



D E S I G N
R E V I E W
C O M M I T T E E
S T A F F R E P O R T

For Majority Recommendations
MAY 19, 2022

747 (787) Bancroft Way

PRELIMINARY DESIGN REVIEW

Design Review #DRCP2021-0012 to demolish six existing buildings and construct a 159,143 square-foot, three-story building containing 125,796 square feet of research and development space and 33,347 square feet of light manufacturing space, and a surface parking lot containing 76 off-street parking spaces and five loading spaces.

I. Introduction

This project is located on the Northwest corner of Bancroft and Fifth in the MU-LI district of West Berkeley. The project site would merge four parcels for the construction of a three-story research and development building.

The demolition of six vacant one-story non-residential structures is being scheduled for an upcoming LPC Meeting for their review. The project is tentatively scheduled for the June 23, 2022 ZAB hearing.

The project was last before the Design Review Committee as a Preview on February 17, 2022. It is returning this month for Preliminary Design Review.

II. Background

This project proposes a 159,143 square-foot, three-story research and development building and a surface parking lot containing 76 parking spaces, referred to as the West Block (Phase III). The project includes:

- An approximately 6,000 square-foot outdoor plaza at northeast portion of the property.
- Six-foot tall security fence and retaining walls at the northeast, south and west portions of the property.
- Four terraces totaling 2,592 square feet on the second and third floors facing Fourth Street and Bancroft Way.

- Vehicular access through two aisles on Bancroft Way: one for access to two loading spaces and one for access to a surface parking lot with capacity for 76 parking spaces and five loading spaces.
- A total of 88 bicycle parking spaces would be provided: 20 short-term spaces would be located on Fourth Street and 68 long-term spaces would be located in a bicycle room on the first floor, with controlled access from the surface parking lot at the rear of the building.
- 69 new trees would be planted (60 trees in the parking lot and nine in the plaza), as well as 11 street trees: 8 along Fourth Street and 3 along Bancroft.

III. Project Setting

A. Neighborhood/Area Description:

The 3.02-acre project site for all project phases is located in West Berkeley directly east of the City of Berkeley Aquatic Park across the Union Pacific Railroad (UPRR) tracks. Specifically, the site is bisected by Fourth Street and generally bordered by Allston Way to the north, Fifth Street to the east, Bancroft Way to the south, and the UPRR corridor to the west. Land uses in West Berkeley include manufacturing, wholesale, and industrial along with commercial and residential uses. The Project site is located south of the Fourth Street commercial and is surrounded by various industrial and commercial uses. Building heights in West Berkeley consist of one- and two-story residential uses, generally east of Fifth Street, and up to six-story mixed-use residential buildings adjacent to the University Avenue overpass.

B. Site Conditions:

The project site comprises seven parcels and nine existing buildings across two contiguous blocks, referred to as the “East Block” and the “West Block”. The project in this application is located in the “West Block” and consists of four parcels containing six existing vacant one-story buildings totaling 80,234 square feet with addresses at 701, 703, 705, 705A, and 747 Bancroft Way (light manufacturing, warehouse, warehouse-based non-store retail) and 2220 Fourth Street (warehouse-based non-store retail), as well as a surface parking lot containing 26 spaces.

Figure 1: Vicinity Map



Table 1: Land Use Information

Location		Existing Use	Zoning District	General Plan Designation
Subject Property		Warehouse-based non-store retail (vacant), warehouse and light manufacturing (vacant)	MU-LI	M – Manufacturing
Surrounding Properties	North	Light manufacturing (vacant)		
	South	Light manufacturing		
	East			
West	Research and Development (600 Addison campus, recently approved)			

Table 2: Development Standards

		Existing	Proposed Total	Permitted/ Required
Phase III (West Block): 747 (787) Bancroft Way				
BMC Sections 23E.80.070-080				
Number of Parcels		4	1	N/A
Lot Area (sq. ft.)		96,966	No change	N/A
Gross Floor Area (sq. ft.)		80,234	159,143	193,932 max
Floor Area Ratio (FAR)		0.83	1.64	2 max
Building Height	Average	Varies – 16' - 32'	45'	45' max
	Maximum	Varies – 16' - 35'	45'	N/A
	Stories	1	3	3 max
Building Setbacks	Front (Fourth)	0'	No change	N/A
	Rear	0'	33'-8"	N/A
	Left Side (Bancroft)	0'	0'	N/A
	Right Side	0'	21'-10"	N/A
Parking	Automobile	26	294 ²	274 min ³
	Bicycle	0	68/20 (long-term/short-term)	80 min (1:2,000 square feet)
	Loading	0	5	7 min (1:10,000 initial square feet and 1:25,000 square feet for additional)

Notes:

1 See Table 6, Summary of Proposed and Required Parking Spaces, by Phase

2 See Table 6. 76 spaces provided on-site in surface parking lot, 219 spaces provided off-site at 2213 Fourth garage.

3 Required Parking (R&D) = 2 spaces/1,000 sq.ft.; 125,796 sq.ft./500 sq.ft = 252 spaces required.

Required Parking (Light Manufacturing) = 2 spaces/1,500 sq.ft.; 33,347 sq.ft./1,500 sq.ft. = 22 spaces required. Total required spaces: 252 + 22 = 274.

IV. Project Description

A. Requested Use Permits

- Variance pursuant to BMC Section 23B.44.010 to allow replacement of protected floor area to be made available after the demolition or change of use of the space.
- Use Permit pursuant to BMC Section 23C.08.050.A to demolish main buildings used for non-residential purposes.
- Use Permit pursuant to BMC Section 23E.80.045.B, to change more than 25 percent of manufacturing and warehouse uses to research and development uses.
- Use Permit pursuant to BMC Section 23E.80.050.C to construct between 20,000 and 30,000 square feet of new floor area as Manufacturing and Wholesale Trade.
- Administrative Use Permit pursuant to BMC Section 23E.80.030 to establish more than 30,000 square feet of research and development use.
- Administrative Use Permit pursuant to BMC Section 23E.04.020.C to allow architectural elements to exceed the height limit in a non-residential district.

B. CEQA Determination

An Initial Study has been prepared to determine potential significant effects of the project, which can be found here:

<https://berkeleyca.gov/sites/default/files/2022-04/2022-03-09-TheLAB-PubRevMND-compressed-TheLab-Phase2.pdf>

V. Design Review Guidelines

The City's Design Guidelines are applicable for this project. Excerpts from the City-wide Design Review Guidelines are included below for your reference.

- **Setbacks:** The street façade of commercial streets should be respected, in order to create or maintain the sense of urban space.
- **Parking and Driveways:** Conflict with pedestrian circulation should be prevented by the proper location and design of auto entrances; whenever possible, parking

should be behind buildings, underground, or in a central court. Shading of at least fifty percent (50%) of the surface area (as measured at 12 noon on June 21) is encouraged to reduce heat buildup and to improve visual appearance.

- **Harmony with Surroundings:** The proposed design should be in harmony with its surroundings through the coordination of such design elements as cornice lines, eaves, and setbacks with those of existing neighborhood buildings.
- **Articulation:** Street facades in general and the ground floor level in particular should include elements of pedestrian scale and three-dimensional interest.
- **Lighting:** Lighting for circulation, security, building/sign identification should be non-obtrusive, except for lighting fixtures which are themselves decorative additions to the streetscape.
- **Walls and Fences:** Large, unarticulated expanses of any particular wall material that deaden the pedestrian environment should be avoided. The use of clear windows for ground floor retail projects is encouraged. Walls designed to allow sitting areas for pedestrian or space for landscaping and artwork are encouraged, especially in areas of heavy pedestrian use. Landscaping and/or art work should be maximized if large expanses of wall must be left devoid of openings.
- **Landscape and Open Space:** Sidewalk areas should include landscaping that is coordinated with the neighborhood design.
- **Public Open Space Areas:** the inclusion of public open spaces is encouraged as a means of providing places for people to come together for community interaction and enlivening the pedestrian environment.
- **Pedestrian Paths:** Pedestrian paths and arcades interior to the block which joins different parts of buildings as well as different streets are encouraged.
- **Building Entrances:** Entrance points should be clearly defined and easily identifiable by pedestrians by appropriate locations and by elements such as awnings, signage, artwork or changes in paving material to define the entry point.

The West Berkeley Plan is also applicable to this project. Below are several relevant goals from that plan:

- Physical Form Goal 5: Development on major sites of 1 acre or more should be both internally cohesive and sensitively designed on the site's publicly used edges.
- Open Space Goal 9: Provide an accessible, aesthetically-pleasing network of green spaces and corridors - that is functional for varied types of users--to visually and physically link parks, creeks, and shoreline to residential and commercial, and light industrial areas.

The West Berkeley Plan can be found on the City's website at the link below:

[https://www.cityofberkeley.info/Planning_and_Development/Redevelopment_Agency/West_Berkeley_Plan_\(The\).aspx](https://www.cityofberkeley.info/Planning_and_Development/Redevelopment_Agency/West_Berkeley_Plan_(The).aspx)

VI. Summary from February 17, 2022 DRC Meeting

Advisory Comments

Neighborhood Context

- *Recommend more character, more like Berkeley.*
- *Look at Phase I structures across Fourth Street that sit more solidly on the ground for inspiration.*
- *Some additional solid pieces could help break the scale down and fit better into the neighborhood.*
- *Phase I is so different; look at how this structure will work across the street from those structures.*
- *There is so much glazing and the repetition is monotonous. The frame is relentless; look at how you can bring more Berkeley scale and details into the design.*
- *Protect and respect the existing neighborhood.*
- *Consider relocating the parking garage (2213 Fourth) to the surface parking area adjacent to the railroad tracks.*

Building Design

- *Look at color, texture, and pattern opportunities; consider this at the entrance as well as other locations; design could be bolder.*
- *Design needs color, pattern, and texture; look at railings and panels as one way to add more interest and detail.*
- *Look at entrance canopy for inspiration and see if that can also work for corner balconies. Emphasize these features more.*
- *Ground floor feels low – look more closely at proportions.*
- *Expanse of glazing in the renderings make the structure feel ‘too big’.*
- *Repetition on the ground floor looks good, but is too relentless on upper floors.*
- *Consider a floating roof; and stepped back vertical members.*
- *Look at mullion pattern on the 2nd and 3rd floors, as these are too relentless now.*
- *A strong grid is good, but special moments should play off of that.*
- *Material palette is too standard.*
- *Strongly recommend bird-safe glazing measures.*
- *Show how the security gate(s) will work.*
- *Look carefully at potential glare, for both day and night settings.*

Landscape Plan

- *Look at how people will want to stay and sit in the benches with the proposed streetscape improvements.*
- *North plaza looks like a pass-thru, not a space.*
- *A community space amenity near the north plaza would also be a nice, like the space proposed in Phase I.*

- *Recommend using as many native trees and as many native and/or wildlife supporting plants as possible; be careful with grasses that need to be cut back in the winter.*
- *Fourth street landscape pockets are good, but larger ones would be even better.*
- *Trees in the surface parking area look very close together – check this carefully.*
- *Recommend more variety in both the parking lot and street tree species and spacing.*

Additional concerns to be handled at ZAB or with Final Design Review:

- *Do not use neonicotinoid pesticides.*
- *Do not use plastic plants in planters.*
- *Recommend all gender restroom.*

VII. Issues and Analysis

A. Changes since the previous submittal:

- Ground floor façade and material palette were both refined to better connect with the Phase I development across Fourth as well as the wider neighborhood.
- Main entrance design was further developed with roof openings in the canopy, planted vertical trellises on the glazing directly above, and a more robust plant palette proposed for that entry planting area.
- Board-form concrete has been added to the ground level columns, as well as planting boxes with vines at their base. A rainwater overflow channel was added to these columns on levels 2 and 3 for added detail and texture.
- Extended mullion caps were added to the glazing design for more depth and dimension on the façade.
- Green metal material has been proposed on the corner balconies for an added accent color that relates to the Phase I color palette.
- Bird-safe glazing is proposed on the west-facing façade facing Aquatic Park on levels 2 and 3.
- Sidewalk on Fourth Street has been widened to create streetscape packets with seat walls.
- Native and habitat-forming species in proposed plant palette has been increased

B. Issues for Discussion:

- Neighborhood Context
- Façade Design
- Building Design/ Massing
- Open Space/ Streetscape
- Colors and Materials

VIII. Recommendation

Staff recommends that the Committee discuss the issues outlined above and forward a favorable recommendation on to ZAB with conditions as necessary to address any design concerns and specific direction for Final Design Review.

Attachments:

1. Project Plans, received May 5, 2022
2. Design Narrative, received May 5, 2022
3. Applicant Response to DRC Comments, received May 11, 2022

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No.	Description	Date
1	USE PERMIT APPLICATION	2021.03.25
2	USE PERMIT RESUBMITTAL	2021.09.13
3	USE PERMIT RESUBMITTAL	2021.12.17
4	DESIGN REVIEW COMMITTEE MEETING 1	2022.02.07
5	DESIGN REVIEW COMMITTEE MEETING 2	2022.05.19

Key Plan:

Seal & Signature:

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Sheet Name:

COVER SHEET

Project No.:	220175	Sheet No.:	GP0.00.00
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Checked By:	Checker		
Scale:			

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DESIGN REVIEW COMMITTEE MEETING 2
 MAY 19, 2022

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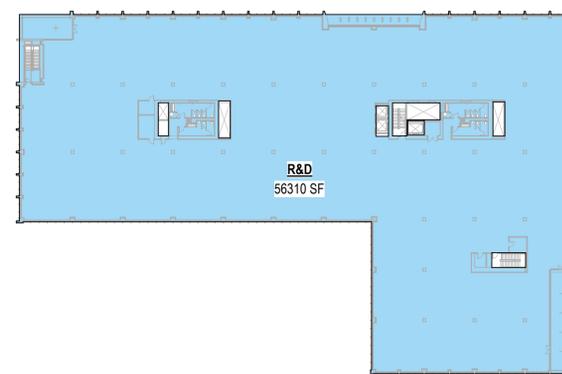
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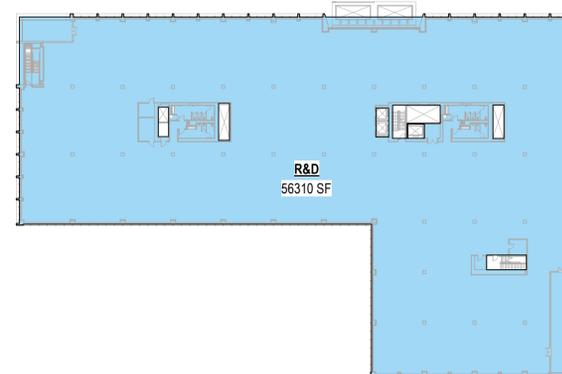
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LAND USE AREAS

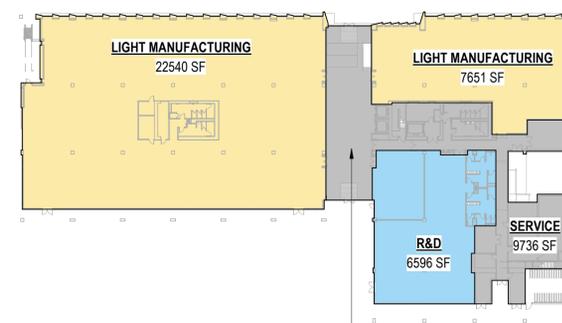
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LEVEL 03 LAND USE 3
 SCALE: 1" = 50'-0"

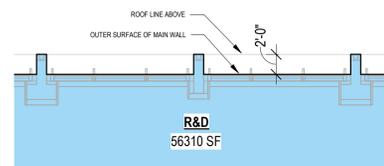


LEVEL 02 LAND USE 2
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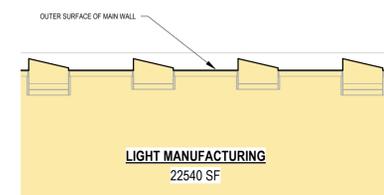


SERVICE AREA PROPORTIONALLY DIVIDED BETWEEN LIGHT MANUFACTURING AND R&D AREAS

LEVEL 01 LAND USE 1
 SCALE: 1" = 50'-0"



LEVEL 02-03 AREA BOUNDARY DETAIL 5
 SCALE: 1/8" = 1'-0"



LEVEL 01 AREA BOUNDARY DETAIL 4
 SCALE: 1/8" = 1'-0"

Land Use Area Summary

ALL LAND USE AREAS ARE CALCULATED AS GROSS FLOOR AREA ACCORDING TO BMC SECTION 23F.04.010

Level	R&D	LM	Service Towards LM	Service Towards R&D	Total Service	Total
Roof						0
Level 03	56,310					56,310
Level 02	56,310					56,310
Level 01	6,596	30,191	3,156	6,580	9,736	46,523
Subtotal	125,796	33,347				159,143

Area Counted Toward FAR:

GENERAL NOTE:

- LOCATION OF LIGHT MANUFACTURING AREA WILL BE PLACED AS NEEDED FOR INITIAL LEASE-UP
- REQUIRED PROTECTED AREA WILL BE MAINTAINED
- ALL LAND USE AREAS ARE CALCULATED AS GROSS FLOOR AREA ACCORDING TO BMC SECTION 23F.04.010
- SEE AREA CALCULATION METHODOLOGY DIAGRAMS FOR CALCULATION METHOD



VIEW FROM 4TH AND BANCROFT: EXISTING



VIEW FROM 4TH AND BANCROFT: PROPOSED



VIEW FROM 4TH STREET: EXISTING



VIEW FROM 4TH STREET: PROPOSED



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VIEW FROM RAILROAD CROSSING: EXISTING



VIEW FROM RAILROAD CROSSING: PROPOSED



VIEW FROM RAILROAD CROSSING: EXISTING



VIEW FROM WEST: PROPOSED



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VIEW FROM BANCROFT WAY: EXISTING



VIEW FROM BANCROFT WAY: PROPOSED



VIEW FROM 4TH STREET: EXISTING



VIEW FROM 4TH STREET: PROPOSED



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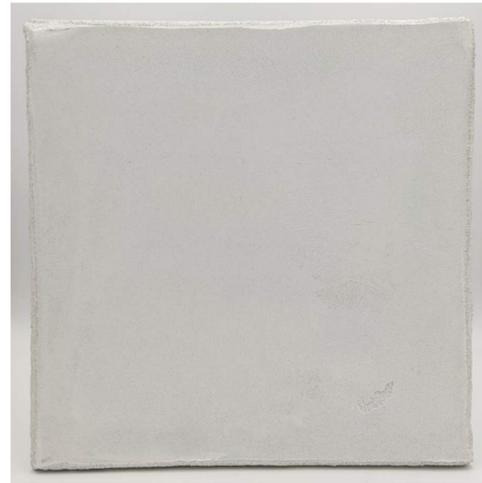
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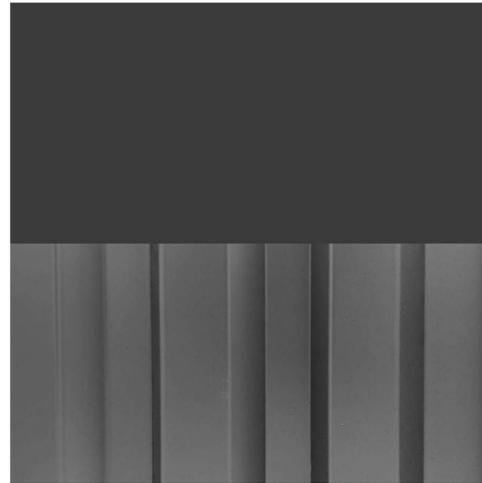
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MATERIAL PALETTE

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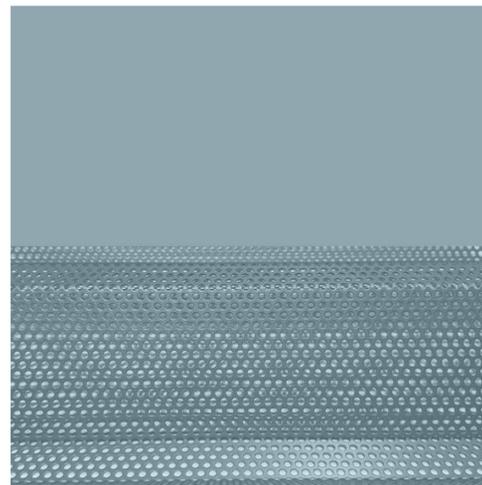
PLA-1
 CEMENT PLASTER



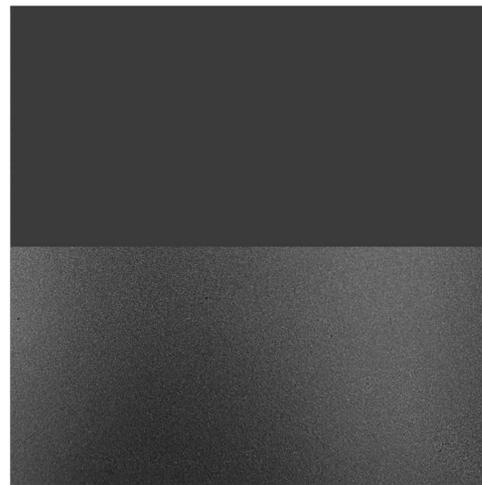
MTL-4 WITH FIN 1
 CORRUGATED METAL PANEL IN CHARCOAL GRAY



CPAV-1
 PRECAST UNIT PAVER



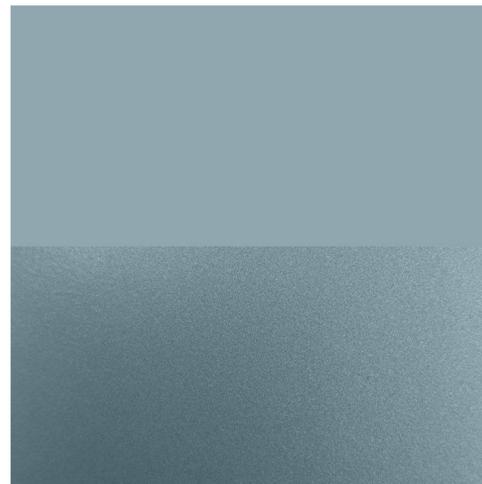
MTL-5 WITH FIN-2
 CORRUGATED AND PERFORATED METAL PANEL IN PATINATED COPPER



MTL-1 WITH FIN-1
 ALUMINUM PANEL IN CHARCOAL GRAY



AC-2
 CAST-IN-PLACE CONCRETE WITH BOARD-FORMED FINISH



MTL-1 WITH FIN-2
 ALUMINUM PANEL IN PATINATED COPPER



GL-1
 LOW-IRON INSULATED GLASS



AC-1
 CAST-IN-PLACE CONCRETE WITH SMOOTH FINISH

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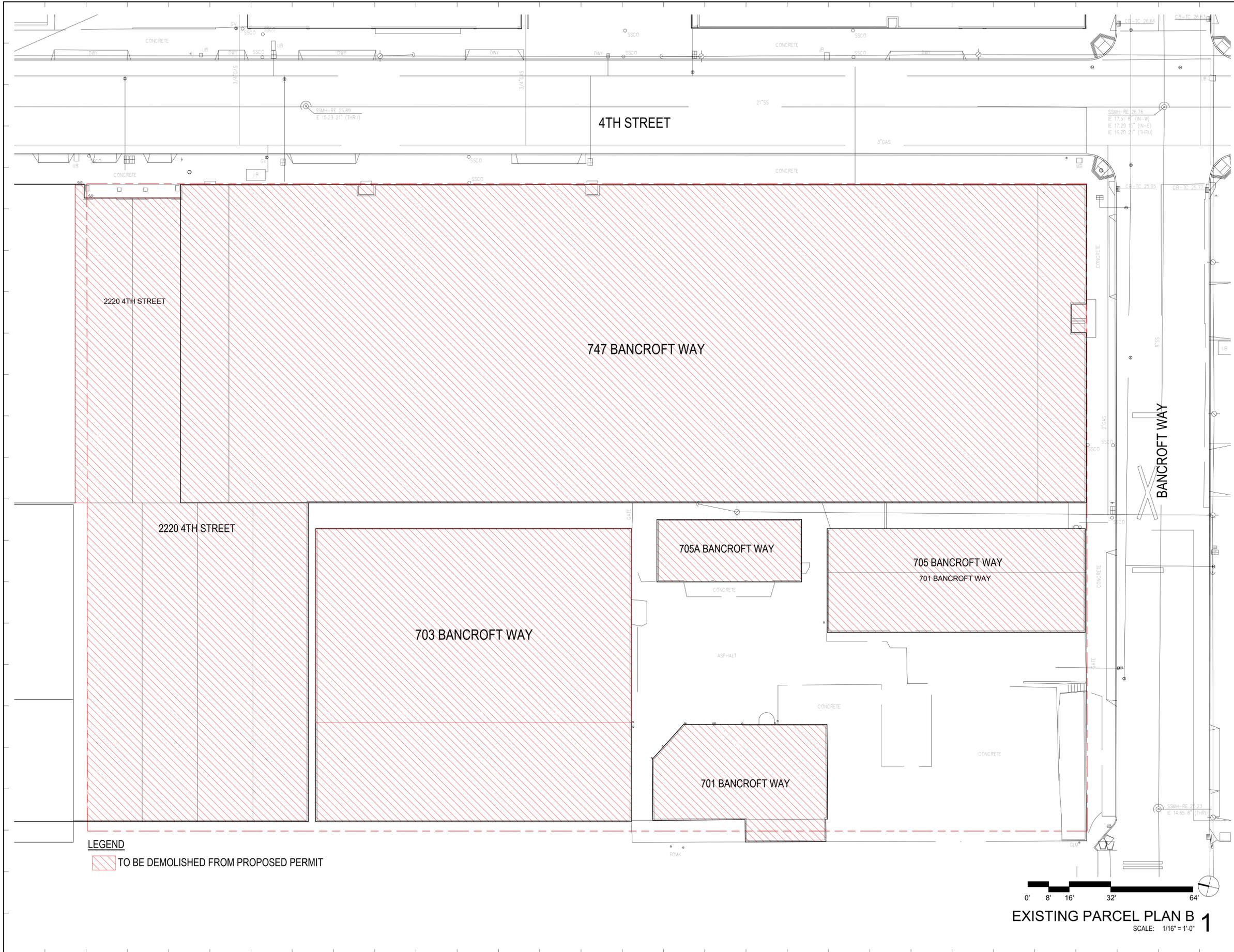
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Sheet Name:
EXISTING PARCEL DEMOLITION PLAN

Project No.: 220175	Sheet No.:
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EXISTING PARCEL PLAN B 1
 SCALE: 1/16" = 1'-0"

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SITE PHOTOGRAPHS OF BUILDINGS TO BE DEMOLISHED

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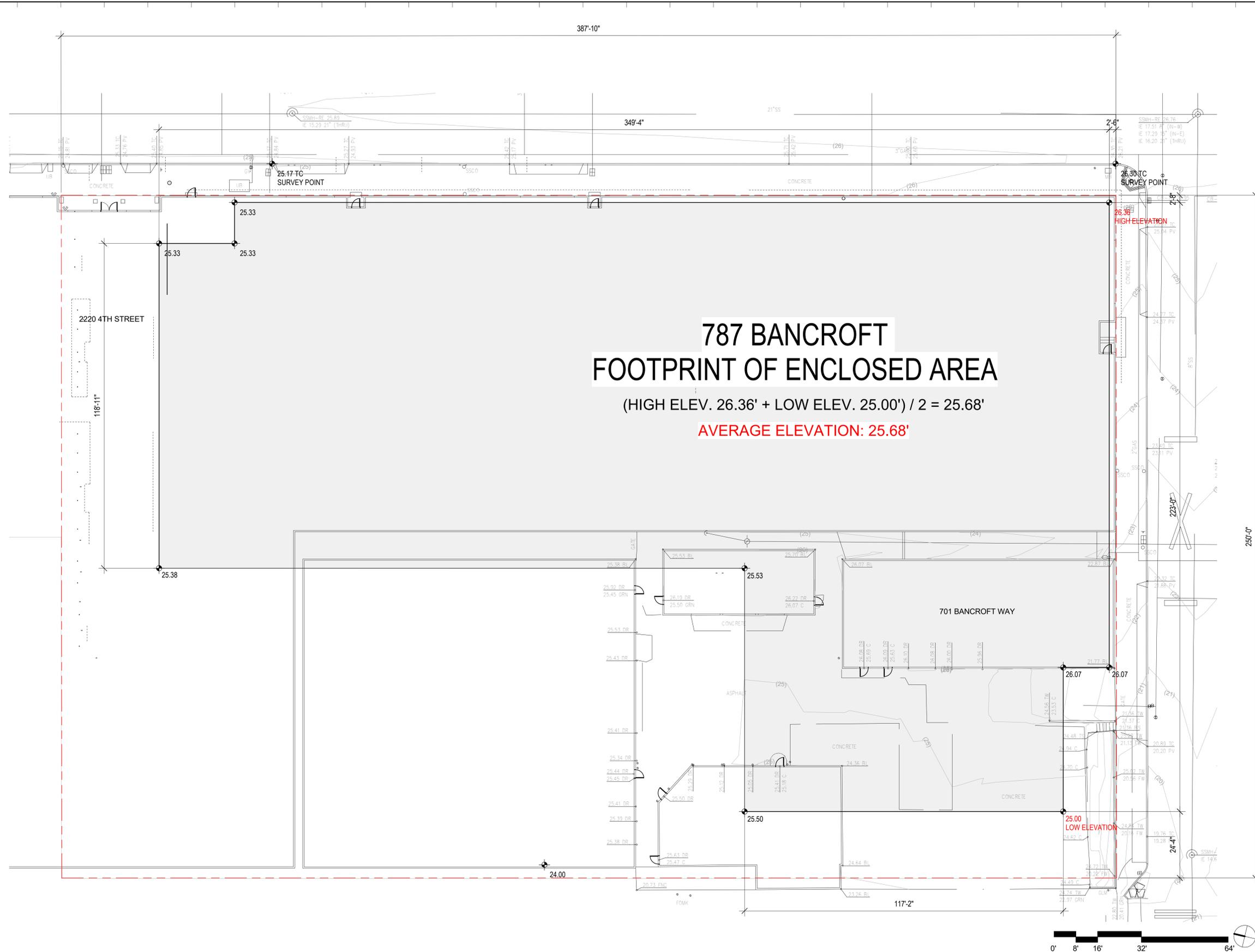
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AVERAGE ELEVATION CALCULATION

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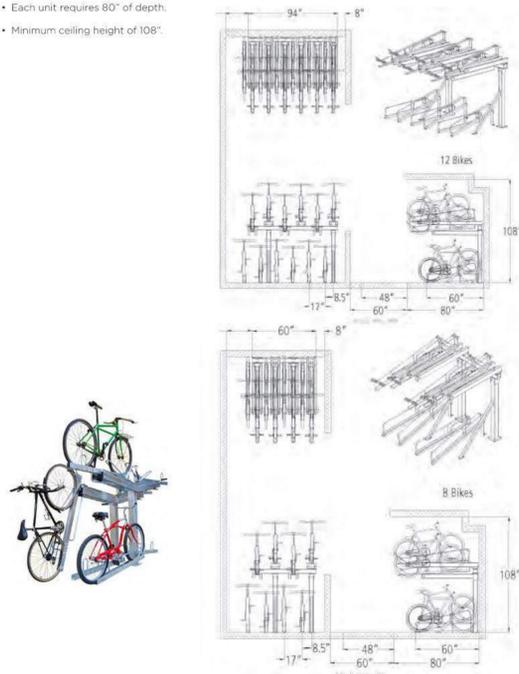


Appendix F: Bike Parking

HORIZONTAL, TWO-TIERED PARKING RACK

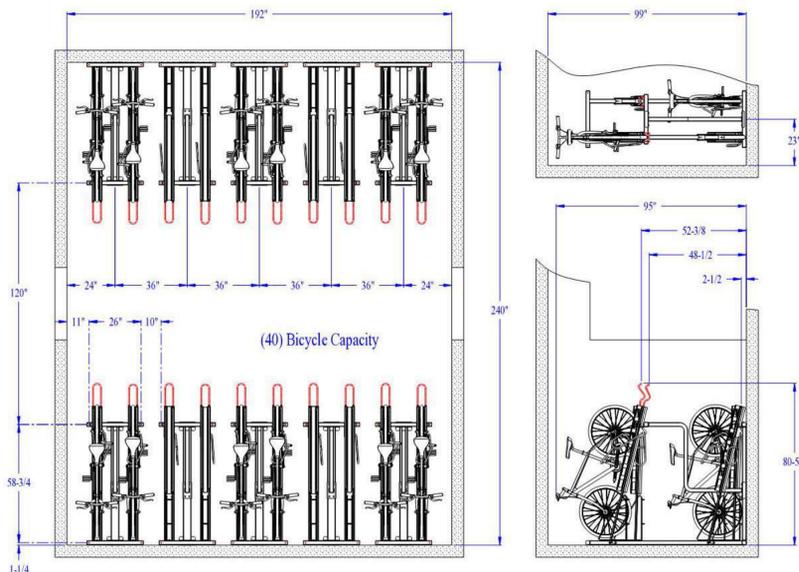
Lift-assist top tray, modular/stacking

- Recommended access aisle of 60"; minimum access aisle of 48".
- Each unit requires 80" of depth.
- Minimum ceiling height of 108".



BERKELEY BICYCLE FACILITY DESIGN TOOLBOX

01 BICYCLE LAYOUT
(EXCERPT FROM BERKELEY BICYCLE PLAN 2017)



02 BICYCLE PARKING SPECIFICATION

9/10/21, 3:53 PM Double Tier Bike Racks - 2-Tier Quad Hi-Density Bike Rack - CycleSafe



Home > Secure Bike Parking > Bike Racks > Quad Hi-Density Bike Rack



Quad Hi-Density Bike Rack

Our Quad Hi-Density Bike Rack™ is a double-tier bike rack offering space-efficient, two-tier bike parking. Easy to load, simply place bike into the innovative wheel guide and roll along the channel to secure the wheel and frame in place. Bicycles can be locked with a U-lock compatible pivot locking bar for added security.

Each double-tier bike rack allows two-tier bike parking to securely store four bicycles. The modular design allows for one- or two-sided capacity with multiple configurations to customize for any location. Quad Hi-Density double-tier bike racks are easy to assemble, and constructed with zinc primer TGIC polyester powder coat finish steel tubing and UV plastic wheel gutters for lasting durability.

With minimal moving parts, our double-tier bike rack design also increase access aisles, with less maintenance or liability concerns associated with movable tray racks. This innovative

<https://cyclesafe.com/bike-parking/bike-racks/hi-density-bike-rack/>

14

03 BICYCLE PARKING SPECIFICATION

NOTE: SPECIFICATION CONFORMS WITH LONG TERM BICYCLE PARKING STANDARDS FOUND IN BERKELEY BIKE PLAN 2017, PAGE 119

FIXIT

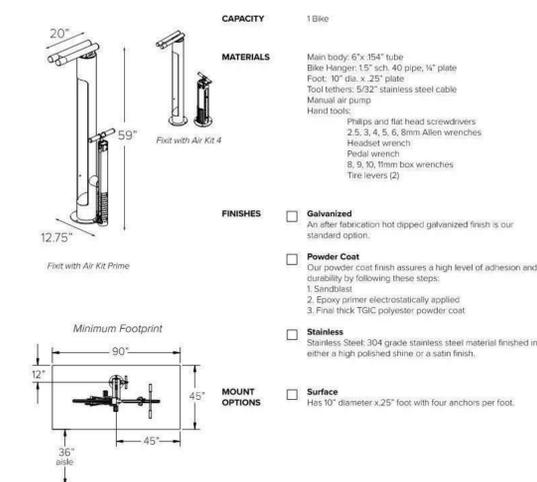


FINISH OPTIONS

Galvanized	Stainless	Powder Coat			
		White	Black	Light Gray	Dark Red
		Orange	Yellow	Light Blue	Dark Blue
		Green	Red	Dark Gray	Light Green
		Blue	Black	White	Dark Green
		Dark Purple	Light Black	White	Light Blue

04 BICYCLE REPAIR STAND SPECIFICATION

FIXIT Submittal Sheet



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BICYCLE PARKING SPECIFICATIONS

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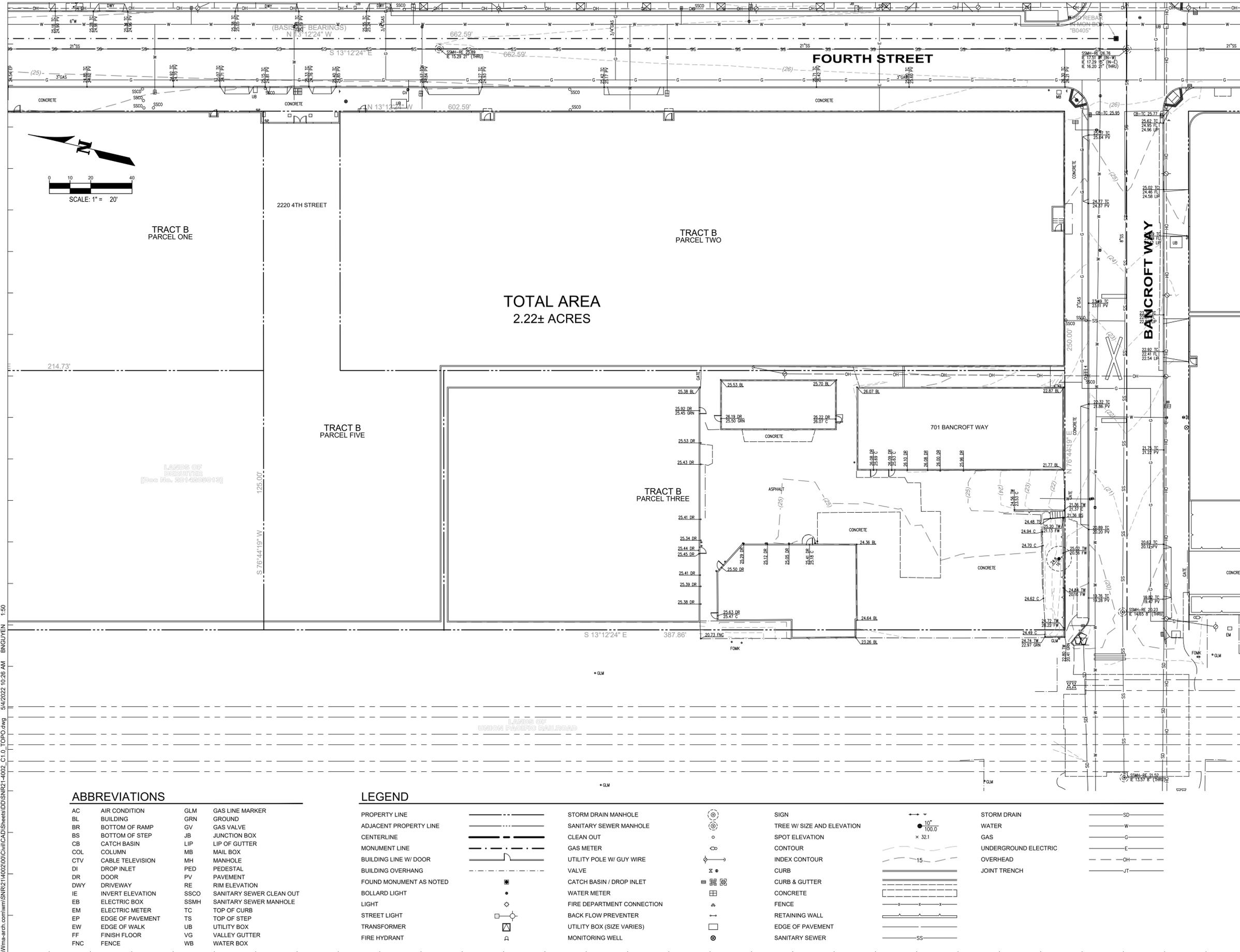
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Project No.: SNR21-4002-00
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ABBREVIATIONS

AC	AIR CONDITION	GLM	GAS LINE MARKER
BL	BUILDING	GRN	GROUND
BR	BOTTOM OF RAMP	GV	GAS VALVE
BS	BOTTOM OF STEP	JB	JUNCTION BOX
CB	CATCH BASIN	LIP	LIP OF GUTTER
COL	COLUMN	MB	MAIL BOX
CTV	CABLE TELEVISION	MH	MANHOLE
DI	DROP INLET	PED	PEDESTAL
DR	DOOR	PV	PAVEMENT
DWY	DRIVEWAY	RE	RIM ELEVATION
IE	INVERT ELEVATION	SSCO	SANITARY SEWER CLEAN OUT
EB	ELECTRIC BOX	SSMH	SANITARY SEWER MANHOLE
EM	ELECTRIC METER	TC	TOP OF CURB
EP	EDGE OF PAVEMENT	TS	TOP OF STEP
EW	EDGE OF WALK	UB	UTILITY BOX
FF	FINISH FLOOR	VG	VALLEY GUTTER
FNC	FENCE	WB	WATER BOX

LEGEND

PROPERTY LINE	--- --	STORM DRAIN MANHOLE	⊙
ADJACENT PROPERTY LINE	--- · · ·	SANITARY SEWER MANHOLE	⊙
CENTERLINE	— — — —	CLEAN OUT	○
MONUMENT LINE	· · · · ·	GAS METER	⊙
BUILDING LINE W/ DOOR	— — — —	UTILITY POLE W/ GUY WIRE	⊙
BUILDING OVERHANG	— — — —	VALVE	⊙
FOUND MONUMENT AS NOTED	⊙	CATCH BASIN / DROP INLET	⊙
BOLLARD LIGHT	⊙	WATER METER	⊙
LIGHT	⊙	FIRE DEPARTMENT CONNECTION	⊙
STREET LIGHT	⊙	BACK FLOW PREVENTER	⊙
TRANSFORMER	⊙	UTILITY BOX (SIZE VARIES)	⊙
FIRE HYDRANT	⊙	MONITORING WELL	⊙
SIGN	⊙	STORM DRAIN	SD
TREE W/ SIZE AND ELEVATION	⊙	WATER	W
SPOT ELEVATION	⊙	GAS	G
CONTOUR	— — — —	UNDERGROUND ELECTRIC	E
INDEX CONTOUR	— — — —	OVERHEAD	OH
CURB	— — — —	JOINT TRENCH	JT
CURB & GUTTER	— — — —		
CONCRETE	— — — —		
FENCE	— — — —		
RETAINING WALL	— — — —		
EDGE OF PAVEMENT	— — — —		
SANITARY SEWER	— — — —		

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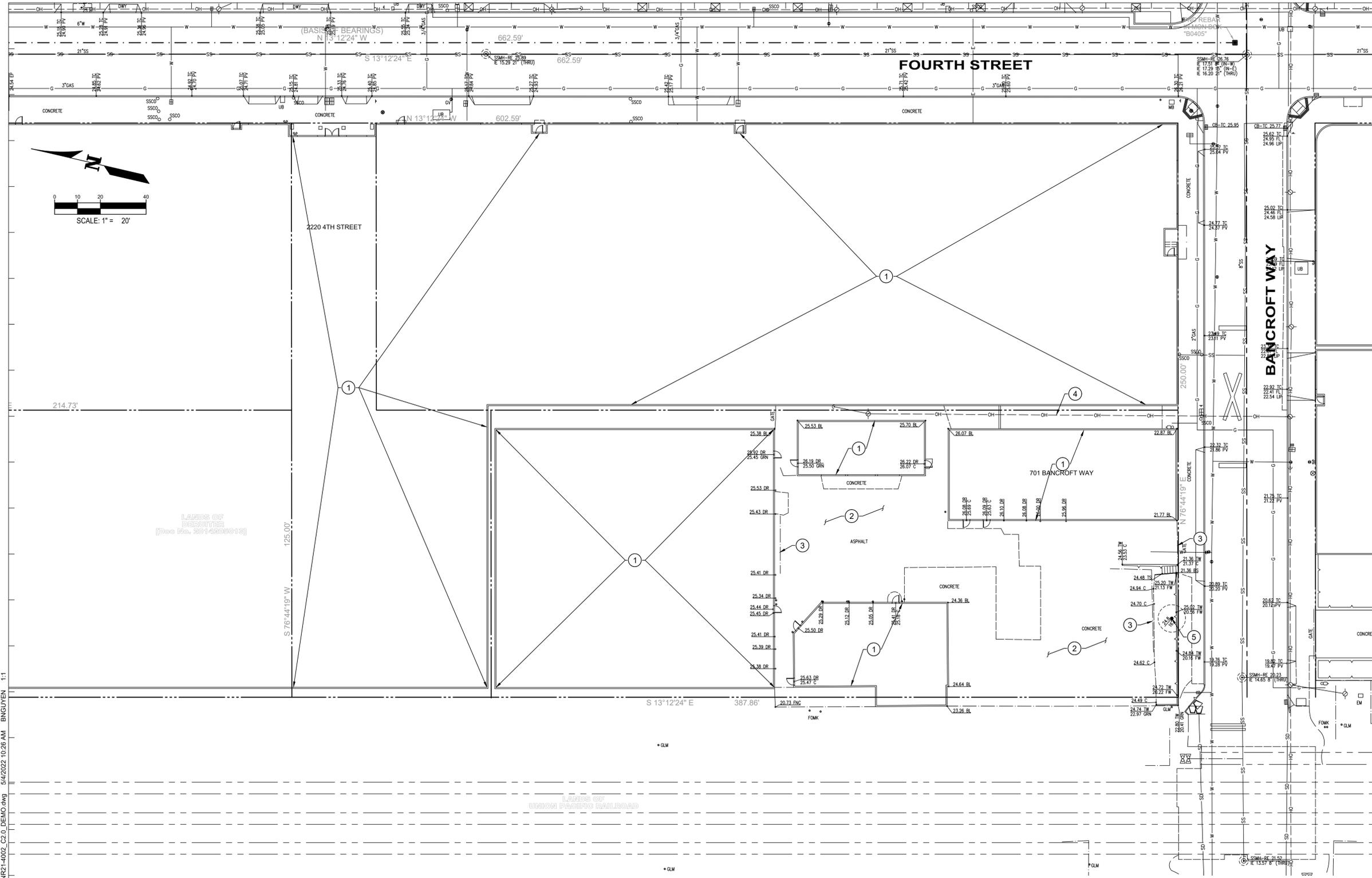
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Sheet Name:
CONCEPTUAL DEMOLITION PLAN

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KEYNOTES

- 1 REMOVE EXISTING BUILDING
- 2 REMOVE EXISTING CONCRETE AND/OR ASPHALT
- 3 REMOVE EXISTING FENCE AND/OR GATE
- 4 REMOVE EXISTING OVERHEAD UTILITIES
- 5 REMOVE EXISTING TREE
- 6 RELOCATE EXISTING STRUCTURE

LEGEND

PROPERTY LINE	--- ---	STORM DRAIN MANHOLE	⊙	SIGN	⊙	STORM DRAIN	SD
ADJACENT PROPERTY LINE	- - - -	SANITARY SEWER MANHOLE	⊙	TREE W/ SIZE AND ELEVATION	● 10' 100.0	WATER	W
CENTERLINE	— — — —	CLEAN OUT	○	SPOT ELEVATION	○	GAS	G
MONUMENT LINE	- · - · - ·	GAS METER	⊕	CONTOUR	— — — —	UNDERGROUND ELECTRIC	E
BUILDING LINE W/ DOOR	— — — —	UTILITY POLE W/ GUY WIRE	⊕	INDEX CONTOUR	- - - -	OVERHEAD	OH
BUILDING OVERHANG	- - - -	VALVE	⊕	CURB	— — — —	JOINT TRENCH	JT
FOUND MONUMENT AS NOTED	●	CATCH BASIN / DROP INLET	⊕	CURB & GUTTER	— — — —		
BOLLARD LIGHT	●	WATER METER	⊕	CONCRETE	— — — —		
LIGHT	○	FIRE DEPARTMENT CONNECTION	⊕	FENCE	— — — —		
STREET LIGHT	⊕	BACK FLOW PREVENTER	⊕	RETAINING WALL	— — — —		
TRANSFORMER	⊕	UTILITY BOX (SIZE VARIES)	⊕	EDGE OF PAVEMENT	— — — —		
FIRE HYDRANT	⊕	MONITORING WELL	⊕	SANITARY SEWER	SS		

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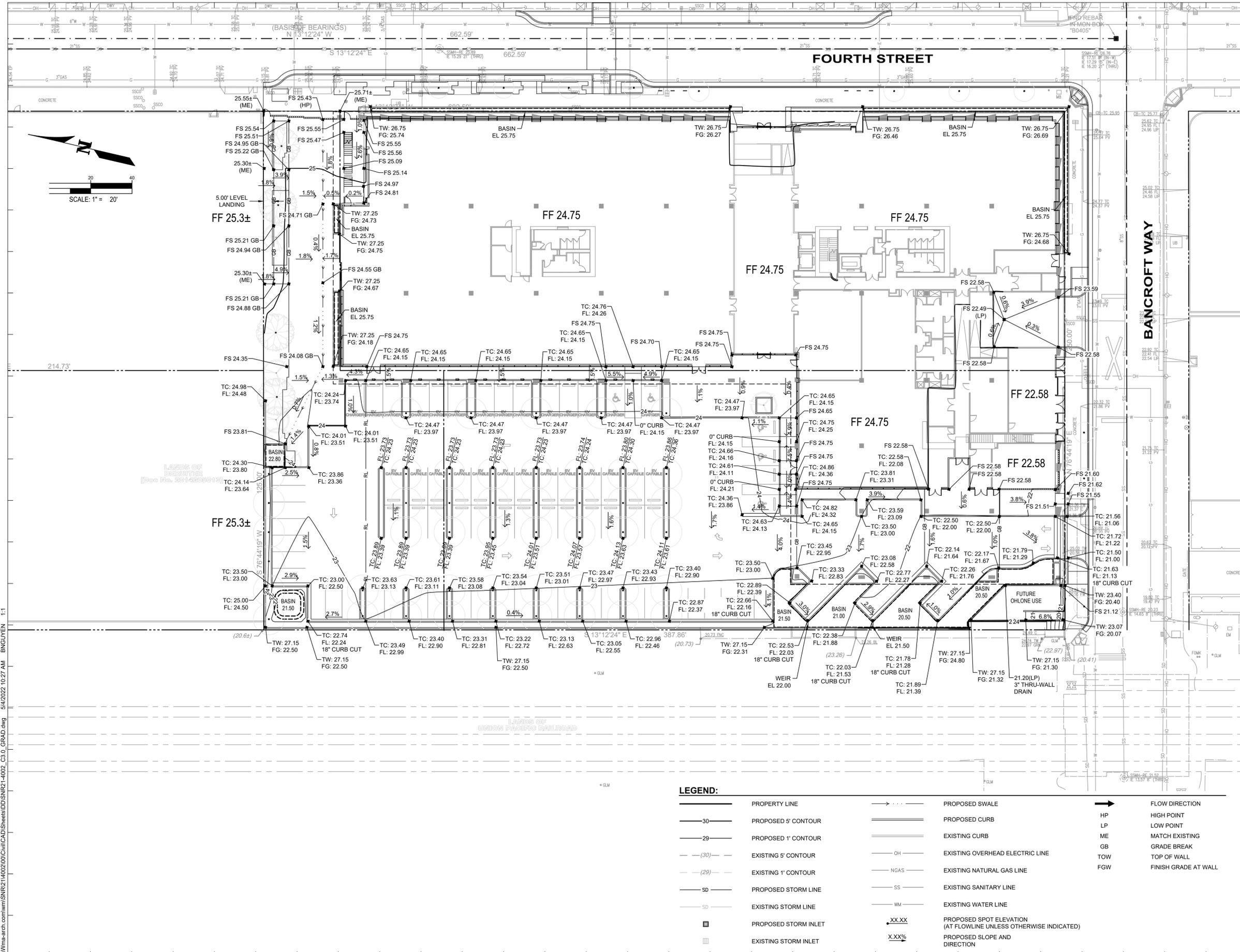
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CONCEPTUAL GRADING PLAN

Project No.: SNR21-4002-00
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 Scale:



LEGEND:

	PROPERTY LINE		PROPOSED SWALE		FLOW DIRECTION
	PROPOSED 5' CONTOUR		PROPOSED CURB		HIGH POINT
	PROPOSED 1' CONTOUR		EXISTING CURB		LOW POINT
	EXISTING 5' CONTOUR		EXISTING OVERHEAD ELECTRIC LINE		MATCH EXISTING
	EXISTING 1' CONTOUR		EXISTING NATURAL GAS LINE		GRADE BREAK
	PROPOSED STORM LINE		EXISTING SANITARY LINE		TOP OF WALL
	EXISTING STORM LINE		EXISTING WATER LINE		FINISH GRADE AT WALL
	PROPOSED STORM INLET		PROPOSED SPOT ELEVATION (AT FLOWLINE UNLESS OTHERWISE INDICATED)		
	EXISTING STORM INLET		PROPOSED SLOPE AND DIRECTION		

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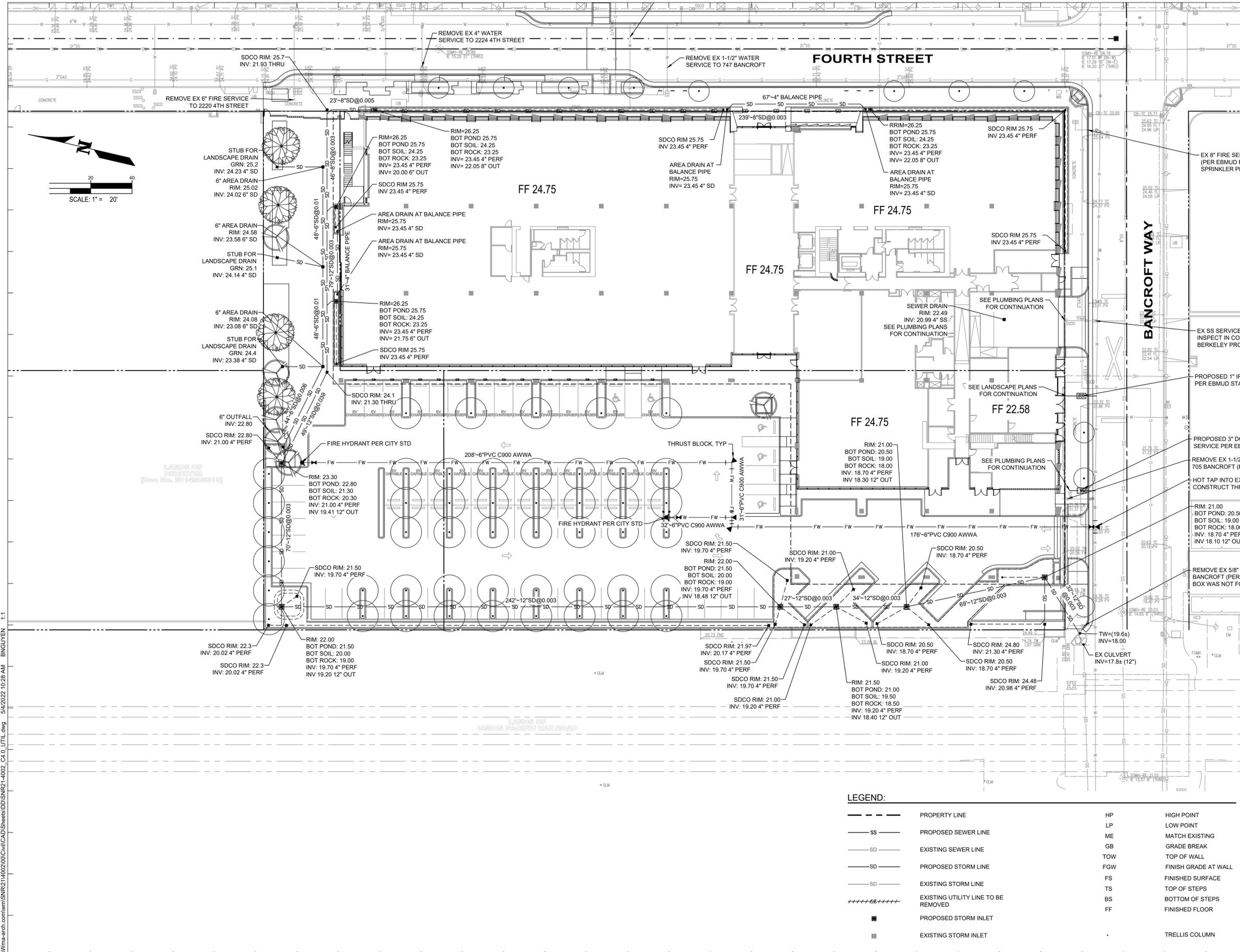
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CONCEPTUAL UTILITY PLAN

Project No.: SNR21-4002-00
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LEGEND:

---	PROPERTY LINE	HP	HIGH POINT
SS	PROPOSED SEWER LINE	LP	LOW POINT
SD	EXISTING SEWER LINE	ME	MATCH EXISTING
SD	PROPOSED STORM LINE	GB	GRADE BREAK
SD	EXISTING STORM LINE	TOW	TOP OF WALL
++++	EXISTING UTILITY LINE TO BE REMOVED	FGW	FINISH GRADE AT WALL
■	PROPOSED STORM INLET	FS	FINISHED SURFACE
■	EXISTING STORM INLET	TS	TOP OF STEPS
		BS	BOTTOM OF STEPS
		FF	FINISHED FLOOR
			TRELLIS COLUMN

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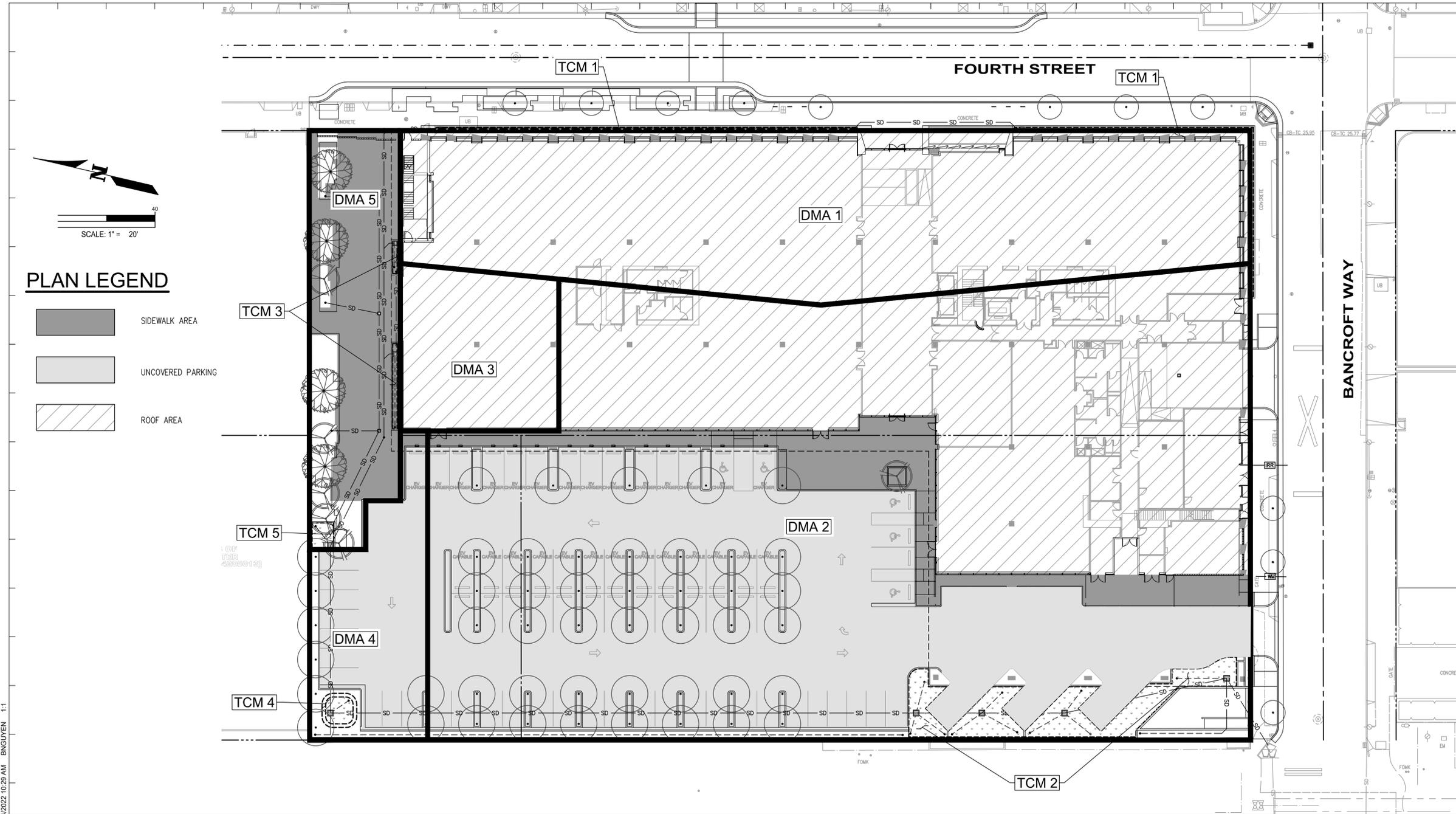
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CONCEPTUAL STORMWATER MANAGEMENT PLAN

Project No.: SNR21-4002-00
Sheet No.:
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PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE

	Project Phase Number:		N/A
	Total Site (acres):	Total Area of Site Disturbed (acres):	
	2.230	2.230	
	Existing Condition of Site Area Disturbed	Proposed Condition of Site Area Disturbed (square feet)	
		Replaced	New
Roof Area(s)	63,500	48,660	0
Parking	0	0	11,800
Sidewalks, Patios, Paths, etc	13,460	13,460	16,830
Streets (Public)	0	0	0
Streets (Private)	0	0	0
Total Impervious Surfaces	96,960	62,120	28,630
	Pervious Surfaces		
Landscaped Areas	0	0	6,210
Pervious Paving	0	0	0
Other Pervious Surfaces (green roof, etc.)	0	0	0
Total Pervious Surfaces:	0	0	6,210
	Total Proposed Replaced + New Impervious Surfaces:		90,750
	Total Proposed Replaced + New Pervious Surfaces:		6,210

TREATMENT CONTROL MEASURE SUMMARY TABLE

DRAINAGE MANAGEMENT AREAS	STORMWATER CONTROL MEASURES	TCM #	TOTAL (Sq.Ft.)	IMPERVIOUS AREA (Sq.Ft.)	PERVIOUS AREA (Sq.Ft.)	TIER 2 BIORETENTION AREA REQUIRED (Sq. Ft.)	BIORETENTION AREA PROVIDED (Sq.Ft.)	RETENTION POND UNLINED (Sq.Ft.) OR UNLINED	BIO-OVERFLOW RISKER HEIGHT (IN.)
DMA 1	FLOW THROUGH PLANTER*	1	22,070	22,070	-	675	680	UNLINED	6
DMA 2	BIO-RETENTION POND*	2	61,220	57,100	4,120	1,680	1,680	UNLINED	6
DMA 3	FLOW THROUGH PLANTER*	3	4,480	4,480	-	135	140	UNLINED	6
DMA 4	BIO-RETENTION POND*	4	4,560	3,760	800	120	120	UNLINED	6
DMA 5	BIO-RETENTION POND*	5	4,630	3,330	1,300	105	110	UNLINED	6
			96,960	90,740	6,220	2,715	2,730		

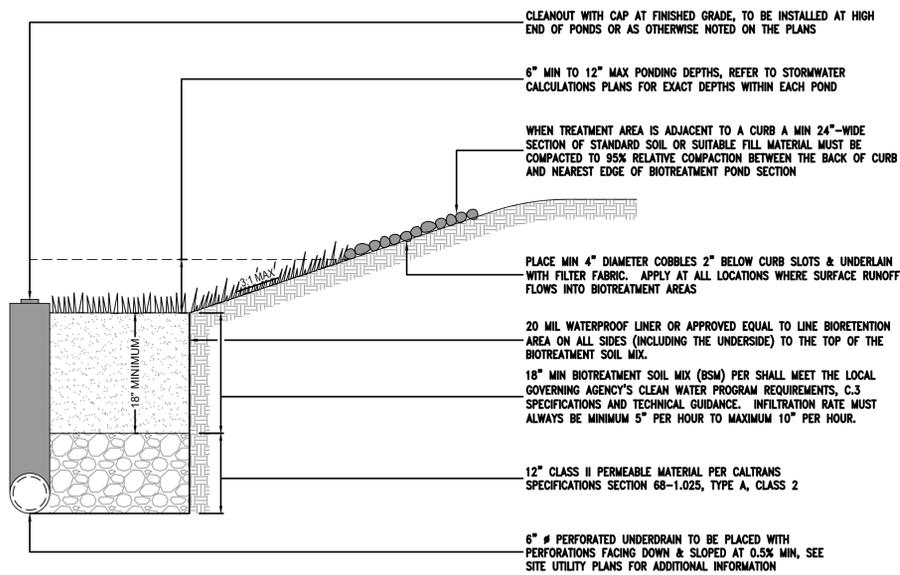
*SIZING FOR BIORETENTION AREA AND VOLUMES REQUIRED CALCULATED USING THE CENTRAL COAST REGION STORMWATER CONTROL MEASURE SIZING CALCULATOR

ABBREVIATIONS

- DMA-01** DRAINAGE MANAGEMENT AREA (BIORETENTION AREA)
- TCM-01** TREATMENT CONTROL MEASURE

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DETAIL 1 - TYPICAL BIORETENTION AREA HALF-SECTION



SOURCE CONTROL

- SD-10: SITE DESIGN & LANDSCAPE PLANNING
- MAXIMIZED TREES AND PLANTING WITHIN HARDSCAPE AND LANDSCAPE AREAS.
 - VEGETATED SLOPES FOR ALL LANDSCAPE SLOPES LESS THAN 1:5 SLOPE.
- SD-11: EFFICIENT IRRIGATION
- RAIN-TRIGGERED SHUTOFF DEVICES TO PREVENT IRRIGATION AFTER PRECIPITATION.
 - SYSTEM DESIGNED TO SITE-SPECIFIC WATER DEMANDS AND PLANTING REQUIREMENTS.
- SD-13: STORM DRAIN SIGNAGE
- ALL CATCH BASINS TO BE STENCILED WITH PROHIBITIVE LANGUAGE PER CITY STANDARDS.

BIOTREATMENT SOIL REQUIREMENTS

- BIOTREATMENT SOIL MIX (BSM) SHALL MEET THE SPECIFICATIONS IN ATTACHMENT "K" OF THE MUNICIPAL REGIONAL PERMIT (MRP), APPROVED BY THE REGIONAL WATER BOARD ON APRIL 18, 2016. THE BSM SHALL BE SUFFICIENTLY PERMEABLE TO INFILTRATE RUNOFF AT A MINIMUM RATE OF 5" PER HOUR DURING THE LIFE OF THE FACILITY, AND HAVE SUFFICIENT MOISTURE RETENTION TO SUPPORT HEALTHY VEGETATION.

SOIL MIX MUST BE CERTIFIED IN ACCORDANCE WITH THE GUIDANCE DOCUMENTS PROVIDED BY THE ALAMEDA COUNTY STORMWATER PROGRAM HANDBOOK TITLED, "C.3 STORMWATER TECHNICAL GUIDANCE", DATED MAY 2, 2016, VERSION 5.1. AVAILABLE AT [HTTP://CLEANWATERPROGRAM.ORG](http://CLEANWATERPROGRAM.ORG)
- BIOTREATMENT AREAS SHALL BE CONSTRUCTED UNDER THE OBSERVATION OF THE SOILS ENGINEER.
- PERMEABLE MATERIAL SHALL COMPLY WITH CALTRANS STANDARD SPECIFICATIONS SECTION 68-1.025, TYPE "A", CLASS 2, OR APPROVED EQUAL.
- THE PERFORATED SUB-DRAIN SHOULD BE SET TO MATCH THE SLOPE OF THE ADJACENT CURB AND GUTTER, OR AT A 0.5% MINIMUM SLOPE OTHERWISE.
- SEE LANDSCAPE PLANS FOR PLANTING SPECIFICATIONS. PLANT SPECIES SHALL BE IN COMPLIANCE WITH APPENDIX "C" OF THE C.3. STORMWATER TECHNICAL GUIDANCE HANDBOOK. INSTALL AND MAINTAIN A 2-INCH LAYER OF COMPOSTED OR AGED MULCH BETWEEN PLANTS. ROCK, COBBLES OR LARGE, NON-FLOATING BARK MULCHES MAY ALSO BE USED, SUBJECT TO REVIEW AND APPROVAL.

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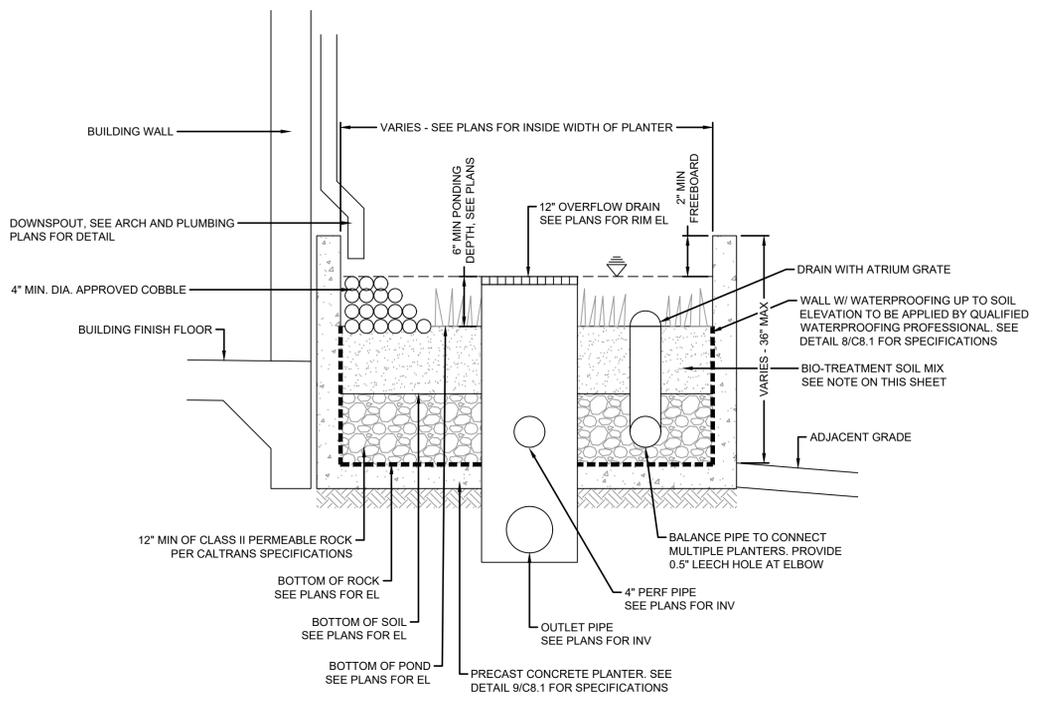
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DETAIL 2 - TYPICAL FLOW-THRU PLANTER



BIOTREATMENT AREA MAINTENANCE

INSPECTION ACTIVITIES	SUGGESTED FREQUENCY
<ul style="list-style-type: none"> INSPECT AFTER SEEDING AND AFTER FIRST MAJOR STORMS FOR ANY DAMAGES. 	POST-CONSTRUCTION
<ul style="list-style-type: none"> INSPECT FOR SIGNS OF EROSION, DAMAGE TO VEGETATION, CHANNELIZATION OF FLOW, DEBRIS AND LITTER, AND AREAS OF SEDIMENT ACCUMULATION. PERFORM INSPECTIONS AT THE BEGINNING AND END OF THE WET SEASON. ADDITIONAL INSPECTIONS AFTER PERIODS OF HEAVY RUNOFF ARE DESIRABLE. 	SEMI-ANNUAL
<ul style="list-style-type: none"> INSPECT BASIN ONCE DURING THE WET SEASON AFTER A LARGE RAIN EVENT TO CONFIRM THE FACILITY IS DRAINING WITHIN 72 HOURS. IF FACILITY FAILS TO DRAIN WITHIN TIMEFRAME, REMOVE & REPLACE TOP 2" OF FILTER MEDIA. 	SEMI-ANNUAL
MAINTENANCE ACTIVITIES	SUGGESTED FREQUENCY
<ul style="list-style-type: none"> MOW GRASS TO MAINTAIN A HEIGHT OF 3-4 INCHES, FOR SAFETY, AESTHETIC, OR OTHER PURPOSES. LITTER SHOULD ALWAYS BE REMOVED PRIOR TO MOWING. CLIPPINGS SHOULD BE COMPOSTED. IRRIGATE DURING DRY SEASON (APRIL THROUGH OCTOBER) OR WHEN NECESSARY TO MAINTAIN THE VEGETATION. PROVIDE WEED CONTROL, IF NECESSARY TO CONTROL INVASIVE SPECIES. 	AS NEEDED (FREQUENT, SEASONALLY)
<ul style="list-style-type: none"> REMOVE LITTER, BRANCHES, ROCKS BLOCKAGES AND OTHER DEBRIS AND DISPOSE OF PROPERLY. REPAIR ANY DAMAGED AREAS IDENTIFIED DURING INSPECTIONS. EROSION RILLS OR GULLIES SHOULD BE CORRECTED AS NEEDED. BARE AREAS SHOULD BE REPLANTED AS NECESSARY. 	SEMI-ANNUAL
<ul style="list-style-type: none"> CORRECT EROSION PROBLEMS IN THE SAND/SOIL BED. 	AS NEEDED
<ul style="list-style-type: none"> PLANT AN ALTERNATIVE GRASS SPECIES IF THE ORIGINAL GRASS COVER HAS NOT BEEN SUCCESSFULLY ESTABLISHED. 	ANNUAL (AS NEEDED)
<ul style="list-style-type: none"> RESEED AND APPLY MULCH TO DAMAGED AREAS. APPLY 1" TO 2" OF MULCH PREFERABLE IN JUNE AFTER WEEDING. 	SEMI-ANNUAL
<ul style="list-style-type: none"> REMOVE ALL ACCUMULATED SEDIMENT THAT MAY OBSTRUCT THE PROPER OPERATION OF THE BIO TREATMENT POND. SEDIMENT SHOULD BE REMOVED WHEN IT BUILDS UP TO 3" AT ANY SPOT, OR COVERS VEGETATION, OR ONCE IT HAS ACCUMULATED TO 10% OF THE ORIGINAL DESIGN VOLUME. REPLACE THE GRASS AREAS DAMAGED IN THE PROCESS. 	AS NEEDED (INFREQUENT)
<ul style="list-style-type: none"> ROTOTILL OR CULTIVATE SURFACE OF SAND/SOIL BED OF IF TREATMENT AREA DOESN'T DRAW DOWN WITHIN 48 HOURS. 	AS NEEDED

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	DESIGN REVIEW COMMITTEE MEETING 2	2022.05.19

Key Plan:

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CONCEPTUAL STORMWATER MANAGEMENT PLAN - NOTES AND DETAILS

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OVERALL SITE PLAN

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LEGEND

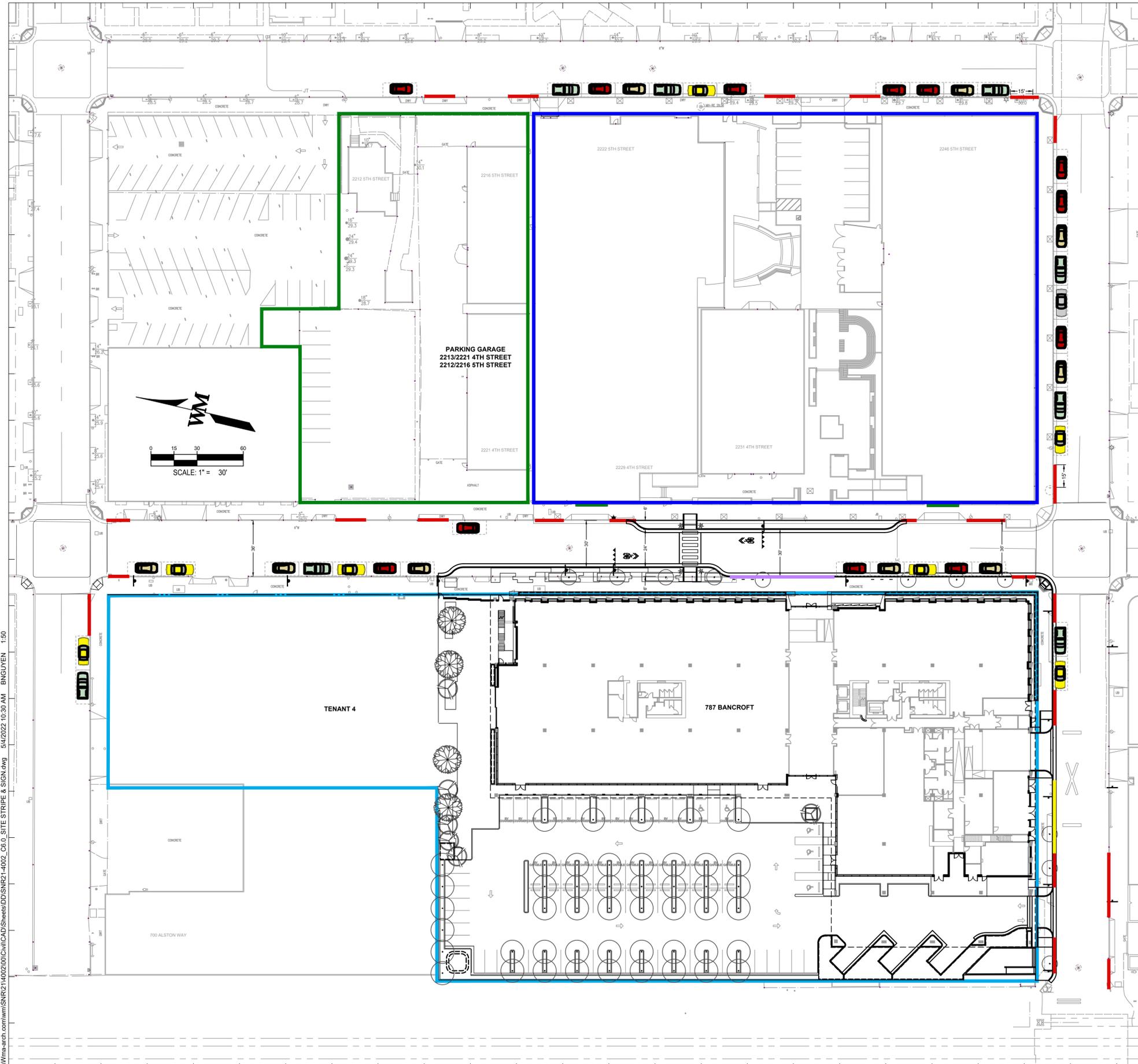
-  NO PARKING - RED CURB
-  LOADING ZONE - YELLOW CURB
-  PASSENGER LOADING ZONE - WHITE CURB
-  PARKING STALL
-  PHASE 1
-  PHASE 2
-  PHASE 3
-  EXISTING FH WITH 3' RADIUS CLEARANCE
-  PROPOSED NO OVERNIGHT PARKING SIGN - SEE DETAIL ON THIS SHEET



NO OVERNIGHT PARKING SIGN

NOTES

- THIS SHEET IS INCLUDED FOR CONSTRUCTION PHASING CONTEXT AND GRAPHICAL PURPOSES ONLY. FOR STRIPING AND SIGNAGE ADJACENT TO 747 BANCROFT ALONG FOURTH STREET AND BANCROFT WAY, SEE PUBLIC STREET IMPROVEMENT PLANS - STRIPING AND SIGNAGE PLAN.



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 LOT LINE
 ADJUSTMENT**

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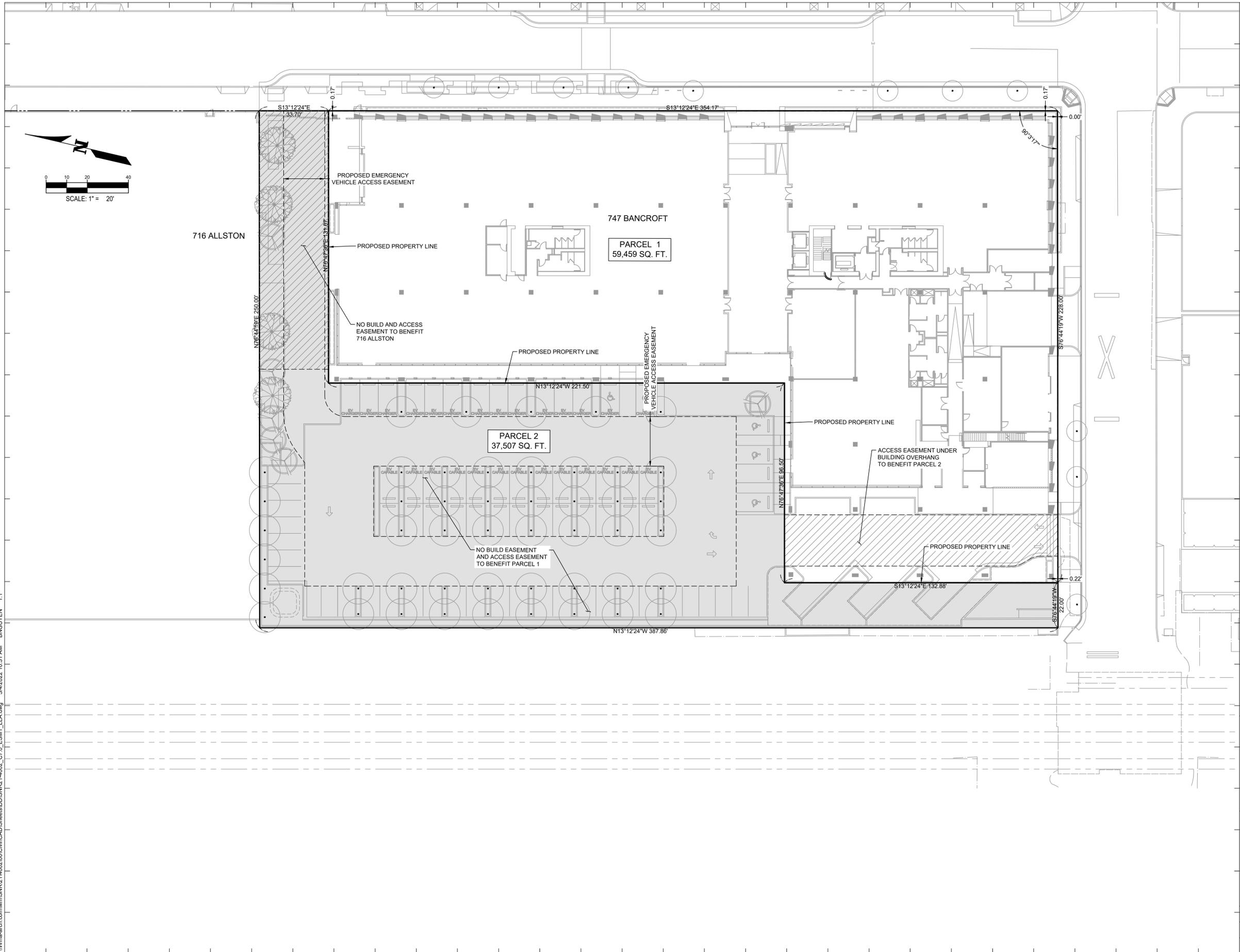
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LAB MASTERPLAN

Project No.:	220175	Sheet No.:	AP1.01.00
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PROPOSED ROOF LEVEL SITE PLAN 01
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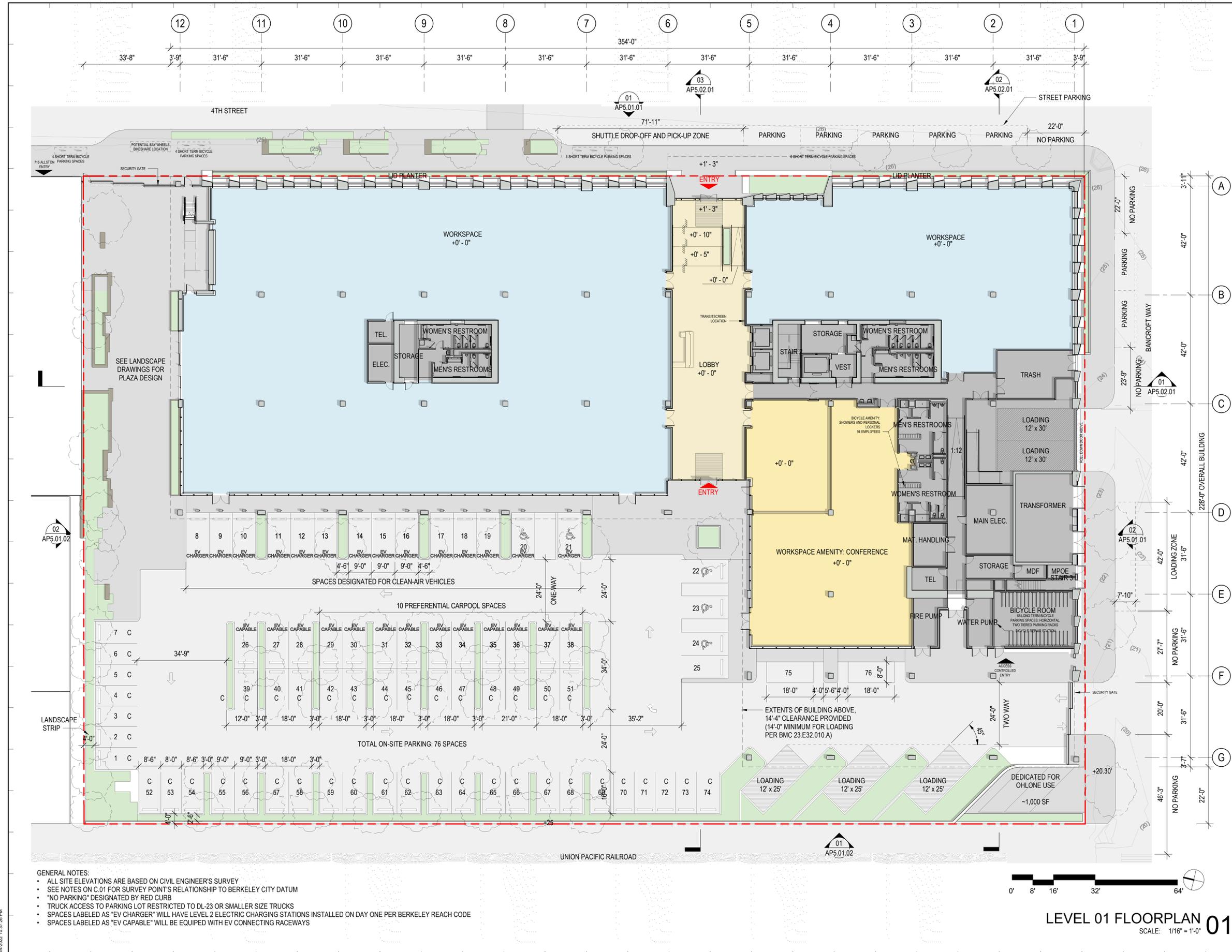
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OVERALL FLOOR PLAN - LEVEL 01

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 Sheet No.: 220175
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- GENERAL NOTES:**
- ALL SITE ELEVATIONS ARE BASED ON CIVIL ENGINEER'S SURVEY
 - SEE NOTES ON C.01 FOR SURVEY POINT'S RELATIONSHIP TO BERKELEY CITY DATUM
 - "NO PARKING" DESIGNATED BY RED CURB
 - TRUCK ACCESS TO PARKING LOT RESTRICTED TO DL-23 OR SMALLER SIZE TRUCKS
 - SPACES LABELED AS "EV CHARGER" WILL HAVE LEVEL 2 ELECTRIC CHARGING STATIONS INSTALLED ON DAY ONE PER BERKELEY REACH CODE
 - SPACES LABELED AS "EV CAPABLE" WILL BE EQUIPPED WITH EV CONNECTING RACEWAYS



LEVEL 01 FLOORPLAN 01
 SCALE: 1/16" = 1'-0"

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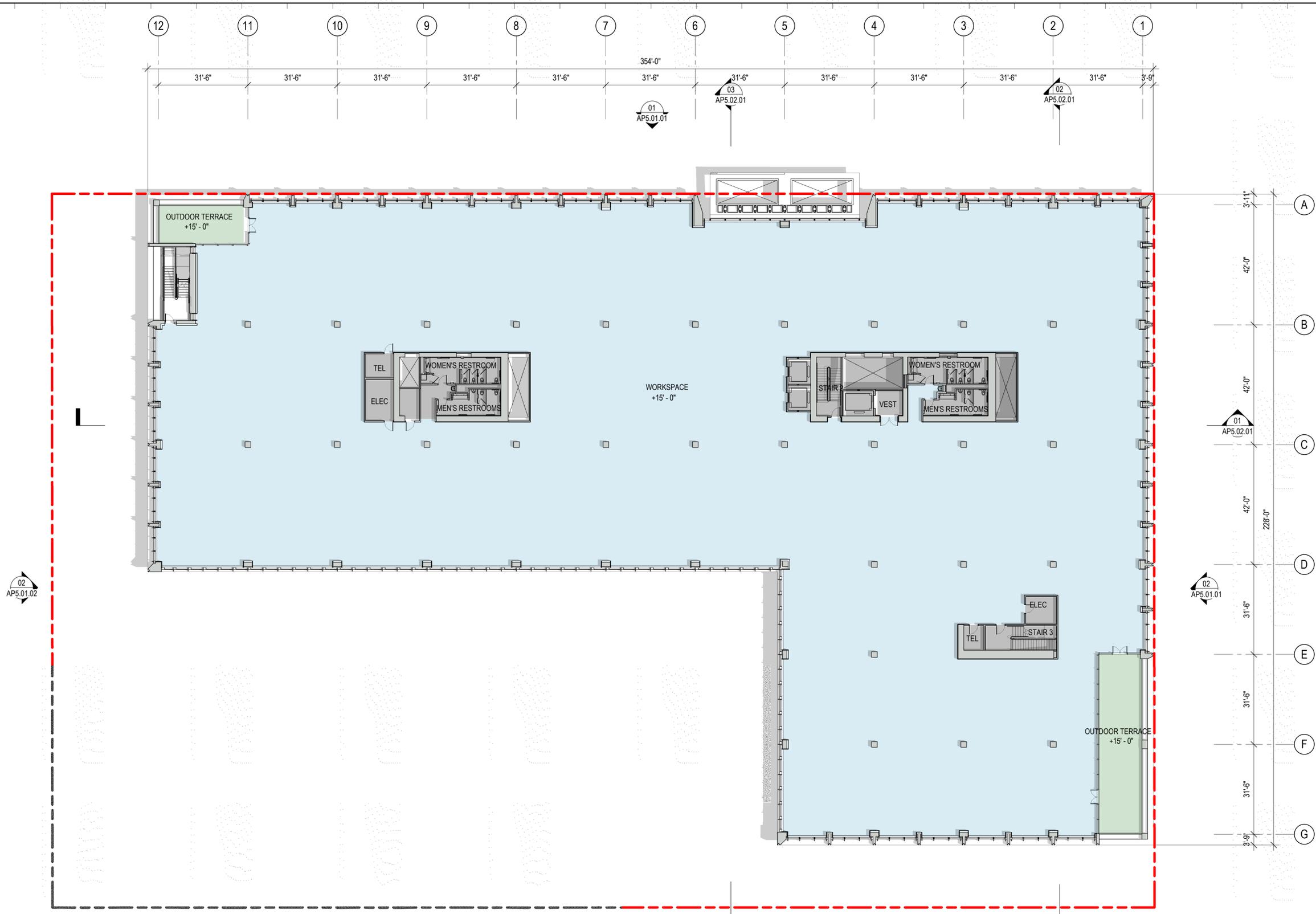
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OVERALL FLOOR PLAN - LEVEL 02

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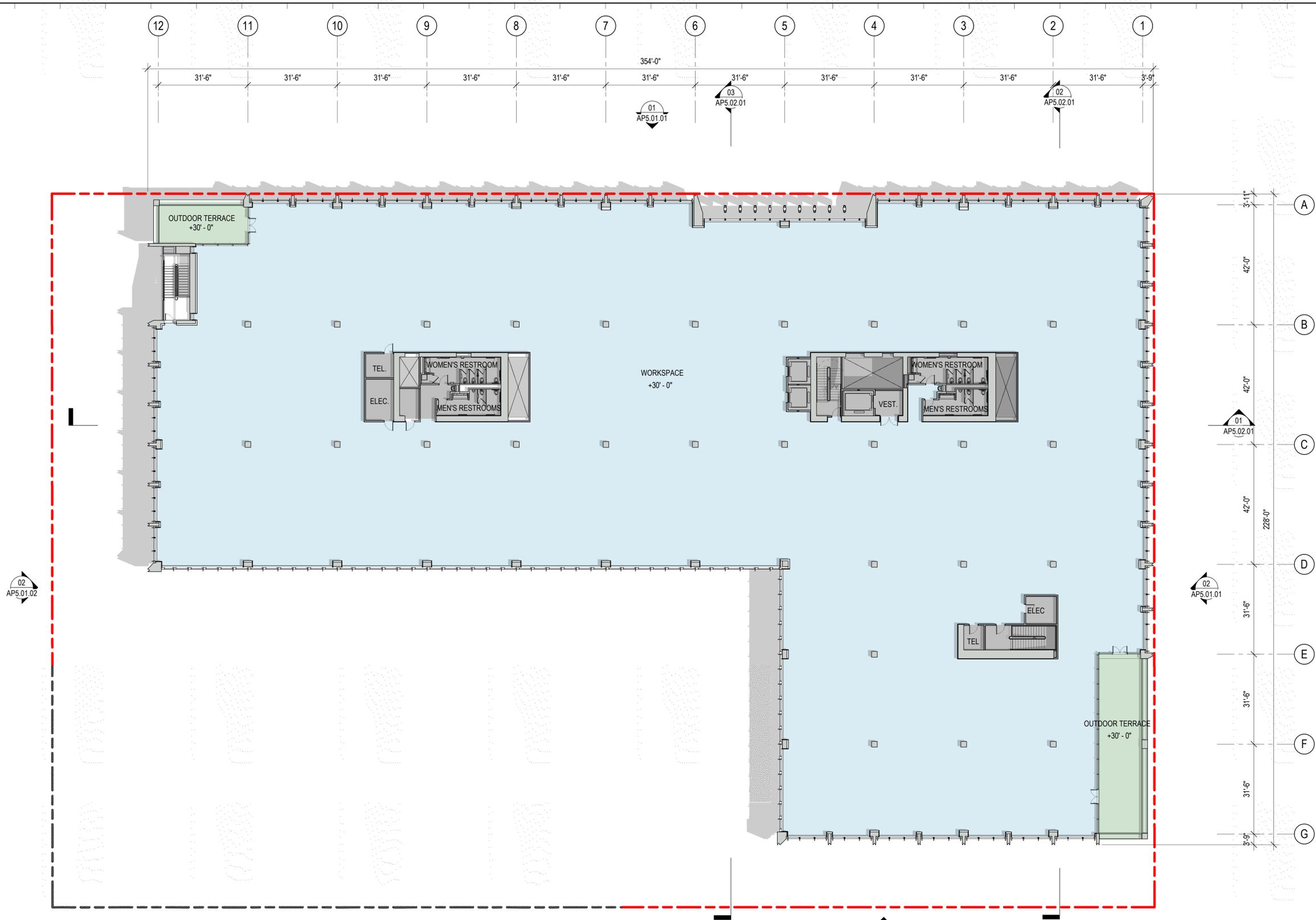
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OVERALL FLOOR PLAN - LEVEL 03

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LEVEL 03 FLOORPLAN 01
 SCALE: 1/16" = 1'-0"

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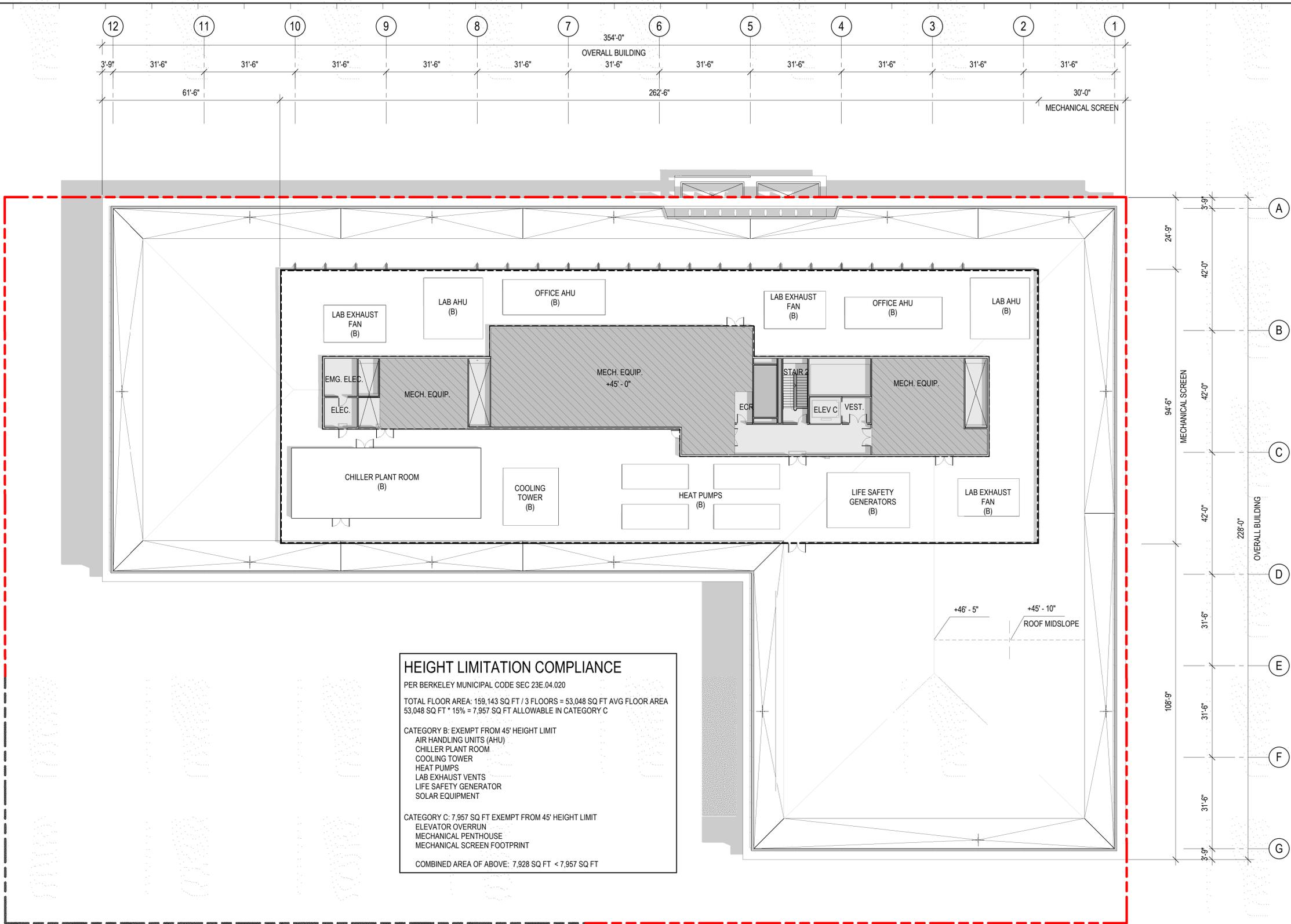
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Sheet Name:
OVERALL FLOOR PLAN - MECHANICAL PENTHOUSE

Project No.: 220175
 Sheet No.:
 Drawn By: Author
 Checked By: Checker
 Scale: 1/16" = 1'-0"
AP2.04.00



HEIGHT LIMITATION COMPLIANCE
 PER BERKELEY MUNICIPAL CODE SEC 23E.04.020
 TOTAL FLOOR AREA: 159,143 SQ FT / 3 FLOORS = 53,048 SQ FT AVG FLOOR AREA
 53,048 SQ FT * 15% = 7,957 SQ FT ALLOWABLE IN CATEGORY C

CATEGORY B: EXEMPT FROM 45' HEIGHT LIMIT
 AIR HANDLING UNITS (AHU)
 CHILLER PLANT ROOM
 COOLING TOWER
 HEAT PUMPS
 LAB EXHAUST VENTS
 LIFE SAFETY GENERATOR
 SOLAR EQUIPMENT

CATEGORY C: 7,957 SQ FT EXEMPT FROM 45' HEIGHT LIMIT
 ELEVATOR OVERRUN
 MECHANICAL PENTHOUSE
 MECHANICAL SCREEN FOOTPRINT

COMBINED AREA OF ABOVE: 7,928 SQ FT < 7,957 SQ FT

0' 8' 16' 32' 64'

LEVEL 04 MECHANICAL PENTHOUSE PLAN 01
 SCALE: 1/16" = 1'-0" **01**

747 BANCROFT

747 BANCROFT, BERKELEY, CALIFORNIA

OWNER
STEELWAVE
 STEELWAVE
 101 CALIFORNIA STREET, SUITE 800
 SAN FRANCISCO, CA 94111

PROJECT TEAM
 ARCHITECT | STRUCTURAL ENGINEER | LANDSCAPE
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 SKIDMORE, OWINGS & MERRILL LLP
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BUILDER
 LUSARDI CONSTRUCTION COMPANY
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SUSTAINABILITY
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 443 TEHAMA ST. 1ST FLOOR
 SAN FRANCISCO, CA 94103

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	USE PERMIT APPLICATION	2021.03.25
	USE PERMIT RESUBMITTAL	2021.09.13
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	DESIGN REVIEW COMMITTEE MEETING 2	2022.05.19

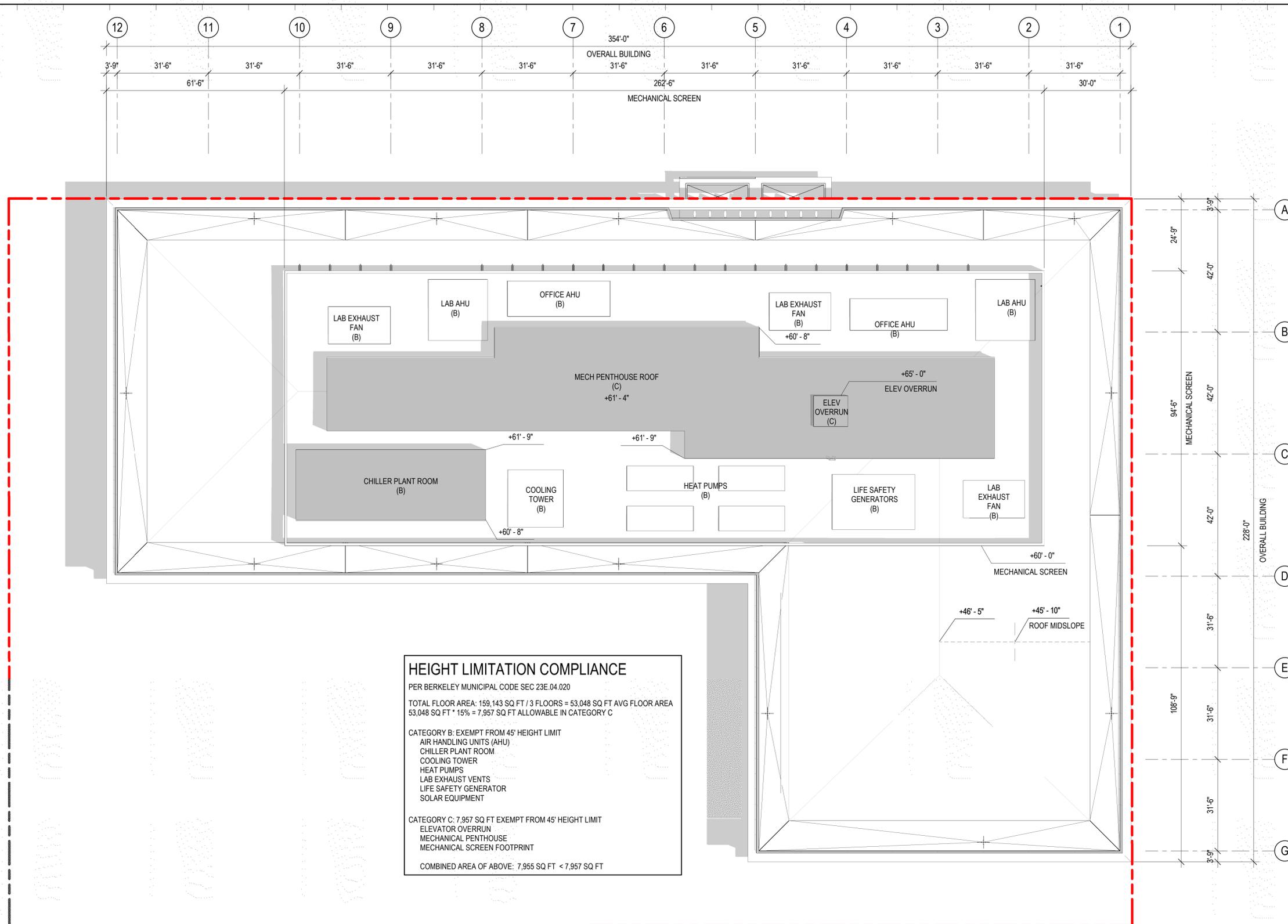
Key Plan:

Seal & Signature:

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Sheet Name:
OVERALL FLOOR PLAN - ROOF

Project No.: 220175
 Sheet No.: AP2.05.00
 Drawn By: Author
 Checked By: Checker
 Scale: 1/16" = 1'-0"

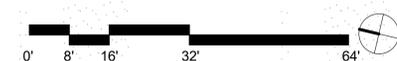


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 PER BERKELEY MUNICIPAL CODE SEC 23E.04.020
 TOTAL FLOOR AREA: 159,143 SQ FT / 3 FLOORS = 53,048 SQ FT AVG FLOOR AREA
 53,048 SQ FT * 15% = 7,957 SQ FT ALLOWABLE IN CATEGORY C

CATEGORY B: EXEMPT FROM 45' HEIGHT LIMIT
 AIR HANDLING UNITS (AHU)
 CHILLER PLANT ROOM
 COOLING TOWER
 HEAT PUMPS
 LAB EXHAUST VENTS
 LIFE SAFETY GENERATOR
 SOLAR EQUIPMENT

CATEGORY C: 7,957 SQ FT EXEMPT FROM 45' HEIGHT LIMIT
 ELEVATOR OVERRUN
 MECHANICAL PENTHOUSE
 MECHANICAL SCREEN FOOTPRINT

COMBINED AREA OF ABOVE: 7,955 SQ FT < 7,957 SQ FT



ROOF PLAN 01
 SCALE: 1/16" = 1'-0"

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Sheet Name:
EXISTING ELEVATIONS

Project No.:	Sheet No.:
220175	AP5.00.01
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Scale:	1/32" = 1'-0"



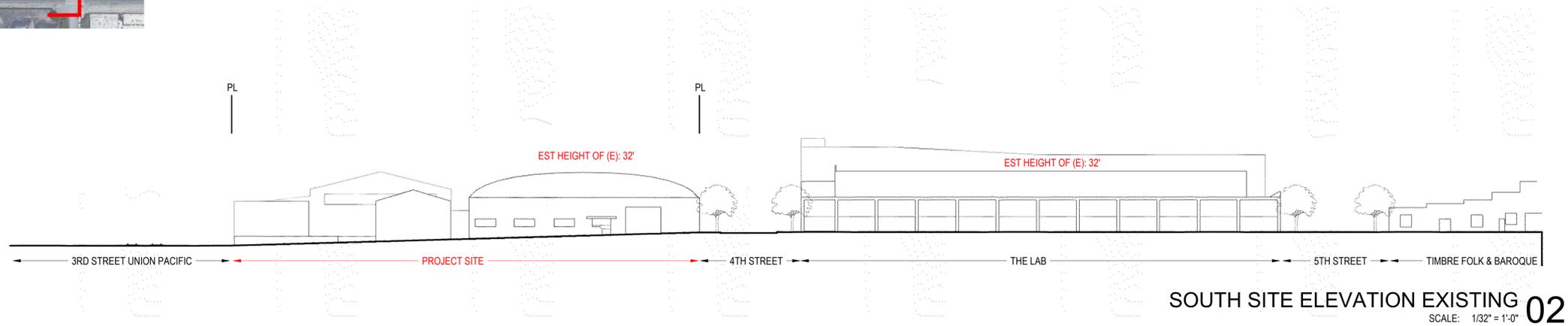
01 703-5 BANCROFT WAY



02 WINE.COM



03 WINE.COM



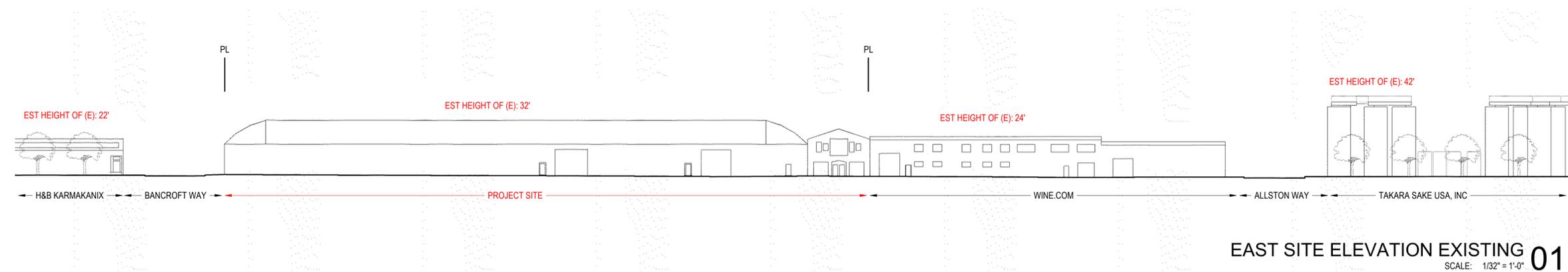
01 WINE.COM



02 WINE.COM



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01 3RD STREET UNION PACIFIC



02 TIMBRE FOLK & BAROQUE

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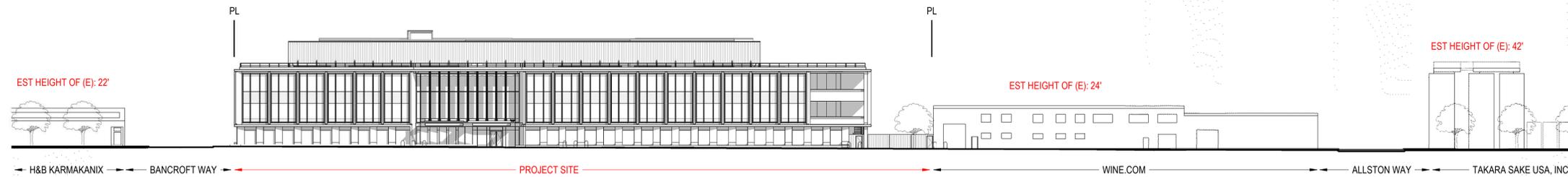
SOUTH SITE ELEVATION 02
 SCALE: 1/32" = 1'-0"



01 WINE.COM



02 TAKARA SAKE USA, INC



EAST SITE ELEVATION 01
 SCALE: 1/32" = 1'-0"

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Sheet Name:
SITE ELEVATIONS

Project No.:	220175	Sheet No.:	AP5.00.02
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Scale:	1/32" = 1'-0"		

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No.	Description	Date
	USE PERMIT APPLICATION	2021.03.25
	50% SCHEMATIC DESIGN	2021.04.30
	90% SCHEMATIC DESIGN	2021.05.21
	USE PERMIT RESUBMITTAL	2021.09.13
	USE PERMIT RESUBMITTAL	2021.12.17
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	DESIGN REVIEW COMMITTEE MEETING 2	2022.05.19

Key Plan:

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Sheet Name:
STREET STRIP ELEVATIONS

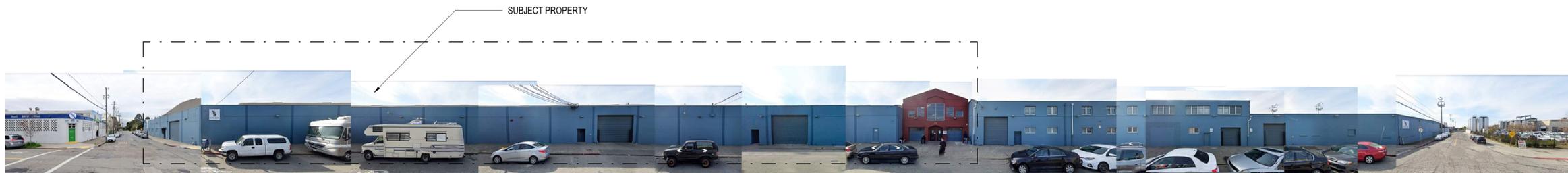
Project No.:	220175	Sheet No.:	AP5.00.03
Drawn By:	Author		
Checked By:	Checker		
Scale:			



STREET STRIP, BANCROFT WAY, LOOKING NORTH - EXISTING



STREET STRIP, BANCROFT WAY, LOOKING NORTH - PROPOSED



STREET STRIP, 4TH STREET, LOOKING WEST - EXISTING



STREET STRIP, 4TH STREET, LOOKING WEST - PROPOSED

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BUILDER
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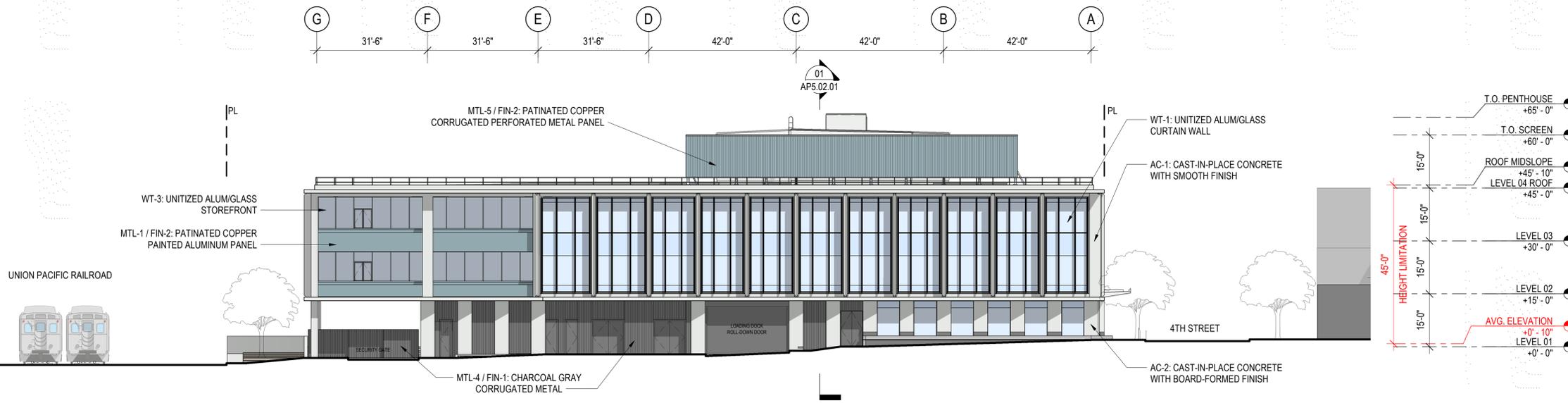
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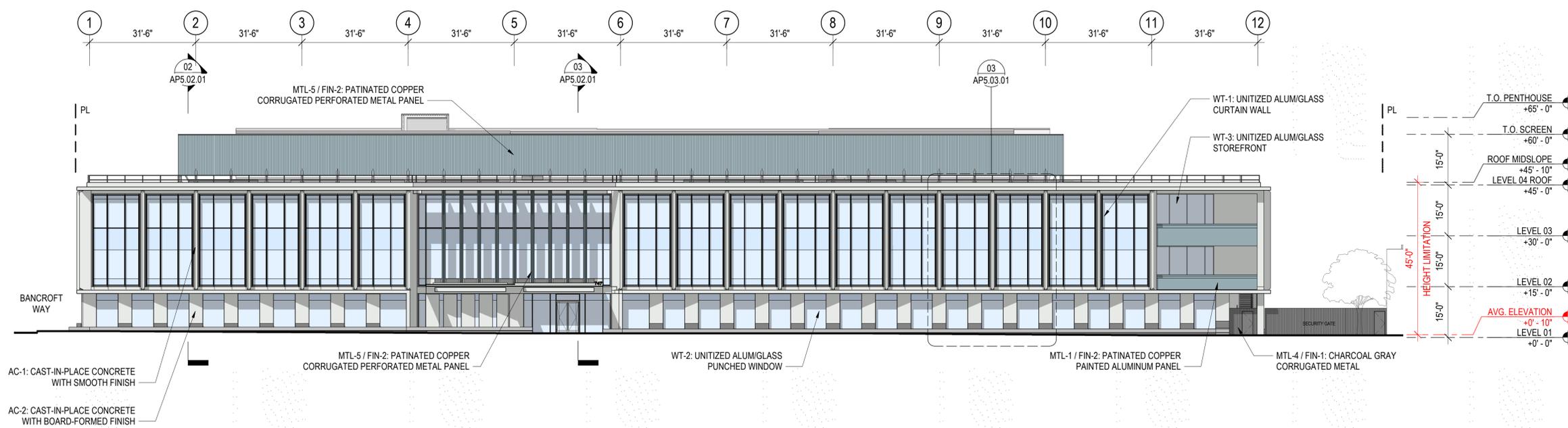
Sheet Name:

EAST AND SOUTH ELEVATIONS

Project No.:	Sheet No.:
220175	AP5.01.01
Drawn By: Author	
Checked By: Checker	
Scale:	1/16" = 1'-0"



SOUTH ELEVATION 02
 SCALE: 1/16" = 1'-0"



EAST ELEVATION 01
 SCALE: 1/16" = 1'-0"

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Key Plan:

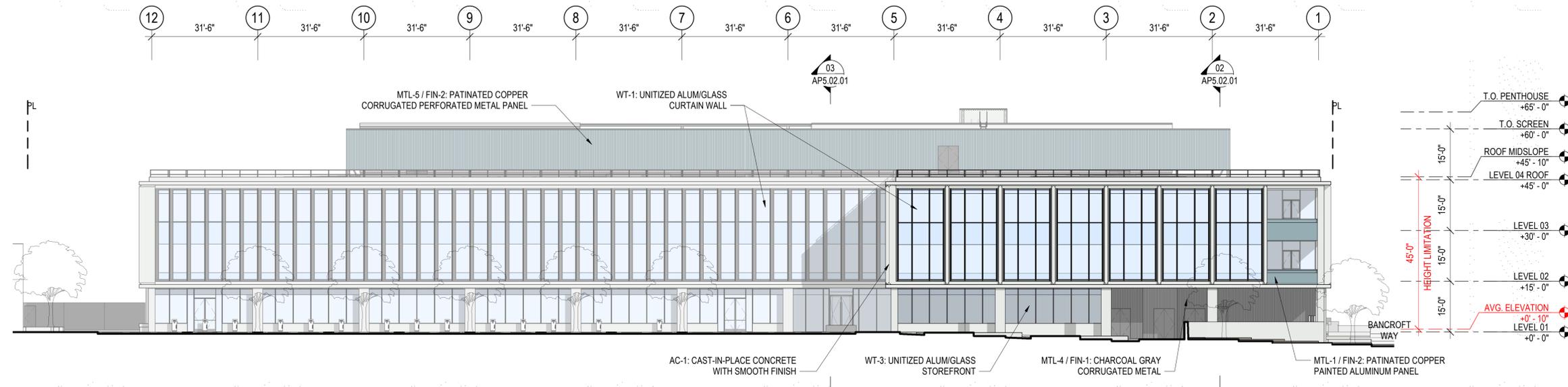
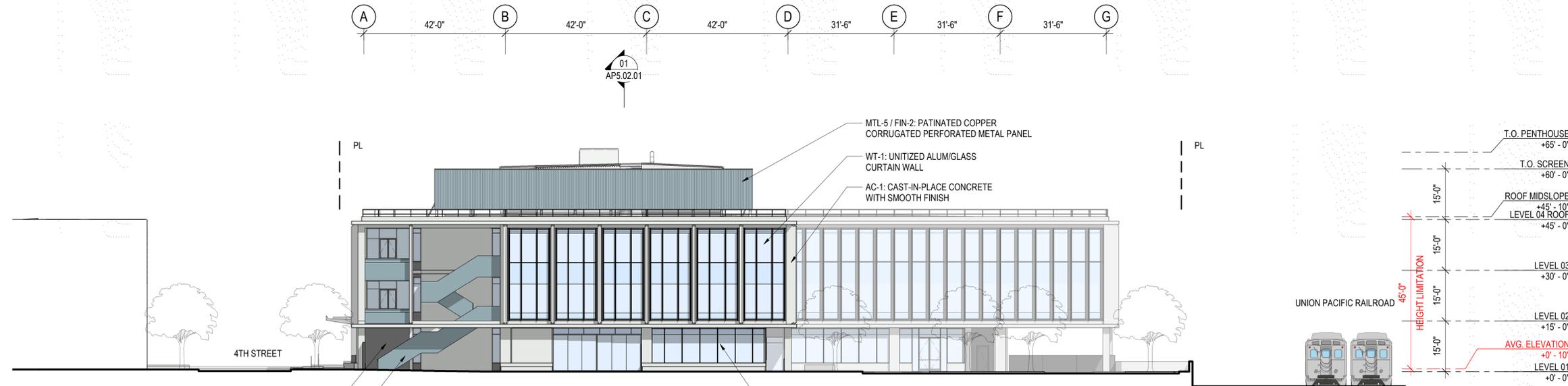
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Sheet Name:

WEST AND NORTH ELEVATIONS

Project No.:	Sheet No.:
220175	AP5.01.02
Drawn By: Author	
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Scale:	1/16" = 1'-0"



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747 BANCROFT, BERKELEY, CALIFORNIA

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STEELWAVE
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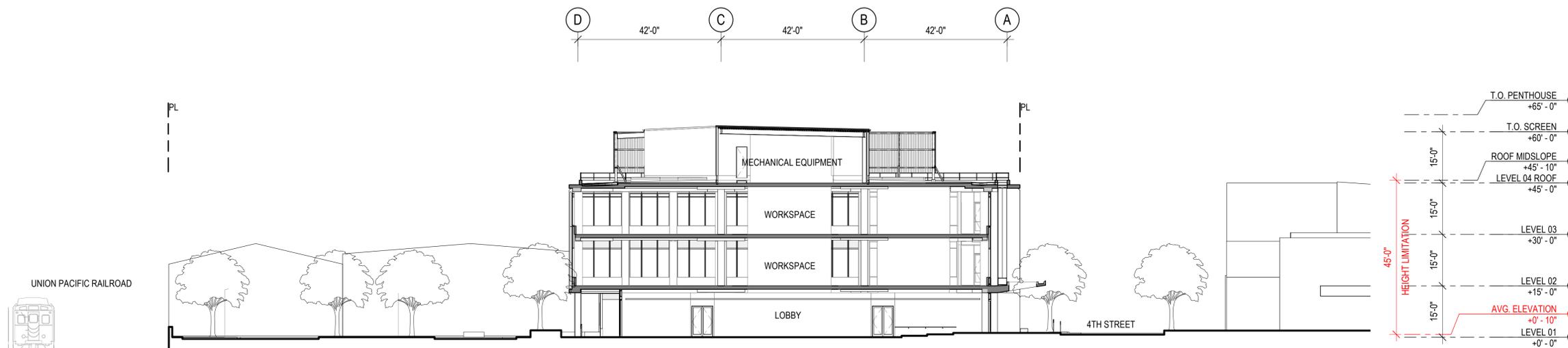
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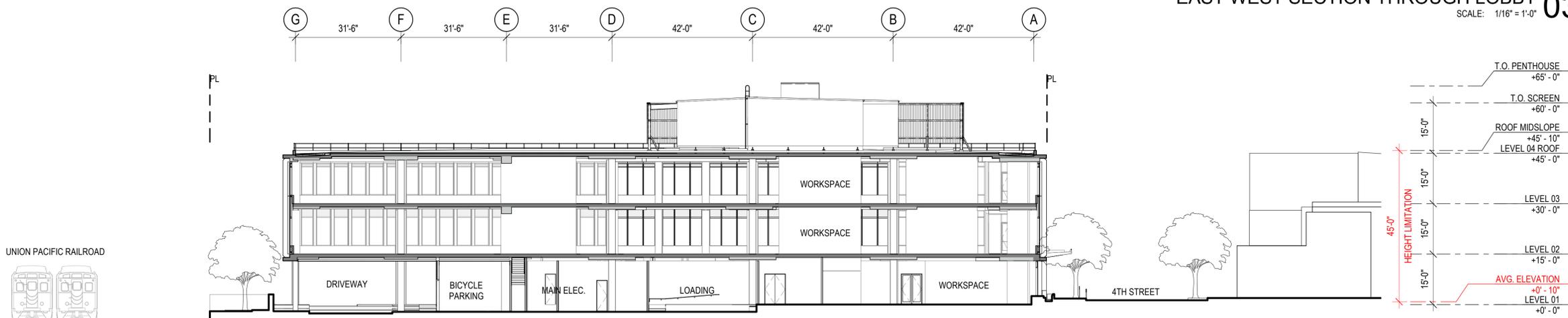
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Sheet Name:
SECTIONS

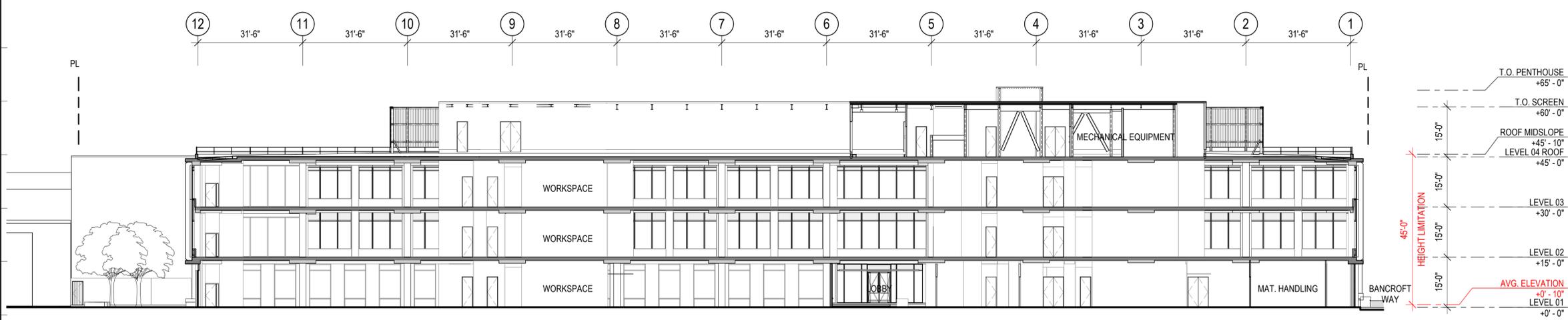
Project No.:	Sheet No.:
220175	AP5.02.01
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EAST WEST SECTION THROUGH LOBBY 03
 SCALE: 1/16" = 1'-0"

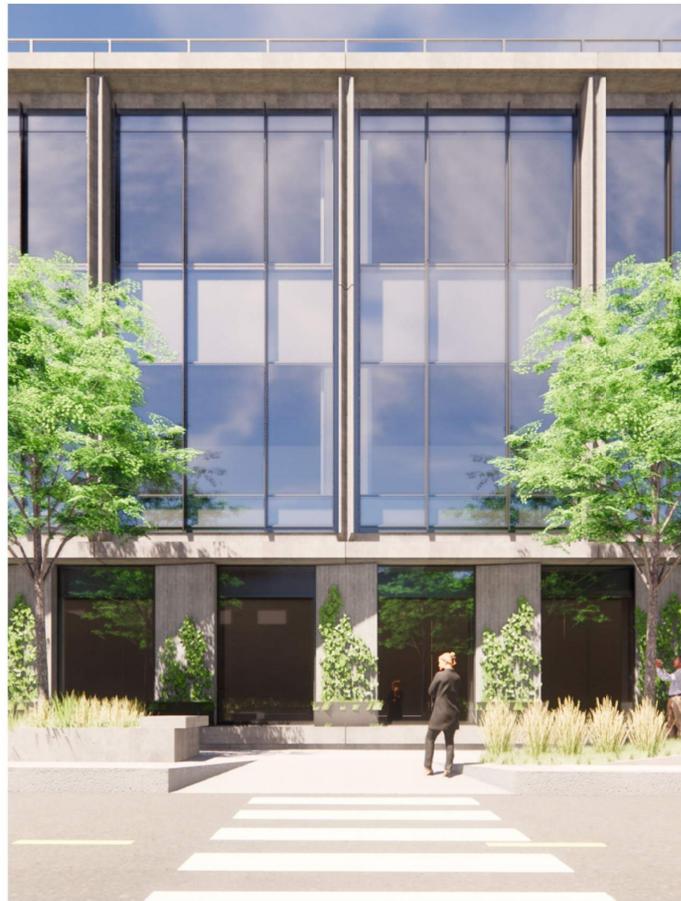


EAST WEST SECTION THROUGH DRIVEWAY 02
 SCALE: 1/16" = 1'-0"



NORTH SOUTH SECTION 1 01
 SCALE: 1/16" = 1'-0"

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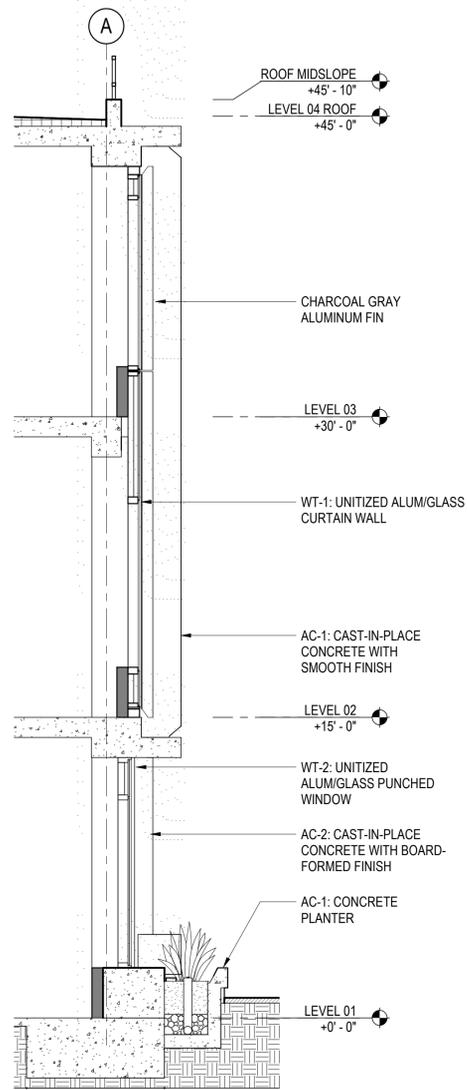
EXTERIOR VIEW AT TYPICAL FACADE (4TH STREET)



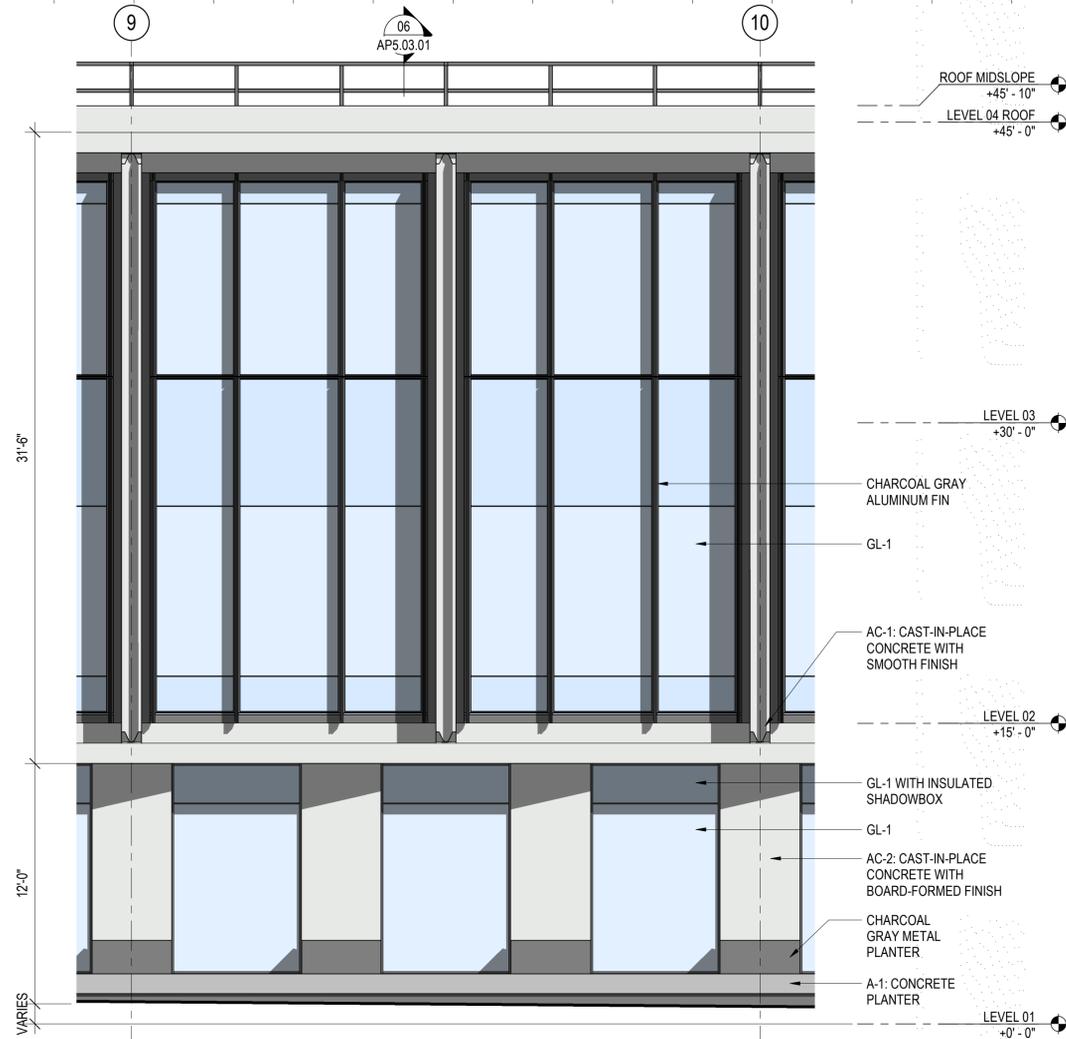
EXTERIOR VIEW AT EAST ENTRY



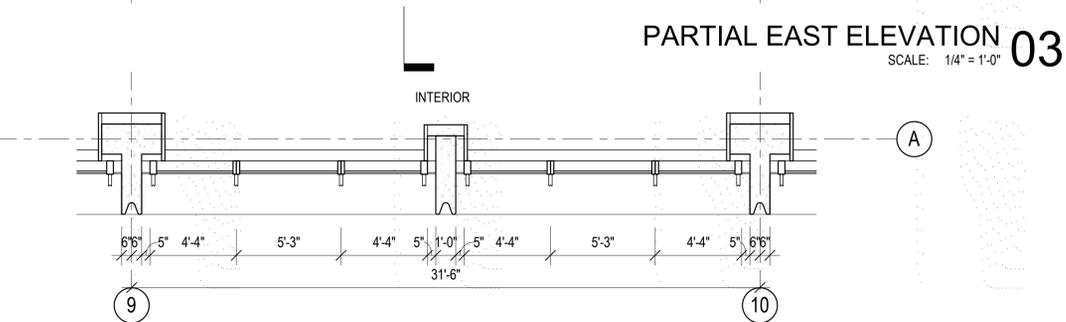
EXTERIOR VIEW ALONG 4TH STREET SIDEWALK



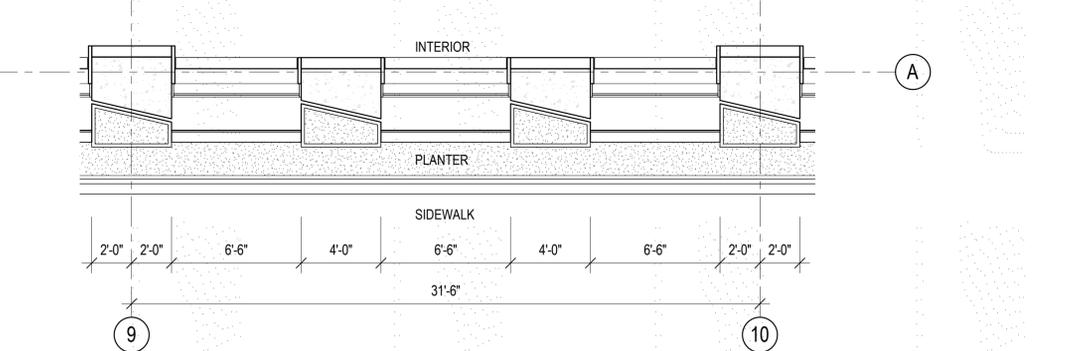
PARTIAL SECTION AT EAST 06
 SCALE: 1/4" = 1'-0"



PARTIAL EAST ELEVATION 03
 SCALE: 1/4" = 1'-0"



LEVEL 02 PARTIAL PLAN AT EAST TYPICAL 02
 SCALE: 1/4" = 1'-0"



LEVEL 01 PARTIAL PLAN AT EAST TYPICAL 01
 SCALE: 1/4" = 1'-0"

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Sheet Name:
EXTERIOR WALL DETAILS

Project No.:	Sheet No.:
220175	220175
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Scale:	Scale:
	AP5.03.01
	1/4" = 1'-0"

SHADED PARKING LEGEND

LEGEND	NAME	NOTES
	OPEN AIR PARKING PAVED AREA	ONLY OPEN AIR SURFACE PARKING HAS BEEN INCLUDED IN THIS TREE CANOPY COVERAGE CALCULATION
	TRISTANIA LAURINA 'ELEGANT' SEE PLANTING PLAN	DIAMETER AT FULL MATURITY: 20'
	PARKING AREA SHADED BY TREE CANOPY	DIAMETER AT FULL MATURITY: 20'
	PARKING AREA SHADED BY BUILDING/STRUCTURE	THIS PART IS NOT INCLUDED IN THE CALCULATION

PLANTING LEGEND TREE LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	NATIVE	EVERGREEN / DECIDUOUS	SPACING	NOTES
	ACER RUBRUM 'OCTOBER GLORY'	RED MAPLE	36" BOX	M	N	D	AS SHOWN	STREET TREE
	CERCIS OCCIDENTALIS	CALIFORNIA REDBUD	36" BOX 24" BOX	L	Y	D	AS SHOWN	PLAZA TREE SPECIMEN TREE OHLONE AREA CANOPY TREE
	CORNUS NUTTALLII	PACIFIC DOGWOOD	48" BOX	M	Y	D	AS SHOWN	PLAZA TREE
	ACER JAPONICUM	JAPANESE MAPLE	36" BOX	M	N	D	N/A	SPECIMEN TREE
	ULMUS HYBRID 'FRONTIER'	FRONTIER ELM	36" BOX	M	N	D	AS SHOWN	PARKING LOT TREE
	UMBELLULARIA CALIFORNICA	CALIFORNIA LAUREL	36" BOX	M	Y	E	AS SHOWN	PARKING LOT TREE

PLANTING LEGEND SHRUB/GROUND COVER LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	NATIVE	EVERGREEN	SPREAD	HEIGHT	NOTES
	CAREX PANSA	CALIFORNIA BEACH DUNE	FLATS	L	Y	N	N/A	0.7 - 1.3'	LAWN
	ARCTOSTAPHYLOS 'EMERALD CARPET'	CARPET MANZANITA	FLATS	L	Y	Y	N/A	1'	GROUND COVER
	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	L	Y	Y	4'	4 - 5'	ORNAMENTAL GRASS
	PENNISETUM ALOPECUROIDES	RED FOUNTAIN GRASS	5 GAL	L	N	N	3 - 4'	2 - 4'	ORNAMENTAL GRASS
	LUPINUS ALBIFRONS	SILVER LUPINE	1 GAL	L	Y	N	2 - 3'	3.2 - 5'	PERENNIAL SHRUB
	MIMULUS AURANTIACUS	BUSH MONKEY FLOWERS	1 GAL	L	Y	N	5'	4 - 5'	PERENNIAL SHRUB
	ASCLEPIAS SPECIOSA	SHOWY MILKWEED	1 GAL	M	Y	N	4'	4 - 6'	PERENNIAL SHRUB
	CAREX TUMULICOLA	BERKELEY SEDGE	1 GAL	L	Y	Y	2'	1 - 1.5'	ORNAMENTAL GRASS
	CAREX BARBAREA	VALLEY SEDGE	1 GAL	L	Y	Y	3'	1.6 - 3.3'	FLOW THROUGH PLANTER
	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL	L	Y	N	2 - 4'	0.6 - 2.6'	FLOW THROUGH PLANTER
	LIGUSTRUM OVALIFOLIUM	CALIFORNIA PRIVET	5 GAL	L	N	Y	-	3' - 6"	HEDGE, NATURALIZED - MAINTAIN 3' - 6" OF HEDGE HEIGHT
	FICUS PUMILA	CLIMBING FIG	15 GAL	L	N	Y	-	-	ENTRY CANOPY TRELLIS PLANTER
	GAULTHERIA SHALLON	SALAL	5 GAL	L	Y	Y	-	-	STREET LEVEL PLANTER
	LAVANDULA PROVENCE	BLUE LAVANDIN	5 GAL	L	N	N	-	-	TERRACE LEVEL PLANTER

HARDSCAPE LEGEND

LEGEND	MATERIALS	MODEL / MANUFACTURER	COLOR / FINISH	COMMENTS
P1	CONCRETE PAVING / INTEGRAL COLOR	-	NATURAL GRAY MEDIUM / SANDBLAST	SEE DETAILS
P2A	CONCRETE UNIT PAVER A	HANOVER	NATURAL	TUDOR FINISH SEE DETAILS
P2B	CONCRETE UNIT PAVER B	HANOVER	LIMESTONE GRAY	TUDOR FINISH SEE DETAILS
P3A	CONCRETE UNIT PAVER PLANKSTONE A	HANOVER	NATURAL	TUDOR FINISH SEE DETAILS
P3B	CONCRETE UNIT PAVER PLANKSTONE B	HANOVER	LIMESTONE GRAY	TUDOR FINISH SEE DETAILS
P4	CONCRETE CURB	-	-	PER CIVIL
P5	SIDEWALK CONCRETE PAVING	-	-	PER CIVIL
P6	CRUSHED GRANITE	LYNGSO GARDEN MATERIALS	MIXED COLOR	3 / 4" CRUSHED ROCK
P7	PERMEABLE INTERLOCKING CONCRETE PAVER	HANOVER	LIME STONE GRAY	TUDOR FINISH SEE DETAILS
P8	PARKING LOT PAVING	-	-	PER CIVIL
PA	PLANTING AREA MULCH	LYNGSO GARDEN MATERIALS	MOCHA CHIP	NATURAL 3" THICK LAYER

WALL LEGEND

LEGEND	MATERIALS	MODEL / MANUFACTURER	COLOR / FINISH	COMMENTS
W1	CUSTOM FLOW THROUGH PLANTER WALL	-	-	PER ARCHITECTURE
W2	BENCH WOOD TOP	ROBI DECKING	IPE WOOD (ALT-BLACK LOCUST)	ROBI OIL
W3	CAST IN PLACE CUSTOM PLANTER WALL	-	NATURAL GRAY	TOPCAST MICHRO-ETCH MATCH WITH W1
W3A	CAST IN PLACE CUSTOM BENCH	-	NATURAL GRAY	TOPCAST MICHRO-ETCH MATCH WITH W1
W4	PERIMETER RETAINING WALL	-	-	SEE CIVIL/ ARCHITECTURE DRAWINGS

FURNITURE LEGEND

LEGEND	MATERIALS	MODEL / MANUFACTURER	COLOR / FINISH	COMMENTS
S1	TRASH RECEPTACLES	LANDSCAPEFORMS	WOOD ALUMINUM POWDERCOAT	
S2	BIKE RACK	-	STAINLESS #4 BRUSH FINISH	PER CITY STANDARD
TG1	METAL TREE PIT EDGE	-	STAINLESS STEEL	
G1	GATE AT NORTH PLAZA	-		SAD FOR DETAILS
G2	GATE AT BANCROFT WAY	-		SAD FOR DETAILS
F1	WEST FENCE	-		SAD FOR DETAILS

IRRIGATION LEGEND

SYMBOL	DESCRIPTION	NOTES
	RAIN SENSOR IN ENCLOSURE	-EXISTING 1.5" TO BE DOWNSIZED TO 1"
	PRESSURE REGULATOR	-WEATHER TRAK-WRS
	MASTER CONTROL VALVE	
	FLOW SENSOR	-WEATHER TRAK-WT-FS-100-DI
	REMOTE CONTROL VALVES	
	DRIP REMOTE CONTROL VALVES	
	QUICK COUPLING VALVES	
	BALL VALVE - ISOLATION VALVE OR STUBOUT	-SEE DETAIL
	DRIP FLUSH VALVE	
	12" POP-UP SPRAY HEADS	-TORO-570Z-12P-COM-10F,H,T,Q
	12" POP-UP SPRAY HEADS	-TORO-570Z-12P-COM-8F,H,T,Q
		NOTE: CIRCLED SIZE INDICATES ELECTRICAL CONDUIT OR SLEEVING.
	CONTROLLER STATION NUMBER	
	GALLONS PER MINUTE THROUGH VALVE	
	CONTROL VALVE SIZE	

747 BANCROFT

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SUSTAINABILITY

ATELIER TEN
443 TEHAMA ST., 1ST FLOOR
SAN FRANCISCO, CA 94103

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Key Plan:

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LEGEND/SCHEDULE

Project No.:

220175

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LAB LANDSCAPE
 MASTER PLAN

Project No.:

Sheet No.:

220175

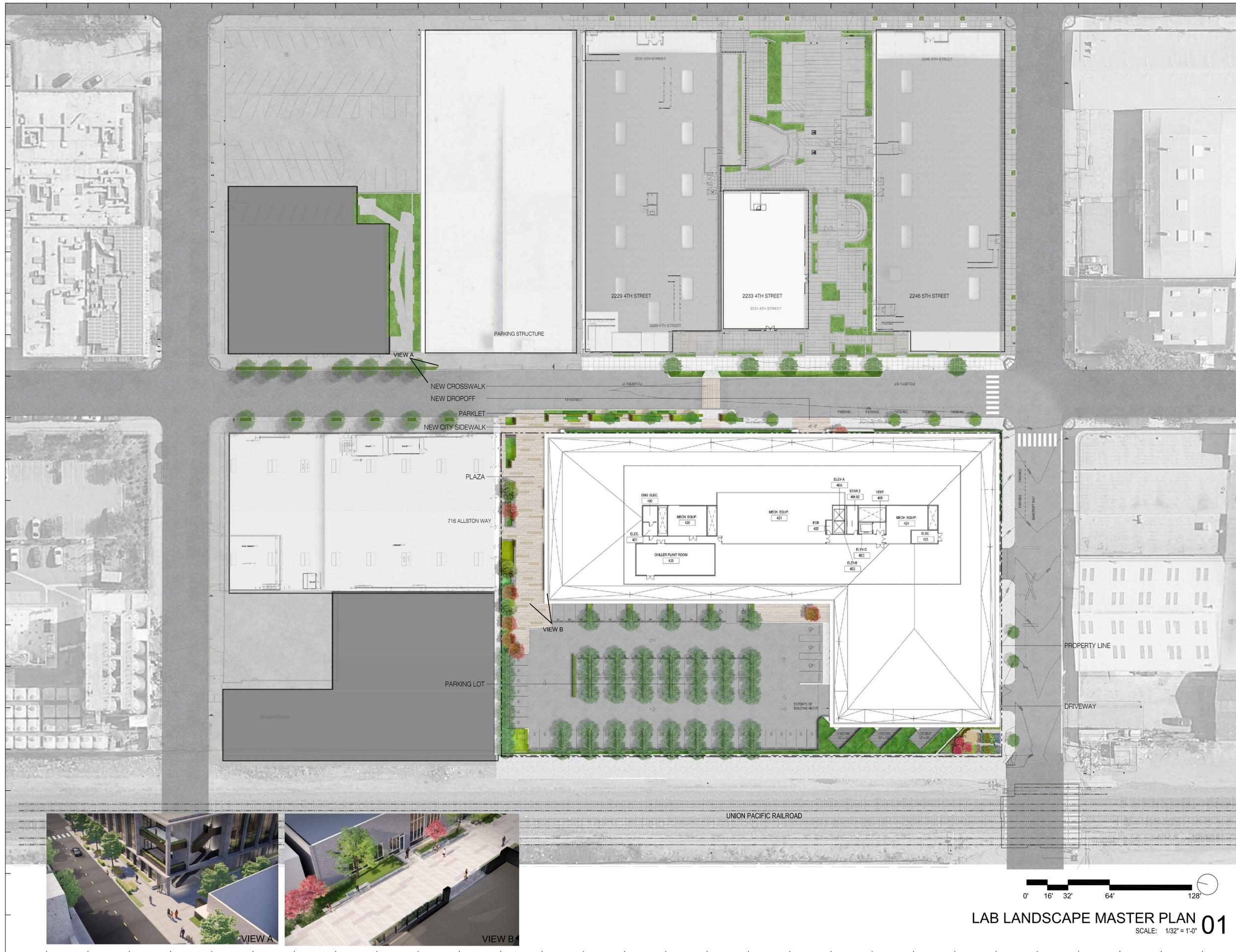
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LP2.00.00

1/32" = 1'-0"



LAB LANDSCAPE MASTER PLAN 01
 SCALE: 1/32" = 1'-0"

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LANDSCAPE PLAN

Project No.: 220175
 Sheet No.: **LP2.00.01**
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 Checked By:
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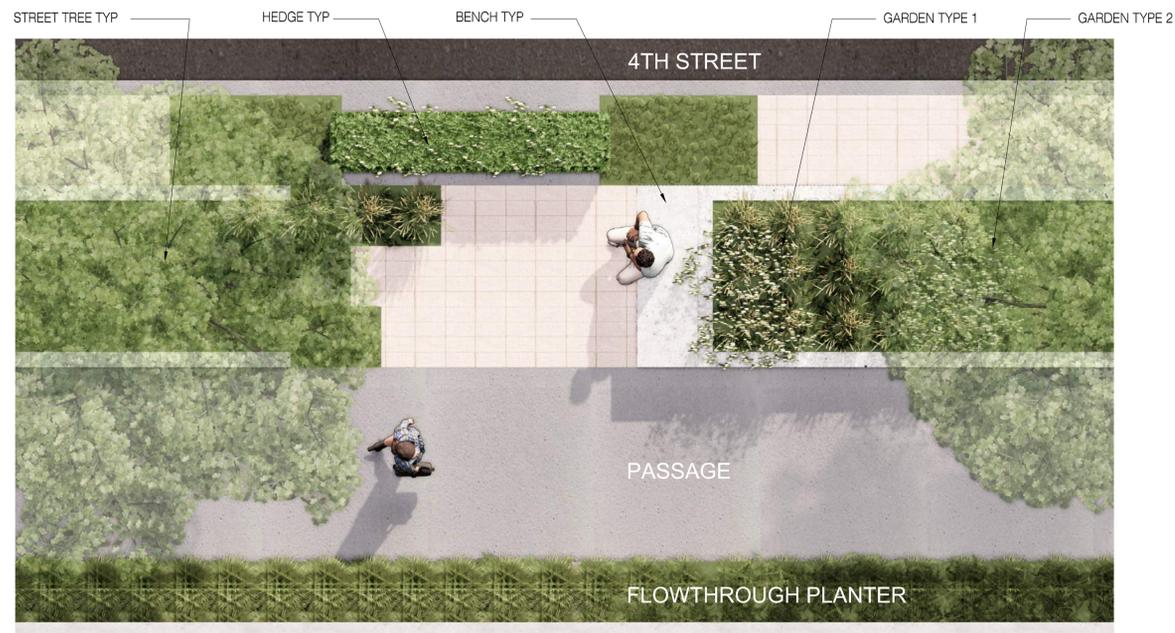


NOTES:
 1. SEE LEGEND ON SHEET LP1.00.00-LEGEND SCHEDULE

LAB LANDSCAPE MASTER PLAN **01**
 SCALE: 1/16" = 1'-0"

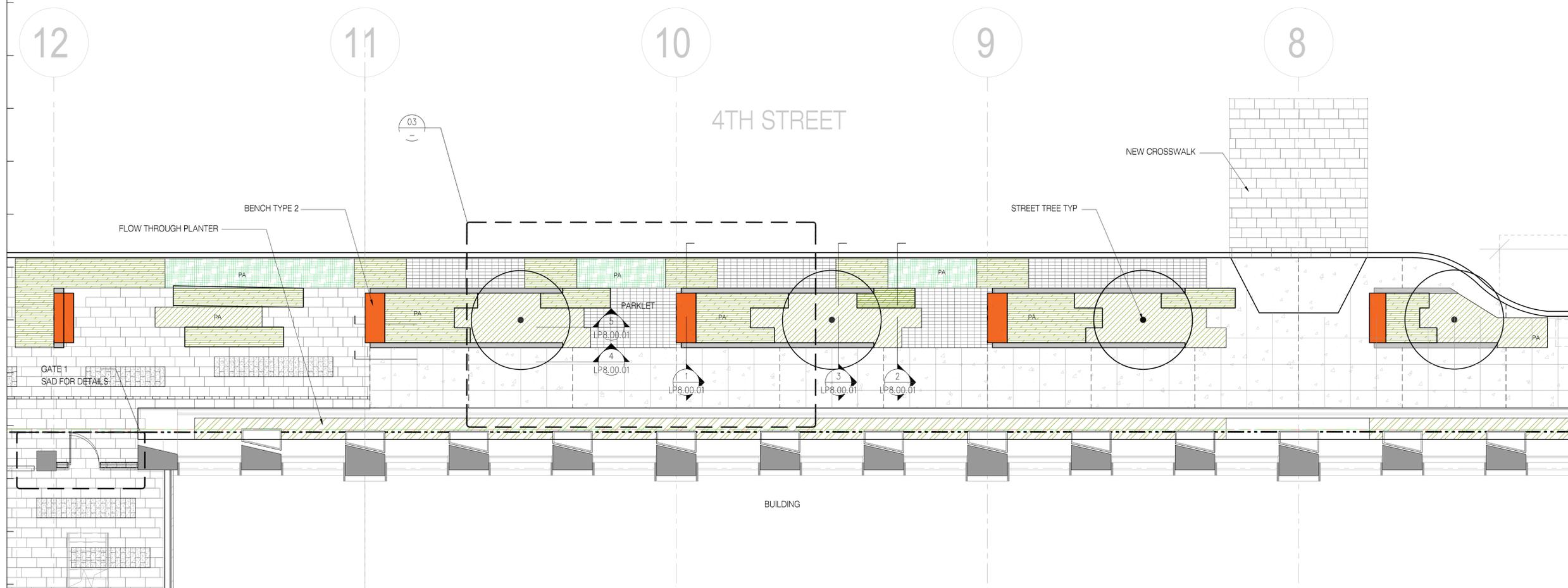
NOTES:

- SEE SHEET LP5.01.00 AND LP5.01.01 FOR PLANTING.



STREET GARDEN RENDERED PLAN 03
SCALE: NTS

STREET GARDEN RENDERING 02
SCALE: NTS



STREET GARDEN ENLARGED PLAN 01
SCALE: 1/4"=1'-0"

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ENLARGEMENT PLAN

Project No.: 220175
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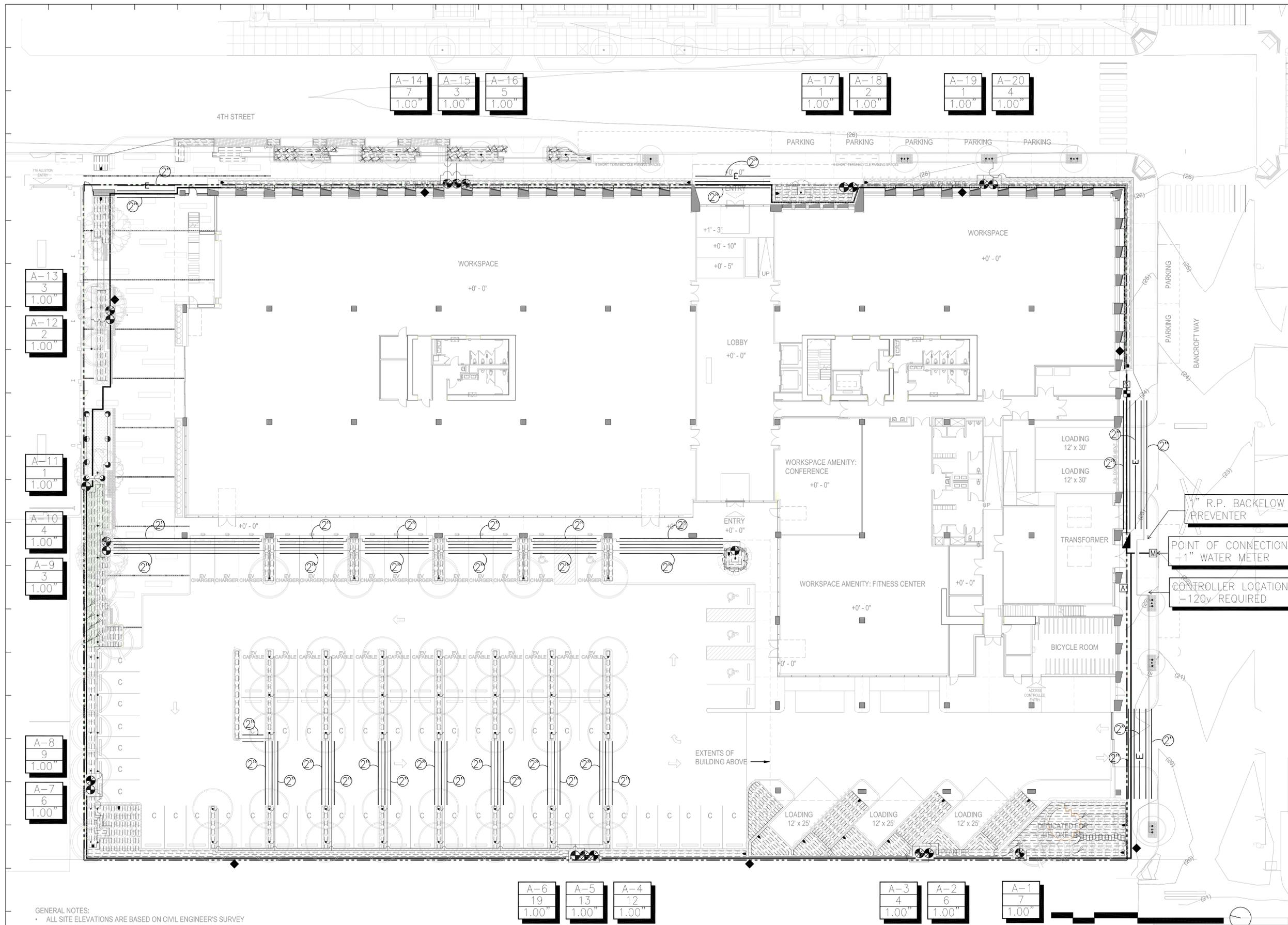
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Sheet Name:
IRRIGATION CONCEPT PLAN

Project No.:	220175	Sheet No.:	LP4.00.00
Drawn By:		Checked By:	
Scale:	1/16" = 1'-0"		



GENERAL NOTES:
 • ALL SITE ELEVATIONS ARE BASED ON CIVIL ENGINEER'S SURVEY

NOTES:
 1. SEE LEGEND ON SHEET LP1.00.00-LEGEND SCHEDULE
 2. FINAL IRRIGATION PLAN WILL BE IN FUTURE SUBMITTALS AND WILL BE PREPARED BY A CERTIFIED IRRIGATION DESIGNER.

IRRIGATION CONCEPT PLAN 01
 SCALE: 1/16" = 1'-0"

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PROJECT TEAM

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Sheet Name:

PRECEDENT
 IMAGES

Project No.:

220175

Drawn By:

Checked By:

Scale:

NTS

Sheet No.:

LP5.00.00



PLAZA TREE
 PACIFIC DOGWOOD
 CORNUS NUTTALLII



STREET TREE
 RED MAPLE
 ACER RUBRUM 'OCTOBER GLORY'



PARKING LOT TREE
 FRONTIER ELM
 ULMUS HYBRID 'FRONTIER'



PLAZA TREE
 JAPANESE MAPLE
 ACER JAPONICUM



STREET TREE
 RED MAPLE
 ACER RUBRUM 'OCTOBER GLORY'
 FALL COLOR



PARKING LOT TREE
 FRONTIER ELM
 ULMUS HYBRID 'FRONTIER'
 FALL COLOR



CAREX PANSA



LOMANDRA LONGIFOLIA 'BREEZE'



MUHLENBERGIA RIGENS



PENNISETUM ALOPECUROIDES



ARCTOSTAPHYLOS 'EMERALD CARPET'



CAREX TUMULICOLA



IRIS PACIFIC COAST HYBRID



LIGUSTRUM OVALIFOLIUM

747 BANCROFT

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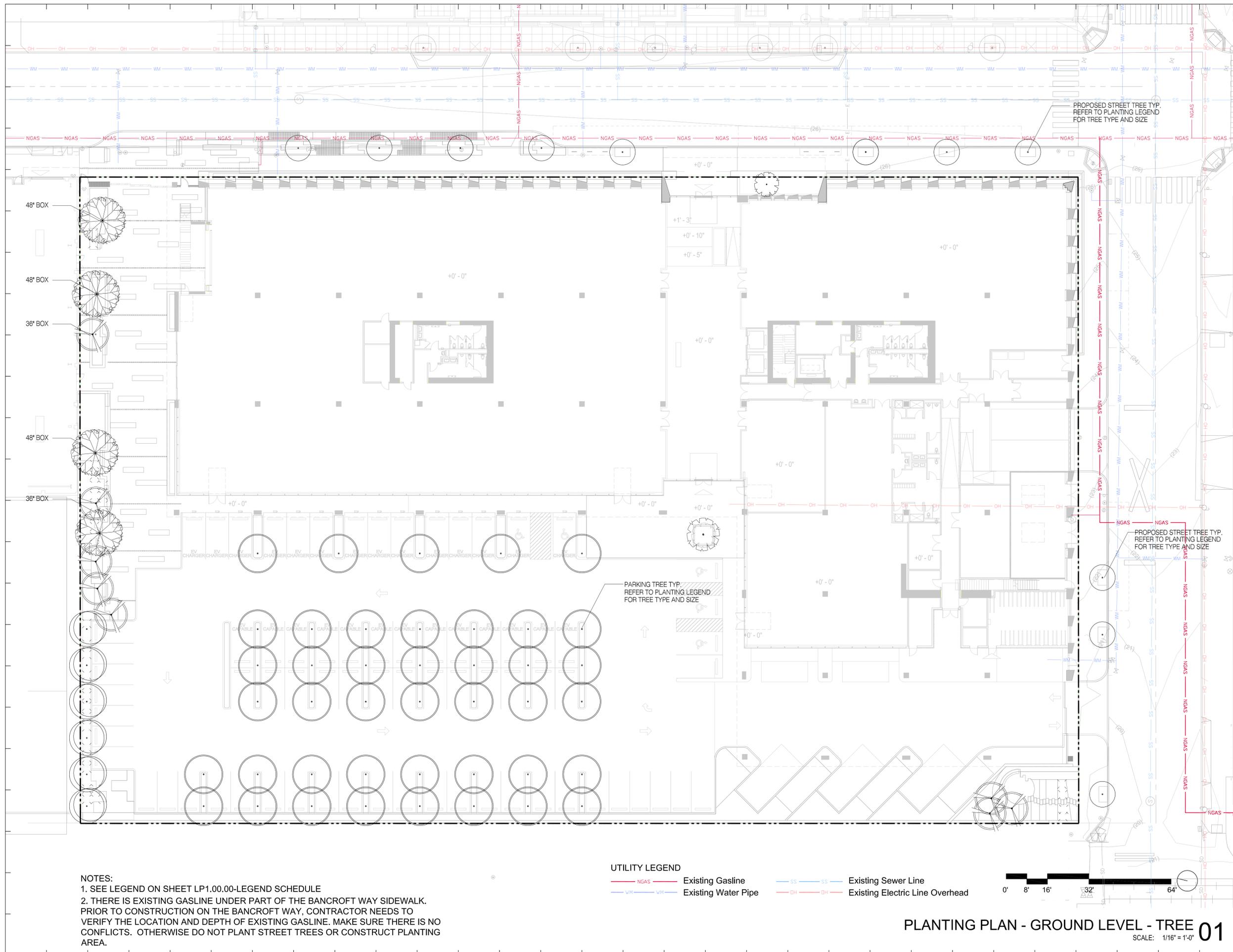
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Sheet Name:

PLANTING PLAN - GROUND LEVEL TREE

Project No.:	Sheet No.:
220175	
Drawn By:	
Checked By:	
Scale:	1/16" = 1'-0"
	LP5.01.00



NOTES:
1. SEE LEGEND ON SHEET LP1.00.00-LEGEND SCHEDULE
2. THERE IS EXISTING GASLINE UNDER PART OF THE BANCROFT WAY SIDEWALK. PRIOR TO CONSTRUCTION ON THE BANCROFT WAY, CONTRACTOR NEEDS TO VERIFY THE LOCATION AND DEPTH OF EXISTING GASLINE. MAKE SURE THERE IS NO CONFLICTS. OTHERWISE DO NOT PLANT STREET TREES OR CONSTRUCT PLANTING AREA.

UTILITY LEGEND

— NGAS — Existing Gasline	— SS — Existing Sewer Line
— WM — Existing Water Pipe	— OH — Existing Electric Line Overhead



PLANTING PLAN - GROUND LEVEL - TREE 01

SCALE: 1/16" = 1'-0"

747 BANCROFT

747 BANCROFT, BERKELEY, CALIFORNIA

OWNER



STEELWAVE
 101 CALIFORNIA STREET, SUITE 800
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PROJECT TEAM

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Key Plan:

Seal & Signature:

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Sheet Name:

PLANTING PLAN -
 GROUND LEVEL
 SHRUB

Project No.:

220175

Drawn By:

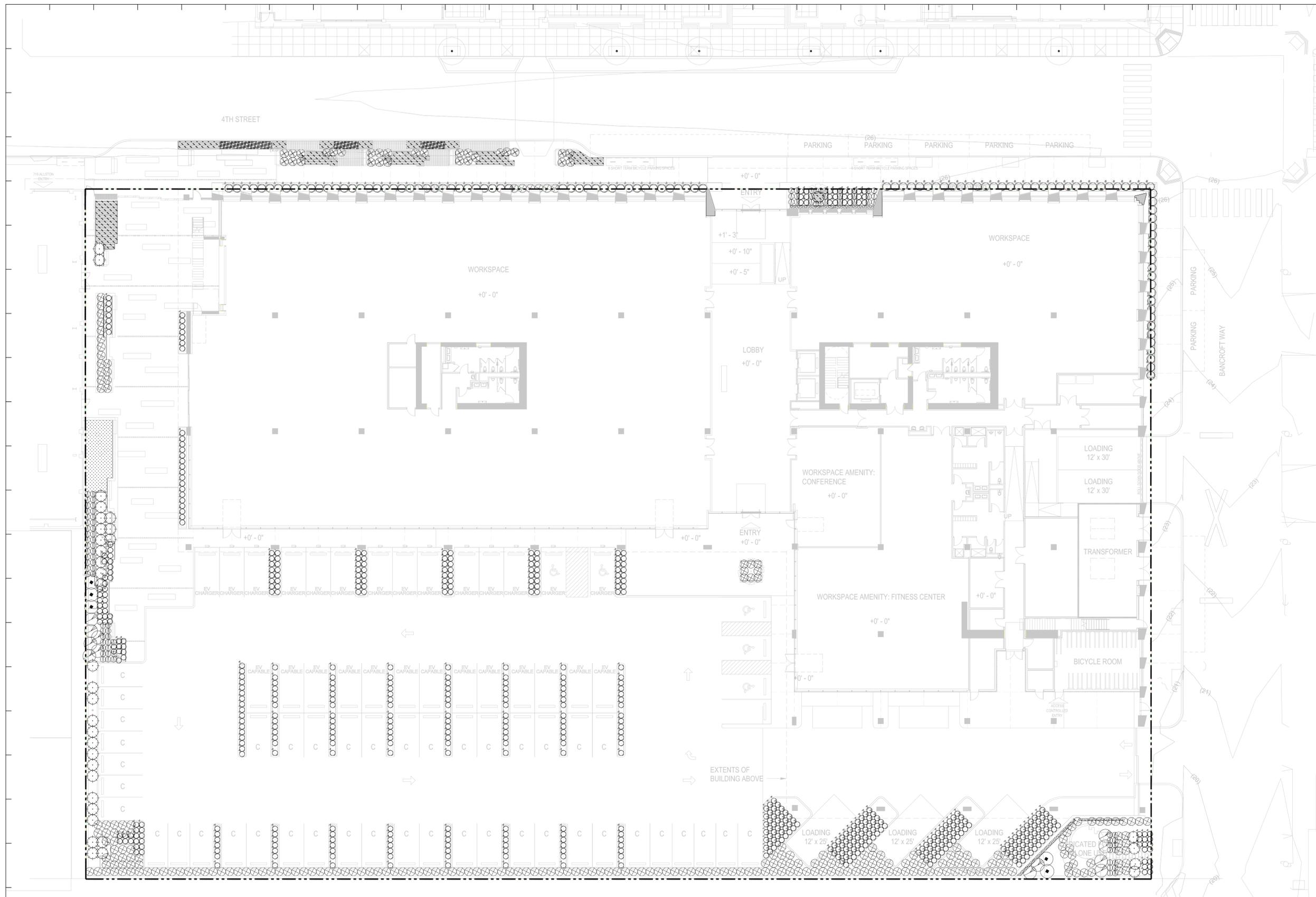
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Sheet No.:

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GENERAL NOTES:
 • ALL SITE ELEVATIONS ARE BASED ON CIVIL ENGINEER'S SURVEY

NOTES:
 1. SEE LEGEND ON SHEET LP1.00.00-LEGEND SCHEDULE

PLANTING PLAN - GROUND LEVEL - SHRUB 01
 SCALE: 1/16" = 1'-0"

747 BANCROFT

747 BANCROFT, BERKELEY, CALIFORNIA

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Key Plan:

Seal & Signature:

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Sheet Name:

SHADED PARKING
 COVERAGE PLAN

Project No.:

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Drawn By:

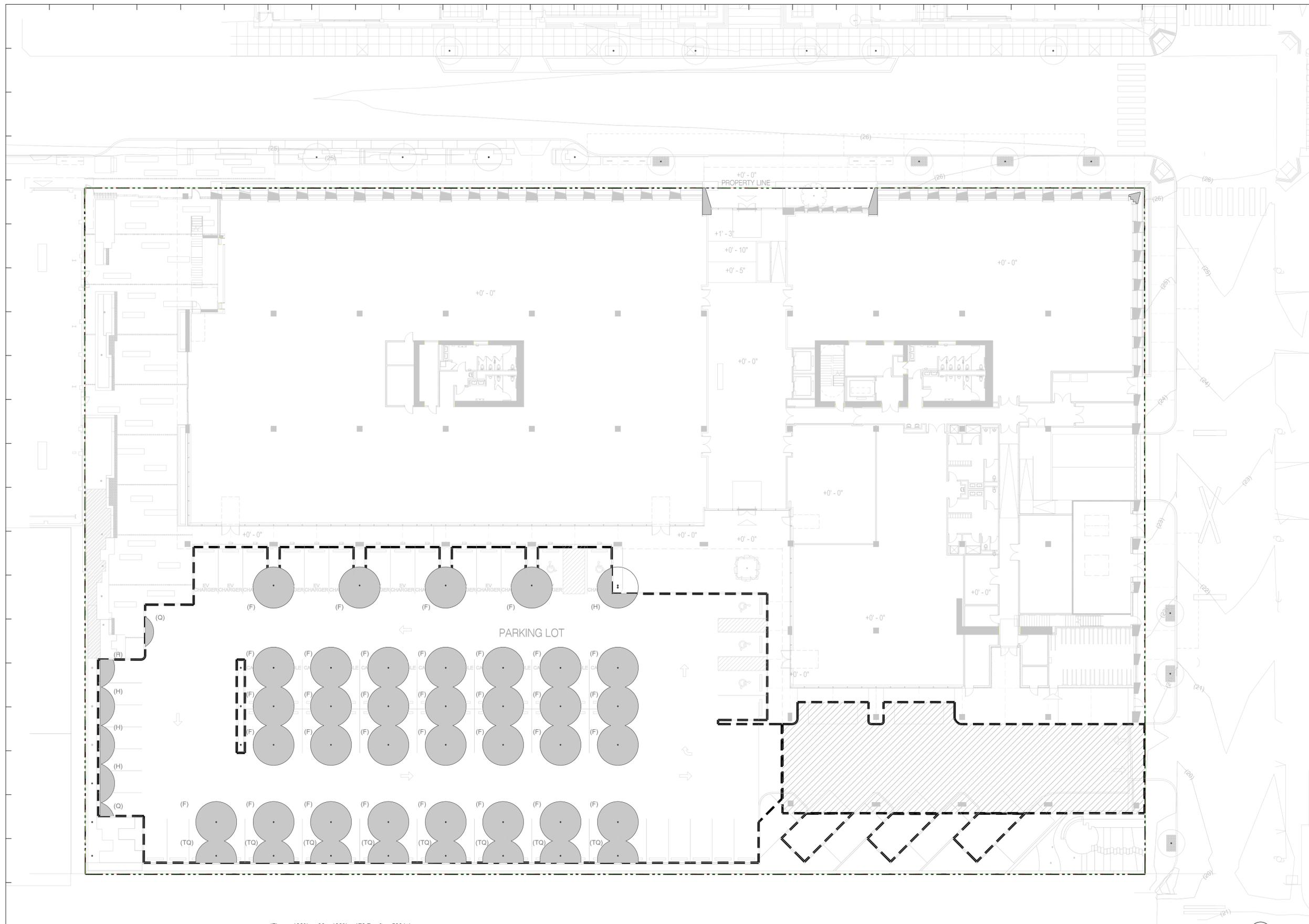
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Scale:

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Sheet No.:

LP5.03.00



TOTAL OPEN AIR PAVED PARKING AREA	25,082 S.F.	(F) 100% 33 x 100% x 176.7 sqft = 5831.1
TOTAL PARKING AREA SHADED BY TREE	7421.4 S.F.	(TQ) 75% 8 x 75% x 176.7 sqft = 1060.2
TREE CANOPY SHADED PERCENTAGE	29.5%	(H) 50% 5 x 50% x 176.7 sqft = 441.75
		(Q) 25% 2 x 25% x 176.7 sqft = 88.35
		TOTALS 7421.4 sqft

NOTES:
 1. SEE LEGEND ON SHEET LP1.00.00-LEGEND SCHEDULE
 2. BESIDES THE TREE CANOPY SHADED AREA, 4,326.0 S.F. OF PAVED SURFACE PARKING AND DRIVEWAY IS SHADED BY 787 BANCROFT.



SHADED PARKING COVERAGE PLAN 01

SCALE: 1/16" = 1'-0"

747 Bancroft Way

theLAB Berkeley, Phase III
2nd Design Review Committee Meeting | May 19, 2022



Steelwave | SOM

747 Bancroft | Berkeley, California

DRC Comment Summary

The project team found the initial Design Review Committee conversation insightful and constructive towards the improvement of the project. Our team has synthesized the committee's comments into architectural and landscape responses that directly address the committee's comments or address what we interpreted as their intent.

Design Committee's Comments from 2/17/2022 Meeting:

Neighborhood Context

- Recommend more character, more like Berkeley.
- Look at Phase I structures across Fourth Street that sit more solidly on the ground for inspiration.
- Some additional solid pieces could help break the scale down and fit better into the neighborhood.
- Phase I is so different, look at how this structure will work across the street from those structures.
- There is so much glazing and the repetition is monotonous. The frame is relentless; look at how you can bring more Berkeley scale and details into the design.
- Protect and respect the existing neighborhood.
- Consider relocating the parking garage (2213 Fourth) to the surface parking area adjacent to the railroad tracks.

Building Design

- Look at color, texture, and pattern opportunities; consider this at the entrance as well as other locations; design could be bolder.
- Design needs color, pattern, and texture; look at railings and panels as one way to add more interest and detail.
- Look at entrance canopy for inspiration and see if that can also work for corner balconies. Emphasize these features more.
- Ground floor feels low – look more closely at proportions.
- Expanse of glazing in the renderings make the structure feel 'too big'.
- Repetition on the ground floor looks good, but is too relentless on upper floors.
- Consider a floating roof, and stepped back vertical members.
- Look at mullion pattern on the 2nd and 3rd floors, as these are too relentless now.
- A strong grid is good, but special moments should play off of that.
- Material palette is too standard.
- Strongly recommend bird-safe glazing measures.
- Show how the security gate(s) will work.
- Look carefully at potential glare, for both day and night settings.

Landscape Plan

- Look at how people will want to stay and sit in the benches with the proposed streetscape improvements.
- North plaza looks like a pass-thru, not a space.
- A community space amenity near the north plaza would also be a nice, like the space proposed in Phase I.
- Recommend using as many native trees and as many native and/or wildlife supporting plants as possible; be careful with grasses that need to be cut back in the winter.
- Fourth street landscape pockets are good, but larger ones would be even better.
- Trees in the surface parking area look very close together – check this carefully.
- Recommend more variety in both the parking lot and street tree species and spacing.

Additional Concerns

- Do not use neonicotinoid pesticides
- Do not use plastic plants in planters
- Recommend all gender restroom

Project Team's Response:

- The material palette has been refined to relate to the Phase I development and unique character of the neighborhood. The ground floor proportions have been humanized by introducing planting.
- The entries and Terraces have been boldened to give project a stronger identity in the neighborhood.
- The project's concrete detailing has been refined to introduce texture, play of light and shadow.
- The glazing enclosure has been refined to add a layer of richness to repetitive elements.
- The West side of the building has been re-designed with Bird-Safe Glazing.
- The sidewalk has been widened to create small scale pocket parks available for public use. The design balances the need for both improving the public realm and addressing security and safety.
- More native and habitat forming species have been added with biodiversity in mind.
- Evergreen tree species were added, tree spacing was checked with specified tree box sizes.

Building Use

DRC Comments:

- Protect and respect the existing neighborhood

The use and scale of the building is appropriate for the neighborhood and will be a key part as the area evolves into a hub for Research and Development. The massing and scale of the building is designed to enhance the sidewalk and public way on 4th Street and Bancroft. The ground floor facade and material palette have been refined to better connect with both the Phase I development and wider neighborhood.



Length and Proportion

DRC Comments:

- Protect and respect the existing neighborhood
- Some additional solid pieces could help break the scale down and fit better into the neighborhood.

Long, block-length warehouses are common in West Berkeley and give the neighborhood its distinctive character. The building celebrates this building type while humanizing it through strategic changes in scale and landscaping.



747 Bancroft Way:
350' along 4th Street



Ciel Creative Space:
350' along 8th St



Vik's Chaat:
250' along Channing Way



The Lab Phase I:
250' along Bancroft Way

Relationship to Context

DRC Comments:

- Look at Phase I structures across Fourth Street that sit more solidly on the ground for inspiration.
- Phase I is so different; look at how this structure will work across the street from those structures.
- Material palette is too standard

The proposed building design provides a variety of scales and materials along the street frontage, while maintaining the existing industrial qualities of the neighborhood. A green metal material has been introduced at the corners that relates to the Phase I material palette and the character of the surrounding neighborhood.



Existing



Proposed Design

Relationship to Context

DRC Comments:

- Look at Phase I structures across Fourth Street that sit more solidly on the ground for inspiration.
- Phase I is so different; look at how this structure will work across the street from those structures.
- Material palette is too standard

The proposed building design provides a variety of scales and materials along the street frontage, while maintaining the existing industrial qualities of the neighborhood. A patinated copper inspired green metal has been introduced at the corners that relates to the Phase I material palette and the character of the surrounding neighborhood.



**747 Bancroft
East Elevation on 4th St**



board form concrete



dark gray metal



patinated green metal



glass



**Phase I & II
West Elevation on 4th St**



perforated metal



terra cotta



concrete



green accent

Relationship to Context

DRC Comments:

- Look at Phase I structures across Fourth Street that sit more solidly on the ground for inspiration.
- Phase I is so different; look at how this structure will work across the street from those structures.
- Material palette is too standard



Previous Design



Revised Design

The proposed building design provides a variety of scales and materials along the street frontage, while maintaining the existing industrial qualities of the neighborhood. A green metal material has been introduced at the corners that relates to the Phase I material palette and the character of the surrounding neighborhood.

Relationship to Context

DRC Comments:

- Look at Phase I structures across Fourth Street that sit more solidly on the ground for inspiration.
- Phase I is so different; look at how this structure will work across the street from those structures.
- Material palette is too standard



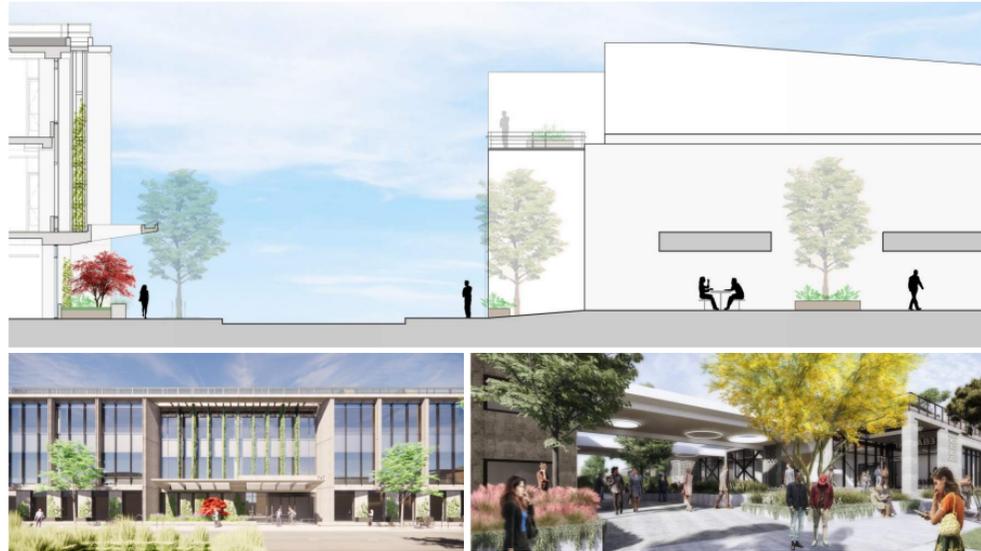
The proposed building design provides a variety of scales and materials along the street frontage, while maintaining the existing industrial qualities of the neighborhood. A green metal material has been introduced at the corners that relates to the Phase I material palette and the character of the surrounding neighborhood.

Relationship to Phase I

DRC Comments:

- Look at Phase I structures across Fourth Street that sit more solidly on the ground for inspiration.
- Phase I is so different; look at how this structure will work across the street from those structures.

747 Bancroft's entry is placed in relationship the primary open space of Phase I. The proportions of the triple height entry canopy and deeper sidewalk are complimentary of each other and together create a strong identity for the block.



Length and Proportion

DRC Comments:

- Ground floor feels low – look more closely at proportions.

747 Bancroft's longest facade along 4th street is broken down into smaller portions. The organizational structure of the facade on each level remains constant, aside from the entry and terrace, but taken together with the sidewalk landscape there is constant variation



A recessed 45' high entry way Interrupts repetition of structural frame



Widened sidewalk enlivens pedestrian experience with small scale planting and seating areas



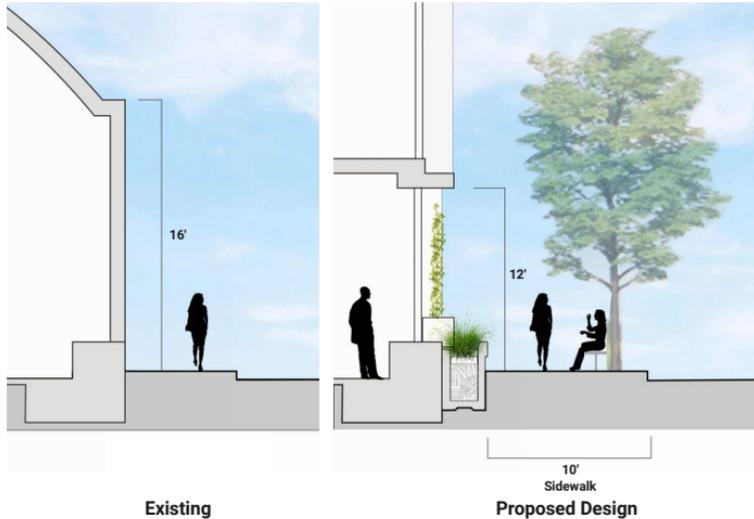
Terraces at ends of building open up the mass adjacent to neighboring buildings and open spaces

Overview of Ground Level Experience

DRC Comments:

- Ground floor feels low – look more closely at proportions.

747 Bancroft's longest facade along 4th street is broken down into smaller portions. The organizational structure of the facade on each level remains constant, aside from the entry and terrace, but taken together with the sidewalk landscape there is constant variation



Overview of Street Level Experience



Enhancing Prominent Building Features

DRC Comments:

- Look at color, texture, and pattern opportunities; consider this at the entrance as well as other locations; design could be bolder.
- Look at entrance canopy for inspiration and see if that can also work for corner balconies. Emphasize these features more.

The entries and Terraces have been enhanced with additional detail, materiality, and landscape elements to increase their distinctiveness within the context of the neighborhood.



Previous Design



Revised Design

Expanded Metal Trellis Panels

DRC Comments:

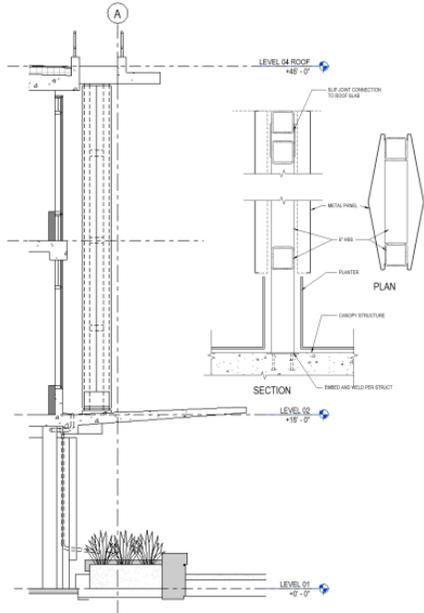
- Look at color, texture, and pattern opportunities; consider this at the entrance as well as other locations; design could be bolder.
- Look at entrance canopy for inspiration and see if that can also work for corner balconies. Emphasize these features more.



The entries and Terraces have been boldened to give project a stronger identity in the neighborhood.



Expanded Metal Trellis Panels



Expanded Metal Trellis Panels



before vines mature

mature vines

Adding Character

DRC Comments:

- Recommend more character, more like Berkeley.
- Design needs color, pattern, and texture; look at railings and panels as one way to add more interest and detail.
- Consider a floating roof; and stepped back vertical members.
- Repetition on the ground floor looks good, but is too relentless on upper floors.

Our project updates the existing warehouse building type that is the identity of the neighborhood into the contemporary economy. Based on the DRC comments we have introduced character and texture through the concrete structure by adding layers of functionality into the structure. The repetition of bays within a subset of the facade is reflective both of the flexible use of the building and the regular, industrial rhythm of Berkeley's historic manufacturing buildings.



Previous Design



Revised Design

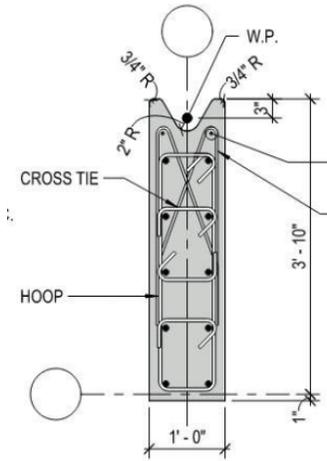
Industrial Fillgree

The repetition of the building is an expression of its functionality and flexibility. Our project updates the existing warehouse building type that is the identity of the neighborhood into the contemporary economy. Based on the DRC comments we have introduced character and texture through the concrete structure by adding layers of functionality into the structure:

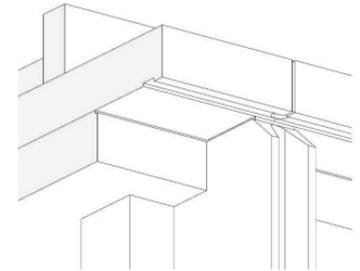
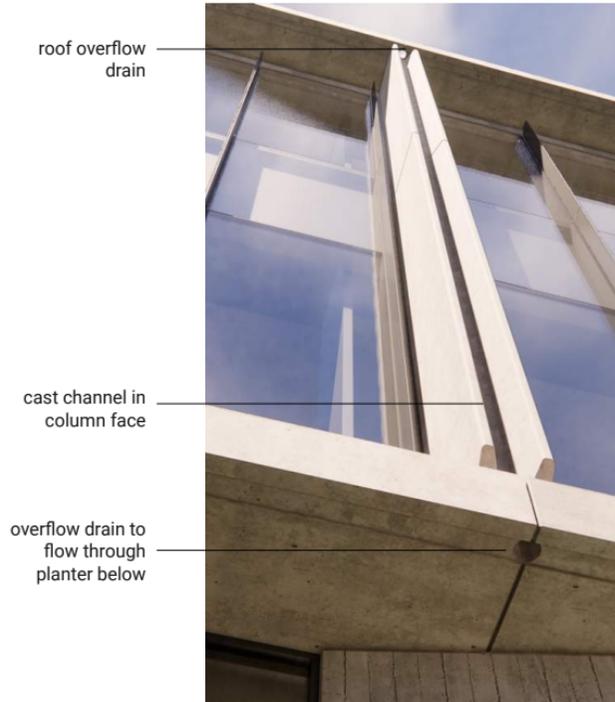
- Board form concrete has been added to the ground level columns.
- Planting boxes at the base of ground level columns for climbing vines.
- A rainwater overflow channel has been added to the level 2/3 columns.



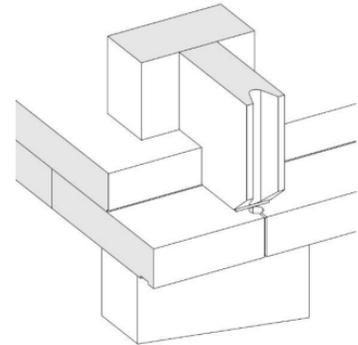
Formed Concrete Channel



typical column design

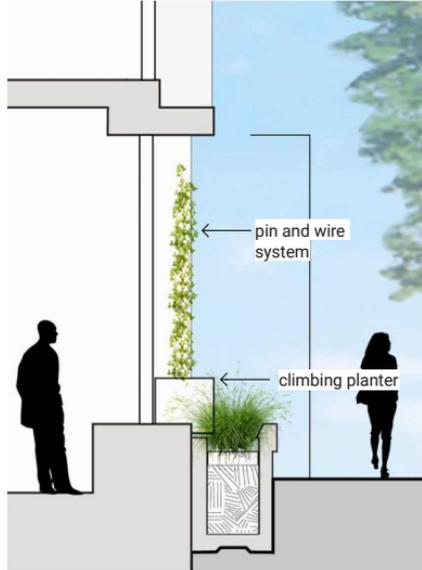


column at level 4 slab



column at level 2 slab

Board Form Concrete and Planters



Adding Richness to Glazing Elements

DRC Comments:

- There is so much glazing and the repetition is monotonous. The frame is relentless; look at how you can bring more Berkeley scale and details into the design.
- Expanse of glazing in the renderings make the structure feel 'too big'.
- Look at mullion pattern on the 2nd and 3rd floors, as these are too relentless now.
- A strong grid is good, but special moments should play off of that.

Our team explored a variety of ways to add richness to the glass portions of the facade. We decided that the best approach was to refine the existing details to be more unique and take on the qualities of the concrete columns. Extended mullion caps were added to give depth and dimension to the glazing.



Previous Design



Revised Design

Adding Richness to Glazing Elements



Option 1
Varied Mullion Spacing

adds variation to level 2 and 3 elevations
purely decorative



Option 2
Corrugated Metal Shadow Box

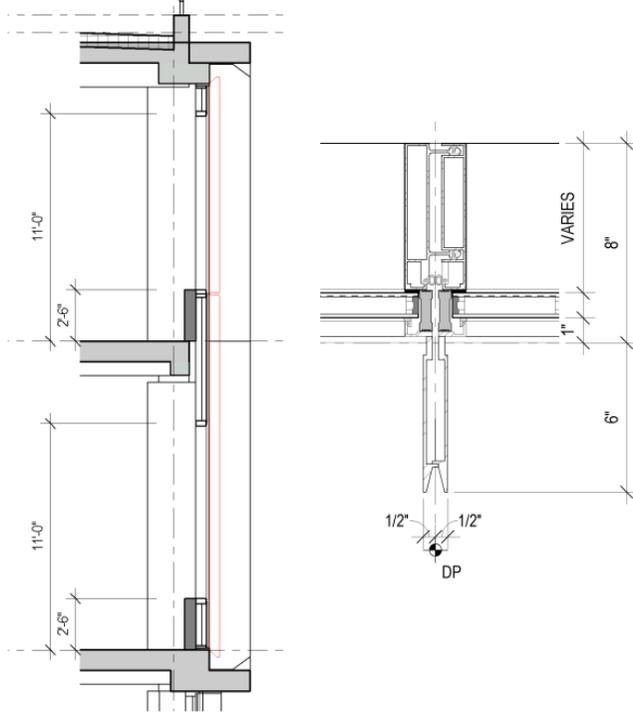
common material in neighborhood
very subtle visual effect



Option 3
Enhanced Mullion Profile

adds depth and shadow to curtain wall
works with interior space planning module

Enhanced Mullion Profile

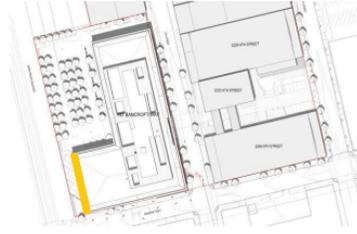


Safe Glazing for Berkeley's Birds

- Strongly recommend bird-safe glazing measures.

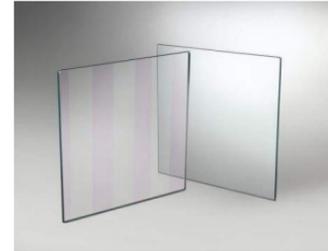


Project site distance from Aquatic Park



Bird Safe Glass Locations

Our team determined the most effective use of bird-safe glazing will be on the Western facing façade closest to the Aquatic Park. This façade faces the aquatic park and bay beyond which are part of the Pacific Flyway. The other façades facing the parking lot will use non-glazing measures to mitigate collisions. This façade has increased opacity from fins and metals panels, is set back from the site, and buffered by a tree canopy in a parking lot.



Guardian Bird 1st UV-Coated Glass



Black Phoebe



California Scrub Jay



Anna's Hummingbird



Overall Context Site Plan



Overall Site Plan

Places for People

Rich Native
Planting Species
Featured Greening

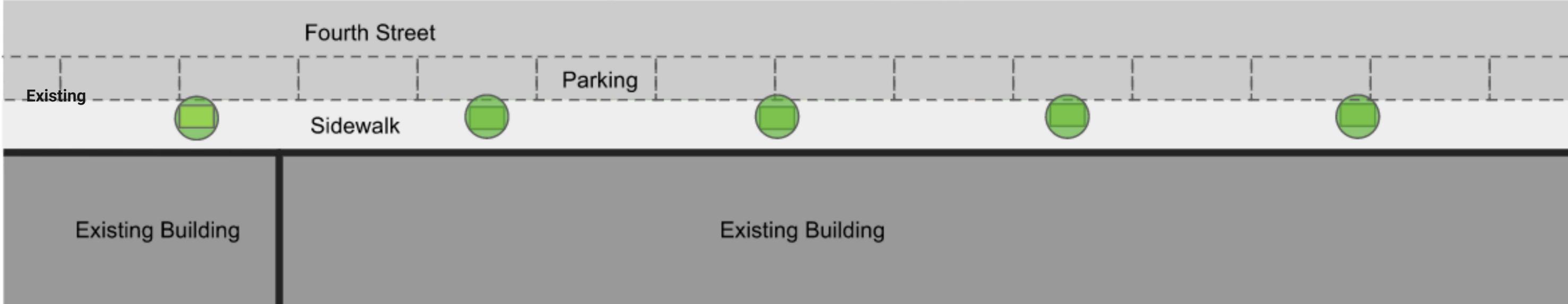
Cultural Heritage
Garden



Places for People

Existing 4th Street

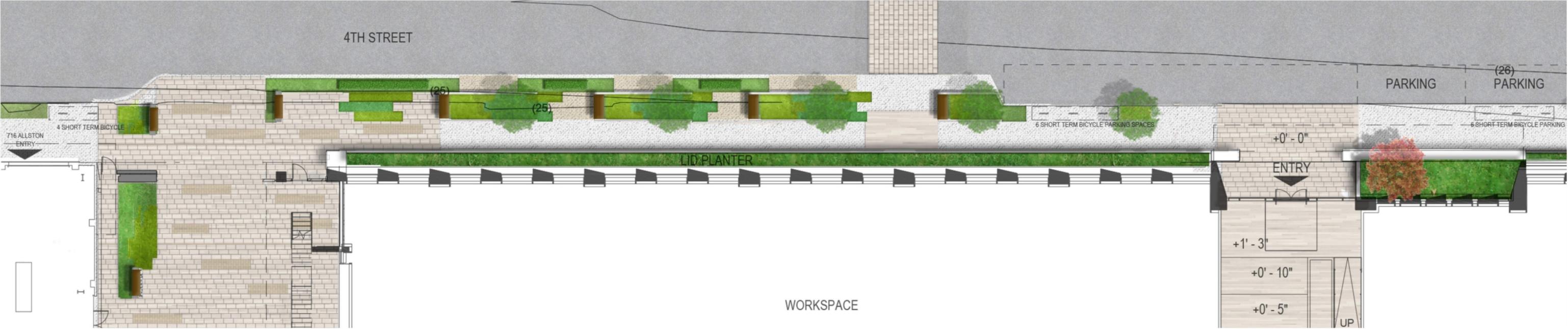
- Street parking, small street trees that are inconsistent species and sizes



Places for People

Proposed 4th Street Design - 30 LF of benches (6) on street

- Articulated streetscape pocket, seat walls to provide public realm diversity and amenity



Places for People



Proposed North Plaza 40 LF of Benches (7) and 75 LF of Garden Seat Wall

- Articulated soft/hardscape edges, planting heights, seat walls, lighting attempts to provide diversity and interest



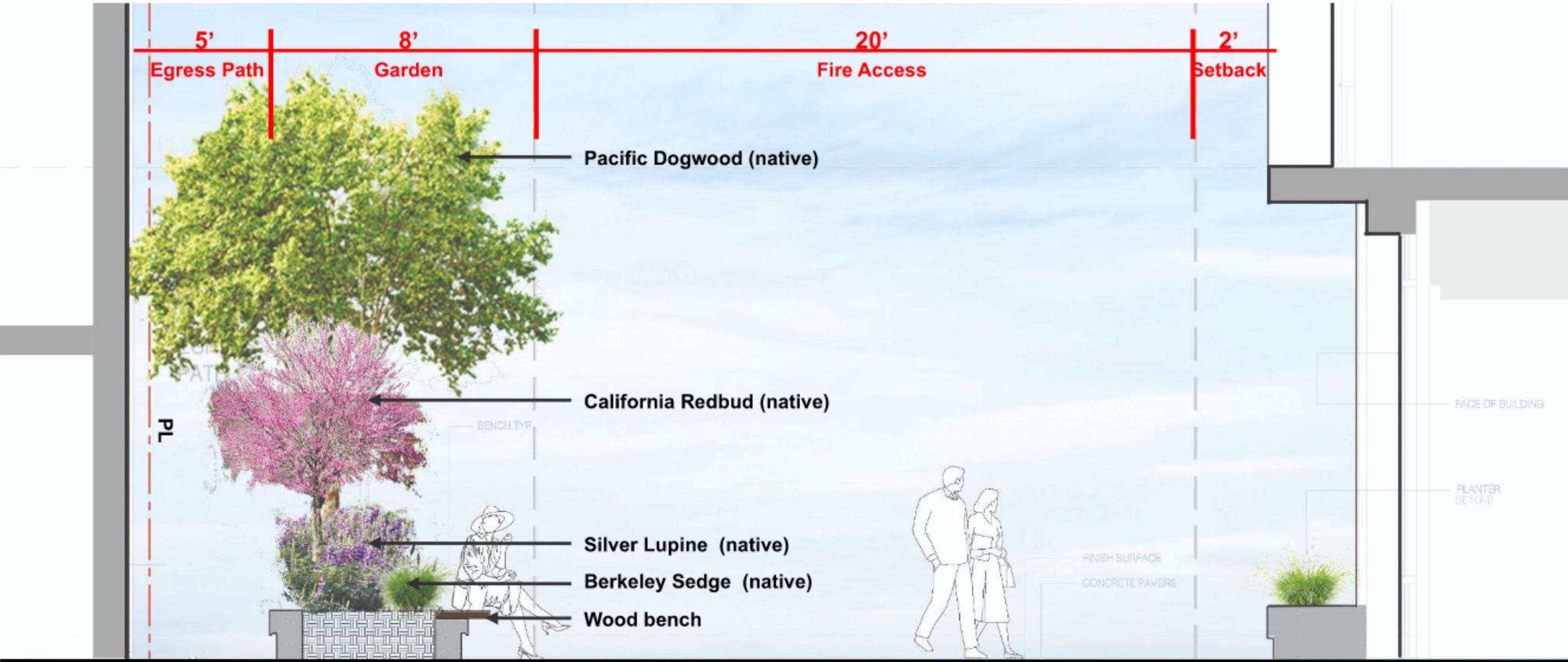
Places for People

Proposed North Plaza The Fire Lane / Staging

- Restricts non-paved options



Places for People



Rich Native Planting Species



NATIVE UNDERSTORY PLANTING AREA

94%

Zone	Area (sf)	Native Understory Area (sf)	Native Understory Percentage
Bulb out	643	367	57%
North Plaza	1110	1110	100%
Parking	4450	4450	100%
Flow through	814	814	100%
Entrance	229	229	100%
Street	147	-	-
Total	7393	6970	94%

Rich Native Planting Species



California Beach Dune



Carpet Manzanita



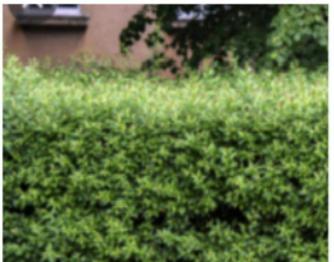
Red Fountain Grass 3-4ft



Berkeley Sedge 1-1.5ft



Douglas Iris 0.6 - 3ft



California Privet



Deer Grass 3ft



Silver Lupine 3.2 - 5ft



Bush Monkey Flowers 3.9 -5ft



Milkweed 4 - 6ft

- Native Plants
- Host Plants for endangered species
- Evergreen

Proposed Design



* 94% of total planting area covered with native plants

Rich Native Planting Species



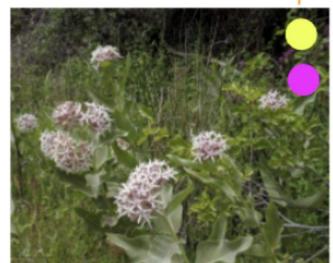
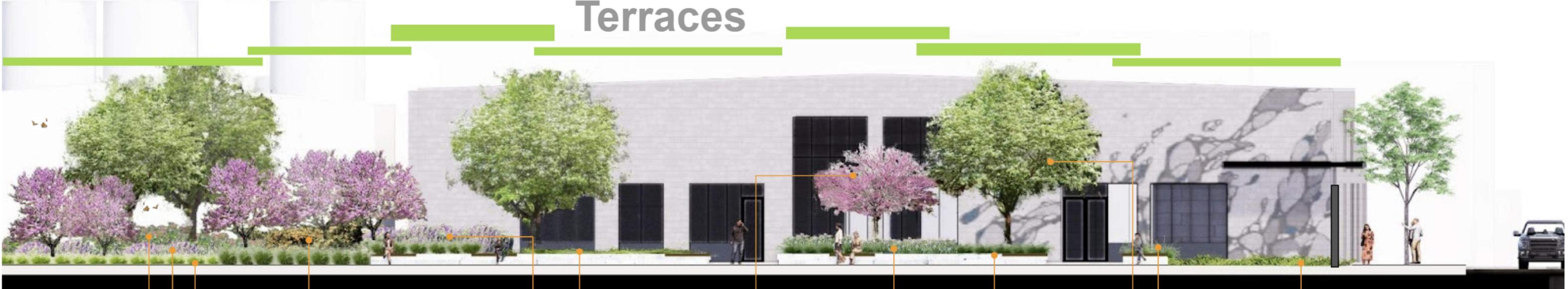
69 New trees

-  (8) Mixed california native tree
-  (6) Native Evergreen tree
-  (11) Street trees
(8 on Fourth Street + 3 on Bancroft Way)
-  (42) Parking Grove trees
-  (2) Featured tree

Note:
 Tree species recommended by the City of Berkeley Improvement Plan Tree List

Rich Native Planting Species

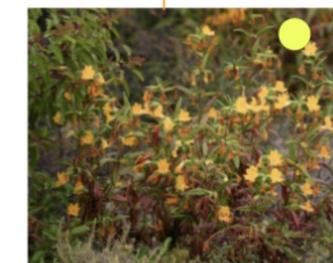
Terraces



Milkweed 4 - 6ft



Berkeley Sedge 1-1.5ft



Bush Monkey Flowers
3.9 -5ft



California Beach Dune



Douglas Iris 0.6 - 3ft



Berkeley Sedge 1-1.5ft



Deer Grass 3ft



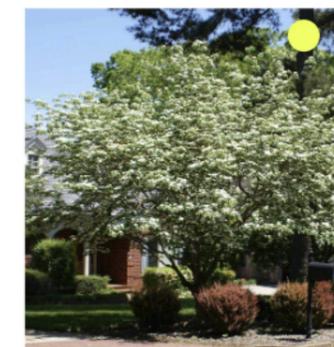
Carpet Manzanita



Silver Lupine 3.2 - 5ft



California Redbud
Cercis occidentalis



Pacific Dogwood
Cornus nuttallii

- Native Plants
- Host Plants for endangered species

747 Bancroft Landscape Design

Featured Greening

ENTRY CANOPY TRELLIS GREEN

Ficus pumila (Climbing fig)



STREET FACADE GREEN

- *Gaultheria shallon* (Salal) **California native**



ENTRY HANGING GREEN ALT

- *Trachelospermum asiaticum* (Asiatic Jasmine)



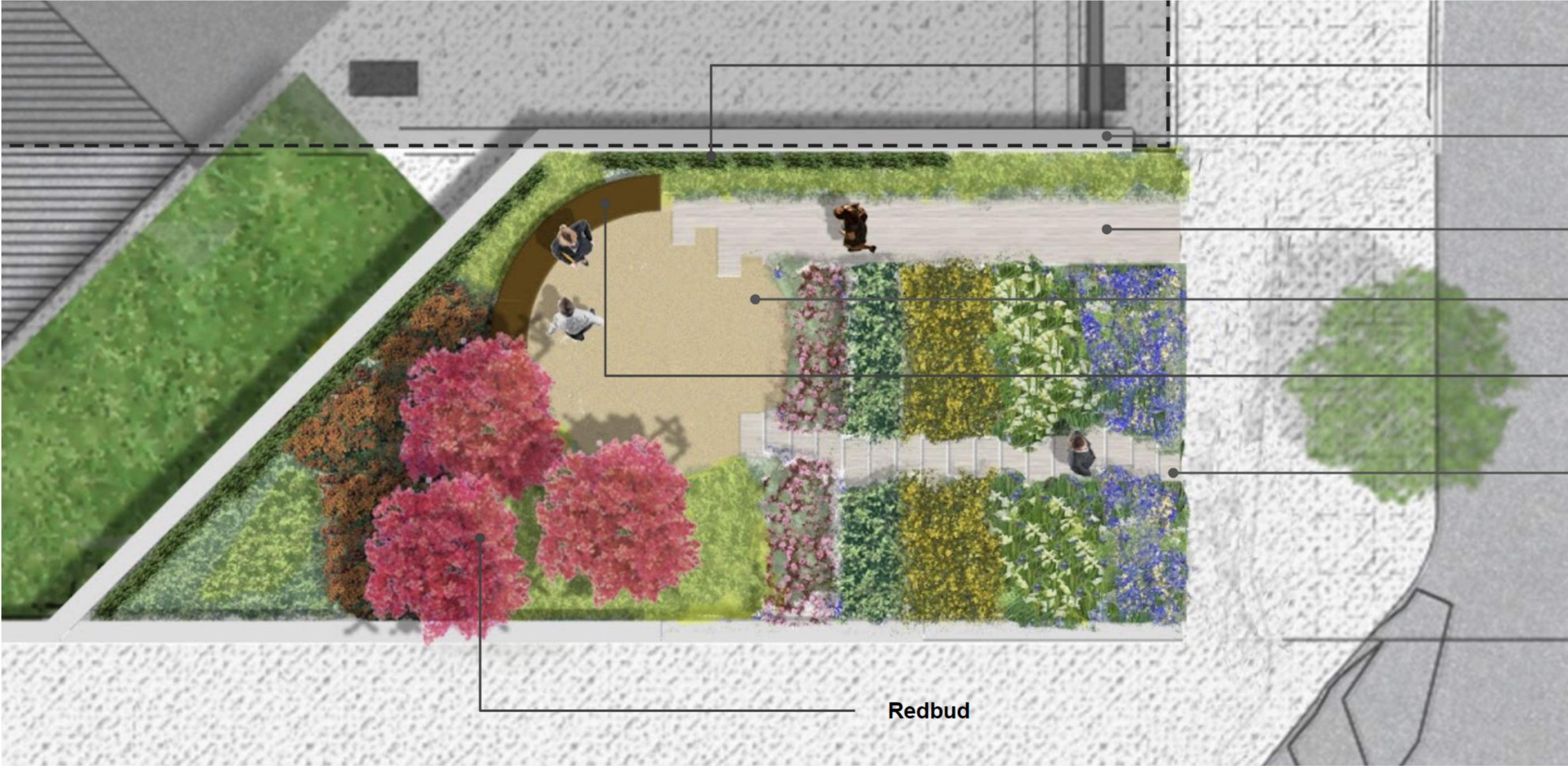
Featured Greening

Frontier Elm Parking Grove and Evergreen Trees



Ohlone Garden

Cultural and Historic Heritage Garden



Green Wall

Ohlone Signage Wall

Path
(Concrete Paver)

Circle Sanctuary
(DG)

Circular wood bench

Stepping Stones
(Concrete Paver)

Redbud





Design Review Committee - Comment Responses

May 19, 2022

747 Bancroft

Item	Reference	Response
Neighborhood Context		
1	Recommend more character, more like Berkeley.	.03 - 08, .17-18
		The use and scale of the building is a priority for the neighborhood and will be a key area for the area to evolve into a hub for Research and development. The massing and scale of the building is designed to enhance the sidewalk and public way on 4th Street and Bancroft. We've refined the ground floor facade and material palette to be more consistent with both the Phoebe development and wider neighborhood.
2	Look at Phoebe structure across 4th Street has more solidly on the ground for integration.	.06 - 09
		The proposed building design provides a variety of scale and material along the street frontage, while maintaining the existing industrial quality of the neighborhood.
3	Some additional solid piece could help break the scale down and fit better in the neighborhood.	.04 - 05
		Long, block-length warehouses are common in West Berkeley and give the neighborhood its distinctive character. The building celebrates this building type while humanizing it through strategic change in scale and landscaping.
4	Phoebe is too different; look at how this structure will work across the street from Phoebe structure.	.06
		The entry is placed in relation to the primary entrance of Phoebe. The proportion of the vertical height, canopy and deeper sidewalk are complementary of each other and together create a strong identity for the block.
5	There is too much glazing and the reflection is monotonous. The frame is relentless; look at how you can bring more Berkeley scale and detail into the design.	.11-18
		The long facade along 4th Street is broken down into smaller portions. The organizational structure of the facade on each level remains consistent, a side from the entry and terrace, but taken together with the sidewalk landscape here is consistent variation. The glazing enclosure has been refined to add a layer of richness to the exterior elements. The mullion profile has been elongated to provide enhanced shadow and depth. The entrance and Terrace have been boldened to give a stronger identity in the neighborhood.
6	Protect and respect the existing neighborhood.	.3-12
		See Response #1, #2, and #3.
7	Consider relocating the parking garage (2213 Fourth) to the surface parking area adjacent to the railroad track.	.32
		Surface parking allows for tree grove and better visibility. Parking garage is not in the scope of this project.
Building Design		
8	Look at color, texture, and material ornamentation; consider this as the entrance as well as other locations; design could be bolder.	p. 6-8, .13-14
		A green metal material has been introduced at the corner has relation to the Phoebe material palette and the character of the surrounding neighborhood. Planned vertical relief, climbing vine green wall, and roof ornamentation have been added to the main entry and elevation to project a bolder identity along the Fourth Street frontage. See Response #2 and #3.
9	Design needs color, material, and texture; look at railing and panel as one way to add more interest and detail.	.7-8
		See response # and #8
10	Look at entrance canopy for integration and see if it can also work for corner balcony. Emphasize the feature more.	.12-14
		See response # and #8
11	Ground floor feel low – look more closely at proportion.	.9-11
		The scale of the ground floor creates a pedestrian-scale frontage along the sidewalk. See response #

12	Expanse of glazing in the renderings make the structure feel 'too big'.	p. 17-23	Our team explored a variety of ways to add richness to the glass portions of the facade. We decided that the best approach was to refine the existing details to be more unique and take on the qualities of the concrete columns. Extended mullion caps were added to give depth and dimension to the glazing.
13	Repetition on the ground floor looks good, but is too relentless on upper floors.	10-17	The repetition of the building is an expression of its functionality and flexibility. Our project updates the existing warehouse building type that is the identity of the neighborhood into the contemporary economy. Based on the DRC comments we have introduced character and texture through the concrete structure by adding layers of functionality into the structure: a) Board form concrete has been added to the ground level columns. b) Planting boxes at the base of ground level columns for climbing vines, c) A rainwater overflow channel has been added to the level 2/3 columns
14	Consider a floating roof; and stepped back vertical members.	10-17	See responses #13
15	Look at mullion pattern on the 2nd and 3rd floors, as these are too relentless now.	p. 18 - 22	See responses #12
16	A strong grid is good, but special moments should play off of that.	p. 18 - 22	See responses #12
17	Material palette is too standard.	p. 6-8, p. 11-18	See Response #1, #5, and #8
18	Strongly recommend bird-safe glazing measures.	p. 24	Our team determined the most effective of bird- safe glazing will be on the Western facing facades on levels 2-3. These face the aquatic park and bay beyond which are part of the Pacific Flyway. The tree grove in the parking lot, opaque panels, and recessed glass will also decrease the risk of bird collisions.
19	Show how the security gate(s) will work.		See Architectural drawings
20	Look carefully at potential glare, for both day and night settings.	p. 17-22	Glazing and lighting has been designed in consideration of both users and the neighborhood
Landscape Plan			
21	Look at how people will want to stay and sit in the benches with the proposed streetscape improvements	p. 27 - 39	Articulated streetscape pocket, seat walls to provide public realm diversity and amenity. The sidewalk has been widened to create small scale pocket parks available for public use. The design team has balanced the need for both improving the public realm and addressing security and safety.
22	Fourth street landscape pockets are good, but larger ones would be even better	p. 27 - 39	
23	A community space amenity near the north plaza would also be a nice, like the space proposed in Phase I.	p. 27 - 39	
24	North plaza looks like a pass-thru, not a space.	p. 27 - 39	Despite of the 20 foot width fire staing area restriction on non-paved options, the north plaza accomodates plenty of seat walls, articulated soft/hardscpae edges, planting heights and lighting attempts to provide diversity and interest.
25	Recommend using as many native trees and as many native and/or wildlife supporting plants as possible; be careful with grasses that need to be cut back in the winter.	p. 27 - 39	More native and habitat forming species have been added with biodiversity in mind. The updated planting design has over 90% of native understory planting area. Also 69 new trees are planted including 100% native plant at the north plaza and featured frontier elm parking grove.
26	Recommend more variety in both the parking lot and street tree species and spacing.	p. 27 - 39	Evergreen tree species added at the northern edge of parking lot
27	Trees in the surface parking area look very close together – check this carefully.	p. 27 - 39	Tree spacing was checked with specified tree box sizes.

Additional Concerns		
28	Do not use neonicotinoid pesticides	NA Owner will ensure that future tenants follow agreement regulations.
29	Do not use plastic plants in planters	NA See response #28
30	Recommend all gender restroom	NA Although there is not an all-gender restroom, restrooms have been designed for accessibility and privacy