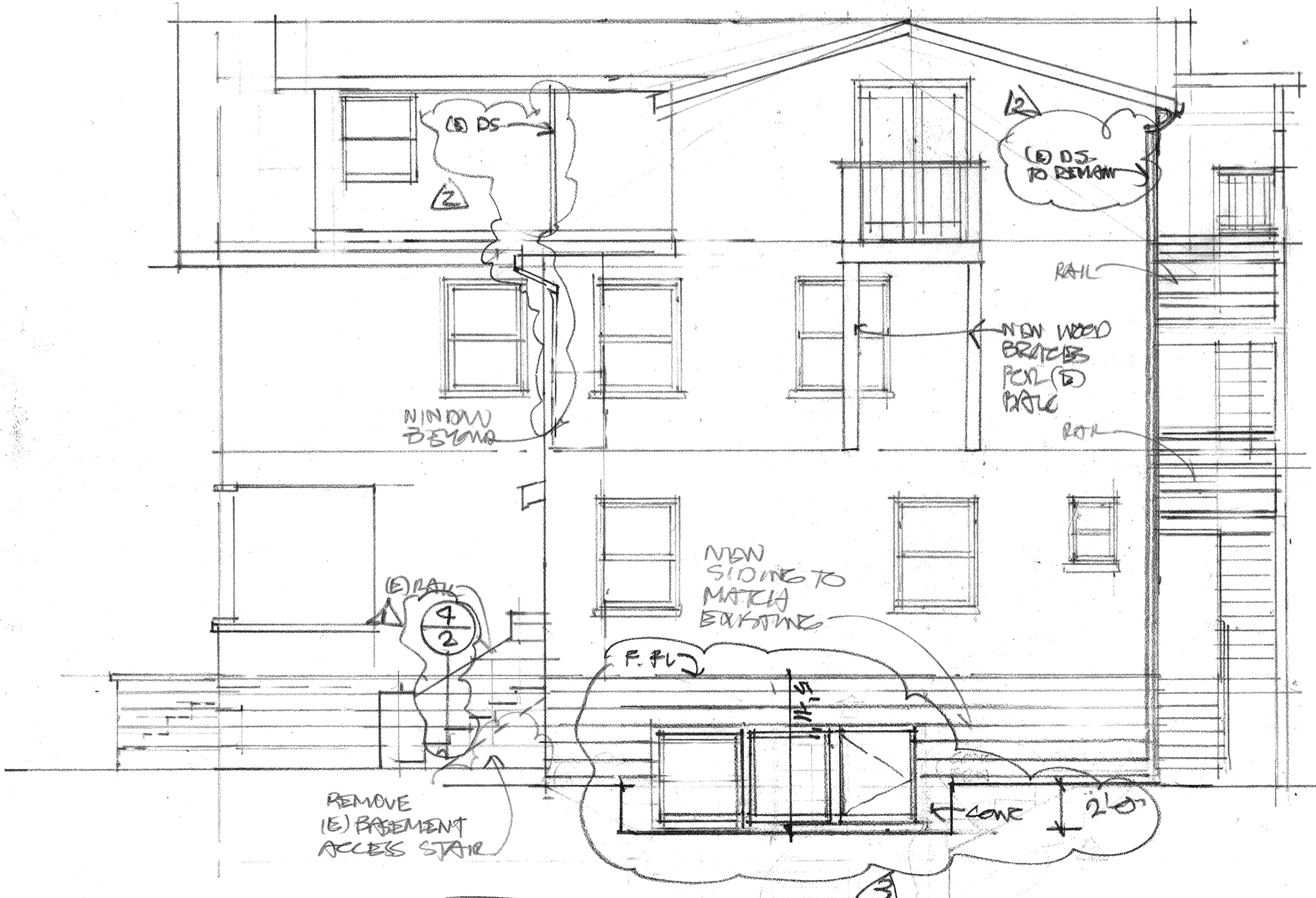




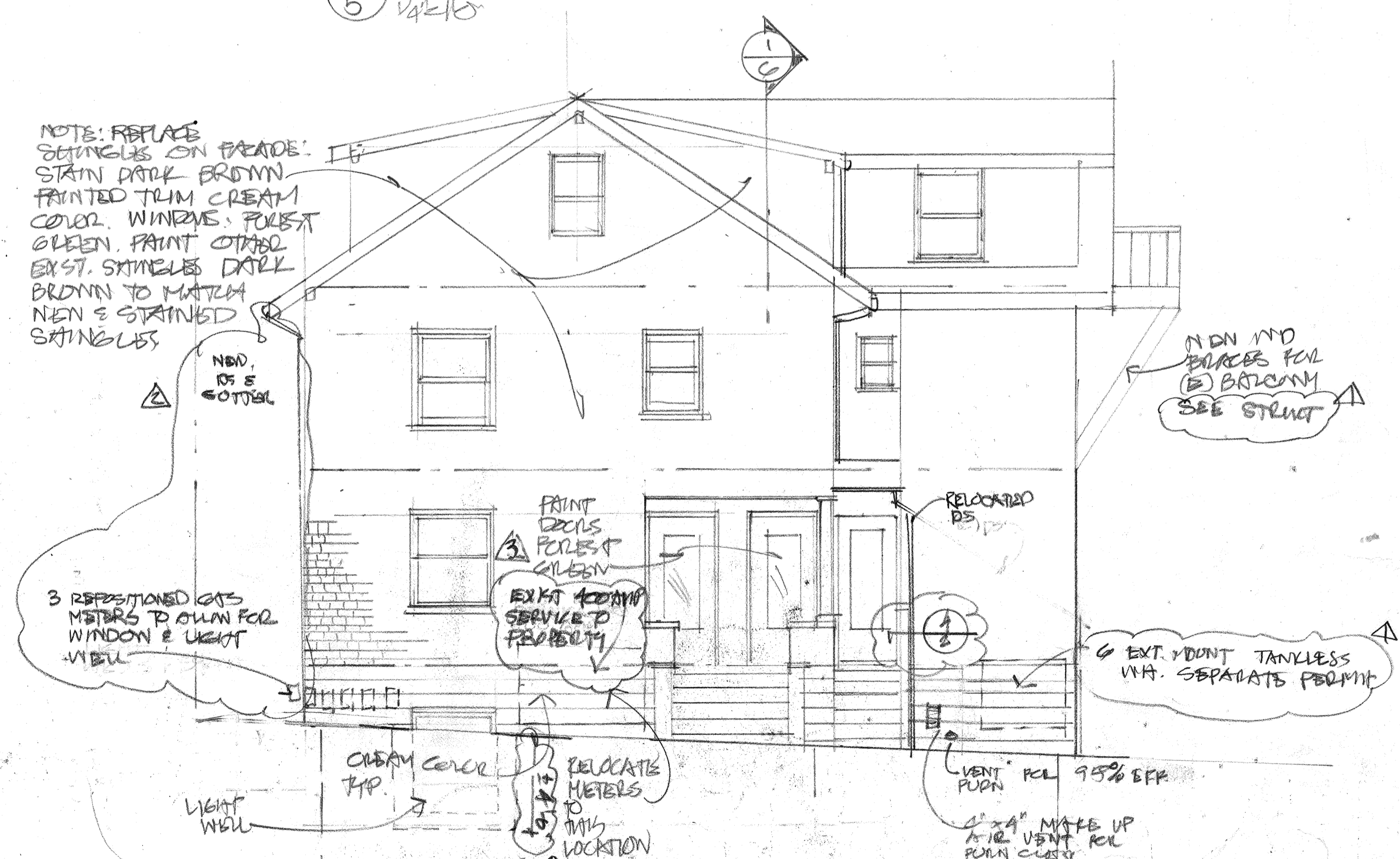
4 EAST SIDE ELEVATION  
5 1/4"=1'-0"



3 REAR/SOUTH ELEVATION  
5 1/4"=1'-0"



2 WEST SIDE ELEVATION  
5 1/4"=1'-0"

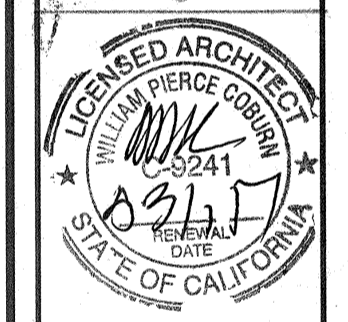


1 FRONT/NORTH ELEVATION  
5 1/4"=1'-0"

REVISIONS	BY
1	12.17
2	2.23.19
3	7.26.19

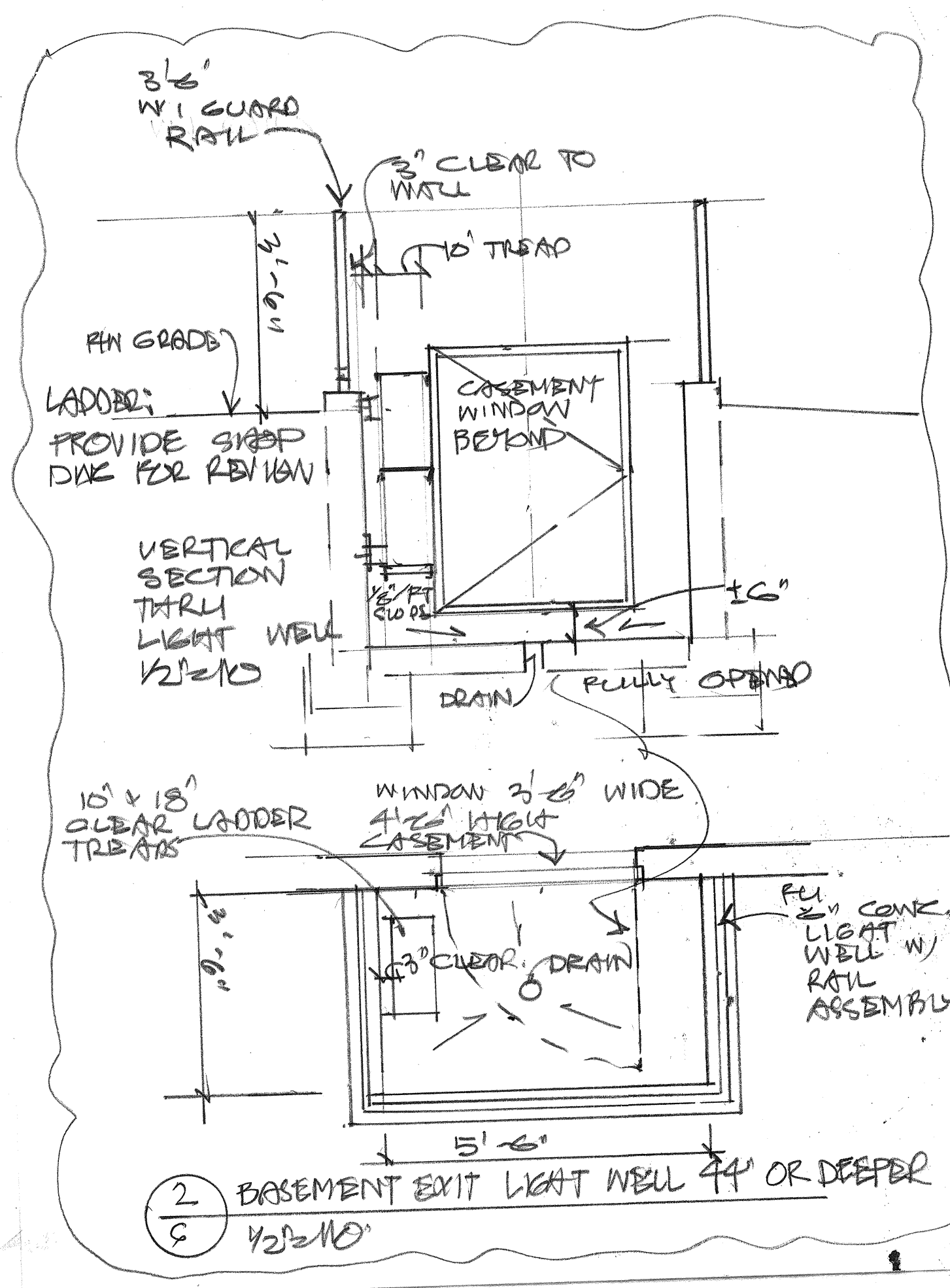
510.893.8825  
510.463.8627  
FAX 510.757.4085  
CELL 510.757.4085  
wpc@wpcarchitects.net

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OAKLAND CA 94607

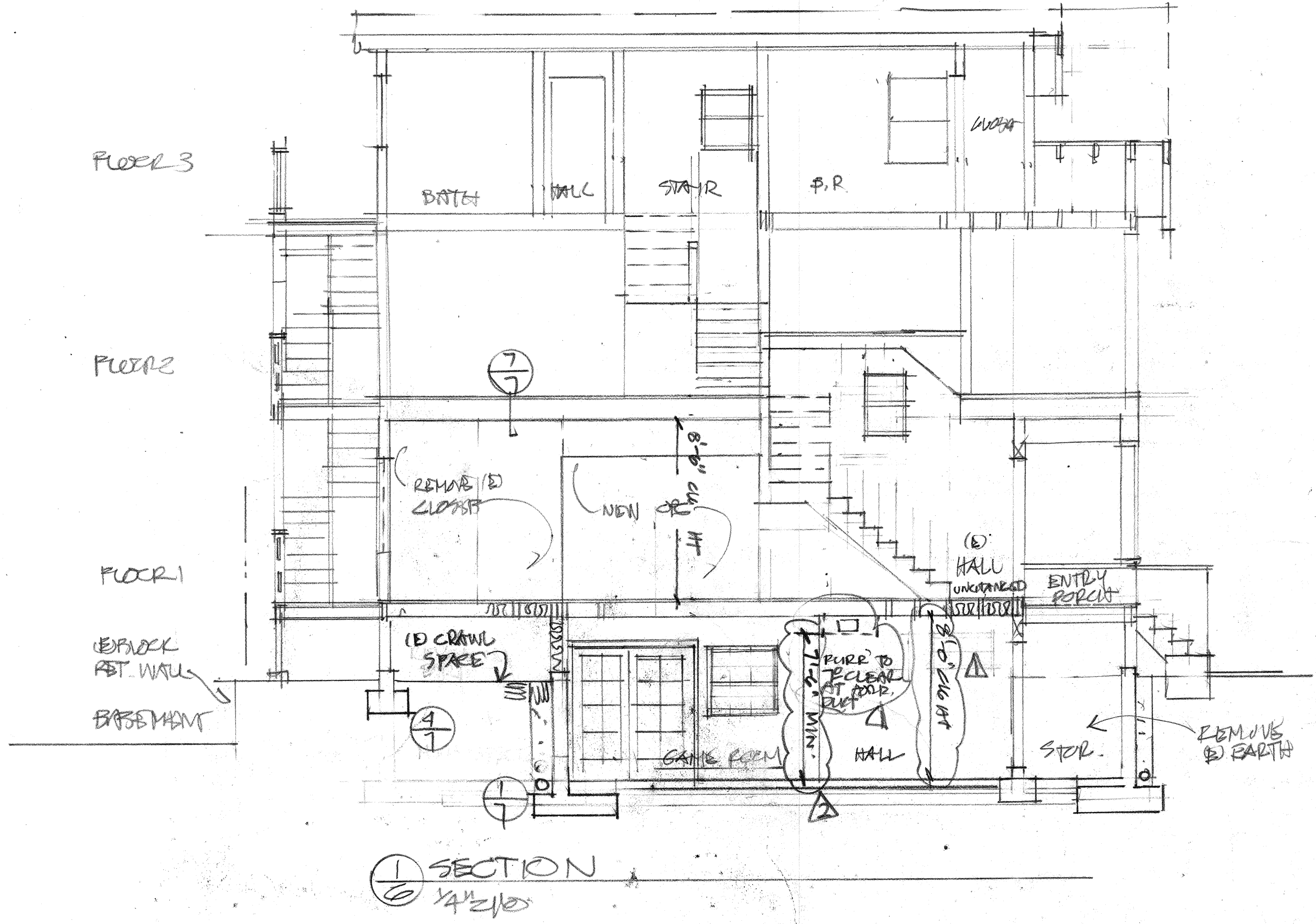


NEW FOUNDATION S UNIT 1 RECONSTRUCTION AT:  
2224 PIERCE ST  
BERKELEY CA  
FOR: EVERETT PROPERTIES  
2278 SHUTLOCK ST  
BERKELEY CA 94704

Date: 12/16  
Scale:  
Drawn:  
Job:  
Sheet: 5  
Of: 16 Sheets

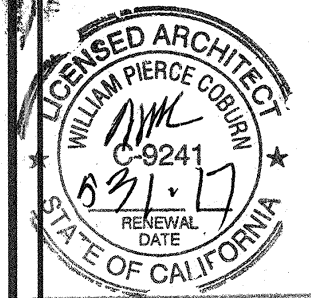


CEILING HEIGHT NOTE: UPPER EXIT FLOOR 8'-6", LOWER FLOOR 8'-0". ALL ROOMS TO ACHIEVE THIS HEIGHT.



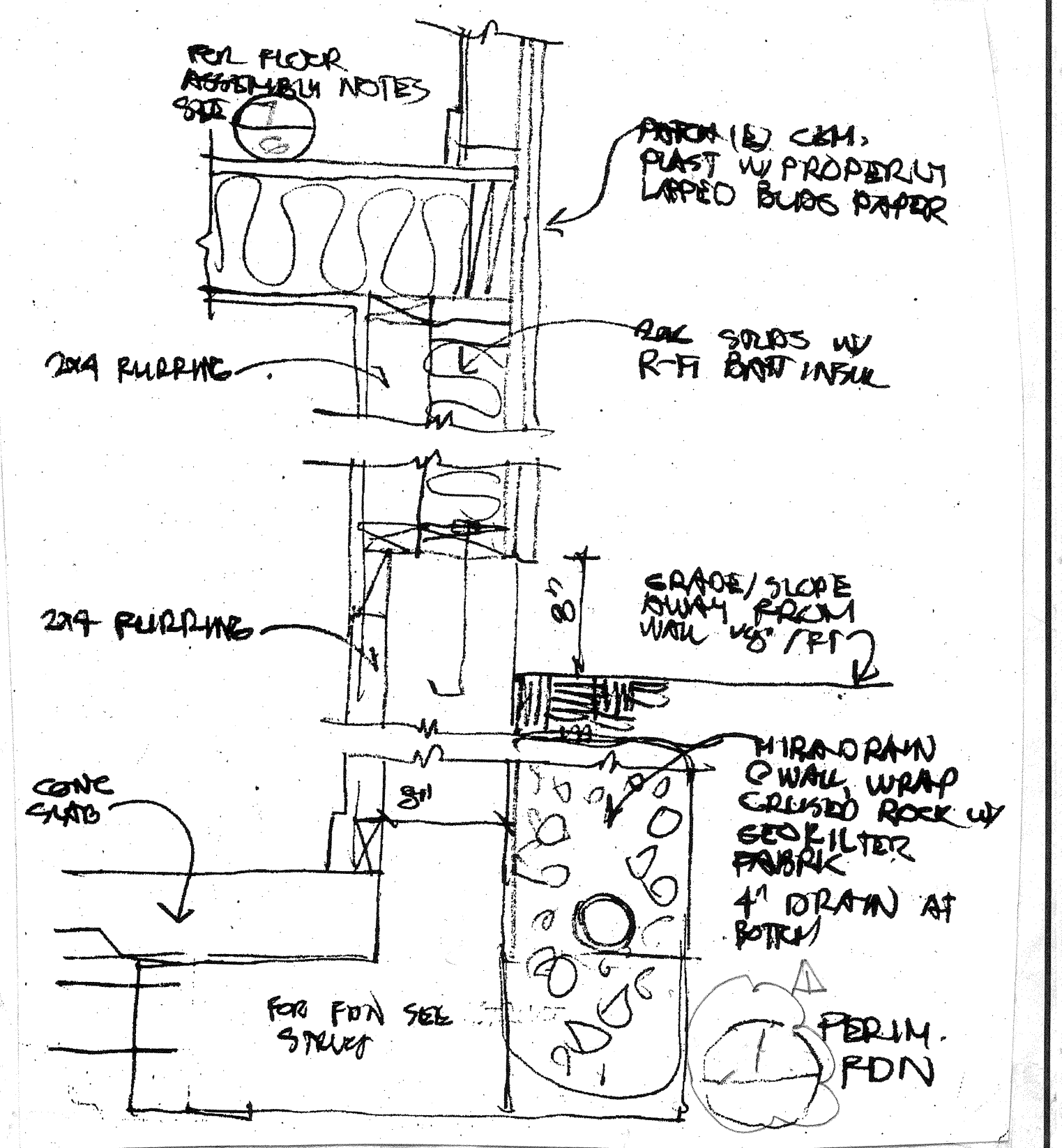
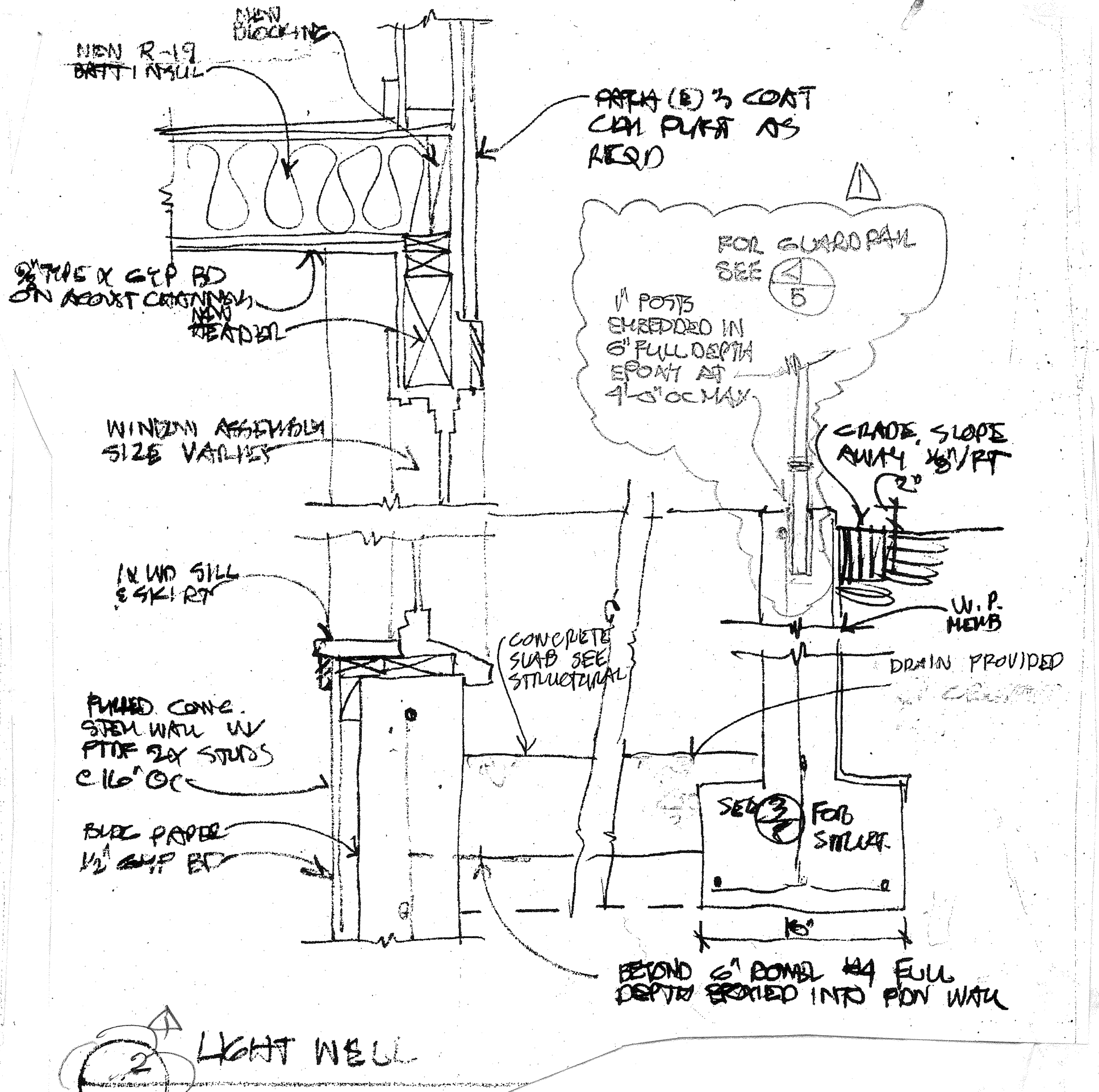
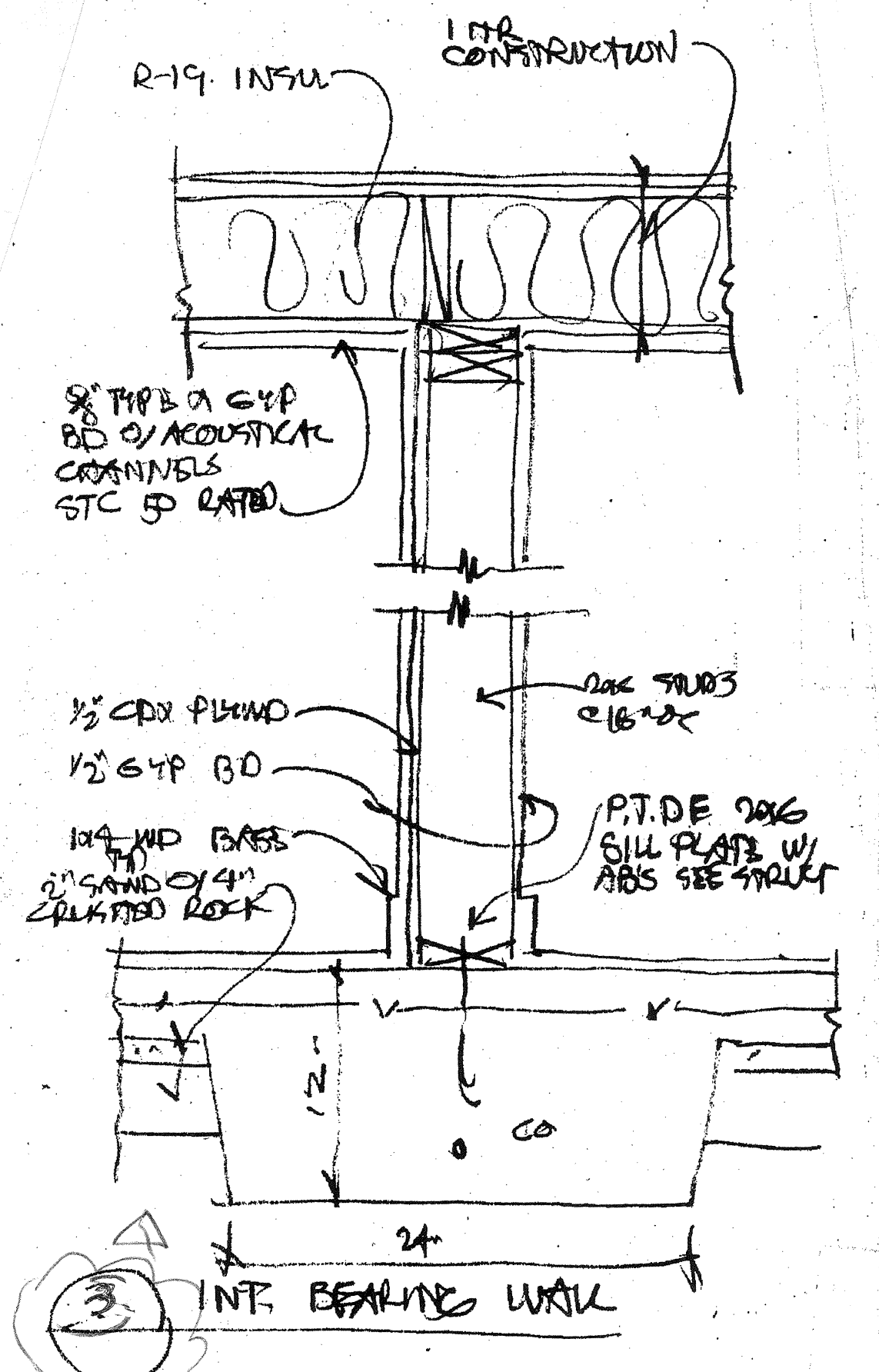
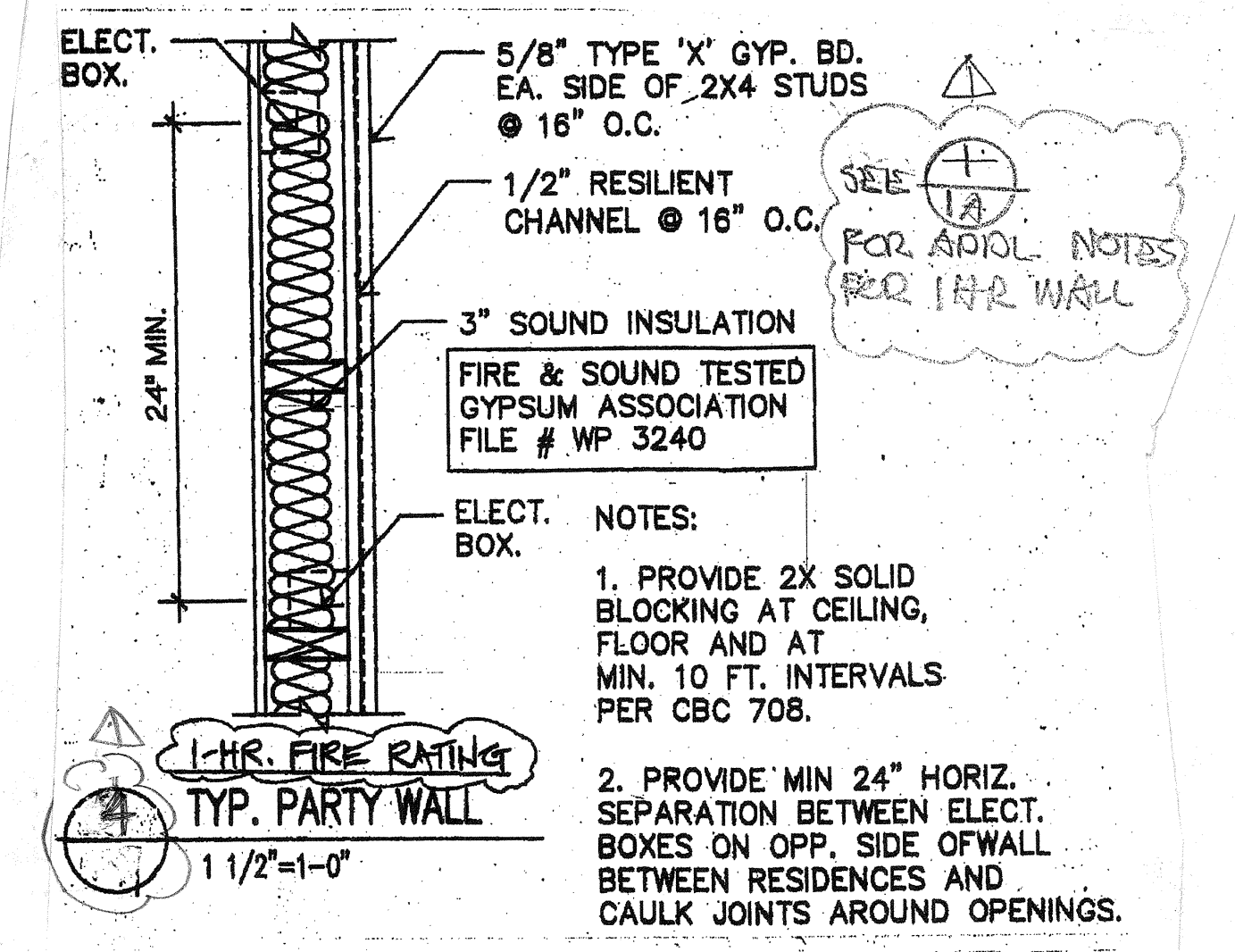
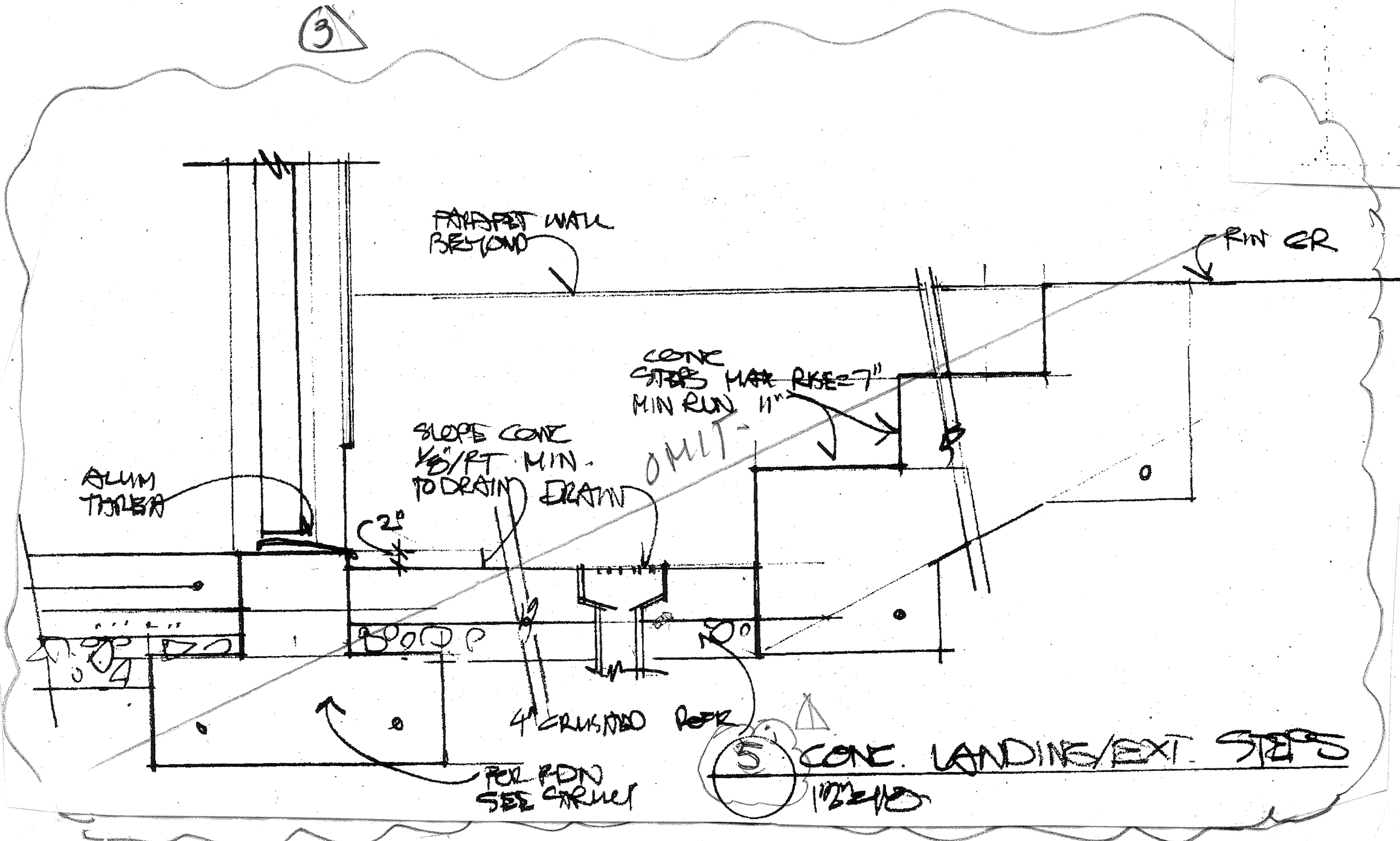
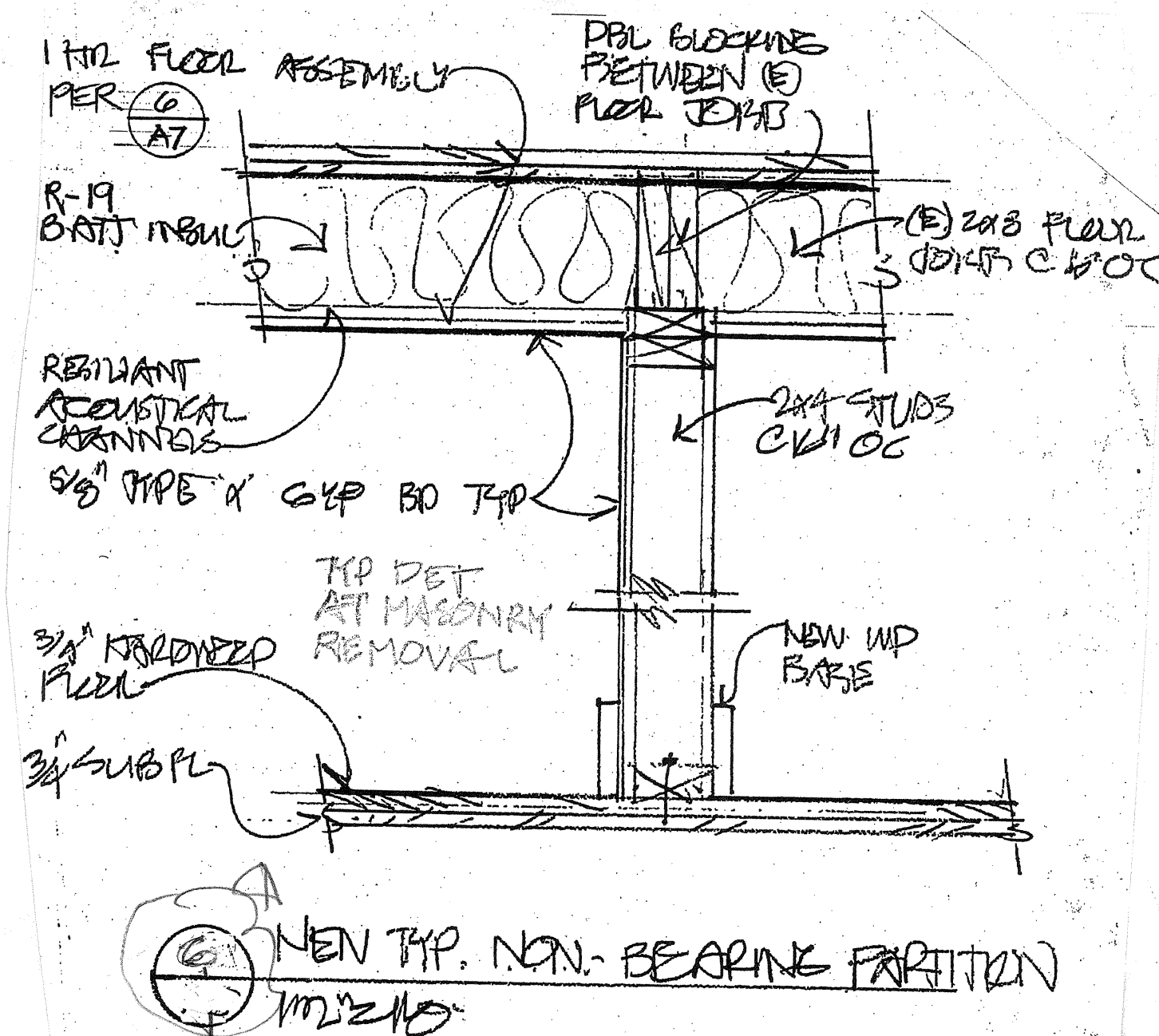
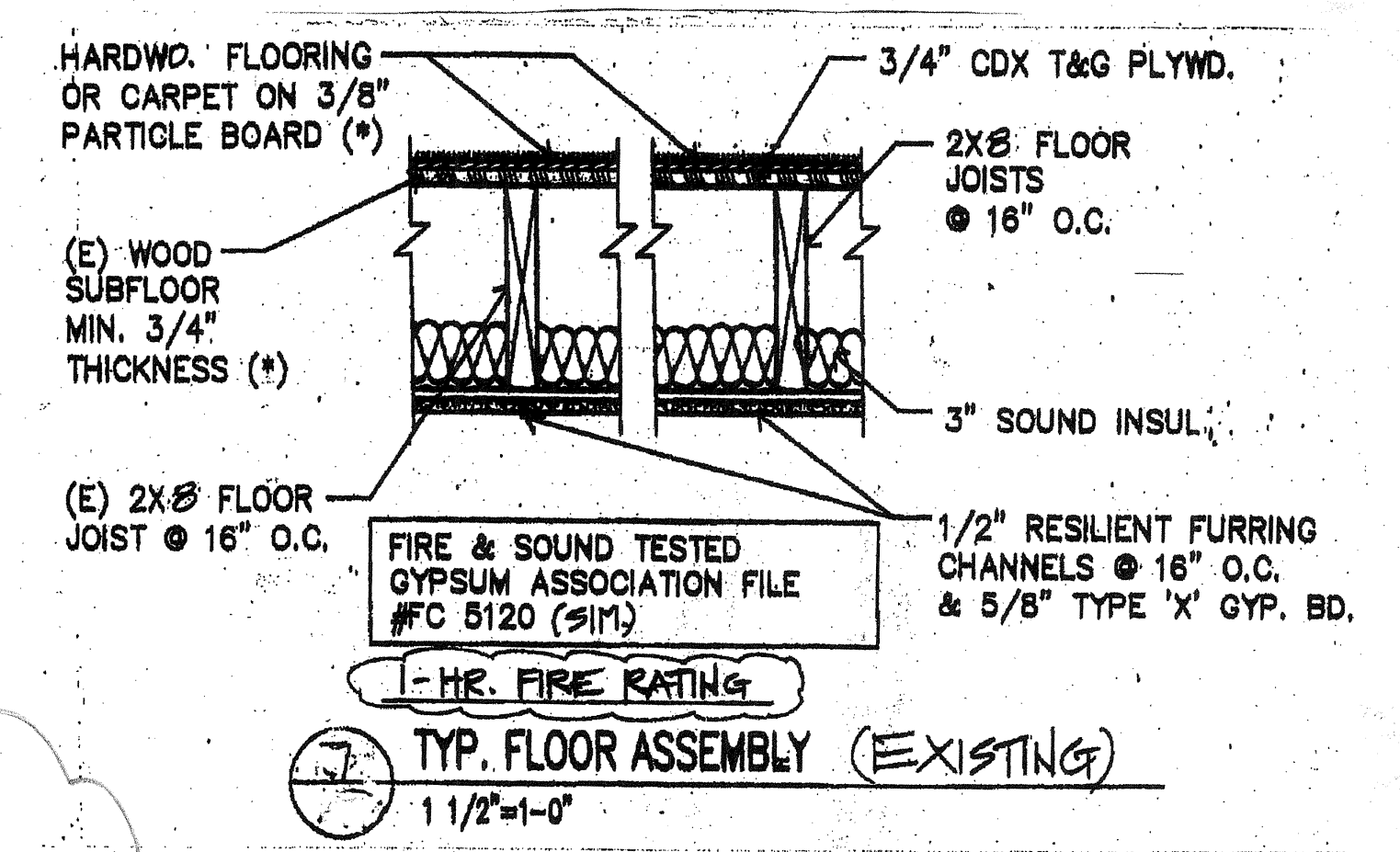
REVISIONS	BY
1	
2	2/28/19

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 1241 CENTER ST FAX 510.465.2537  
 OAKLAND CA 94607 CELL 510.757.4085  
 wpc@wpcarc.com



NEW FOUNDATION E UNIT RECONFIGURATION AT:  
 2234 MARSH ST  
 BERKELEY CA  
 PROJ: EQUEST PROPERTIES  
 0078 SUGARTUCK AVE  
 BERKELEY CA 94704

Date: 12/21/16  
 Scale:  
 Drawn:  
 Job:  
 Sheet:  
 166  
 Of 166 Sheets



REVISIONS	
1	18.18
2	4.26.19
3	8.22.19
4	8.23.19
5	8.23.19
6	8.23.19
7	8.23.19
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45	8.23.19
46	8.23.19
47	8.23.19
48	8.23.19
49	8.23.19
50	8.23.19

WILLIAM F. CORLON ARCHITECTS 910.873.8026  
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OAKLAND CA 94607  
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wfc@wfcarch.com

DATE: 8/23/19  
SCALE:  
DRAWN:  
JOB:  
SHEET: 7  
SHEETS: 19

2013 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes measures for lighting, HVAC, and energy efficiency.

2013 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes measures for ducts and fans, fireplaces, and water heating.

2013 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes measures for building envelope, fenestration, and HVAC systems.

RESIDENTIAL MEASURES SUMMARY

Summary table for residential measures including project name, location, and various energy metrics like heating, cooling, and water heating.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Unit 1 Addition Remodel  
Calculation Date/Time: 14:40, Fri, Dec 09, 2016  
Input File Name: coburn 2234 haste unit1.ridx

HERS Feature Summary table showing energy use, lighting, and HVAC details.

ENERGY DESIGN RATING table showing energy use, lighting, and HVAC details.

Building - Features Information table showing project name, conditioned floor area, and number of dwelling units.

Zone Information table showing zone name, zone type, and HVAC system name.

Energy Use Summary table showing energy use for space heating, space cooling, and other systems.

CF1R-PRF-01  
Page 2 of 7

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Unit 1 Addition Remodel  
Calculation Date/Time: 14:40, Fri, Dec 09, 2016  
Input File Name: coburn 2234 haste unit1.ridx

GENERAL INFORMATION table showing project name, location, and standards version.

COMPLIANCE RESULTS table showing building compliance with computer performance.

ENERGY USE SUMMARY table showing energy use for space heating, space cooling, and other systems.

Building - Features Information table showing project name, conditioned floor area, and number of dwelling units.

Zone Information table showing zone name, zone type, and HVAC system name.

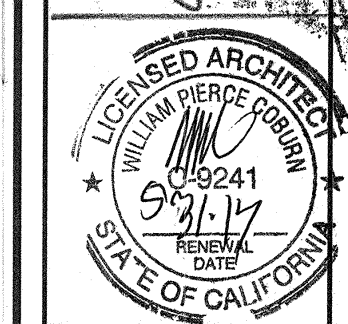
Energy Use Summary table showing energy use for space heating, space cooling, and other systems.

CF1R-PRF-01  
Page 1 of 7

2013 Low-Rise Residential Mandatory Measures Summary

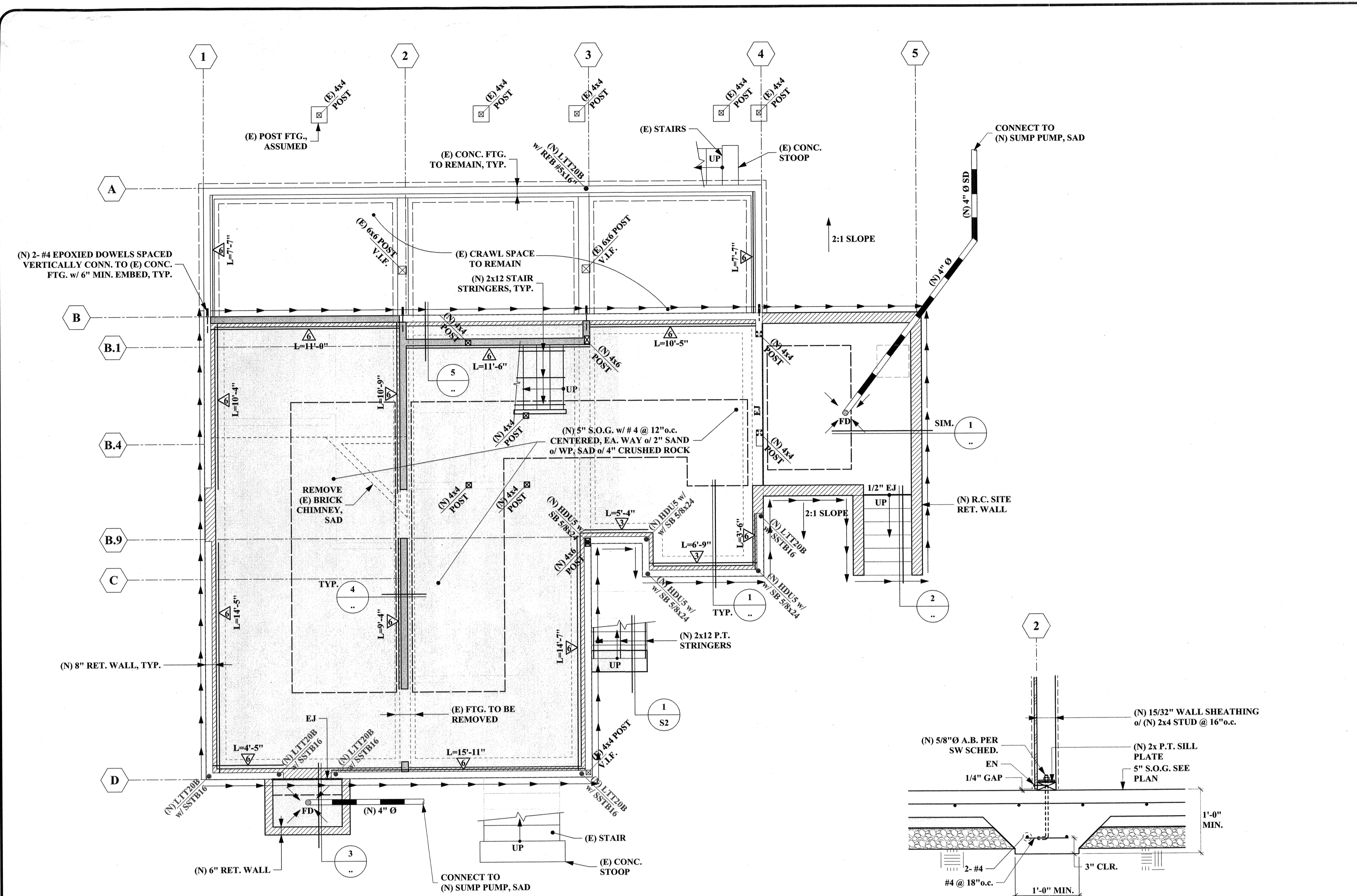
Table with 2 columns: Measure ID and Description. Includes measures for photocontrol, outdoor lighting, and solar ready buildings.

REVISIONS BY table with handwritten notes and dates.



Vertical text on the right side of the page, including project name and location: 'NEW FOUNDATION UNIT 1 RECONSTRUCTION AT 2234 HASTE ST, BERKELEY, CA 94704'.

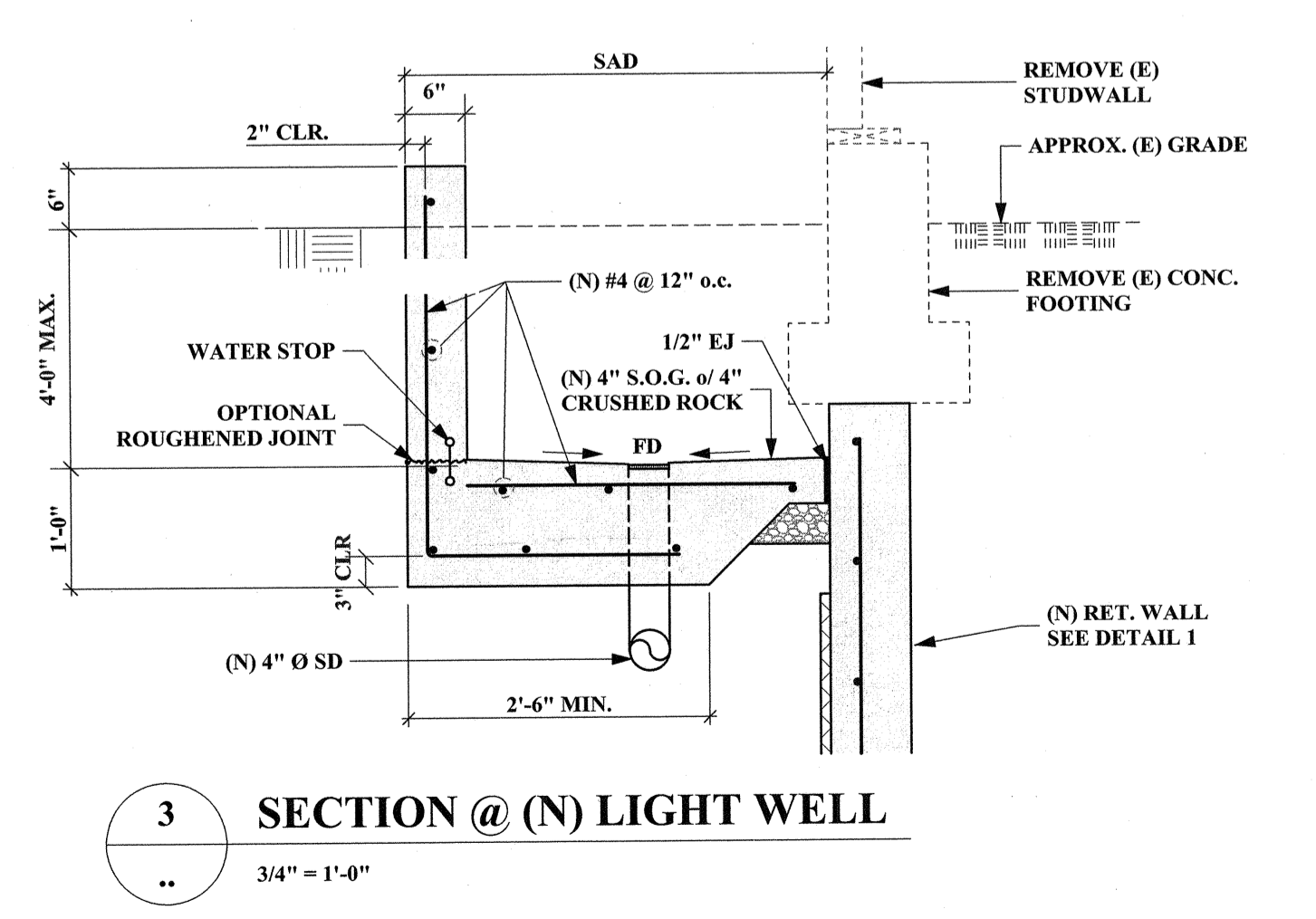
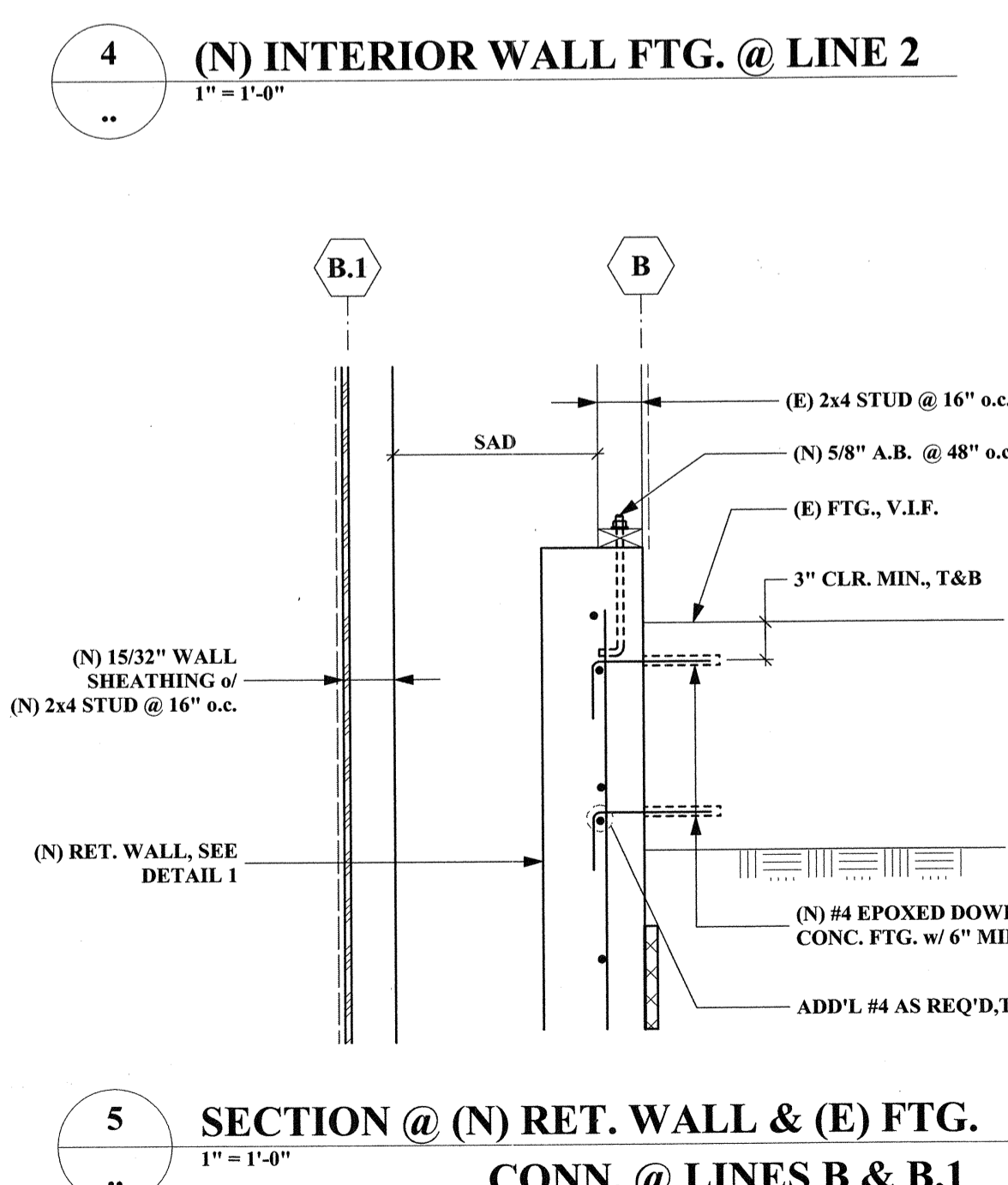
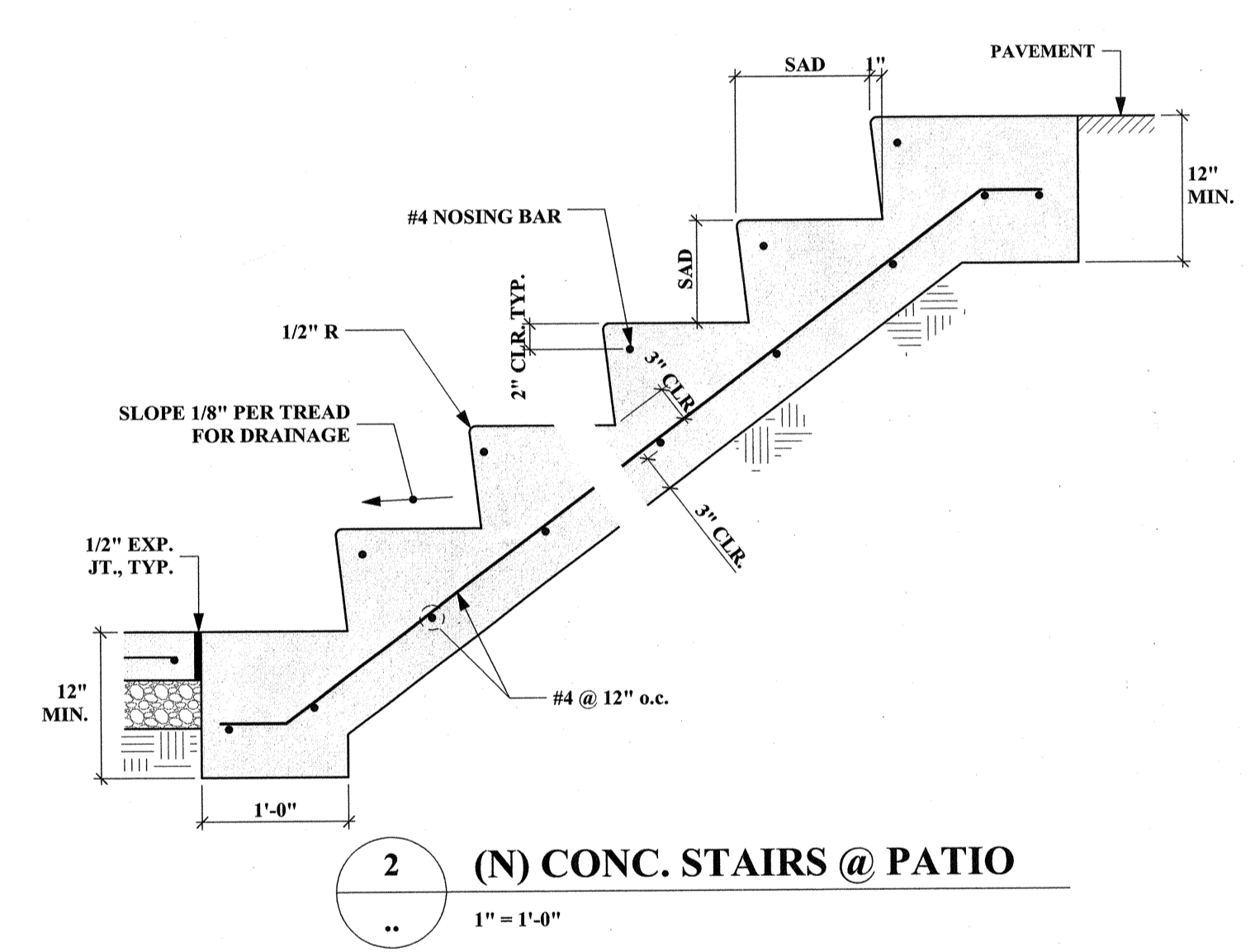
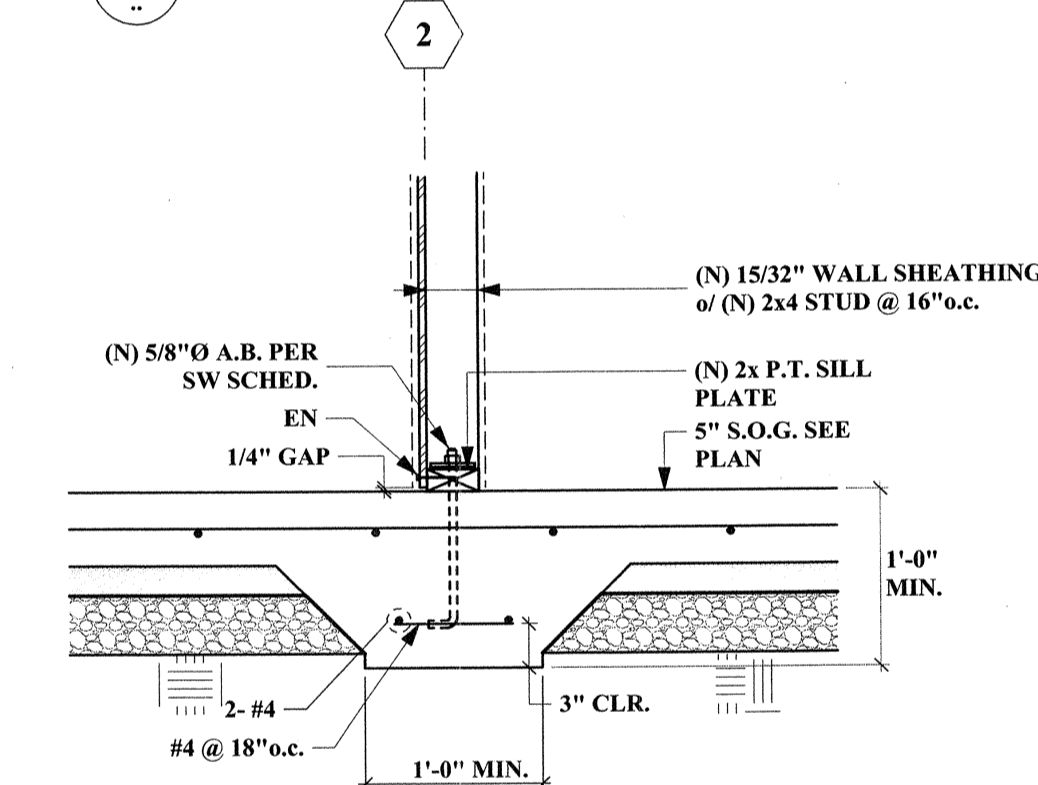
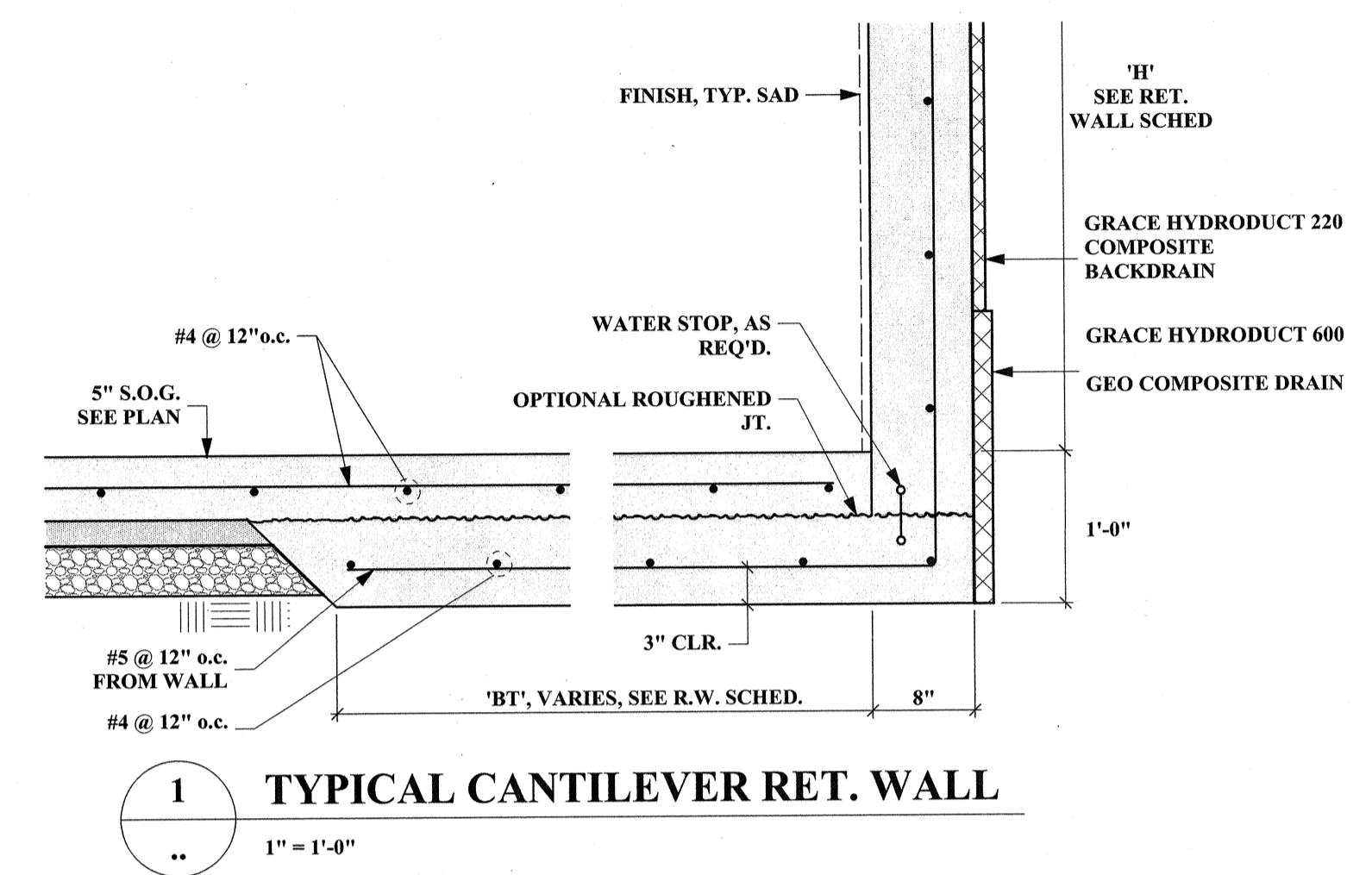




**BASEMENT & FOUNDATION PLAN**  
1/4" = 1'-0" NOTE: 5/8" Ø RFB ANCHORS, LTT208, SHALL BE TENSION TESTED TO 2500 LB.

**RET. WALL SCHEDULE**

WALL LOCATION	WALL HEIGHT 'H', FT.	FTG. LENGTH 'BT', FT.
HOUSE	> 4'-6" ≤ 6'-6"	4'-9"
SITE	> 4'-0" ≤ 6'-0"	3'-9"
	> 2'-0" ≤ 4'-0"	2'-0"
	≤ 2'-0"	1'-0"



**LEGEND**

- (N) CONC. AREA
- (N) 8" RET. WALL
- (N) STRUCTURAL WALL ABOVE
- (E) STRUCTURAL WALL ABOVE
- (N) SHEARPLY w/ (N) STRUCTURAL WALL ABOVE
- (N) SHEARPLY w/ (E) STRUCTURAL WALL ABOVE
- V.I.F. VERIFY IN FIELD
- GRACE HYDRODUCT COMPOSITE BACKDRAIN SYSTEM
- 4" Ø SDR 35 PVC STORM DRAIN. PROVIDE 1'-0" MIN. COVER, & INSTALL w/ 1/8" / FT MIN. GRADIENT.
- FD FLOOR DRAIN

**SHEAR WALL SCHEDULE**

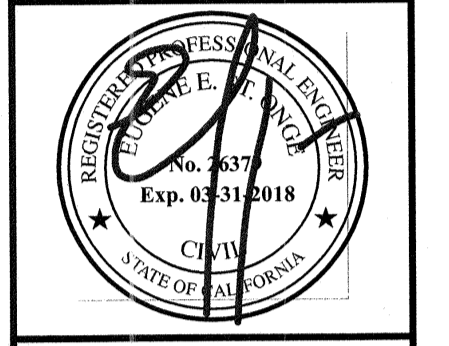
WALL MARK	ALLOWABLE SHEAR LOAD (PLF)	EDGE NAILING	SIMPSON CLIP SIZE & SPACING	SILL PLATE NAILING SIZE & SPACING	ANCHOR BOLTS SPACING (NOTE 7)
▽	310	10d @ 6" o.c.	A35 @ 16" o.c. OR LTP4 @ 24" o.c.	SDS25600 @ 12" o.c.	48" o.c.
▽	600	10d @ 3" o.c.	A35 @ 8" o.c. OR LTP4 @ 12" o.c.	SDS25600 @ 6" o.c.	30" o.c.

- NOTES:**
- SHEATHING: 15/32" DOUGLAS FIR APA EXTERIOR, EXPOSURE 1, RATED SHEATHING IN CONFORMANCE WITH THE U.S. COMMERCIAL STANDARDS PS-1. AT CONTRACTOR'S OPTION, SHEATHING MAY BE INSTALLED ON OPPOSITE SIDE OF WALL AS INDICATED.
  - STUDS SHALL BE AT 16" O.C. MAXIMUM
  - FIELD NAILING SHALL BE 12" O.C.
  - BLOCK & NAIL ALL SHEATHING EDGES.
  - ALL SHEATHING SHALL BE SPLICED AT CENTERLINE OF FRAMING OR BLOCKING.
  - USE 3x OR DBL 2x's MIN. AT FOUNDATION SILL PLATE AND FOR ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS WHERE ALLOWABLE SHEAR VALUES EXCEED 350 PLF. ALL EDGE NAILING AT ADJOINING PANEL EDGES SHALL BE STAGGERED.
  - ALL WET SET ANCHOR BOLTS SHALL BE 5/8" Ø x 12" w/ 7" MIN. EMBEDMENT AT CONTRACTORS OPTION, 5/8"x8" TITEN HD MAY SUBSTITUTE FOR ANCHOR BOLTS SHOWN, PROVIDE THE SAME SPACING AS PER SCHEDULE. USE 3" SQ. x 1/4" PLATE WASHER w/ DIAGONALLY SLOTTED HOLE.
- \* PROVIDE 3x OR ADDITIONAL 2x NAILER AT SILL PLATE RECEIVING EDGE NAILING WHERE PANELS ARE APPLIED ON BOTH FACES.

**REVISIONS**

NO.	DESCRIPTION	BY

Engineer:  
**ST. ONGE & ASSOCIATES**  
CIVIL / STRUCTURAL ENGINEERING  
1934 Park Boulevard, Oakland, CA, 94606  
PH: (510) 444-1450  
Fax: 510.444.1738  
sgoeng@aol.com  
www.stongeassociates.com



Architect:  
William Coburn Architects  
c/o Stefan Menzi, Architect AIA  
1224 Center Street, Oakland, CA 94607  
phone (510) 893-8826  
fax (510) 465-2637  
wpcoburn@pacbell.net  
smenzi@pacbell.net

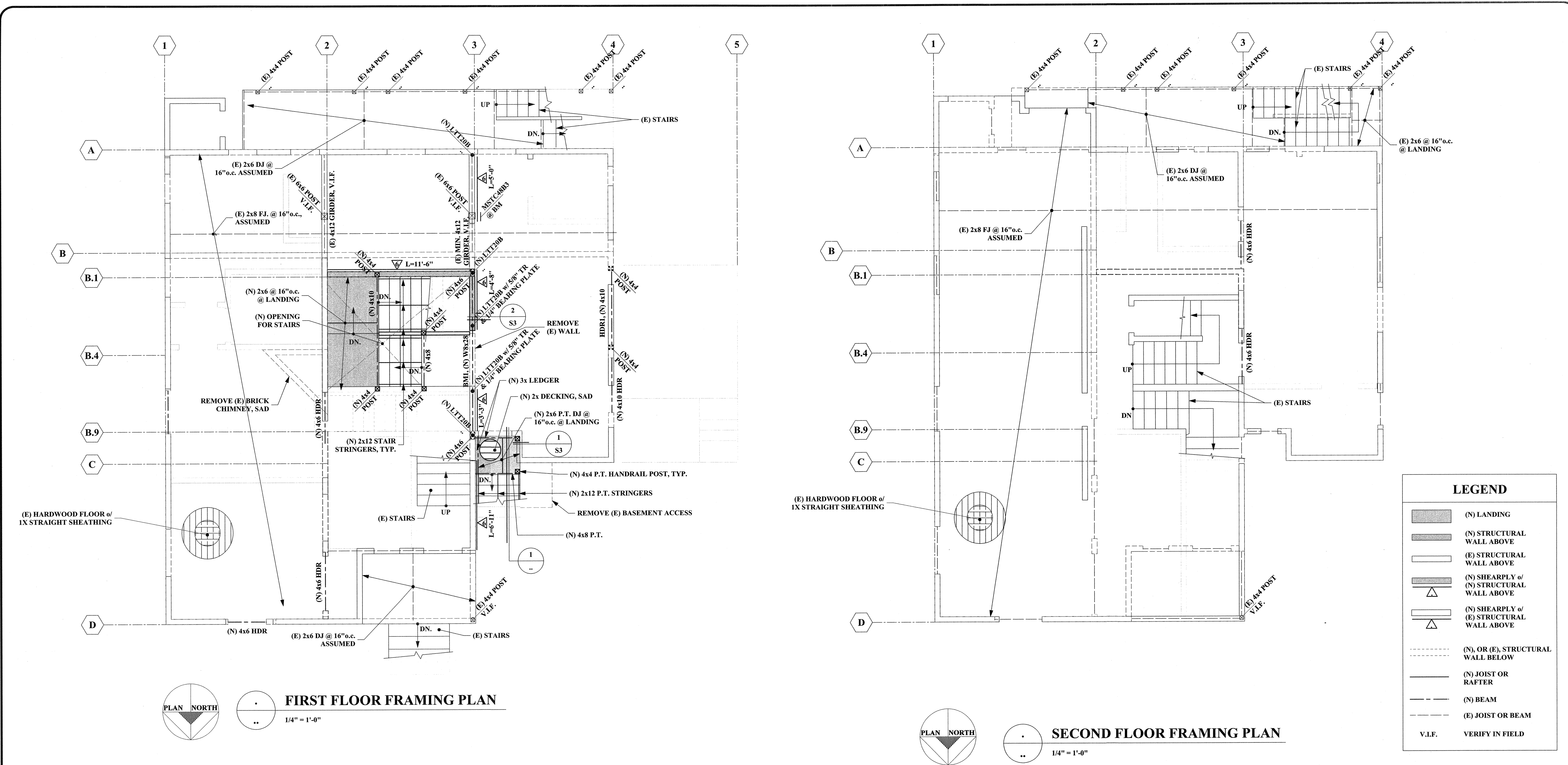
Client:  
L.B Reddy  
Everest Properties  
2278 Shattuck Ave.  
Berkeley, CA 94704

**New Basement Remodel**  
2234 Haste Street  
Berkeley, CA 94704

**BASEMENT & FOUNDATION PLAN, & DETAILS**

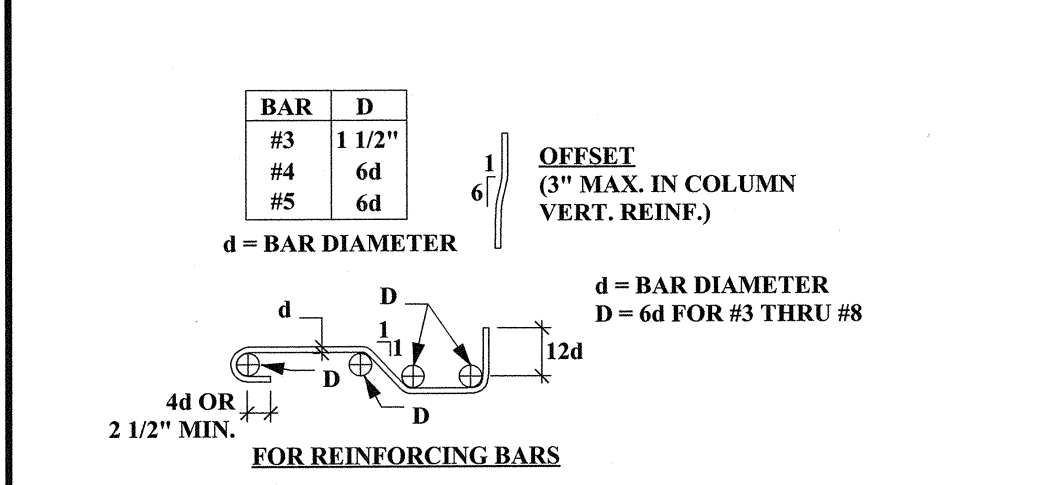
DRAWN: JAC & LBH  
CHECKED: GSO  
DATE: December 6, 2016  
SCALE: As Noted  
JOB: 1685  
SHEET

**S1**  
of 4 sheets



WALL MARK	ALLOWABLE SHEAR LOAD (PLF)	EDGE NAILING	SIMPSON CLIP SIZE & SPACING	SILL PLATE NAILING SIZE & SPACING
▽	310	10d @ 6" o.c.	A35 @ 16" o.c. OR LTP4 @ 24" o.c.	SDS25600 @ 12" o.c.

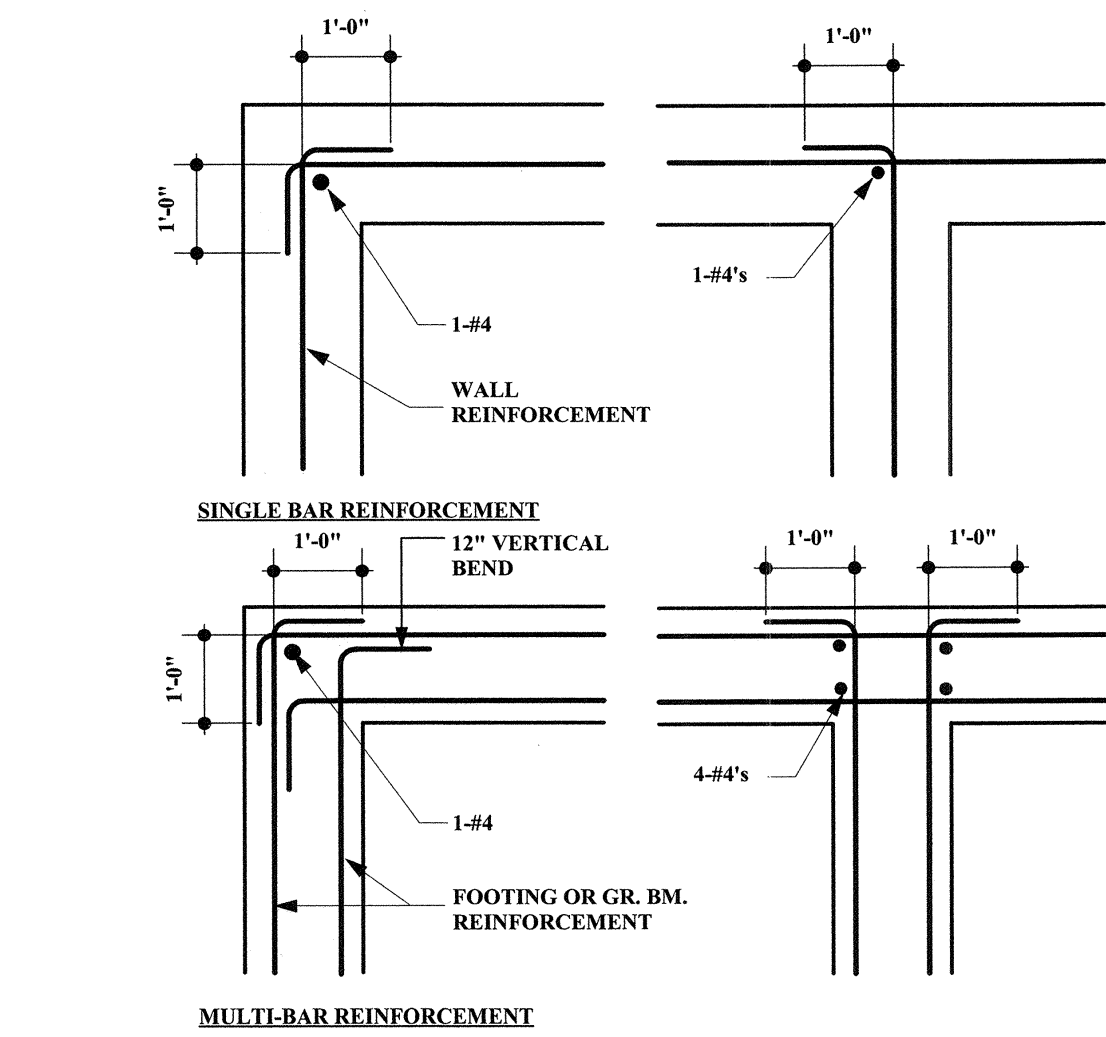
- NOTES:
1. SHEATHING: 1532" DOUGLAS FIR APA EXTERIOR, EXPOSURE 1, RATED SHEATHING IN CONFORMANCE WITH THE U.S. COMMERCIAL STANDARDS PS-1. AT CONTRACTOR'S OPTION, SHEATHING MAY BE INSTALLED ON OPPOSITE SIDE OF WALL AS INDICATED.
  2. STUDS SHALL BE AT 16" O.C. MAXIMUM
  3. FIELD NAILING SHALL BE 12" O.C.
  4. BLOCK & NAIL ALL SHEATHING EDGES.
  5. ALL SHEATHING SHALL BE SPLICED AT CENTERLINE OF FRAMING OR BLOCKING.



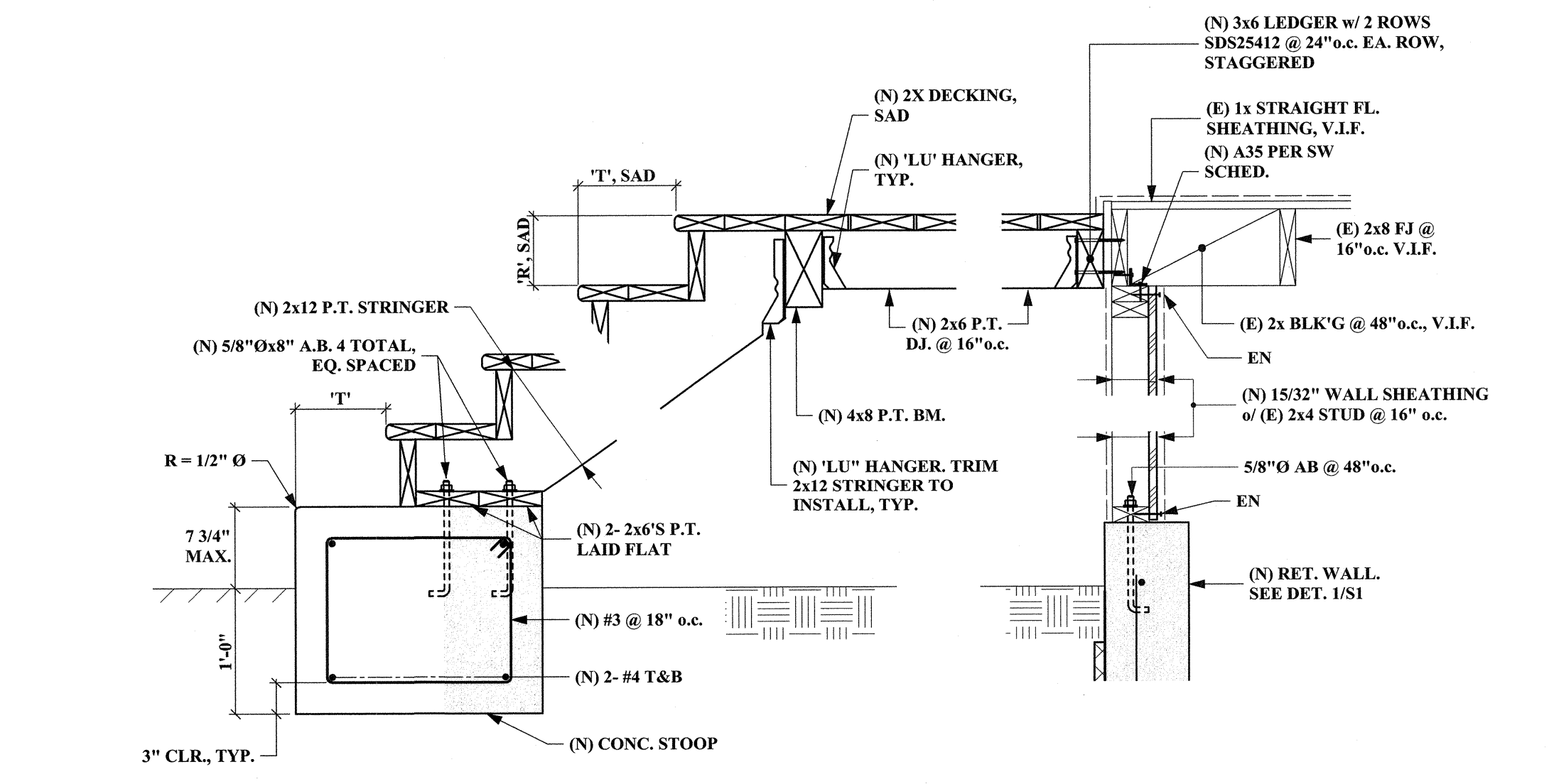
4 BAR BENDING DETAIL  
NOT TO SCALE

BAR SIZE	HARDROCK CONCRETE	
	HORIZ. SLAB BARS	GRADE BEAMS
#3	25"	31"
#4	32"	41"
#5	40"	52"

3 TENSION LAP SPlice SCHEDULE  
NTS



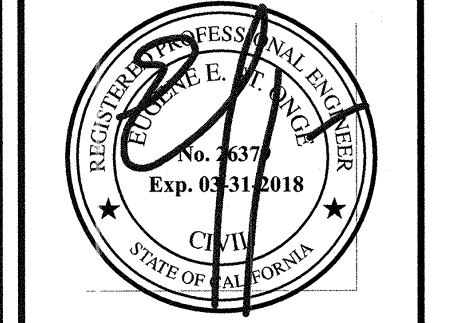
2 REINFORCING @ INTERSECTIONS & CORNERS  
NOT TO SCALE



1 SECTION @ (N) EXTERIOR STAIRS  
1" = 1'-0" NOTE: SAD FOR WATERPROOFING.

REVISIONS	BY

Engineer:  
**ST. ONGE & ASSOCIATES**  
CIVIL / STRUCTURAL ENGINEERING  
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Architect:  
William Coburn Architects  
c/o Stefan Menzi, Architect AIA  
1224 Center Street  
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phone (510) 893-8826  
fax (510) 465-2637  
wpcoburn@pacbell.net  
smezni@pacbell.net

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Berkeley, CA 94704

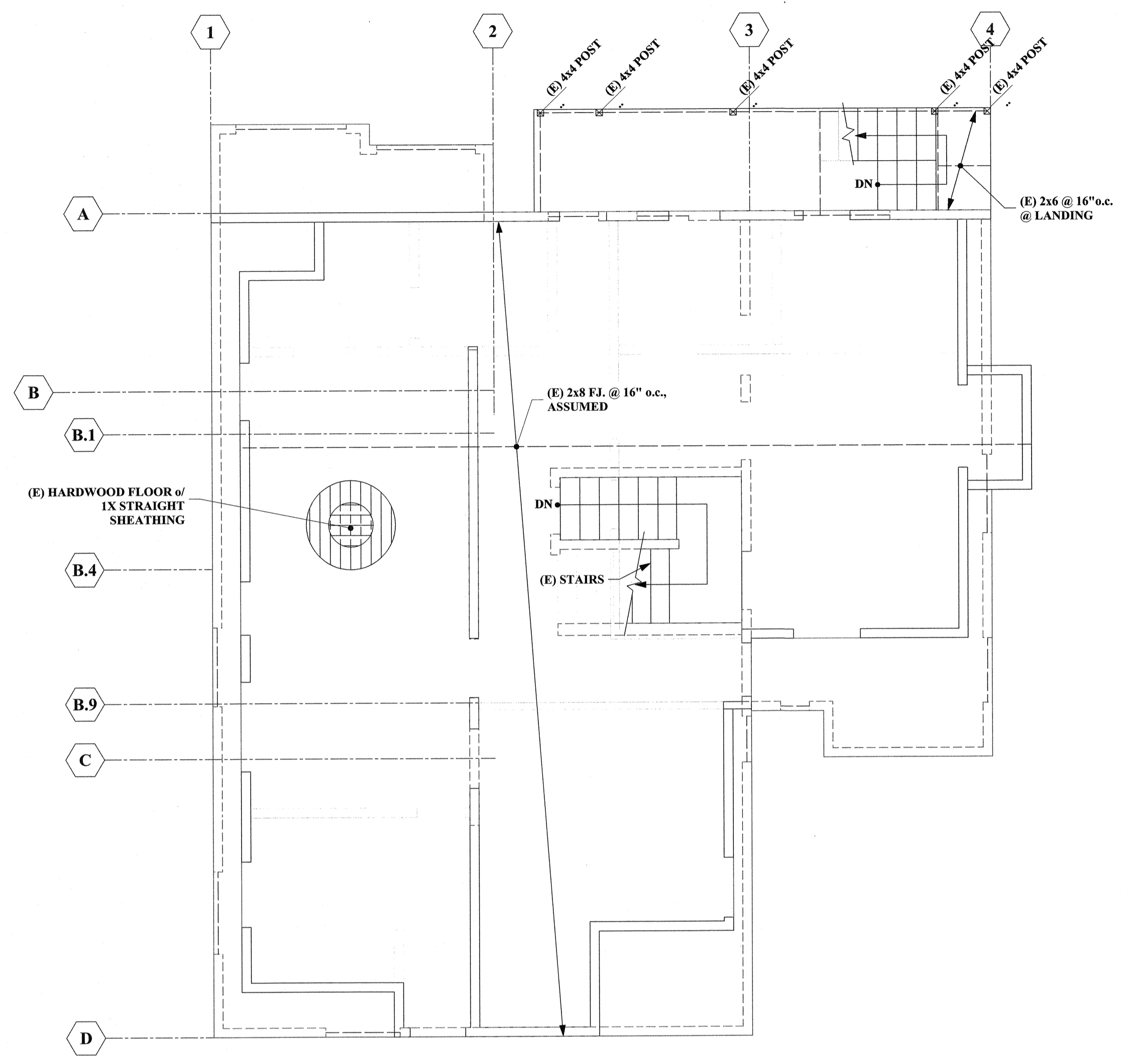
**New Basement Remodel**  
2234 Haste Street  
Berkeley, CA 94704

FIRST FLOOR FRAMING PLAN,  
SECOND FLOOR FRAMING PLAN,  
&  
DETAILS

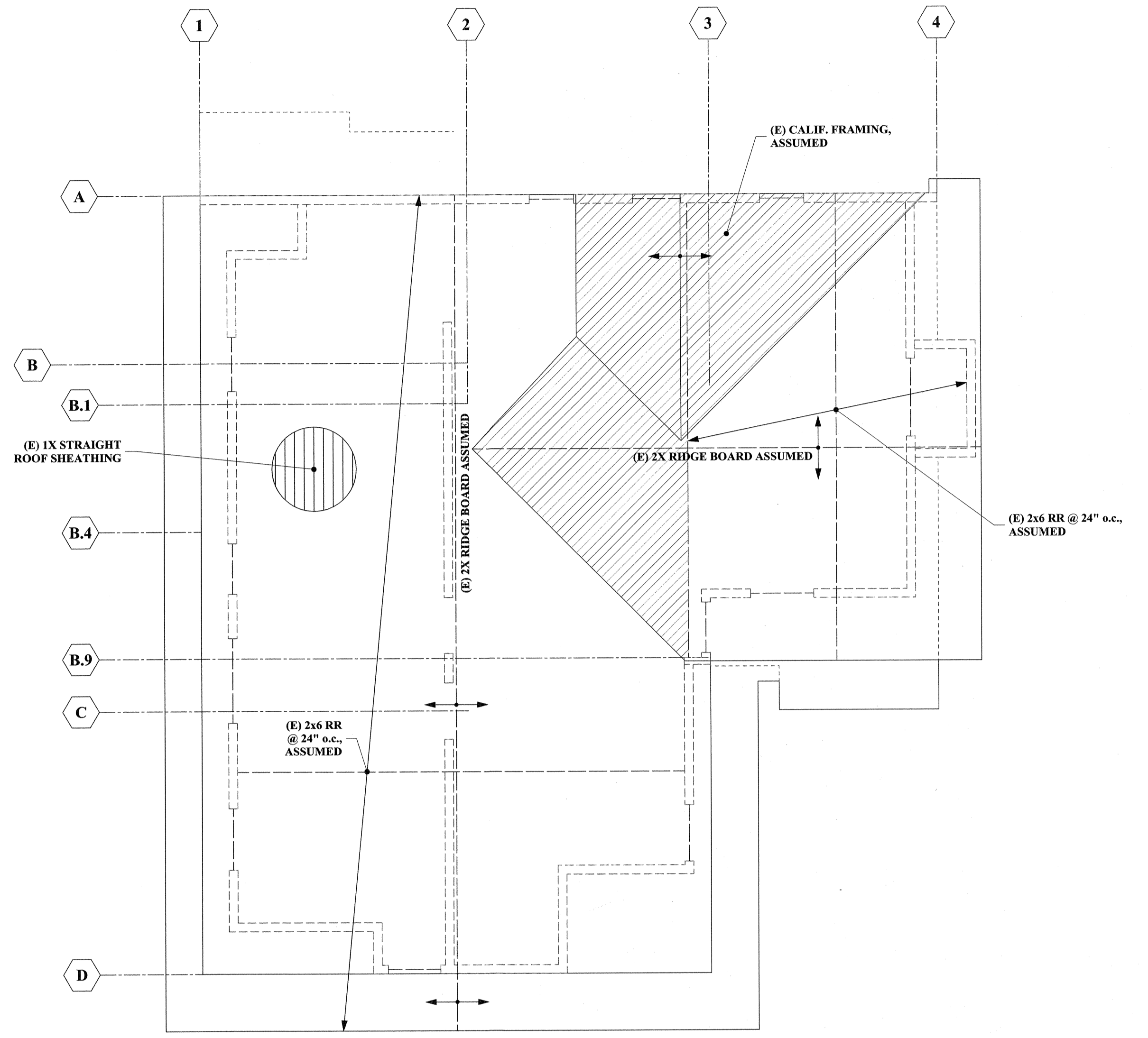
DRAWN  
JAC & LBH  
CHECKED  
GSO  
DATE  
December 6, 2016  
SCALE  
As Noted  
JOB  
1685  
SHEET

**S2**  
of 4 sheets

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Time 11:56:52 AM  
User: jacob@stonge.com  
Printer: 15862.15 2234 Haste St Berkeley.mxd

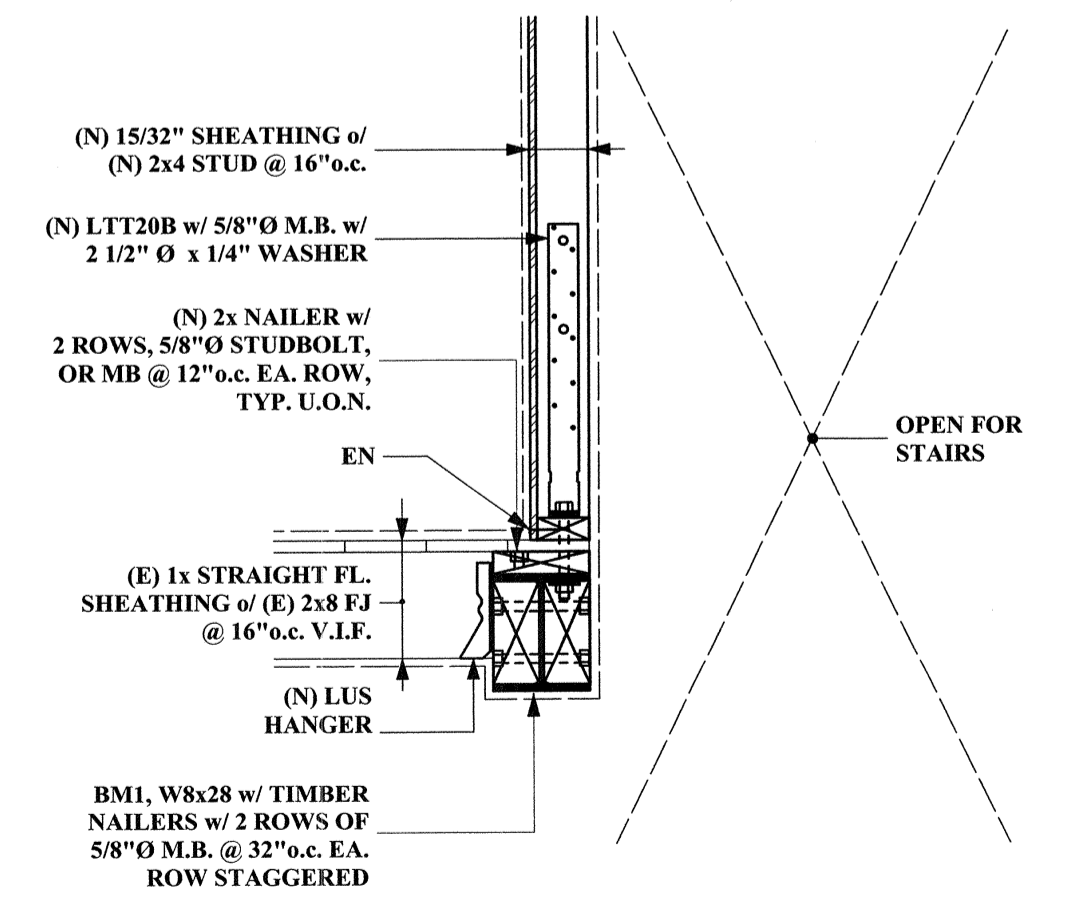


PLAN NORTH  
**THIRD FLOOR FRAMING PLAN**  
1/4" = 1'-0"

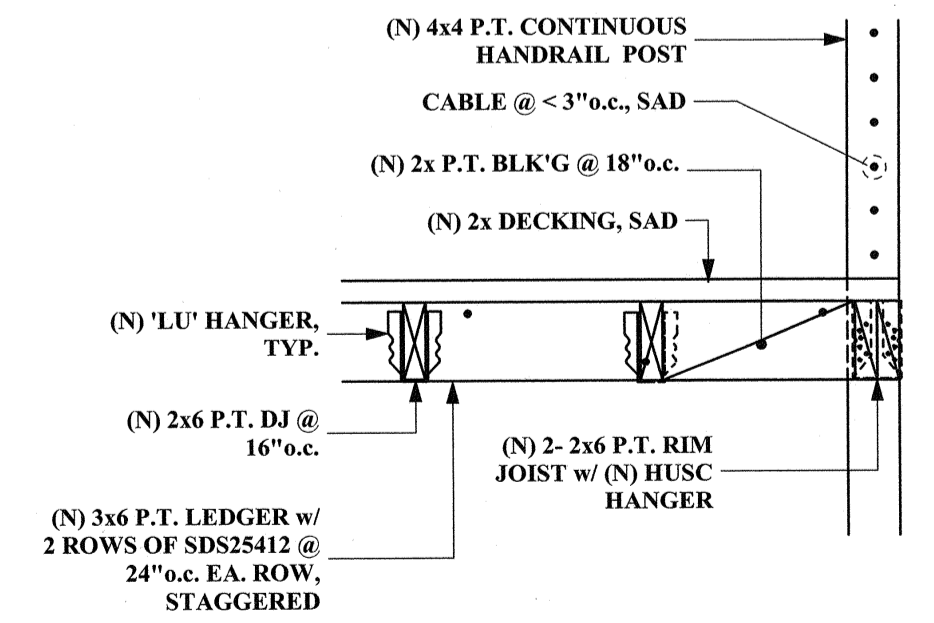


PLAN NORTH  
**ROOF FRAMING PLAN**  
1/4" = 1'-0"

LEGEND	
	(E) STRUCTURAL WALL ABOVE
	(N), OR (E), STRUCTURAL WALL BELOW
	(E) JOIST OR BEAM
	VERIFY IN FIELD



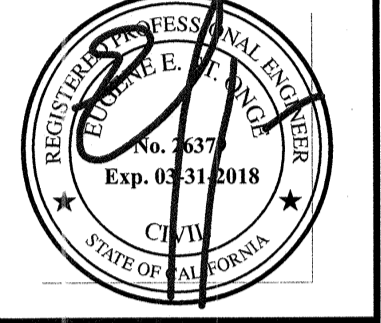
**2 SECTION @ BMI, (N) W8x28, & STAIRS**  
1" = 1'-0"



**1 TYP. (N) HANDRAIL POST**  
1" = 1'-0"

REVISIONS	BY

Engineer:  
**ST. ONGE & ASSOCIATES**  
CIVIL / STRUCTURAL ENGINEERING  
1934 Park Boulevard, Oakland, CA. 94606.  
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Everest Properties  
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Berkeley, CA 94704

**New Basement Remodel**  
2234 Haste Street  
Berkeley, CA 94704

**THIRD FLOOR FRAMING PLAN, ROOF FRAMING PLAN, & DETAILS**

DRAWN  
JAC & LBH  
CHECKED  
GSO  
DATE  
December 6, 2016  
SCALE  
As Noted  
JOB  
1685  
SHEET

**S3**

of 4 sheets

Jan. December 6, 2016  
Rev. 11.15.2016  
Project: 1685, 2234 Haste St Berkeley, mod

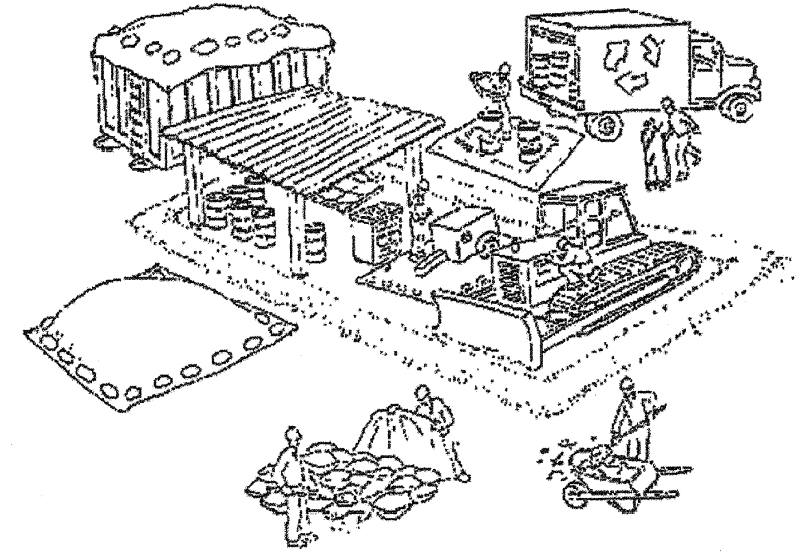








# City of Berkeley's Pollution Prevention - It's Part of the Plan



## Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution and damage to creeks and the San Francisco Bay. Construction activities can directly affect the health of creeks and the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines and the project specifications will ensure your compliance with City of Berkeley requirements.

### Materials storage & spill cleanup

#### Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet (3 meters) from catch basins. All construction material must be covered with a tarp and contained with a perimeter control during wet weather or when rain is forecasted or when not actively being used within 14 days.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep or vacuum streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities. Comply with City of Berkeley Ordinances for recycling construction materials, wood, gyp board, pipe, etc.
- ✓ Check dumpsters regularly for leaks and to make sure they are not overfilled. Repair or replace leaking dumpsters promptly.
- ✓ Cover all dumpsters with a tarp at the end of every work day or during wet weather.

#### Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state, and federal regulations.
- ✓ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecasted.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecasted within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

#### Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Dispose of all containment and cleanup materials properly.
- ✓ Report any hazardous materials spills immediately! Dial 911 or the City of Berkeley's Public Works Department by dialing 311

#### Construction Entrances and Perimeter

- ✓ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ✓ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking.

### Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



### Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it will not collect in the street.
- ✓ Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use fiber rolls, silt fences, or other control measures to minimize the flow of silt off the site.

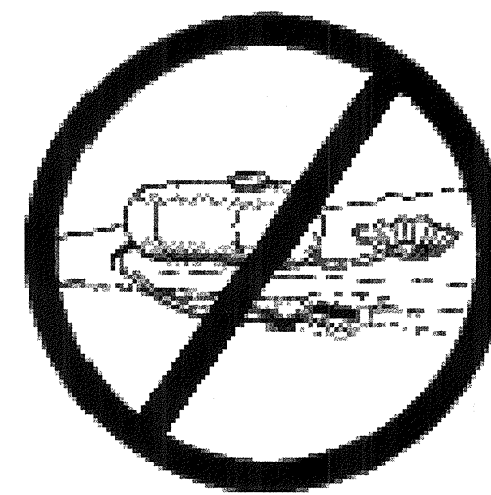


- ✓ Earth moving activities are only allowed during dry weather by permit and as approved by the City Inspector in the Field.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place fiber rolls down-slope until soil is secure.

- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call the Engineer for help in determining what should be done, and manage disposal of contaminated soil according to their instructions.

### Dewatering operations

- ✓ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Run-on from off site shall be directed away from all disturbed areas or shall collectively be in compliance.
- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to notify and obtain approval from the Engineer before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine what testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

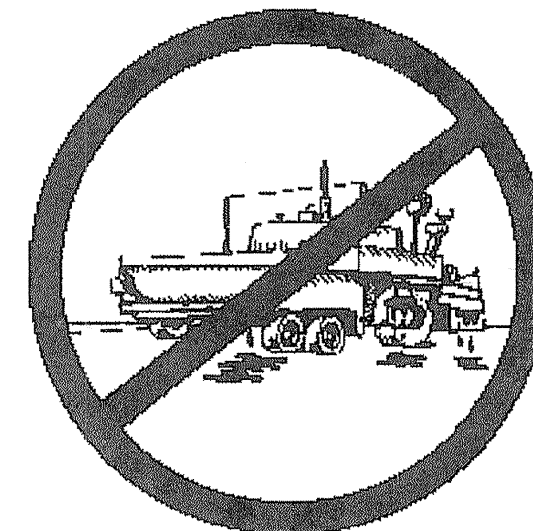


### Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or sand/gravel bags to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

### Paving/asphalt work

- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Protect gutters, ditches, and drainage courses with sand/gravel bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



### Concrete, grout, and mortar storage & waste disposal

- ✓ Store concrete, grout, and mortar under cover, on pallets, and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or into contained washout areas that will not allow discharge of wash water onto the underlying soil or onto the surrounding areas.
- ✓ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal off site.



### Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



### Landscape Materials

- ✓ Contain, cover, and store on pallets all stockpiled landscape materials (mulch, compost, fertilizers, etc.) during wet weather or when rain is forecasted or when not actively being used within 14 days.
- ✓ Discontinue the application of any erodible landscape material within 2 days of forecasted rain and during wet weather.

Storm drain polluters may be liable for fines of \$10,000 or more per day!

For references and more detailed information:  
www.cleanwaterprogram.org  
www.cabmphandbooks.com

REVISIONS	NO.	DATE	APP'D
DESCRIPTION	NO.		
CITY OF BERKELEY PUBLIC WORKS AGENCY	WORK ORDER NO.	DATE	
SPECIFICATION NO.			
SHEET NO.			
	12-7		
FILE NO.			
NEW TIME UNIT: RECONSTRUCTION 2004-2005 BERKELEY CA			
<b>POLLUTION PREVENTION</b>			

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**FINDINGS AND CONDITIONS**

## **2234 Haste Street - Brower Houses and David Brower Redwood Tree**

### **Structural Alteration Permit #LMSAP2016-0002**

**To replace the building foundation, to introduce new windows and light wells at the basement level, and to modify an existing, projecting deck on an upper story of a multi-unit residential City Landmark building.**

#### **CEQA FINDINGS**

---

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15331 of the CEQA Guidelines (“Historic Resource Restoration/Rehabilitation”). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project will not affect any historical resource.

#### **SECRETARY OF THE INTERIOR’S STANDARDS FINDINGS**

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Regarding the Secretary of the Interior’s Standards for Rehabilitation, the Landmarks Preservation Commission of the City of Berkeley makes the following findings:

1. The subject property will continue its residential use with this proposed rehabilitation project.
2. The project does not include removal or alteration of distinctive materials, character-defining features or those “to-be-preserved,” as identified in the 2008 City Landmarks designation for this site.
3. The proposed rehabilitation project for the rear building at this City Landmark site would render it -- as well as the front building -- primarily intact and able to convey their unique identities as physical records of time. No introduction of conjectural features has been proposed.
4. No changes to this property that have acquired historic significance in their own right are the subject of this proposal.
5. Distinctive features, such as the building’s wood shingles, will be preserved with this proposal. Shingles which have deteriorated will be replaced in kind. No other

distinctive materials, finished or construction techniques, or examples of craftsmanship, would be removed or affected by this project.

6. Deteriorated historic features will be repaired rather than replaced, as conditioned herein. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials are prohibited, as conditioned herein.
8. Archeological resources are not known to exist at this site. However, as conditioned herein, procedures and measures for protection will be undertaken if resources are unexpectedly discovered.
9. None of the aspects of this proposal are expected to result in the destruction of historic materials, features and spatial relationships that characterize this City Landmark property. New work, such as basement-level windows and guardrails, will be compatible with and yet differentiated in style from the Victorian-era construction.
10. The proposed new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

#### **LANDMARK PRESERVATION ORDINANCE FINDINGS**

---

1. As required by Section 3.24.260 of the Landmarks Preservation Ordinance, the Commission finds that proposed work is appropriate for and consistent with the purposes of the Ordinance, and will preserve and enhance the characteristics and features specified in the designation for this property. Specifically:
  - The proposed project includes a limited scope of work that will result in exterior changes, and none of these changes are expected to permanently or significantly impair the integrity, or alter the character-defining features, of this Victorian-era building.

## **STANDARD CONDITIONS**

---

The following conditions, as well as all other applicable provisions of the Landmarks Preservation Ordinance, apply to this Permit:

### **1. Conditions Shall be Printed on Plans**

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Permit, under the title 'Structural Alteration Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

### **2. Plans and Representations Become Conditions**

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

### **3. Subject to All Applicable Laws and Regulations**

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

### **4. Exercise and Lapse of Permits (Section 23B.56.100)**

- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- A. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has:
  - (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

### **5. Indemnification Agreement**

The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorneys fees that may result.

**ADDITIONAL CONDITIONS**

The following additional conditions are attached to this Permit:

6. **Halt Work/Unanticipated Discovery of Tribal Cultural Resources.** In the event that cultural resources of Native American origin are identified during construction, all work within 50 feet of the discovery shall be redirected. The project applicant and project construction contractor shall notify the City Planning Department within 24 hours. The City will again contact any tribes who have requested consultation under AB 52, as well as contact a qualified archaeologist, to evaluate the resources and situation and provide recommendations. If it is determined that the resource is a tribal cultural resource and thus significant under CEQA, a mitigation plan shall be prepared and implemented in accordance with State guidelines and in consultation with Native American groups. If the resource cannot be avoided, additional measures to avoid or reduce impacts to the resource and to address tribal concerns may be required.
7. **Archaeological Resources** (*Ongoing throughout demolition, grading, and/or construction*). Pursuant to CEQA Guidelines section 15064.5(f), "provisions for historical or unique archaeological resources accidentally discovered during construction" should be instituted. Therefore:
  - A. In the event that any prehistoric or historic subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant and/or lead agency shall consult with a qualified archaeologist, historian or paleontologist to assess the significance of the find.
  - B. If any find is determined to be significant, representatives of the project proponent and/or lead agency and the qualified professional would meet to determine the appropriate avoidance measures or other appropriate measure, with the ultimate determination to be made by the City of Berkeley. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by the qualified professional according to current professional standards.
  - C. In considering any suggested measure proposed by the qualified professional, the project applicant shall determine whether avoidance is necessary or feasible in light of factors such as the uniqueness of the find, project design, costs, and other considerations.
  - D. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery) shall be instituted. Work may proceed on other parts of the project site while mitigation measures for cultural resources is carried out.
  - E. If significant materials are recovered, the qualified professional shall prepare a report on the findings for submittal to the Northwest Information Center.
8. **Human Remains** (*Ongoing throughout demolition, grading, and/or construction*). In the event that human skeletal remains are uncovered at the project site during ground-disturbing activities, all work shall immediately halt and the Alameda County Coroner shall be contacted to evaluate the remains, and following the procedures and protocols pursuant to Section 15064.5 (e)(1) of the CEQA Guidelines. If the County Coroner determines that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to subdivision (c) of Section 7050.5 of the Health and Safety Code, and all excavation and site preparation activities



shall cease within a 50-foot radius of the find until appropriate arrangements are made. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance and avoidance measures (if applicable) shall be completed expeditiously.

9. **Paleontological Resources** (*Ongoing throughout demolition, grading, and/or construction*). In the event of an unanticipated discovery of a paleontological resource during construction, excavations within 50 feet of the find shall be temporarily halted or diverted until the discovery is examined by a qualified paleontologist (per Society of Vertebrate Paleontology standards [SVP 1995, 1996]). The qualified paleontologist shall document the discovery as needed, evaluate the potential resource, and assess the significance of the find. The paleontologist shall notify the appropriate agencies to determine procedures that would be followed before construction is allowed to resume at the location of the find. If the City determines that avoidance is not feasible, the paleontologist shall prepare an excavation plan for mitigating the effect of the project on the qualities that make the resource important, and such plan shall be implemented. The plan shall be submitted to the City for review and approval.
10. **Repair and replacement of character-defining features.** Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old or historic feature in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence, to the satisfaction of City staff.
11. **Chemical Treatments.** Any chemical treatments needed as construction progresses will be undertaken using the gentlest means possible.
12. **Clear glass.** All glass is assumed to be clear glass. Any proposed glass that is not clear glass shall be indicated on all drawings, and shall be reviewed for approval by historic preservation staff, prior to approval of any building permit for this project.
13. **Exterior Lighting.** Exterior lighting, including for signage, shall be downcast and not cause glare on the public right-of-way and adjacent parcels.
14. **Colors & Materials.** Prior to staff sign-off of the building permit set of drawings, the applicant shall submit color and materials information for review and approval by staff.
15. **Window Detail.** Prior to staff sign-off of the building permit set of drawings, the applicant shall submit section drawings with details to provide dimensional relief and articulation for all new windows on basement level, for review and approval by staff.
16. **Certified arborist report.** Prior to submittal of any building permit for this project, the applicant shall obtain a certified arborist report with recommendation on the assessment and protection of the Brower redwood tree during project construction. The building permit plans for this project shall incorporate the recommendations of this report.

17. **Plaque.** Prior to submittal of any building permit for this project, the applicant shall indicate on the building permit plans, the location and design of a plaque with information about the historic significance of this Landmark site.
  
18. Upon completion of this project, the property owner shall remove or relocate (and screen, subject to BMC Chapter 23) the dumpster currently stored in the driveway/parking area. The applicant shall consult with the City's Zero Waste Division for guidance on improving and maintaining adequate collection and storage of debris and recycling for this site.

GENERAL NOTES:

1. SCOPE OF WORK: DEVELOPING CASEMENT IN AREA ALLOWABLES INTO ONE BEDROOMS GAMBROUN & BATH, CONNECTING NEW SPACE TO EXISTING UNIT 1 WITH AN INTERIOR STAIR. ALL NEW WINDOWS WOOD, NEW DOOR WOOD.

2. MOIST ELEVATION SHINGLES ON MAIN MOUSE GABLE TO BE REPLACED WITH CEDAR SHINGLES, STAINED DARK BROWN TO GIVE CHARACTER OF REDWOOD SHINGLES. ALL OTHER SHINGLES TO BE PAINTED DARK BROWN TO MATCH.

3. TRIM, WINDOWS & DOORS ON EXT. TO BE PAINTED AS NOTED ON ELEV SHEET

4. LIGHT WELLS TO BE PROVIDED AS SHOWN ON ELEVATIONS

2234 Haste St Berkeley CA GENERAL NOTES:

Scope of work: New foundation, expand Unit 1 into casement, no change to other units except chimney removal and patching after removal of chimney.

BUILDING CODES:

ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES INCLUDING CBC, CBC, CEC, CMC, AND 2013 CALIFORNIA ENERGY CODE AND CITY ORDINANCES APPLICABLE TO THIS PROJECT. ALL WORK TO CONFORM WITH CITY OF OAKLAND CODES, ORDINANCES AND REQUIREMENTS.

SITE CONDITIONS:

CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING LIMITATIONS. ALL FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF SAME TYPE AND CHARACTER AS THAT SHOWN FOR SIMILAR CONDITIONS. IF DISCREPANCIES ARE DISCOVERED, NOTIFY THE ARCHITECT BEFORE THE PROCEEDING WITH THE WORK.

DIMENSIONS:

CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. DIMENSIONS ARE TO THE ROUGH FRAME UNLESS OTHERWISE NOTED. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND/OR SPECIFICATIONS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

DEMOLITION:

CONTRACTOR SHALL EXECUTE DEMOLITION WORK TO ENSURE THE SAFETY OF PERSONS AND ADJACENT PROPERTY FROM DAMAGE OF ANY KIND IN CONNECTION WITH THIS WORK. WHERE EXISTING CONSTRUCTION IS CUT, DAMAGED OR REMODELED, PATCH OR REPLACE WITH MATERIALS WHICH MATCH THE KIND, QUALITY AND PERFORMANCE OF ADJACENT SURFACES.

SCHEDULE:

THE CONTRACTOR SHALL INFORM THE OWNER AND ARCHITECT OF THE CONSTRUCTION SCHEDULE PRIOR TO STARTING WORK. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO MINIMIZE DISRUPTION TO OCCUPANTS AND NEIGHBORS DURING CONSTRUCTION.

CHANGE ORDERS:

ALL CHANGE ORDERS SHALL BE AGREED TO AND IN WRITING PRIOR TO EXECUTION OF WORK.

CLEANUP:

THE CONTRACTOR SHALL REMOVE THE CONSTRUCTION DEBRIS AT THE END OF THE JOB AND DISPOSE OF IT LEGALLY. CLEAN ALL NEW WINDOWS AND LEAVE THE JOB BROOM CLEAN.

ARCHITECTURAL NOTES:

- A1 SCOPE OF THE PROPOSED WORK IS TO PROVIDE A NEW FOUNDATION AND EXPAND UNIT ONE INTO BASEMENT.
- A2 CER TILE ON 1/2" CEMENTITIOUS BACKER BOARD OVER (2) LAYERS 1/2" FELT PAPER ON WALLS AT TUBS & SHOWERS TO 6"-8" HEIGHT MIN. ABOVE FLOOR AND PER MIN. CBC 807.1 REQUIREMENTS.
- A3 PROVIDE TEMPERED SLIDING CLASS SHOWER DOORS TO MIN. 70"HT. ABOVE DRAIN INLET.
- A4 DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- A5 IF ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE FOUND IN THE DRAWINGS, NOTIFY THE ARCHITECT, PRIOR TO PROCEEDING WITH ANY WORK.
- A6 ALL 2X FRAMING MEMBERS TO BE #2 DF OR BETTER  
ALL 4X FRAMING MEMBERS TO BE #1DF OR BETTER
- A7 ALL NAILING AND BRACING AS PER CODE.
- A8 NEW VINYL WINDOWS TO MEET TITLE 24 REQUIREMENTS FOR THERMAL TRANSMISSION AND ALL OTHER REQUIRED CONDITIONS.
- A9 IN ALL EXISTING WALLS TO REMAIN, FILL CAVITY WITH MIN R-13 BATT INSUL. PRIOR TO COVERING UP OPENING. FOR ANY CEILING AREA, INSTALL R-30 PROVIDE REQUIRED INSULATION IN NEW FRAMED WALLS IN BASEMENT
- A10 Provide one hour fire rated assembly in the ceiling of the expanded unit ceiling.

4-11 WINDOW U PART 4/5/2 T-24

ELECTRICAL NOTES:

- E1. ALL KITCHEN OUTLETS TO BE 42 INCHES ABOVE FIN FLOOR GFCI PROTECTED
- E2. PROVIDE MIN. TWO 20 AMP CIRCUITS FOR KITCHEN APPLIANCES.
- E3. ANY CLOSET LIGHT FIXTURE CLEARANCES (IF USED) SHALL CONFORM TO CEC 410.8.
- E4. ALL 120 VOLT, SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN UNIT FAMILY ROOMS, DINING, LIVING, PARLORS AND LIBRARIES, DENS, BEDROOMS AND SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR SPACES SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER. 9CEC ART. 210.12
- E5. PROVIDE ONE 20 AMP CIRCUIT FOR ALL BATHROOM OUTLETS PER CEC 210-11 (C) (3) IN NEW BATHROOMS.
- E6. VENT BATH FAN TO EXTERIOR WALL OR ROOF W/ RAIN CAP FAN CAPABLE OF PROVIDING MIN 5 AIR CHANGES/HOUR AS PER CBC 1203.4.2 HUMIDISTATS T BE PROVIDED ACCORDING TO CGBS 4.506.1
- E7. PROVIDE MANUAL-ON MOTION SENSOR FOR INCANDESCENT LIGHTS IN BATHROOMS AS INDICATED.
- E8. PROVIDE MIN. 24" HORIZ. SEPARATION BETWEEN ELECT. BOXES ON OPPOSITE SIDE OF WALLS BETWEEN UNITS.
- E9. MINIMUM OF 50% OF WATTAGE IN KITCHEN TO BE HIGH EFFICIENCY LIGHTS MANUAL-ON MOTION SENSORS OR DIMMER SWITCHES TO BE USED.
- E10. IN ALL OTHER ROOMS & AREAS (I.E. LIVING, BEDROOMS, AND HALLWAYS) PROVIDE HIGH EFFICACY LIGHTS, MANUAL-ON MOTION SENSORS, OR DIMMER SWITCHES AS SHOWN.
- E11. LIGHT FIXTURES IN TUB / SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS".
- E12 ALL SMOKE DETECTORS SHALL BE COMBINATION UNITS WITH CARBON MONOXIDE DETECTORS TO MEET CODE REQUIREMENTS.
- E13 ALL 125 VOLT 15 AND 20 AMP RECEPTACLES SHALL BE LISTED TAMPERPROOF RECEPTACLES (CEC ART. 406.12)

MECHANICAL / PLUMBING NOTES:

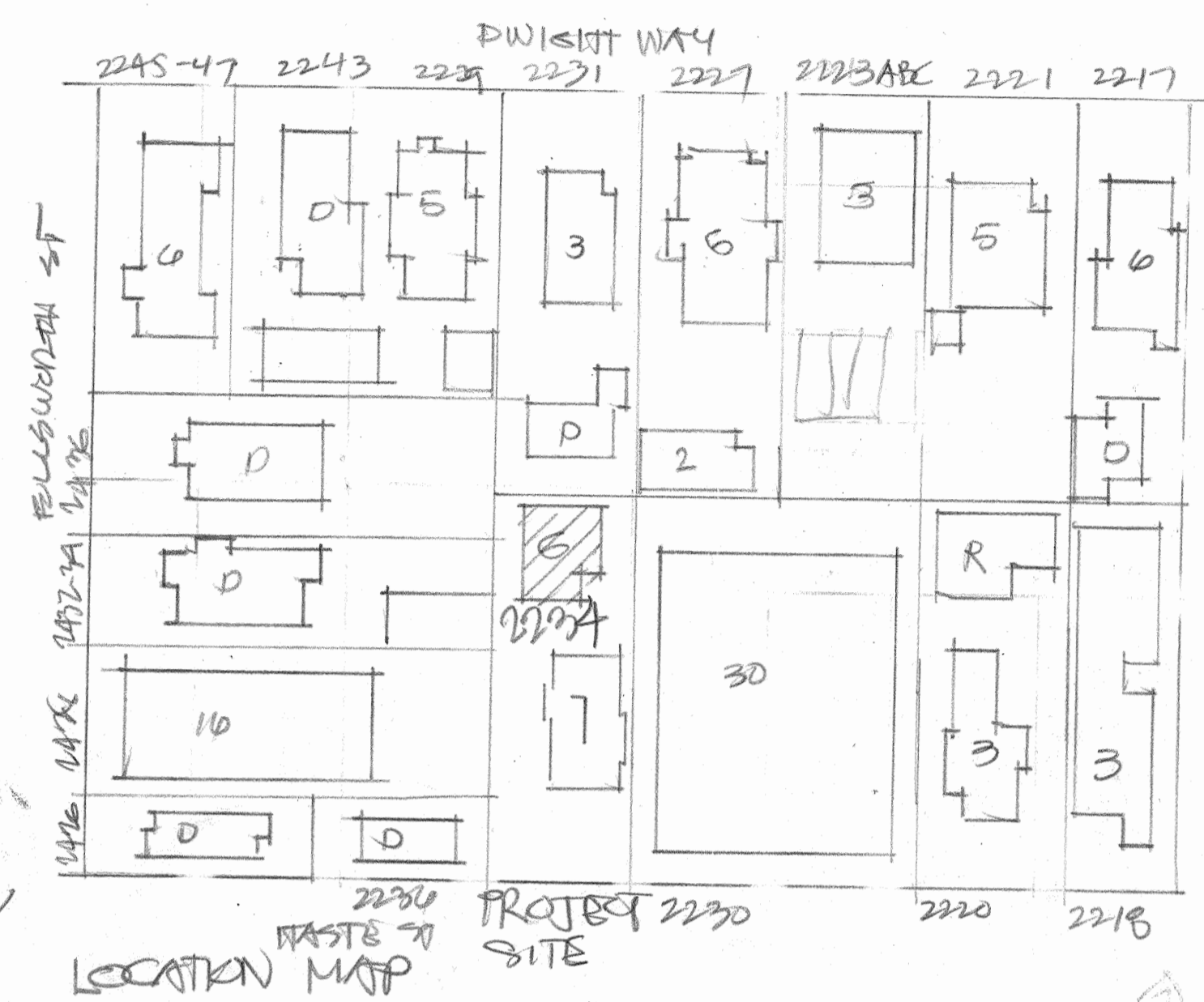
- M1. NEW TOILET TO BE MAX. 1.28 GAL/FLUSH.
- M2. NEW TANK WATER HEATER TO BE INSTALLED AS PER MFR RECOMMENDATIONS.
- M3. BATH COMBINATION SHOWER/TUB CONTROLS (INDIVIDUAL HOT/ COLD PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE) SHALL CONFORM TO CPC 420.0.
- M4. PROVIDE LOW FLOW FAUCET DEVICES OF FIXTURES WITH MAXIMUM FLOW RATE OF 1.8 GAL/MINUTE MEASURED AT 60 PSI (CPC 403.6) BATHROOM LAVATORY FAUCET MAX 1.5GAL/MIN.

AT 60PSI AND NOT LESS THAN .8GAL/MIN. AT 20PSI 9CPC403.70 SHOWER HEADS MAX FLOW 2.0 GAL/MIN. (MEASURED AT 80 PSI) 9CPC SEC. 408.2

M.5 PROVIDE AUTOMATIC GAS SHUT OFF VALVE ON DOWNSTREAM SIDE OF GAS UTILITY METER

M.6 PLUMBING MAX FLOW RATES OF KIT FAUCET SHALL NOT EXCEED 1.8 GAL/MIN AT 60 PSI. KIT FAUCET MAY TEMPORARILY INCREASE THE FLOW RATE BUT NOT EXCEED 2.2 GAL/MIN. AT 60 PSI. AND MUST DEFAULT TO A MAX FLOW RATE OF 1.5 GAL/MIN G.O.B.

M.7. FOR DRAIN LINES, APPROVED PIPING MATERIALS TO BE USED: POLYVINYL CHLORIDE SDR 20 MIN. POLYETHYLENE SDR 26 MIN. CAST IRON CUPPER LATERAL ONLY, DUCTILE IRON, VITRIFIED CLAY EXTRA STRENGTH, BELL & SPST. FOR PIPE LINE BEYOND THE ROADWAY, CITY OF BERKELEY WILL REQUIRE PVC OR PE, SDR 21 MIN. RCP IS PERMITTED FOR SPM DRAINS,

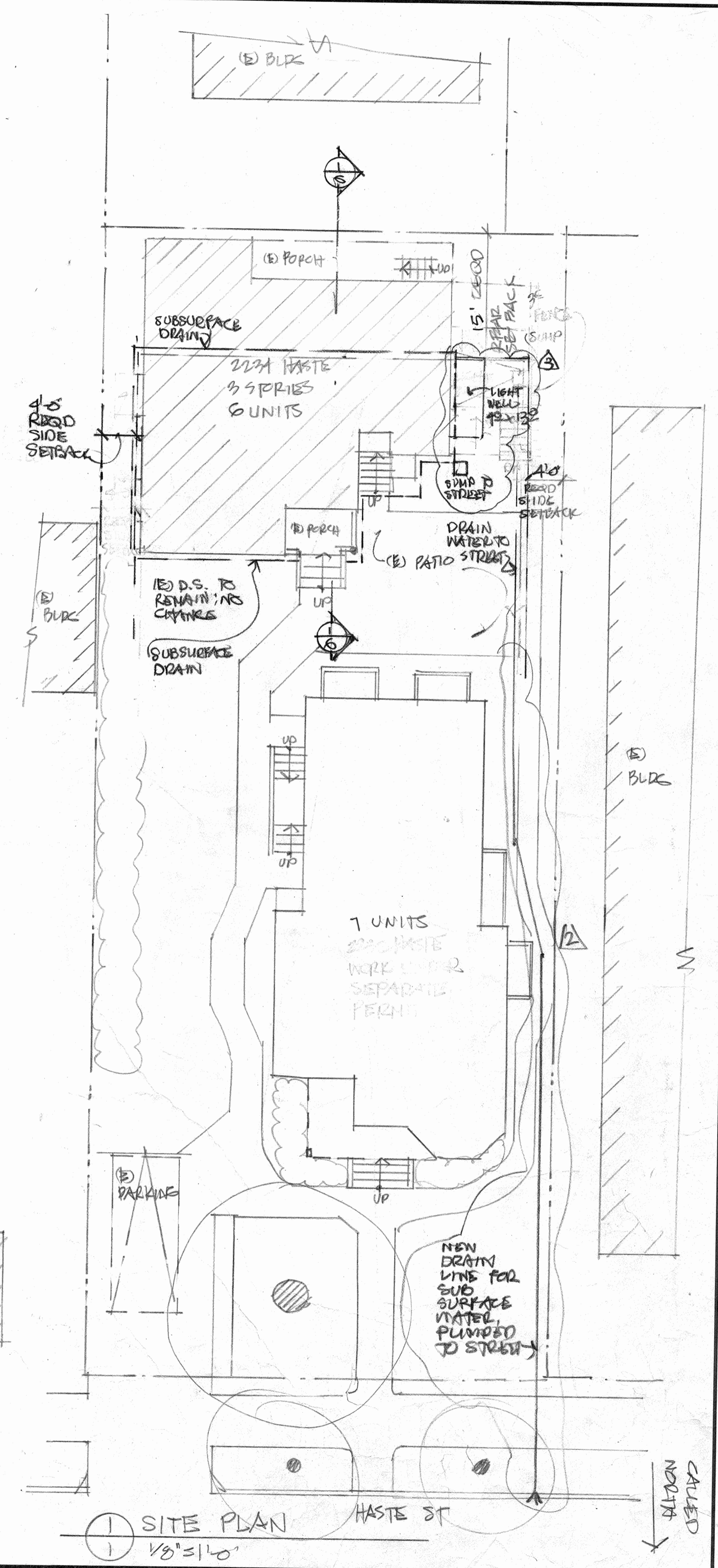


DEFERRED SUBMITTALS: ANY DEFERRED SUBMITTAL TO BE REVIEWED & APPROVED BY ARCHITECT OR ENGINEER PRIOR TO BEING SUBMITTED TO THE CITY OF BERKELEY FOR REVIEW & APPROVAL. APPROVAL BY ARCHITECT OR ENGINEER TO BE INDICATED ON SUBMITTAL P. 474

DEFERRED:

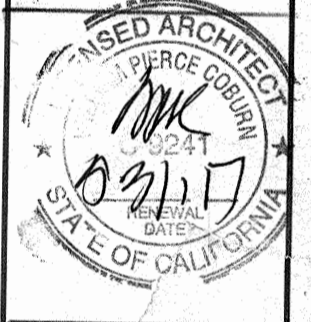
- 1) LADDER AT LIGHT WELL
- 2) NON TANKLESS WH. FOR OTHER UNITS SEPARATE PERMIT
- 3) 3 GAS METERS MOVED, SEPARATE PERMIT
- 4) A SEPARATE ENGINEERING PERMIT IS REQUIRED FOR CONSTRUCTION SIGNING, CONSTRUCTION PARKING, SIDEWALK OR SEWER WORK IN THE PUBLIC RIGHT OF WAY, TO BE ISSUED AFTER THE APPROVAL AND ISSUANCE OF THE BUILDING PERMIT.

DRAWING SCHEDULE	
NO	TITLE
1	SITE PLAN
2	EXIST FLOOR 1 & 2 PLAN
3	EXIST FLOOR 3 & ROOF PLAN
4	EXIST & NEW BASEMENT FLOOR PLAN
5	ELEVATIONS
6	SECTION & SCHEDULES
7	DETAILS
8	TITLE 24-1
9	TITLE 24-2
S-1	BASEMENT/PDN PLAN PER
S-2	FRAMING PLATE & DETS
S-3	DETS
S-4	DETS
10	FOR REFERENCE - EXIST & PROPOSED UNIT 1 PLANS
11	CAL GREEN
12	BEST MANAGEMENT PLAN



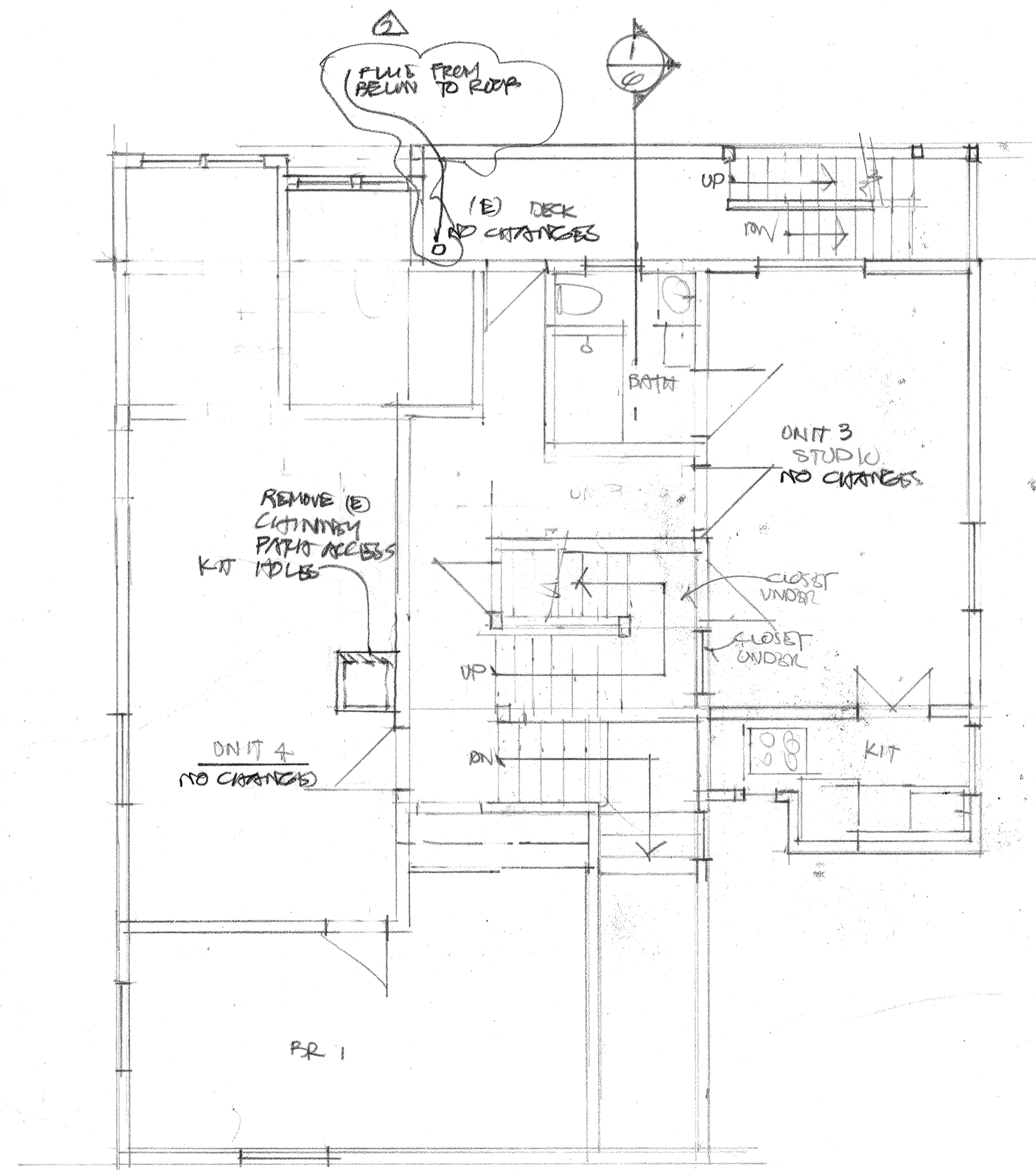
REVISIONS
2.7.18.19
4.7.26.19

WILLIAM F. CEBRAN ARCHITECTS  
510 873 8526  
510 510 465 2837  
1224 CENTER ST  
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CELL 510 167-4085  
wfcbrn@pacbell.net

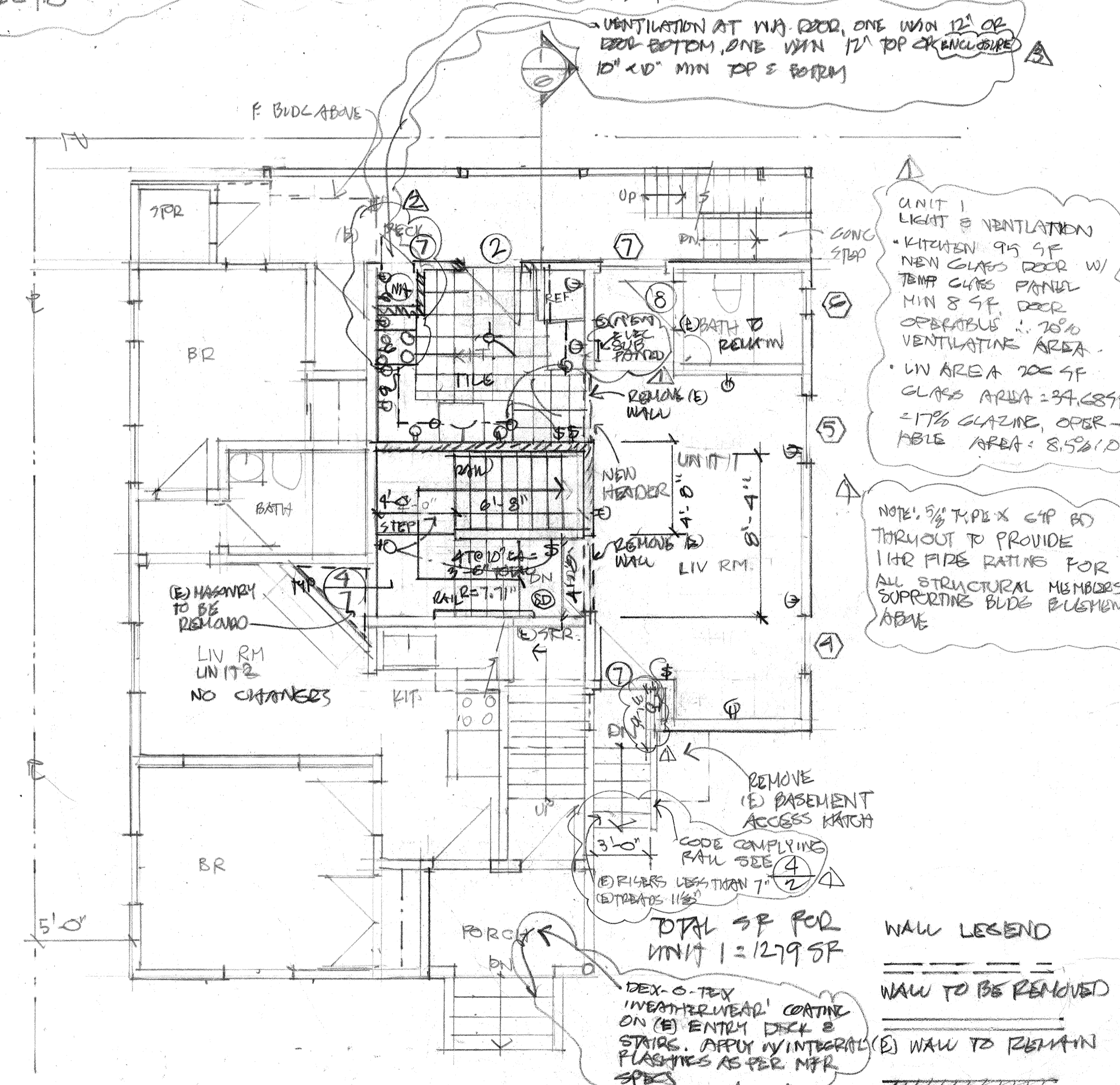
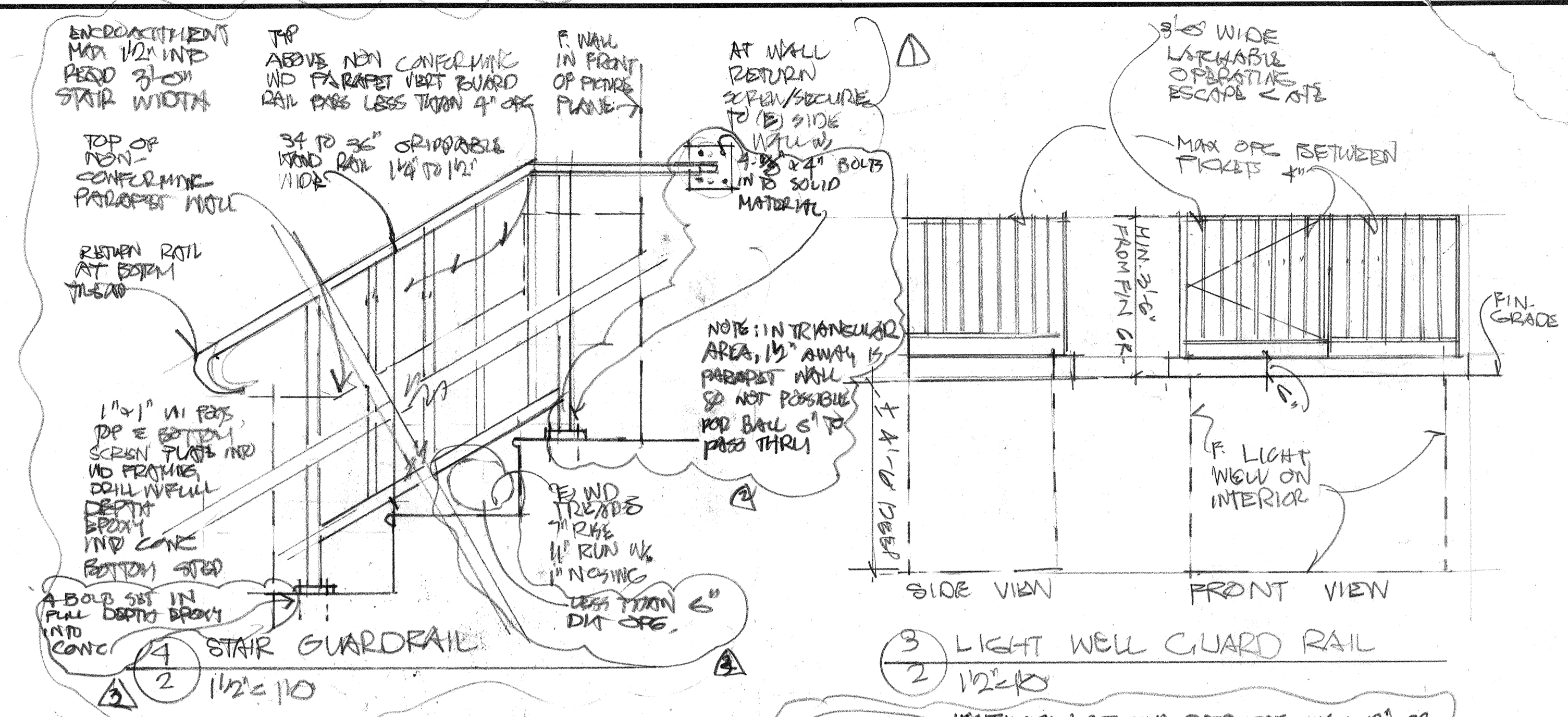


NEW FOUNDATION & UNIT 1 RECONFIGURATION AT:  
2234 HASTE ST  
BERKELEY CA  
DATE: 12-21-16

Date	12-21-16
Scale	
Drawn	
Job	
Sheet	1
Of 16	Sheets



2 SECOND FLOOR  
2 1/4" = 1'0"



1 FLOOR ONE (483 SF FOR UNIT 1)  
2 1/4" = 1'0"

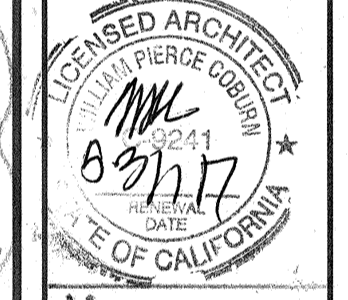
WALL LEGEND

---	WALL TO BE REMOVED
---	(E) WALL TO REMAIN
	NEW WALL

REVISIONS	BY
1	12-12-17
2	2-18-19
3	4-16-19

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wpcoburn@pacbell.net

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FAX 510 455 2597  
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wpcoburn@pacbell.net



NEW UNITIZATION & UNIT 1 RECONFIGURATION AT:  
1054 MARBLE ST  
BERKELEY CA  
PK: EVERETT PROPERTIES  
2078 SHATTUCK AVE  
BERKELEY CA 94704

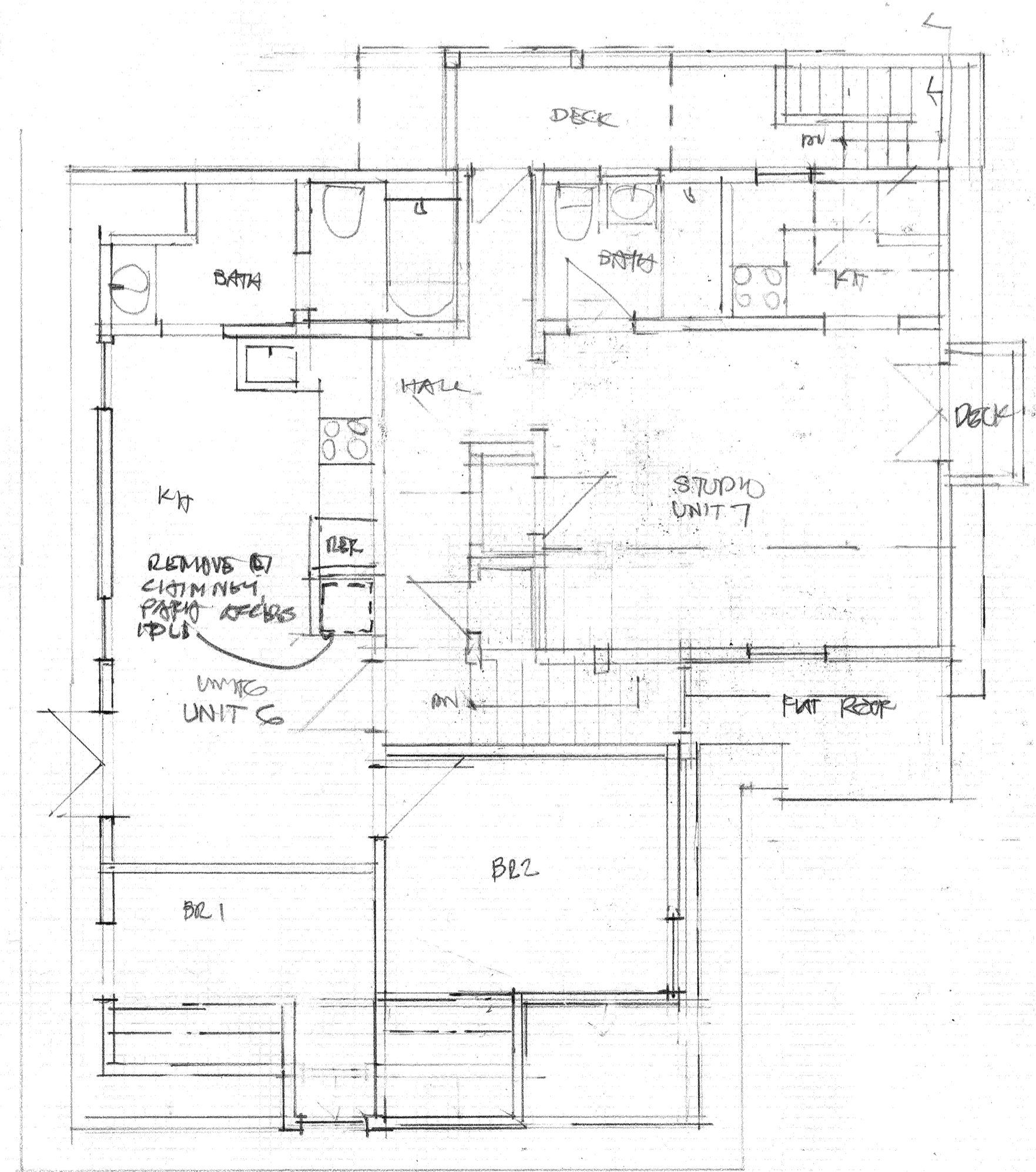
Date: 12/16

Scale:

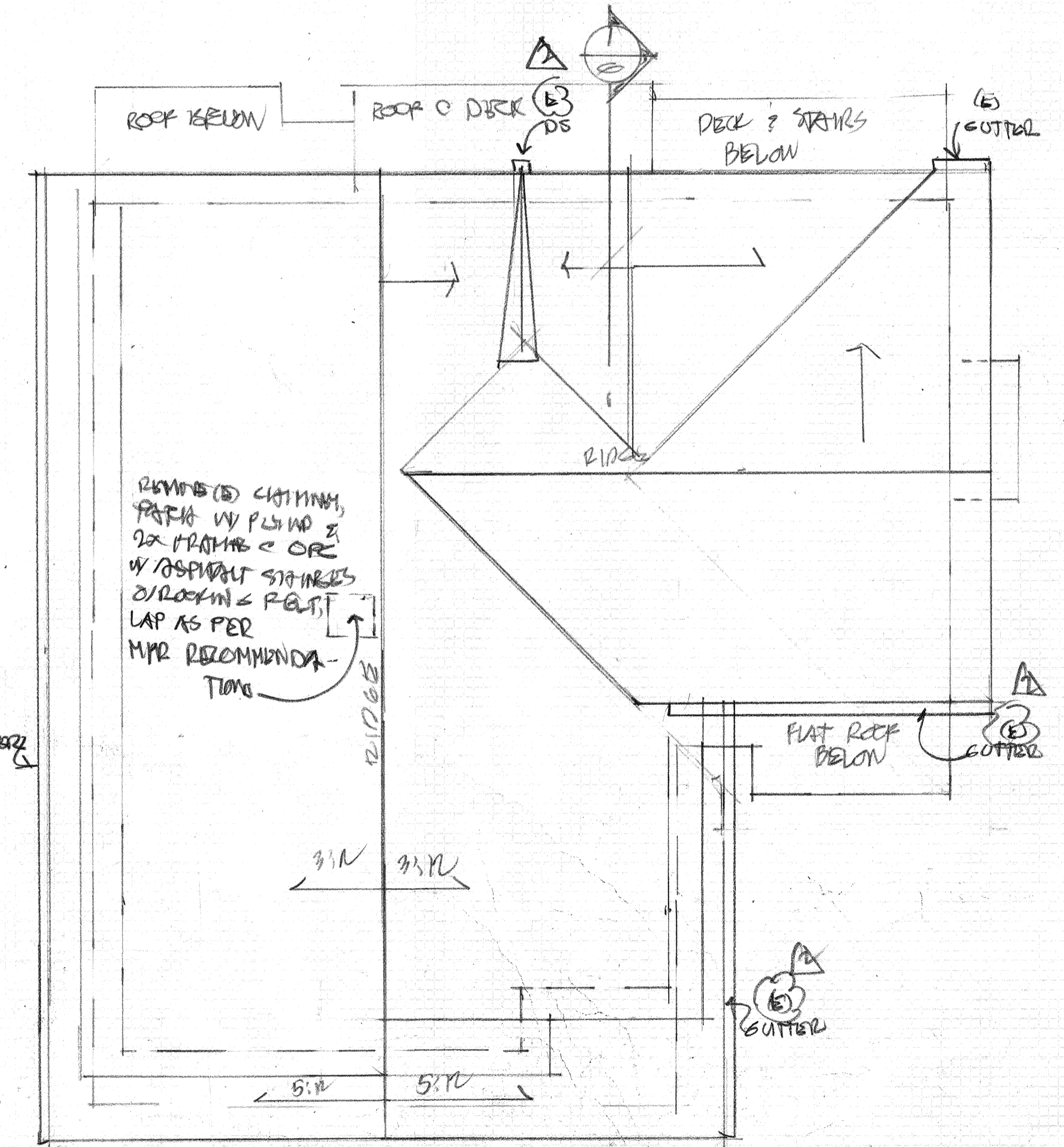
Drawn:

Job:

Sheet: 16 of 2



④ THIRD FLOOR PLAN  
1/21/16



⑤ ROOF PLAN  
1/21/16

2.18.17

WILLIAM F. COBURN ARCHITECT  
1001 CENTER ST  
OAKLAND CA 94607  
906.878.8826  
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wpcoburn@pacbell.net



NEW FOUNDATION UNIT 1 RECONFIGURATION AT:  
2024 LARK ST  
FERRYLAND CA  
FUTURE PROPERTIES  
3273 SHATTUCK AVE  
BERKELEY CA 94704

12.21.16

16 3

1/21/16

**DOOR SCHEDULE**

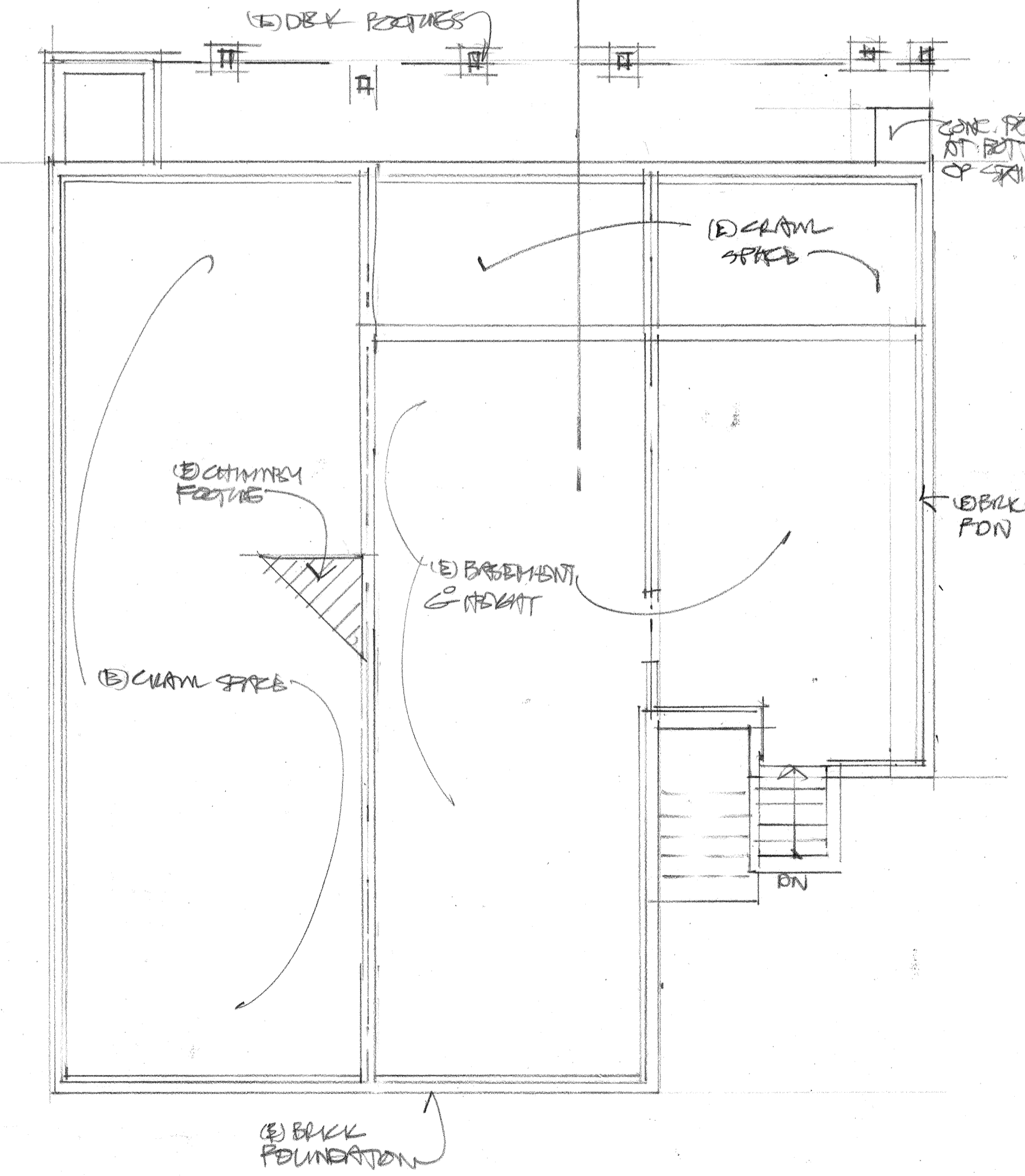
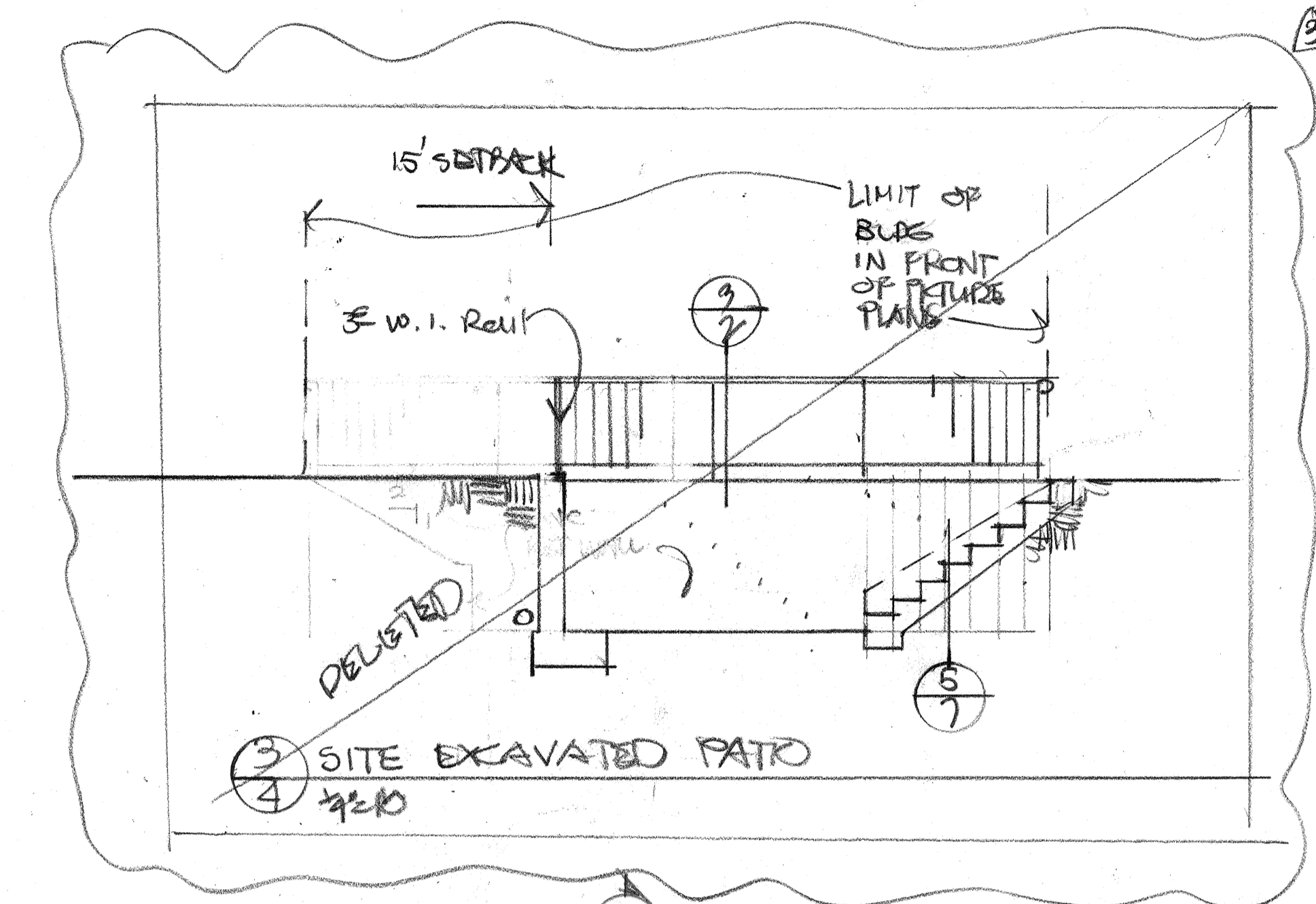
NO	SIZE	MATL	THICK	THRESH	REMARKS
1	6' x 6'	VINYL	1 3/4"	ALUM	TEMP GL
2	2' x 6'	SC WD/CLAD	1 3/4"	ALUM	TEMP GL
3	2' x 6'	SC WD	1 3/8"		
4	2' x 6'	"	"		
5	12' x 6'	TEMP GLASS			OTUBY SHOWER
6	12' x 6'	SC WD	1 3/8"		BI-FOLD
7	2' x 6'	"	"		(E) TO REMAIN
8	2' x 6'	"	"		(W) TO REMAIN
9	3' x 6'	SC WD	1 3/4"	ALUM	*

VENTING LOUVERS AS REQ'D BY GAS MIT

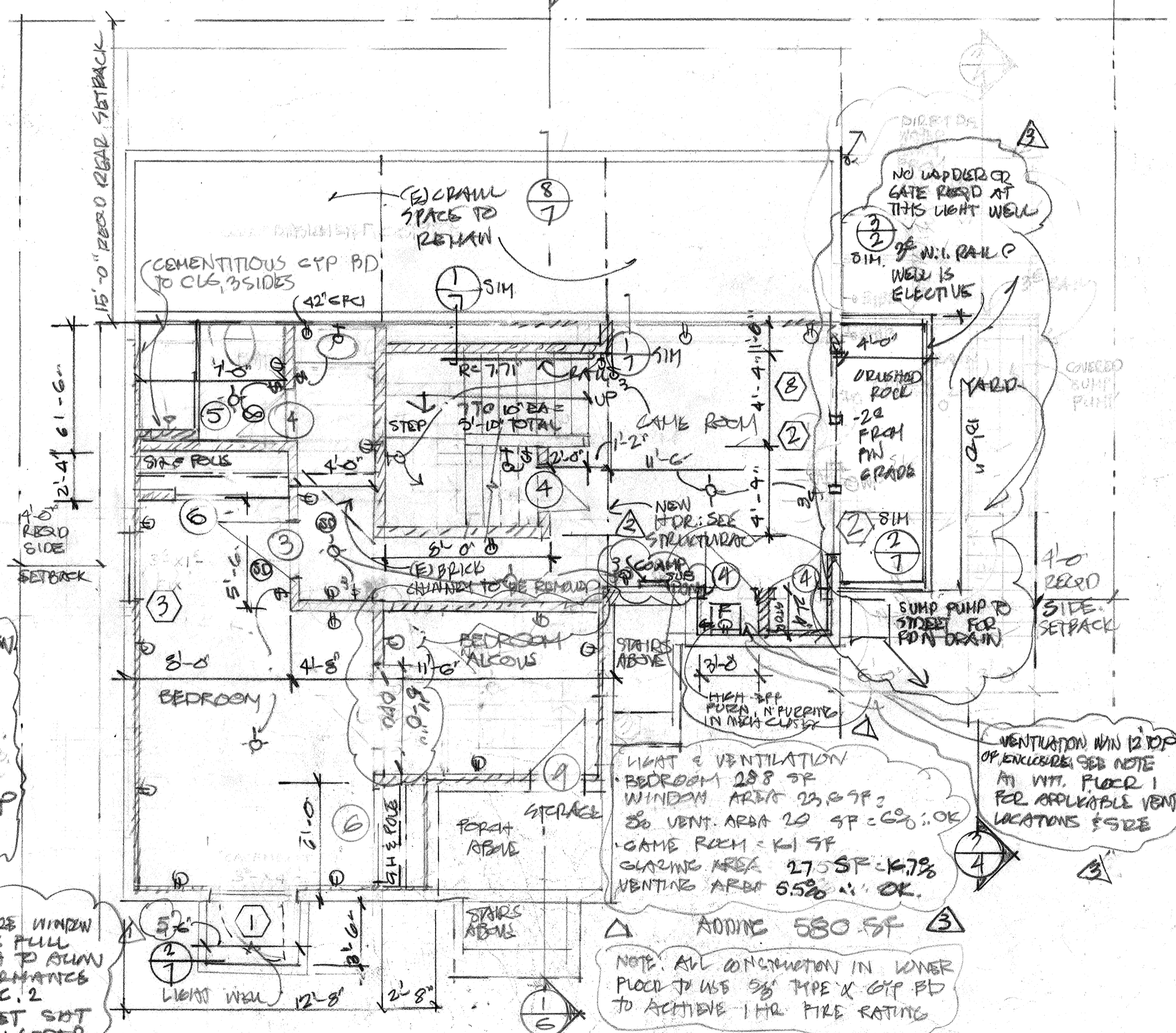
**WINDOW SCHEDULE**

NO	SIZE	TYPE	GLAZING	MATERIAL	REMARKS
1	3' x 4'	CASE	OBL	WD/CLAD	EXIST
2	3' x 4'	FIXED	OBL	WD/CLAD	
3	3' x 12'	FIX	OBL	"	
4	2' x 4'	GH	"	"	*
5	"	"	"	"	*
6	10' x 15'	"	"	"	*
7	3' x 4'	"	"	"	TEMP GLASS
8	3' x 2'	CASE	"	"	

\* NO FRAMING CHANGE, VIF WINDOW SIZE, REPLACE IN LIKE KIND  
 \*\* WINDOW MIN CLEAR WIDTH 26". AREA OF WINDOW EXCEEDS 9' SO SEE DET SITS FOR LIGHT WELL LADDER REETS IF WELL EXCEEDS 4' IN DEPTH.



EXIST FIN PLAN  
 1/4" = 1'-0"



NOTE: SLAB CONSTRUCTION REFER TO STRUCTURAL DRAWINGS. PROPOSED CONC. SLAB W/ #4 BARS MIN 6" B.A. 0/2" SAND O/ 6" MIL WD MEMB W/ NO LESS THAN 2" LAP O/ 4" CRUSHED ROCK

ENCLOSE WINDOW OPENING FULL WIDTH TO ACHIEVE COMPLIANCE W/ IBC 2  
 SEE DET SITS FOR LADDER REED IF WELL DEPTH GREATER THAN 4'

PROPOSED BASEMENT PLAN 796 SF  
 1/4" = 1'-0"

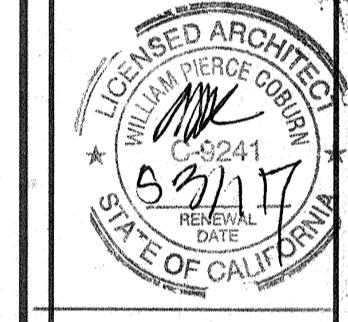
WHAT IS VENTILATION  
 BEDROOM 288 SF WINDOW AREA 25.8 SF = 8% VENT. AREA 20 SF = 6.9% OK  
 GAME ROOM 161 SF GLAZING AREA 27.5 SF = 17% VENTING AREA 55% 1' OK.

VENTILATION MIN 12" TOP OF EXCLURE SEE NOTE IN WH. FLOOR 1 FOR APPLICABLE VENT LOCATIONS & SIZE

NOTE: ALL CONSTRUCTION IN LOWER FLOOR TO USE 5/8" PIPE X GYP ED TO ACHIEVE 1-HR. FIRE RATING

REVISIONS	BY
1	12.12.17
2	11.18.19
3	11.27.19

WILLIAM P. COBURN ARCHITECT  
 1224 CENTER ST  
 OAKLAND CA 94607  
 510-893-8076  
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 wpcoburn@pacbell.net

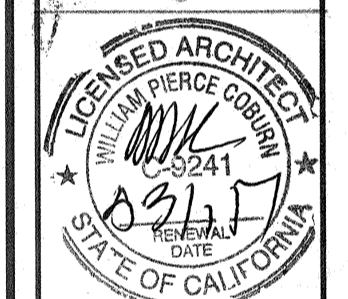


NEW FOUNDATION UNIT RECONFIGURATION AT:
Date: 12/1/16
Scale:
Drawn:
Job:
Sheet: 164
Of: 164

REVISIONS	BY
1	12.17
2	2.28.19
3	7.26.19

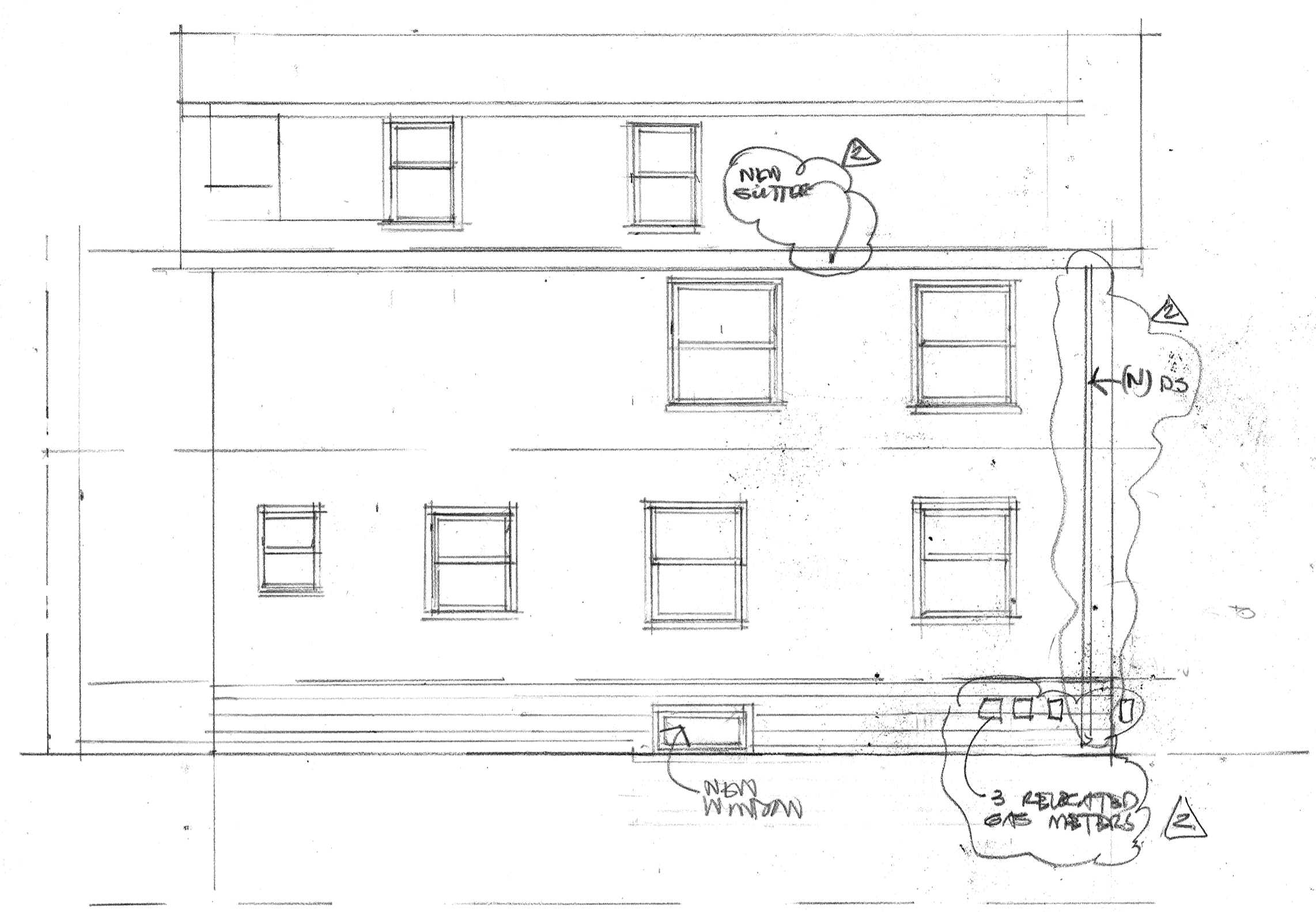
510.893.8825  
510.463.8627  
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CELL 510.757.4085  
wpc@wpcpacbell.net

WILLIAM P. CORRYEN ARCHITECTS  
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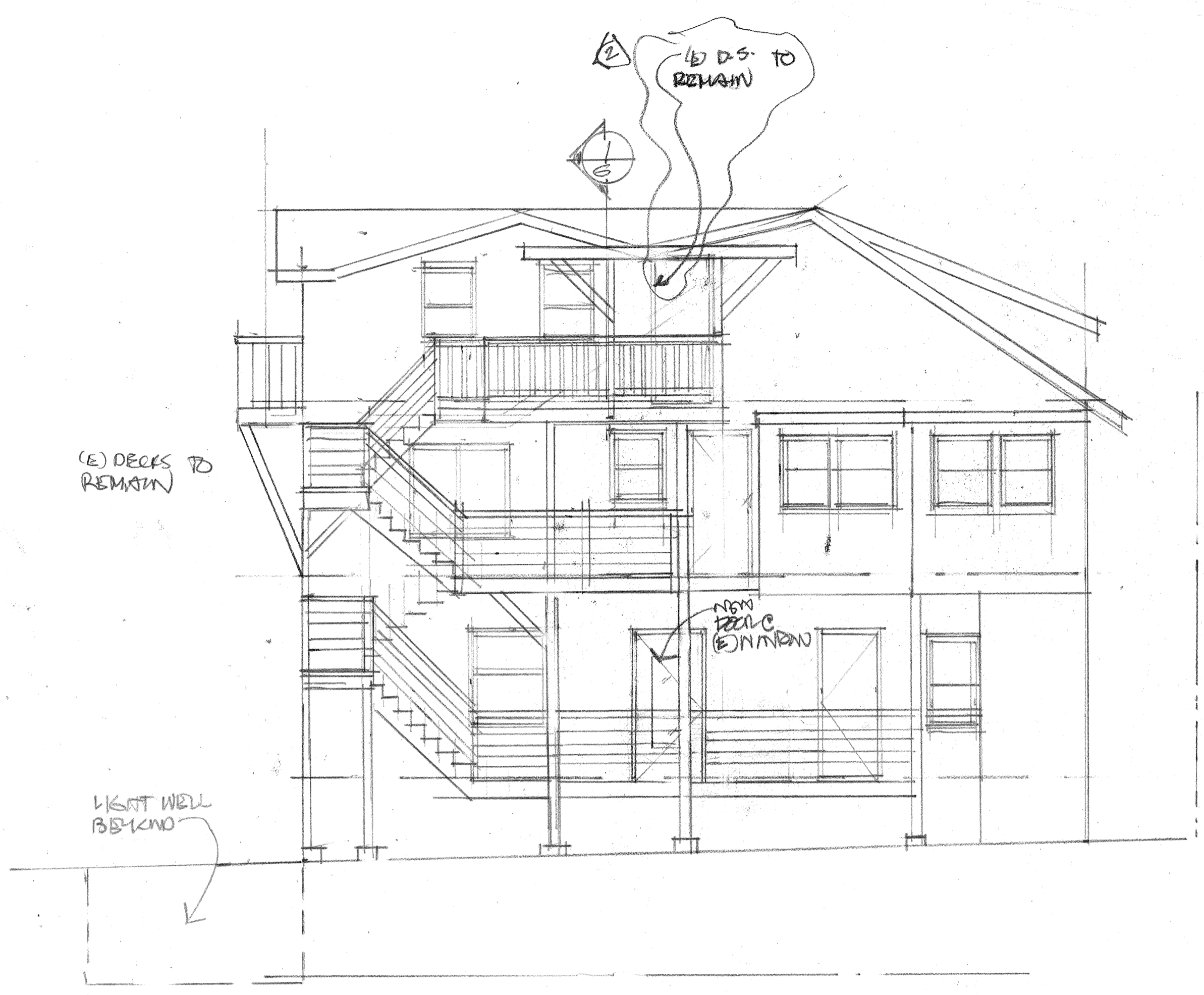


NEW FOUNDATION S UNIT 1 RECONSTRUCTION AT:  
2224 PARADE ST  
BERKELEY CA  
FOR: EVEREST PROPERTIES  
2278 SHATTUCK ST  
BERKELEY CA 94704

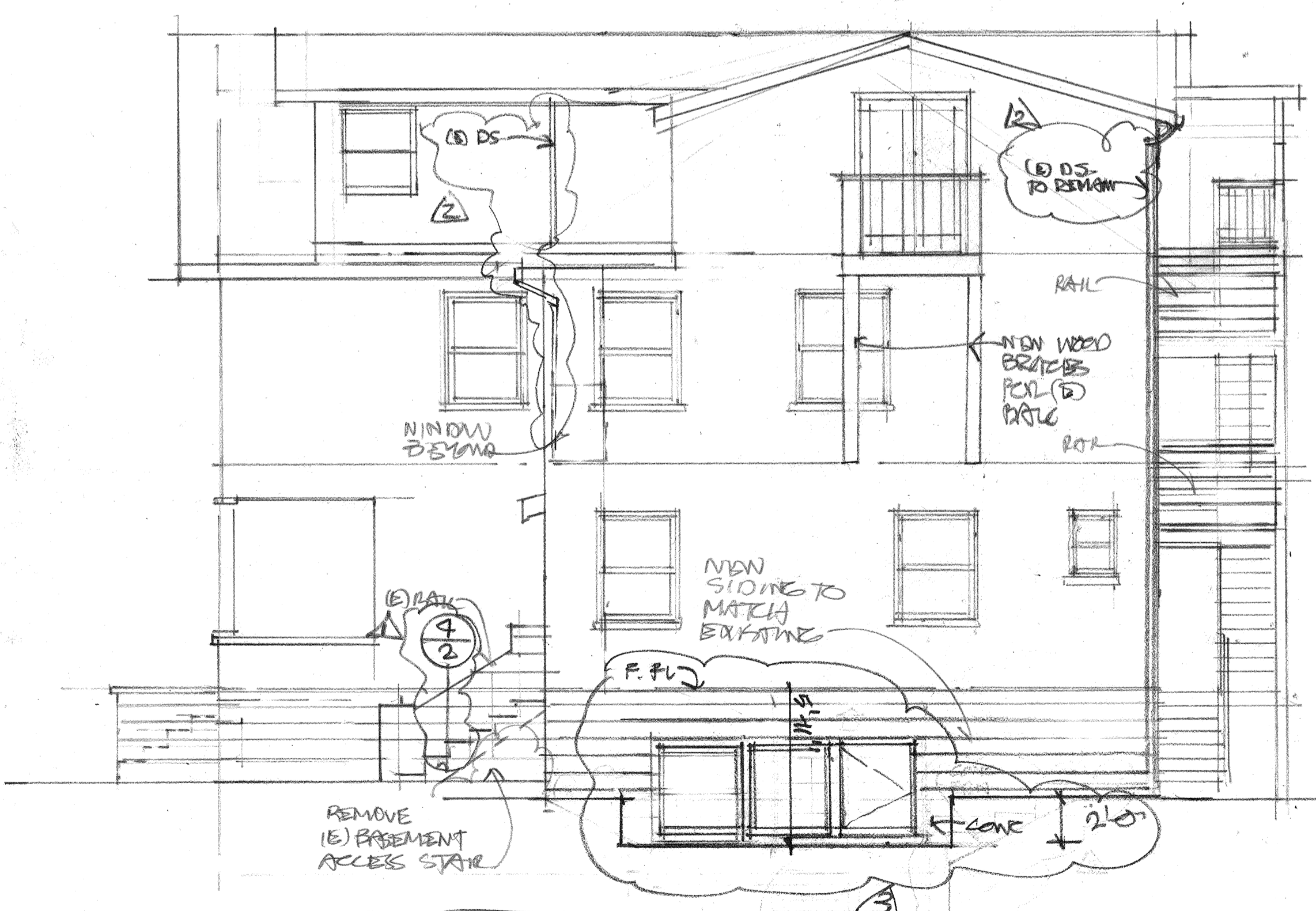
Date: 12/16  
Scale:  
Drawn:  
Job:  
Sheet: 5  
Of 16 Sheets



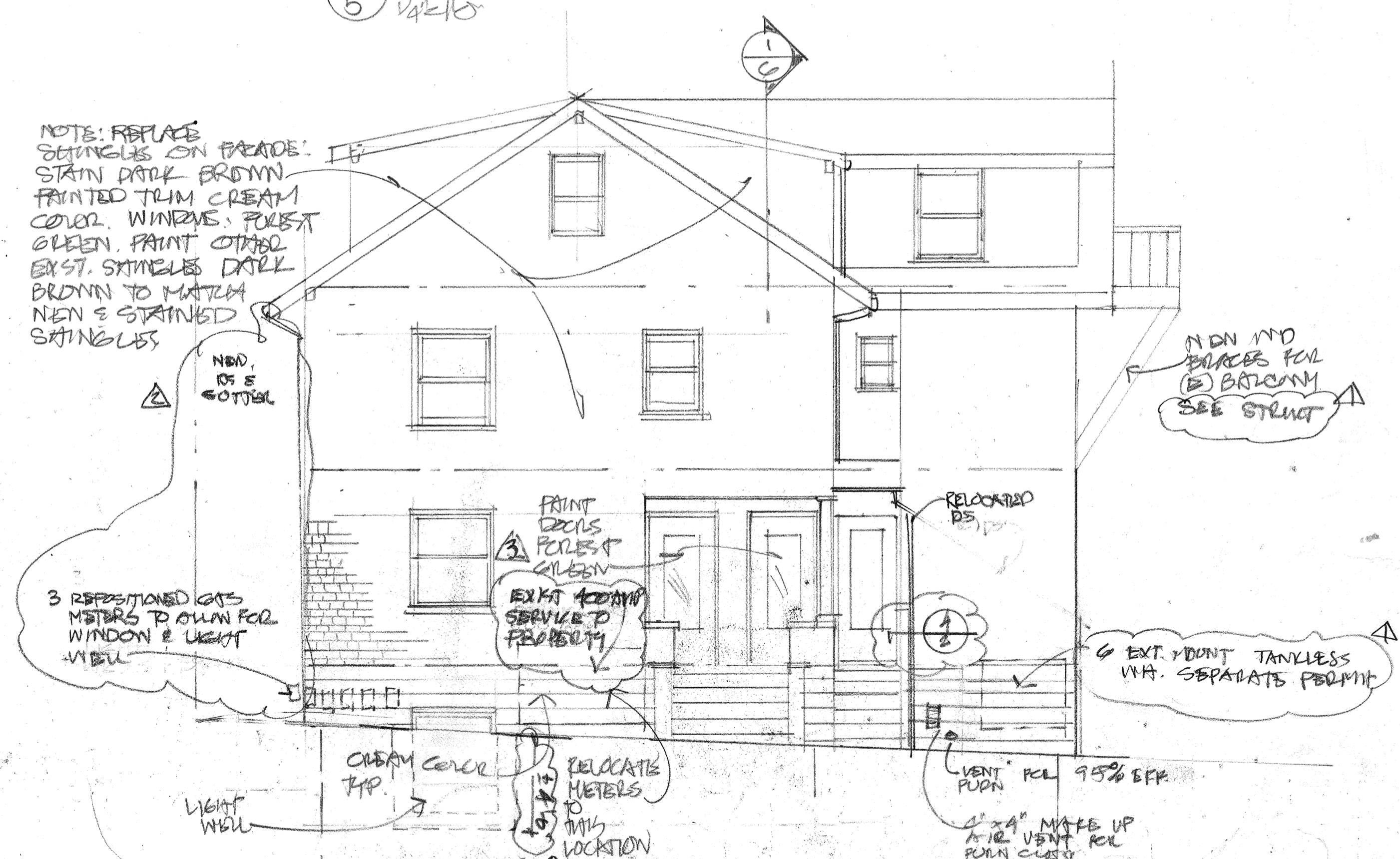
4 EAST SIDE ELEVATION  
5 1/4"=1'-0"



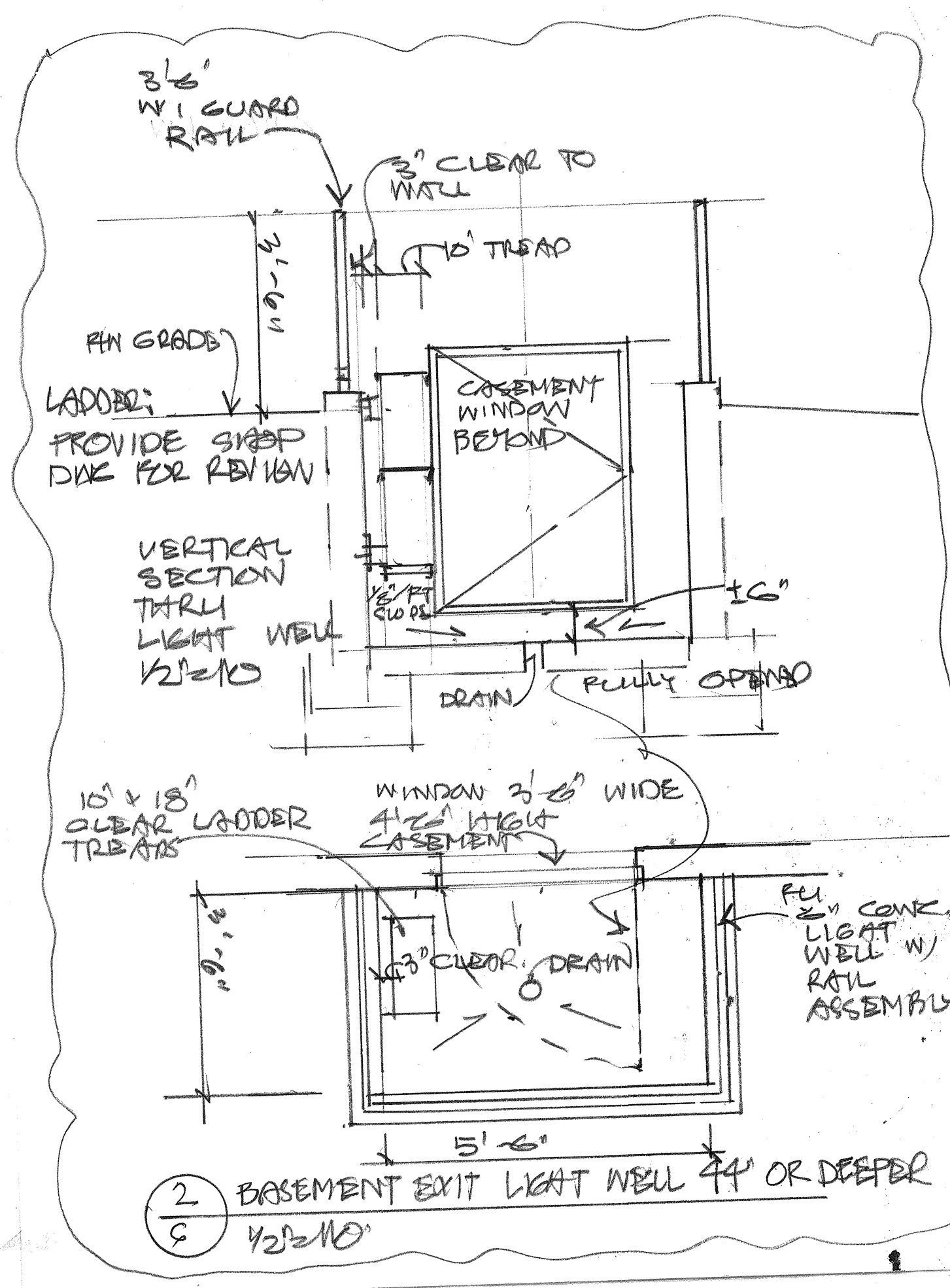
3 REAR/SOUTH ELEVATION  
5 1/4"=1'-0"



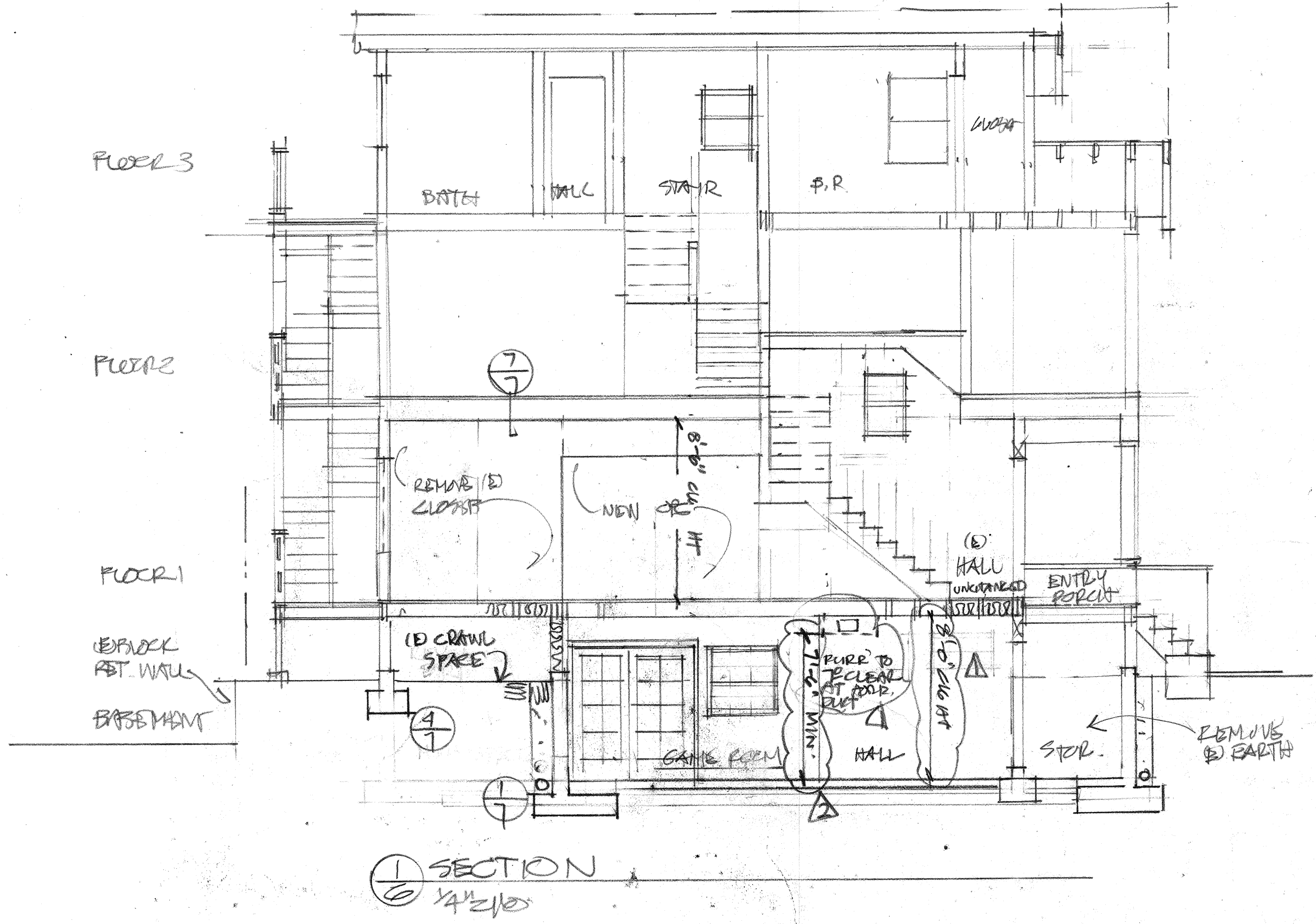
2 WEST SIDE ELEVATION  
5 1/4"=1'-0"



1 FRONT/NORTH ELEVATION  
5 1/4"=1'-0"

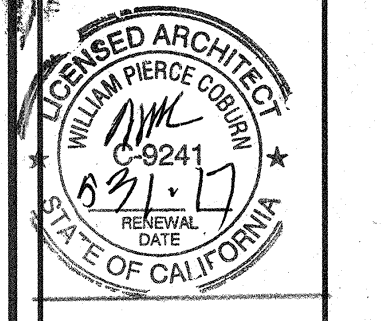


CEILING HEIGHT NOTE: UPPER EXIT FLOOR 8'-6", LOWER FLOOR 8'-0" ALL ROOMS TO ACHIEVE THIS HEIGHT.



REVISIONS	BY
1	
2	
3	
4	
5	

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 1241 CENTER ST  
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 wpc@wpcarc.com  
 wpc@burns.pacific.net

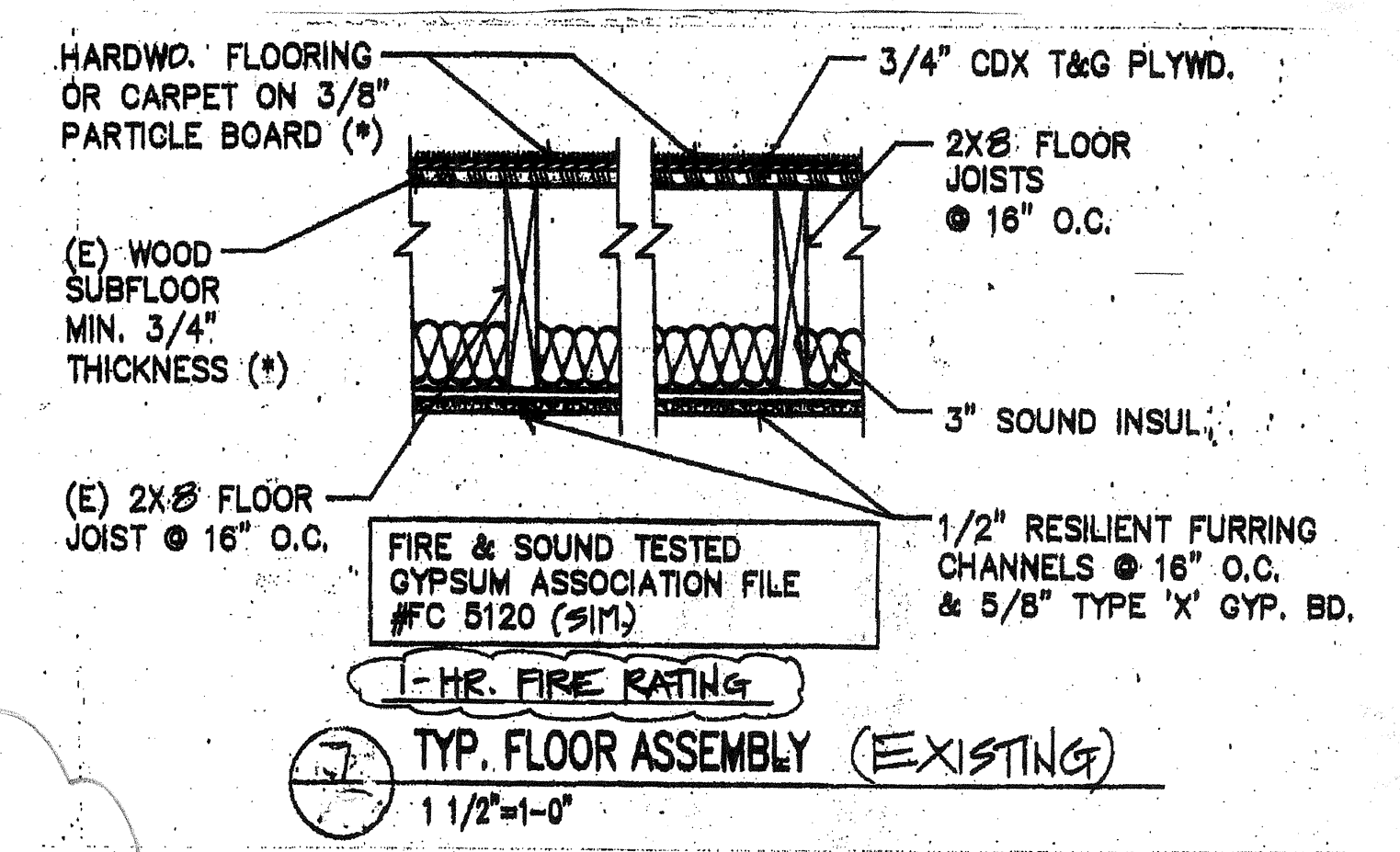
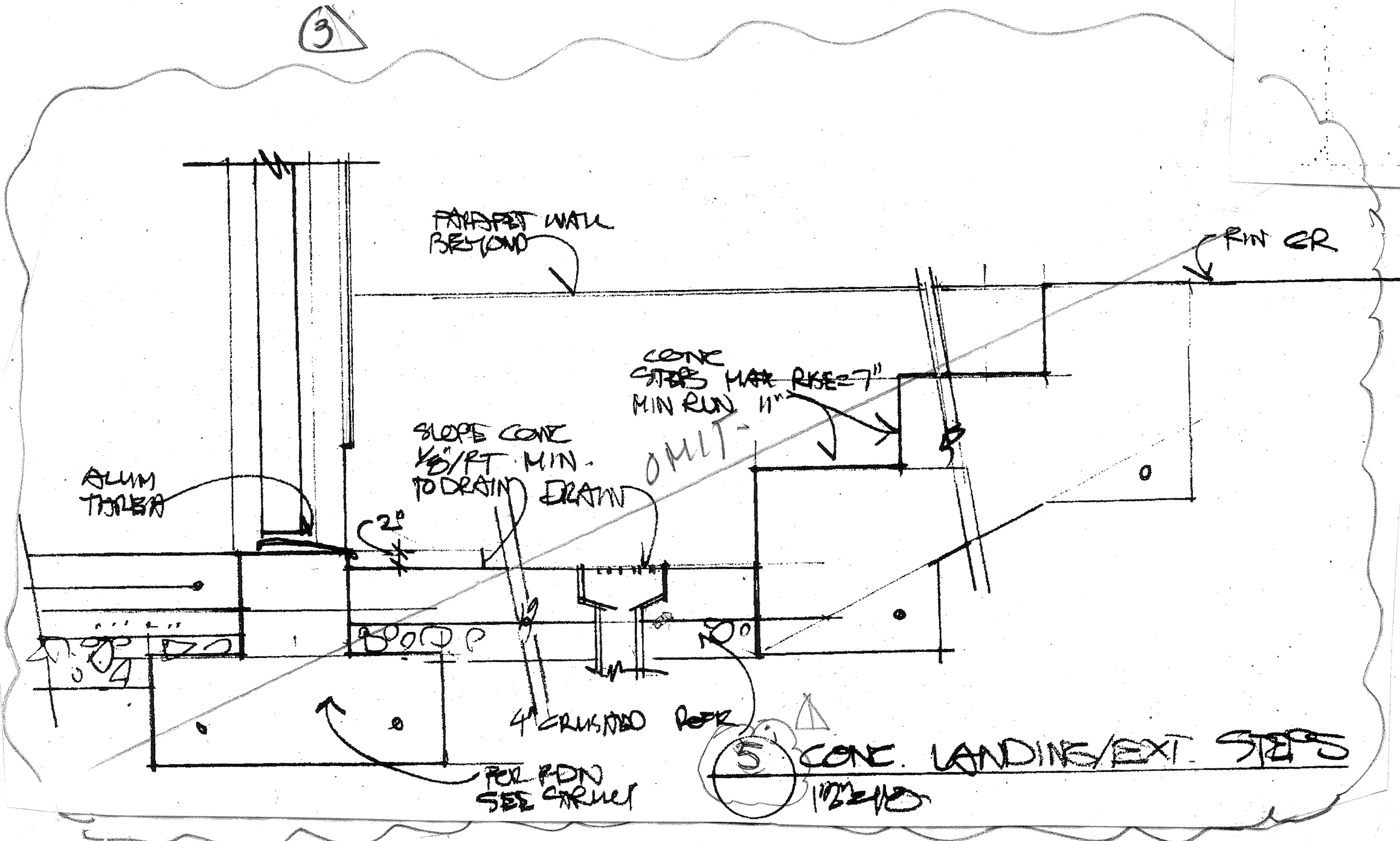
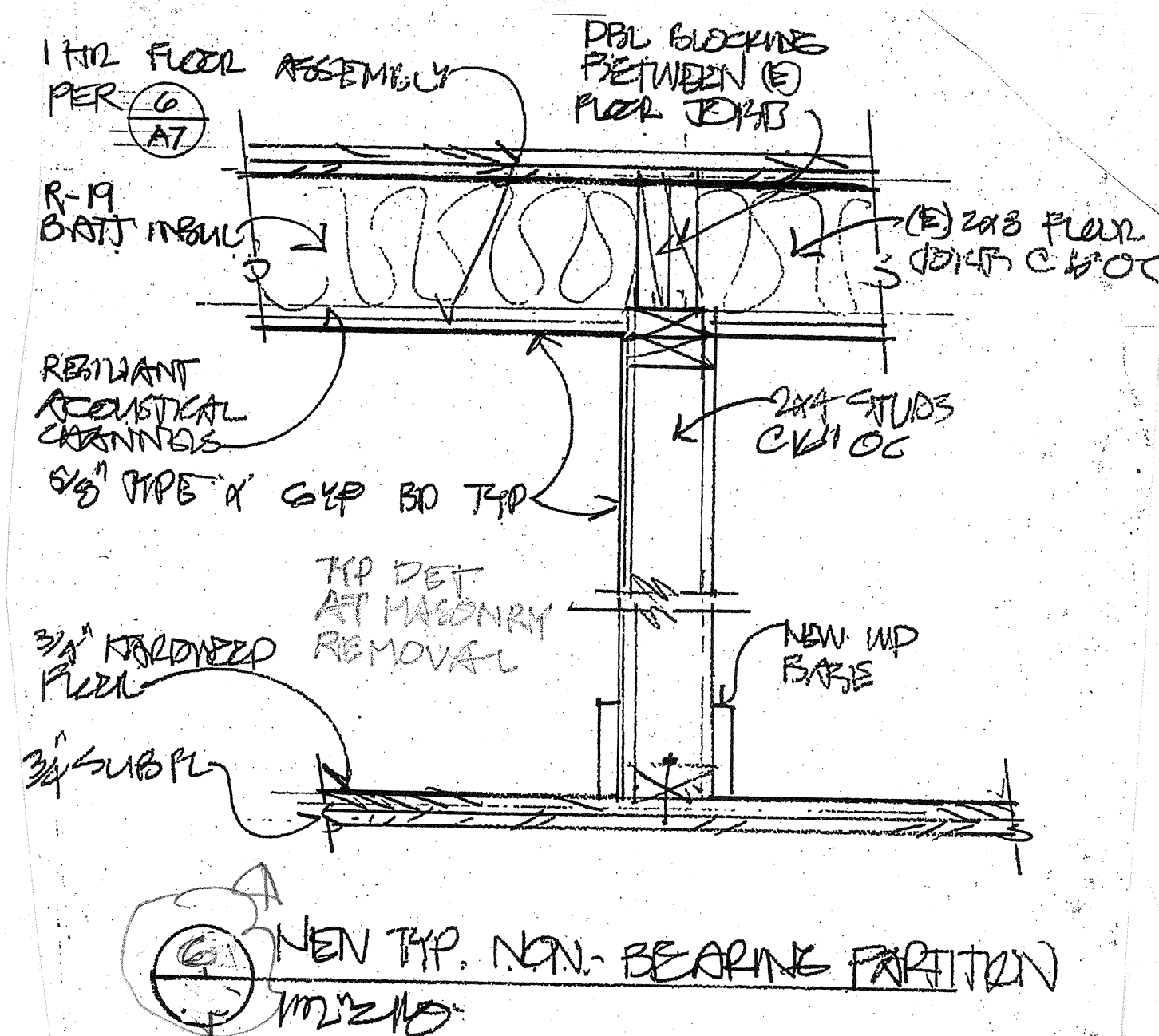


UNLICENSED ARCHITECT  
 WILLIAM PEARCE CORBURN  
 9241  
 09/17  
 RENEWAL  
 DATE 09/17  
 STATE OF CALIFORNIA

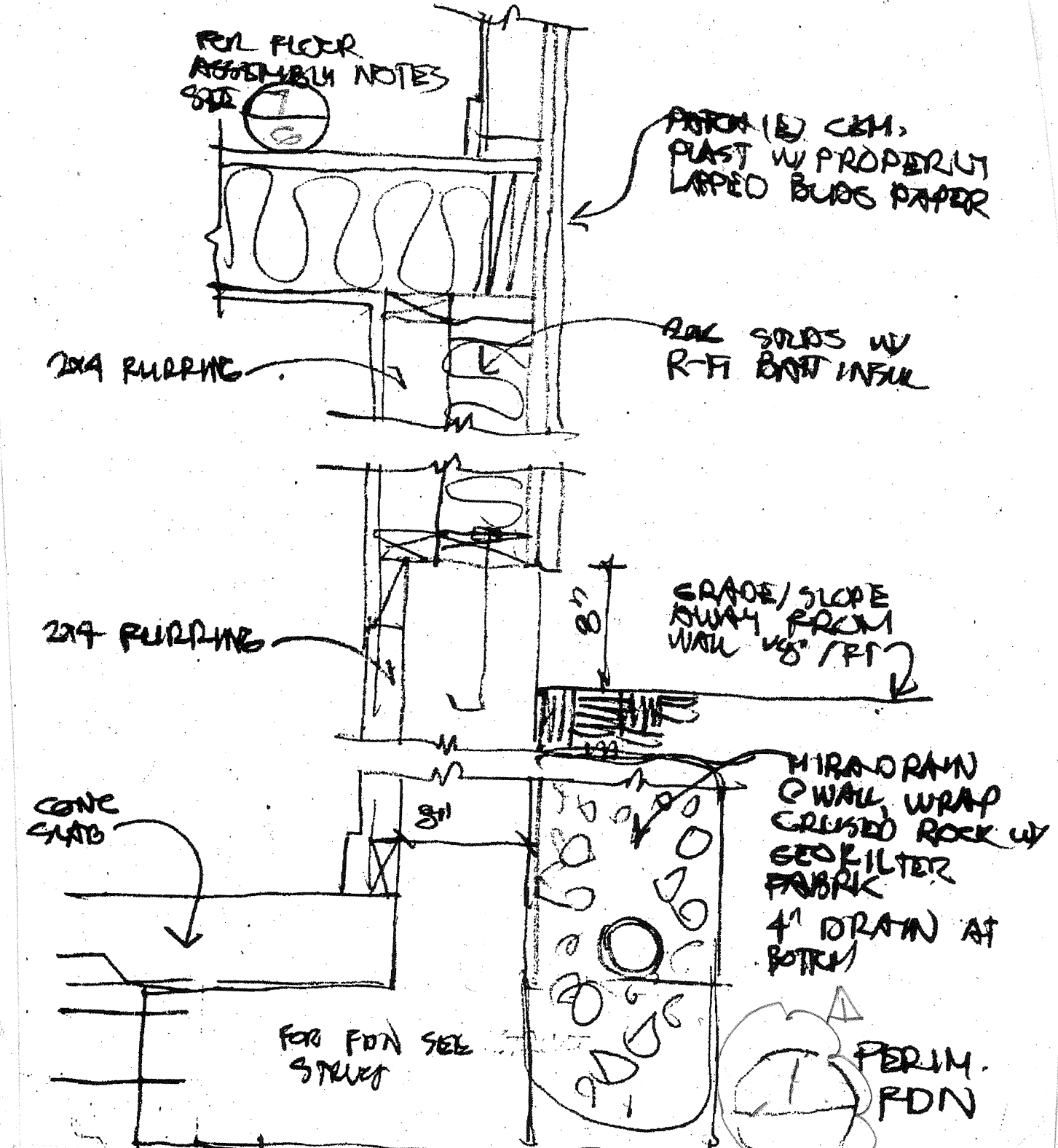
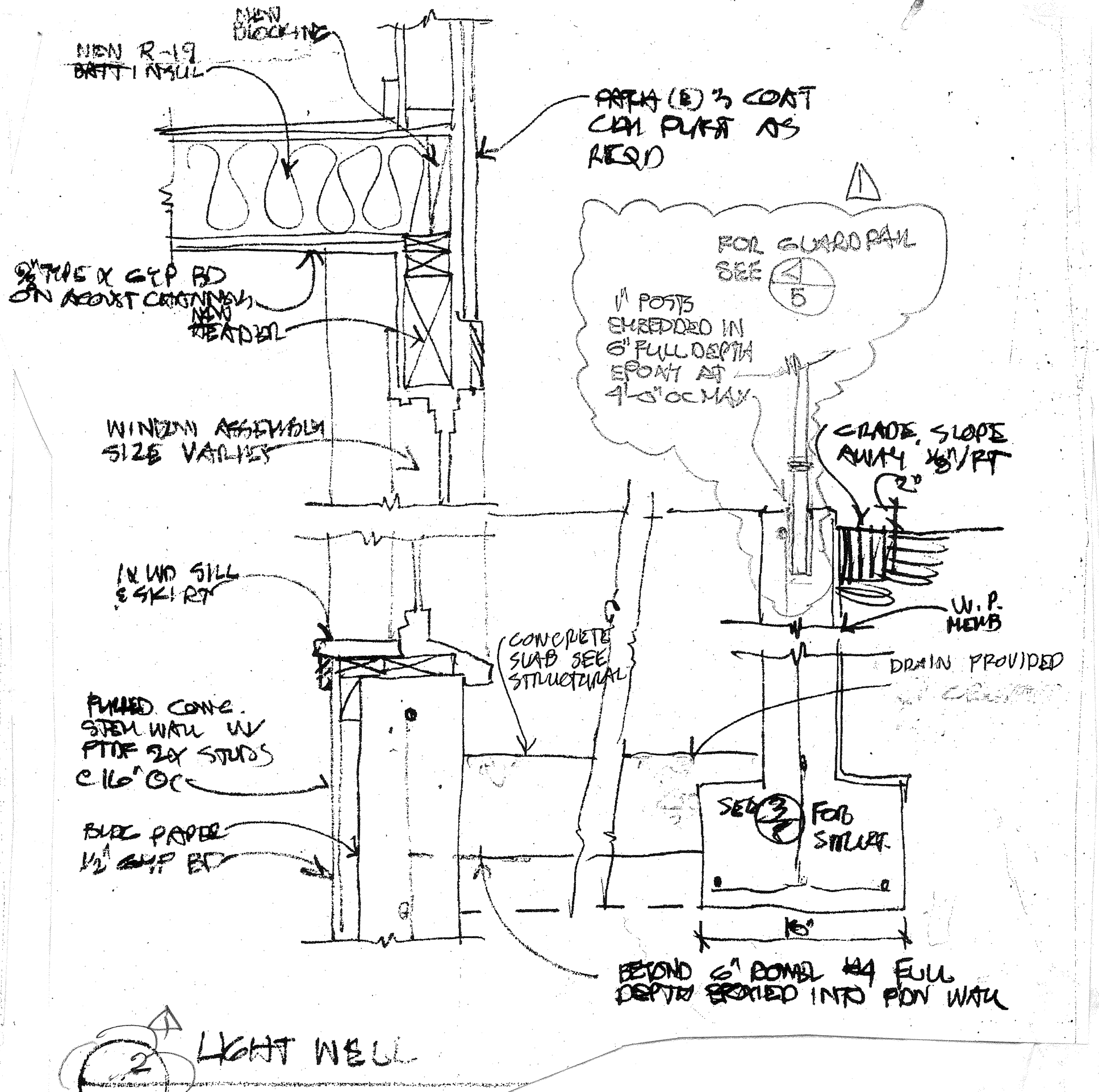
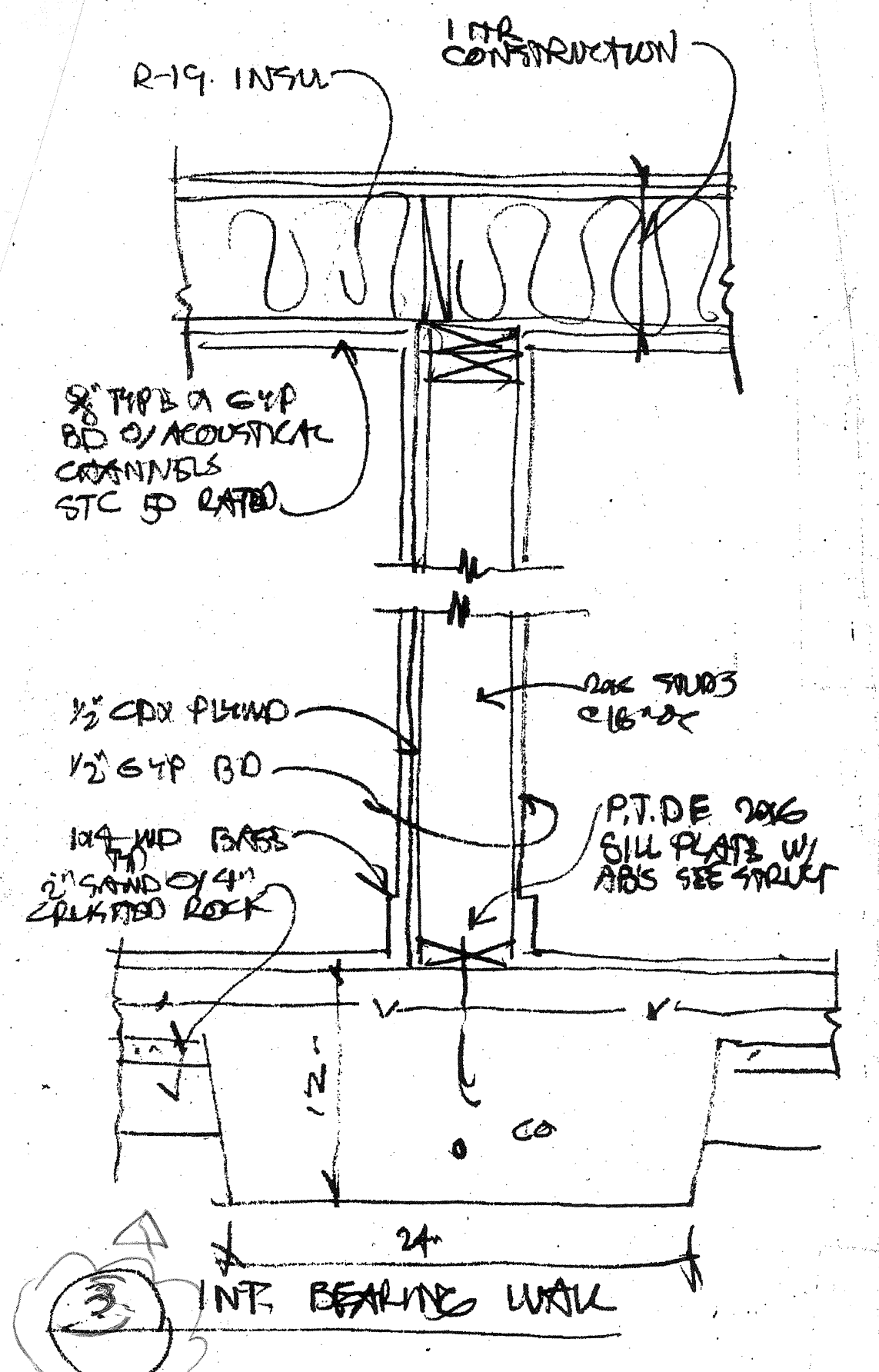
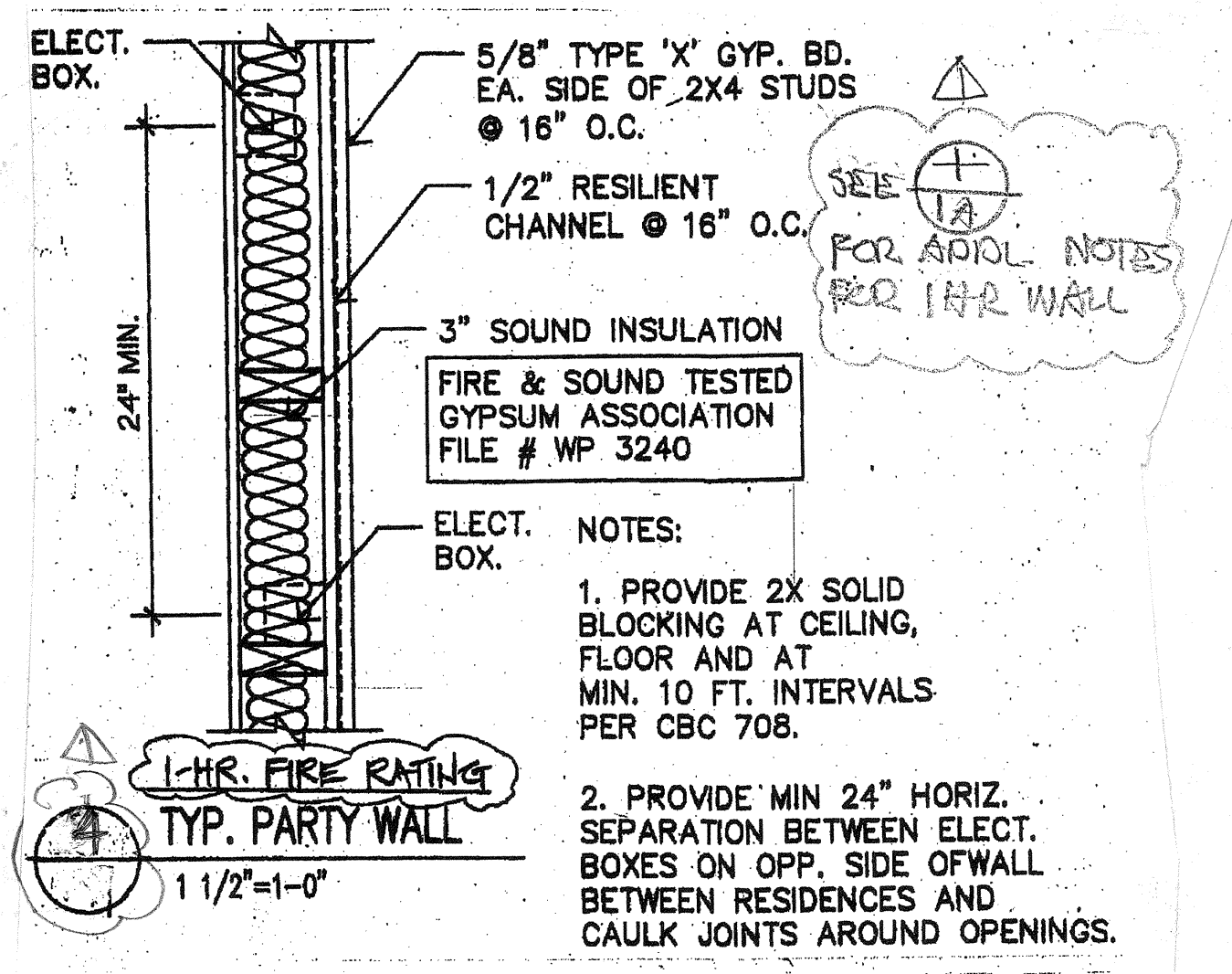
NEW FOUNDATION E UNIT RECONFIGURATION AT:  
 2234 MARSH ST  
 BERKELEY CA  
 PROJ: EUREST PROPERTIES  
 0078 SHERATON BLVD  
 BERKELEY CA 94704

Date: 12/21/16  
 Scale:  
 Drawn:  
 Job:  
 Sheet:  
 16  
 Of 16 Sheets



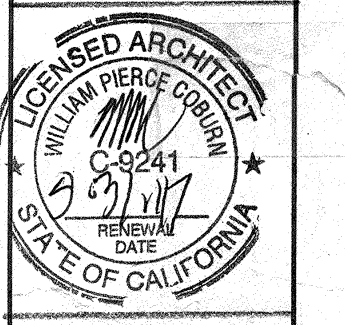


NEW TYP. NON-BEARING PARTITION



REVISIONS	
1	18.18
2	4.26.19

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 1224 CENTER ST. #107  
 OAKLAND CA 94607  
 FAX 510 465 2807  
 CELL 510 757 4085  
 wfc@wfcarch.com



NON FOUNDATION IS BUILT AT:  
 0234 HASTE ST  
 BERKELEY CA  
 FOR EGRESS PROPERTIES  
 1224 CENTER ST  
 OAKLAND CA 94607

Date: 12.21.16  
 Scale:  
 Drawn:  
 Job:  
 Sheet: 7  
 0116 Sheets

2013 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Lighting Measures, Ducts and Fans Measures, Pool and Spa Heating Systems and Equipment Measures, and Energy Design Rating.

2013 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Building Envelope Measures, Fireplaces, Decorative Gas Appliances and Gas Log Measures, Space Conditioning, Water Heating and Plumbing System Measures, and Pool and Spa Heating Systems and Equipment Measures.

2013 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Building Envelope Measures, Fireplaces, Decorative Gas Appliances and Gas Log Measures, Space Conditioning, Water Heating and Plumbing System Measures, and Pool and Spa Heating Systems and Equipment Measures.

RESIDENTIAL MEASURES SUMMARY

Table with columns: Project Name, Building Type, Single Family, Multi Family, Addition, Existing, Addition, Alteration, Date, Project Address, California Energy Climate Zone, Total Cond. Floor Area, Addition, Alteration, # of Units.

Table with columns: Orientation, Area (ft²), U-Fac, SHGC, Overhang, Sidelights, Exterior Shades, Status.

Table with columns: Qty., Heating, Min. Eff, Cooling, Min. Eff, Thermostat, Status.

Table with columns: Location, Heating, Cooling, Duct Location, R-Value, Status.

Table with columns: Qty., Type, Gallons, Min. Eff, Distribution, Status.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Unit 1 Addition Remodel  
Calculation Date/Time: 14:40, Fri, Dec 09, 2016  
Input File Name: coburn 2234 haste unit1.ridx

Table with columns: Project Name, Project Location, City, Zip Code, Climate Zone, Building Type, Project Scope, Total Cond. Floor Area (ft²), Slab Area (ft²), Addition Cond. Floor Area (ft²), Addition Slab Area (ft²).

Table with columns: Zone Name, Zone Type, HVAC System Name, Zone Floor Area (ft²), Avg. Ceiling Height, Water Heating System 1, Water Heating System 2.

Registration Number: 216-404561-10A-00000000-0000  
Registration Date/Time: 2016-12-09 14:45:38  
CA Building Energy Efficiency Standards - 2013 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Unit 1 Addition Remodel  
Calculation Date/Time: 14:40, Fri, Dec 09, 2016  
Input File Name: coburn 2234 haste unit1.ridx

Table with columns: Project Name, Project Location, City, Zip Code, Climate Zone, Building Type, Project Scope, Total Cond. Floor Area (ft²), Slab Area (ft²), Addition Cond. Floor Area (ft²), Addition Slab Area (ft²).

Table with columns: Zone Name, Zone Type, HVAC System Name, Zone Floor Area (ft²), Avg. Ceiling Height, Water Heating System 1, Water Heating System 2.

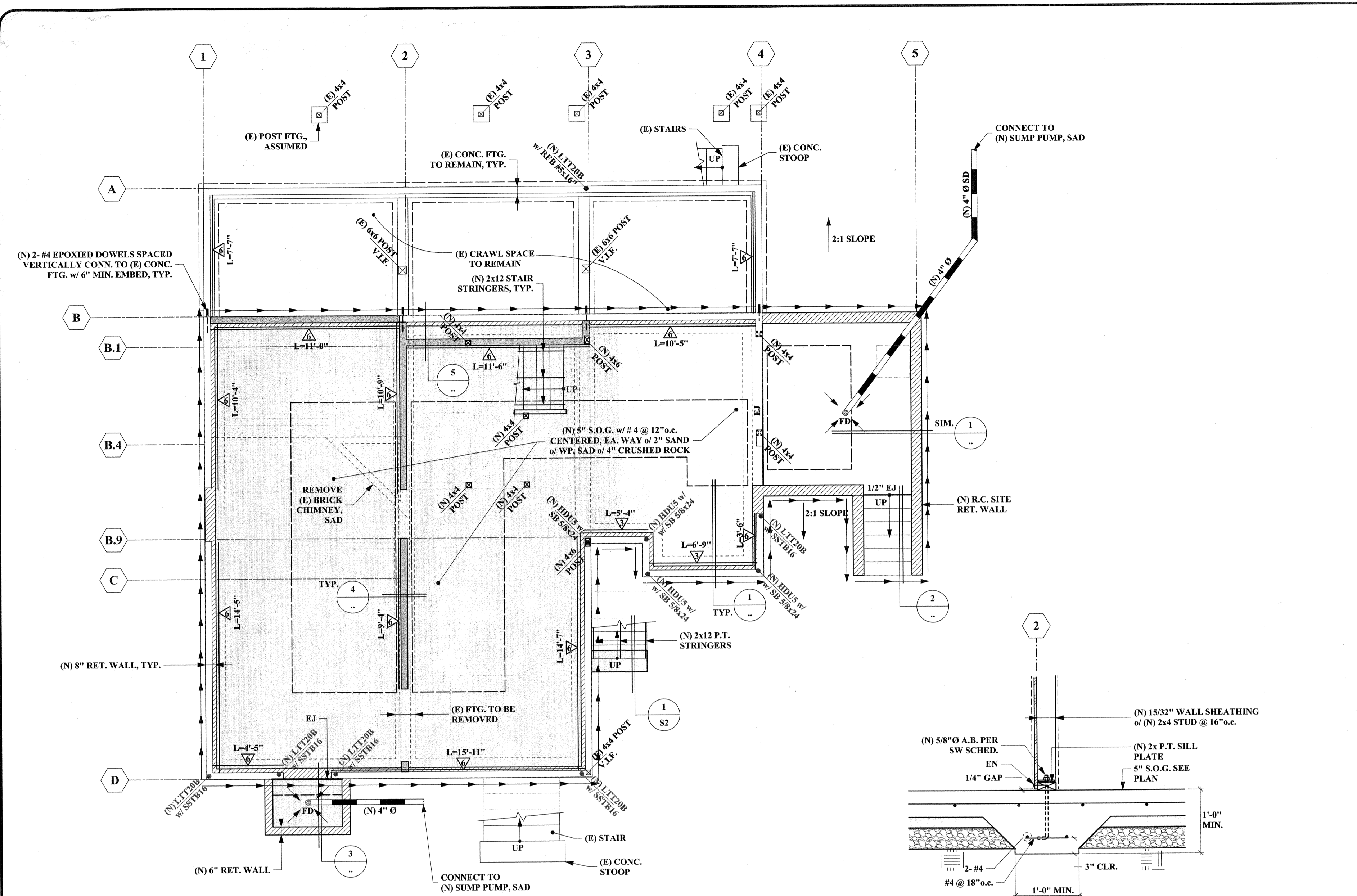
Registration Number: 216-404561-10A-00000000-0000  
Registration Date/Time: 2016-12-09 14:45:38  
CA Building Energy Efficiency Standards - 2013 Residential Compliance

2013 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Building Envelope Measures, Fireplaces, Decorative Gas Appliances and Gas Log Measures, Space Conditioning, Water Heating and Plumbing System Measures, and Pool and Spa Heating Systems and Equipment Measures.

REVISIONS BY table with columns for revision number and author. Includes handwritten notes and a professional seal for a Licensed Architect.





**BASEMENT & FOUNDATION PLAN**  
1/4" = 1'-0" NOTE: 5/8" Ø RFB ANCHORS, LTT20B, SHALL BE TENSION TESTED TO 2500 LB.

**LEGEND**

- (N) CONC. AREA
- (N) 8" RET. WALL
- (N) STRUCTURAL WALL ABOVE
- (E) STRUCTURAL WALL ABOVE
- (N) SHEARPLY w/ (N) STRUCTURAL WALL ABOVE
- (N) SHEARPLY w/ (E) STRUCTURAL WALL ABOVE
- V.I.F. VERIFY IN FIELD
- GRACE HYDRODUCT COMPOSITE BACKDRAIN SYSTEM
- 4" Ø SDR 35 PVC STORM DRAIN. PROVIDE 1'-0" MIN. COVER, & INSTALL w/ 1/8" FT MIN. GRADIENT.
- FD FLOOR DRAIN

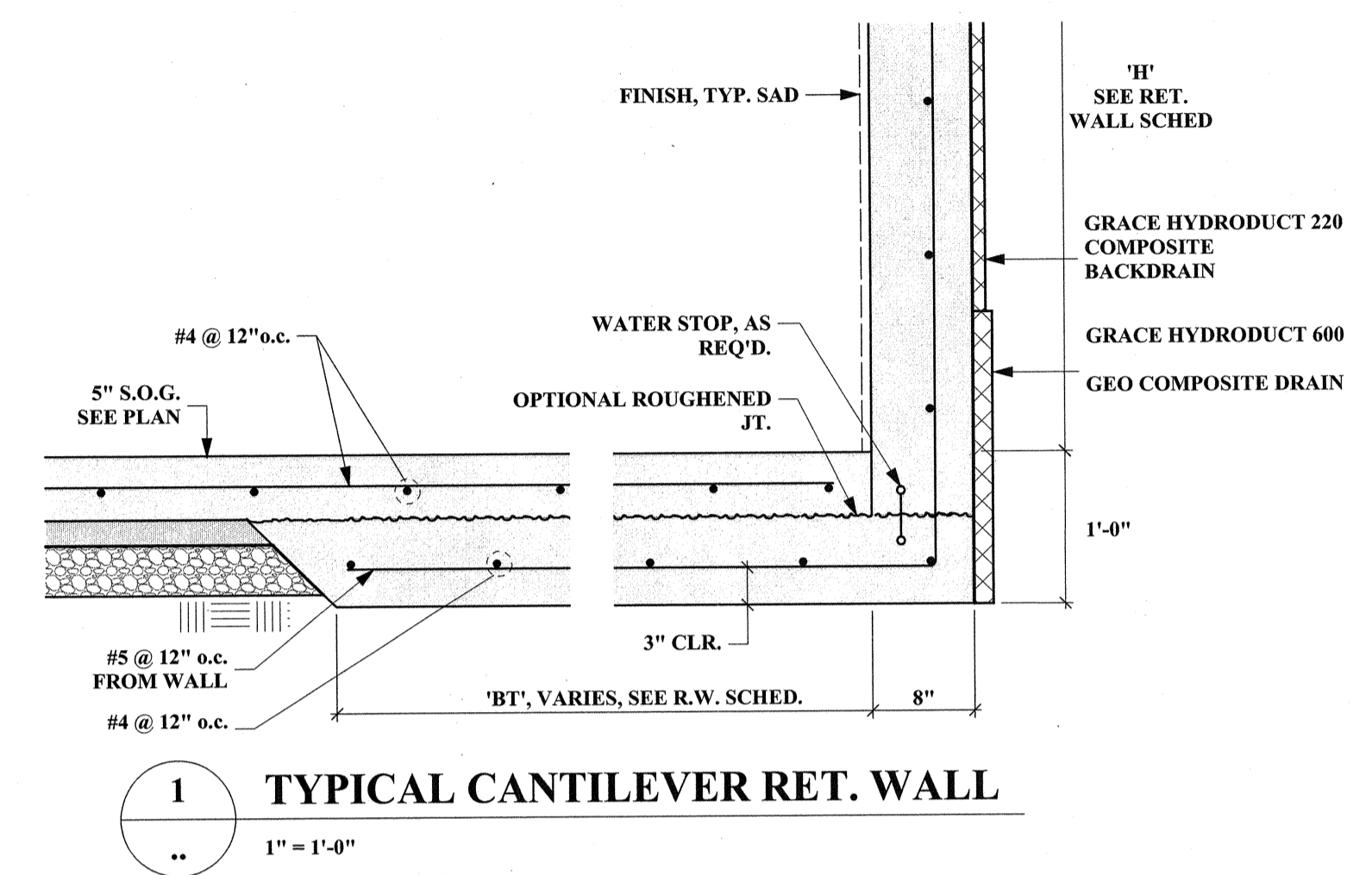
**SHEAR WALL SCHEDULE**

WALL MARK	ALLOWABLE SHEAR LOAD (PLF)	EDGE NAILING	SIMPSON CLIP SIZE & SPACING	SILL PLATE NAILING SIZE & SPACING	ANCHOR BOLTS SPACING (NOTE 7)
▽	310	10d @ 6" o.c.	A35 @ 16" o.c. OR LTP4 @ 24" o.c.	SDS25600 @ 12" o.c.	48" o.c.
▽	600	10d @ 3" o.c.	A35 @ 8" o.c. OR LTP4 @ 12" o.c.	SDS25600 @ 6" o.c.	30" o.c.

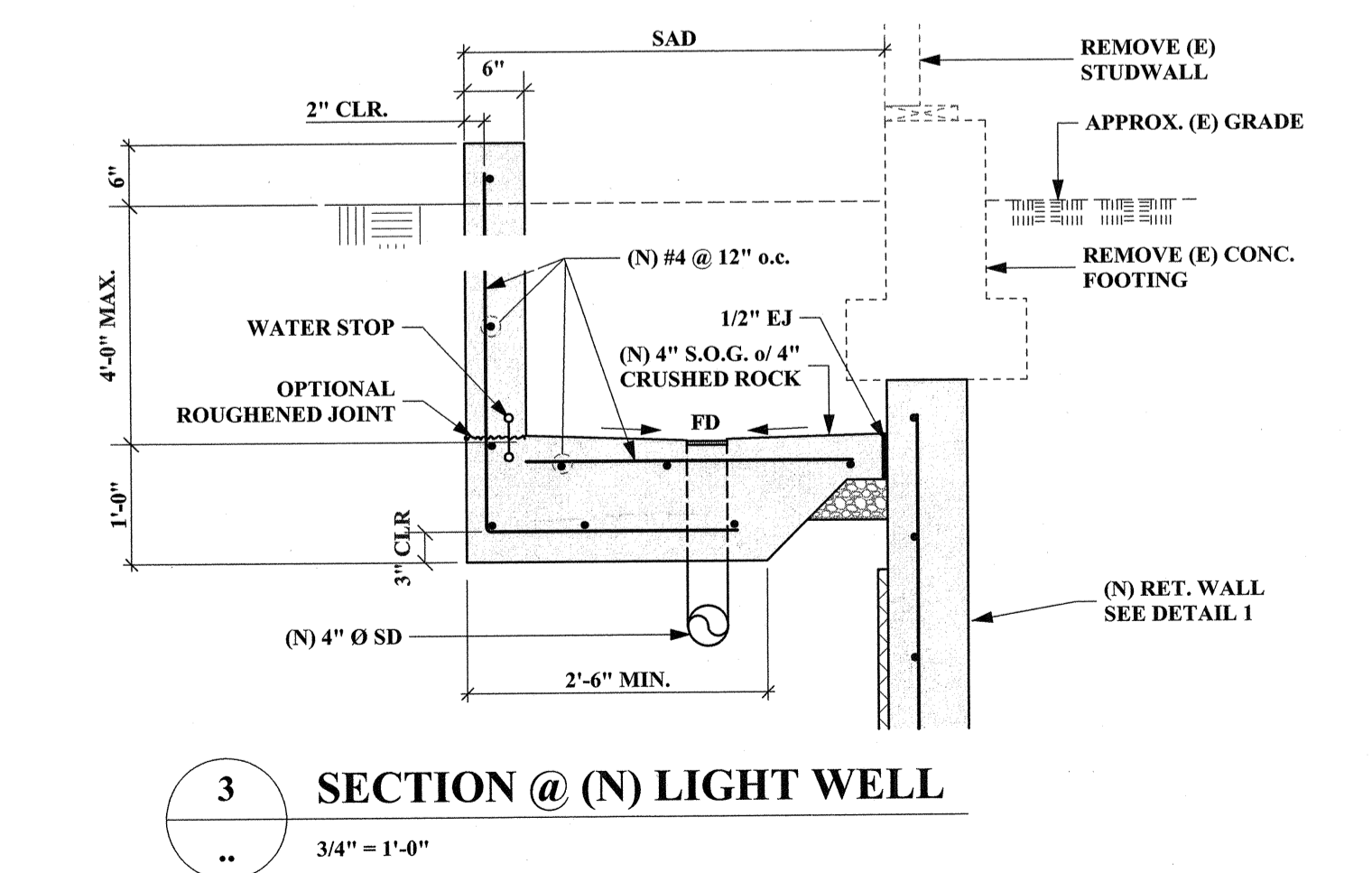
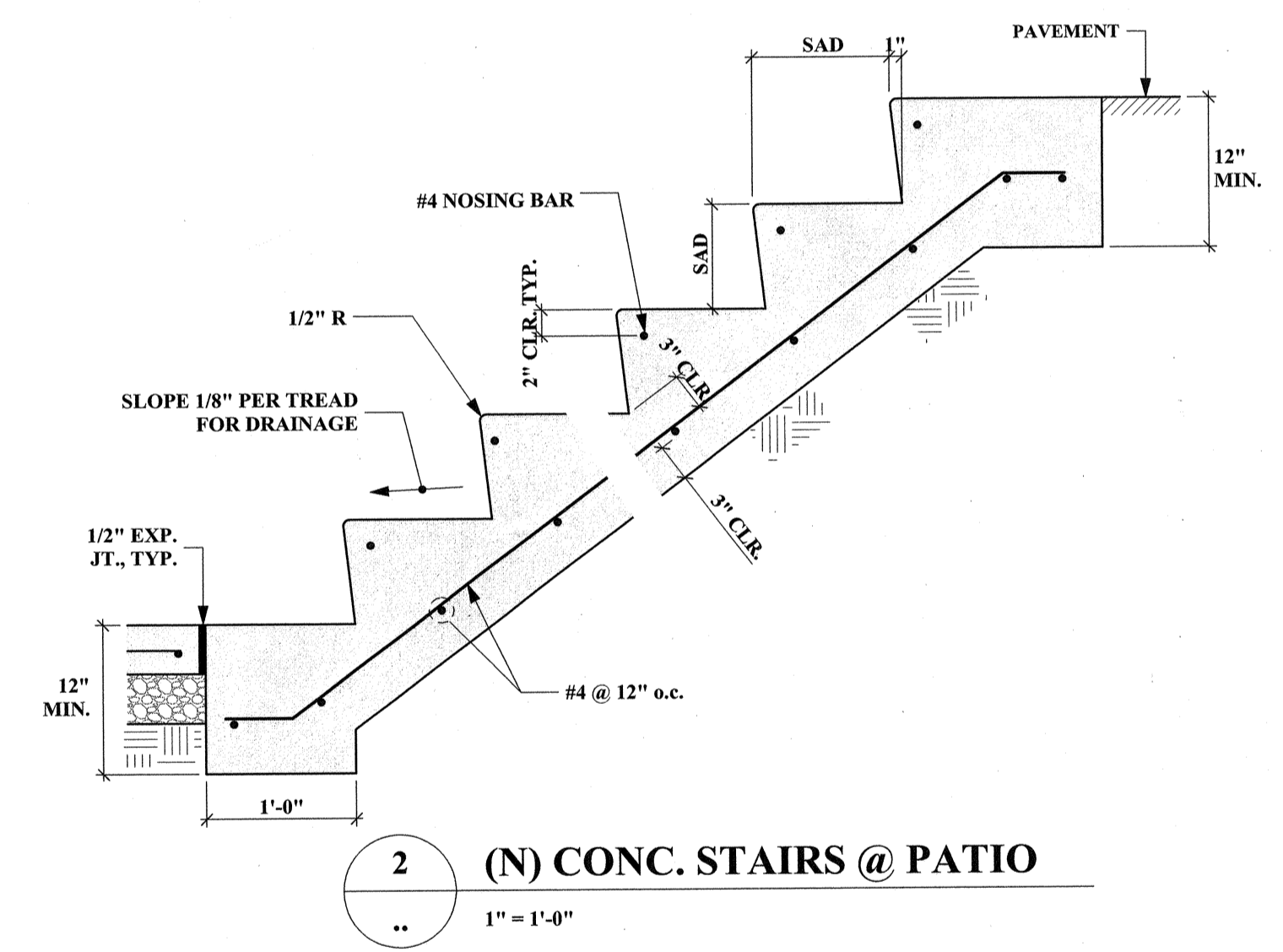
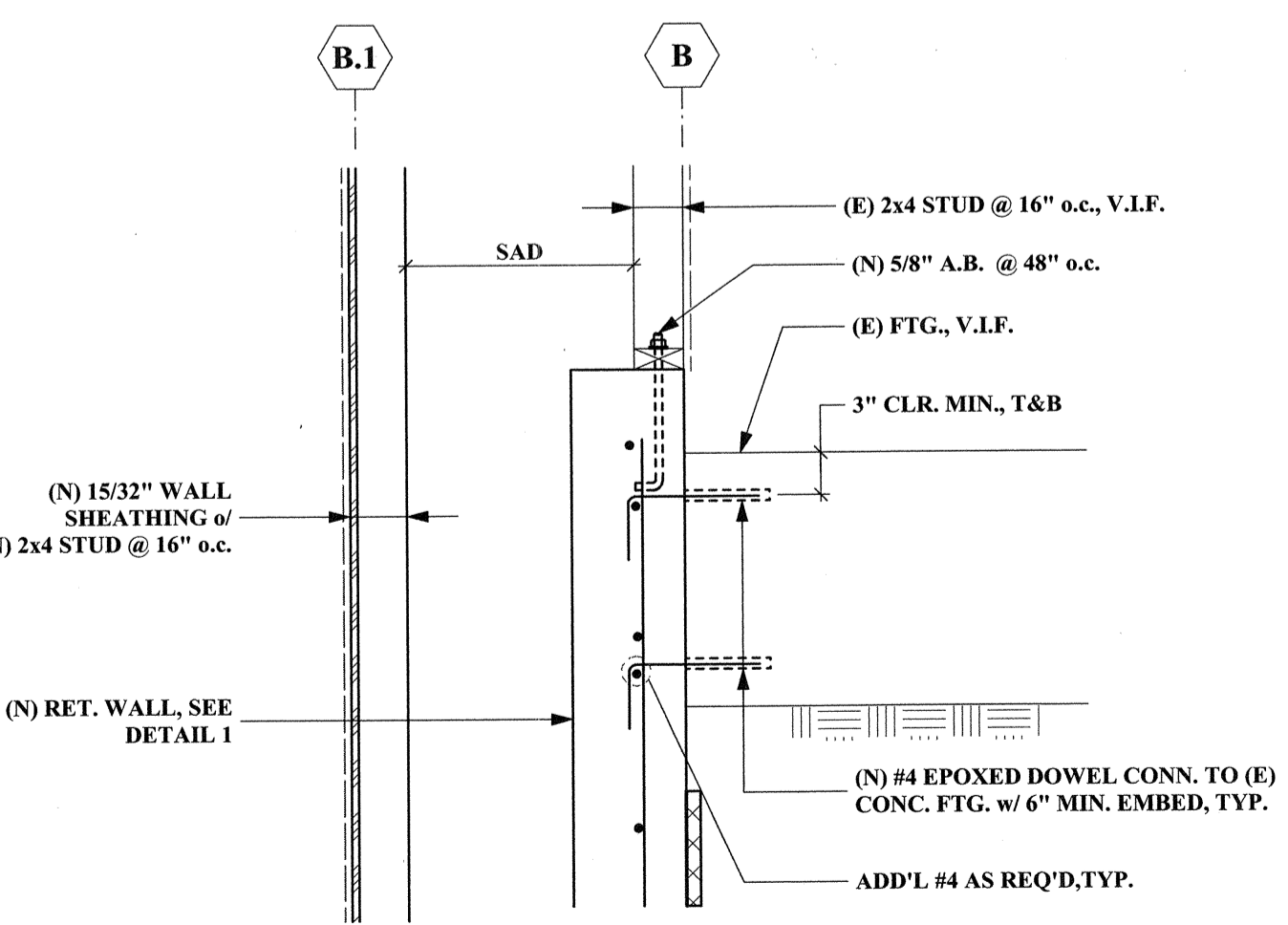
- NOTES:**
- SHEATHING: 15/32" DOUGLAS FIR APA EXTERIOR, EXPOSURE 1, RATED SHEATHING IN CONFORMANCE WITH THE U.S. COMMERCIAL STANDARDS PS-1. AT CONTRACTOR'S OPTION, SHEATHING MAY BE INSTALLED ON OPPOSITE SIDE OF WALL AS INDICATED.
  - STUDS SHALL BE AT 16" O.C. MAXIMUM
  - FIELD NAILING SHALL BE 12" O.C.
  - BLOCK & NAIL ALL SHEATHING EDGES.
  - ALL SHEATHING SHALL BE SPLICED AT CENTERLINE OF FRAMING OR BLOCKING.
  - USE 3x OR DBL 2x's MIN. AT FOUNDATION SILL PLATE AND FOR ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS WHERE ALLOWABLE SHEAR VALUES EXCEED 350 PLF. ALL EDGE NAILING AT ADJOINING PANEL EDGES SHALL BE STAGGERED.
  - ALL WET SET ANCHOR BOLTS SHALL BE 5/8" Ø x 12" w/ 7" MIN. EMBEDMENT AT CONTRACTORS OPTION, 5/8"x8" TITEN HD MAY SUBSTITUTE FOR ANCHOR BOLTS SHOWN, PROVIDE THE SAME SPACING AS PER SCHEDULE. USE 3" SQ. x 1/4" PLATE WASHER W/ DIAGONALLY SLOTTED HOLE.
- \* PROVIDE 3x OR ADDITIONAL 2x NAILER AT SILL PLATE RECEIVING EDGE NAILING WHERE PANELS ARE APPLIED ON BOTH FACES.

**RET. WALL SCHEDULE**

WALL LOCATION	WALL HEIGHT 'H', FT.	FTG. LENGTH 'BT', FT.
HOUSE	> 4'-6" ≤ 6'-6"	4'-9"
SITE	> 4'-0" ≤ 6'-0"	3'-9"
	> 2'-0" ≤ 4'-0"	2'-0"
	≤ 2'-0"	1'-0"



**4 (N) INTERIOR WALL FTG. @ LINE 2**  
1" = 1'-0"



**REVISIONS**

NO.	DESCRIPTION	BY

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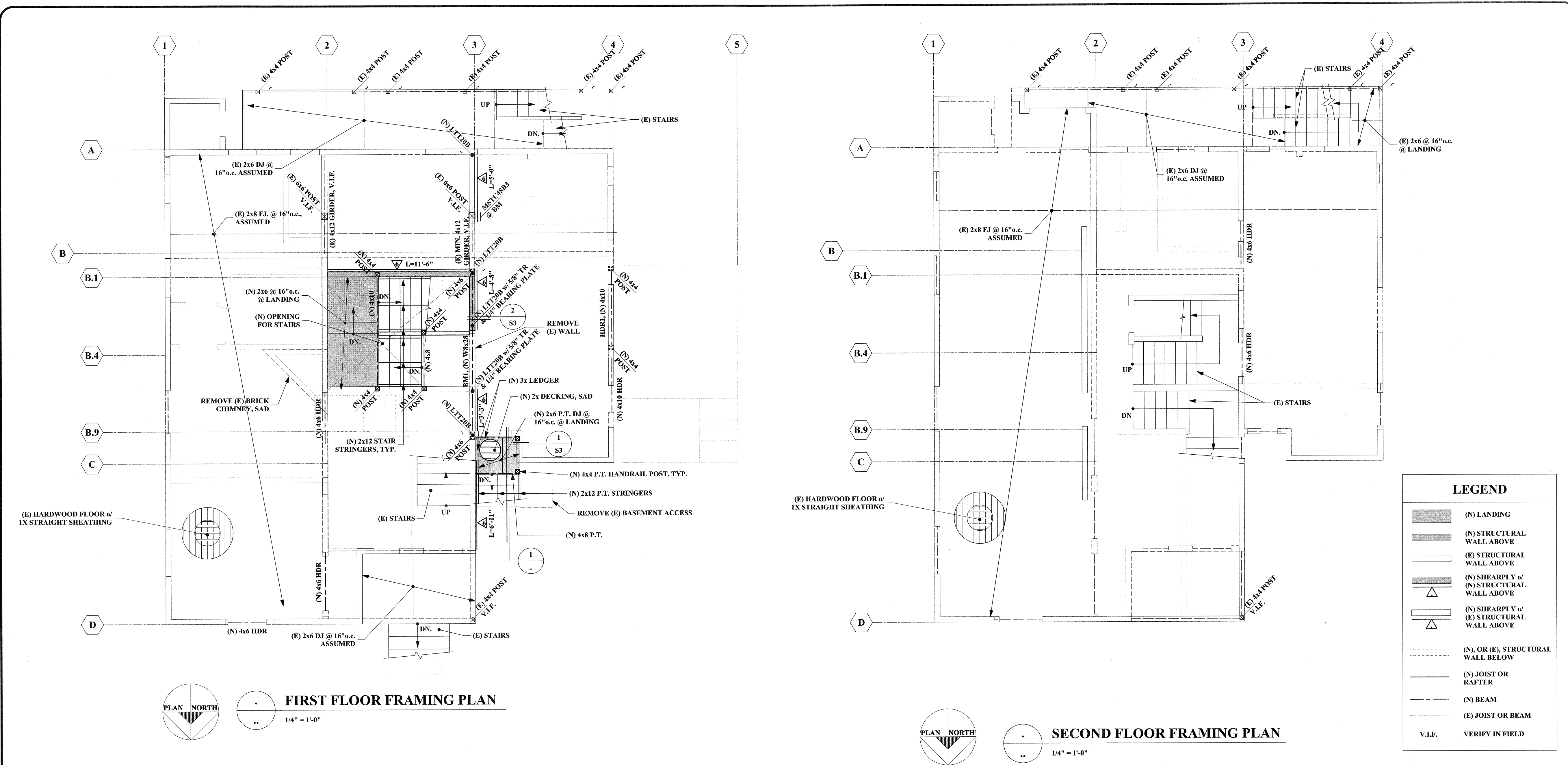
Client:  
L.B Reddy  
Everest Properties  
2278 Shattuck Ave.  
Berkeley, CA 94704

**New Basement Remodel**  
2234 Haste Street  
Berkeley, CA 94704

**BASEMENT & FOUNDATION PLAN, & DETAILS**

DRAWN: JAC & LBH  
CHECKED: GSO  
DATE: December 6, 2016  
SCALE: As Noted  
JOB: 1685  
SHEET

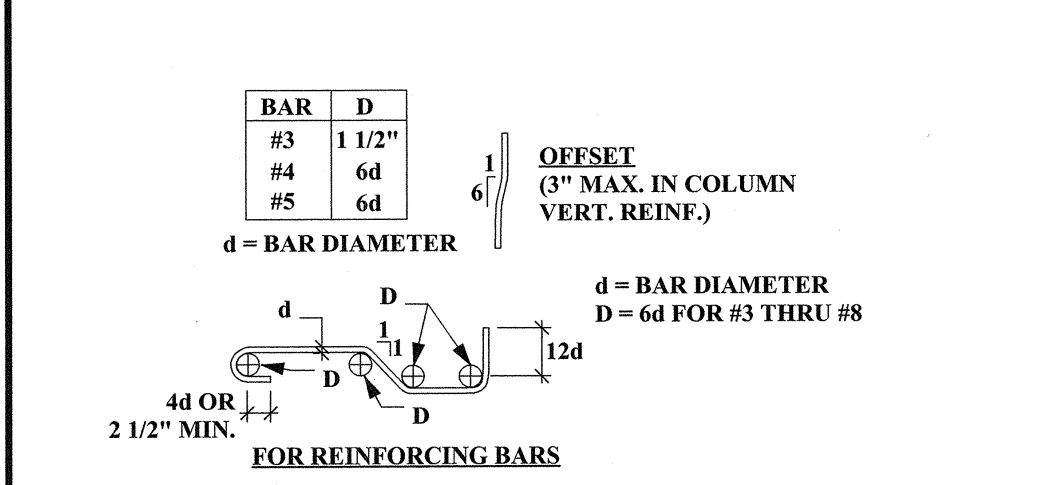
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**SHEAR WALL SCHEDULE**

WALL MARK	ALLOWABLE SHEAR LOAD (PLF)	EDGE NAILING	SIMPSON CLIP SIZE & SPACING	SILL PLATE NAILING SIZE & SPACING
▽	310	10d @ 6" o.c.	A35 @ 16" o.c. OR LTP4 @ 24" o.c.	SDS25600 @ 12" o.c.

- NOTES:**
1. SHEATHING: 1532" DOUGLAS FIR APA EXTERIOR, EXPOSURE 1, RATED SHEATHING IN CONFORMANCE WITH THE U.S. COMMERCIAL STANDARDS PS-1. AT CONTRACTOR'S OPTION, SHEATHING MAY BE INSTALLED ON OPPOSITE SIDE OF WALL AS INDICATED.
  2. STUDS SHALL BE AT 16" O.C. MAXIMUM
  3. FIELD NAILING SHALL BE 12" O.C.
  4. BLOCK & NAIL ALL SHEATHING EDGES.
  5. ALL SHEATHING SHALL BE SPLICED AT CENTERLINE OF FRAMING OR BLOCKING.

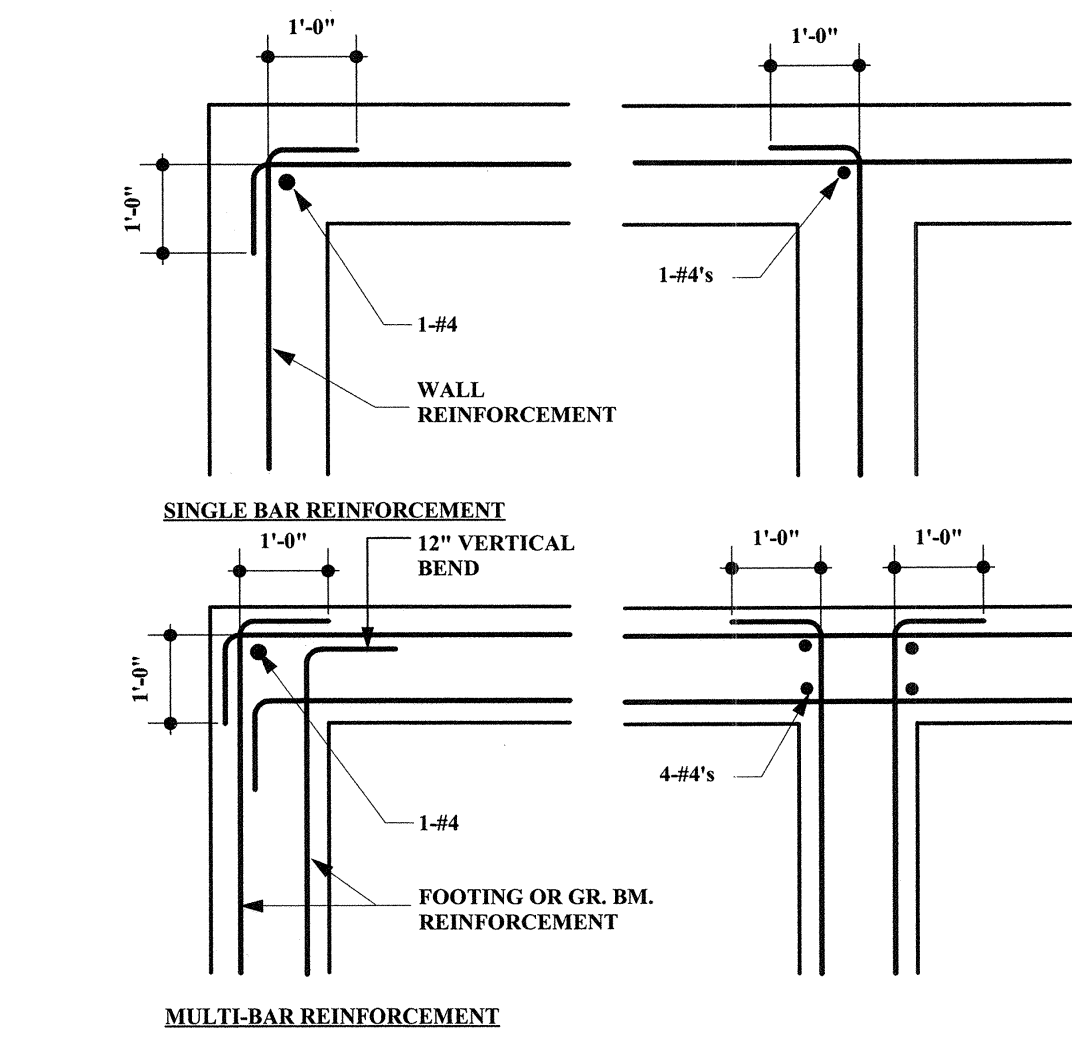


**4 BAR BENDING DETAIL**  
NOT TO SCALE

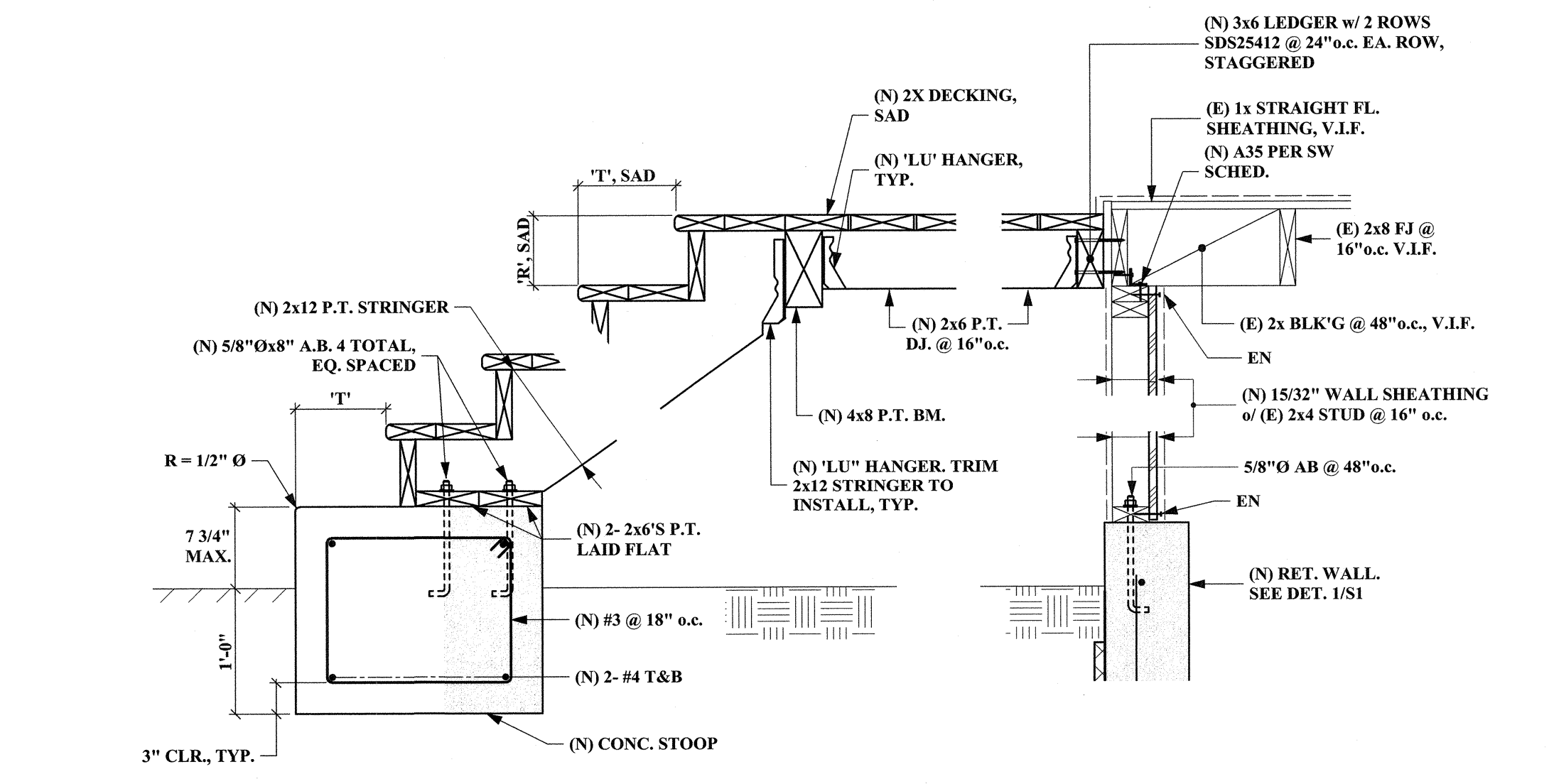
**TENSION LAP SPlice SCHEDULE**

BAR SIZE	HARDROCK CONCRETE	
	HORIZ. SLAB BARS	GRADE BEAMS
#3	25"	31"
#4	32"	41"
#5	40"	52"

**3 TENSION LAP SPlice SCHEDULE**  
NTS



**2 REINFORCING @ INTERSECTIONS & CORNERS**  
NOT TO SCALE

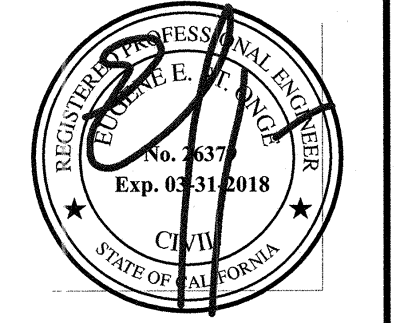


**1 SECTION @ (N) EXTERIOR STAIRS**  
NOTE: SAD FOR WATERPROOFING.

**REVISIONS**

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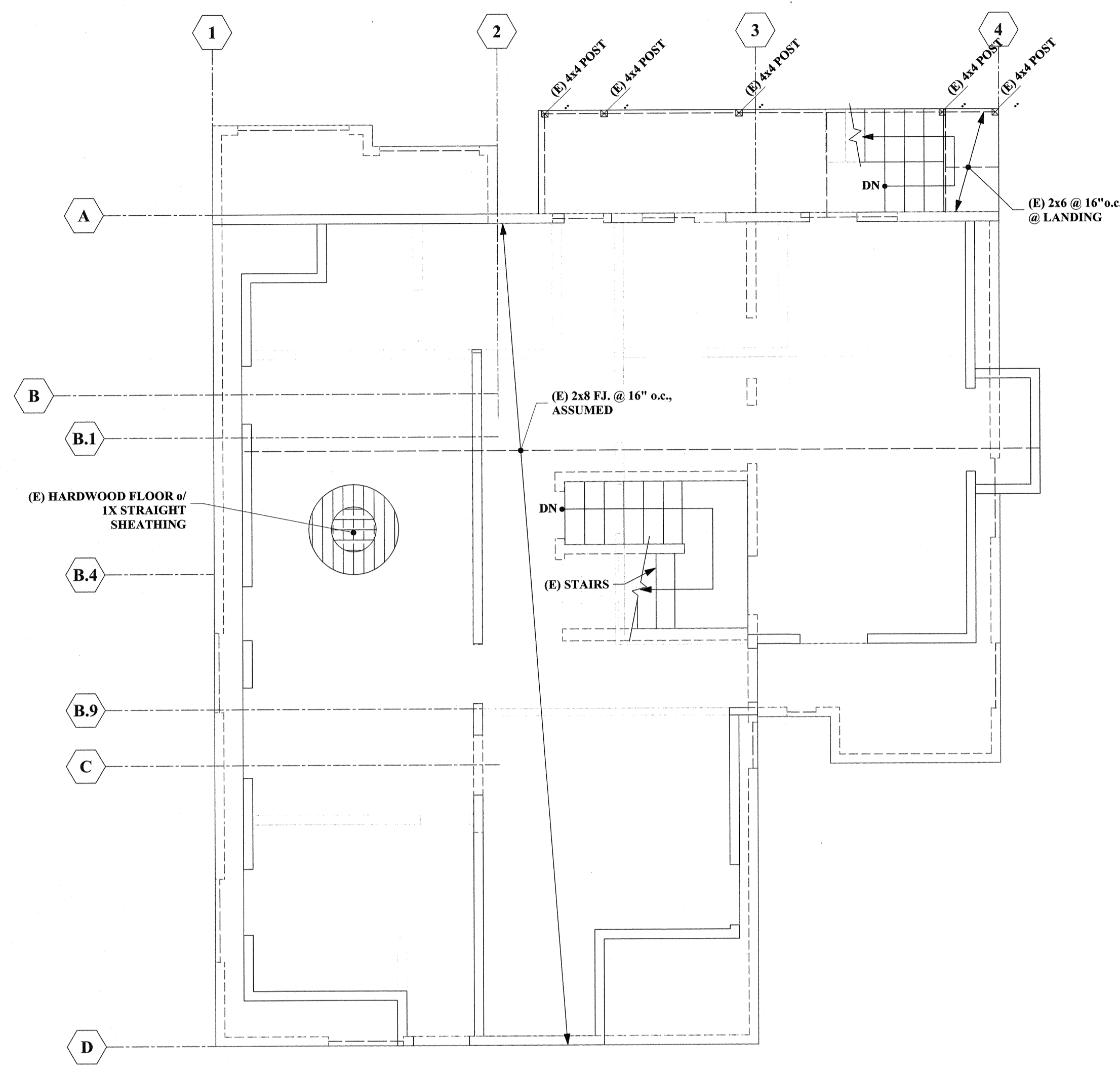
**New Basement Remodel**  
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**FIRST FLOOR FRAMING PLAN, SECOND FLOOR FRAMING PLAN, & DETAILS**

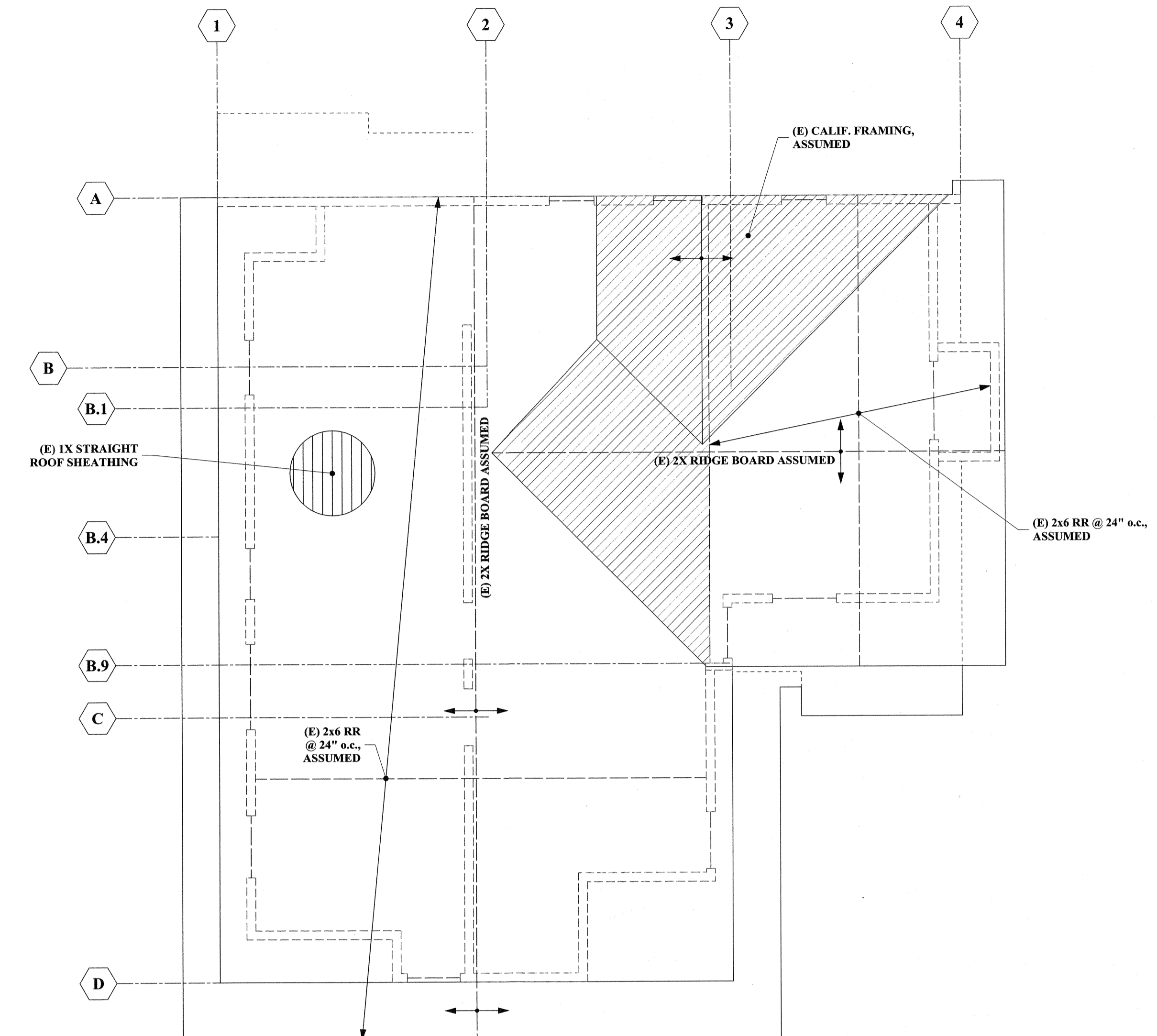
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JAC & LBH  
**CHECKED**  
GSO  
**DATE**  
December 6, 2016  
**SCALE**  
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**JOB**  
1685  
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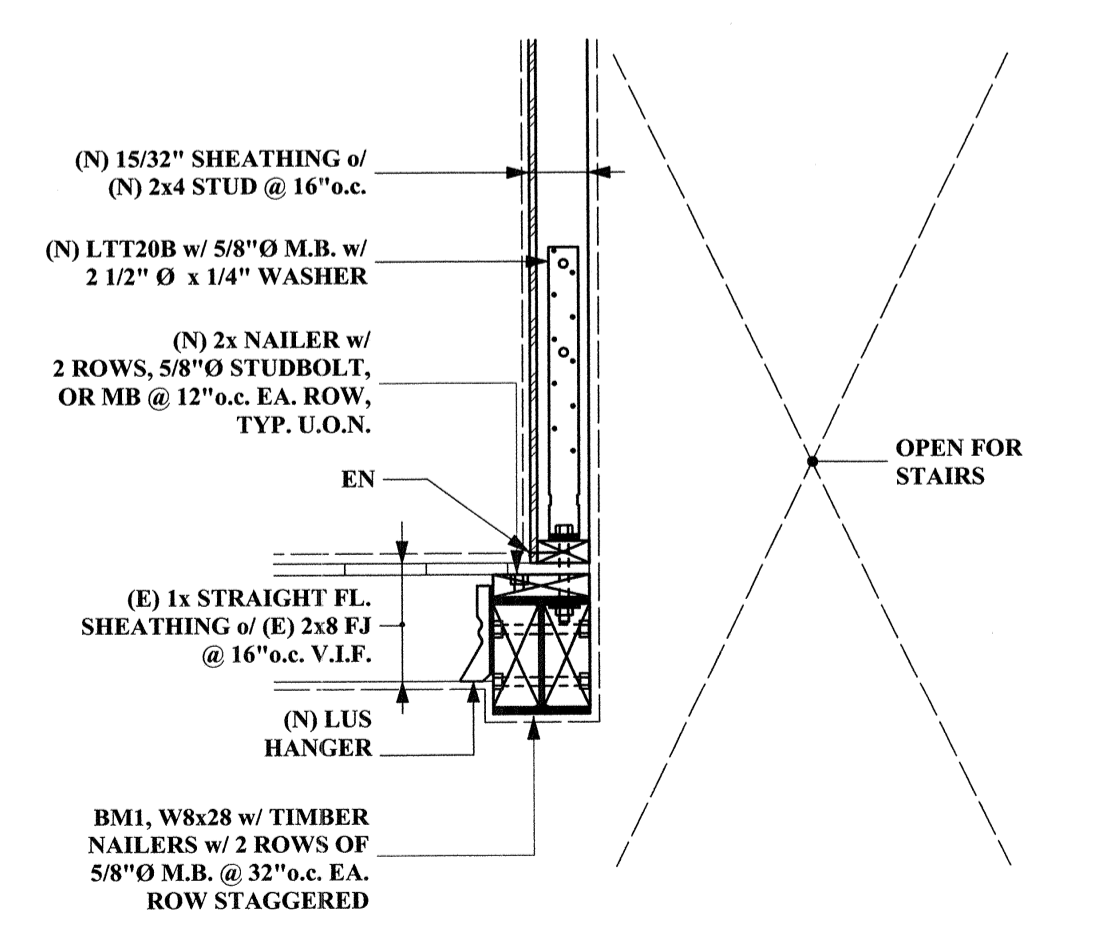


PLAN NORTH  
**THIRD FLOOR FRAMING PLAN**  
1/4" = 1'-0"

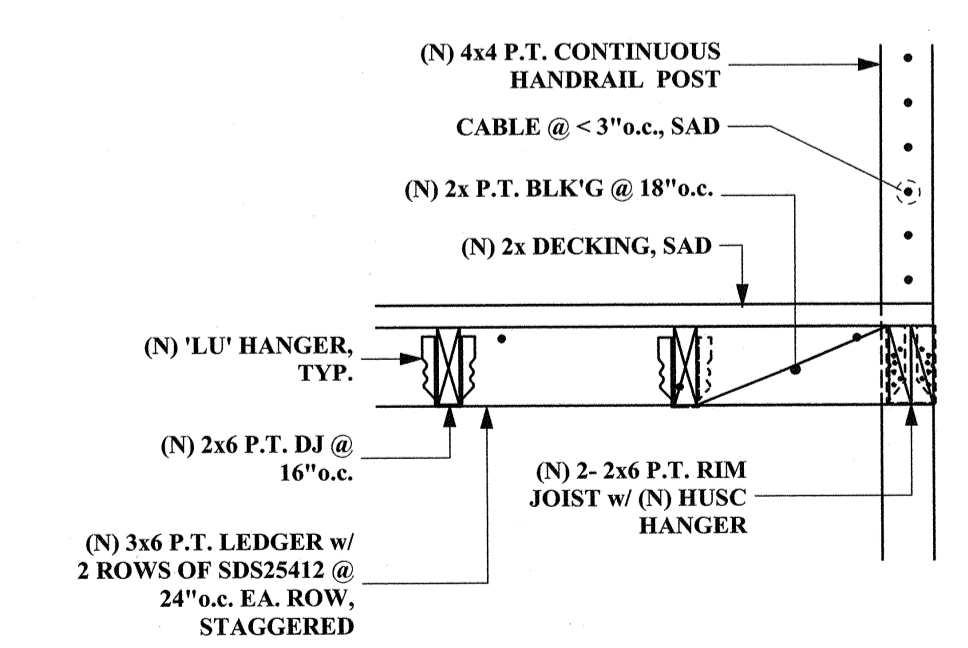


PLAN NORTH  
**ROOF FRAMING PLAN**  
1/4" = 1'-0"

LEGEND	
	(E) STRUCTURAL WALL ABOVE
	(N), OR (E), STRUCTURAL WALL BELOW
	(E) JOIST OR BEAM
	VERIFY IN FIELD



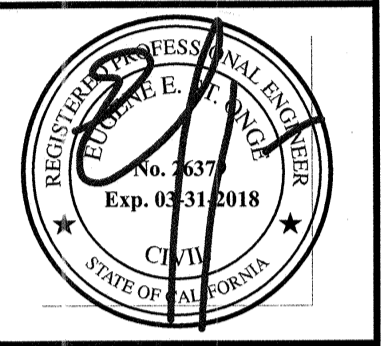
**2 SECTION @ BMI, (N) W8x28, & STAIRS**  
1" = 1'-0"



**1 TYP. (N) HANDRAIL POST**  
1" = 1'-0"

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**THIRD FLOOR FRAMING PLAN, ROOF FRAMING PLAN, & DETAILS**

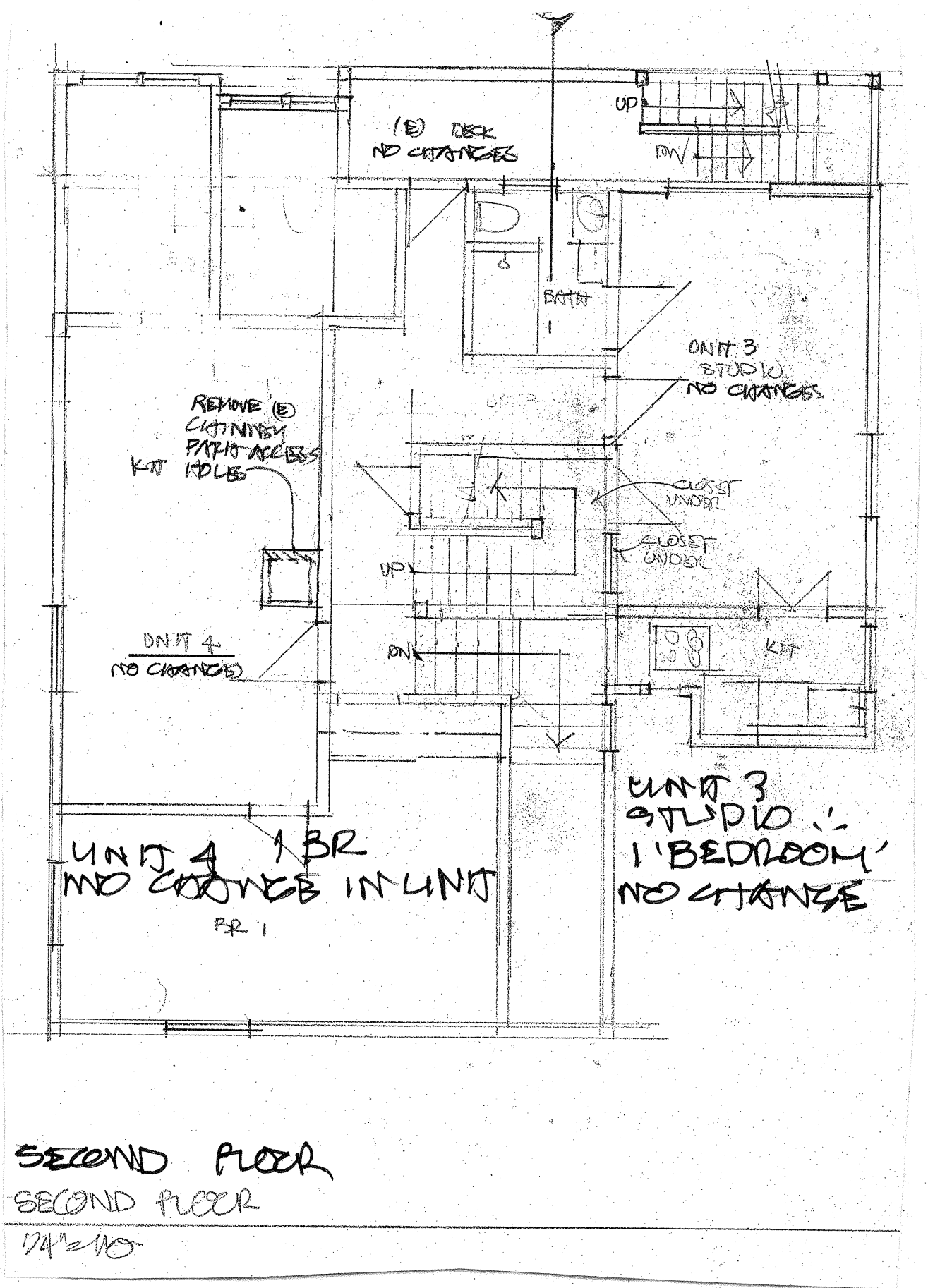
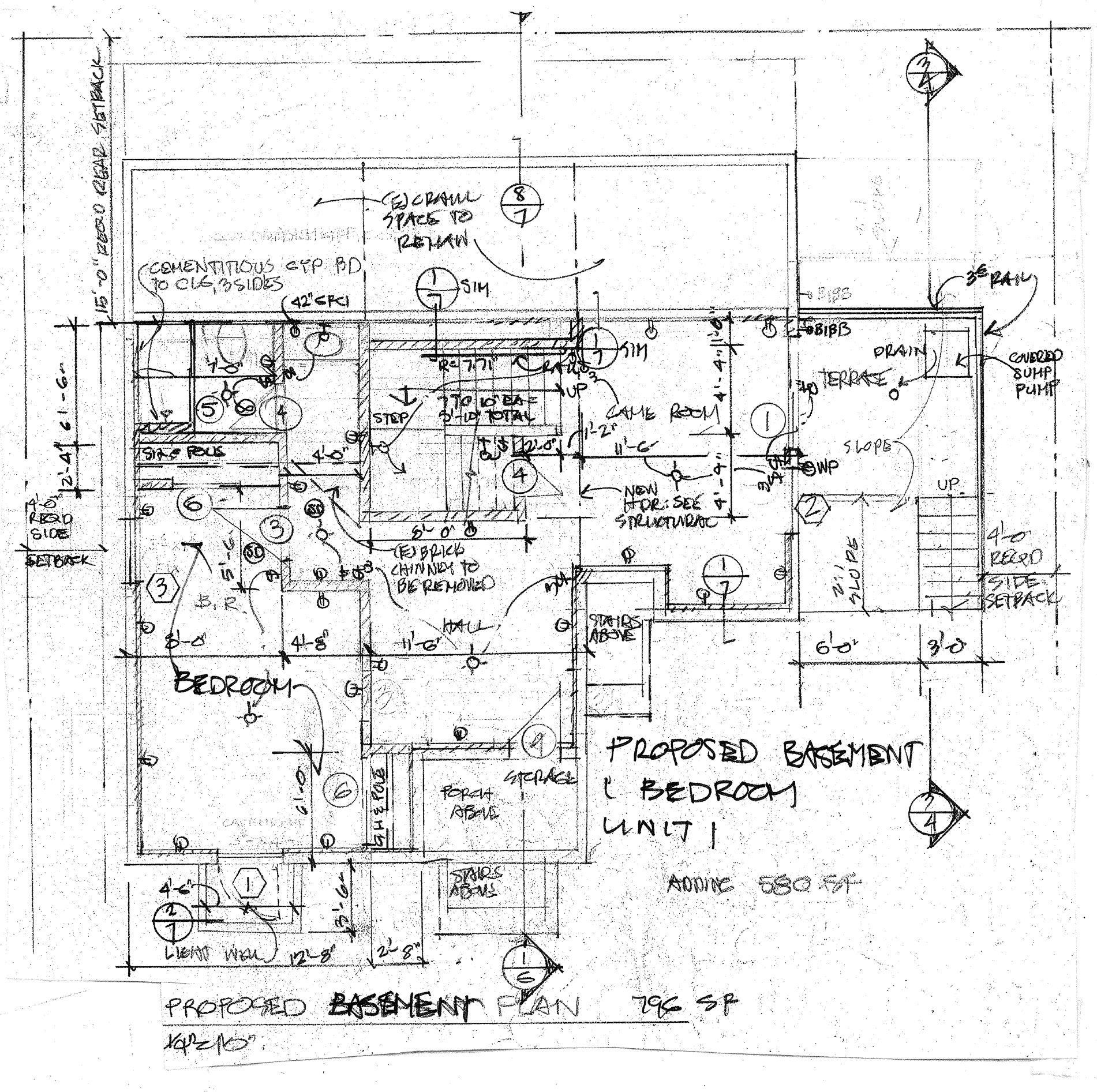
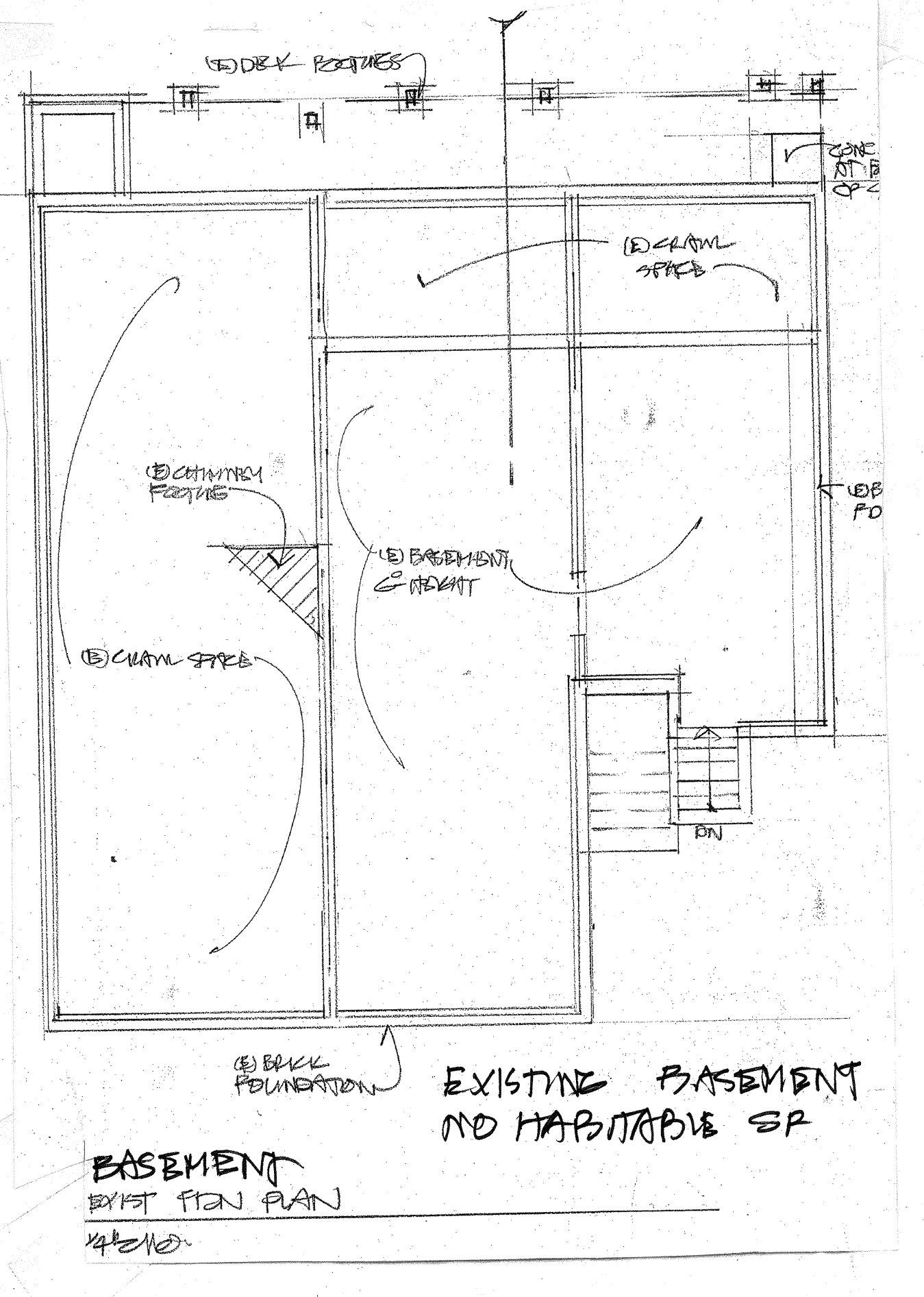
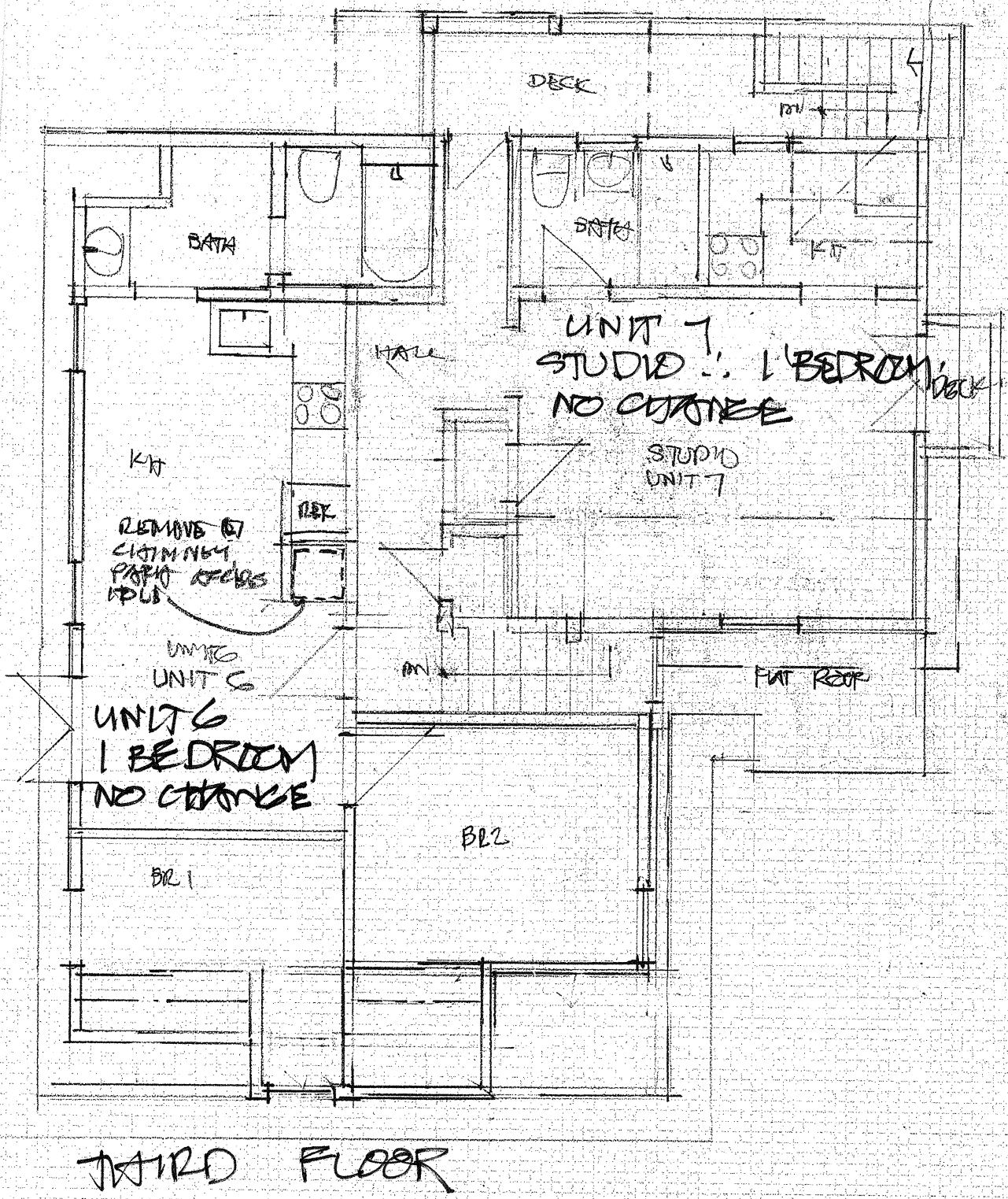
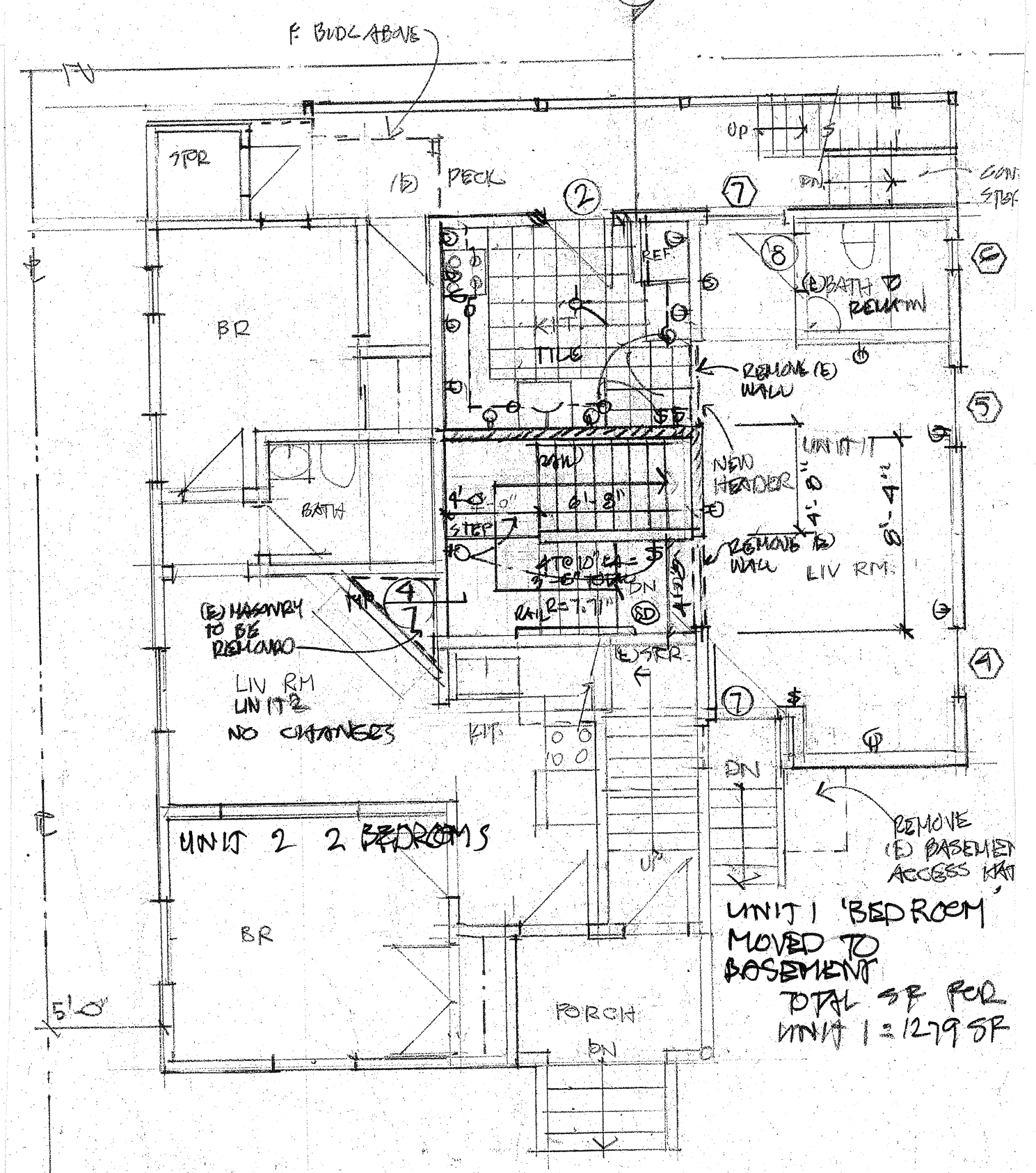
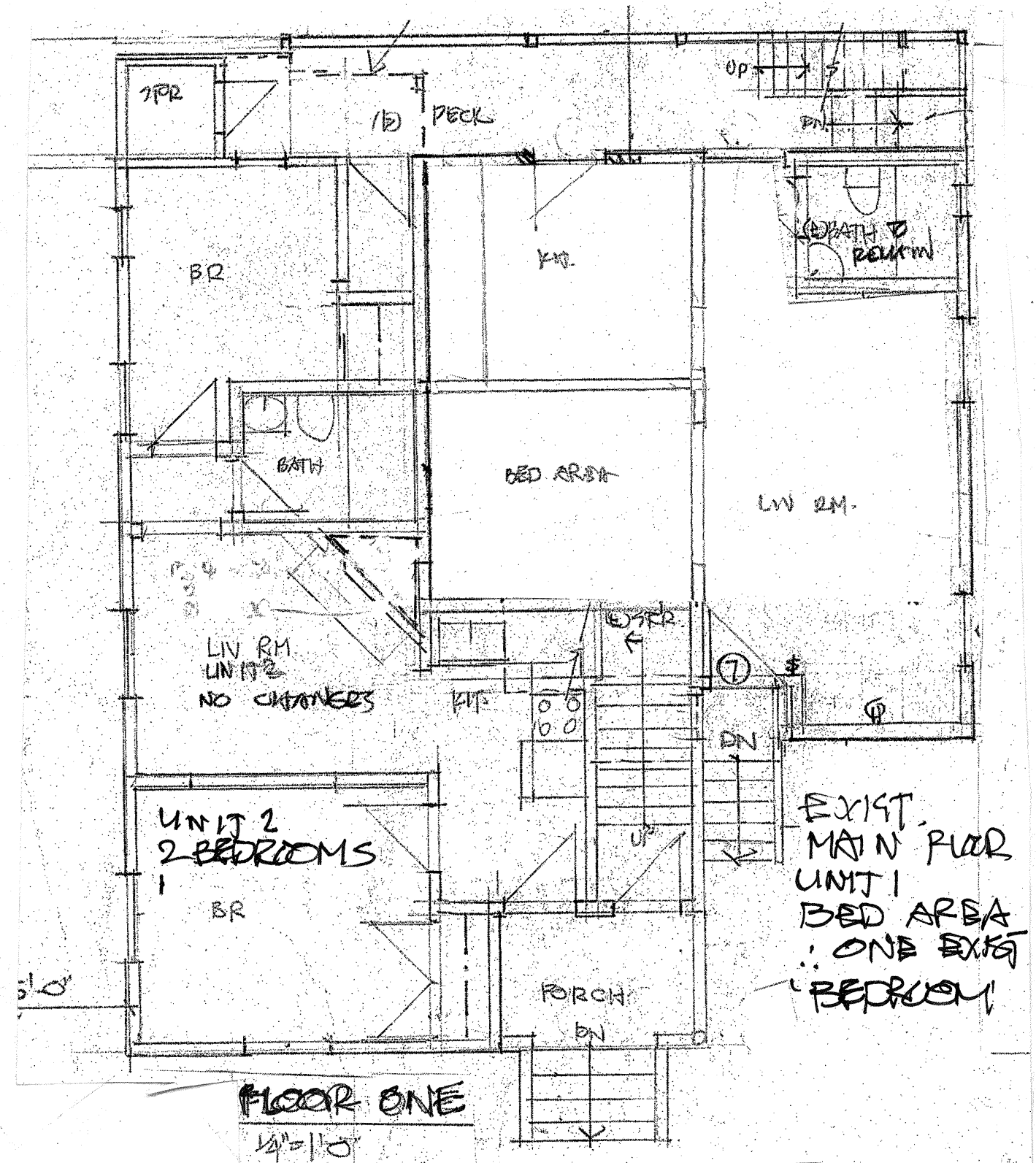
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DATE December 6, 2016  
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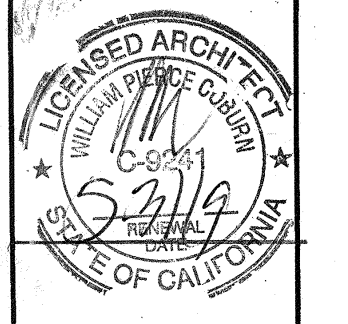




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NEW FOUNDATION & BASEMENT AT:  
2224 HASTE ST  
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RE: HERBERT PROPERTIES  
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