



Z O N I N G
A D J U S T M E N T S
B O A R D
S T A F F R E P O R T

FOR BOARD ACTION
MAY 26, 2022

906-908 Ensenada Avenue

Use Permit #ZP2022-0002 to combine two existing tenant spaces on the ground floor, 2,640 square feet in total, change the use of one space from retail, and establish a medical practitioner use.

I. Background

A. Land Use Designations:

- General Plan: NC – Neighborhood Commercial
- Zoning: C-SO – Solano Avenue Commercial

B. Zoning Permits Required:

- Use Permit, under BMC Section 23.204.020, to establish a medical practitioner office in the C-SO; and
- Administrative Use Permit, under BMC Section 23.204.030(C) to combine two tenant spaces on the ground floor.

C. CEQA Determination: It is staff's recommendation to ZAB that this project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15301 ("Existing Facilities") of the CEQA Guidelines. The determination is made by ZAB.

D. Parties Involved:

- Applicant: Siddharth Sanghvi, 480 Third Street, Oakland
- Property Owner: Alejandro and Daniel Balazs, 9 Caramel Avenue, El Cerrito

Figure 1: Vicinity Map

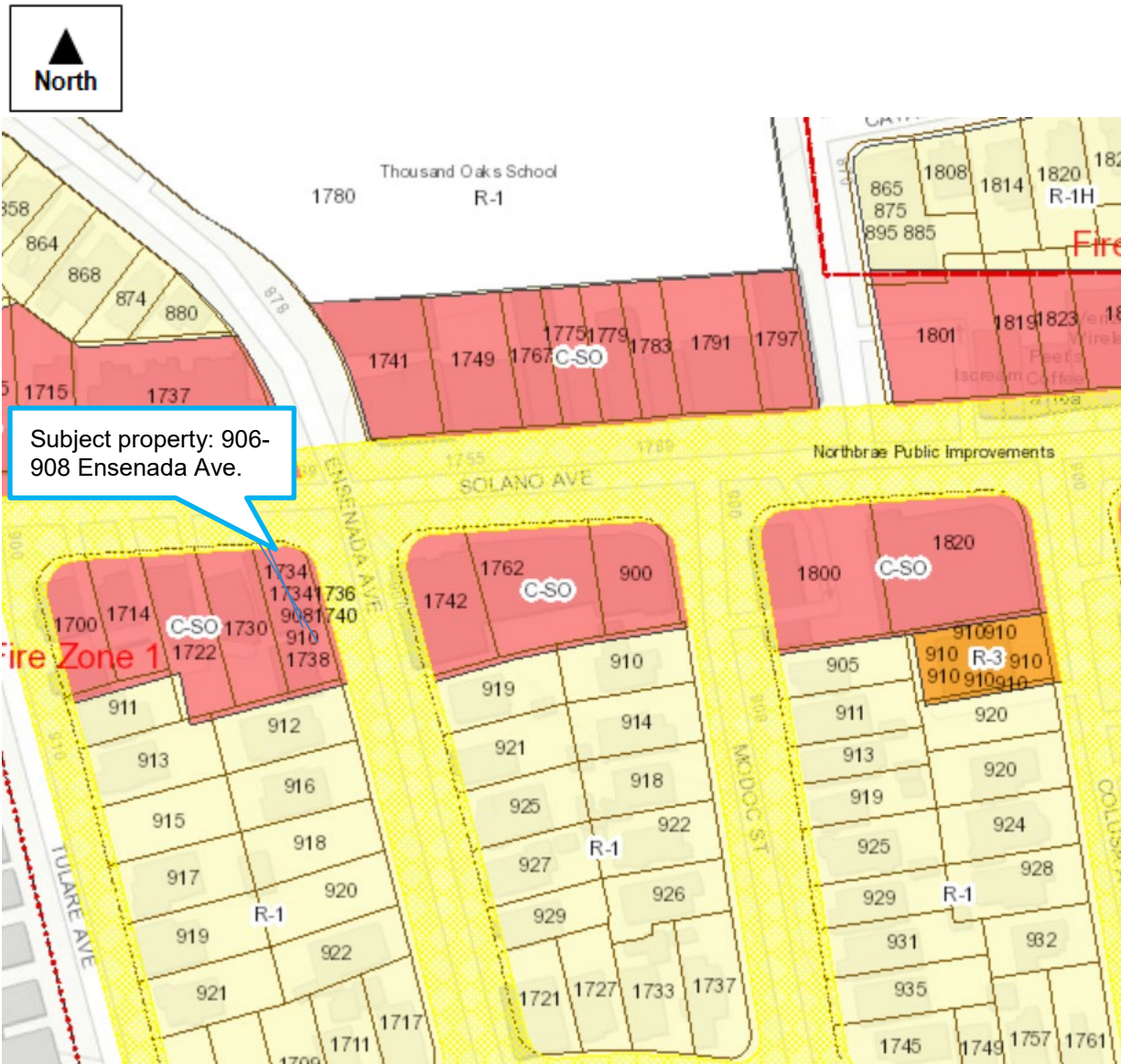


Figure 2: Site Plan

Table 1: Land Use Information

Location		Existing Use	Zoning District	General Plan Designation
Subject Property		Subject unit: An existing pediatric dentistry clinic	C-SO	Neighborhood Commercial
Surrounding Properties	North	Commercial: Hair Salon, Full Service Restaurant (Sweet Basil Thai), Esthetician salon.	C-SO	Neighborhood Commercial
	South	Residential	R-1	Low Density Residential
	East	East: Retail (Pharmaca)	C-SO	Neighborhood Commercial
	West	Residential	R-1	Low Density Residential

Table 2: Special Characteristics

Characteristic	Applies to Project?	Explanation
Affordable Child Care Fee for qualifying non-residential projects (Per Resolution 66,618-N.S.)	No	The applicant does not propose new nonresidential floor area, and thus this requirement does not apply.
Affordable Housing Fee for qualifying non-residential projects (Per Resolution 66,617-N.S.)	No	
Affordable Housing Mitigations for rental housing projects (Per BMC 22.20.065)	No	This project does not propose new dwelling units, and thus, this requirement does not apply.
Alcohol Sales/Service	No	No alcohol will be sold on the premises.
Creeks	No	No creek or culvert defined by BMC Chapter 17.08 exists on or near the site.
Density Bonus	N/A	The project is not a housing project.
Green Building Score	N/A	N/A
Historic Resources	No	The existing building is greater than 40 years old, but the project does not involve exterior changes.
Housing Accountability Act (Gov't Code Section 65589.5(j))	No	This project does not propose new dwelling units, and thus, this requirement does not apply.
Oak Trees	No	There are no Coast Live Oak trees at the project site.
Rent Controlled Units	N/A	N/A
Residential Preferred Parking (RPP)	No	The Residential Preferred Parking Program does not occur in this neighborhood.
Seismic Hazards (SHMA)	N/A	N/A
Soil/Groundwater Contamination	N/A	N/A
Transit	Yes	AC Transit bus lines run on Solano Avenue.

Table 3: Project Chronology

Date	Action
January 1, 2022	Application submitted
February 22, 2022	Application deemed complete
May 12, 2022	Public hearing notices mailed/posted
May 26, 2022	ZAB hearing

Table 4: Development Standards

Standard BMC Sections 23E.60.060-.080	Existing	Proposed	Permitted/ Required
Lot Area (sq. ft.)	2,700	No change	N/A
Tenant Space (sq. ft.)	2,460	No change	N/A
Hours of Operation	N/A	Monday- Friday 8 A.M. - 5 P.M. Saturday 8 A.M. - 2 P.M. Sundays Closed	7 A.M. – 11 P.M.
Parking	0	No change	N/A ¹

II. Project Setting

A. Neighborhood/Area Description: The project is located in North Berkeley, along the Solano commercial area. The immediate neighborhood contains one and two-story commercial buildings, with residential uses on the streets surrounding Solano Avenue. Solano Avenue features a variety of businesses, including restaurants, retail, medical offices, and salons.

B. Site Conditions: The project site is located on the southwest corner of Solano and Ensenada Avenues. There are two buildings on the site – one that faces Solano Avenue and the one that faces Ensenada Avenue. The project is located in the latter building. The subject property is located on a 2,700 square-foot lot and is 2,640 square feet in gross floor area, three stories, eight feet, ten inches in average and maximum

¹ Per BMC 23.322.020(C), in the Commercial Districts, off-street parking is required for a change in use only when the structure is expanded to include new floor area.

height. This building was damaged by a fire in 2019, and subsequently restored to previous dimensions under a separate building permit.

III. Project Description

The applicant proposes to combine the two ground-floor tenant spaces and establish a medical practitioner office use to provide pediatric dentistry services. The business would provide diagnostic dental services and orthodontic treatments for pediatric patients.

The two tenant spaces on the ground floor, 906-908 Ensenada Avenue, are currently established as general office and retail, where a dental practice has been in operation in the since 2001. The applicant is applying for this Use Permit to combine both spaces and establish them under a medical practitioner's use so the existing dental practice can be brought into conformance with current zoning.

The dental clinic will employ approximately six people in total and have six people per shift. Approximately two customers are expected to visit the business at one time, and the busiest time of day for business will be 3 P.M. to 5 P.M. There is no parking on the site. The business will be open 8 A.M. to 5 P.M. Monday through Friday, and 8 A.M. to 2 P.M. on Saturday, thus the dental clinic use will occur during the day and late afternoon.

Prior to the fire, there was one tenant space on the upper floor and two tenant spaces on the bottom floor. The tenant space on the top floor is currently established as a medical practitioner and is being used for an orthodontia practice. The last legally established uses for the tenant spaces located on the first floor was retail for 906 Ensenada Avenue and general office for 908 Ensenada Avenue.

This application will combine the two tenant spaces on the ground floor and establish the medical practitioner use at the site.

IV. Community Discussion

A. Neighbor/Community Concerns: Prior to submitting this application to the city, the applicant installed a pre-application poster. On May 12, 2022, the City mailed public hearing notices to property owners and occupants, and to interested neighborhood organizations, and the City posted notices within the neighborhood in three locations. At the time of this writing, staff has not received any communications regarding the project.

B. Committee review: As the project does not propose changes to the exterior of the building, this application does not require Design Review.

V. Issues and Analysis

- A. Medical Practitioner Office in the C-SO District:** Per BMC Section 23.204.120(E), to approve a Use Permit in the C-SO District, the Board must make a finding of non-detriment and the following: This section requires that a proposed use:
1. Encourage and maintain the character of the street frontage and pedestrian orientation of the District;
 2. Be compatible in design and character with the District and the adjacent residential neighborhood;
 3. Be compatible with the purposes set forth in this set of regulations and the existing character of Solano Avenue;
 4. Not interfere with the continuity of retail or compatible service facilities at the ground level, or interrupt a continuous wall of building facades; and
 5. Not generate traffic and parking demand to significantly increase impacts on adjacent residential neighborhoods.

Staff Analysis: Staff believes that the project would be consistent with the purposes of the district because the medical practitioner use is an appropriate neighborhood-serving commercial use. Because the use would be located in an existing building, there no changes to the character of the street frontage, and the subject property will continue to be compatible with the District. The Dental Clinic use is not expected to generate traffic or parking demand in excess of the commercial parking availability

The pediatric dentistry would be compatible in character with the District and adjacent residential neighborhood as there are other dental and medical providers nearby on Solano Avenue. The Solano Avenue Commercial District seeks to maintain a scale and balance of commercial activity on Solano Avenue that will enhance the surrounding neighborhood and serve its residents. This practice has three locations, and will largely serve residents of the immediate and surrounding neighborhood. The pediatric dental clinic is located in close proximity to an elementary school and can be of use to nearby residents. The use would not be out of scale with existing commercial activity along Solano Avenue. Furthermore, the use would not encourage late night commerce along Solano Avenue.

- B. Findings for an Administrative Use Permit to reconfigure tenant spaces in the C-SO District:** The proposed project would reduce the number of lease spaces at the site as two spaces along Ensenada Avenue will be combined. Specific findings are not required. There are no exterior changes proposed, and the existing two entrances will be retained. The change will create a larger commercial space appropriate for a medical practitioner. By maintaining the two exterior entries, the spaces could easily be converted back for future tenants.
- C. General Plan Consistency:** The 2002 General Plan contains several policies applicable to the project, including the following:
1. Policy LU-7– Neighborhood Quality of Life, Action A: Require that new development be consistent with zoning standards and compatible with the scale, historic character, and surrounding uses in the area.
 2. Policy LU-26– Neighborhood Commercial Areas, Action E: Maintain and

encourage a wide range of community and commercial services, including basic goods and services.

3. Policy ED-4– Neighborhood and Avenue Commercial Districts, Action A.1: Assist with the retention and development of existing businesses or attract new businesses that serve local neighborhood needs.

Staff Analysis: The project is consistent with the applicable zoning standards for the C-SO Zoning District. The medical practitioner use (dental clinic) is compatible with the surrounding buildings and uses, and would not interfere with the existing retail and compatible service uses. The pediatric dental clinic would stay viable, and will provide a beneficial service for area residents.

VI. Recommendation

Because of the project's consistency with the Zoning Ordinance and General Plan, and minimal impact on surrounding properties, staff recommends that the Zoning Adjustments Board: APPROVE Use Permit #ZP2022-0002 pursuant to Section 23.406.040(E) and subject to the attached Findings and Conditions (see Attachment 1).

Attachments:

1. Findings and Conditions
2. Project Plans, received January 18, 2022
3. Notice of Public Hearing

Staff Planner: Cecelia Mariscal, cmariscal@cityofberkeley.info, (510) 981-7439

ATTACHMENT 1

FINDINGS AND CONDITIONS

MAY 26, 2022

906-908 Ensenada Avenue

Use Permit #ZP2022-0002 to combine two existing tenant spaces on the ground floor, 2,640 square feet in total, change the use of one space from retail, and establish a medical practitioner use.

PERMITS REQUIRED

- Use Permit, under BMC Section 23.204.020, to establish a medical practitioner office in the C-SO; and
- Administrative Use Permit, under BMC Section 23.204.030(C) to combine two tenant spaces on the ground floor.

CEQA FINDINGS

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to CEQA Guidelines Section 15301 (“Existing Facilities”). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not affect any historical resource.
2. Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not affect any historical resource.

FINDINGS FOR APPROVAL

3. As required by BMC Section 23.406.040 (E), the project, under the circumstances of this particular case existing at the time at which the application is granted, would not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:
 - A. The purposes of the C-SO district are to implement the General Plan and maintain a scale and balance of commercial activity on Solano Avenue that will encourage the location of businesses that enhance the surrounding neighborhood and serve its residents. It also encourages the location of businesses on Solano that serve the

everyday needs of local residents and minimize traffic and parking problems for the adjacent residential areas.

- B. Medical practitioner is an allowed use in the C-SO with a Use Permit. If approved, establishing a medical practitioner use at 906-908 Ensenada Avenue would enhance the surrounding neighborhood by continuing to provide a business that serve its residents as well as surrounding neighborhoods. Since the pediatric dentistry was previously operating in this location, it would not interfere with the continuity of service facilities in the building. There is off-street parking and public transportation nearby which would minimize traffic and parking problems for the adjacent residential area.
- C. Combining these two tenant spaces and establishing them under a medical practitioner would legalize the current use and not be detrimental to health, peace, safety, or morals.

4. As required by BMC Section 23.204.120(E) (Permit Findings for C-SO), the project would:

- A. The project will be consistent with the purposes of the district because the medical practitioner use is an appropriate neighborhood-serving commercial use. The use will be located in an existing building since no changes are proposed that would alter the character of the street frontage, the subject property will continue to be compatible with the District.
- B. No physical changes to the building are proposed. Since no new floor area will be added, the building will maintain the character of the street frontage and pedestrian orientation of the district. Even though two tenant spaces will be combined, the existing exterior entries are being retained.
- C. No exterior changes are proposed. The subject property is three stories tall and has a gable roof. Height, bulk, and stylistic features of the building are similar to surrounding neighborhood properties; therefore, it is compatible in design and character with the district and the adjacent residential neighborhood.
- D. Medical offices are a permitted use in this district and the proposed tenant will provide services to clients within the immediate area as well as elsewhere in the City. Establishing a medical practitioner use will help restore activity in the tenant spaces lost temporarily to fire damage and contribute to the commercial activity in the C-SO and is therefore compatible with the purposes set forth in this set of regulations and the existing character of Solano Avenue.
- E. Medical practitioner is an appropriate neighborhood-serving commercial use and therefore compatible with the purpose of the C-SO District, surrounding building and uses because the project will be consistent with the purposes of the district, it will not interfere with the continuity of retail and service facilities.
- F. The Dental Clinic use is not expected to generate traffic or parking demand in excess of the commercial parking availability and would therefore not exceed the amount of and intensity of use that can be served by the available traffic capacity and potential parking

supply.

A. STANDARD CONDITIONS

The following conditions, as well as all other applicable provisions of the Berkeley Municipal Code, apply to this Permit:

1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Compliance Required (BMC Section 23.102.050)

All land uses and structures in Berkeley must comply with the Zoning Ordinance and all applicable City ordinances and regulations. Compliance with the Zoning Ordinance does not relieve an applicant from requirements to comply with other federal, state, and City regulations that also apply to the property.

3. Approval Limited to Proposed Project and Replacement of Existing Uses (BMC Sections 23.404.060.B.1 and 2)

- A. This Permit authorizes only the proposed project described in the application. In no way does an approval authorize other uses, structures or activities not included in the project description.
- B. When the City approves a new use that replaces an existing use, any prior approval of the existing use becomes null and void when permits for the new use are exercised (e.g., building permit or business license issued). To reestablish the previously existing use, an applicant must obtain all permits required by the Zoning Ordinance for the use.

4. Conformance to Approved Plans (BMC Section 23.404.060.B.4)

All work performed under an approved permit shall be in compliance with the approved plans and any conditions of approval.

5. Exercise and Expiration of Permits (BMC Section 23.404.060.C)

- A. A permit authorizing a land use is exercised when both a valid City business license is issued (if required) and the land use is established on the property.
- B. A permit authorizing construction is exercised when both a valid City building permit (if required) is issued and construction has lawfully begun.
- C. The Zoning Officer may declare a permit lapsed if it is not exercised within one year of its issuance, except if the applicant has applied for a building permit or has made a substantial good faith effort to obtain a building permit and begin construction. The Zoning Officer may declare a permit lapsed only after 14 days written notice to the applicant. A determination that a permit has lapsed may be appealed to the ZAB in accordance with Chapter 23.410 (Appeals and Certification).

D. A permit declared lapsed shall be void and of no further force and effect. To establish the use or structure authorized by the lapsed permit, an applicant must apply for and receive City approval of a new permit.

6. Permit Remains Effective for Vacant Property (BMC Section 23.404.060.D)

Once a Permit for a use is exercised and the use is established, the permit authorizing the use remains effective even if the property becomes vacant. The same use as allowed by the original permit may be re-established without obtaining a new permit, except as set forth in Standard Condition #5 above.

7. Permit Modifications (BMC Section 23.404.070)

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Board. The Zoning Officer may approve changes to plans approved by the Board, consistent with the Board's policy adopted on May 24, 1978, which reduce the size of the project.

8. Permit Revocation (BMC Section 23.404.080)

The City may revoke or modify a discretionary permit for completed projects due to: 1) violations of permit requirements; 2) Changes to the approved project; and/or 3) Vacancy for one year or more. However, no lawful residential use can lapse, regardless of the length of time of the vacancy. Proceedings to revoke or modify a permit may be initiated by the Zoning Officer, Zoning Adjustments Board (ZAB), or City Council referral.

9. Indemnification Agreement

The applicant shall hold harmless, defend, and indemnify the City of Berkeley and its officers, agents, and employees against any and all liability, damages, claims, demands, judgments or other losses (including without limitation, attorney's fees, expert witness and consultant fees and other litigation expenses), referendum or initiative relating to, resulting from or caused by, or alleged to have resulted from, or caused by, any action or approval associated with the project. The indemnity includes without limitation, any legal or administrative challenge, referendum or initiative filed or prosecuted to overturn, set aside, stay or otherwise rescind any or all approvals granted in connection with the Project, any environmental determination made for the project and granting any permit issued in accordance with the project. This indemnity includes, without limitation, payment of all direct and indirect costs associated with any action specified herein. Direct and indirect costs shall include, without limitation, any attorney's fees, expert witness and consultant fees, court costs, and other litigation fees. City shall have the right to select counsel to represent the City at Applicant's expense in the defense of any action specified in this condition of approval. City shall take reasonable steps to promptly notify the Applicant of any claim, demand, or legal actions that may create a claim for indemnification under these conditions of approval.

ADDITIONAL CONDITIONS IMPOSED BY THE ZONING OFFICER

Pursuant to BMC Section 23.406.030.H.2, the Zoning Officer attaches the following additional conditions to this Permit:

Prior to Submittal of Any Building Permit:

10. Project Liaison. The applicant shall include in all building permit plans and post onsite the name and telephone number of an individual empowered to manage construction-related complaints generated from the project. The individual’s name, telephone number, and responsibility for the project shall be posted at the project site for the duration of the project in a location easily visible to the public. The individual shall record all complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis. **Please designate the name of this individual below:**

Project Liaison

_____ Name

_____ Phone #

- 11. The applicant shall file an “Address Assignment Request Application” with the Permit Service Center (1947 Center Street) for any address change or new address associated with this Use Permit. The new address(es) shall be assigned prior to issuance of a building permit.
- 12. submitted to the City for review and approval.

Prior to Issuance of Occupancy Permit or Final Inspection:

- 13. All construction at the subject property shall substantially conform to the approved Use Permit drawings or to modifications approved by the Zoning Officer.
- 14. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated December 9, 2021.

At All Times (Operation):

- 15. All exterior lighting shall be energy efficient where feasible; and shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
- 16. Noise and exterior lighting shall be controlled so as to prevent verified complaints from the surrounding neighborhood. This shall include noise created by employees working on the premises before or after patrons arrive.
- 17. Drainage Patterns. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.
- 18. Electrical Meter. Only one electrical meter fixture may be installed per dwelling unit.
- 19. This permit is subject to review, imposition of additional conditions, or revocation if factual complaint is received by the Zoning Officer that the maintenance or operation of this establishment is violating any of these or other required conditions or is detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the neighborhood or is detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.

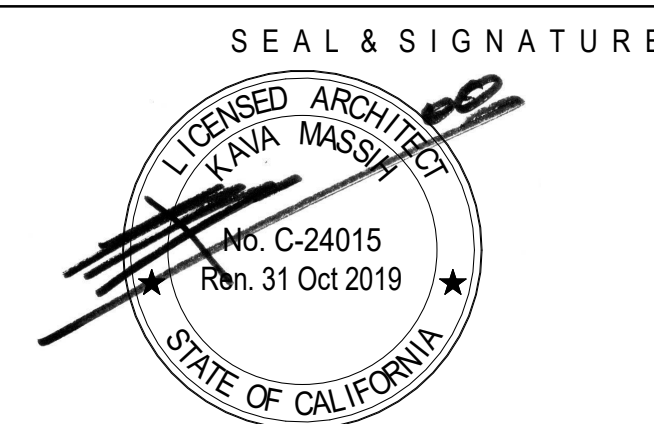
- 20. Transit Subsidy.** The business operator shall reimburse employees the maximum non-taxable cost of commuting to and from work on public transportation (e.g., monthly passes) if they so commute, and a notice informing employees of the availability of such subsidy shall be permanently displayed in the employee area.



Prepared by: Cecelia Mariscal, Assistant Planner
For Samantha Updegrave, Zoning Officer



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AGENCY APPROVAL

910 Ensenada

906 ENSENADA SHELL ONLY

910 Ensenada Avenue

REVISIONS
PERMIT SUBMITTAL AUGUST 05, 2020

DRAWING TITLE

TITLE SHEET, PROJECT INFO, NOTES & SYMBOLS

PROJECT NUMBER 2005
DATE AUGUST 05, 2020
DRAWN BY EK
CHECKED BY KM, MS
SCALE As indicated
SHEET

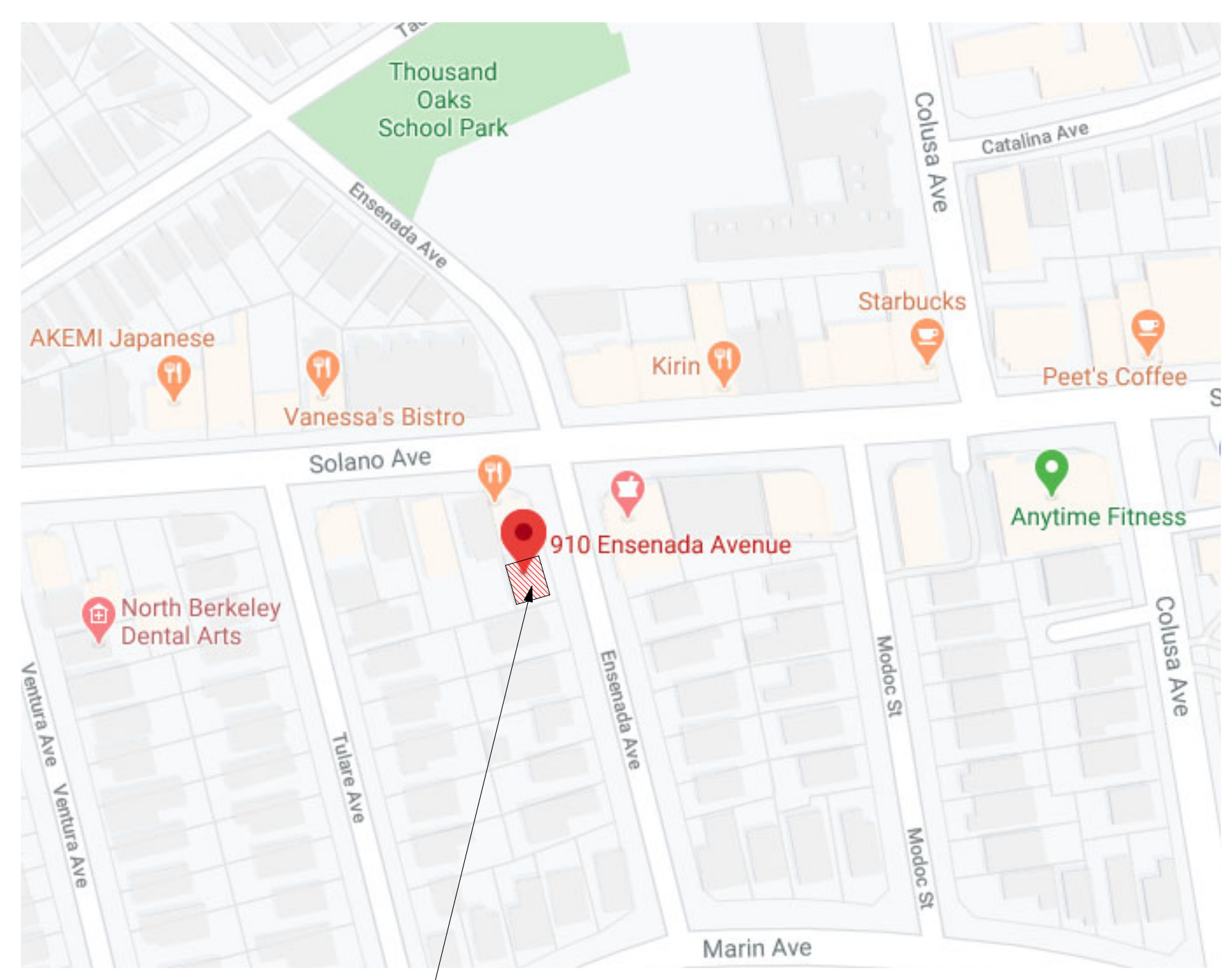
A0.0

DRAWING INDEX

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- ARCHITECTURAL
- A0.0 TITLE SHEET, PROJECT INFO, NOTES & SYMBOLS
 - A0.1 POLLUTION PREVENTION PLAN
 - A0.3 SURVEY
 - A0.4 SITE PHOTOS
 - A1.0 EXISTING SITE PLAN
 - A1.1 EXISTING/ DEMOLITION FLOOR PLANS
 - A1.2 EXISTING BUILDING ELEVATIONS
 - A1.3 EXISTING SECTIONS
 - A2.1 PROPOSED FIRST FLOOR PLAN
 - A2.2 PROPOSED SECOND FLOOR PLAN
 - A2.3 PROPOSED ATTIC FLOOR PLAN
 - A3.1 PROPOSED NORTH AND EAST ELEVATIONS
 - A3.2 PROPOSED SOUTH AND WEST ELEVATIONS
 - A3.3 PROPOSED SECTIONS
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 - A5.1 INTERIOR ELEVATIONS
 - A5.2 INTERIOR ELEVATIONS
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 - A6.2 SECOND FLOOR REFLECTED CEILING PLAN
 - A7.1 STAIR DETAILS
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 - S2.3 HIGH ROOF PLAN
 - S3.0 SECTIONS AND DETAILS

VICINITY MAP



LOCATION OF PROJECT

GENERAL NOTES

ABBREVIATIONS

&	AND	F.O.C.	FACE OF CONCRETE	QTY.	QUANTITY
@	ANGLE	F.O.F.	FACE OF FINISH	R	RECYCLE
#	AT	F.O.S.	FACE OF STUD	RAD.	RADIUS
ACOUS.	ACOUSTIC	F.R.	FIRE RATED	R.W.L.	RAIN WATER LEADER
A.D.A.	AMERICANS WITH DISABILITIES ACT	F.S.	FLOOR SINK	R.C.P.	REFLECTED CEILING PLAN
A.F.F.	ABOVE FINISH FLOOR	FT.	FOOT OR FEET	R.D.	ROOF DRAIN
AL.T.	ALTERNATE	FTG.	FOOTING	REFR.	REFRIGERATOR
APPROX.	APPROXIMATE	GA.	GAUGE	REINF.	REINFORCED
ARCH.	ARCHITECT(URAL)	GALV.	GALVANIZED	REQD.	REQUIRED
BD.	BOARD	G.B.	GRAB BAR	RESIL.	RESILIENT
BLDG.	BUILDING	GL.	GLAZING	RM.	ROOM
BLK.	BLOCK	GRD.	GROUND	R.H.	ROBE HOOK
BLKG.	BLOCKING	GND.	GRADE	R.T.U.	ROOF TOP UNIT
BM.	BEAM	GR.	GRADE	R.W.L.	RAIN WATER LEADER
B.O.	BOTTOM OF	G.S.M.	GALVANIZED SHEET METAL	S.	SOUTH OR SINK
B.P.	BACKING PLATE	GYP.BD.	GYP SUM BOARD	S.A.S.M.	SELF-APPLIED SHEET MEMBRANE
CAB.	CABINET	HDWD.	HARDWOOD	S.C.D.	SEE CIVIL DRAWINGS
C.B.C.	CALIFORNIA BUILDING CODE	Hdg	HOLLOW METAL	SCHED.	SCHEDULE
C.G.	CORNER GUARD	H.M.	HOLD OPEN	S.C.W.	SOLID CORE WOOD
CLG.	CEILING	H.O.	HOLD OPEN	S.D.	SOAP DISPENSER
CLR.	CLEAR	HORIZ.	HORIZONTAL	S.E.D.	SEE ELECTRICAL DRAWINGS
CONTR.	COUNTER	HR.	HOUR	S.F.	SQUARE FEET
COL.	COLUMN	H.P.	HIGH POINT	S.F.S.D.	SEE FOOD SERVICE DRAWINGS
CONC.	CONCRETE	HT.	HEIGHT	S.G.	SPANDREL GLAZING
CONN.	CONNECTION	H.W.	HOT WATER	SIM.	SIMILAR
CONST.	CONSTRUCTION	I.D.	INSIDE DIAMETER/ DIMENSION	SK.	SINK
CONT.	CONTINUOUS	LAV.	LAVATORY	S.M.	SHEET METAL
CTR.	CENTER	L.P.	LOW POINT	S.M.S.	SHEET METAL SCREW
C.W.	COLD WATER	MAX.	MAXIMUM	S.M.D.	SEE MECHANICAL DRAWINGS
DBL.	DOUBLE	M.C.	MEDICINE CABINET	S.N.D.	SANITARY NAPKIN DISPENSER
DTL.	DETAIL	MECH.	MECHANICAL	S.N.R.	SANITARY NAPKIN RECEPTACLE
DIA.	DIAMETER	M.F.P.	MULTI-FUNCTION PRINTER	S.P.D.	SEE PLUMBING DRAWINGS
DIM.	DIMENSION	MFR.	MANUFACTURER	SPEC.	SPECIFICATIONS
DISP.	DISPENSER	MIN.	MINIMUM	SQ.	SQUARE
DN.	DOWN	MIR.	MIRROR	S.S.D.	SEE STRUCTURAL DRAWINGS
DR.	DOOR	MISC.	MISCELLANEOUS	STN.	STAIN
DWG.	DRAWING	MTL.	METAL	S.STL.	STAINLESS STEEL
DWR.	DRAWER	N.	NORTH	STA.	STATION
E	EAST	(N)	NEW	STD.	STANDARD
(E)	EXISTING	N.I.C.	NOT IN CONTRACT	STL.	STEEL
EA.	EACH	NO.	NUMBER	STOR.	STORAGE
E.B.	EXPANSION BOLT	NOM.	NOMINAL	STR.	STRUCTURAL
E.F.	EXHAUSE FAN	N.T.S.	NOT TO SCALE	S.T.S.	SELF TAPPING SCREW
EL.	ELEVATION	O.C.	ON CENTER	SYM.	SYMMETRICAL
ELEC.	ELECTRICAL	O.D.	OUTSIDE DIAMETER / DIMENSION	T.	TOILET
ELEV.	ELEVATOR	O.F.D.	OVERFLOW DRAIN	T.O.	TOP OF
E.P.	ELECTRICAL PANELBOARD	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED	T.O.W.	TOP OF WALL
EQ.	EQUAL	O.F.O.I.	OWNER FURNISHED, OWNER INSTALLED	T.P.H.	TOILET PAPER HOLDER
E.R.V.	ENERGY RECOVERY VENTS	OPNG.	OPENING	TR	TRASH
EXP.	EXPANSION	OPP.	OPPOSITE	TYP.	TYPICAL
EXT.	EXTERIOR	P.	PRINTER	U.N.O.	UNLESS NOTED OTHERWISE
F.A.	FIRE ALARM	PL	PLATE	UTIL.	UTILITY
F.B.O.	FURNISHED BY OWNER	P.LAM.	PLASTIC LAMINATE	V.C.T.	VINYL COMPOSITE TILE
F.D.	FLOOR DRAIN	P.D.F.	POWER DRIVEN FASTENER	VERT.	VERTICAL
FDN.	FOUNDATION	PLB.	PLUMBING	V.I.F.	VERIFY IN FIELD
F.E.	FIRE EXTINGUISHER	PLYWD.	PLYWOOD	W.	WEST
F.E.C.	FIRE EXTINGUISHER CABINET	PRHT.	PARTIAL HEIGHT	WITH	WITH
F.H.W.S.	FLAT HEAD WOOD SCREW	P.R.P.	PHENOLIC RESIN PANELS	W.C.	WATER CLOSET
F.I.	FILM ILLUMINATOR	PNT.	PAINT	WHLCHR.	WHEELCHAIR
FIN.	FINISH	P.T.	PRESSURE TREATED	WD.	WOOD
FL.	FLOOR	P.T.D.	PAPER TOWEL DISPENSER	W/O	WITHOUT
FLUOR.	FLOURESCENT	PTN.	PARTITION	W.S.	WOOD SCREWS
		P.T.R.	PAPER TOWEL RECEPTACLE		
		P.V.C.	POLYVINYL CHLORIDE		

LEGENDS AND SYMBOLS

	CENTERLINE OF ELEMENT		GRID LINES		REVISION TAG
	FACE OF STUD (F.O.S.), U.O.N. SEE WALL TYPES		DIMENSIONING		KEYNOTE IDENTIFICATION
	FACE OF FINISH (F.O.F.), U.O.N. SEE WALL TYPES		BUILDING SECTION IDENTIFICATION		FINISH CEILING HEIGHT
	ITEM NUMBER		FIRE EXTINGUISHER		TACTILE 'EXIT' SIGN, SEE
	SHEET NUMBER (INDICATES SAME SHEET WHEN BLANK)		REMOVE EXISTING FENCE		NEW FENCE
	INTERIOR ELEVATION IDENTIFICATION		EXISTING UTILITY POLE W/ LIGHT		EXISTING UTILITY POLE
	DETAIL IDENTIFICATION		EXISTING CONCRETE WALL		EXISTING DOOR
	ROOM IDENTIFICATION		REMOVE EXISTING WALL/ PARTITION		REMOVE EXISTING DOOR
	ELEVATION IDENTIFICATION		NEW WALL/ PARTITION		NEW DOOR
	WALL TYPE IDENTIFICATION				
	WINDOW TYPE IDENTIFICATION				
	DOOR TYPE IDENTIFICATION				

APPLICABLE CODES

- 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- 2019 CALIFORNIA MECHANICAL CODE (CMC)
- 2019 CALIFORNIA PLUMBING CODE (CPC)
- 2019 CALIFORNIA ENERGY CODE (CBEES)
- 2019 CALIFORNIA FIRE CODE (CFC)
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)

BERKELEY MUNICIPAL CODE, INCLUDING CITY OF BERKELEY ORDINANCES AND AMENDMENTS TO ABOVE REFERENCED CODES.

DEFERRED SUBMITTALS

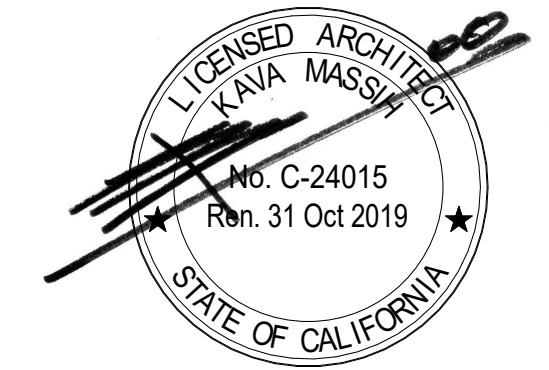
- DEFERRED SUBMITTALS/ DESIGN-BUILD:
- MECHANICAL
 - ELECTRICAL
 - PLUMBING
 - AUTOMATIC GAS SHUT-OFF VALVES PER ORD. NO. 7151-N.S.

NOTE: ALL DEFERRED SUBMITTALS SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND / OR ENGINEER FOR REVIEW AND COORDINATION; FOLLOWING THE COMPLETION OF PROJECT ARCHITECT/ ENGINEER REVIEW AND COORDINATION, A SUBMITTAL TO THE COUNTY/ CITY FIRE DEPARTMENT SHALL BE MADE (FOR COUNTY/ CITY/ FIRE DEPARTMENT REVIEW AND APPROVAL), WHICH SHALL INCLUDE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND PLANS AND CALCULATIONS FOR THE DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE (E.G. WITH REGARD TO GEOMETRY, LOAD CONDITIONS, ETC.) WITH NO EXCEPTIONS.



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REVISIONS
PERMIT SUBMITTAL AUGUST 05, 2020

DRAWING TITLE

POLLUTION PREVENTION PLAN

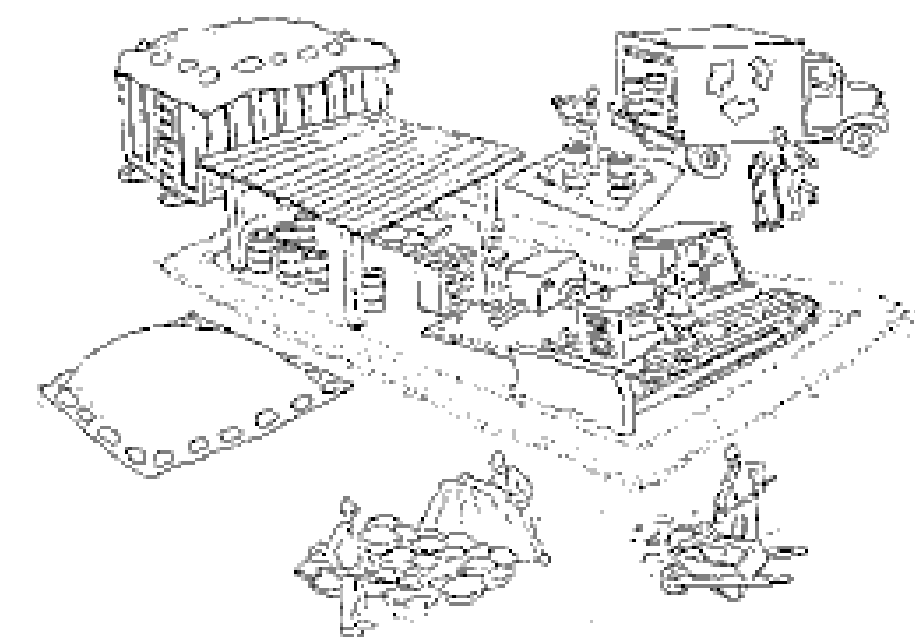
PROJECT NUMBER 2005
DATE AUGUST 05, 2020
DRAWN BY Author
CHECKED BY Checker
SCALE 12" = 1'-0"
SHEET

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Pollution Prevention — It's Part of the Plan

Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

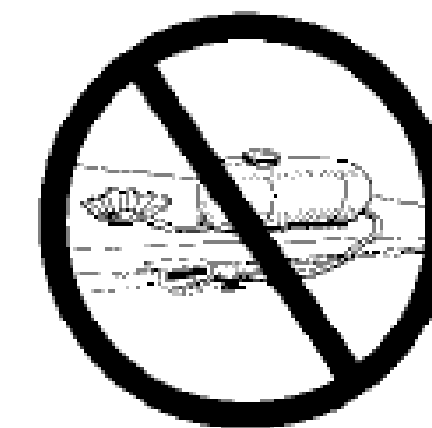
Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or sand/gravel bags to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.

- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.

- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.



Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and man-holes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with sand/gravel bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use fiber rolls, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place fiber rolls down-slope until soil is secure.

- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call the Regional Water Quality Control Board or local hazardous waste management agency for help in determining what testing should be done, and manage disposal of contaminated soil according to their instructions.

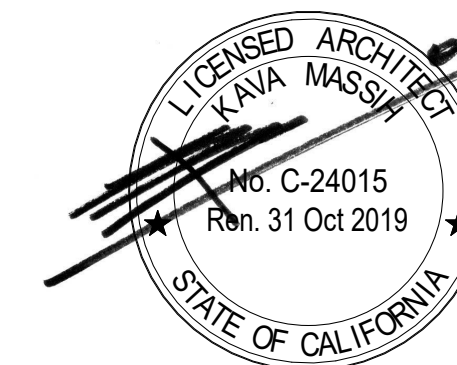
Storm drain polluters may be liable for fines of \$10,000 or more per day!

For more detailed information:
Get a copy of the "Field Manual" — (510) 622-2465 or
www.abag.ca.gov/bayarea/sfep/reports/construction.html



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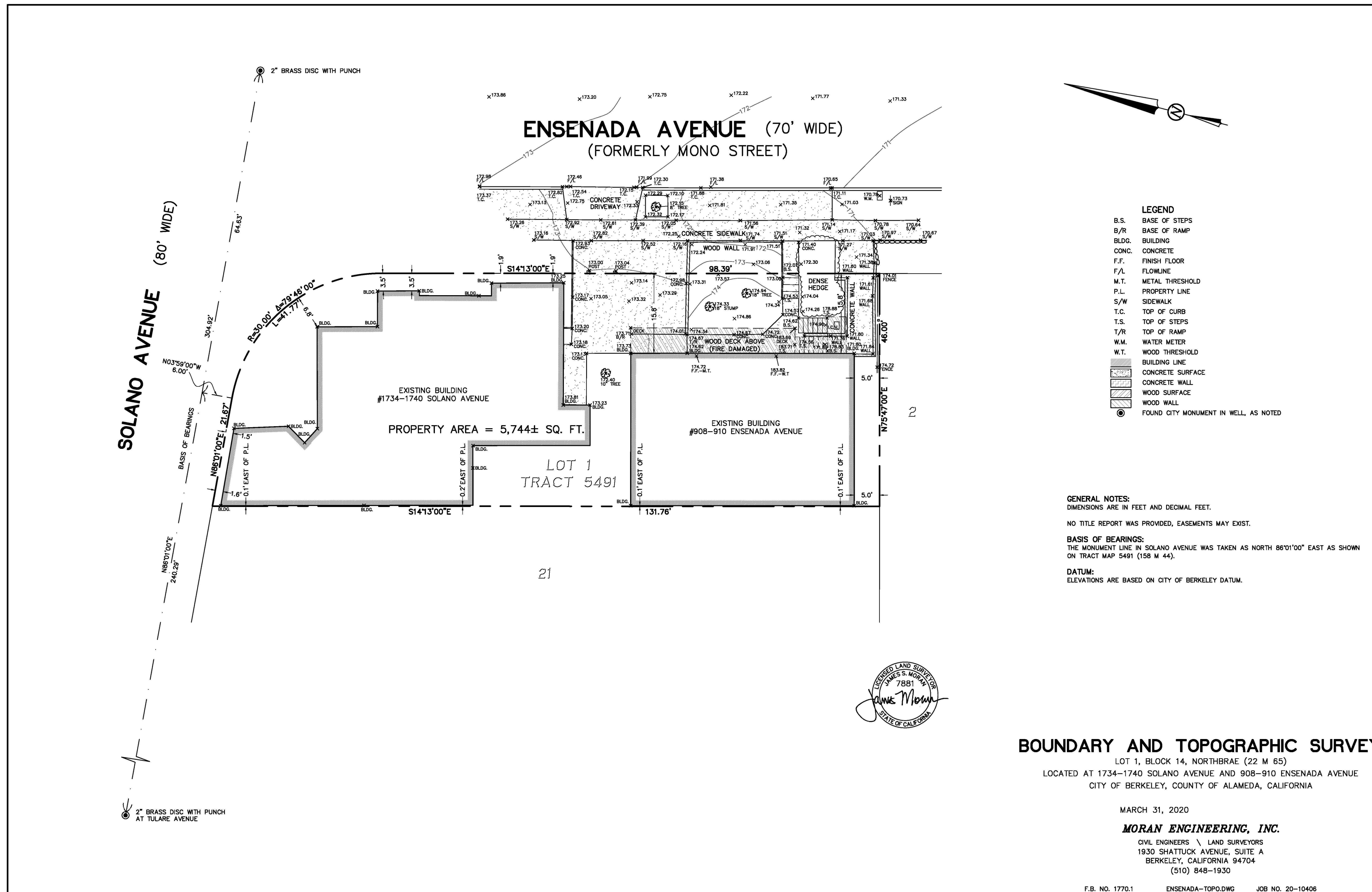
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SURVEY

PROJECT NUMBER 2005
DATE AUGUST 05, 2020
DRAWN BY Author
CHECKED BY Checker
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1" = 24'-0" @ 11 x 17
SHEET

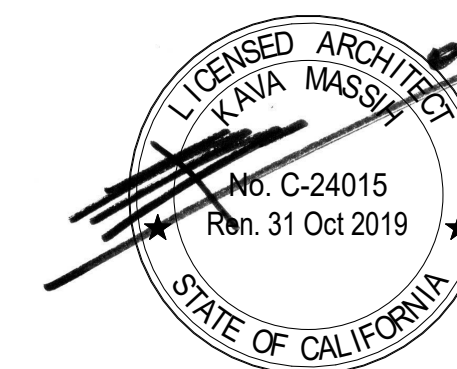
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DRAWING TITLE
SITE PHOTOS

PROJECT NUMBER 2005
DATE AUGUST 05, 2020
DRAWN BY Author
CHECKED BY Checker
SCALE
SHEET

A0.4

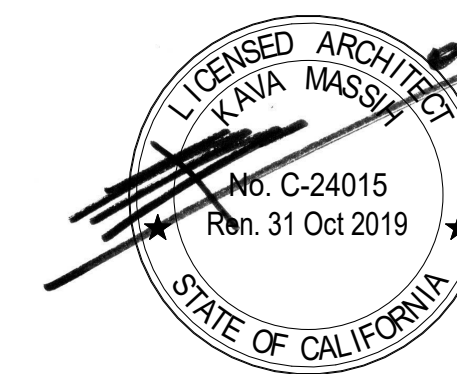




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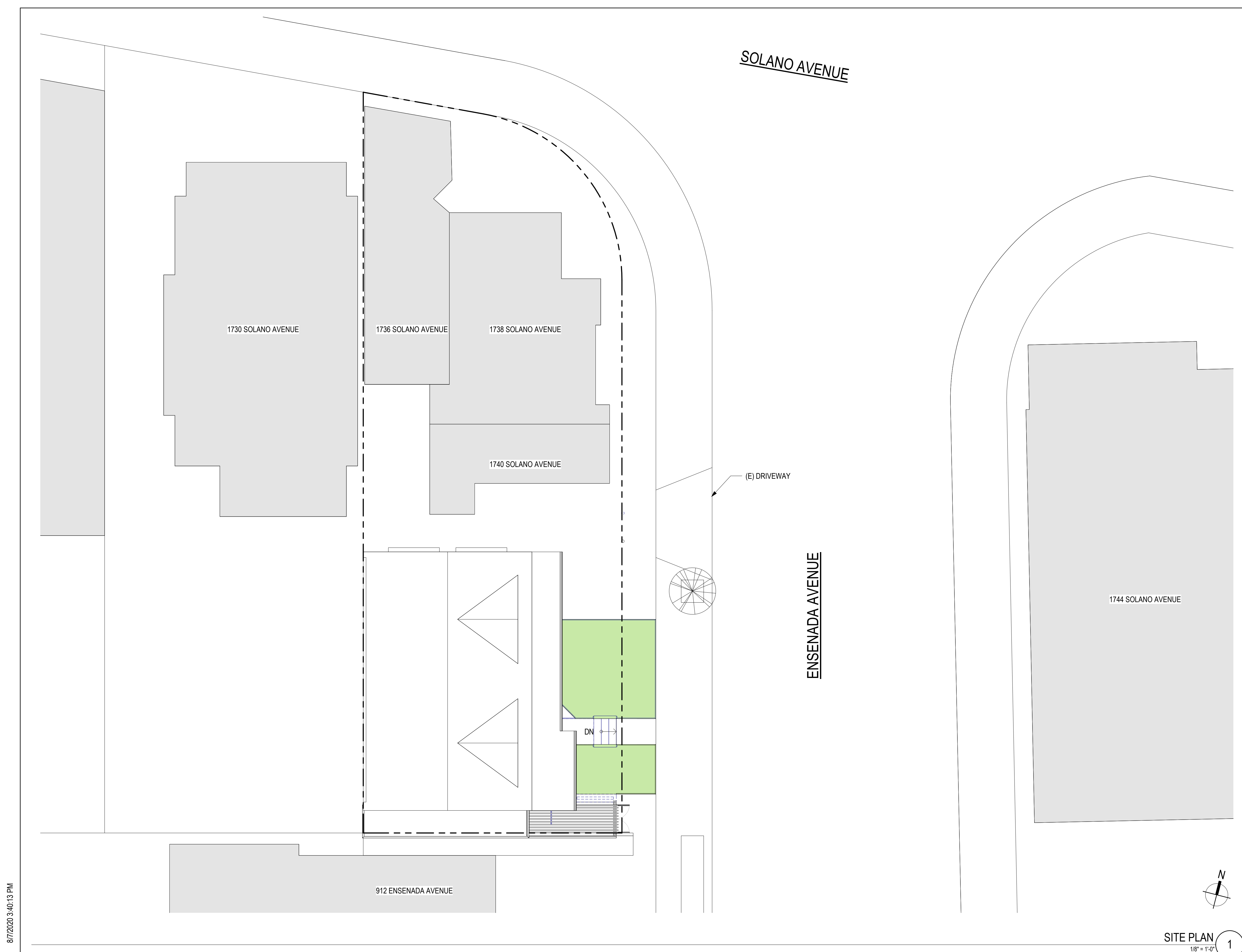
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PROJECT NUMBER 2005
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 SCALE 1/8" = 1'-0"
 SHEET



SITE PLAN 1/8" = 1'-0" 1

A1.0

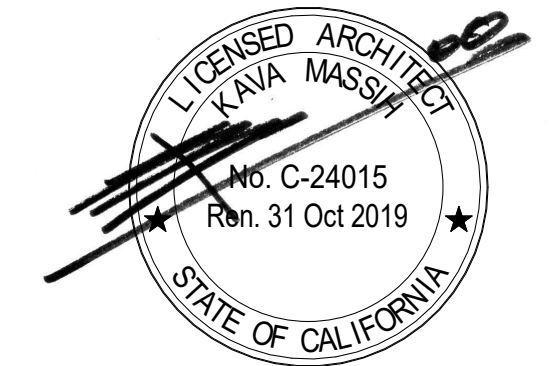


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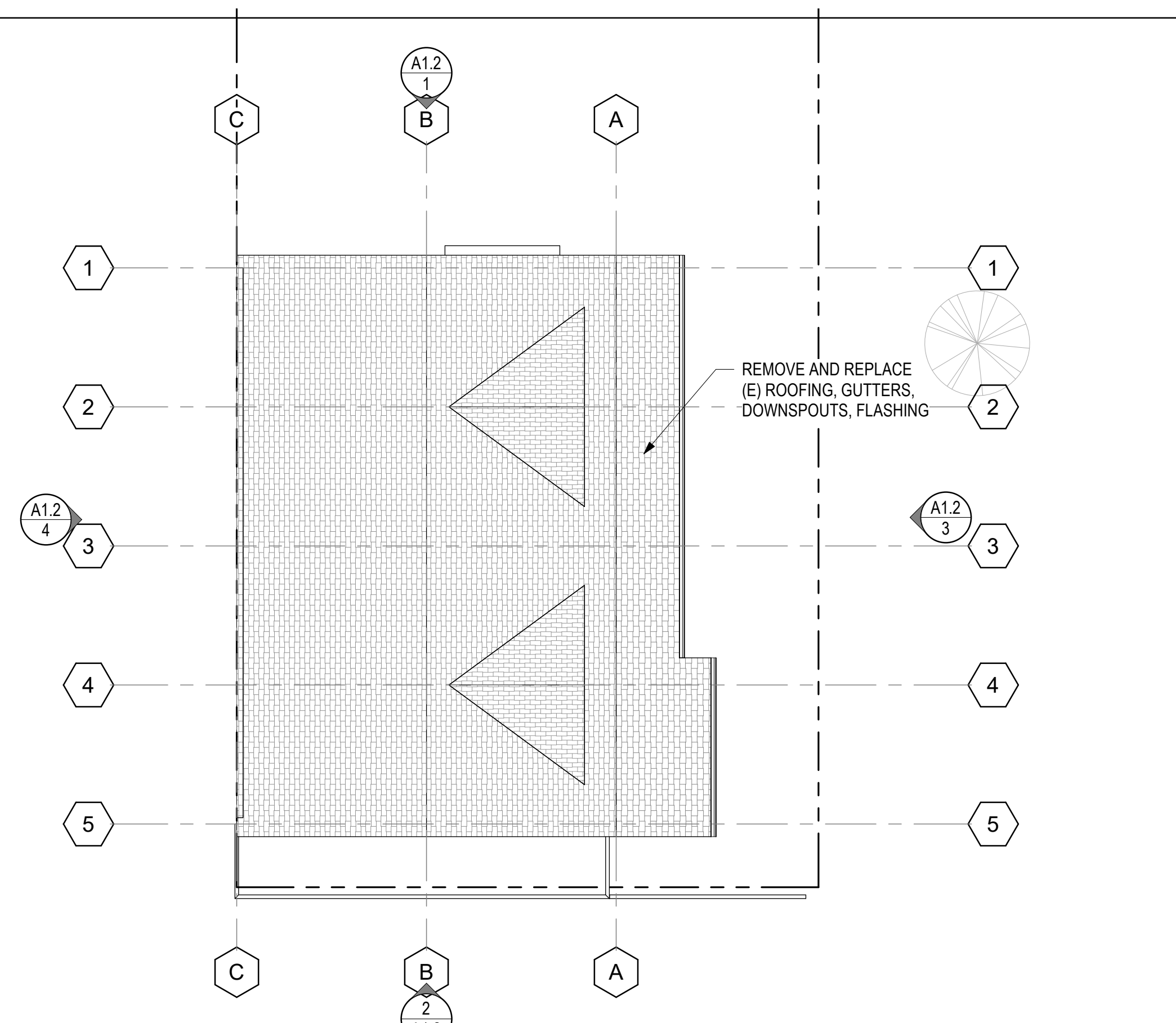


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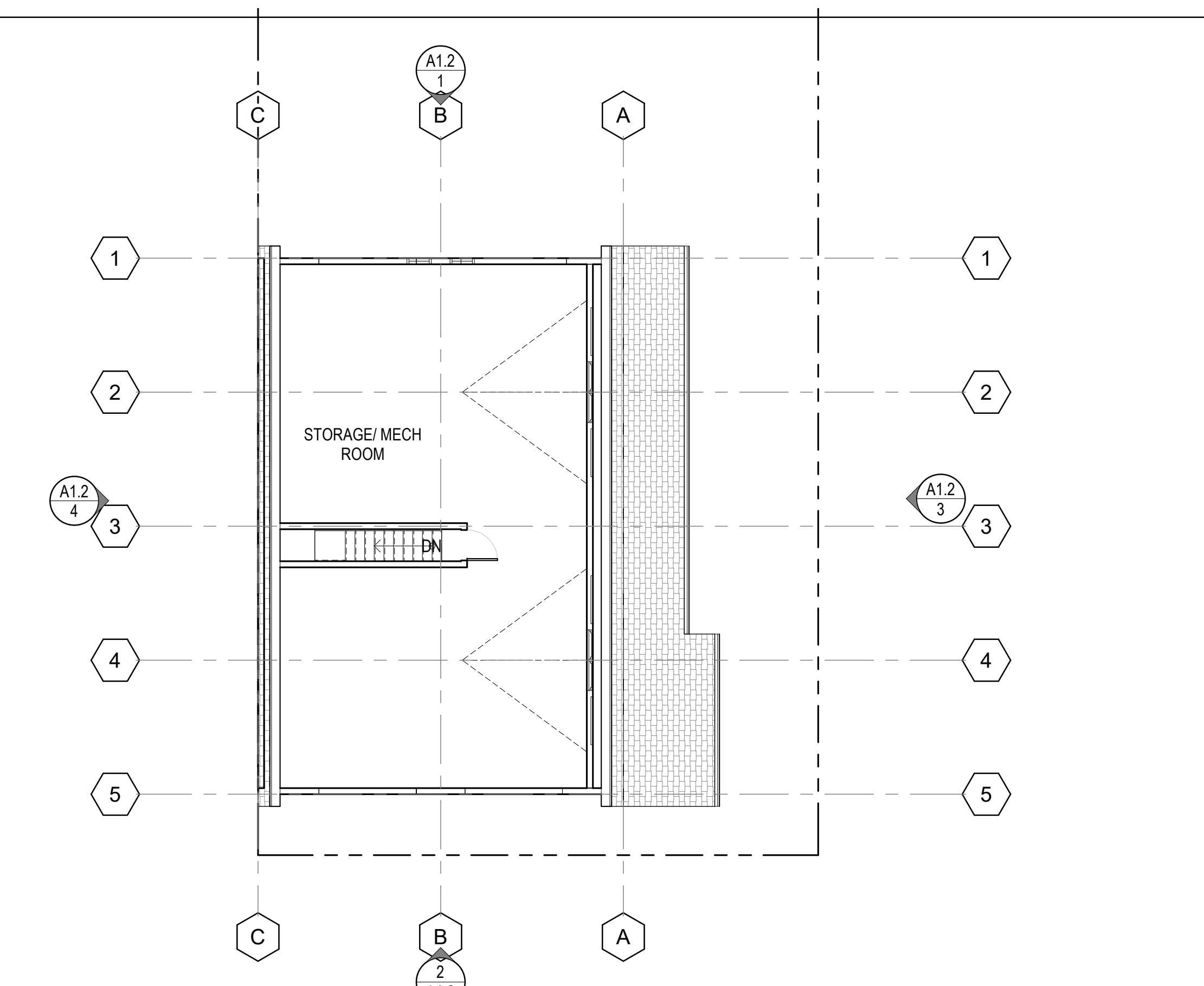
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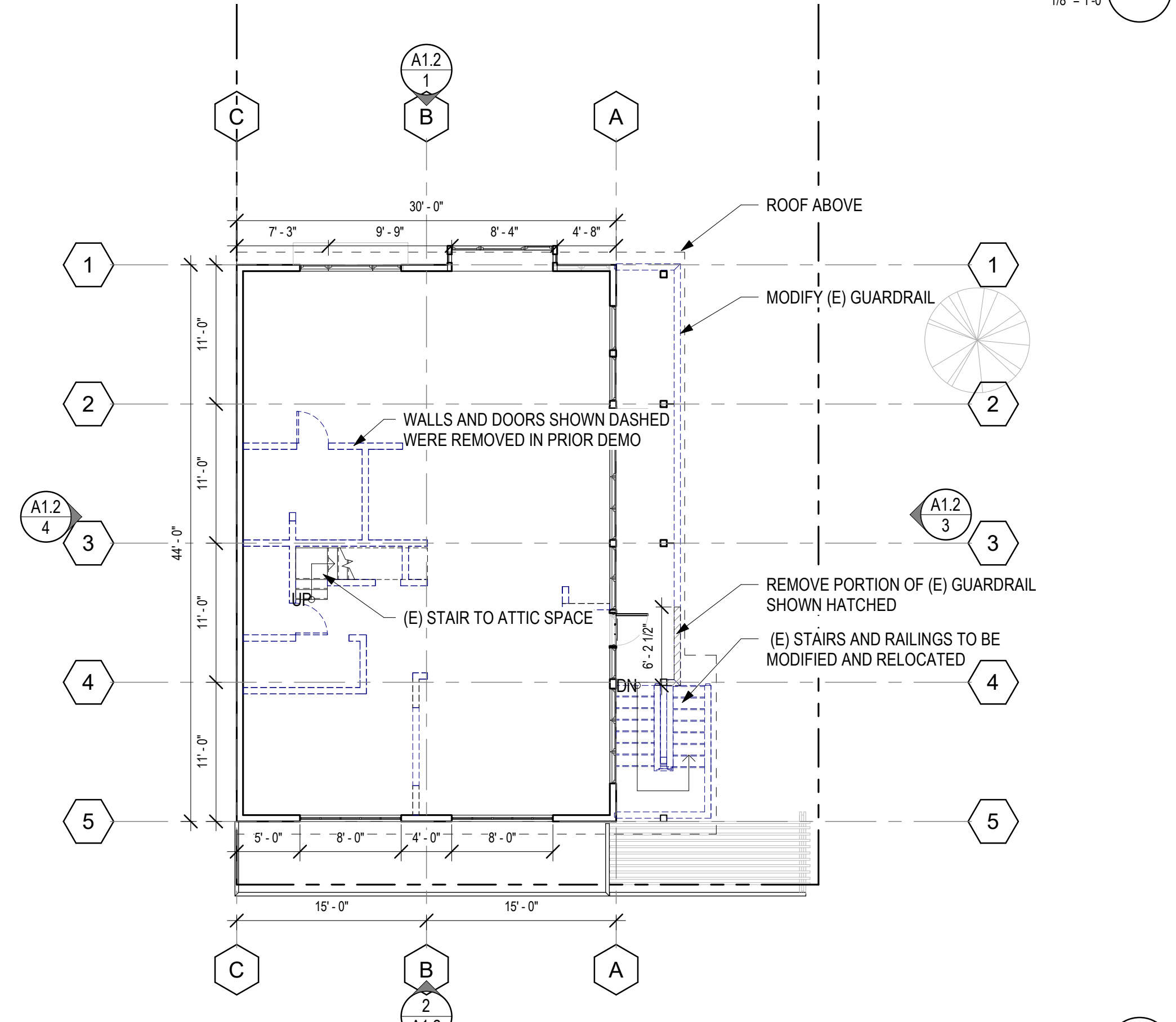
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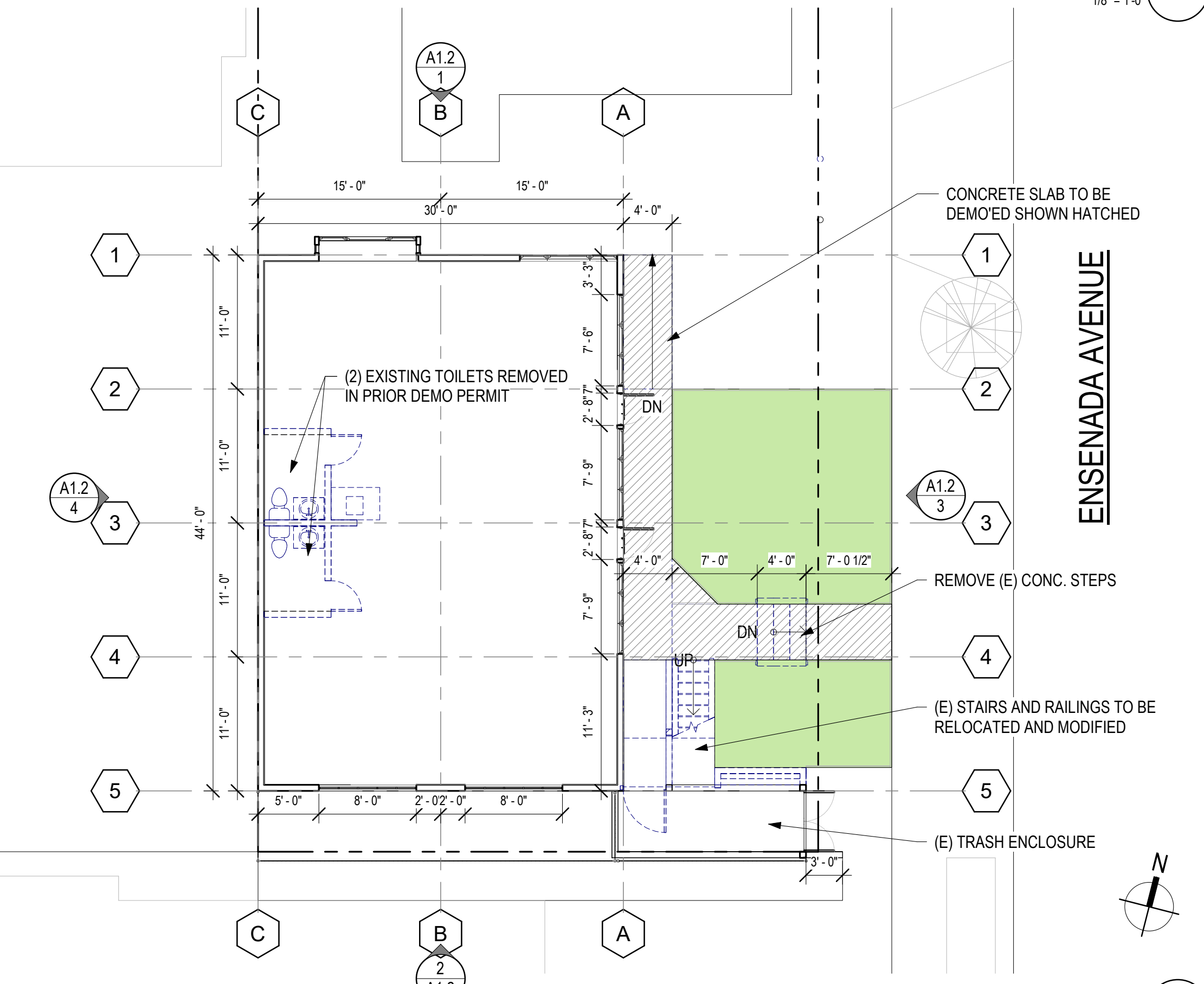
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EXISTING ATTIC FLOOR PLAN
1/8" = 1'-0" 3



EXISTING SECOND FLOOR
1/8" = 1'-0" 2



EXISTING FIRST FLOOR
1/8" = 1'-0" 1

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DRAWING TITLE
EXISTING/ DEMOLITION FLOOR PLANS

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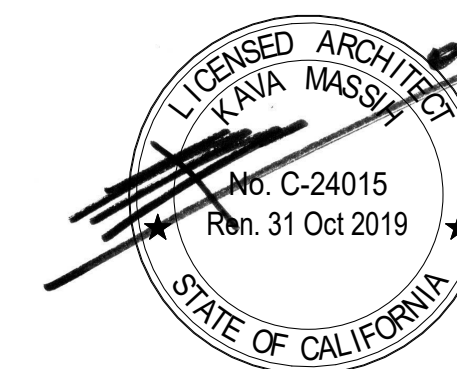
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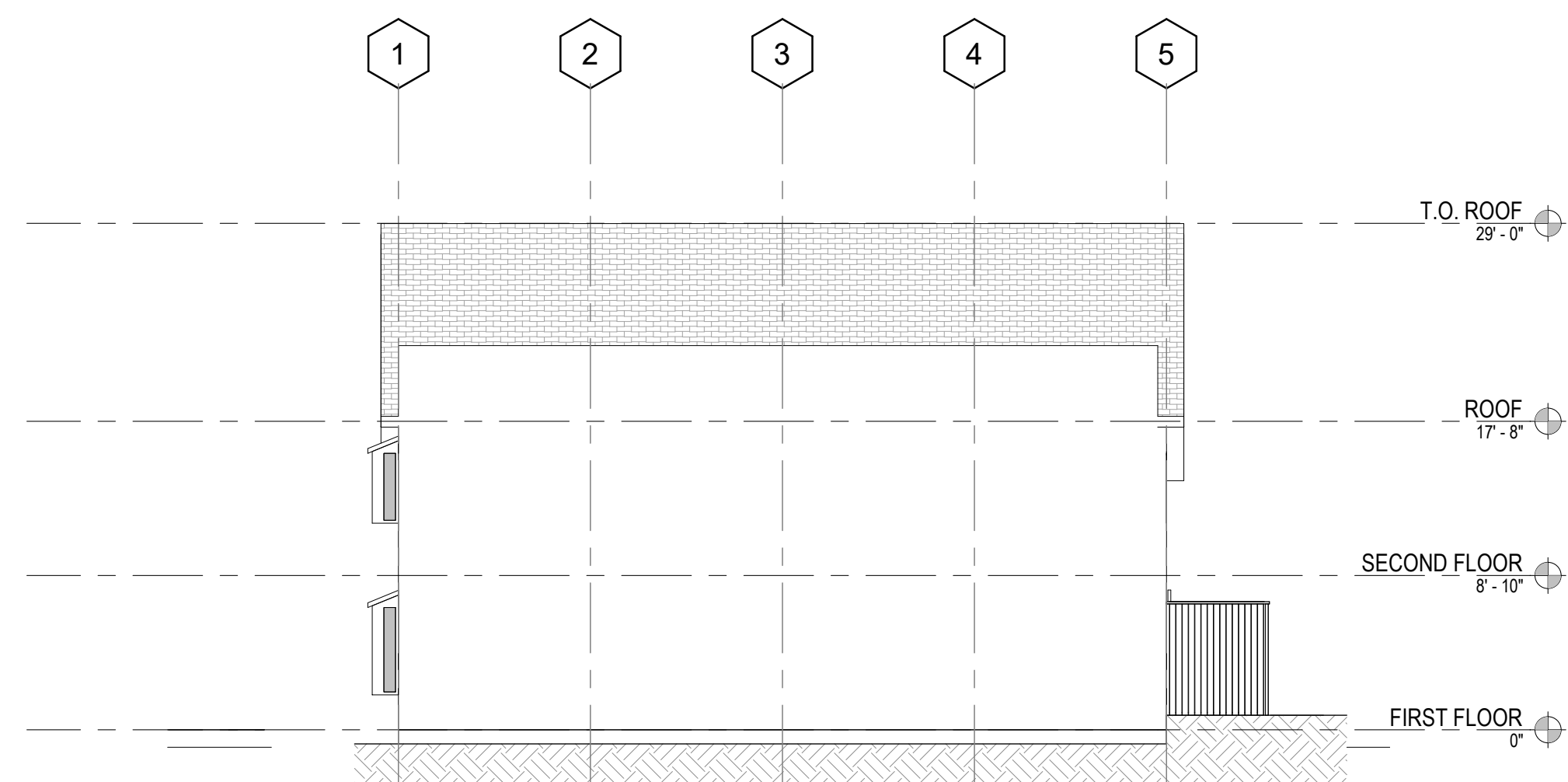


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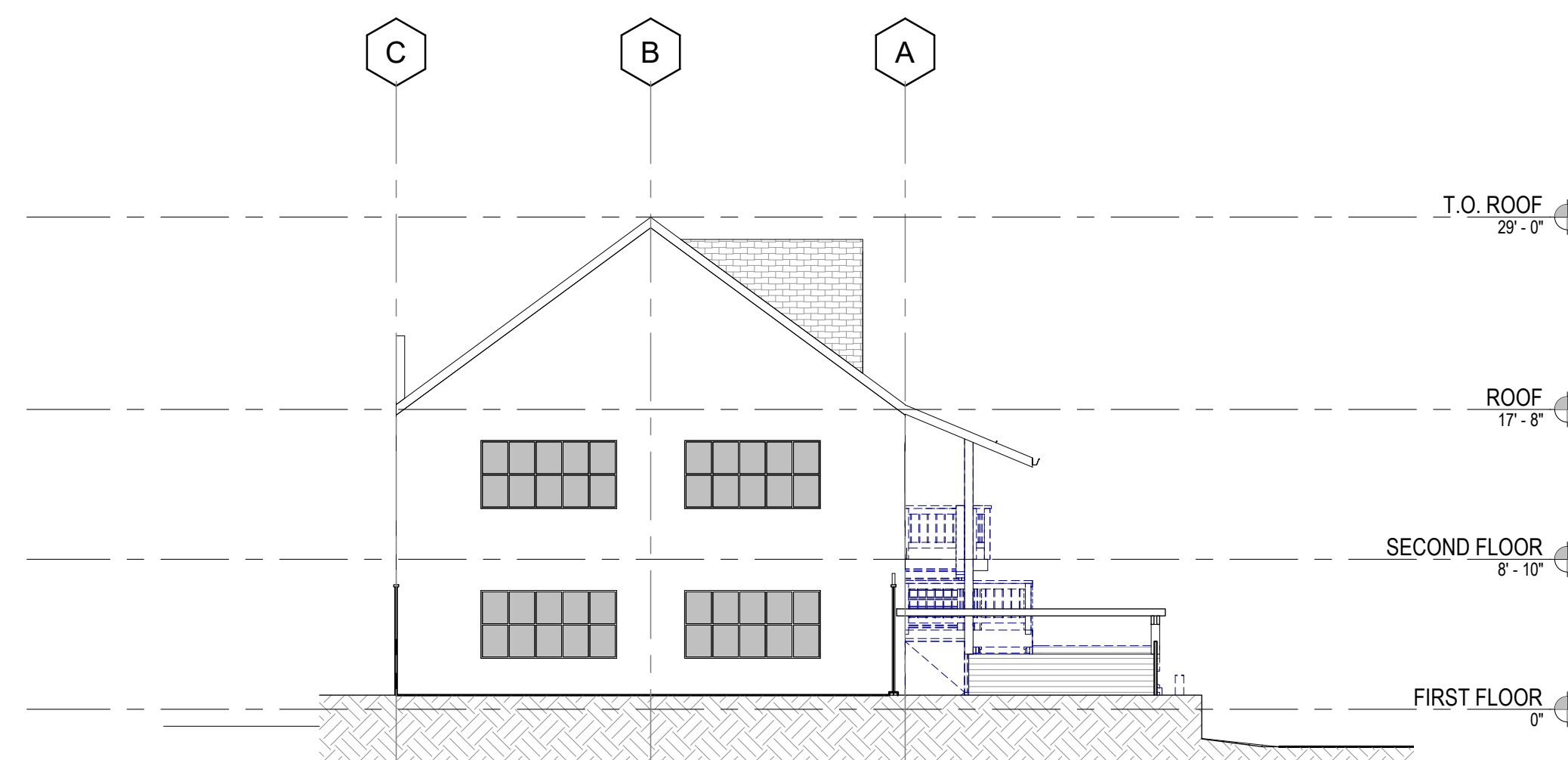
STRUCTURAL ENGINEER

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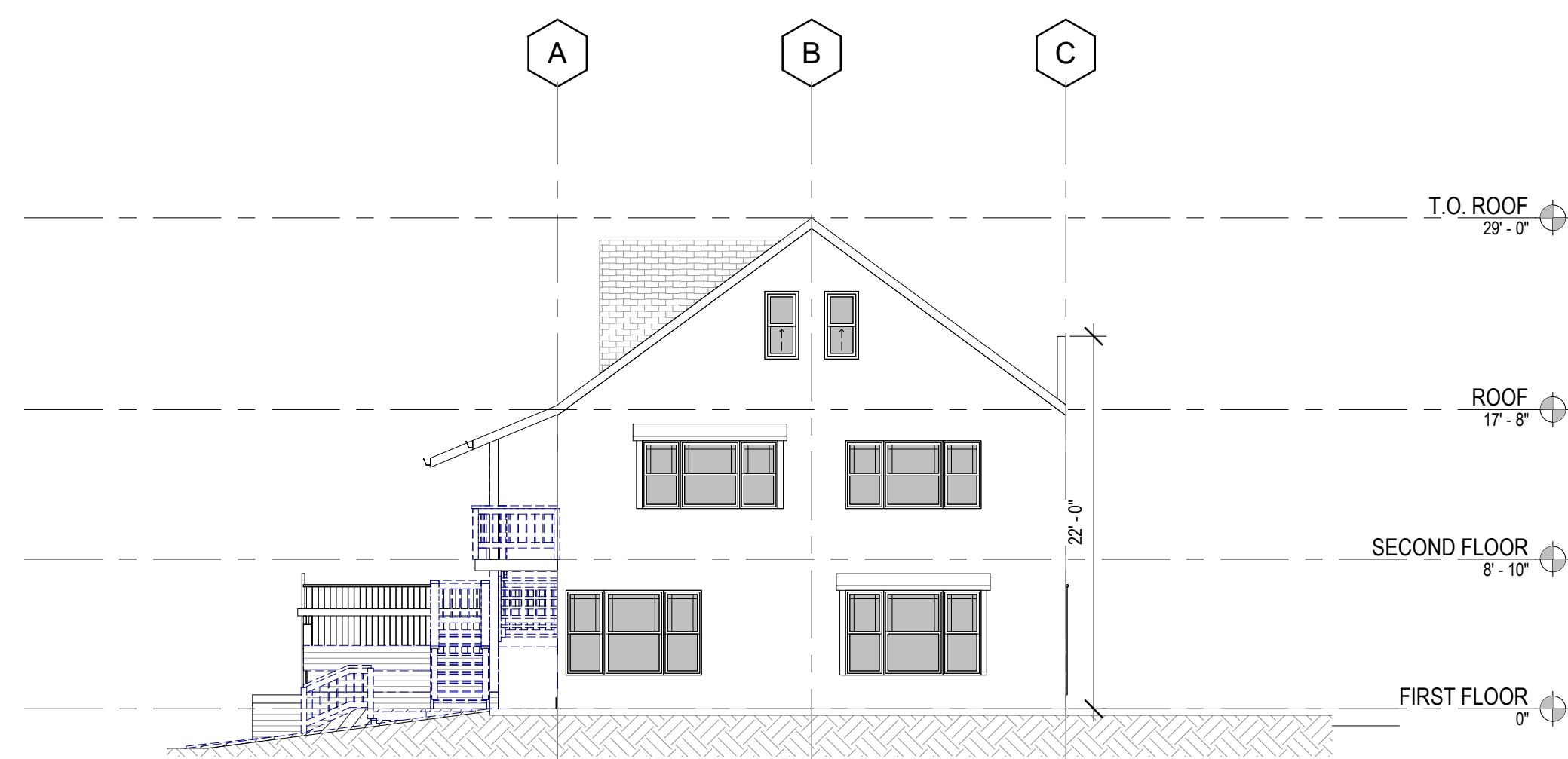
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EXISTING SOUTH ELEVATION 2
1/8" = 1'-0"



EXISTING EAST ELEVATION 3
1/8" = 1'-0"



EXISTING NORTH ELEVATION 1
1/8" = 1'-0"

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DRAWING TITLE
EXISTING BUILDING ELEVATIONS

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DATE AUGUST 05, 2020
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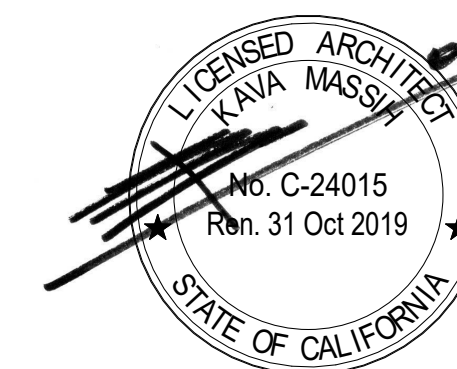
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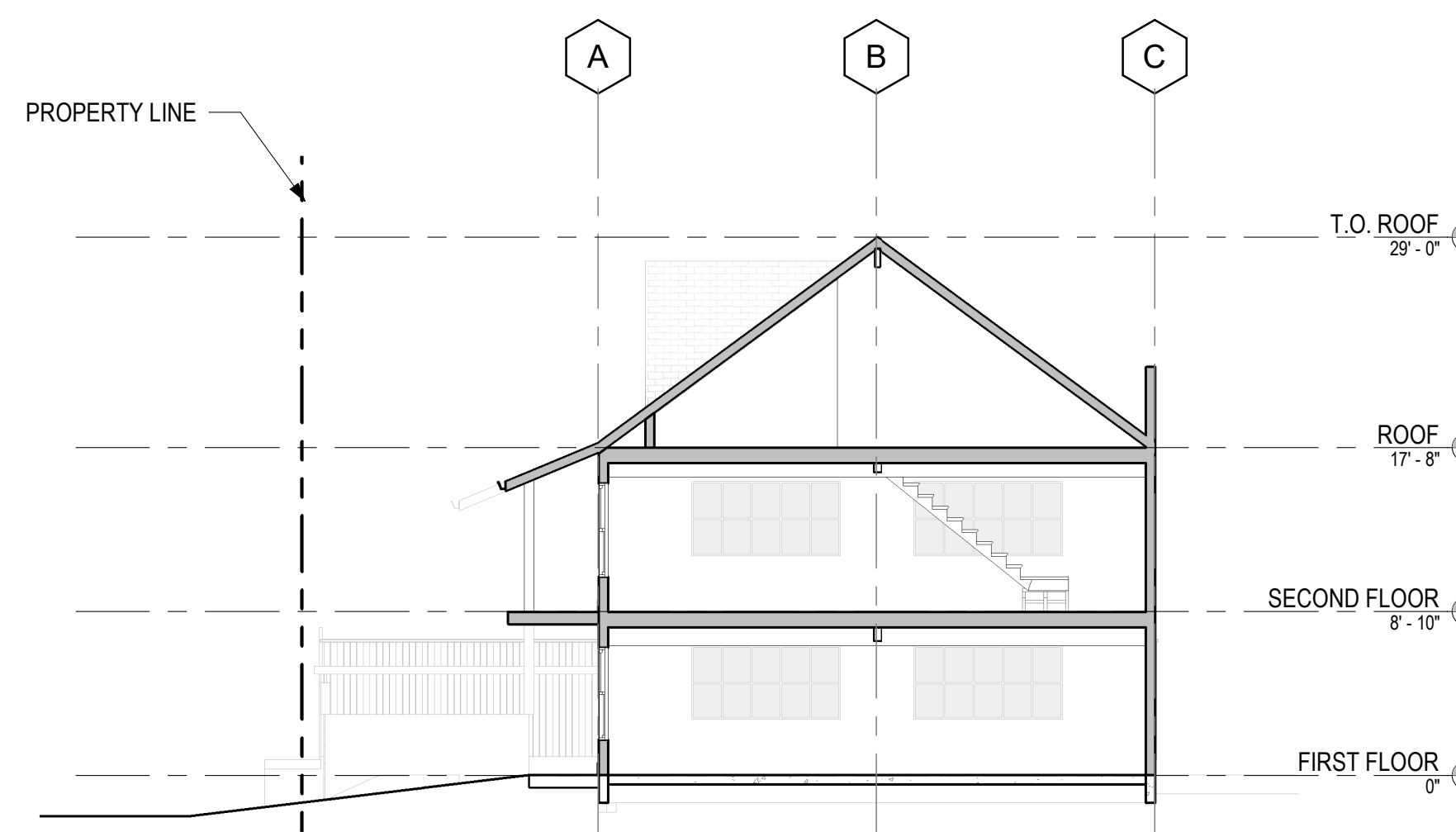
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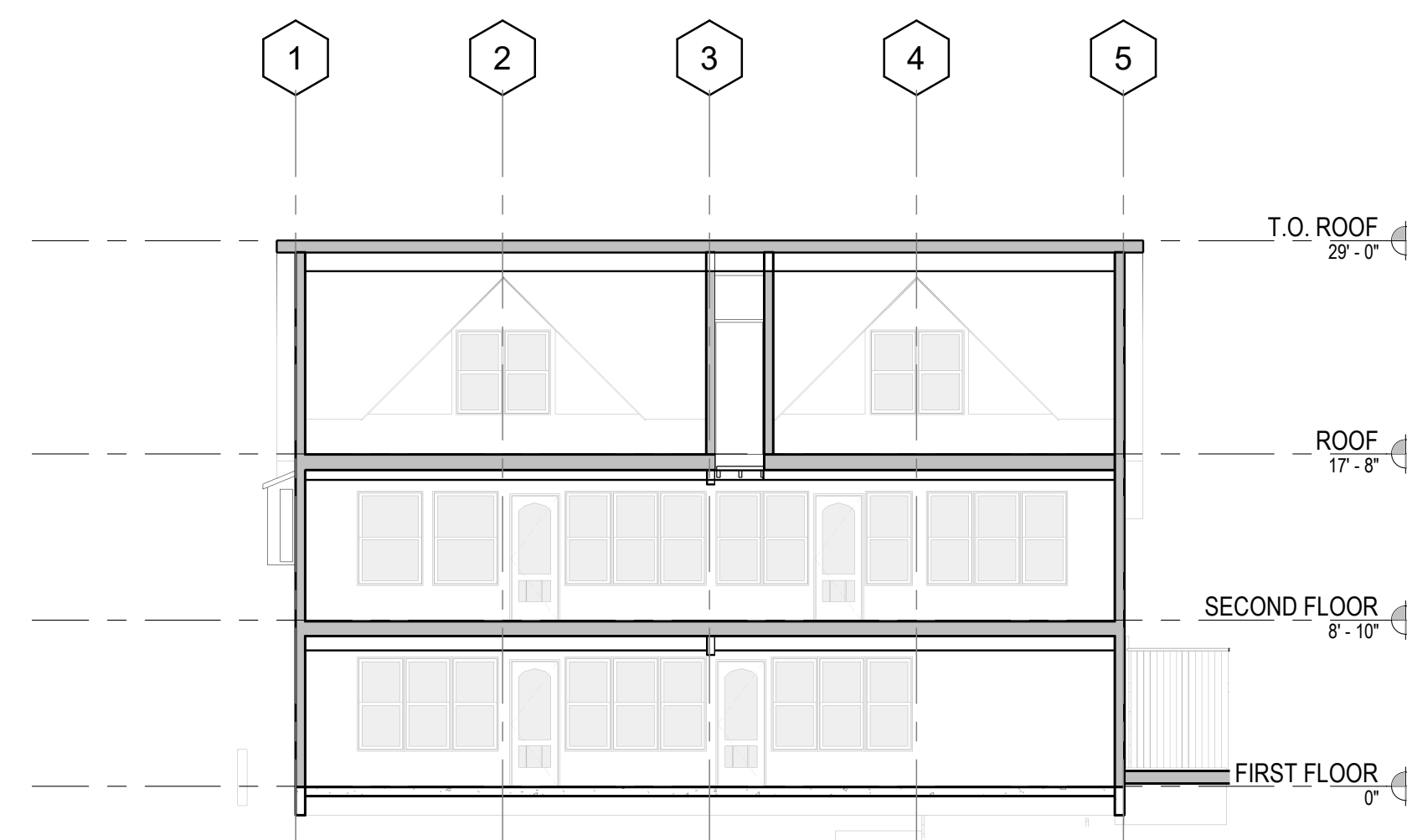
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EXISTING SECTIONS

PROJECT NUMBER 2005
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SECTION 2
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SECTION 1
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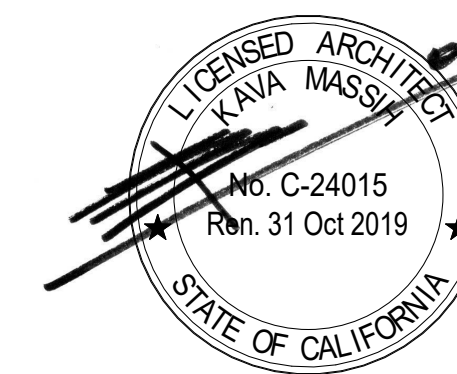
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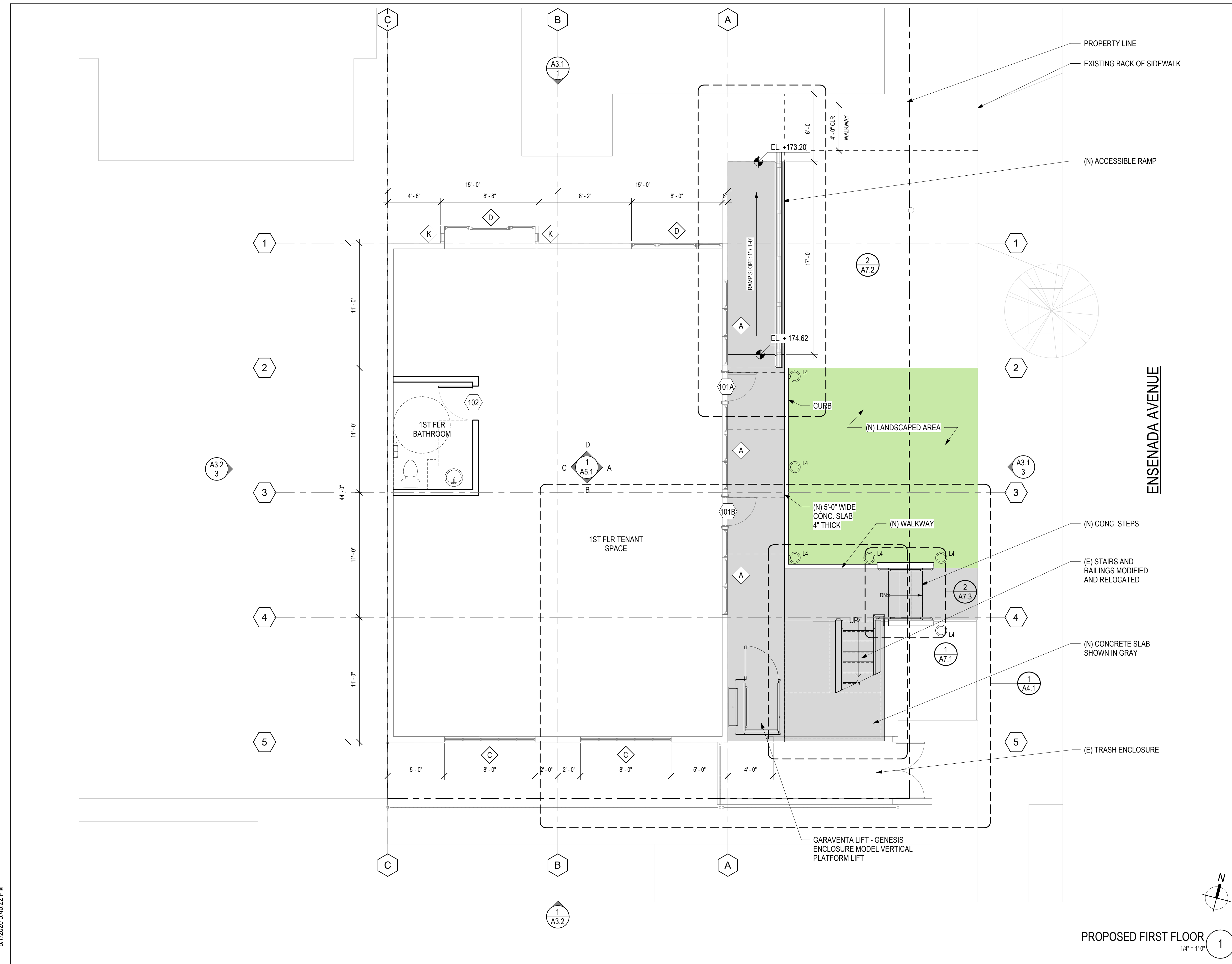
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PERMIT SUBMITTAL AUGUST 05, 2020

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PROPOSED FIRST FLOOR PLAN

PROJECT NUMBER 2005
DATE AUGUST 05, 2020
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SCALE 1/4" = 1'-0"
SHEET



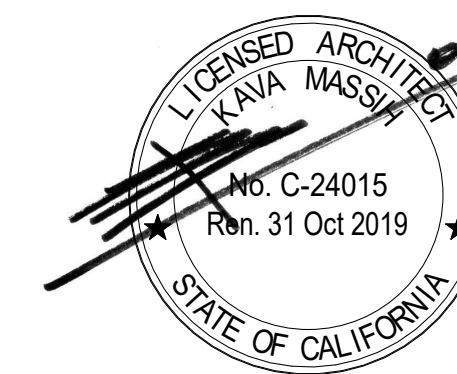
PROPOSED FIRST FLOOR
1/4" = 1'-0" 1

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DRAWING TITLE

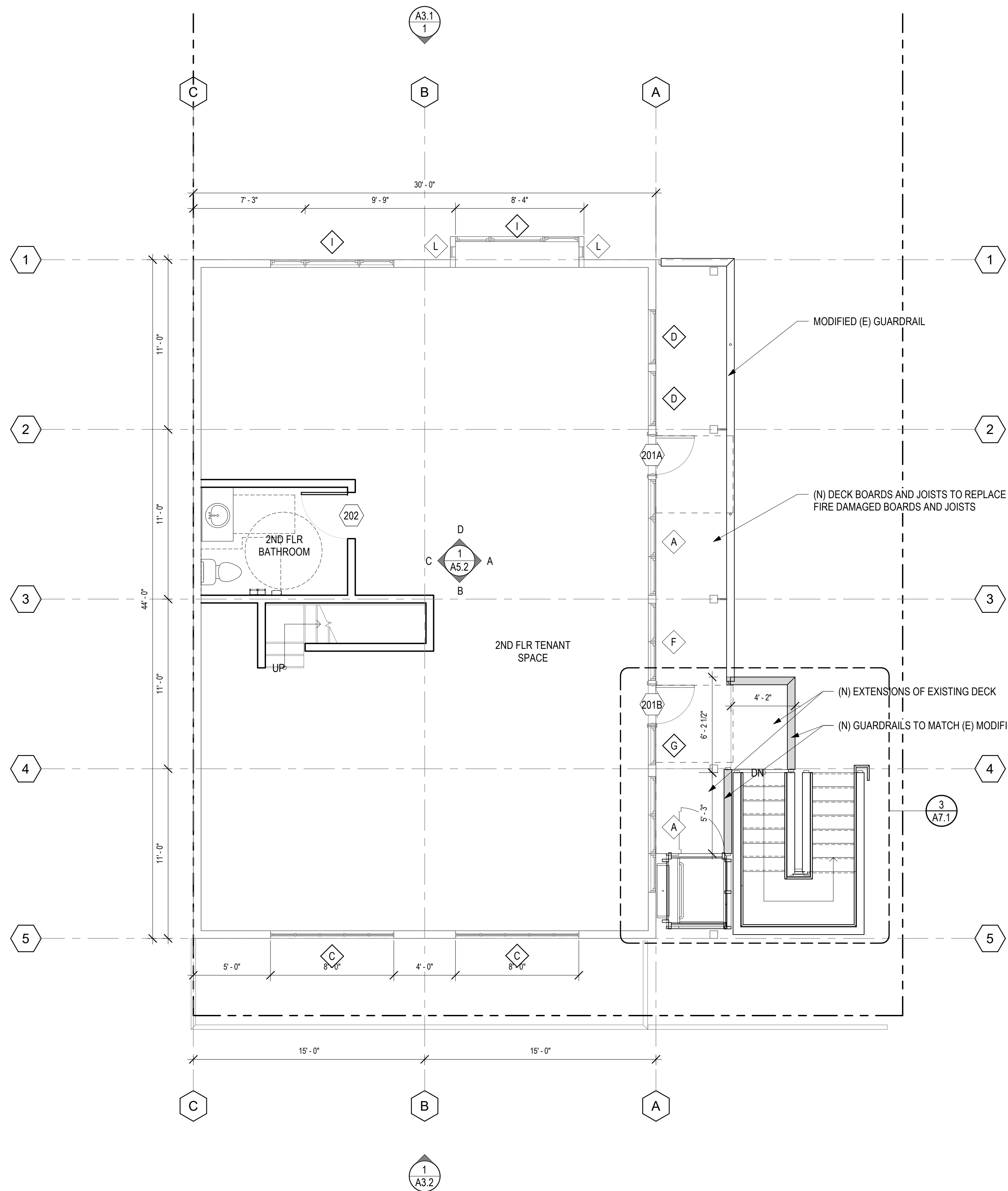
PROPOSED SECOND FLOOR PLAN

PROJECT NUMBER 2005
DATE AUGUST 05, 2020
DRAWN BY Author
CHECKED BY Checker
SCALE 1/4" = 1'-0"
SHEET

PROPOSED SECOND FLOOR
1/4" = 1'-0"



A2.2

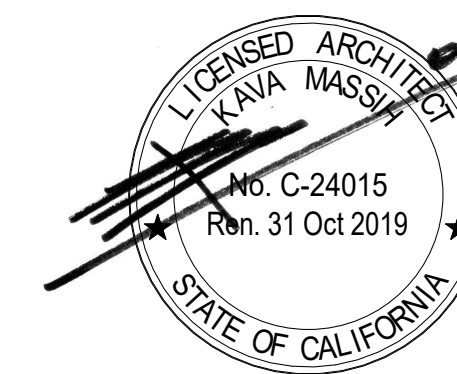


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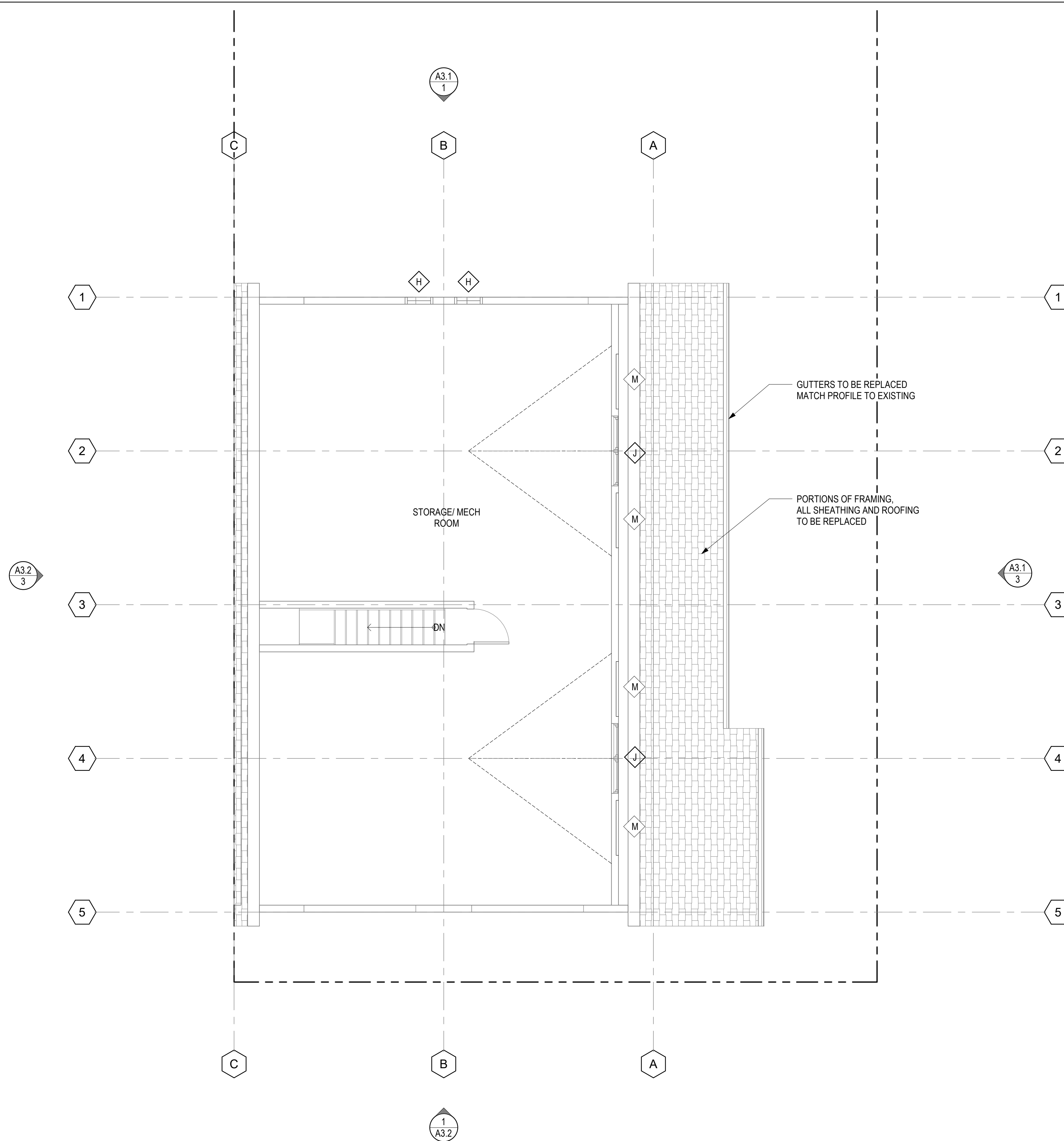
REVISIONS
PERMIT SUBMITTAL AUGUST 05, 2020

DRAWING TITLE

PROPOSED ATTIC FLOOR PLAN

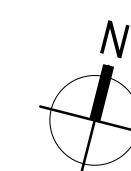
PROJECT NUMBER 2005
DATE AUGUST 05, 2020
DRAWN BY Author
CHECKED BY Checker
SCALE 1/4" = 1'-0"
SHEET

A2.3



8/7/2020 3:40:23 PM

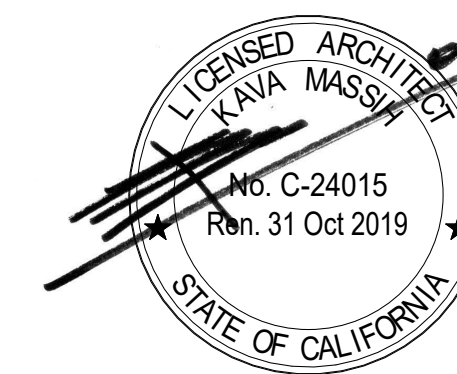
PROPOSED ATTIC FLOOR PLAN
1/4" = 1'-0" 1





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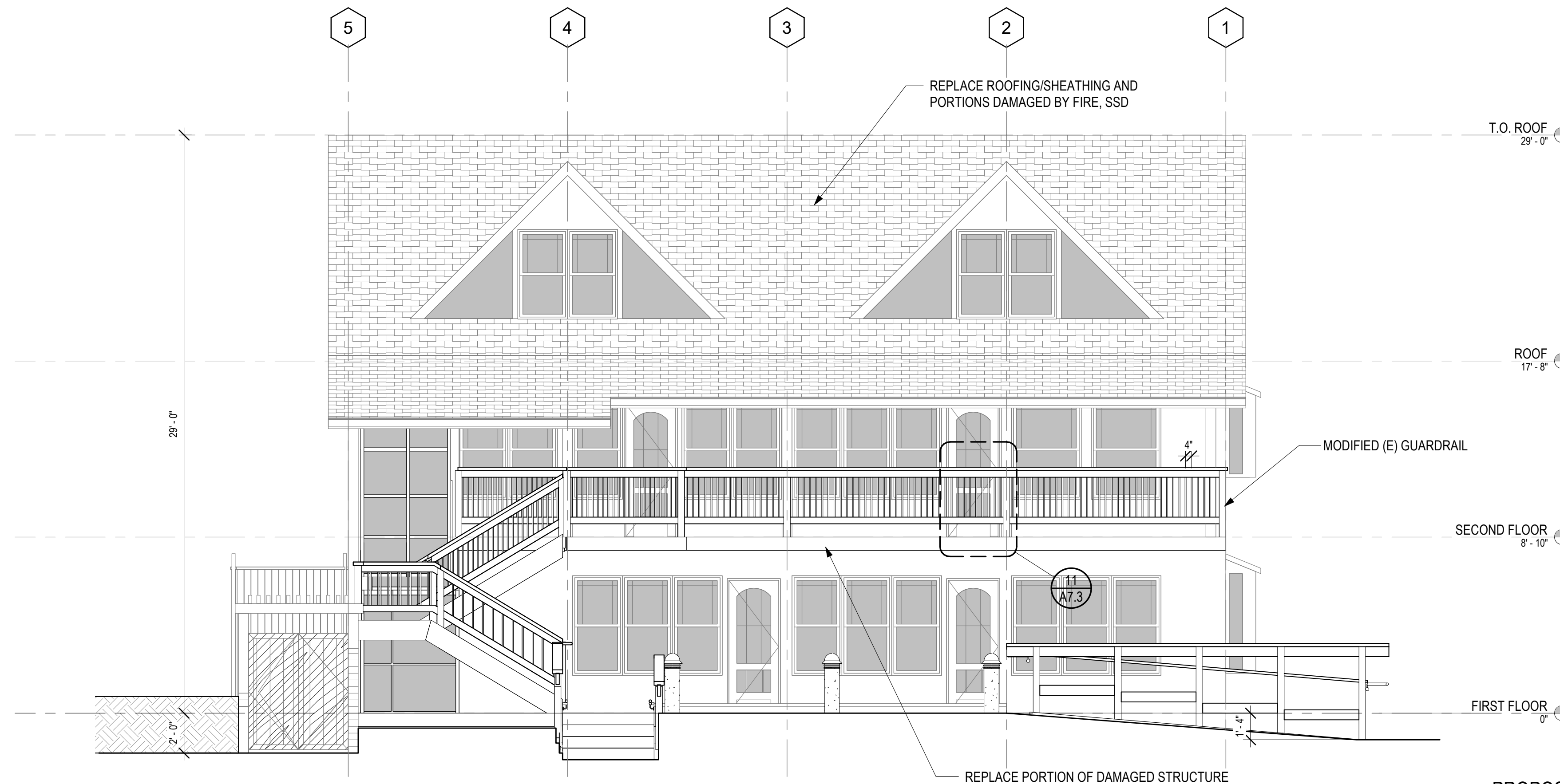


CONSULTANTS

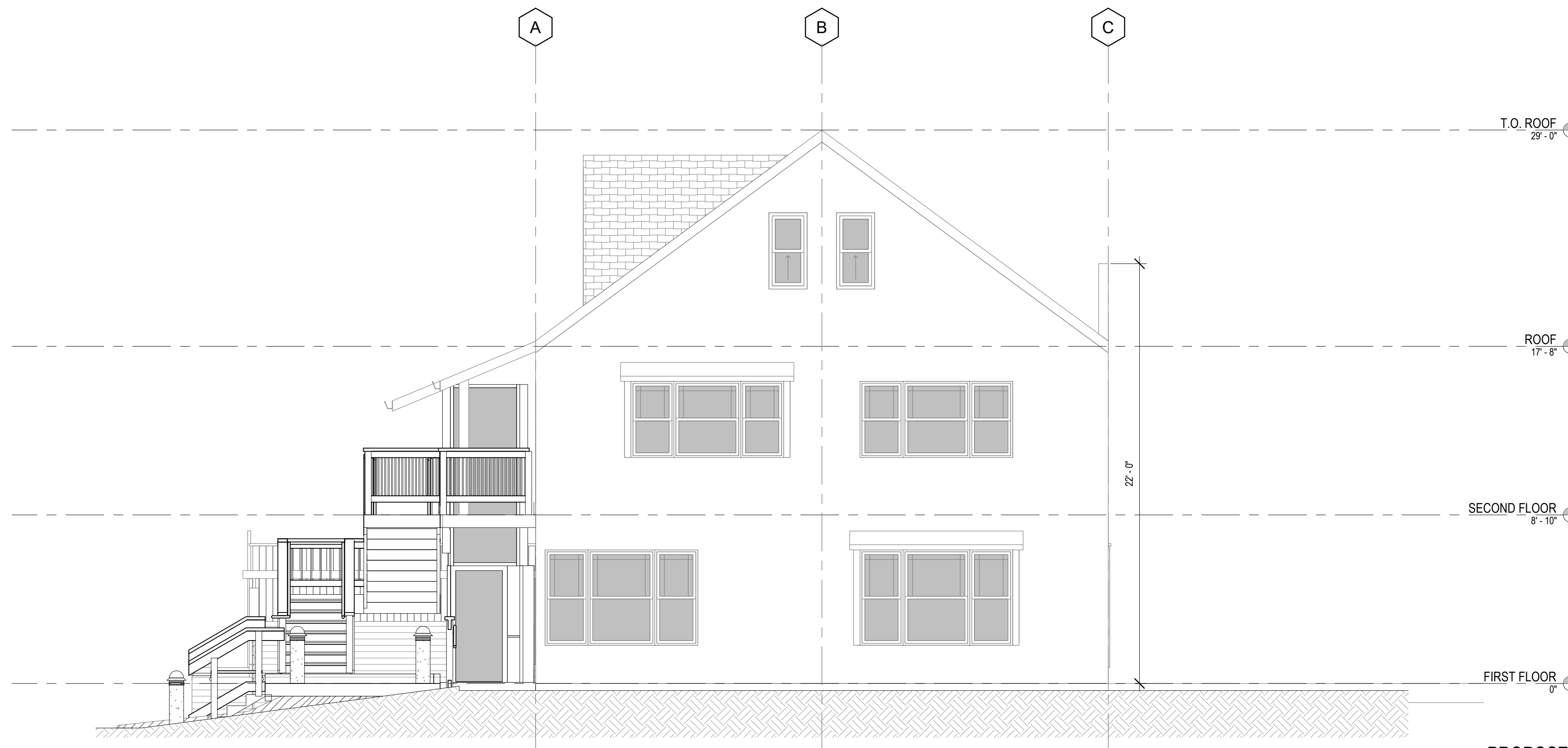
STRUCTURAL ENGINEER

JYSF
 JOHN YADEGAR & ASSOCIATES
 1 KAISER PLAZA #405
 OAKLAND, CA 94612
 (415) 243-0858

AGENCY APPROVAL



PROPOSED EAST ELEVATION 3
 1/4" = 1'-0"



PROPOSED NORTH ELEVATION 1
 1/4" = 1'-0"

910 Ensenada

906 ENSENADA SHELL ONLY

910 Ensenada Avenue

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DRAWING TITLE
 PROPOSED NORTH AND EAST ELEVATIONS

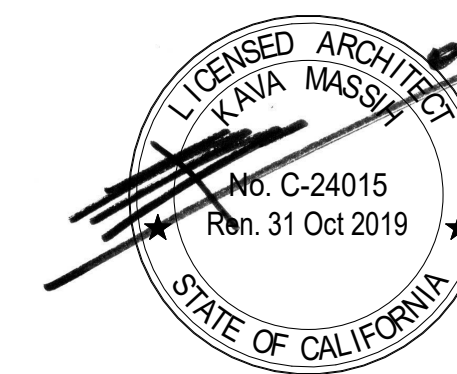
PROJECT NUMBER 2005
 DATE AUGUST 05, 2020
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 SCALE 1/4" = 1'-0"
 SHEET

A3.1



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DRAWING TITLE

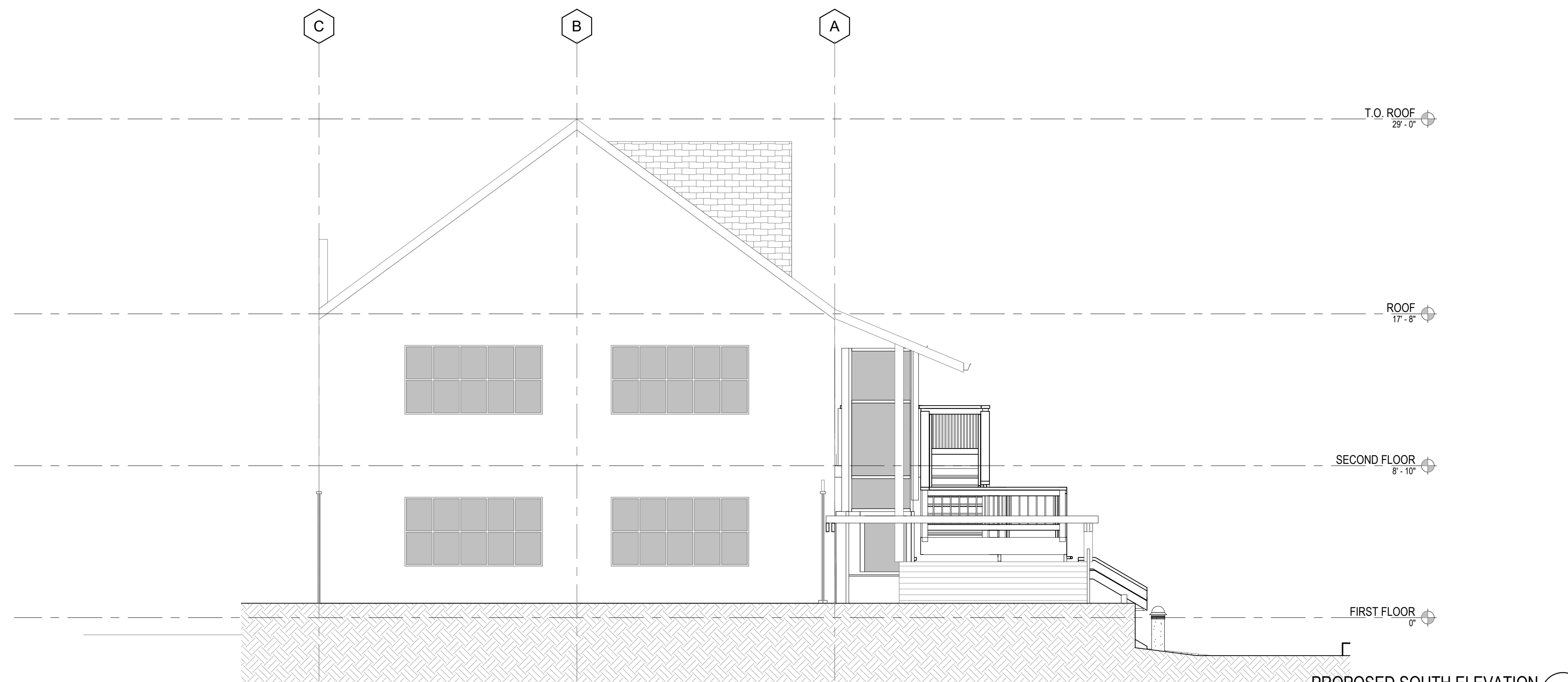
PROPOSED SOUTH AND WEST ELEVATIONS

PROJECT NUMBER 2005
 DATE AUGUST 05, 2020
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 SCALE 1/4" = 1'-0"
 SHEET

A3.2



PROPOSED WEST ELEVATION 3
 1/4" = 1'-0"

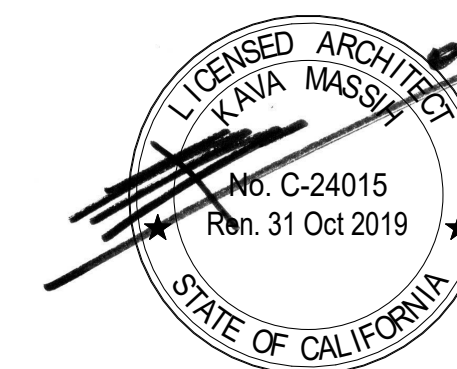


PROPOSED SOUTH ELEVATION 1
 1/4" = 1'-0"



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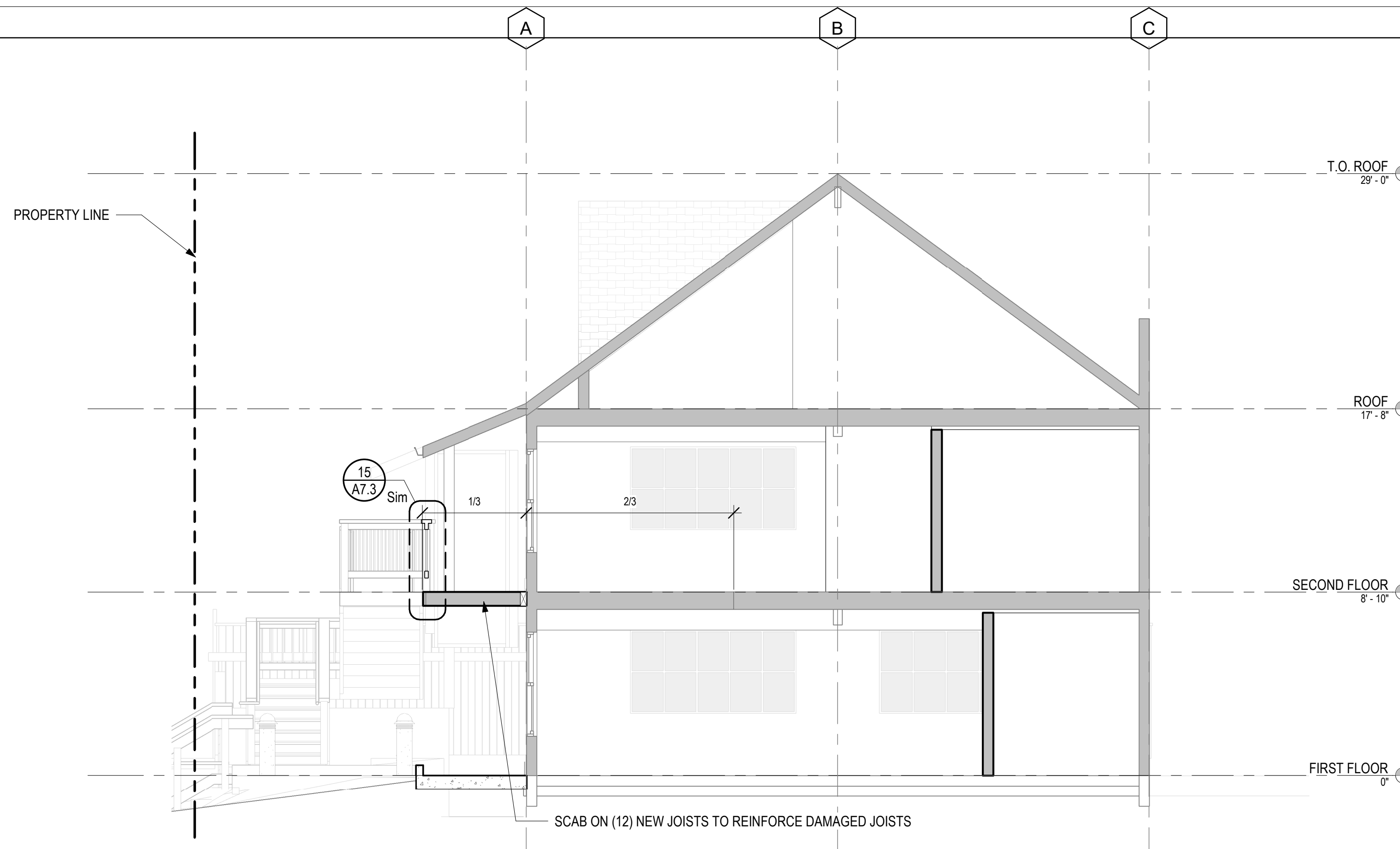


CONSULTANTS

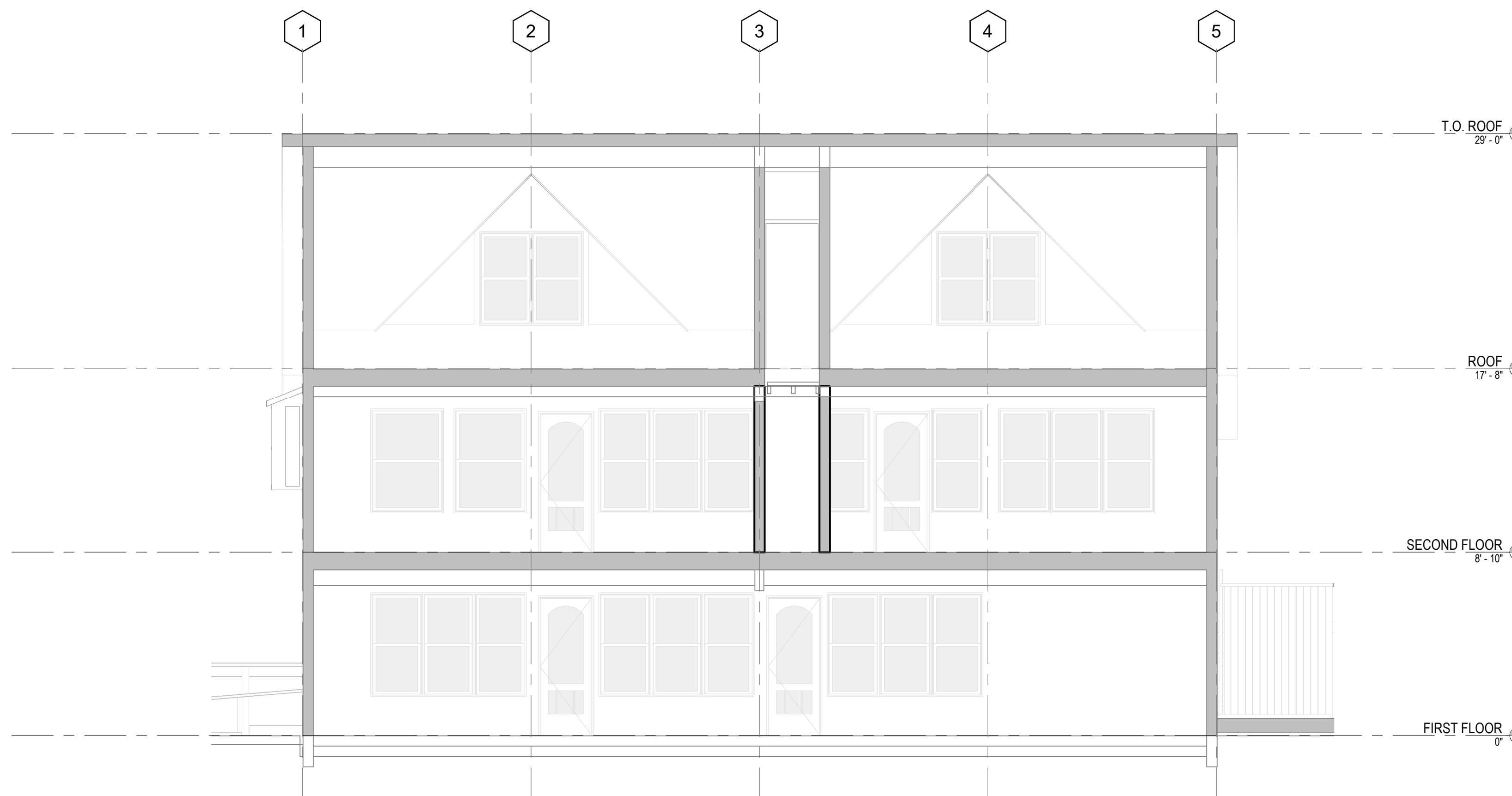
STRUCTURAL ENGINEER

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SECTION 2
 1/4" = 1'-0" 2



SECTION 1
 1/4" = 1'-0" 1

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DRAWING TITLE
PROPOSED SECTIONS

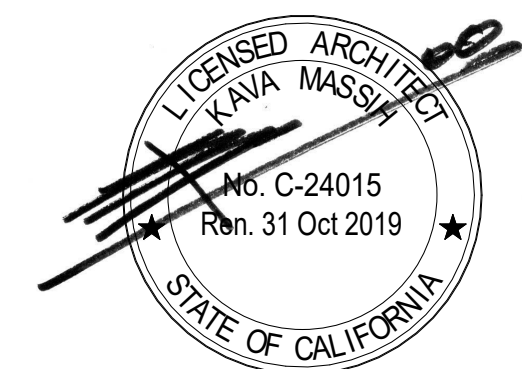
PROJECT NUMBER 2005
 DATE AUGUST 05, 2020
 DRAWN BY Author
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 SCALE 1/4" = 1'-0"
 SHEET

A3.3



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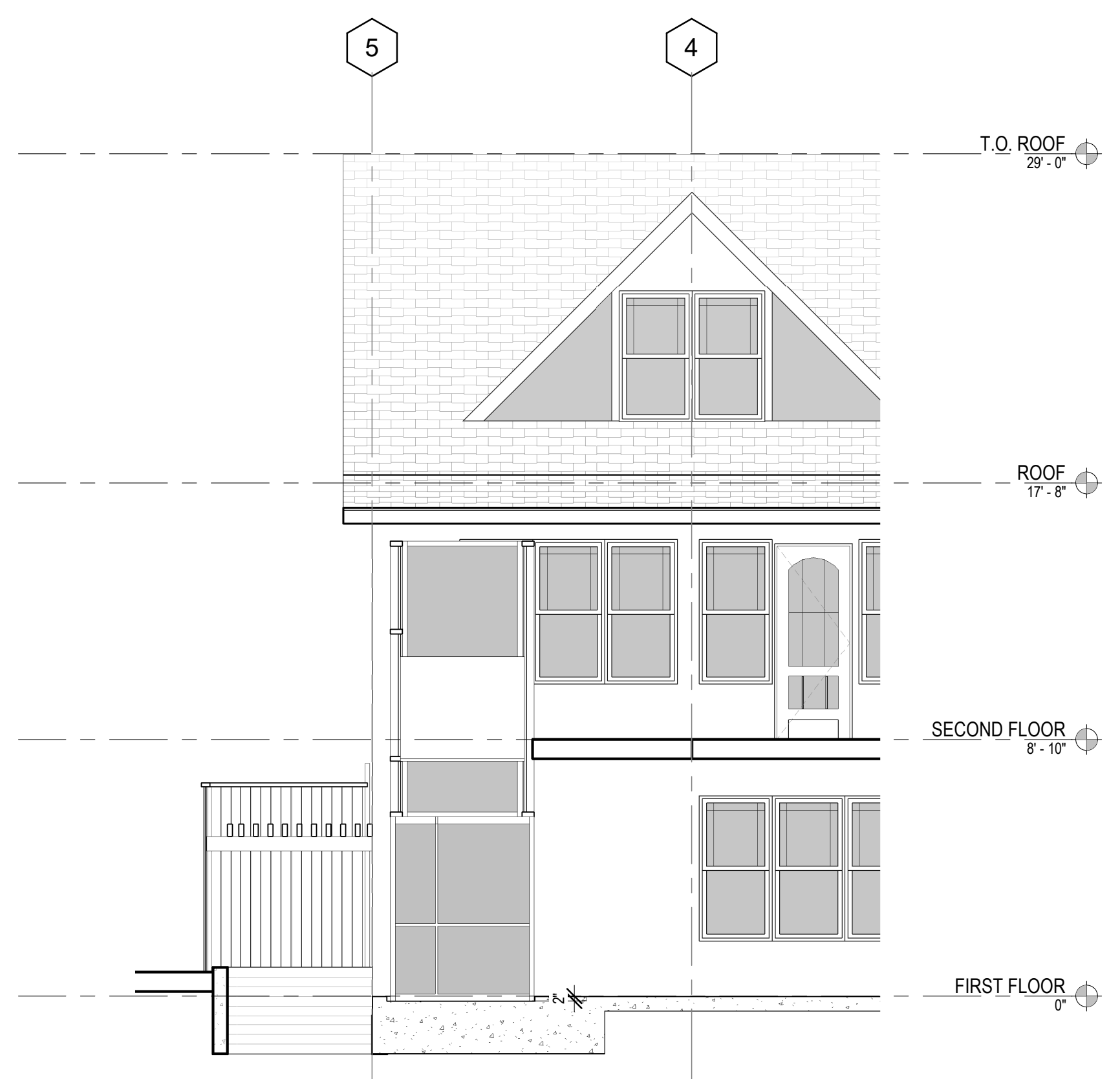
SEAL & SIGNATURE



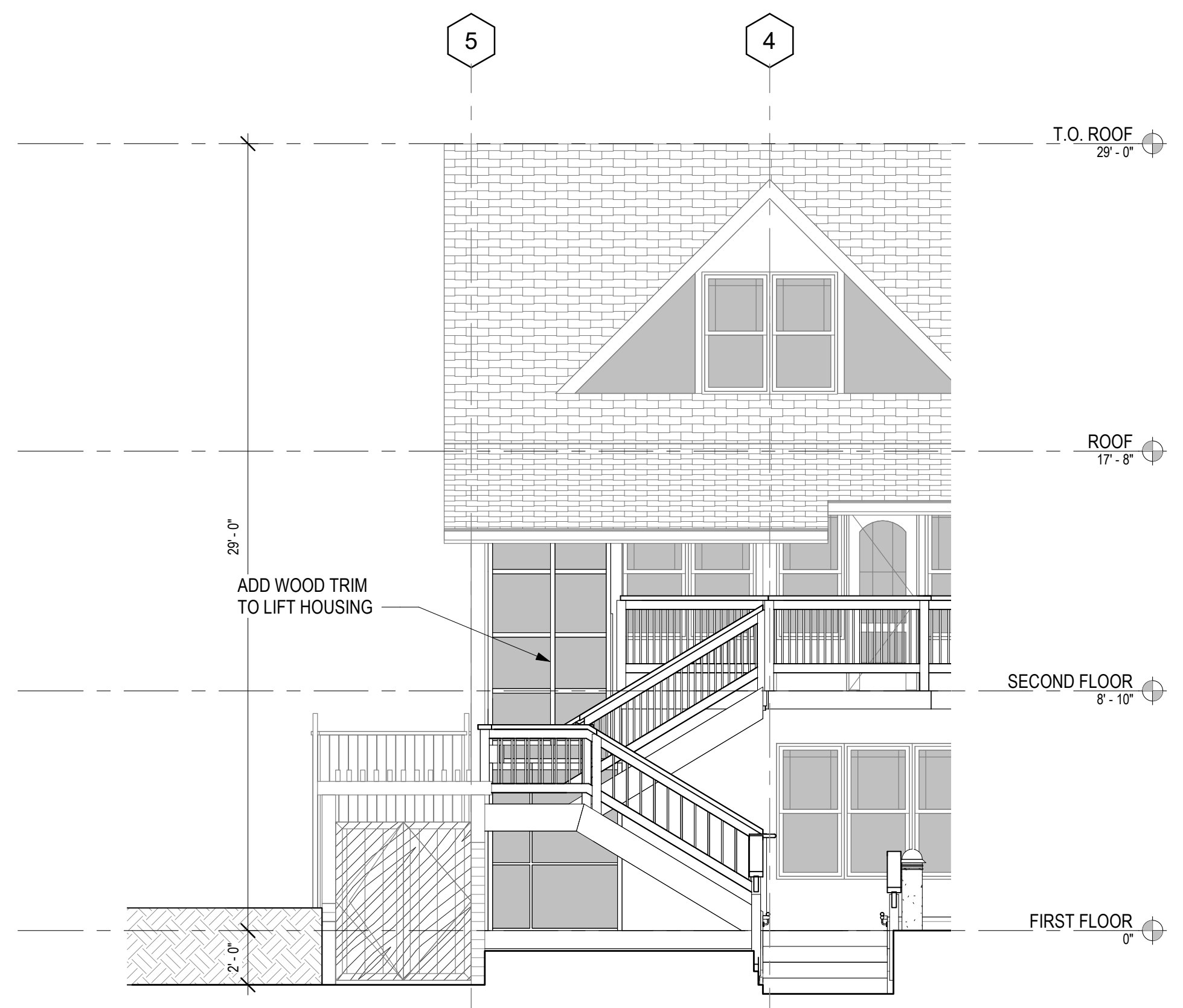
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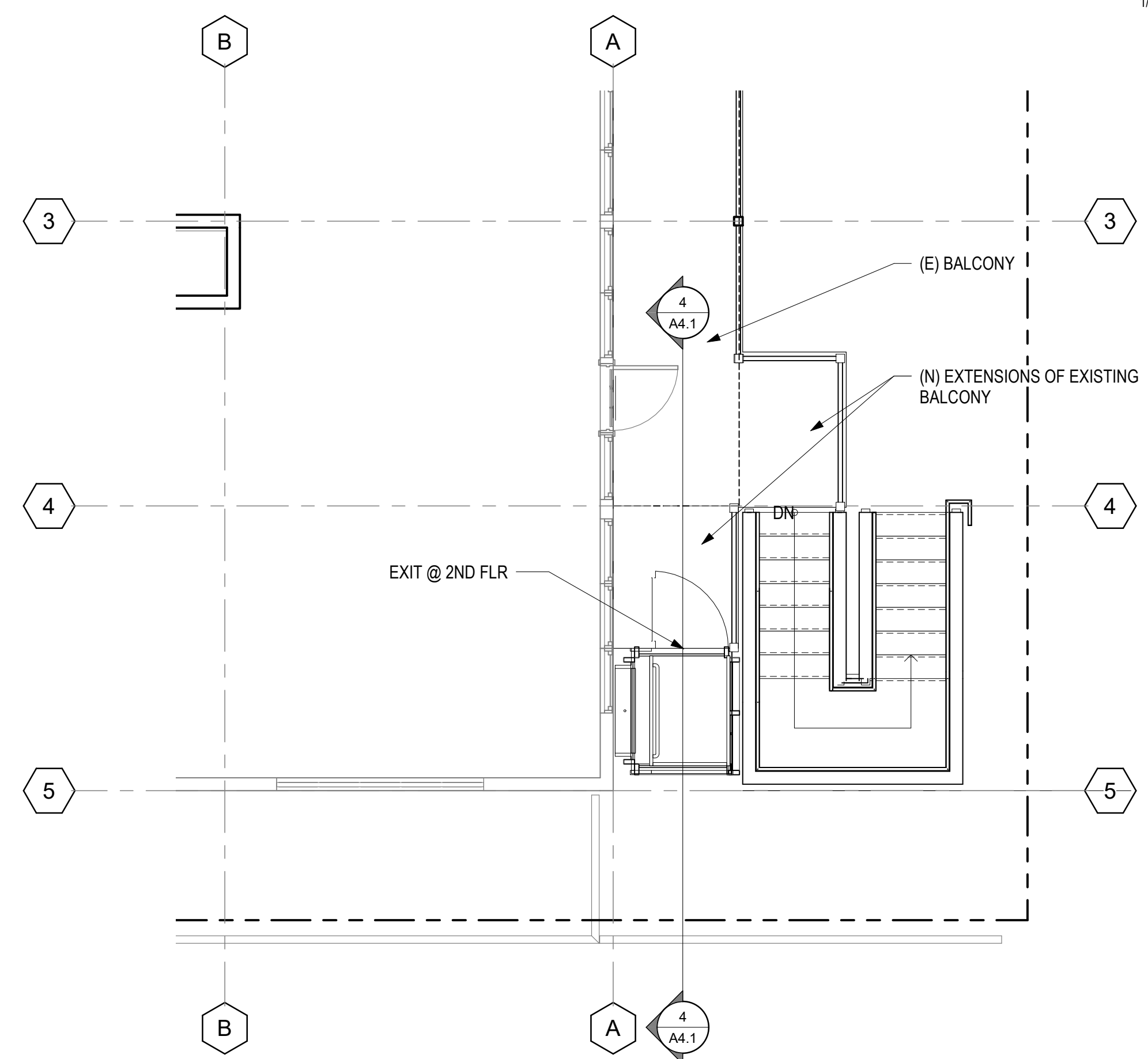
AGENCY APPROVAL



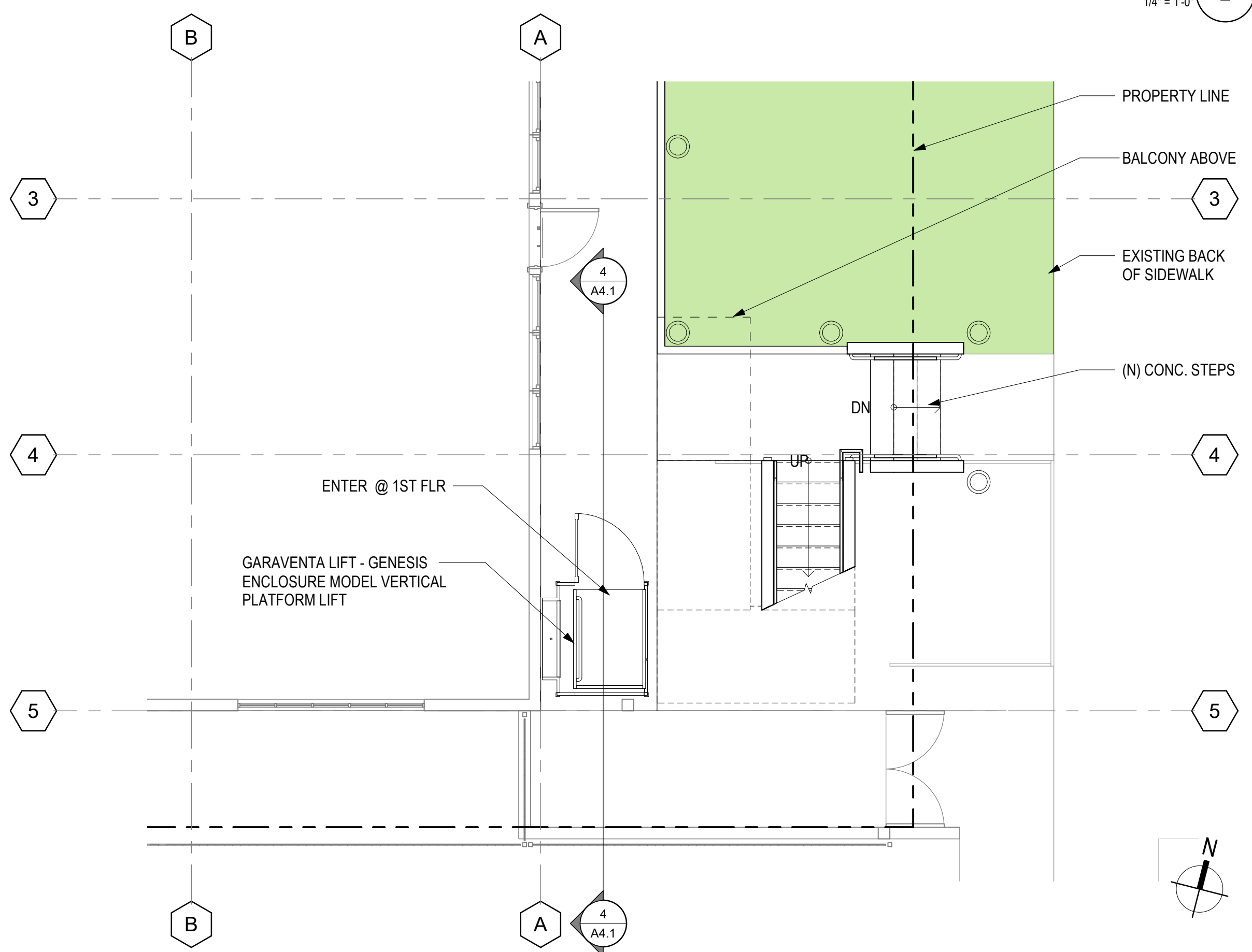
SECTION THROUGH LIFT
1/4" = 1'-0" 4



LIFT (EAST ELEVATION)
1/4" = 1'-0" 2



LIFT (SECOND FLOOR)
1/4" = 1'-0" 3



LIFT (FIRST FLOOR)
1/4" = 1'-0" 1

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DRAWING TITLE
ENLARGED LIFT DRAWINGS

PROJECT NUMBER 2005
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SCALE 1/4" = 1'-0"
SHEET

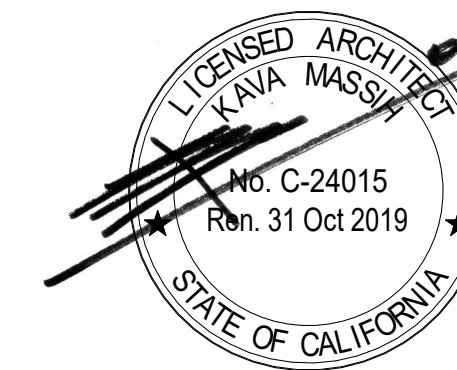
A4.1

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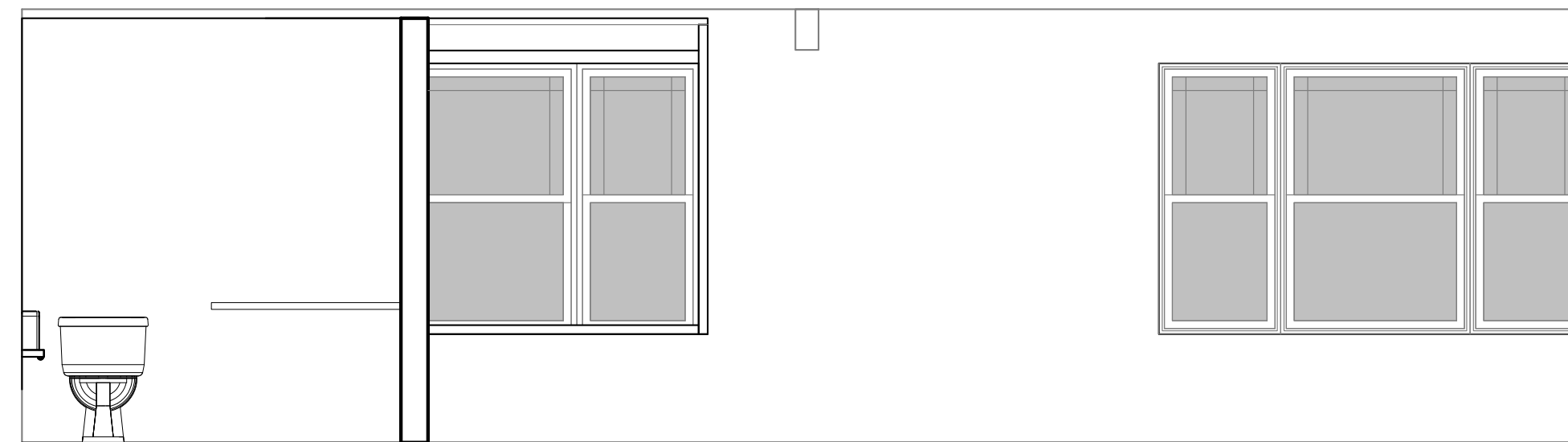
REVISIONS
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DRAWING TITLE

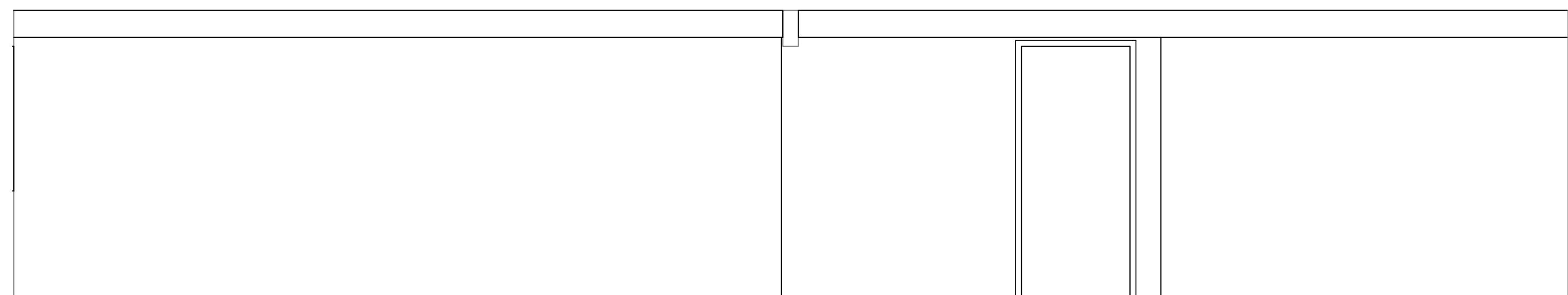
INTERIOR ELEVATIONS

PROJECT NUMBER 2005
DATE AUGUST 05, 2020
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SCALE 3/8" = 1'-0"
SHEET

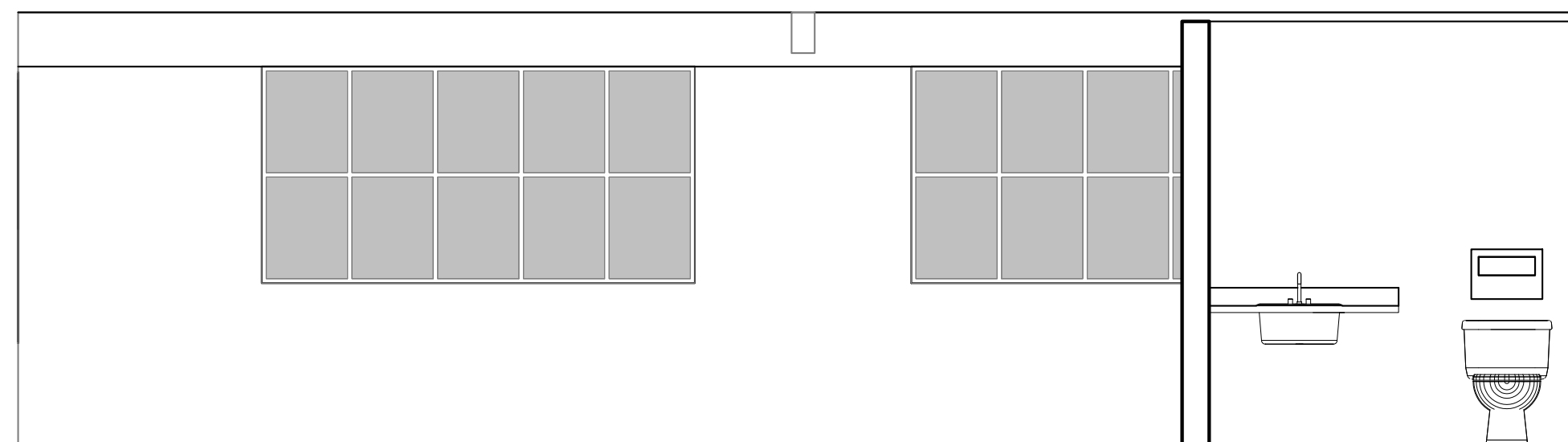
A5.1



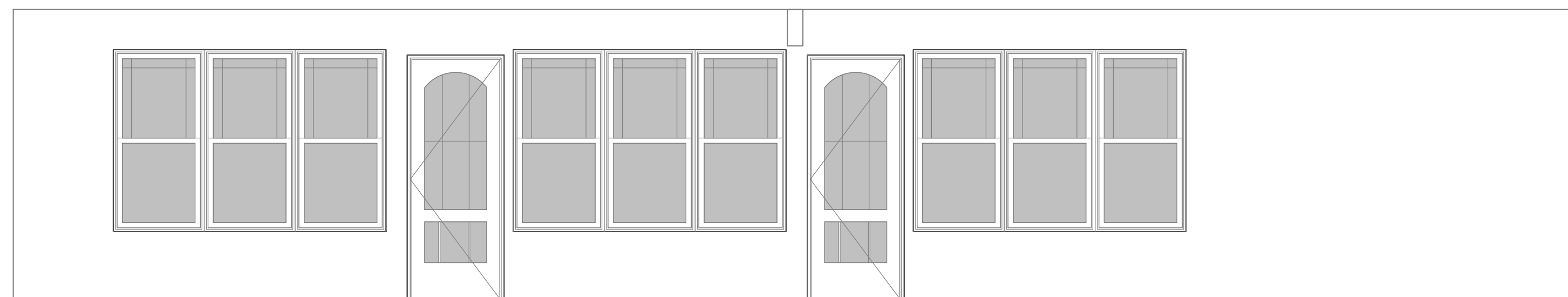
D



C



B



A

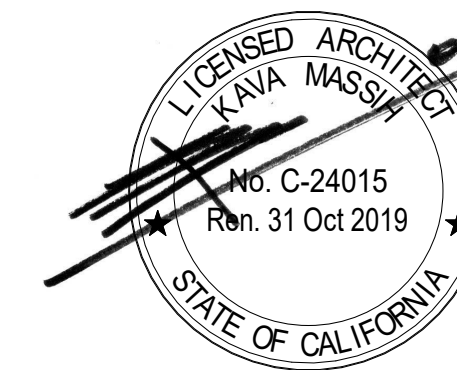
1ST FLOOR INTERIOR ELEVATION 1
3/8" = 1'-0"

1



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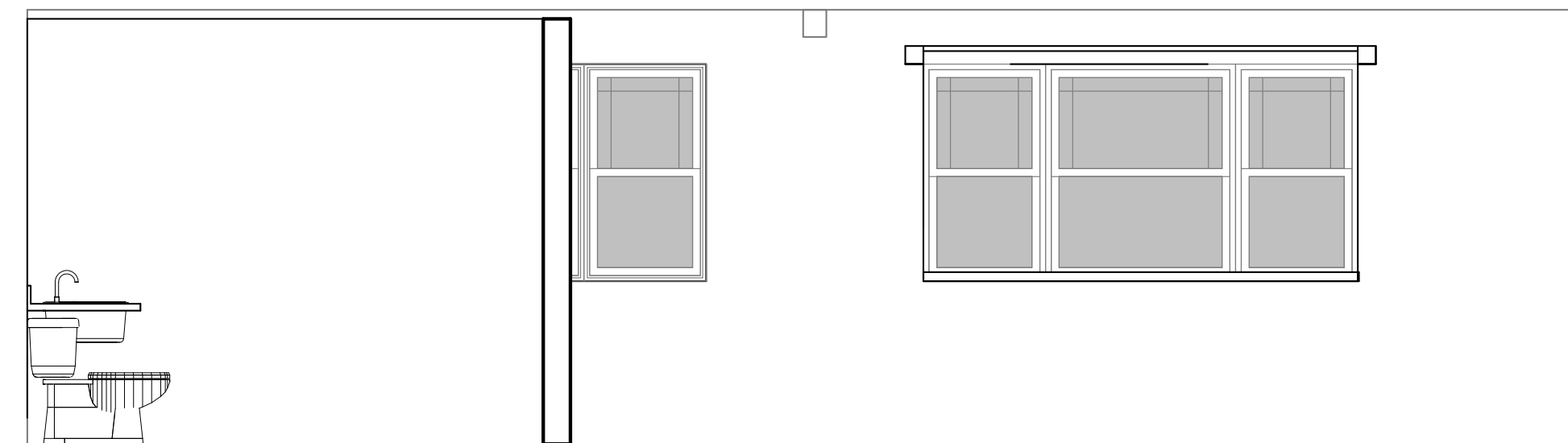
REVISIONS
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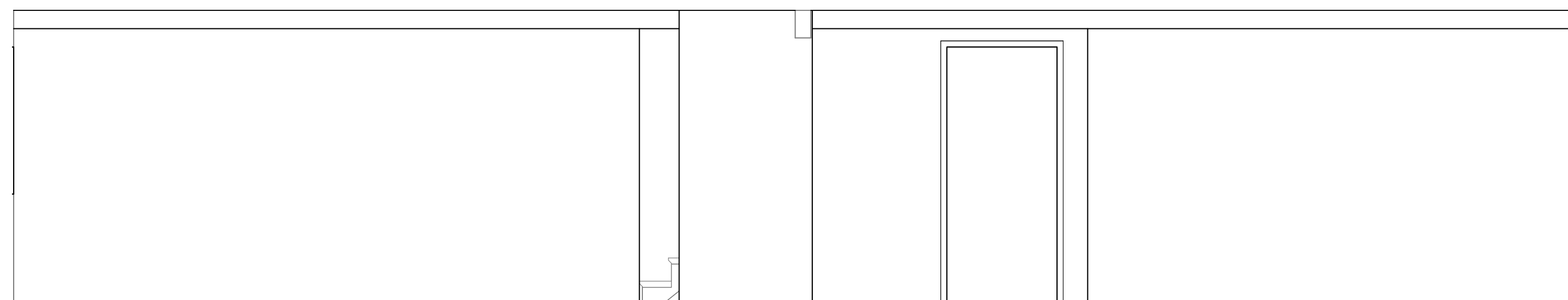
INTERIOR ELEVATIONS

PROJECT NUMBER 2005
DATE AUGUST 05, 2020
DRAWN BY Author
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SCALE 3/8" = 1'-0"
SHEET

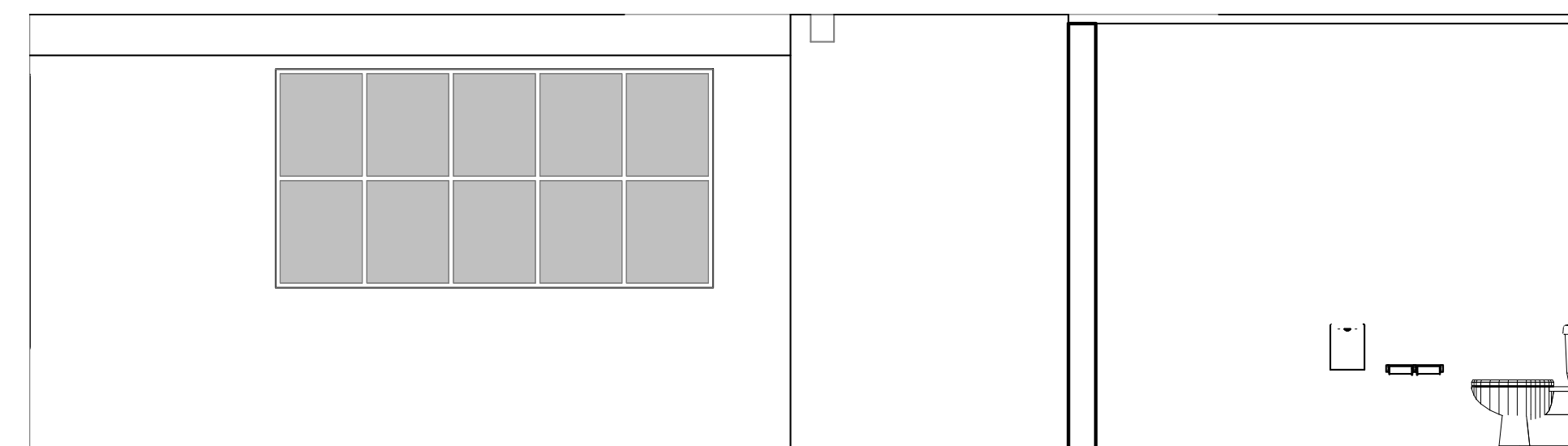
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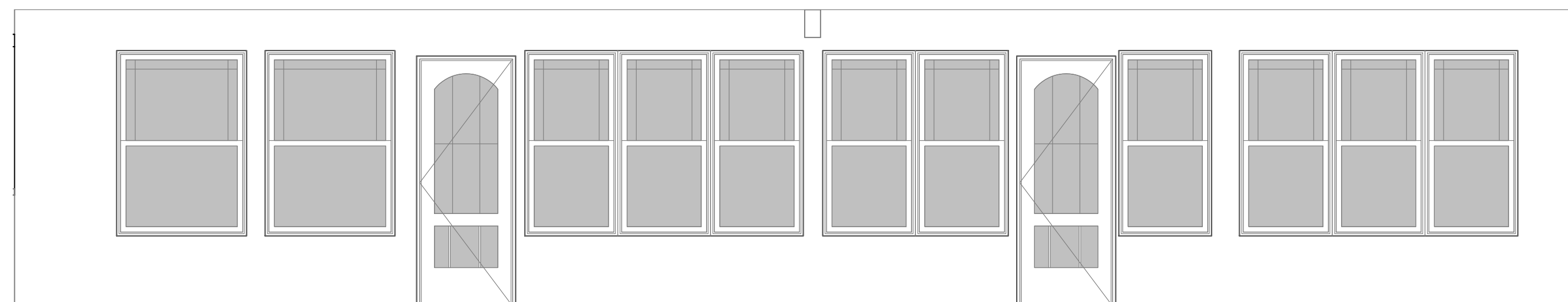
D



C



B



A

2ND FLOOR INTERIOR ELEVATION 1

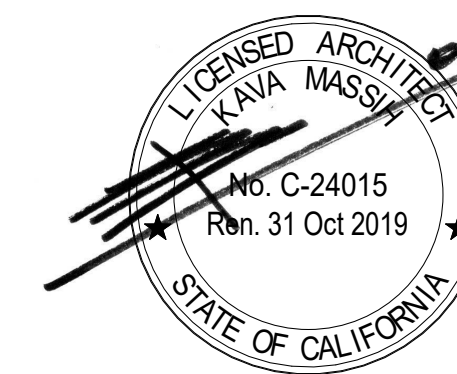
3/8" = 1'-0"

1



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906 ENSENADA SHELL ONLY

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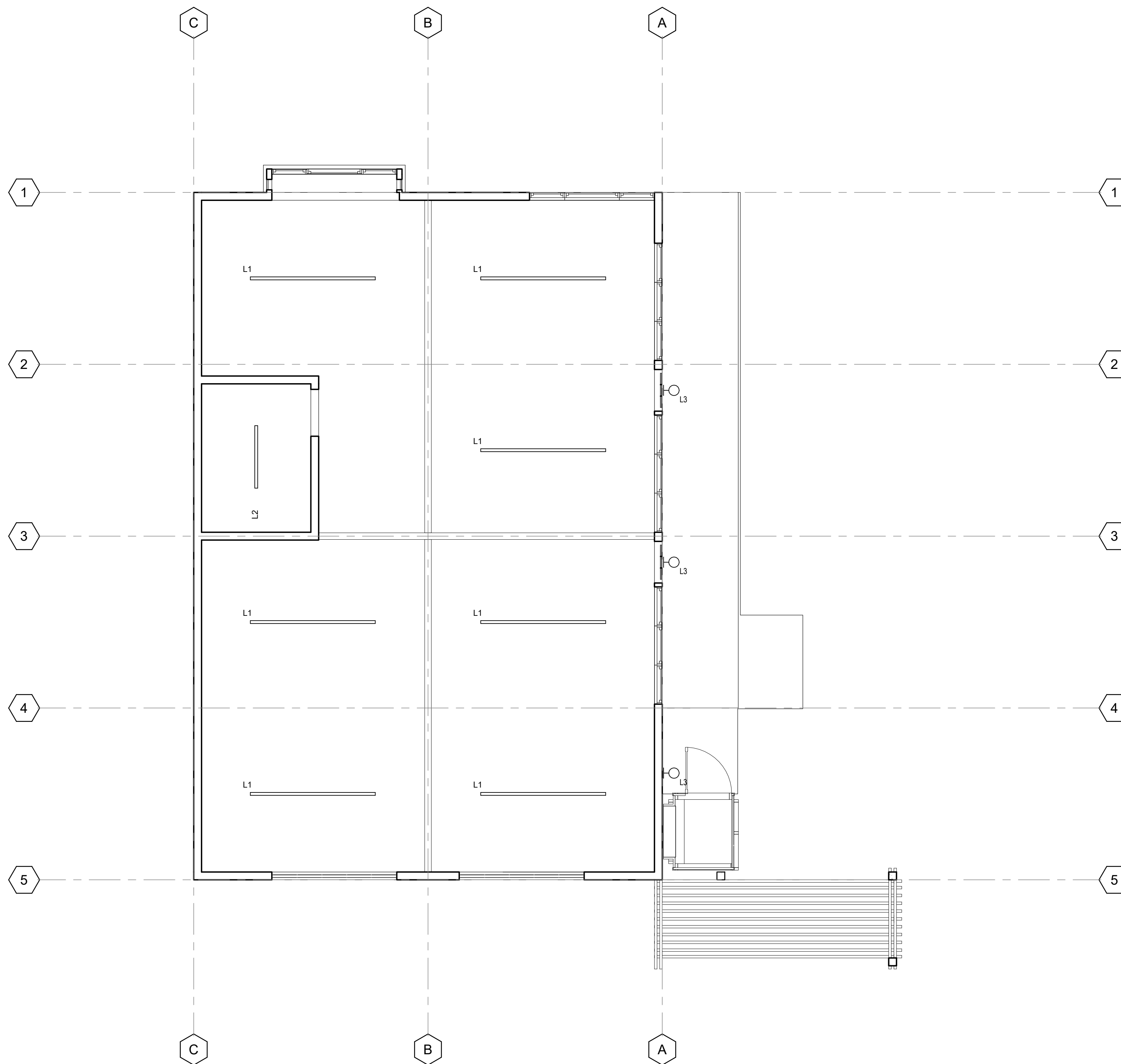
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DRAWING TITLE

FIRST FLOOR REFLECTED CEILING PLAN

PROJECT NUMBER 2005
 DATE AUGUST 05, 2020
 DRAWN BY Author
 CHECKED BY Checker
 SCALE 1/4" = 1'-0"
 SHEET

A6.1



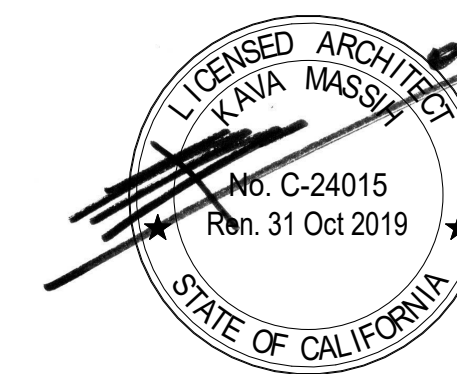
FIRST FLOOR REFLECTED CEILING PLAN
 1/4" = 1'-0"

1



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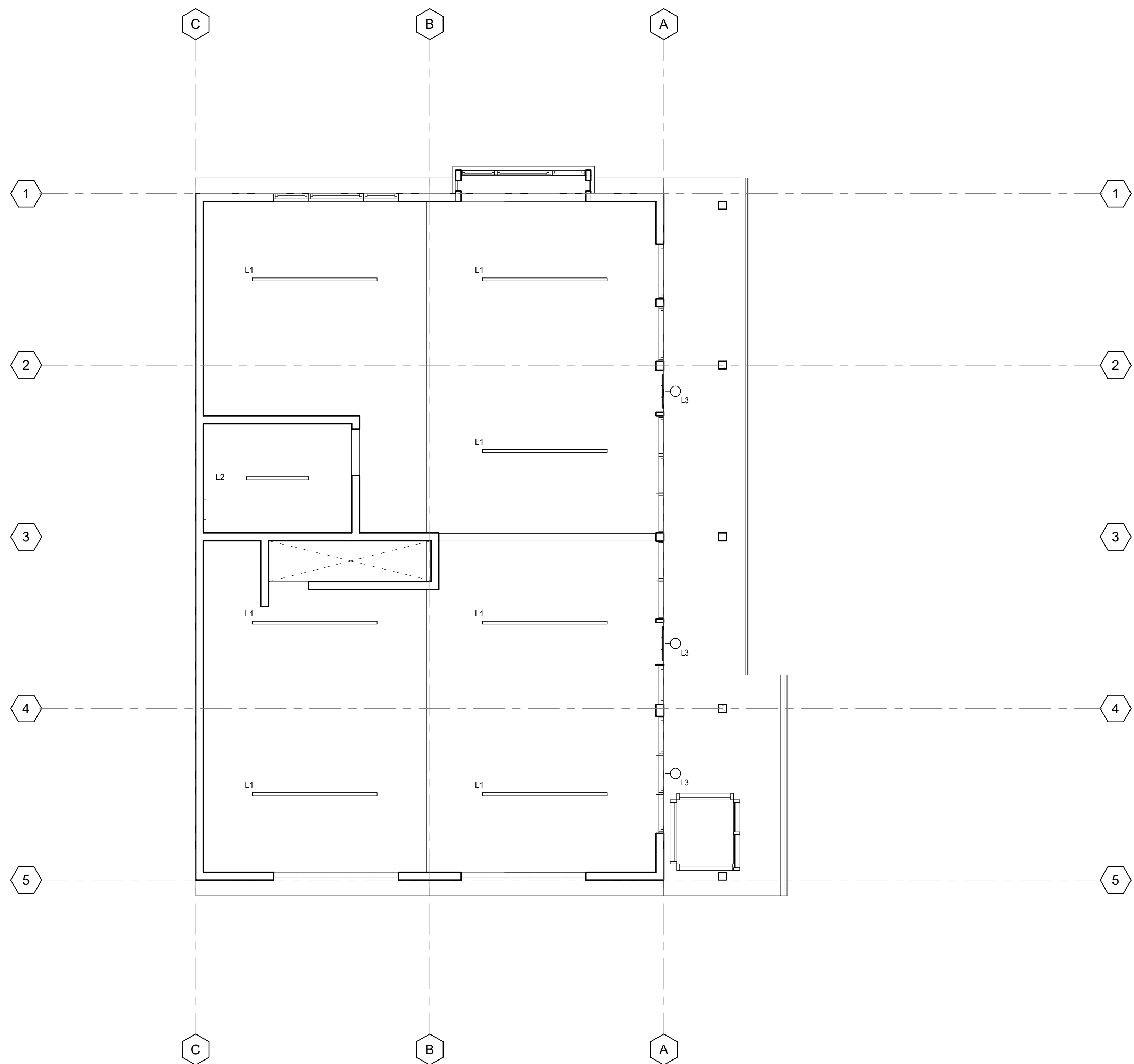
910 Ensenada Avenue

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DRAWING TITLE
SECOND FLOOR REFLECTED CEILING PLAN

PROJECT NUMBER 2005
 DATE AUGUST 05, 2020
 DRAWN BY Author
 CHECKED BY Checker
 SCALE 1/4" = 1'-0"
 SHEET

A6.2



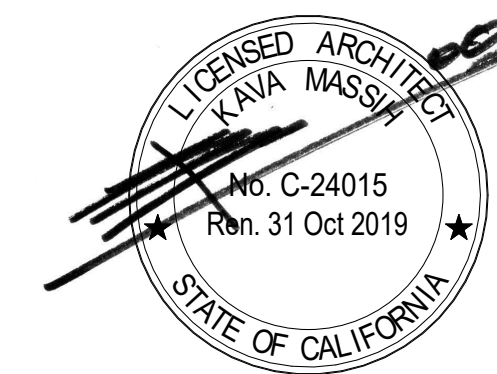
SECOND FLOOR REFLECTED CEILING PLAN
 1/4" = 1'-0" 1

8/7/2020 3:40:36 PM



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906 ENSENADA SHELL ONLY

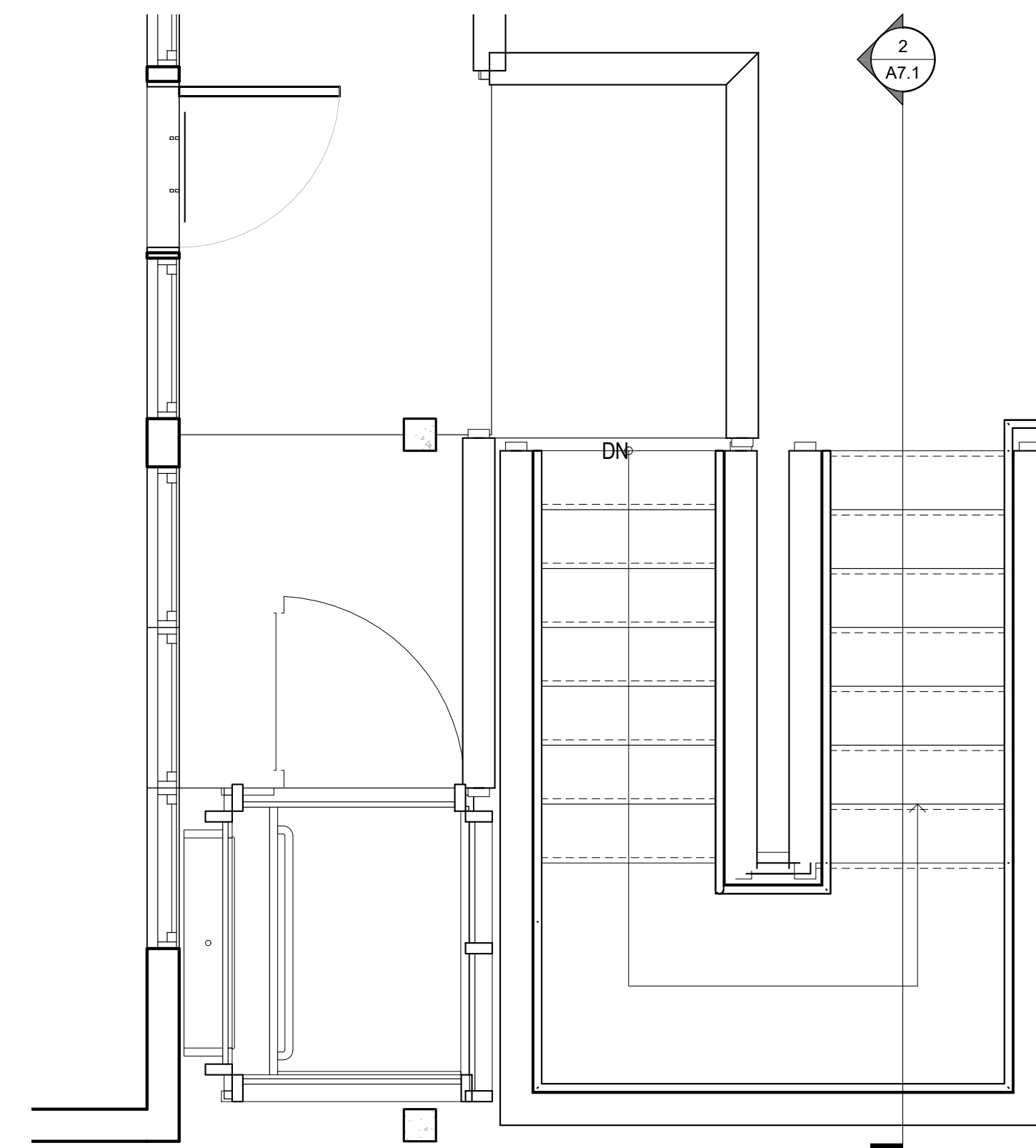
910 Ensenada Avenue

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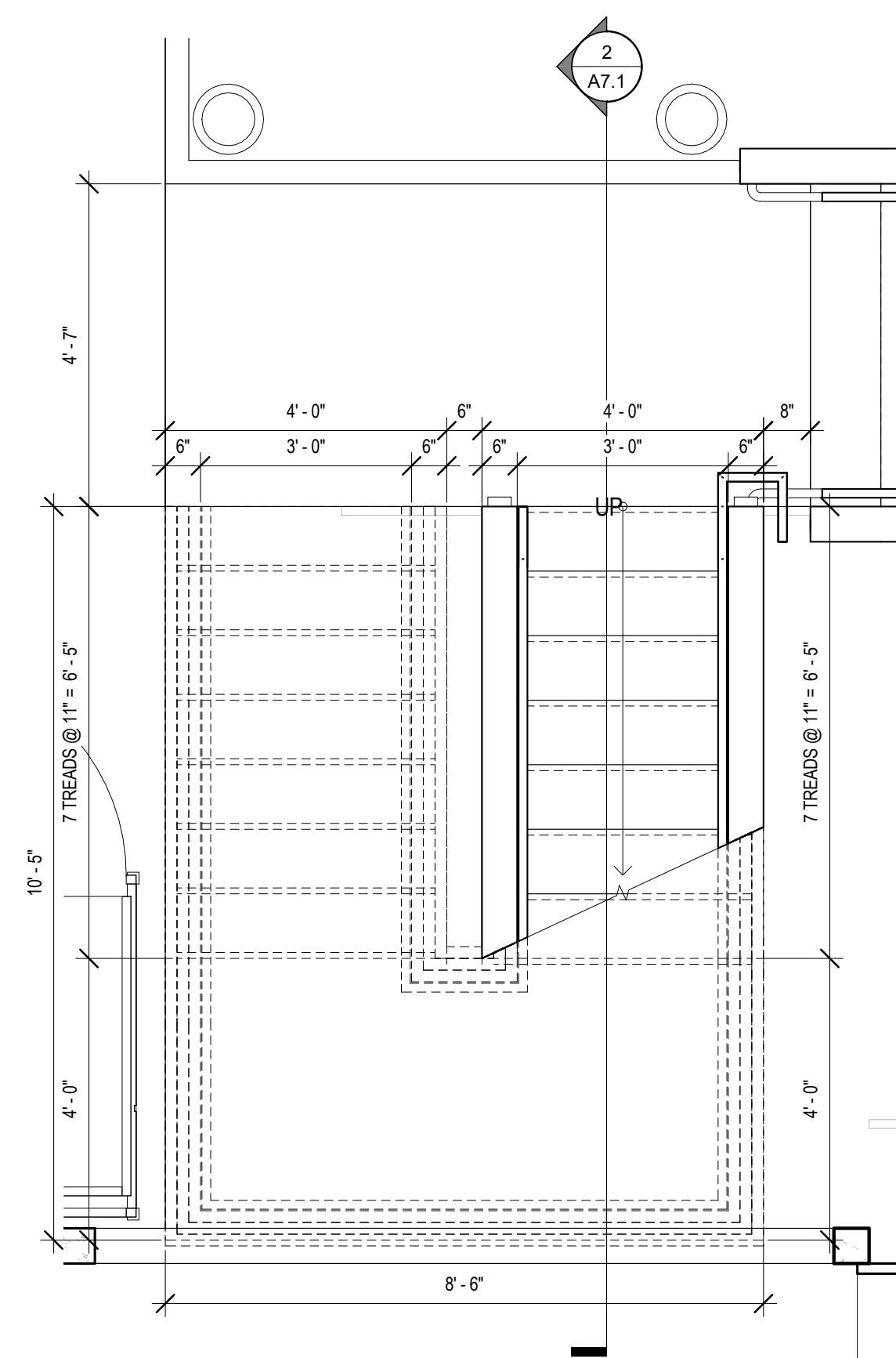
DRAWING TITLE
STAIR DETAILS

PROJECT NUMBER 2005
DATE AUGUST 05, 2020
DRAWN BY Author
CHECKED BY Checker
SCALE 1/2" = 1'-0"
SHEET

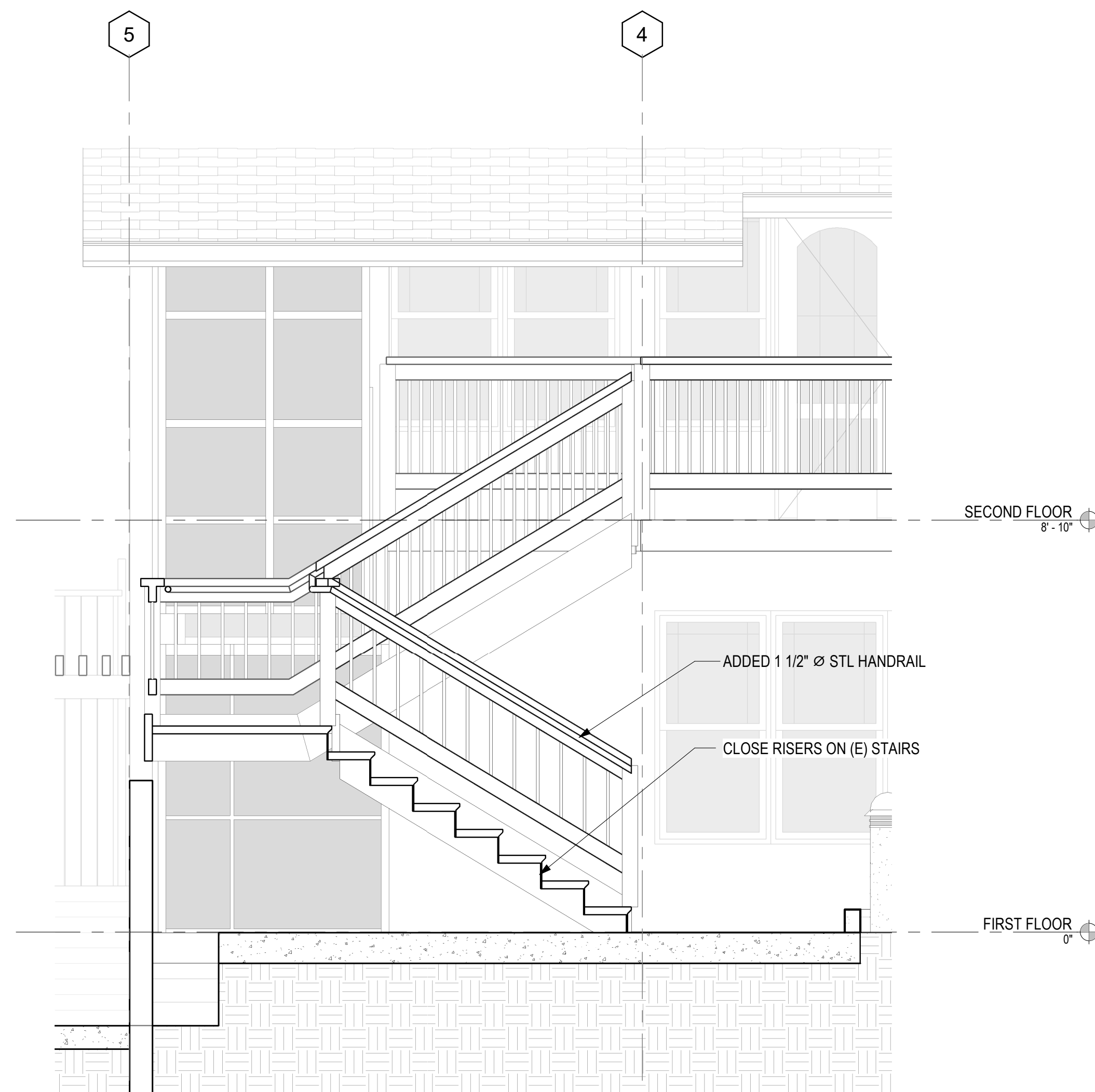
A7.1



STAIR - ENLARGED SECOND FLOOR PLAN 1/2" = 1'-0" 3



STAIR - ENLARGED FIRST FLOOR PLAN 1/2" = 1'-0" 1



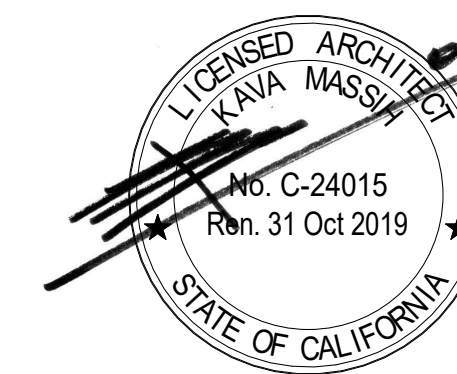
STAIR - SECTION 1/2" = 1'-0" 2

8/7/2020 3:40:39 PM



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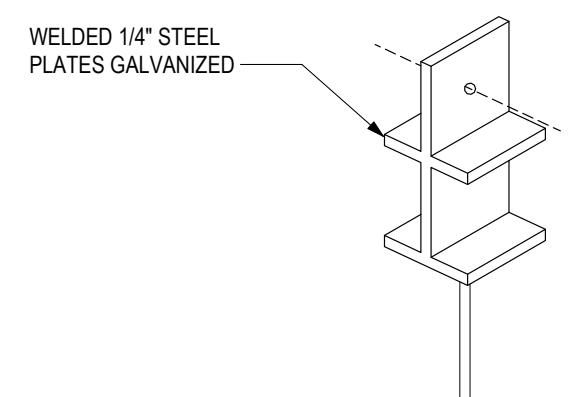
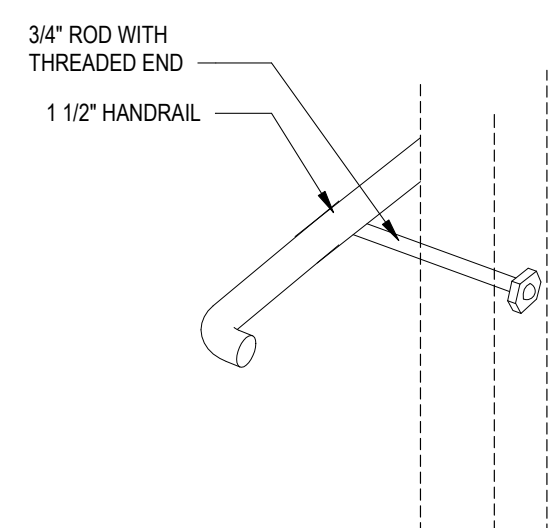
910 Ensenada Avenue

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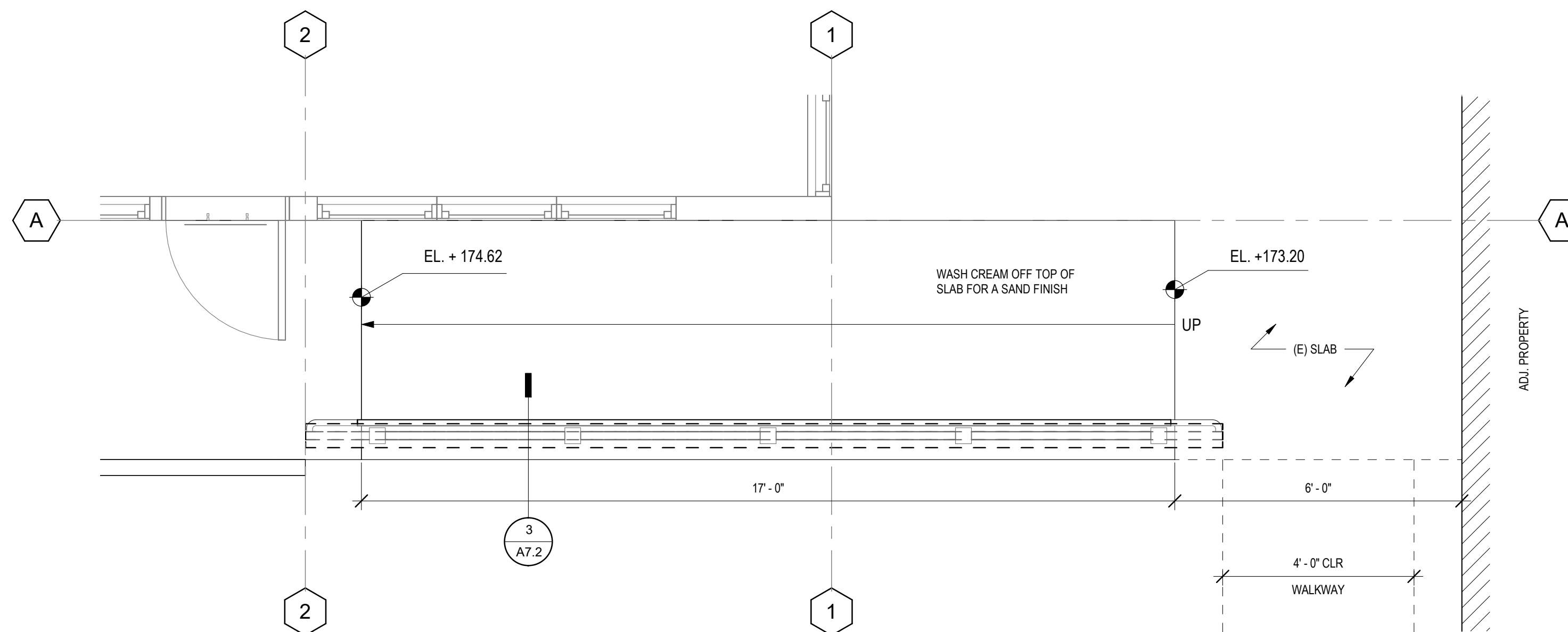
DRAWING TITLE
RAMP DETAILS

PROJECT NUMBER 2005
DATE AUGUST 05, 2020
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SCALE As indicated
SHEET

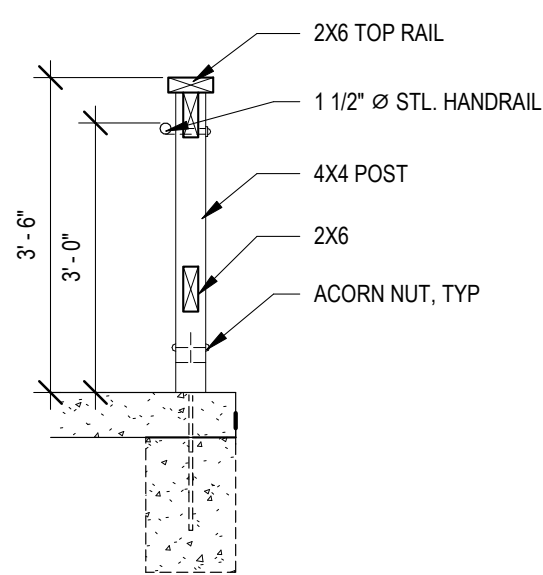
A7.2



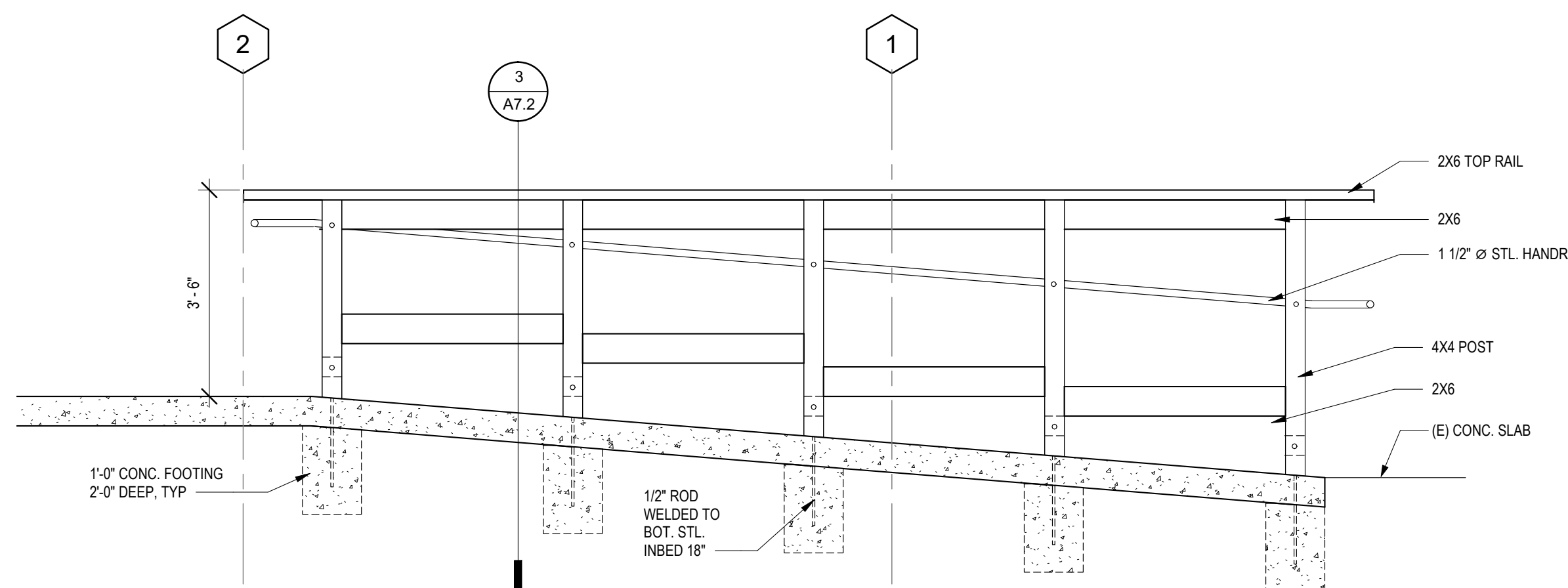
3D DETAILS
1 1/2" = 1'-0" 4



PLAN
1/2" = 1'-0" 2



RAILING SECTION
1/2" = 1'-0" 3



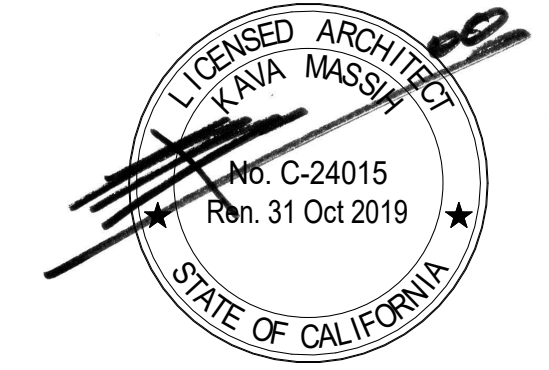
SECTION
1/2" = 1'-0" 1

8/7/2020 3:40:40 PM



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DRAWING TITLE

CONCRETE STEPS AND
GUARDRAIL DETAILS

PROJECT NUMBER 2005

DATE AUGUST 05, 2020

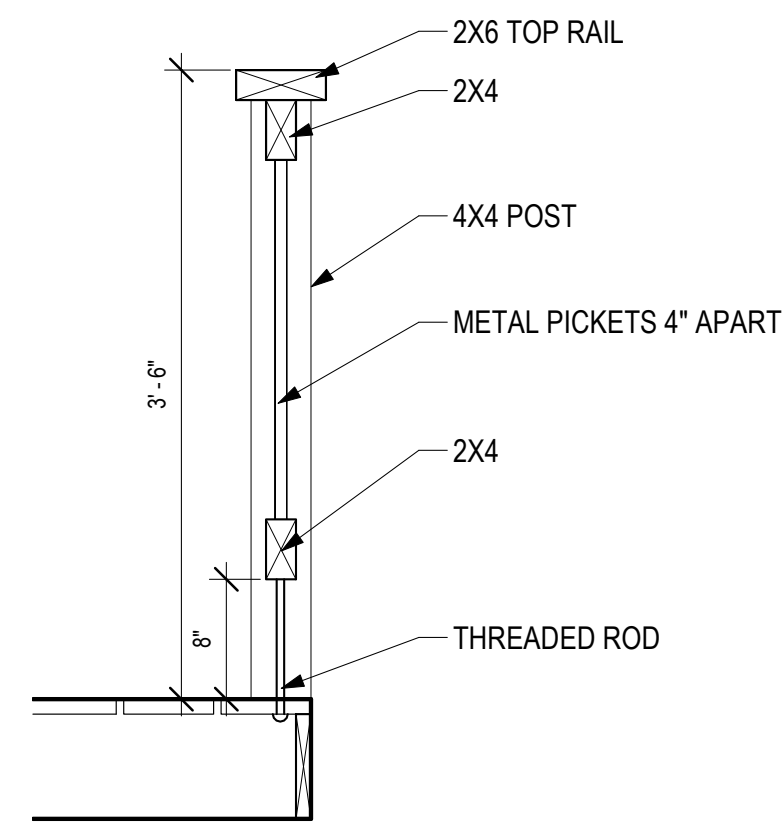
DRAWN BY Author

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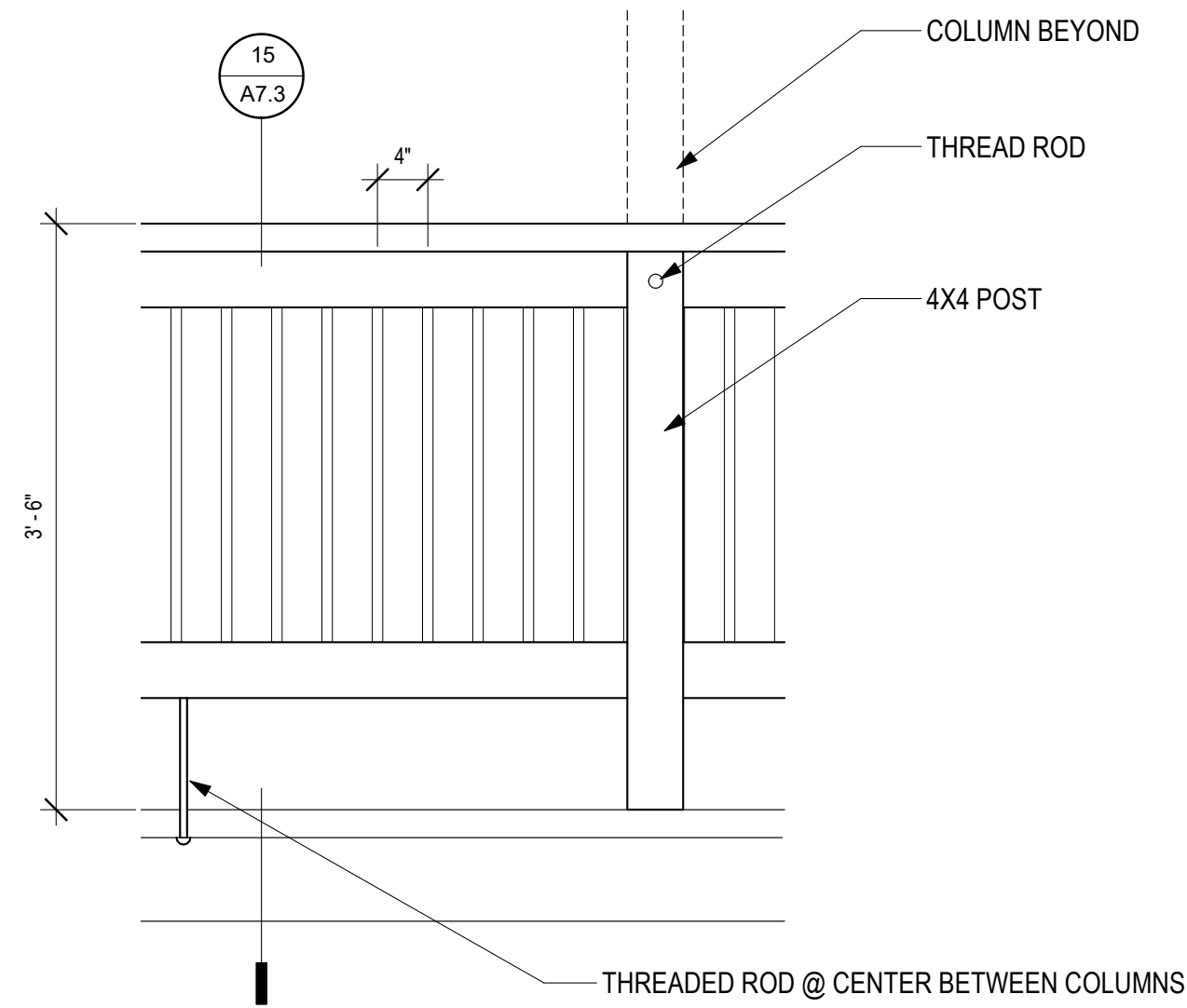
SCALE As indicated

SHEET

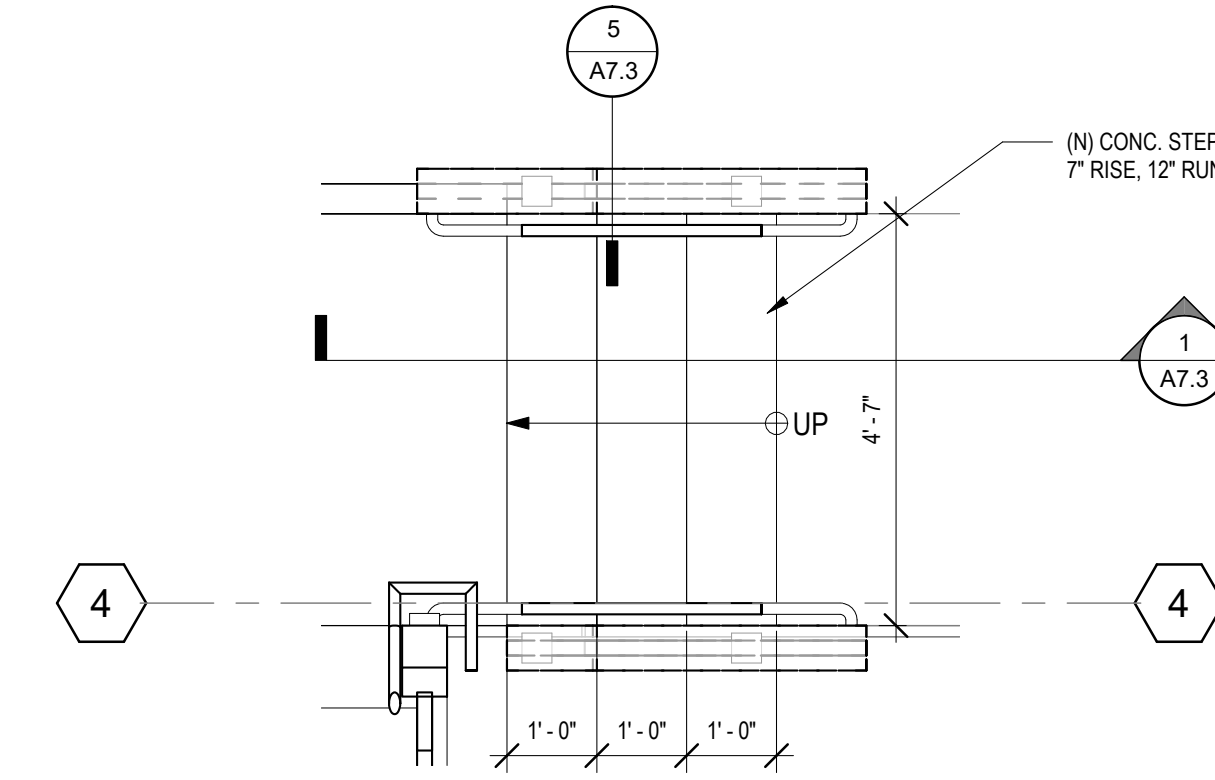
A7.3



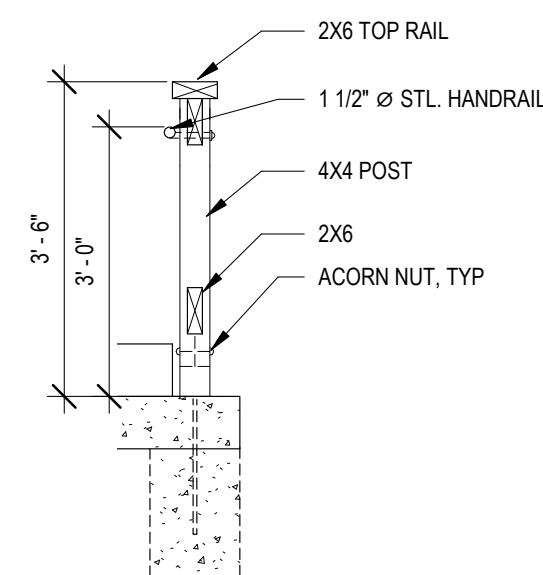
BALCONY GUARDRAIL SECTION 15
1/2" = 1'-0"



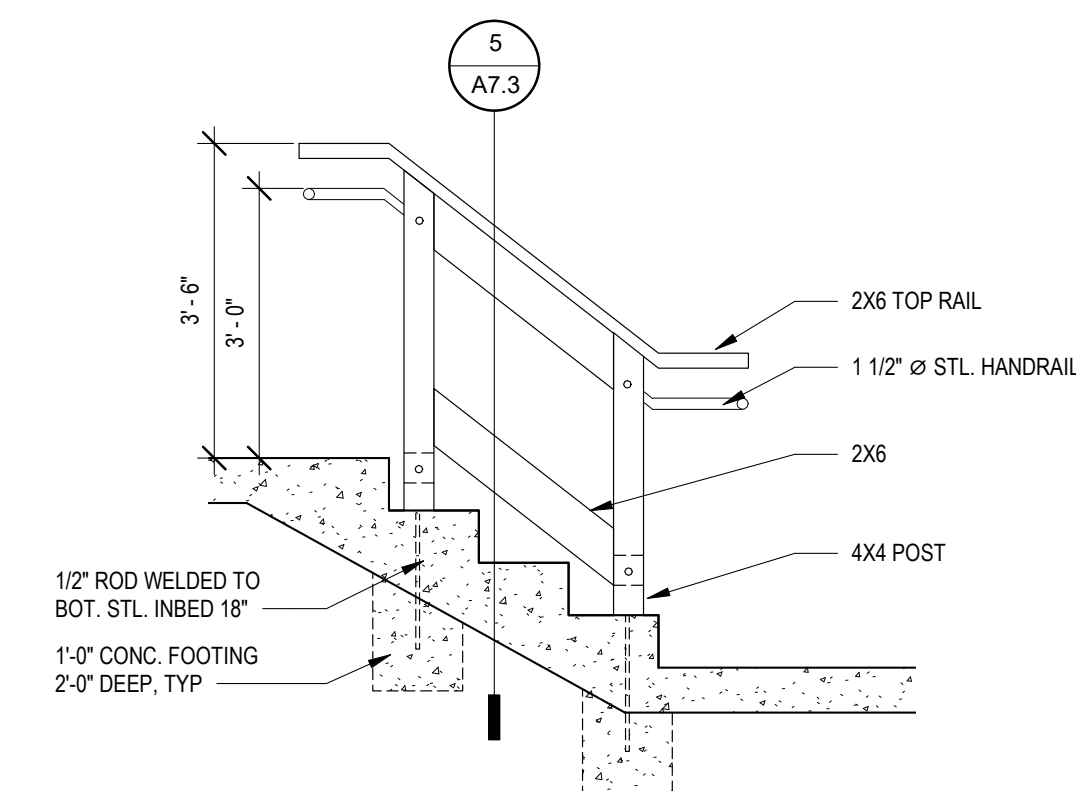
BALCONY GUARDRAIL ELEVATION 11
1" = 1'-0"



PLAN 2
1/2" = 1'-0"



GUARDRAIL SECTION 5
1/2" = 1'-0"

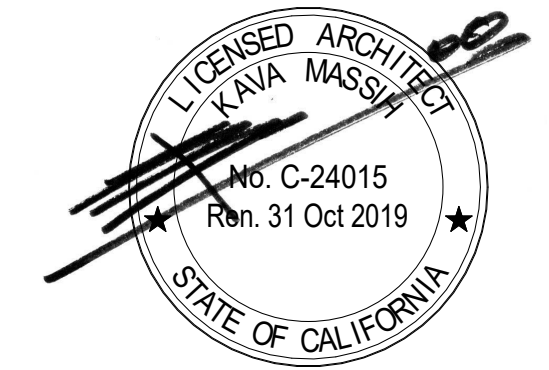


SECTION 1
1/2" = 1'-0"



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FIXTURE AND FINISH SCHEDULES

PROJECT NUMBER 2005
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SHEET

A10.1

MATERIALS

CONCRETE FINISHES

CODE	MATERIAL DESCRIPTION	GENERAL LOCATION
CONC-1	MATERIAL: CONCRETE TEXTURE: BROOM FINISH: INTEGRAL COLOR, SEALER, MATTE SHEEN	INTERIOR HORIZONTAL CONCRETE SURFACES SLIP-RESISTANT

WOOD

CODE	MATERIAL DESCRIPTION	GENERAL LOCATION
WD-1	PRODUCT: STANDING & RUNNING TRIM MATERIAL: WOOD OR MDF FINISH: PAINT TBD	WOOD BASE, DOOR/ OPENING CASINGS

ROOFING

CODE	MATERIAL DESCRIPTION	GENERAL LOCATION
TPO	PRODUCT: MATCH EXISTING MANUFACTURER: TBD PRODUCT: TBD COLOR: MATCH EXISTING	TYPICAL ROOFING UNLESS OTHERWISE NOTED

WINDOWS

TYPE	BASIS-OF-DESIGN
FIXED	MANUFACTURER: TBD PRODUCT: TBD FRAME: MATCH EXISTING OPTIONS: FINISH: GLAZING: DOUBLE GLAZED

GLAZING

CODE	MATERIAL DESCRIPTION	GENERAL LOCATION
GL-1	PRODUCT: INSULATED GLASS, LOW-E MANUFACTURER: PPG OR EQUAL PRODUCT: SOLARBAN 60 EXTERIOR CLEAR INTERIOR FINISH: N/A COLOR: CLEAR	WINDOWS

CERAMIC TILE

CODE	MATERIAL DESCRIPTION	GENERAL LOCATION
CT-1	PRODUCT: PORCELAIN FLOOR TILE MANUFACTURER: MOSA PRODUCT: TERRA MAESTRICH SIZE: 12" x 24" COLOR: 215V PATTERN: MFR GR053-002 JOINTS: 1/8"	BATHROOM FLOORS
CT-2	PRODUCT: CERAMIC WALL TILE MANUFACTURER: TILEBAR PRODUCT: SEAPORT 2X10 COLOR: ARTIC, POLISHED ALLOWANCE: \$10/SF MATERIAL	BATHROOM WAINSCOT

PAINT

CODE	MATERIAL DESCRIPTION	GENERAL LOCATION
PT-1	PRODUCT: EXTERIOR COMMERCIAL GRADE PAINT MANUFACTURER: KELLY MOORE, OR EQUAL PRODUCT NUMBER: TBD COLOR: TBD	EXTERIOR CONCRETE/MASONRY
PT-2	PRODUCT: EXTERIOR COMMERCIAL GRADE PAINT MANUFACTURER: KELLY MOORE, OR EQUAL PRODUCT NUMBER: TBD COLOR: TBD	EXTERIOR METAL
PT-3	PRODUCT: EXTERIOR COMMERCIAL GRADE PAINT MANUFACTURER: KELLY MOORE, OR EQUAL PRODUCT NUMBER: TBD COLOR: TBD	EXTERIOR WOOD SIDING/TRIM (E) EXTERIOR WINDOWS
PT-4	PRODUCT: EXTERIOR COMMERCIAL GRADE PAINT MANUFACTURER: KELLY MOORE, OR EQUAL PRODUCT NUMBER: TBD COLOR: TBD	MISC
PT-5	PRODUCT: INTERIOR COMMERCIAL GRADE PAINT MANUFACTURER: KELLY MOORE, OR EQUAL PRODUCT NUMBER: TBD COLOR: TBD	INTERIOR CONCRETE/MASONRY
PT-5	PRODUCT: INTERIOR COMMERCIAL GRADE PAINT MANUFACTURER: KELLY MOORE, OR EQUAL PRODUCT NUMBER: TBD COLOR: TBD	INTERIOR GYPSUM BOARD

FINISH SCHEDULE

NUMBER	ROOM NAME	FLOOR	WALL	BASE	CEILING	NOTES
101	1ST FLR TENANT SPACE	CONC-1	GWB	WD-1/PT		
102	1ST FLR BATHROOM	CT-1	GWB	CT-2	GWB	
201	2ND FLR TENANT SPACE	CONC-1	GWB	WD-1/PT		
202	2ND FLR BATHROOM	CT-1	GWB	CT-2	GWB	
203	STORAGE/ MECH ROOM					

LIGHT FIXTURE SCHEDULE

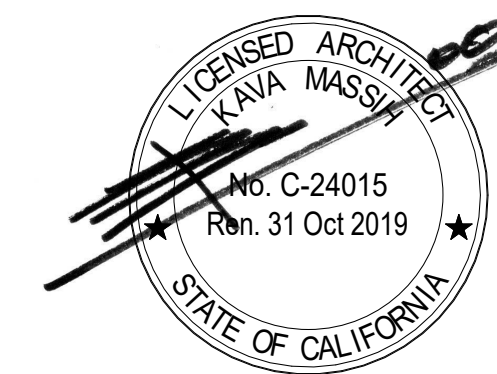
ID	MOUNTING TYPE	LAMPING	DESCRIPTION	MFR/PRODUCT	NOTES
L1	SURFACE	LED	8' SURFACE MOUNT LED STRIP	TBD	
L2	SURFACE	LED	6' SURFACE MOUNT LED STRIP	TBD	BATHROOM
L3	SURFACE	LED	EXTERIOR SCONCE	TBD	ABOVE EXTERIOR DOORS
L4		LED	EXTERIOR BOLLARD LIGHT	TBD	ALONG EXTERIOR WALKWAYS

*NOTE: INCLUDE ALLOWANCE OF \$200 PER LIGHT FIXTURE



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SEAL & SIGNATURE



CONSULTANTS

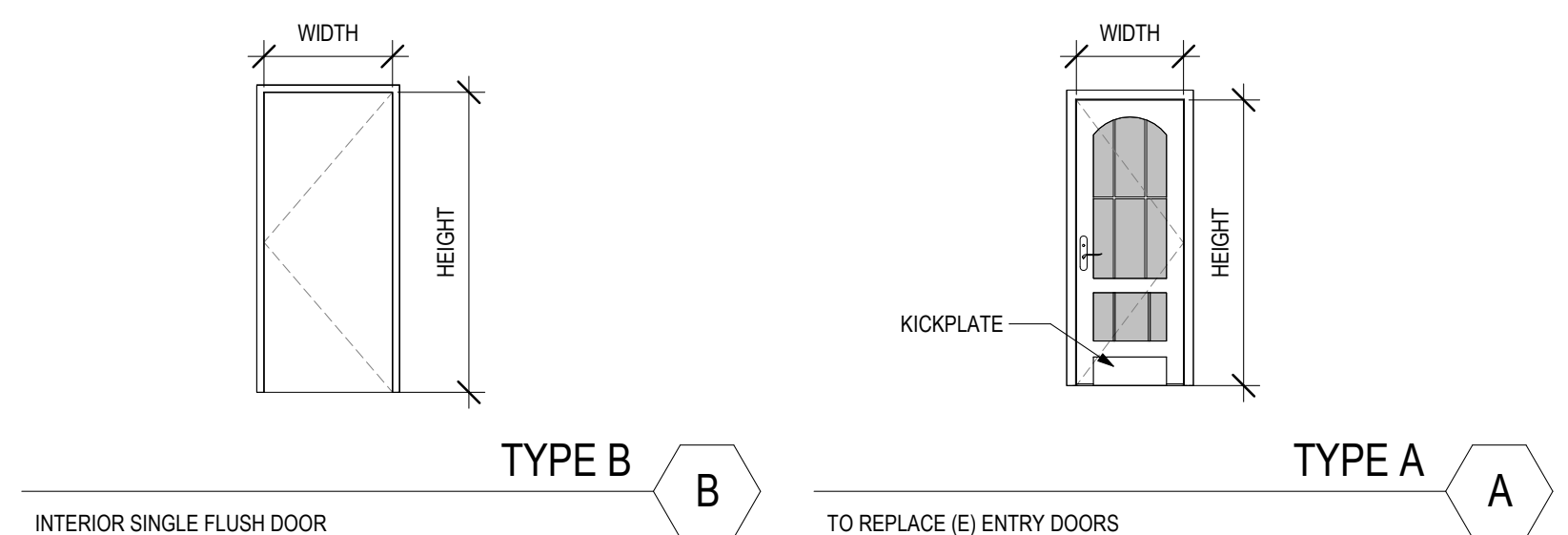
STRUCTURAL ENGINEER

JYSF
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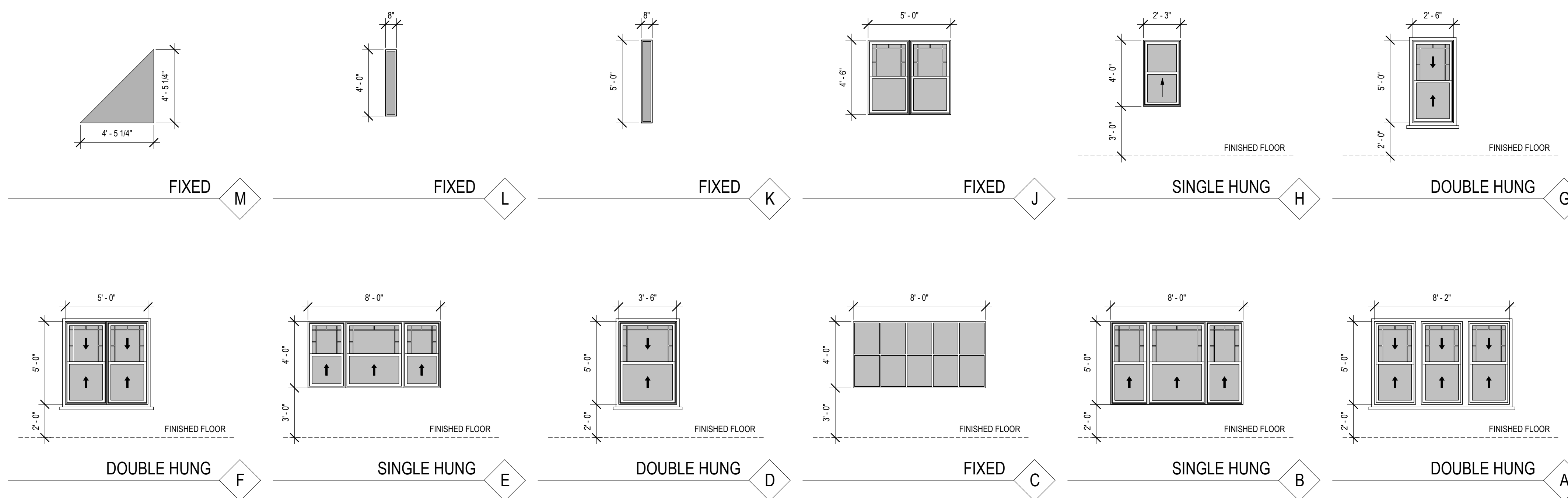
AGENCY APPROVAL

NO.	ROOM	TYPE	FIRE RATING	THICKNESS	WIDTH	HEIGHT	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	HARDWARE	NOTES
101A	1ST FLR TENANT SPACE	A*		1 3/4"	2'-6"	6'-8"	WD		WD			MATCH (E)
101B	1ST FLR TENANT SPACE	A*		1 3/4"	2'-6"	6'-8"	WD		WD			MATCH (E)
102	1ST FLR BATHROOM	B		1 3/4"	3'-0"	7'-0"	WD	PT	WD	PT		
201A	2ND FLR TENANT SPACE	A*		1 3/4"	2'-6"	6'-8"	WD		WD			MATCH (E)
201B	2ND FLR TENANT SPACE	A*		1 3/4"	2'-6"	6'-8"	WD		WD			MATCH (E)
202	2ND FLR BATHROOM	B		1 3/4"	3'-0"	7'-0"	WD	PT	WD	PT		

*DOORS AND WINDOWS TO BE FIELD MEASURED AND MATCHED WITH EXISTING



DOOR TYPES 2
1/4" = 1'-0"



*NOTE: ALL NEW WINDOWS TO BE DOUBLE GLAZED

WINDOW TYPES 1
1/4" = 1'-0"

910 Ensenada

906 ENSENADA SHELL ONLY

910 Ensenada Avenue

REVISIONS
PERMIT SUBMITTAL AUGUST 05, 2020

DRAWING TITLE
DOOR AND WINDOW SCHEDULE

PROJECT NUMBER 2005
DATE AUGUST 05, 2020
DRAWN BY Author
CHECKED BY Checker
SCALE 1/4" = 1'-0"
SHEET

A10.2

STRUCTURAL NOTES

1. GENERAL

- A. CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE.
- B. THESE NOTES APPLY TO ALL DRAWINGS AND GOVERN UNLESS OTHERWISE NOTED OR SPECIFIED.
- C. VERIFY ALL EXISTING CONDITIONS AND PROPOSED DIMENSIONS AT JOB SITE. COMPARE STRUCTURAL DRAWINGS WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS BEFORE COMMENCING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES AND DO NOT PROCEED WITH AFFECTED WORK UNTIL THEY ARE RESOLVED. DO NOT SCALE DRAWINGS.
- D. UNLESS OTHERWISE SHOWN OR NOTED, ALL TYPICAL DETAILS SHALL BE USED WHERE APPLICABLE.
- E. ALL DETAILS SHALL BE CONSIDERED TYPICAL AT SIMILAR CONDITIONS.
- F. SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF THE PERSONS AND PROPERTY, PROVIDING NECESSARY SHORING AND BRACING, AND FOR ALL NECESSARY INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE ENGINEER'S JOB SITE REVIEW IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- G. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES. ALL DAMAGE SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- H. CONTRACTOR SHALL BRING OMISSIONS OR DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS TO THE STRUCTURAL ENGINEER'S ATTENTION PRIOR TO PROCEEDING WITH THE WORK.

2. TESTS & INSPECTIONS

- A. PROVIDE TESTS AND SPECIAL INSPECTIONS FOR ALL ITEMS AS REQUIRED BY THE CALIFORNIA BUILDING CODE 2019 EDITION SECTIONS 1704, 1707 AND 1708.
- B. THE OWNER (NOT THE CONTRACTOR) SHALL BE RESPONSIBLE FOR RETAINING AN INDEPENDENT TESTING LAB TO PERFORM ALL REQUIRED TESTING AND SPECIAL INSPECTIONS. A COPY OF ALL INSPECTION REPORTS SHALL BE SUBMITTED TO THE ENGINEER.
- C. THE FOLLOWING SPECIFIC ITEMS SHALL BE INSPECTED AND/OR TESTED BY THE TESTING LAB IN ACCORDANCE WITH SECTION 1704, 1707, AND 1708 OF THE 2019 CALIFORNIA BUILDING CODE (AND AS AMENDED BY THE 2019 EDITION OF THE SAN FRANCISCO BUILDING CODE).

ITEM	TESTING LAB	ENGINEER OF RECORD
BOLTS INSTALLED IN CONCRETE	X	
PLACEMENT OF REINFORCING STEEL		X
WELDING	X	
SHEAR WALLS AND FLOOR SYSTEMS USED AS SHEAR DIAPHRAGMS		X

THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AND ENSURING THAT ALL REQUIRED TESTING & INSPECTION IS PERFORMED TO THE SATISFACTION OF THE INSPECTOR. THE CONTRACTOR SHALL VERIFY THAT ALL INSPECTIONS MATCH THOSE REQUIRED BY THE LOCAL JURISDICTION AS INDICATED ON THE SPECIAL INSPECTION FORM AND APPROVED PERMIT SET. NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES, INCLUDING HANDWRITTEN CHANGES.

**THE CONTRACTOR SHALL NOTIFY THE ENGINEER A MINIMUM OF 3 WORKING DAYS PRIOR TO TIME OF INSPECTION.

3. DESIGN BASIS – BUILDING STRUCTURES

- A. CONSTRUCT IN CONFORMANCE WITH THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
- B. GENERAL DESIGN DATA:

	DL (PSF)	LL (PSF)
ROOF	15	20
FLOOR	15	40
- C. WIND DESIGN DATA:
 BASIC WIND SPEED: 110 MPH
 WIND IMPORTANCE FACTOR: 1.0
 WIND EXPOSURE B
 DESIGN WIND PRESSURE(S) (MWFRS): 16 PSF
 DESIGN WIND PRESSURE(S) (COMPONENT & CLADDING): 25 PSF
- D. SEISMIC DESIGN DATA:
 SEISMIC IMPORTANCE FACTOR I = 1.0, OCCUPANCY CATEGORY II
 SITE COORDINATES: LATITUDE - 37° 53' 27"N LONGITUDE - 122° 16' 54"W
 MAPPED SPECTRAL RESPONSE ACCELERATION S_s = 2.206 S₁ = 0.852
 SITE CLASS: ASSUMED D
 SPECTRAL RESPONSE COEFFICIENT(S) Cs = 1.471 Sd1 = 0.852
 SEISMIC DESIGN CATEGORY:
 BASIC SEISMIC FORCE RESISTING SYSTEM(S): WOOD STRUCTURAL PANEL SHEARWALLS
 RESPONSE MODIFICATION FACTOR(S) R = 6.5
 SEISMIC RESPONSE COEFFICIENT(S) Cs = 0.226 (STRENGTH)
 DESIGN BASE SHEAR: 0.21W (ASD)
 ANALYSIS PROCEDURE USED: EQUIVALENT LATERAL FORCE PROCEDURE

4. WOOD STRUCTURAL PANELS

- A. ALL WOOD STRUCTURAL PANELS SHALL BE MARKED WITH THE APPROPRIATE TRADEMARK OF APA AND SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF VOLUNTARY PRODUCT STANDARD PS1, VOLUNTARY PRODUCT STANDARD PS 2 OR APA PRP-108 PERFORMANCE STANDARDS. PANEL THICKNESS, GRADE AND GROUP NUMBER OR SPAN RATING SHALL BE AT LEAST EQUAL TO THAT SHOWN ON THE DRAWINGS. APPLICATION SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF APA.
- B. WOOD STRUCTURAL PANEL SHEETS SHALL HAVE THICKNESS AS SPECIFIED HEREIN OR AS NOTED ON DRAWINGS
- C. WOOD STRUCTURAL PANEL SHEETS AT FLOORS AND ROOFS SHALL BE LAID WITH FACE GRAIN PERPENDICULAR TO JOISTS AND RAFTERS, UNLESS OTHERWISE SPECIFIED ON PLANS.
- D. WOOD STRUCTURAL PANEL SHEETS ON WALLS SHALL BE LAID WITH LONG DIMENSION VERTICAL. BLOCK ALL EDGES. MINIMUM DIMENSION OF PANELS ON WALLS, FLOORS OR ROOF SHALL BE 24".
- E. UNLESS OTHERWISE NOTED ON THE DRAWINGS, TYPICAL ROOF SHEATHING SHALL BE 5/8" THICK WITH SPAN RATING 40/20, EXPOSURE 1 WITH 10D NAILS @ 6" O.C. @ PANEL EDGES AND WITH 10D NAILS @ 12" O.C. IN THE FIELD. PROVIDE PLYCLIPS BETWEEN JOINTS WHERE EDGES ARE NOT BLOCKED.
- F. UNLESS OTHERWISE NOTED ON THE DRAWINGS, TYPICAL FLOOR SHEATHING SHALL BE UNBLOCKED 3/4" STURD-I-FLOOR WITH SPAN RATING 48/24, EXPOSURE 1, T & G WITH 10D NAILS @ 6" O.C. @ PANEL EDGES AND WITH 10D NAILS @ 12" O.C. IN THE FIELD (CONTRACTOR MAY OMIT T & G WHERE BLOCKED EDGES ARE SPECIFIED ON THE DRAWINGS).
- G. UNLESS OTHERWISE SPECIFIED IN A SHEARWALL SCHEDULE OR CDX ON THE DRAWINGS, ALL EXTERIOR SHEATHING SHALL BE 1/2" APA CDX 1 WITH SPAN RATING 24/0 EXPOSURE 1, NAILED WITH 10D @ 6" O.C. PANEL EDGES AND @ 12" O.C. FIELD. SEE SHEAR WALL SCHEDULE WHERE PROVIDED ON PLANS.

5. CONCRETE

- A. REINFORCE ALL CONCRETE. INSTALL ALL INSERTS, BOLTS, ANCHORS, AND REINFORCING AND SECURELY TIE PRIOR TO PLACING CONCRETE.
- B. NO MORE THAN 90 MINUTES SHALL ELAPSE BETWEEN CONCRETE BATCHING AND CONCRETE PLACEMENT.
- C. CONCRETE SHALL BE HARD ROCK CONCRETE, USING PORTLAND CEMENT TYPE I OR II LOW ALKALINE AND SHALL ATTAIN AN ULTIMATE COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS. MINIMUM CEMENT CONTENT = 6 SACKS/CU.YD. SEE NOTE D.
 MAXIMUM SLUMP = 4"
 AGGREGATE SIZE = MAXIMUM SIZE APPROPRIATE FOR FORM & REBAR CLEARANCE.
- D. CONTRACTOR MAY REPLACE PORTLAND CEMENT CONTENT WITH FLY ASH OR OTHER CEMENTITIOUS MATERIAL UNDER THE FOLLOWING CONDITIONS:
 1. A MAXIMUM OF 25% OF PORTLAND CEMENT CONTENT (BY WEIGHT) MAY BE REPLACED WITH OTHER CEMENTITIOUS MATERIAL WITH NO BREAK TEST RECORDS SUBMITTED.
 2. A MAXIMUM OF UP TO 50% OF PORTLAND CEMENT CONTENT (BY WEIGHT) MAY BE REPLACED WITH OTHER CEMENTITIOUS MATERIAL PROVIDED BREAK TEST RECORDS OF A MINIMUM OF 20 BREAKS WITHIN THE PAST YEAR ARE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW PRIOR TO USE.
 3. FLY ASH SHALL NOT COMPOSE MORE THAN 25% OF THE CEMENTITIOUS MATERIAL.
- E. CONCRETE SHALL BE CONTINUOUSLY CURED FOR 10 DAYS AFTER PLACING IN ANY APPROVED MANNER, INCLUDING CURING COMPOUND, CURING PAPER, ETC. NOTE: FOOTINGS ARE EXCEPTED FROM THIS REQUIREMENT.

F. LIGHT WEIGHT CONCRETE SHALL HAVE AN AIR-DRY WEIGHT OF NO MORE THAN 110 LBS. PER CUBIC FOOT. LIGHT WEIGHT AGGREGATE SHALL COMPLY WITH ASTM C-330-80 AND C-332-80. LIGHT WEIGHT CONCRETE SHALL COMPLY WITH MIX AND SLUMP REQUIREMENTS OF THE NORMAL WEIGHT CONCRETE SPECIFIED ABOVE.

G. CONDUITS OR PIPES (O.D.) WITHIN SLAB SHALL NOT EXCEED 30% OF SLAB THICKNESS AND SHALL BE SPACED AT LEAST FOUR-DIAMETER APART, UNLESS SPECIFICALLY DETAILED OTHERWISE.

H. VERIFY ALL CONCRETE WORK DIMENSIONS WITH ARCHITECTURAL DRAWINGS BEFORE POURING CONCRETE.

6. REINFORCING STEEL

- A. ALL REINFORCING STEEL BARS SHALL CONFORM WITH THE STANDARD SPECIFICATIONS FOR DEFORMED BILLET-STEEL FOR CONCRETE REINFORCEMENT, ASTM DESIGNATION A615 OR A706 FOR SHEAR WALLS AND REINFORCING TO BE WELDED. ALL BARS SHALL BE GRADE 60 UNLESS OTHERWISE NOTED.
- B. WIRE MESH SHALL CONFORM WITH ASTM A185-64.
- C. SUITABLE DEVICES OF SOME STANDARD MANUFACTURE SHALL BE USED TO HOLD REINFORCEMENT IN ITS TRUE HORIZONTAL AND VERTICAL POSITIONS. THESE DEVICES SHALL BE SUFFICIENTLY RIGID AND NUMEROUS TO PREVENT DISPLACEMENT OF THE REINFORCEMENT DURING PLACING OF CONCRETE.
- D. LAP SPLICE ALL BARS TO CLASS B SPLICE AND 2'-0" MINIMUM UNLESS OTHERWISE NOTED. PROVIDE 1 1/2" CLEARANCE BETWEEN PARALLEL BARS.
- E. UNLESS OTHERWISE NOTED, MAINTAIN COVERAGE TO FACE OF BARS AS FOLLOWS:
 - 1) 3" WHERE CONCRETE IS DEPOSITED AGAINST EARTH EXCEPT SLAB-ON-GRADE
 - 2) 2" WHERE CONCRETE IS EXPOSED TO EARTH BUT FORMED
 - 3) 1 1/2" FOR BEAMS, COLUMNS AND EXTERIOR SURFACES
 - 4) 3/4" FOR INTERIOR SLABS, JOISTS AND WALLS

F. ALL SLABS ON GRADE SHALL HAVE CONTROL JOINTS TO CREATE APPROXIMATELY 20-FOOT SQUARES, UNLESS OTHERWISE NOTED ON THE PLANS.

G. POUR SLABS OR WALLS WITH DIMENSIONS NOT EXCEEDING 60'-0". CONSTRUCT JOINTS PER CONSTRUCTION JOINT DETAILS PROVIDED.

H. UNLESS DETAILED OTHERWISE, REINFORCING STEEL IN THE CONTINUOUS BEAMS, GRADE BEAMS, AND SPANDRELS SHALL HAVE TOP STEEL SPLICED AT THE MIDSPAN, AND THE BOTTOM STEEL SPLICED OVER SUPPORTS (30 BAR DIAMETER SPLICE MINIMUM). AT DISCONTINUOUS ENDS, THE TOP STEEL SHALL BE BENT DOWN 12-DIAMETER OR 12" MINIMUM, WHICHEVER IS GREATER.

7. MANUFACTURED TRUSSES, JOISTS AND ENGINEERED LUMBER

- A. MANUFACTURED TRUSSES SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH CABO REPORT NO. NER-200.
- B. THE JOISTS SHALL BE CUSTOM DESIGNED TO FIT THE DIMENSIONS WITH THE FOLLOWING DESIGN CRITERIA: MAXIMUM LIVE LOAD DEFLECTION - SPAN OVER 480.
- C. PROVIDE COMPLETE CALCULATIONS PREPARED, STAMPED, AND SIGNED BY A LICENSED ENGINEER.
- D. PROVIDE SHOP DRAWINGS SHOWING LAYOUT AND ALL NECESSARY DETAILS OF DIFFERENT BEARING AND SHEAR TRANSFER CONDITIONS, FOR THE ENGINEER'S REVIEW AND APPROVAL.
- E. THE TRUSS JOISTS AND ENGINEERED LUMBER SHALL BE AS MANUFACTURED BY TRUSS JOIST MACMILLAN OR AN APPROVED EQUIVALENT.
- F. ALL MICROLAM (LVL) PARALLAM (PSL), AND TIMBER STRAND (LSL) SHALL HAVE THE FOLLOWING ALLOWABLE DESIGN STRESSES: (AN APPROVED EQUIVALENT MAY BE USED WITH EQUAL OR GREATER STRESS CAPACITIES)

LVL	PSL	LSL
Fb = 2600 PSI	Fb = 2900 PSI	Fb = 1700 PSI
Fc = 750 PSI	Fc = 750 PSI	Fc = 680 PSI
Fv = 285 PSI	Fv = 290 PSI	Fv = 400 PSI
E = 1,900,000 PSI	E = 2,200,000 PSI	E = 1,550,000 PSI

G. ALL PSL AND LSL BEAMS SHALL BE SOLID, DIMENSIONS AS SHOWN. ALL LVL BEAMS SHALL BE COMPRISED OF LAMINATED PLIES TO MEET THE DIMENSIONS AS SHOWN FASTENED PER THE MANUFACTURER'S SPECIFICATIONS OR THE DETAILS INCLUDED HEREIN. THE CONTRACTOR MAY USE A SOLID LVL BEAM WITH THE DIMENSIONS AS SHOWN IN-LIEU OF LAMINATED PLIES.

8. ROUGH CARPENTRY

- A. ALL CONSTRUCTION SHALL COMPLY WITH STANDARDS OF QUALITY REQUIREMENTS OF THE CALIFORNIA BUILDING CODE, SECTION 2303.
- B. CONVENTIONAL CONSTRUCTION PROVISIONS NOT SPECIFICALLY DETAILED ON THE PLANS SHALL BE IN COMPLIANCE WITH THE CALIFORNIA BUILDING CODE, SECTION 2308.
- C. FOR SCHEDULE OF MINIMUM NAILING SEE TABLE 2304.9.1, CALIFORNIA BUILDING CODE. 16 PENNY VINYL COATED SINKERS MAY BE SUBSTITUTED FOR 16 PENNY BOX OR COMMON NAILS FOR ROUGH FRAMING. SINKERS SHALL NOT BE USED WITH METAL CONNECTORS.
- D. SILLS ON CONCRETE SHALL BE 3X PRESSURE-TREATED DOUGLAS FIR. SILLS SHALL BE FASTENED TO THE CONCRETE WITH A MINIMUM OF TWO FASTENERS PER PIECE AND NO FASTENERS FURTHER THAN 9 INCHES FROM END OF PIECE.
- E. PLACE SAWN LUMBER MEMBERS WITH THE CROWN UP.
- F. RETIGHTEN ALL BOLTS PRIOR TO CLOSING IN WALLS.
- G. ALL FASTENERS IN CONTACT WITH PRESERVATIVE TREATED AND FIRE RETARTANT TREATED LUMBER, OR PERMANENTLY EXPOSED TO WEATHER SHALL BE OF HOT-DIPPED, ZINC-COTED, GALVANIZED OR STAINLESS STEEL IN ACCORDANCE WITH THE CBC SECTION 2304.9.5
- H. DOUBLE ALL JOISTS UNDER ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE.

I. BLOCK ALL JOISTS AT SUPPORTS AND UNDER ALL PARTITIONS WITH MINIMUM 2X SOLID BLOCKING. BLOCK AND BRIDGE ROOF JOISTS AT 10 FEET AND FLOOR JOISTS AT 8 FEET UNLESS OTHERWISE NOTED. FOR MANUFACTURED JOISTS, PROVIDE BLOCKING AT AND BETWEEN SUPPORTS PER THE MANUFACTURERS SPECIFICATIONS

J. ALL TIMBER FASTENERS NOT SPECIFICALLY DETAILED ON THE DRAWINGS SHALL BE SIMPSON STRONG TIE, INC. STANDARD FASTENERS OR APPROVED EQUAL.

K. PROVIDE 3"x3"x0.229" PLATE WASHERS FOR ALL BOLTS IN BEARING CONTACT WITH SILL PLATES.

L. BOLT HOLES SHALL BE BORED NO MORE THAN 1/32 OF AN INCH LARGER THAN THE DIAMETER OF THE BOLT.

M. DOUBLE TOP PLATES ON ALL EXTERIOR, INTERIOR BEARING, AND INTERIOR SHEAR WALLS SHALL LAP 4'-0" MINIMUM, WITH 16-16D NAILS AT SPLICE U.O.N.

9. STRUCTURAL & MISCELLANEOUS STEEL

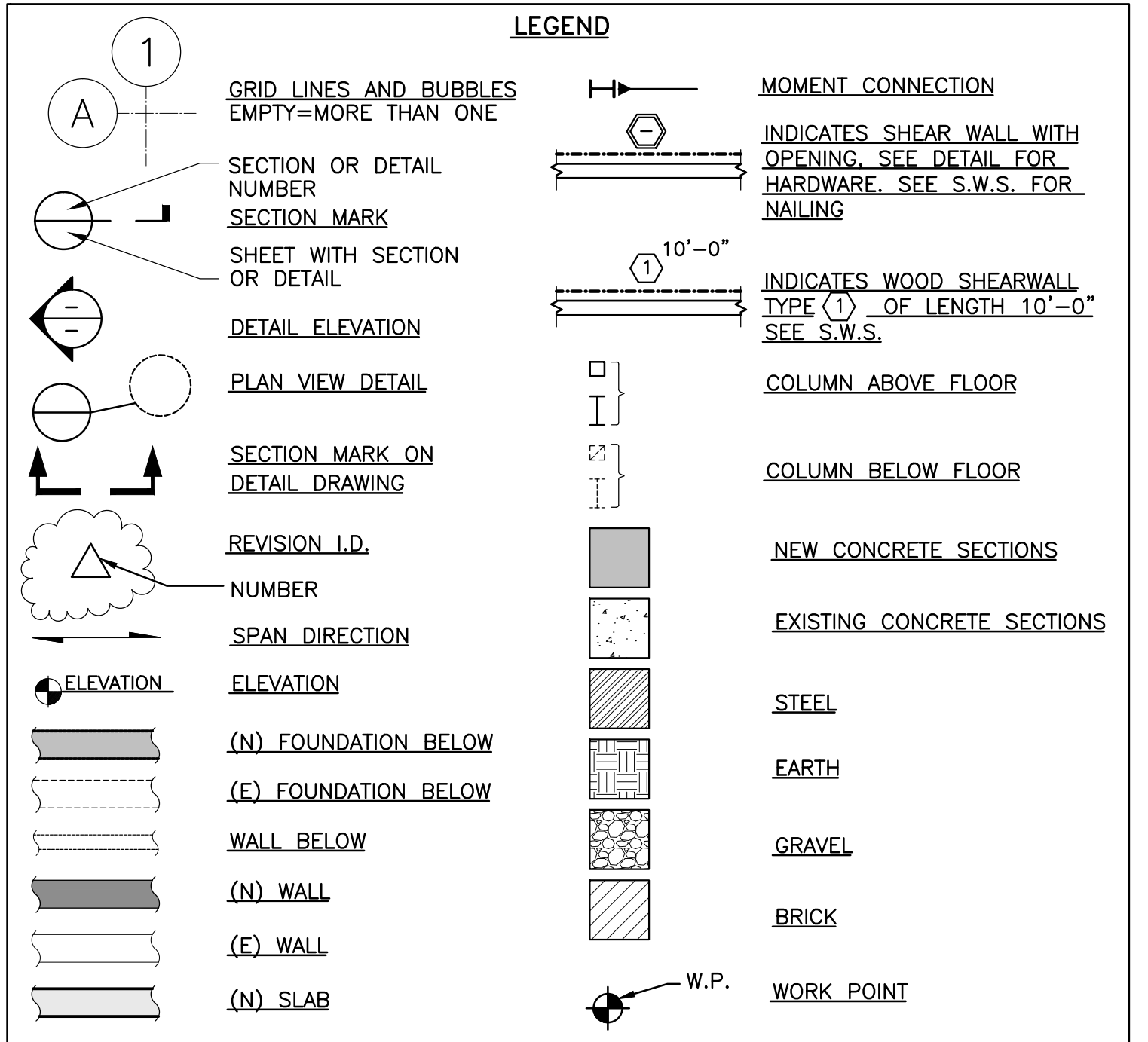
- A. STEEL SHAPES AND MISCELLANEOUS STEEL SHALL UNIFORM TO THE FOLLOWING:
 1. WIDE FLANGES - ASTM A992, GR.50
 2. MISCELLANEOUS SHAPES (I.E. CHANNELS, ANGLES, ETC) - ASTM A36
 3. STANDARD, EXTRA STRONG, AND DOUBLE EXTRA STRONG PIPE ASTM A53 GR.B
 4. HOLLOW STRUCTURAL SECTIONS (HSS)
 - * SQUARE OR RECTANGULAR - ASTM A500 GR.B (Fy = 46 ksi)
 - * ROUND - ASTM A500 GR.B (Fy = 42 ksi)
 5. PLATES, BARS - ASTM A36
 - * EXCEPT AS IN MOMENT FRAME CONNECTIONS (CONTINUITY, DOUBLER, ETC) WHICH SHALL BE ASTM A572 GR.50
- B. ALL BOLTS SHALL CONFORM WITH ASTM A307 EXCEPT FOR STEEL-TO-STEEL CONNECTIONS WHICH SHALL CONFORM WITH ASTM A325 N. ANCHOR BOLTS (AB) SHALL CONFORM WITH ASTM F1554 GR. 36, U.O.N. HIGH STRENGTH ANCHOR BOLTS (HASB) SHALL CONFORM TO ASTM A354 GR. BD
- C. PAINT STEEL (EXCEPT PORTIONS TO BE ENCASED IN CONCRETE) WITH ONE COAT OF PRIMER STANDARD WITH MANUFACTURER.
- D. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF AISC SPECIFICATIONS FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
- E. WELDING SHALL CONFORM WITH THE LATEST EDITION OF THE AWS SPECIFICATIONS. USE E70XX ELECTRODES.
- F. ALL STEEL EXPOSED TO WEATHER INCLUDING BOLTS, NUTS, SCREWS, ETC. SHALL BE GALVANIZED. USE GALVALOG PAINT OVER EXPOSED WELDS OR OTHER UN-PROTECTED MARKINGS INCURRED DURING THE TRANSPORTATION, HANDLING, OR ERECTION PROCESS.
- G. BOLT HOLES FOR MACHINE BOLTS SHALL BE NO MORE THAN 1/8" OVERSIZED U.O.N.
- H. ALL STEEL MEMBERS CONNECTING TO OR SUPPORTING WOOD FRAMING SHALL HAVE 3/4" DIAMETER THREADED STUDS AT 24-INCHES ON CENTER TYP. U.O.N., ATTACHED WITH A 1/8" FILLET WELD ALL AROUND (MIN).

10. FOUNDATIONS

- A. THE FOLLOWING VALUES HAVE BEEN USED FOR DESIGN:
 - * VERTICAL BEARING - 1500 PSF
 - * LATERAL BEARING - 150 PSF
 - * EFFECTIVE FLUID PRESSURE (ACTIVE/PASSIVE) - 25 PSF
 - * FRICTION - 0.30
 - * SKIN FRICTION - 500 PSF
- B. EXCEPT WHERE OTHERWISE SHOWN, EXCAVATIONS SHALL BE MADE AS NEAR AS POSSIBLE TO THE NEAT LINES REQUIRED BY THE SIZE AND SHAPE OF THE STRUCTURE. ALL FOUNDATIONS SHALL BE POURED WITHOUT THE USE OF SIDE FORMS WHEREVER POSSIBLE. IF THE TRENCHES CANNOT STAND, FULLY FORM SIDES TO DIMENSIONS SHOWN.
- C. DO NOT ALLOW WATER TO STAND IN TRENCHES. IF BOTTOMS OF TRENCHES BECOME SOFTENED DUE TO RAIN OR OTHER WATER BEFORE CONCRETE IS CAST, EXCAVATE SOFTENED MATERIAL AND REPLACE WITH PROPERLY COMPACTED BACKFILL OR CONCRETE AT NO COST TO OWNER.
- D. ALL EXCAVATIONS, FORMS AND REINFORCING ARE TO BE INSPECTED BY THE LOCAL BUILDING INSPECTOR AND ARCHITECT PRIOR TO PLACING CONCRETE.
- E. ALL TRENCHES AND EXCAVATIONS SHALL BE COMPACTED TO 90% RELATIVE COMPACTION PRIOR TO THE PLACEMENT OF CONCRETE.
- F. CONCRETE FOUNDATIONS SHALL NOT BE LOADED UNTIL 7 DAYS FROM POURING HAVE ELAPSED. UPON WRITTEN APPROVAL FROM THE ENGINEER, CONTRACTOR MAY LOAD FOUNDATIONS PRIOR TO THE 7 DAY LIMIT PROVIDED TEST RESULTS SHOW CONCRETE STRENGTH HAS ACHIEVED A MINIMUM OF 75% SPECIFIED ULTIMATE COMPRESSIVE STRENGTH.

11. FRAMING LUMBER (UNLESS OTHERWISE NOTED)

- A. ALL FRAMING LUMBER SHALL BE GRADED PER WCLIB GRADING RULES NO. 16 WITH MAXIMUM MOISTURE CONTENT OF 19% AT THE TIME OF INSTALLATION.
- B. ALL POSTS AND BEAMS SHALL BE DOUGLAS FIR, #1.
- C. ALL FLOORS, ROOFS, AND CEILING JOISTS OR RAFTERS SHALL BE DOUGLAS FIR, #1.
- D. ALL STUDS, PLATES, ETC. SHALL BE DOUGLAS FIR, #2 OR BETTER.
- E. ALL FRAMING EXPOSED TO WEATHER SHALL BE PRESSURE-TREATED DOUGLAS FIR UNLESS OTHERWISE NOTED ON PLANS OR DETAILS.
- F. ALL TIMBER PLACED AGAINST BRICK, MASONRY, OR CONCRETE CONSTRUCTION SHALL BE PRESSURE-TREATED. TREAT CUT ENDS, NOTCHES OR DISRUPTIONS IN FACTORY TREATMENT WITH COPPER NAPHTHENATE SOLUTION OR EQUAL.
- G. ALL EXTERIOR DECKING SHALL BE REDWOOD SELECT, PRESSURE-TREATED, ON MANUFACTURED DECKING; REFER TO THE ARCHITECTURAL DRAWINGS.



ABBREVIATIONS			
&	AND	EWT	EACH WAY TOP
L	ANGLE	EXP	EXPANSION
PL	PLATE	EXT	EXTERIOR
AB	ANCHOR BOLT	FF	FINISH FLOOR
ACI	AMERICAN CONCRETE INSTITUTE	FN	FINISH JOIST
ADD'L	ADDITIONAL	FN	FLOOR FINISH NAILING
ADJ	ADJACENT	FLR	FLOOR
AISI	AMERICAN IRON AND STEEL INSTITUTE	FOC	FACE OF CONCRETE
AITC	AMERICAN INSTITUTE OF TIMBER CONSTRUCTION	FOW	FACE OF WALL
ALT	ALTERNATE	FRM'G	FRAMING
APPROX	APPROXIMATE	FS	FAR SIDE
ARCH	ARCHITECT, ARCHITECTURAL	FT	FEET
ASTM	AMERICAN SOCIETY OF TESTING MATERIALS	FTG	FOOTING
AWS	AMERICAN WELDING SOCIETY	GA	GAGE, GAUGE
BETW	BETWEEN	GALV	GALVANIZED
BLDG	BUILDING	GB	GRADE BEAM
BM	BEAM	GRD	GIRDER
BOF	BOTTOM OF FOOTING	GRD	GROUND
BOTT	BOTTOM	HD	HOLDOWN
BS	BOTH SIDES	HK	HOOK
BYD	BEYOND	HORIZ	HORIZONTAL
C	CHANNEL PREFIX	HP	HIGH POINT
CANT	CANTILEVER	HSS	HOLLOW STEEL SECTION
CJ	CONSTRUCTION JOINT	ID	INSIDE DIAMETER
CL	CENTERLINE	IN	INCH
CLR	CLEAR	INT	INTERIOR
COL	COLUMN	INV	INVERT
CONC	CONCRETE	JT	JOINT
CONN	CONNECTION	KIP	1,000 POUNDS
CONST	CONSTRUCTION	KSI	KIPS PER SQUARE INCH
CONT	CONTINUOUS, CONTINUITY	LBS	POUNDS
CONTD	CONTINUED	LG	LONG
CTR	CENTER	LL	LIVE LOAD
CTS&K	COUNTERSINK	LLH	LONG LEG HORIZONTAL
CJ	CUBIC	L&B	LONG LEG VERTICAL
DBL	DOUBLE	LN	LINE
DBLR	DOUBLER	LSL	TIMBERSTRAND LUMBER
DET	DETAIL	LT	LIGHT
DIA	DIAMETER	LVL	MICROLAM LUMBER
DL	DEAD LOAD	LWC	LIGHT WEIGHT CONCRETE
DIAG	DIAGONAL	MATL	MATERIAL
DIST	DISTANCE	MAX	MAXIMUM
DN	DOWN	MB	MACHINE BOLT
do	DITTO	MECH	MECHANICAL
DP	DEEP	MFR	MANUFACTURER
DWG	DRAWING	MIN	MINIMUM
(E)	EXISTING	MISC	MISCELLANEOUS
EA	EACH	MTL	METAL
EF	EACH FACE	(N)	NUMBER
EN	EDGE NAILING	NEW	NEW
EJ	EXPANSION JOINT	NIC	NOT IN CONTRACT
ELEV	ELEVATION	NO	NUMBER
ENGR	ENGINEER	NOM	NOMINAL
EQ	EQUAL	NS	NEAR SIDE
ES	EACH SIDE	NSG	NON-SHRINK GROUT
EW	EACH WAY	NTS	NOT TO SCALE
EWB	EACH WAY BOTTOM	OC	ON CENTER
EWM	EACH WAY MIDDLE	OD	OUTSIDE DIAMETER
		OH	OPPOSITE HAND
		OPNG	OPENING
		OPP	OPPOSITE
		PDF	POWER DRIVEN FASTENERS
		PL	PLATE
		PL	PROPERTY LINE
		PW	PLYWOOD
		PSF	POUNDS PER SQUARE FOOT
		PSL	PARALLAM LUMBER
		PSI	POUNDS PER SQUARE INCH
		PT	POINT
		QTY	QUANTITY
		RAD	RADIUS
		REBAR	CONCRETE REINF
		REIN	REINFORCING
		REQ'D	REQUIRED
		RJ	ROOF JOIST
		SCH	SCHEDULE
		SAD	SEE ARCHITECTURAL DRAWINGS
		SCD	SEE CIVIL DRAWING
		SECT	SECTION
		SED	SEE ELECTRICAL DRAWINGS
		SHT	SHEET
		SJ	SAW CUT JOINT
		SIM	SIMILAR
		SMD	SEE MECHANICAL DRAWINGS
		SMS	SHEET METAL SCREWS
		SPA	SPACING
		SQ	SQUARE
		STAGG	STAGGER
		STD	STANDARD
		STIFF	STIFFENER
		STIRR	STIRRUP
		STL	STEEL
		STRUCT	STRUCTURAL
		S.W.S.	SHEAR WALL SCHEDULE
		SYM	SYMMETRICAL
		T&B	TOP AND BOTTOM
		THK	THICK, THICKNESS
		THRD	THREAD, THREADED
		TOC	TOP OF CONCRETE
		TOT	TOP OF FOOTING
		TOS	TOP OF STEEL
		TOW	TOP OF WALL
		TS	STRUCTURAL TUBE (HSS SIM)
		TYP	TYPICAL
		UBC	UNIFORM BUILDING CODE
		UON	UNLESS OTHERWISE NOTED
		VB	VAPOR BARRIER
		VIF	VERIFY IN FIELD
		w/	WITH
		W	WEDGE ANCHORS
		WD	WOOD
		WF	WIDE FLANGE
		w/o	WITHOUT
		WP	WORK POINT
		WT	WEIGHT, OR WT SECTION PREFIX
		WWF	WELDED WIRE FABRIC
		W	WIDE, OR WIDE FLANGE PREFIX

SHEAR WALL SCHEDULE (3/8" STRUCTURAL 1 WOOD STRUCTURAL PANEL)							
MARK	PLYWOOD (A)	EDGE NAILING (B)	FRAMING AT (2) PLYWOOD EDGES	SILL PLATE CONNECTION (3) TO CONCRETE (5)	TO WOOD (4)	BLKG/RIM TO TOP PL OF WALL	
						A34 (E)	A35 (E) LTP4 (E) A35 w/SPAX
1	3/8" (230 PLF)	10d @ 6" o.c.	2x NOMINAL	5/8" A.B. @ 5'-5" o.c.	SDS SCREWS @ 18" o.c.	24" o.c.	33" o.c. 27" o.c. 21" o.c.
2	3/8" (360 PLF)	10d @ 4" o.c.	3x NOMINAL	5/8" A.B. @ 5'-2" o.c.	SDS SCREWS @ 11" o.c.	15" o.c.	21" o.c. 17" o.c. 13" o.c.
3	3/8" (460 PLF)	10d @ 3" o.c.	3x NOMINAL	5/8" A.B. @ 4'-0" o.c.	SDS SCREWS @ 9" o.c.	12" o.c.	16" o.c. 13" o.c. 10" o.c.
4	3/8" (610 PLF)	10d @ 2" o.c.	3x NOMINAL	5/8" A.B. @ 3'-0" o.c.	SDS SCREWS @ 6" o.c.	9" o.c.	12" o.c. 10" o.c. 7" o.c.
5	3/8" EA SIDE (720 PLF)	10d @ 4" o.c.	3x NOMINAL	5/8" A.B. @ 2'-7" o.c.	2-ROWS @ 10" o.c. STAGGERED	7" o.c.	10" o.c. 8" o.c. 6" o.c.
6	3/8" EA SIDE (920 PLF)	10d @ 3" o.c.	3x NOMINAL	5/8" A.B. @ 2'-0" o.c.	2-ROWS @ 8" o.c. STAGGERED	6" o.c.	8" o.c. 6" o.c. 5" o.c.
7	3/8" EA SIDE (1220 PLF)	10d @ 2" o.c.	3x NOMINAL	5/8" A.B. @ 1'-6" o.c.	2-ROWS @ 6" o.c. STAGGERED	4" o.c.	6" o.c. 5" o.c. 4" o.c.

LEGEND (SEE TYPICAL FRAMING DETAIL)

- (A) STRUCTURAL PANEL SHEAR WALL, SEE PLAN FOR LOCATION AND TYP.
- (B) STRUCTURAL PANEL EDGE NAILING AT PERIMETER OF EACH PLYWOOD SHEET.
- (C) STRUCTURAL PANEL FIELD NAILING IS TYPICAL ON ALL STUDS, EXCEPT FOR PLYWOOD EDGES.
- (D) SOLE (OR SILL AT FOUNDATION) PLATE ATTACHMENT.
- (E) SIMPSON FRAMING CLIP AT SHEAR WALLS, SEE SHEAR WALL SCHEDULE, WHERE CLIPS SPACING ARE LESS THAN 5" O.C., CLIPS ARE TO BE STAGGERED IN ALL BOTH SIDES OF THE WALL.

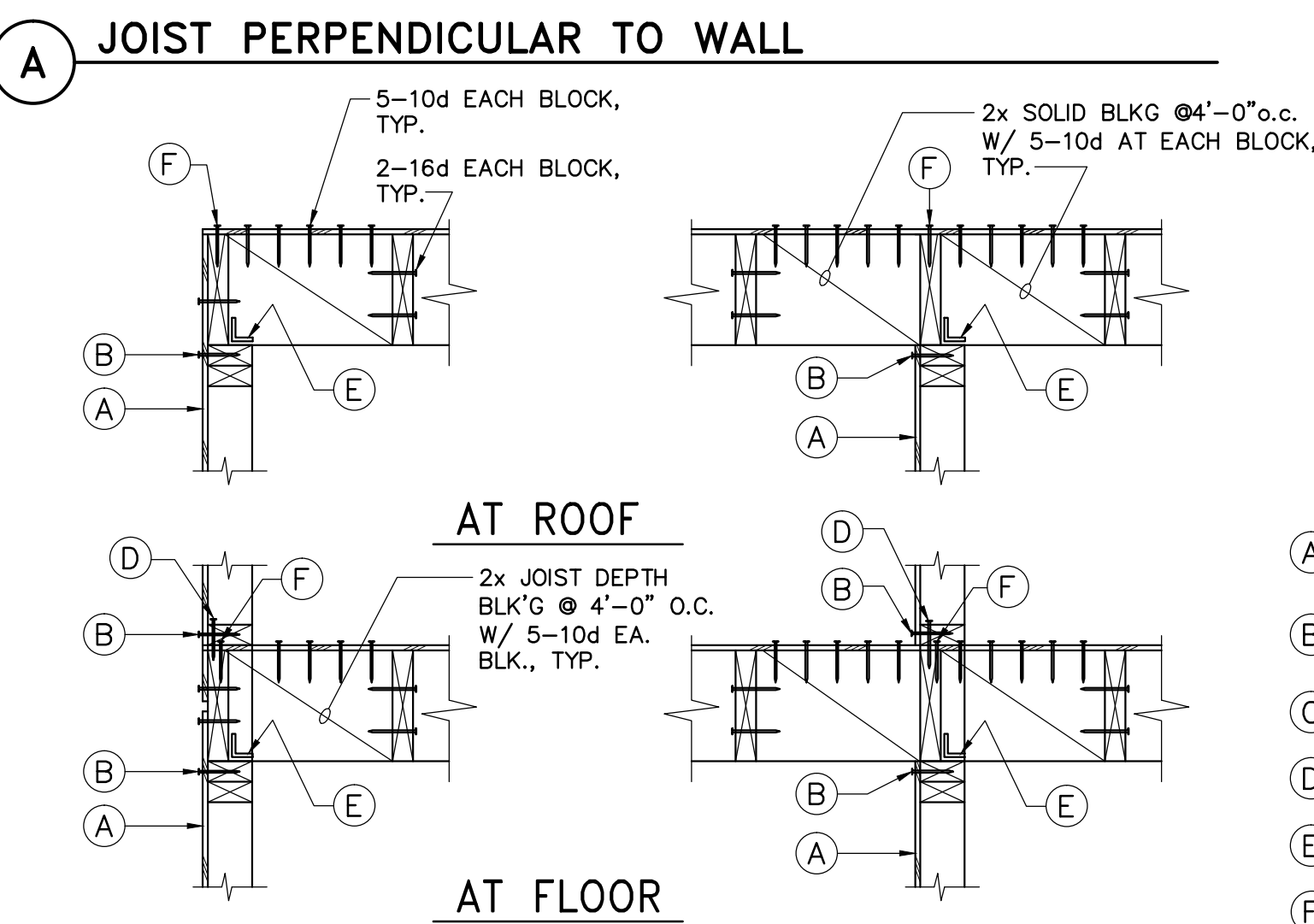
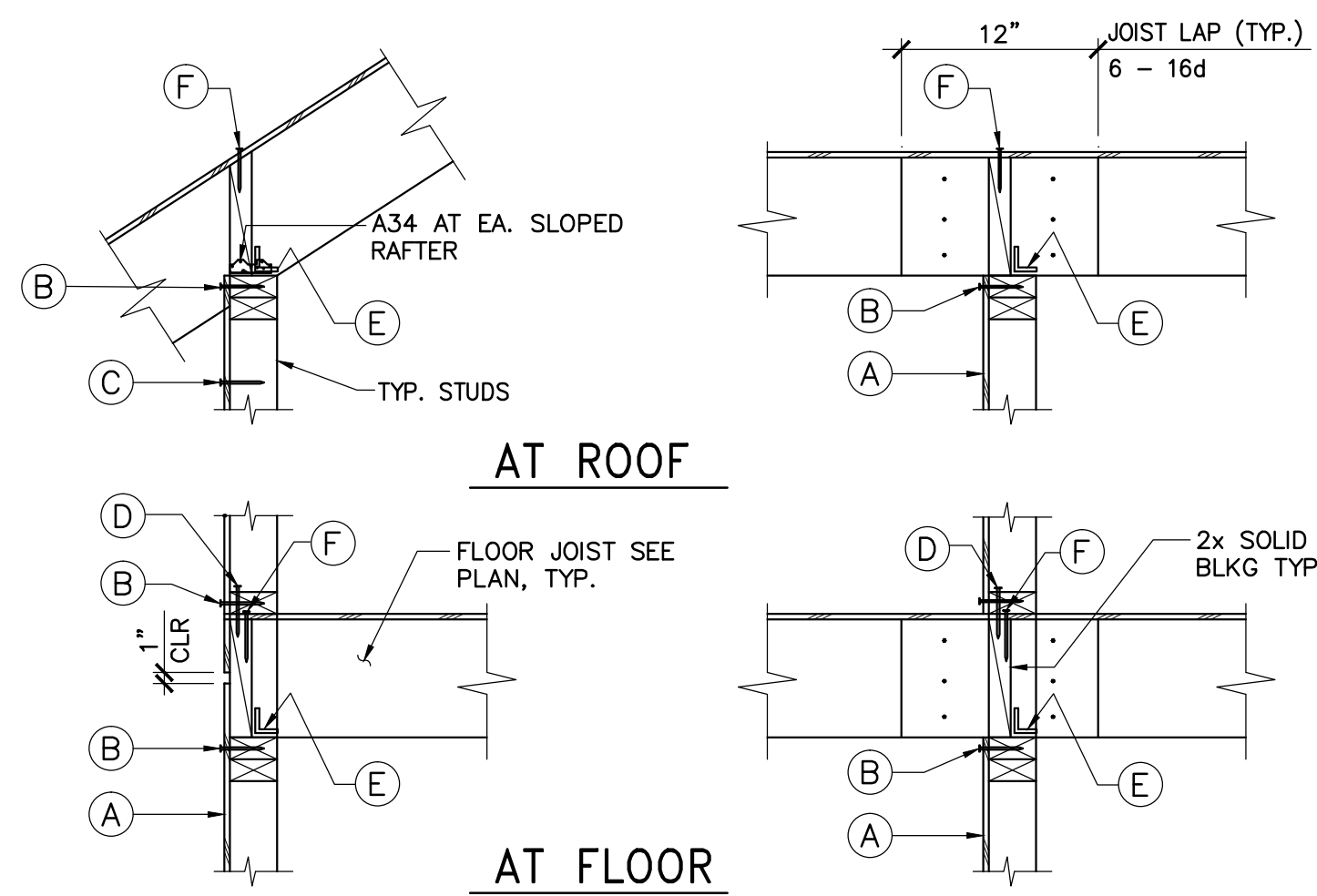
1 SHEAR WALL SCHEDULE (S.W.S.)
NTS

SHEARWALL NOTES:

1. ALL NEW EXTERIOR WALLS TO BE 1/2" 24/0 STRUCTURAL 1 PANEL SHEAR WALL TYPE (1), U.O.N.
2. PROVIDE 3x STUDS, PLATES AND BLOCKING AT ADJOINING PANEL EDGES FOR SHEAR WALLS TYPE (2) THRU (7). 2x SOLE PLATE IS OK AT UPPER FLOOR FOR ALL TYPES (2) THRU (4). SHEATHING APPLIED TO BOTH SIDES OF THE WALL SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS. 2-2x's MAY BE USED IN-LIEU OF 3x MEMBERS PROVIDED THEY ARE ATTACHED TOGETHER WITH 10d AT THE SHEARWALL EDGE NAIL SPACING OR SDSx4 1/2" PER THE SHEARWALL SCHEDULE.
3. PROVIDE 1/16" HORIZONTAL OR VERTICAL GAP BETWEEN ADJOINING PANEL EDGES. PROVIDE 1/2" GAP BETWEEN EDGE OF PANEL AND ANY CONCRETE OR MASONRY SURFACES.
4. SDS SHALL BE 4-1/2" LONG AT 2X PLATES AND 6" LONG AT 3X PLATES. SCREWS SHALL HAVE 1/2" MIN EDGE DISTANCE. MULTIPLE ROWS SHALL BE SPACED 1" APART, AND ROWS SHALL BE STAGGERED. BLOCKING/RIM BELOW TYPES (1) THRU (5) SHALL BE 2X OR 1 1/2" LSL MIN. BLOCKING/RIM BELOW TYPES (6) AND (7) SHALL BE 3X OR 3 1/2" LSL MIN.
5. SHEARWALLS FALLING OVER EXISTING FOUNDATION SHALL USE ALL THREAD RODS MATCHING THE SPECIFIED ANCHOR BOLT. SEE THE NOTE #11 AND THE EPOXY ANCHOR SECTION OF THE GENERAL NOTES.
6. STAGGER DOUBLE TOP PLATE NAILING TO ENGAGE EACH PLATE, TYPICAL.
7. ALL FIELD NAILING SHALL BE 10d @ 12" o.c.. ALL NAILS SPECIFIED SHALL BE COMMON NAILS. NAIL GUNS USING 'CLIPPED HEAD' OR 'SINKER NAILS' ARE NOT ACCEPTABLE.
8. FOUNDATION ANCHOR BOLTS IN ALL SHEAR WALLS SHALL HAVE 3"x3"x0.229 BEARING PLATES UNDER EACH NUT. THE EDGE OF THE WASHER SHALL NOT BE FURTHER THAN 1/2" FROM THE SHEATHED FACE. AT 2x6 WALLS WITH SHEATHING IN EACH FACE, ANCHOR BOLTS SHALL BE STAGGERED AS REQUIRED. NUTS SHALL BE TIGHTENED JUST PRIOR TO CLOSING WALL FRAMING.
9. BOLT HOLES DRILLED IN SOLE PLATES SHALL BE NO LARGER THAN 1/16" DIAMETER OF THE BOLT.

SHEARWALL NOTES (CONT'D):

10. SILL PLATES IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED DOUGLAS FIR #2, SIZE PER THE SCHEDULE ABOVE. USE GALVANIZED ANCHOR BOLTS AND NAILS IN ALL PRESSURE TREATED WOOD.
11. MINIMUM ANCHOR BOLT AND EPOXIED ALL-THREAD ROD EMBEDMENT INTO CONCRETE SHALL BE 7" MINIMUM, U.O.N. ANCHORS SHALL HAVE 1-3/4" MINIMUM DISTANCE TO EITHER EDGE OF THE CONCRETE, AND 9-1/2" MINIMUM DISTANCE TO THE END OR CORNER OF THE FOUNDATION.
12. ALL PLYWOOD PANEL EDGES SHALL BE BLOCKED WITH MINIMUM 2X BLOCKING, U.O.N. IN THE SCHEDULE ABOVE.
13. PROVIDE 3/8" MIN EDGE DISTANCES FOR ALL SHEATHING AND FRAMING MEMBER EDGE NAILING.
14. STUCCO AND/OR EXTERIOR VENEER OVER A WOOD SHEATHING SHEARWALL SHALL BE WATERPROOFED WITH A MINIMUM OF 2 LAYERS OF FELT PAPER.
15. THE SHEAR WALL LENGTH NOTED ON THE FLOOR PLANS INDICATES THE MINIMUM REQUIRED LENGTH REQUIRED BY ENGINEERING DESIGN. THE ACTUAL WALL LENGTH MAY EXCEED THIS LENGTH. PLEASE NOTIFY ENGINEER IF WALL LENGTH IS SHORTER THAN NOTED.
16. NAILS ARE TO BE DRIVEN FLUSH TO THE SHEATHING. ADD 1 NEW NAIL FOR EVERY 2 OVERDRIVEN NAILS IF MORE THAN 20% OF NAILS ARE 1/16" OVERDRIVEN OR IF ANY NAILS ARE 1/8" OVERDRIVEN. IF SPLITTING CONDITION OCCURS, USE STAPLES. IF ADDING NAILS WILL DECREASE SPACING TO 3" O.C. OR LESS, ADD ANOTHER STUD TO RECEIVE END NAILING FOR EACH PLYWOOD EDGE AND CONNECT STUDS WITH 10d @ 6" O.C.
17. WALL TYPES (2) THRU (7) REQUIRE PERIODIC SPECIAL INSPECTION OF HOLDOWN, SILL PLATE ANCHOR, SHEATHING AND FASTENER INSTALLATION.
18. AT SINGLE SIDED SHEAR WALLS, THE SHEATHING MAY BE APPLIED TO EITHER SIDE SO LONG AS THE MINIMUM SHEATHED LENGTH AS INDICATED ON THE PLAN IS MAINTAINED. COORDINATE PANEL PLACEMENT WITH THE ARCHITECT.



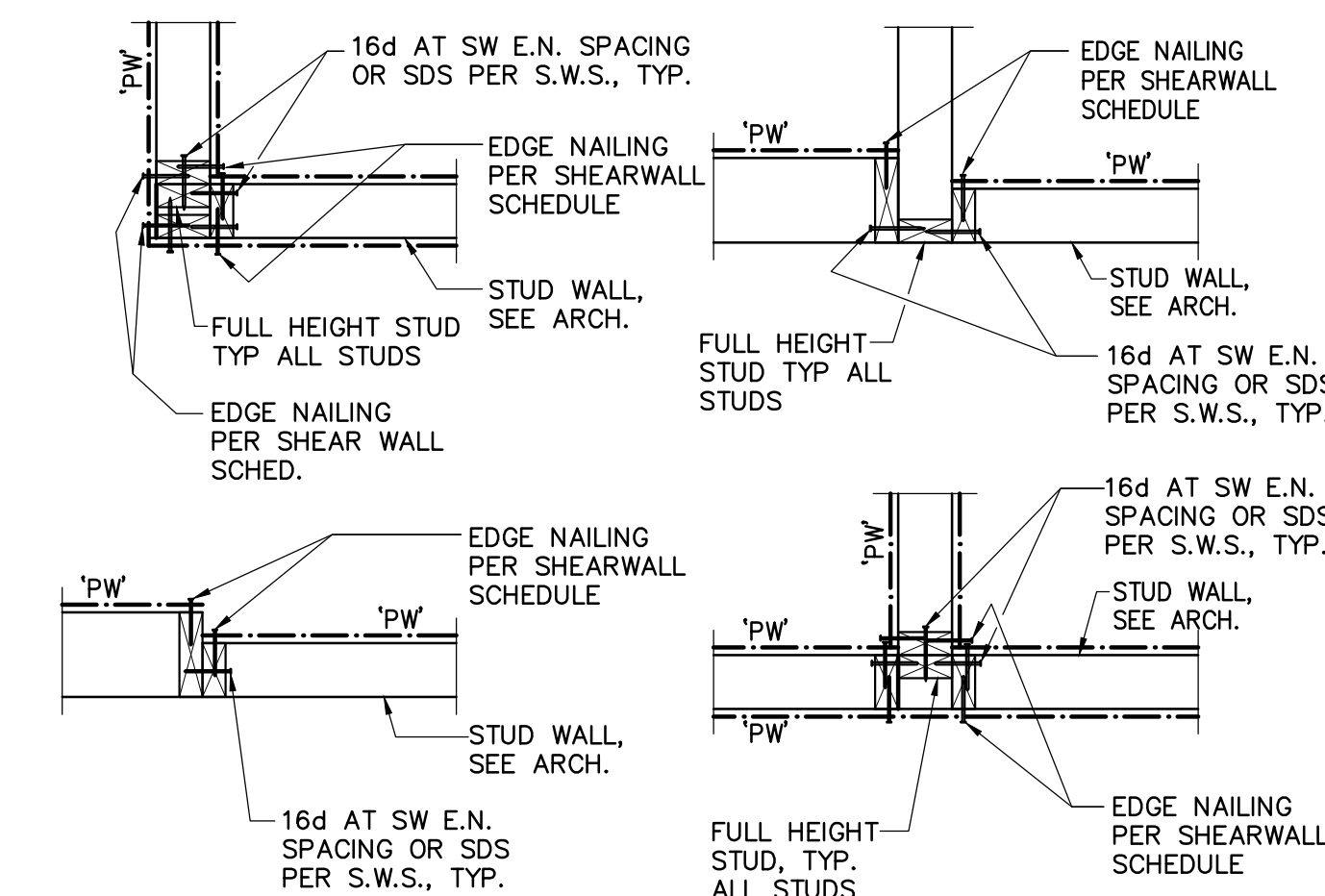
LEGEND:

- (A) STRUCTURAL PANEL SHEAR WALL, SEE PLAN FOR LOCATION AND TYP.
- (B) STRUCTURAL PANEL EDGE NAILING AT PERIMETER OF EACH PLYWOOD SHEET.
- (C) STRUCTURAL PANEL FIELD NAILING IS TYPICAL ON ALL STUDS, EXCEPT FOR PLYWOOD EDGES.
- (D) SOLE (OR SILL AT FOUNDATION) PLATE ATTACHMENT.
- (E) SIMPSON FRAMING CLIP AT SHEAR WALLS, SEE SHEAR WALL SCHEDULE (SEE NOTE BELOW).
- (F) HORIZONTAL PLYWOOD EDGE NAILING PER PLAN.

NOTE: ALL LEGENDS CORRESPOND TO SHEAR WALL SCHEDULE, S.W.S. SEE PLANS FOR SHEAR WALL TYPE.

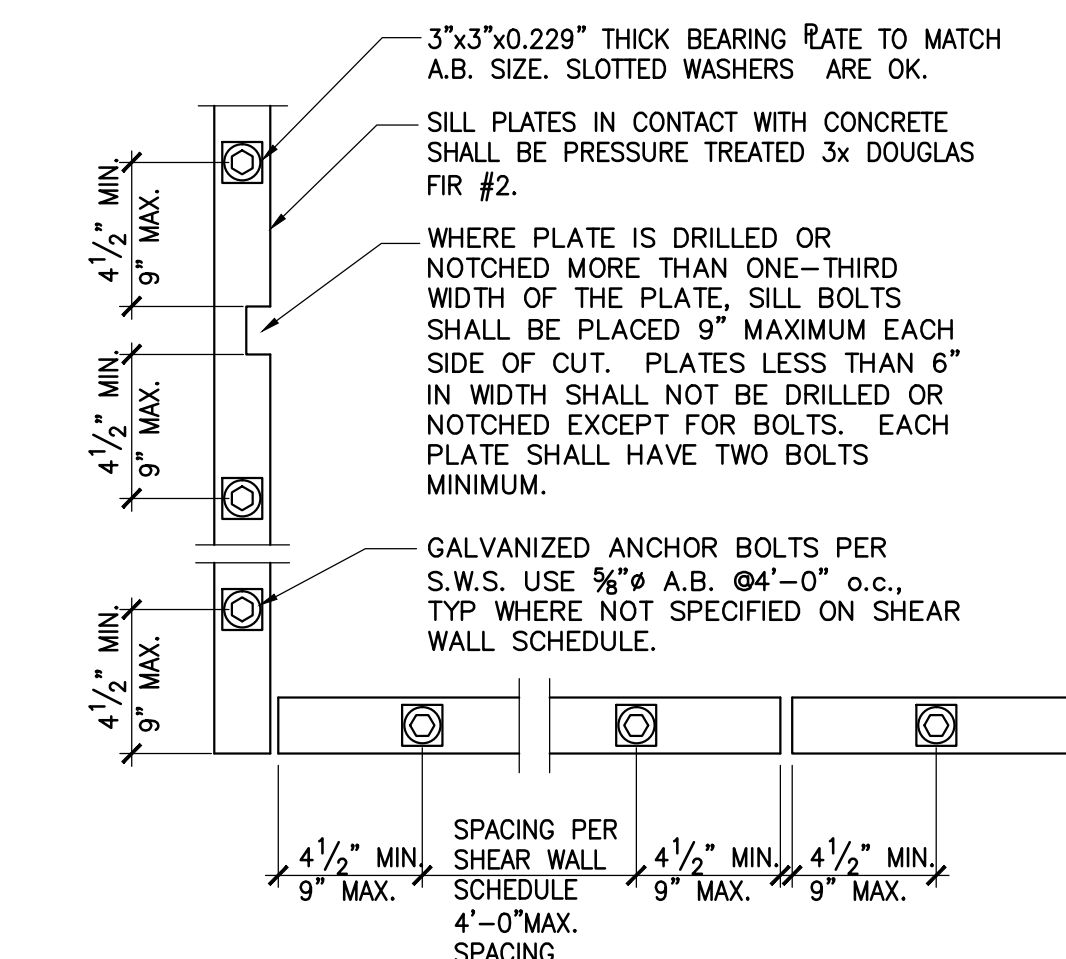
2 TYPICAL FRAMING DETAILS (RECTANGULAR SAWN OR ENGINEERED LUMBER)
NTS

3 TYPICAL FRAMING DETAILS (RECTANGULAR SAWN OR ENGINEERED LUMBER)
NTS



4 SW CONSTRUCTION - PLAN VIEW

NOTE: PROVIDE SOLID POST AT WALL INTERSECTION WHERE HOLDOWN OCCURS BELOW



5 TYP. ANCHOR BOLT LAYOUT (ALL WALLS)
NTS

TYPICAL WOOD HEADER SCHEDULE		
OPENING	AT BEARING WALLS	AT NON-BEARING WALLS
≤ 4'-0"	T x 6	T x 6
4'-1" TO 6'-0"	T x 8	T x 6
6'-1" TO 8'-0"	T x 10	T x 8
8'-1" TO 10'-0"	T x 12	T x 8
10'-1" TO 12'-0"	T x 11 7/8 PSL	T x 8

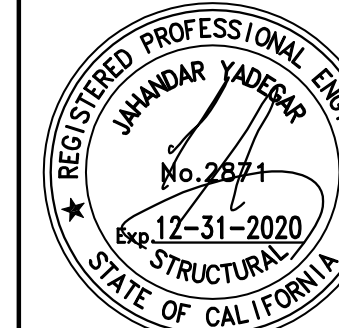
NOTES:

- 1) T = WALL STUD NOMINAL THICKNESS (EX: FOR 2x4 STUDS, T=4).
- 2) HEADERS SHALL BE DF#1, U.O.N.
- 3) FOR TYPICAL FRAMING DETAILS, SEE 3

2 TYPICAL WOOD HEADER SCHEDULE
NTS

JYASF
STRUCTURAL ENGINEERS

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910 Ensenada Avenue
BERKELEY, CA

TITLE
TYPICAL DETAILS

SCALE AS NOTED

DATE 08/05/2020

BY RH

ISSUE PERMIT 08/05/2020

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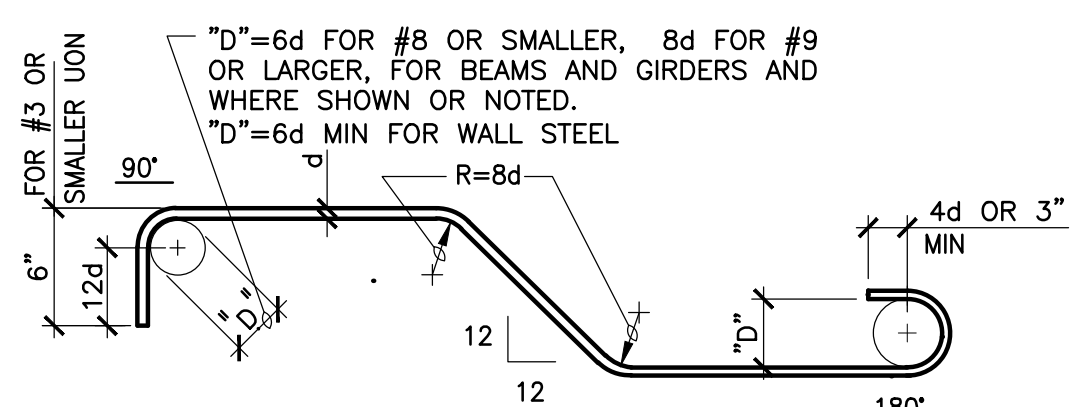
S1.1

HOLDOWN SCHEDULE				
HOLDOWN HARDWARE	ANCHOR DIAM.	UPLIFT CAPACITY	EMBEDMENT IN NEW CONCRETE U.O.N.	EMBEDMENT IN EXISTING CONCRETE
HDU2	5/8"	3075	SSTB14 OR THRD. ROD EMBEDDED 10" MIN.	8"
HDU4	5/8"	4565	SSTB16 OR THRD ROD EMBEDDED 12" MIN.	10"
HDU5	5/8"	5645	SSTB24 OR THRD ROD EMBEDDED 15" MIN.	12"
HDU8	7/8"	7870	SSTB28 OR THRD ROD EMBEDDED 18" MIN.	15"
HDU11	1"	11175	SB1x30 A.B.	N/A
HDU14	1"	14390	SB1x30 A.B.	N/A
HDC10	7/8"	9665	SSTB28 OR THRD ROD EMBEDDED 18" MIN.	N/A
MST37	N/A	2130	N/A	N/A
MST48	N/A	3420	N/A	N/A
MST60	N/A	4830	N/A	N/A
CMST14	N/A	6490	N/A	N/A
CMST12	N/A	9215	N/A	N/A
2-CMST14	N/A	12980	N/A	N/A
2-CMST12	N/A	18430	N/A	N/A

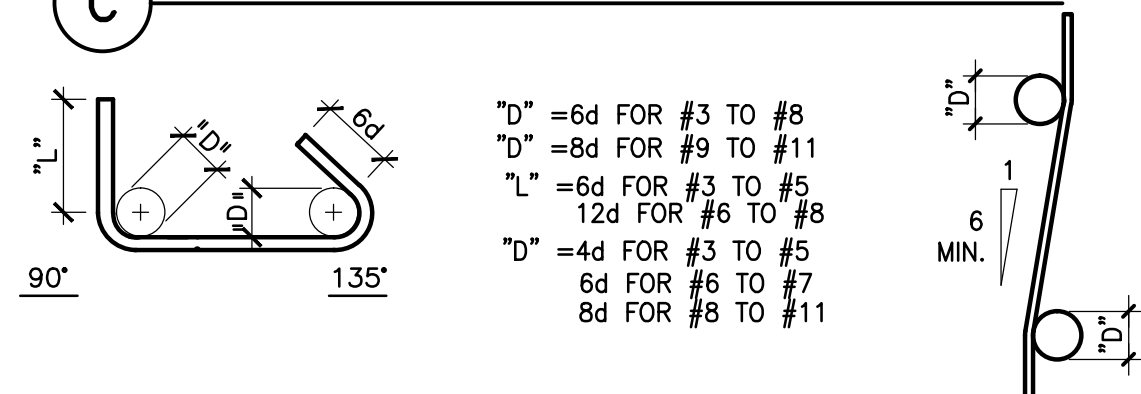
- NOTES:**
- INSTALL ALL HOLDOWN HARDWARE PER MANUFACTURER'S INSTRUCTIONS. MINIMUM EMBEDMENT FOR SSTB BOLTS SHALL BE PER THE MANUFACTURER.
 - ONLY FULL-HEIGHT (TOP TO BOTTOM PLATE) POSTS SHALL BE USED FOR HOLDOWN CONNECTIONS.
 - PROVIDE SHEARWALL END NAILING (AS NOTED IN THE S.W.S.) TO ALL POSTS WITH HOLDOWNS AT THE TOP OR BOTTOM OF POST.
 - HOLDOWNS SHALL BE INSTALLED DIRECTLY ON TOP OF SILL PLATES U.O.N.
 - USE COMMON WIRE GAGE NAILS FOR ALL NAILED HOLDOWN CONNECTIONS.
 - AT UPPER FLOOR HOLDOWNS, PROVIDE SAME THICKNESS BLOCKING DIRECTION BELOW HOLDOWN POST IN JOIST SPACE. AT RAISED FLOOR CONDITIONS, POST BELOW SHALL MATCH POST ABOVE UNLESS INDICATED ON THE PLAN.
 - WHERE HOLDOWNS ARE CALLED OUT ON UPPER FLOORS, THEY SHALL BE CARRIED DOWN TO FOUNDATION WITH MATCHING HOLDOWN (OR ONE WITH GREATER CAPACITY) UNLESS A DIFFERENT HOLDOWN IS SPECIFIED ON PLAN.
 - HOLDOWN ANCHORS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING. BOLT NUT SHOULD BE FINGER-TIGHT PLUS 1/3 TO 1/2 TURN WITH A HAND WRENCH. DO NOT OVER-TORQUE THE NUT.
 - WHERE HOLDOWNS ARE CONNECTED TO A WOOD MEMBER BELOW, A 3" SQUARE 'BP' BEARING PLATE SHALL BE APPLIED TO THE BOTTOM OF THE MEMBER. NUT AND PLATE MAY BE COUNTERSUNK 1" MAX.
 - WHERE HOLDOWNS ARE CONNECTED TO A STEEL MEMBER BELOW, THREADED ROD ANCHOR SHALL BE WELDED TO STEEL MEMBER WITH A 1/4" FILLET WELD ALL AROUND OR FULL PEN GROVE BEVEL.
 - HOLDOWNS SHALL BE INSTALLED DIRECTLY ON TOP OF SILL PLATES U.O.N.

- NOTES FOR PLACEMENT OF HOLDOWNS IN EXISTING CONCRETE CONDITION (PULL TEST REQUIRED):**
- FOR INSTALLATION INTO EXISTING CONCRETE, USE THREADED ROD AND REFER TO EPOXY SECTION OF GENERAL NOTES.
 - THE HOLE DIAMETER FOR THE ANCHOR SHALL BE DRILLED 1/8" OVERSIZED.
 - TEST 100% OF ALL EPOXIED HOLDOWNS TO 2.5 TIMES THE UPLIFT CAPACITY IN THE TABLE UNLESS OTHERWISE SPECIFIED ON PLANS.

1 HOLDOWN SCHEDULE
NTS



C STANDARD REINFORCEMENT

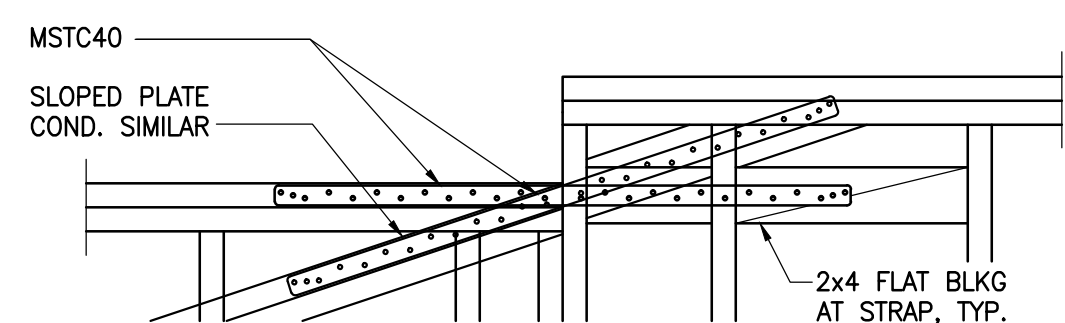


A TIES AND STIRRUPS

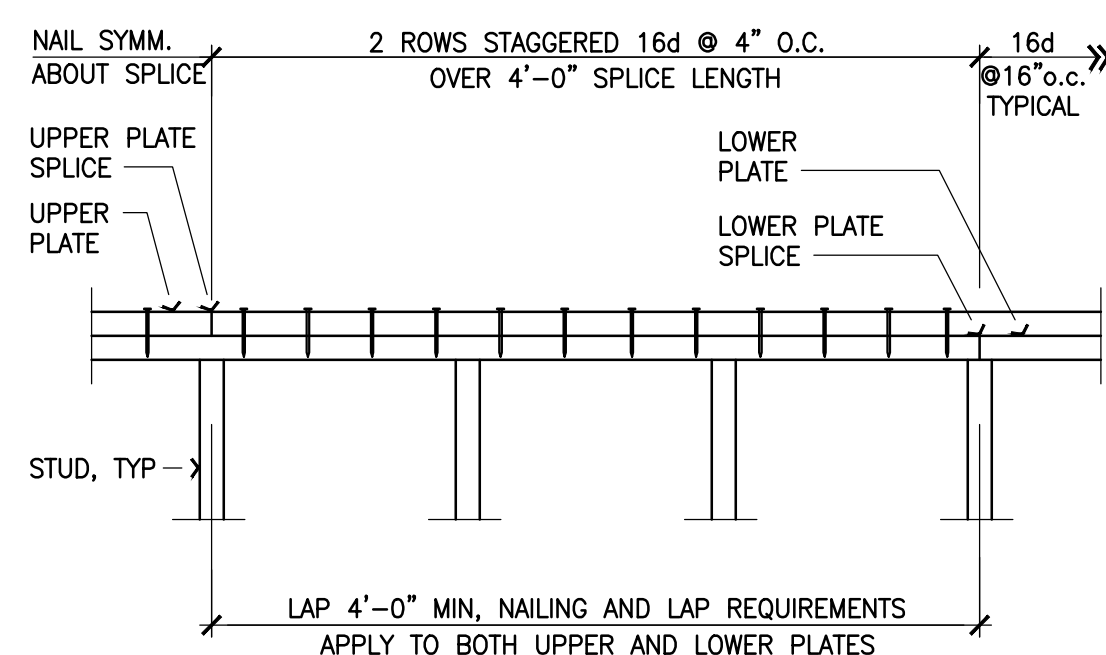
B OFFSET

- REINFORCEMENT NOTES:**
- ALL BENDS SHALL BE MADE COLD.
 - #14 AND #18 BARS SHALL BE BEND TESTED AND LAB APPROVED PRIOR TO BENDING.
 - DO NOT BEND BARS ALREADY CAST IN CONCRETE.

5 STANDARD REINFORCEMENT BENDS
NTS

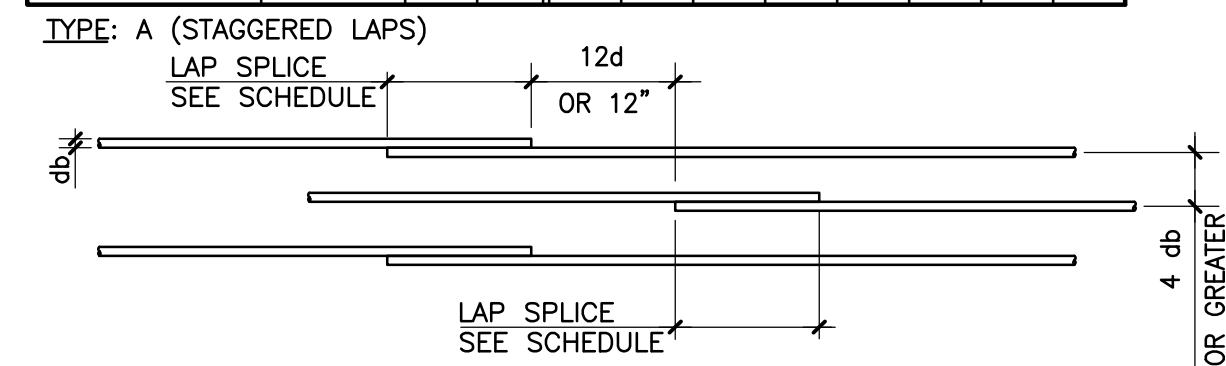


A STEPPED PLATE CONDITION



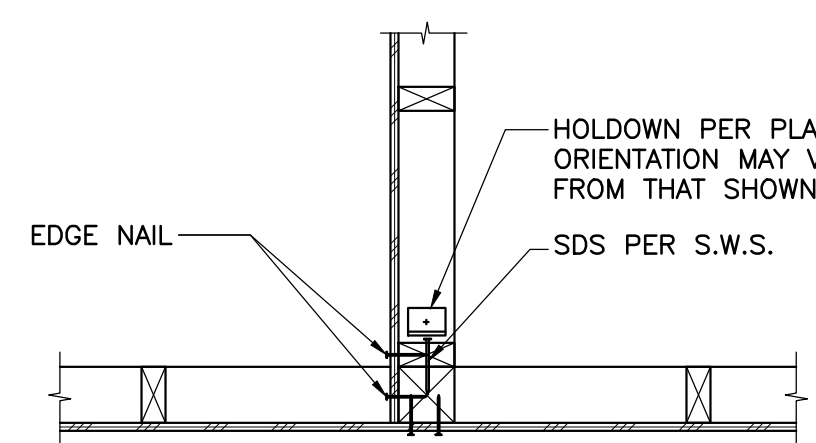
9 TYPICAL TOP PLATE SPLICE
AT ALL EXTERIOR, BEARING AND SHEARWALLS

f'c CONCRETE STRENGTH	LAP TYPE	REBAR SIZE									
		GRADE 40					GRADE 60				
		#3	#4	#5	#6	#7	#8	#9	#10	#11	
2500	A	12	16	24	30	36	53	60	68	77	85
	B	16	21	32	39	47	69	78	88	100	110

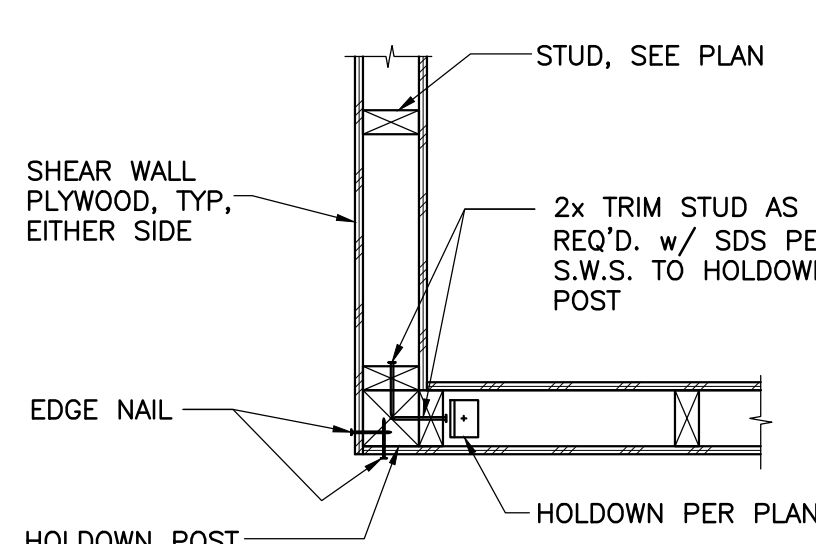


- NOTES:**
- TYPE 'A' LAP SPLICES SHALL HAVE:
 - STAGGERED LAPS AS SHOWN ABOVE
 - AMOUNT OF CONCRETE BELOW BAR LESS THAN 12"
 - MULTIPLY ALL LENGTHS BY 1.5 IF EITHER OF THE FOLLOWING ARE TRUE
 - CLEAR SPACING OF BARS IS LESS THAN TWICE THE BAR DIAMETER
 - CLEAR COVER IS LESS THAN ONE BAR DIAMETER

6 REINFORCEMENT LAP SPLICE
NTS



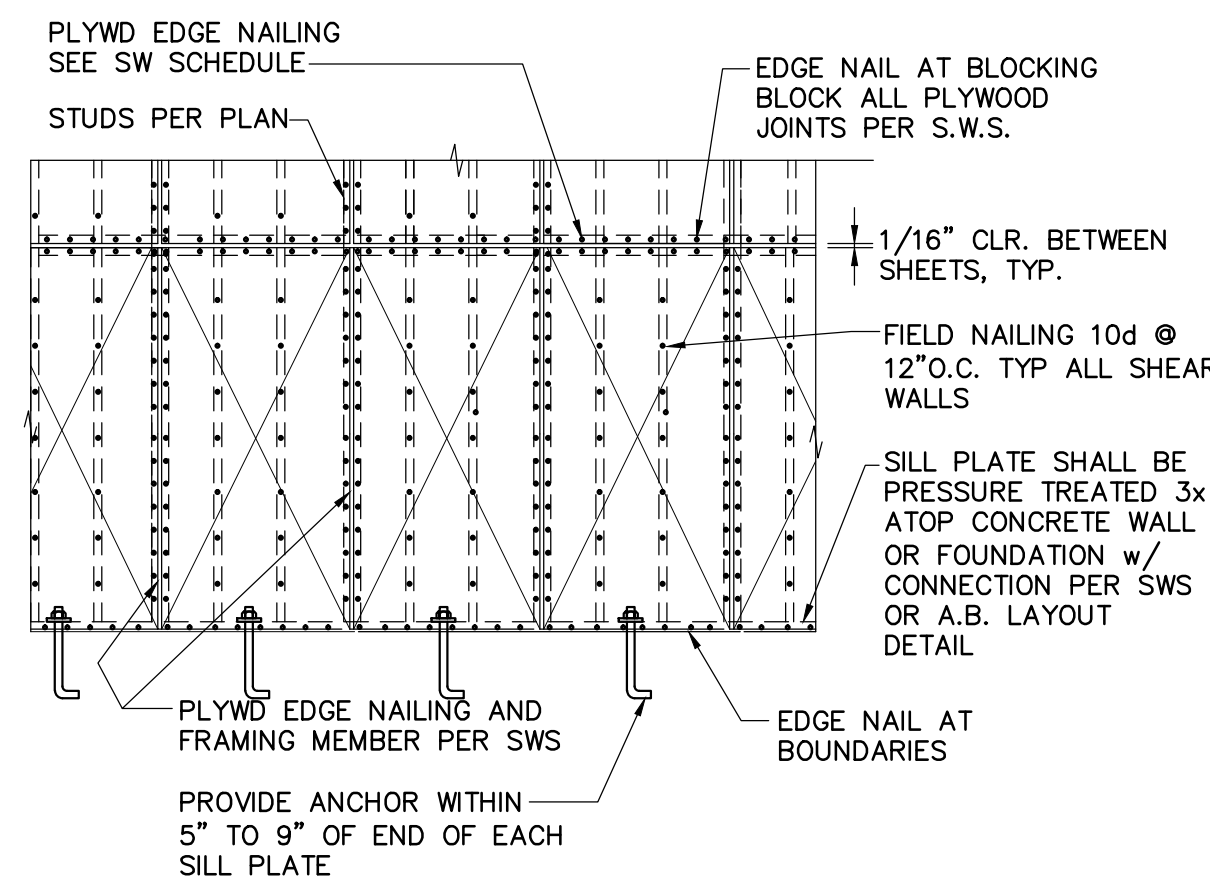
T-INTERSECTION



CORNER

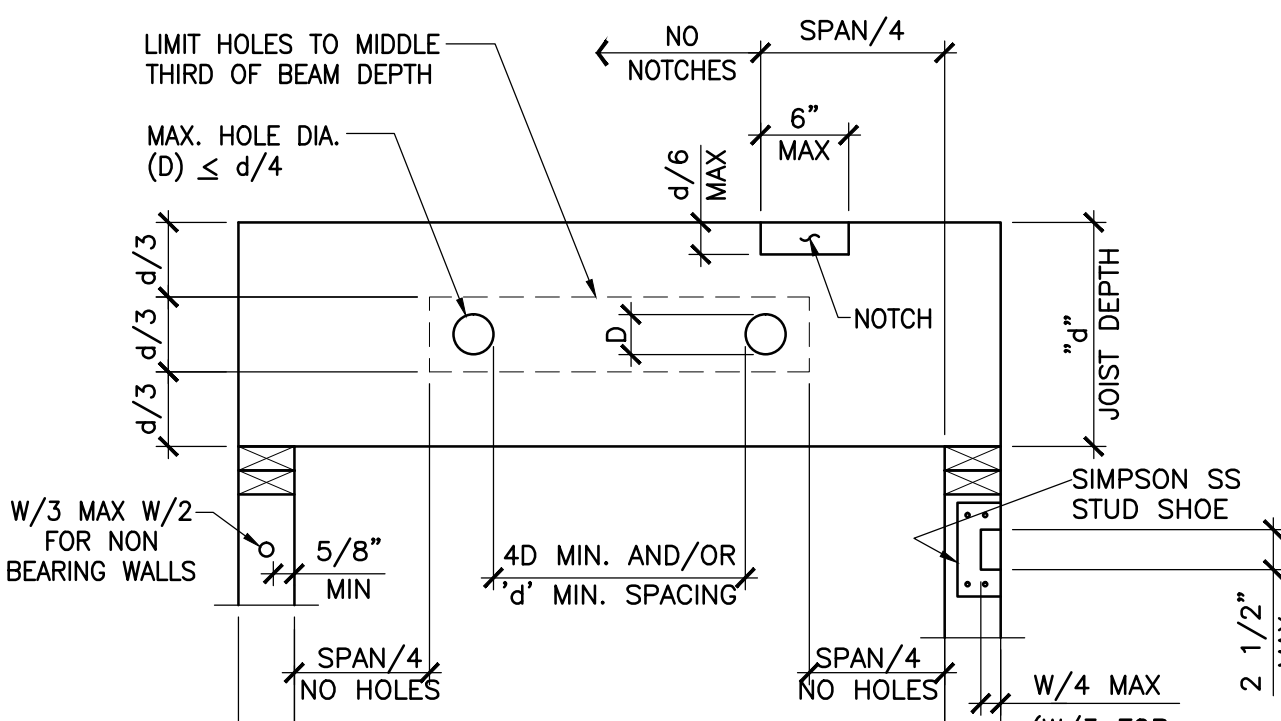
NOTE:
SEE DETAIL FOR NOTES NOT SHOWN

10 HOLDOWN AT INTERSECTING SHEAR WALLS
NTS



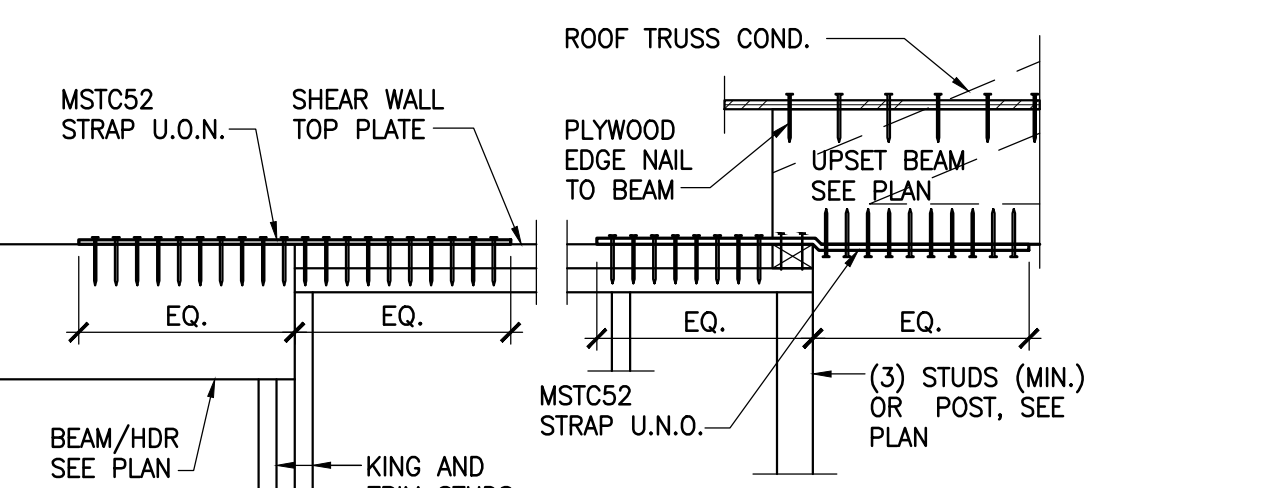
NOTE: PLYWOOD PANELS SHALL NOT BE LESS THAN 16" IN WIDTH

3 SHEARWALL PLYWOOD FRAMING
NTS

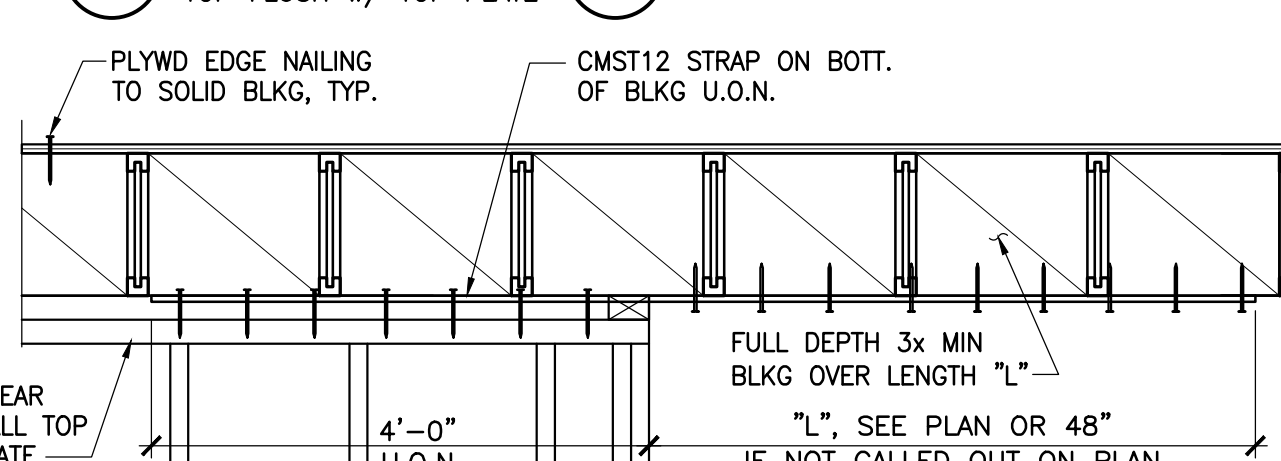


- NOTES:**
- NO NOTCHING IS PERMITTED ON THE BOTTOM OF THE BEAM, NOR NEAR INTERIOR SUPPORT OF MULTI-SPAN BEAM.
 - NO HOLES OR NOTCHES IN GLULAM BEAMS WITHOUT PRIOR APPROVAL FROM THE ENGINEER.
 - AT FABRICATED FLOOR JOISTS, SEE MANUFACTURER'S INSTRUCTIONS FOR ALLOWABLE HOLES IN WEBS. **DO NOT CUT FLANGES.**
 - IF CONDITIONS ARE NOT MET ON STUDS, ADD NEW STUD NEXT TO (E) STUD AND NAIL TOGETHER WITH 10d @ 6" O.C.

7 ALLOWABLE PENETRATIONS
NTS (FOR JOISTS AND STUDS)

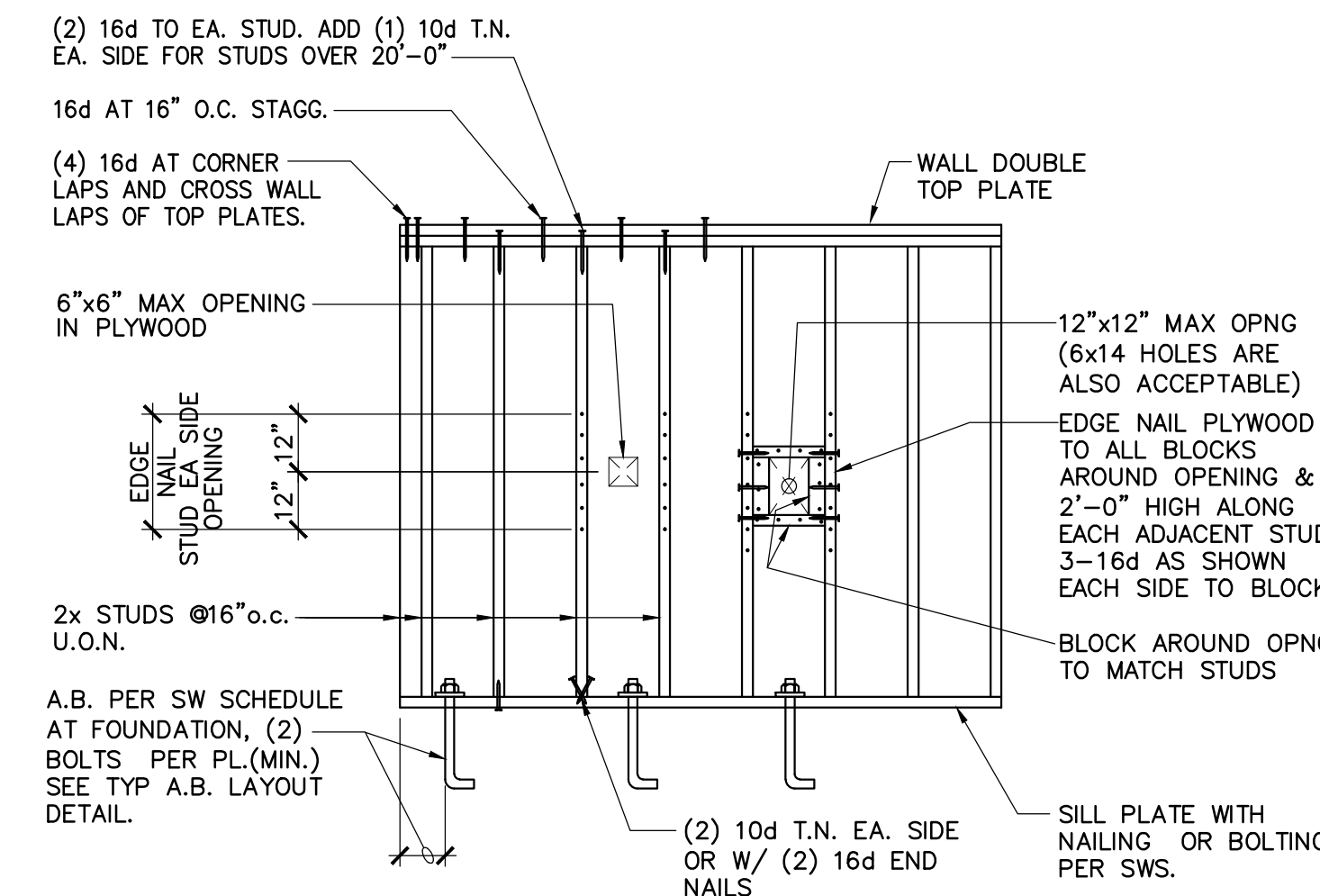


A AT FLUSH BM TOP FLUSH w/ TOP PLATE
B AT TRUSS OR UPSET BEAM

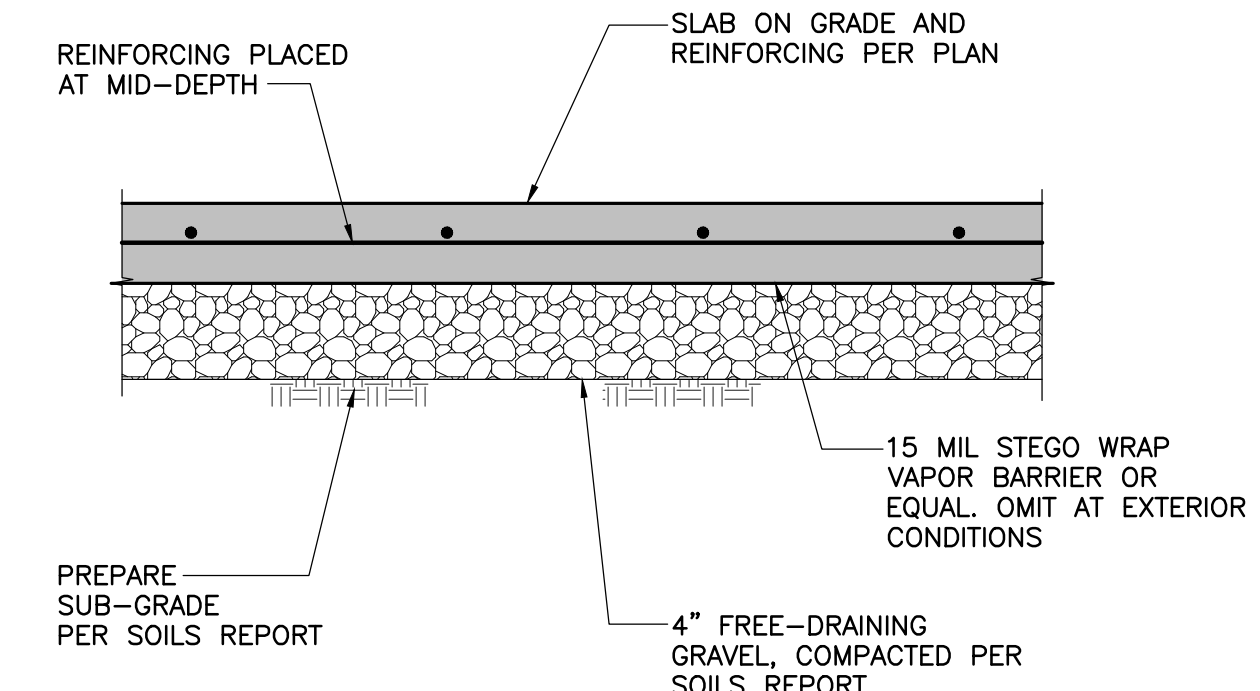


C AT END OF WALL TO BLOCKING

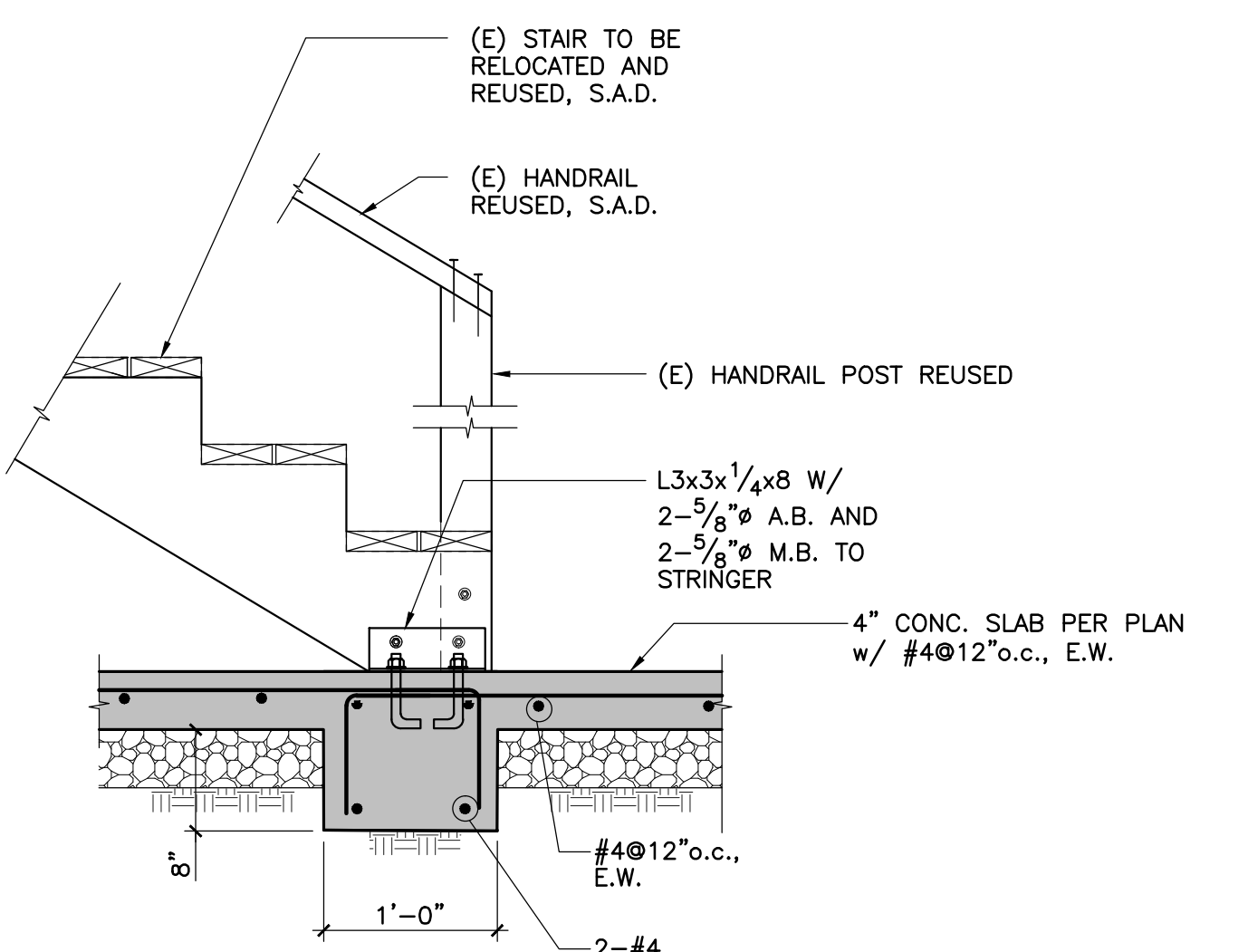
11 SHEAR WALL TIE TO COLLECTOR BEAM
NTS



4 MINOR OPENINGS IN SHEARWALLS
NTS



8 TYPICAL SLAB ON GRADE
NOT TO SCALE



12 SECTION
1'-1'-0"

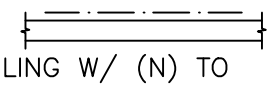
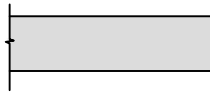
JYASF
STRUCTURAL ENGINEERS
JOHN YADGAR & ASSOCIATES
1 KAISER PLAZA #405
OAKLAND, CA 94612
415.243.0858 | JYASF.COM

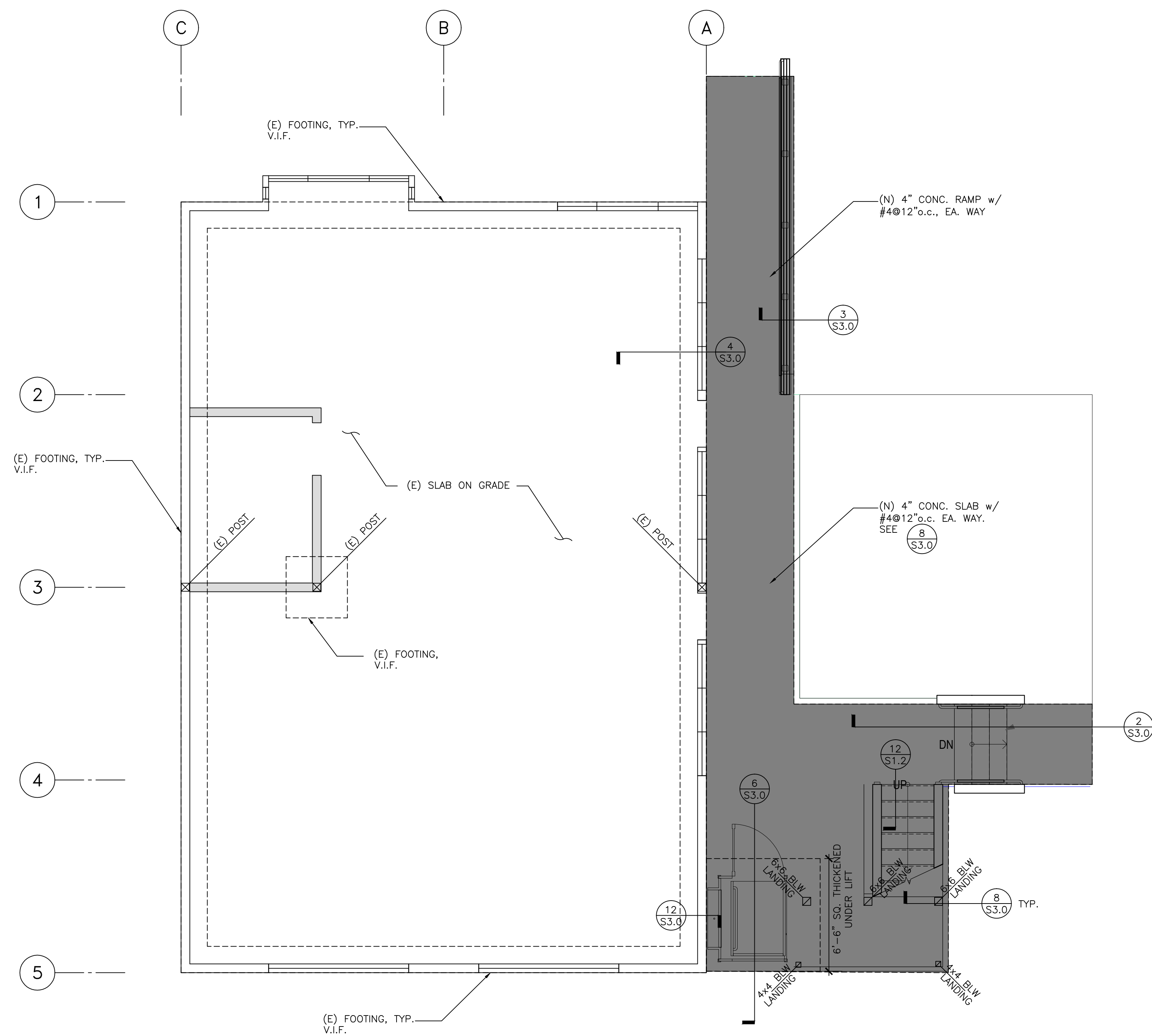
REGISTERED PROFESSIONAL ENGINEER
JAHMAD YADGAR
No. 2571
Exp. 12-31-2020
STRUCTURAL
STATE OF CALIFORNIA

910 Ensenada Avenue
BERKELEY, CA

TITLE	TYPICAL DETAILS
SCALE	AS NOTED
DATE	08/05/2020
BY	RH
ISSUE	
PERMIT	08/05/2020
PAGE#	S1.2

PLAN NOTES:

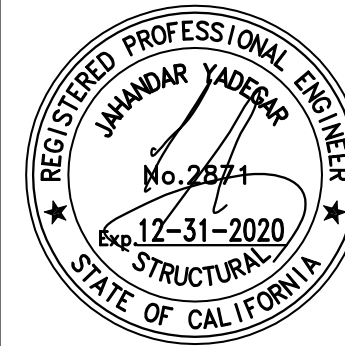
1. REFER TO GENERAL STRUCTURAL NOTES & DETAILS FOR GENERAL REQUIREMENTS OF CONSTRUCTION, MATERIALS, SHOP DRAWINGS, ABBREVIATIONS AND REQUIREMENTS OF CONSTRUCTION OBSERVATIONS.
2. S.A.D. FOR ALL DIMENSIONS AND FINISHED ELEVATIONS NOT NOTED. DO NOT SCALE DRAWINGS.
3. S.A.D. FOR ALL FINISHES, FIRE PROTECTION, THERMAL AND MOISTURE PROTECTION, WATERPROOFING, AND OTHER NON-STRUCTURAL ISSUES.
4. SEE ITEM #2 ON S1.0, NOTE C FOR ALL SPECIAL INSPECTION REQUIREMENTS.
5. PLYWOOD SHEAR WALLS ARE SHOWN AS:  REPLACE THE DAMAGED PLYWOOD AND NAILING W/ (N) TO MATCH (E).
6. NEW FRAMED 2x STUD WALLS ARE SHOWN AS: 
7. 4X4 POSTS TO BE REPLACED IF DAMAGED BY FIRE. (E) 4x4 POSTS UNDAMAGED AND IN GOOD CONDITION MAY REMAIN.



A FOUNDATION/1ST FLOOR PLAN
1/4"=1'-0"



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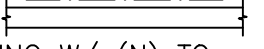
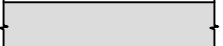
**910 Ensenada Avenue
BERKELEY, CA**

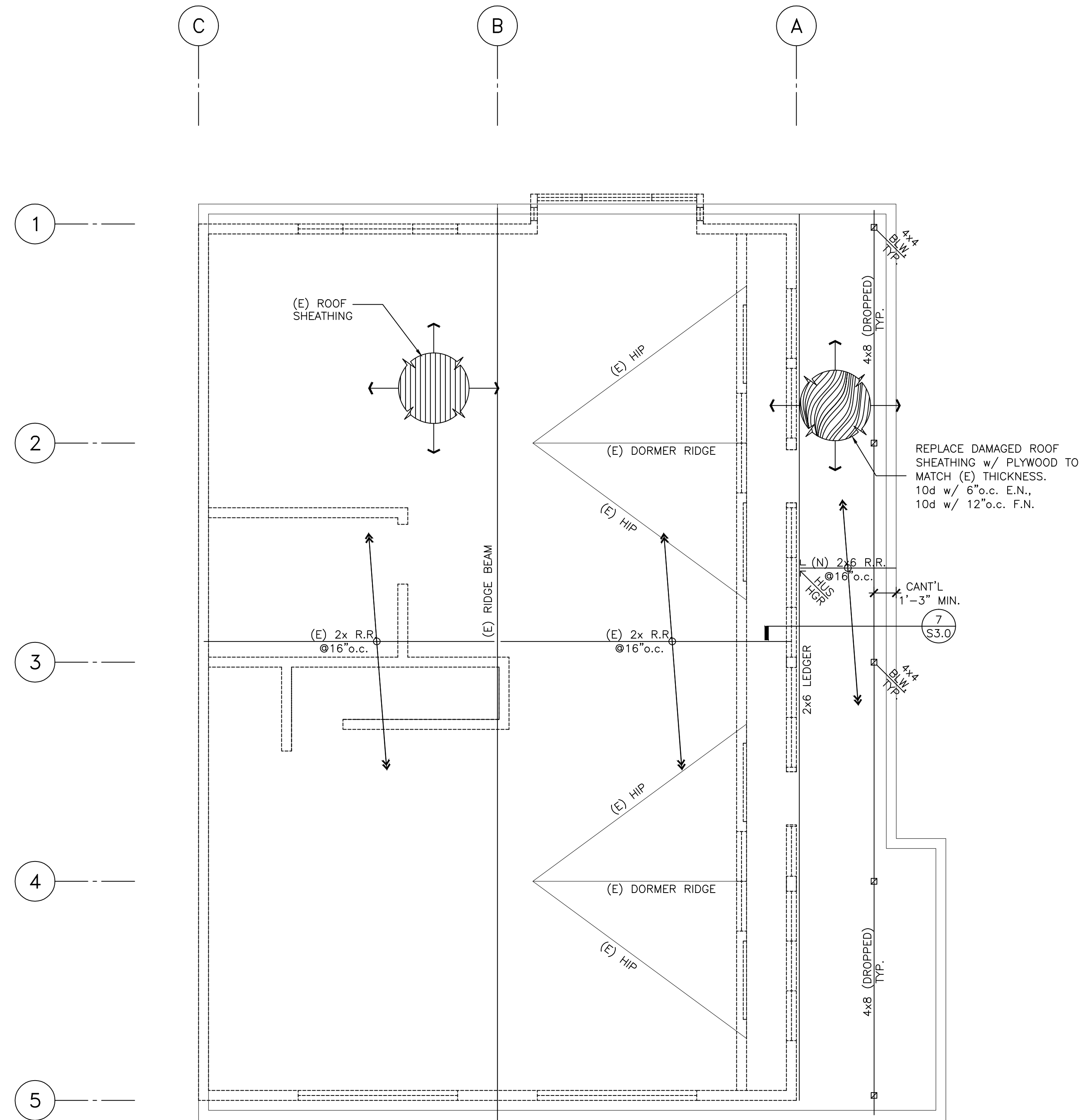
TITLE	FOUNDATION / 1st FLOOR PLAN
SCALE	AS NOTED
DATE	08/05/2020
BY	RH
ISSUE	
PERMIT	08/05/2020

PAGE #

S2.0

PLAN NOTES:

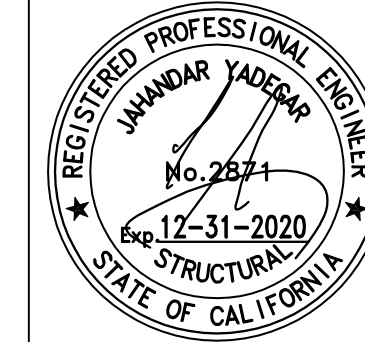
1. REFER TO GENERAL STRUCTURAL NOTES & DETAILS FOR GENERAL REQUIREMENTS OF CONSTRUCTION, MATERIALS, SHOP DRAWINGS, ABBREVIATIONS AND REQUIREMENTS OF CONSTRUCTION OBSERVATIONS.
2. S.A.D. FOR ALL DIMENSIONS AND FINISHED ELEVATIONS NOT NOTED. DO NOT SCALE DRAWINGS.
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6. NEW FRAMED 2x STUD WALLS ARE SHOWN AS: 
7. 4X4 POSTS TO BE REPLACED IF DAMAGED BY FIRE. (E) 4x4 POSTS UNDAMAGED AND IN GOOD CONDITION MAY REMAIN.



A ROOF PLAN
1/4"=1'-0"
NORTH ↑

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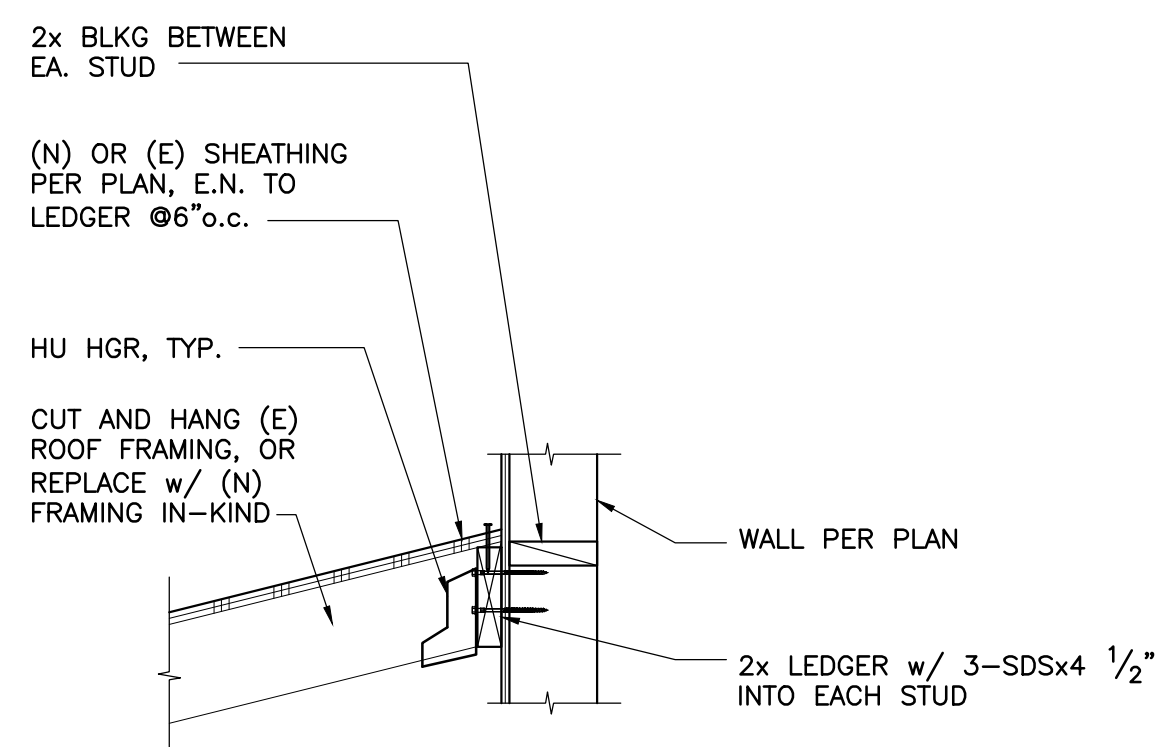
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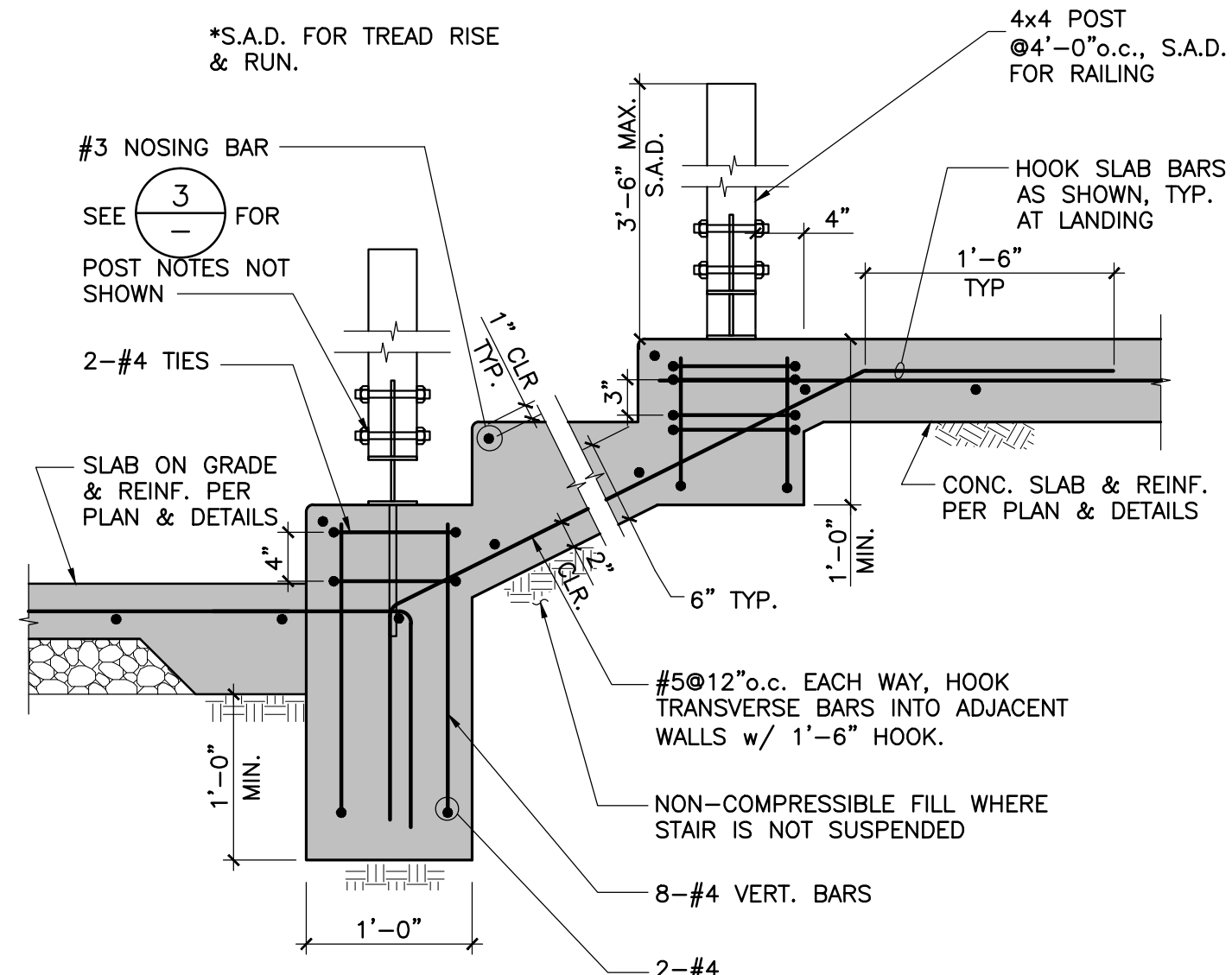
**910 Ensenada Avenue
BERKELEY, CA**

TITLE	HIGH ROOF PLAN
SCALE	AS NOTED
DATE	08/05/2020
BY	RH
ISSUE	
PERMIT	08/05/2020

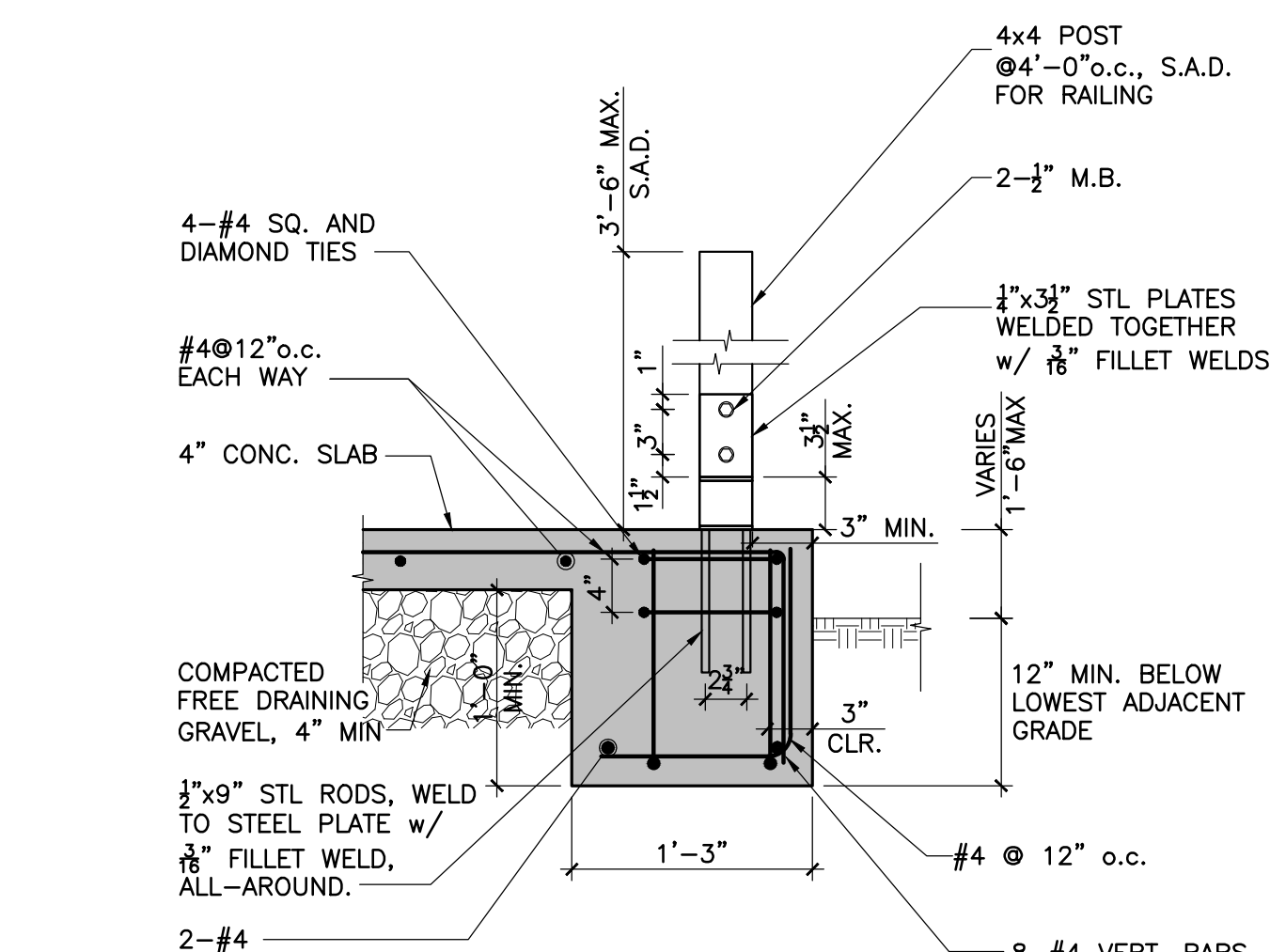
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S2.3



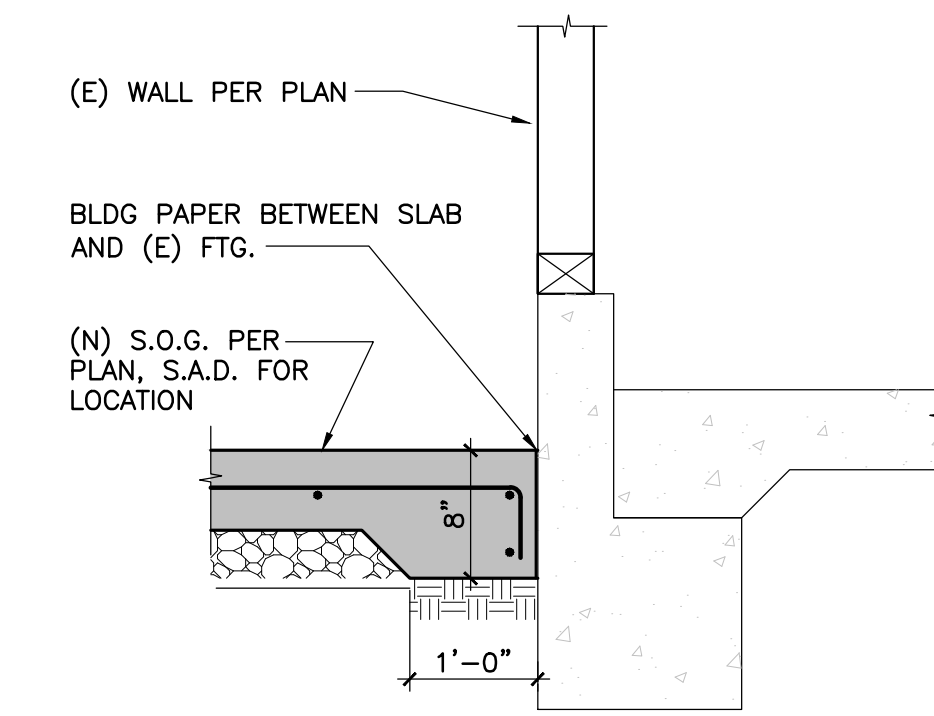
1 LEDGER @ DECK ROOF
1"=1'-0"



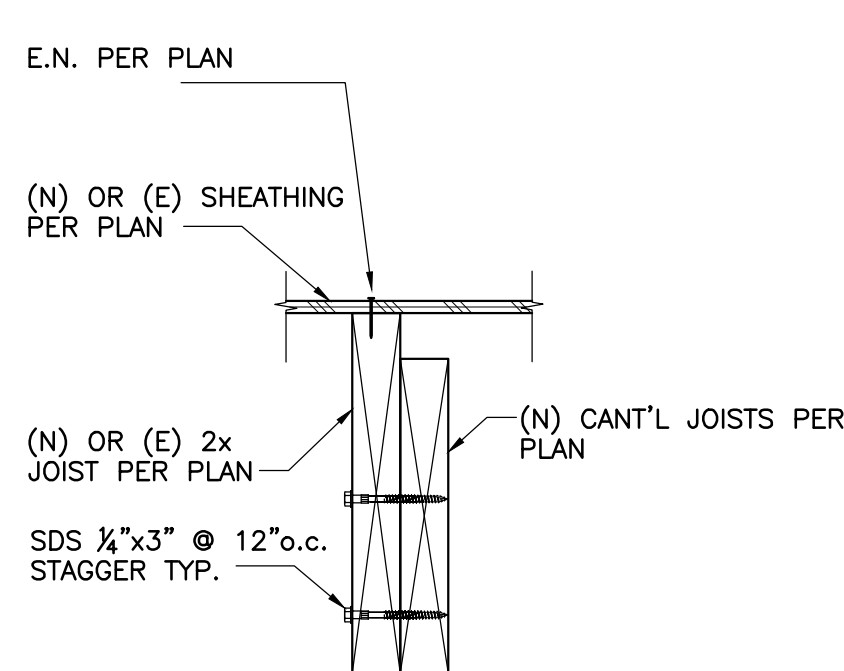
2 CONCRETE STAIR
1"=1'-0"



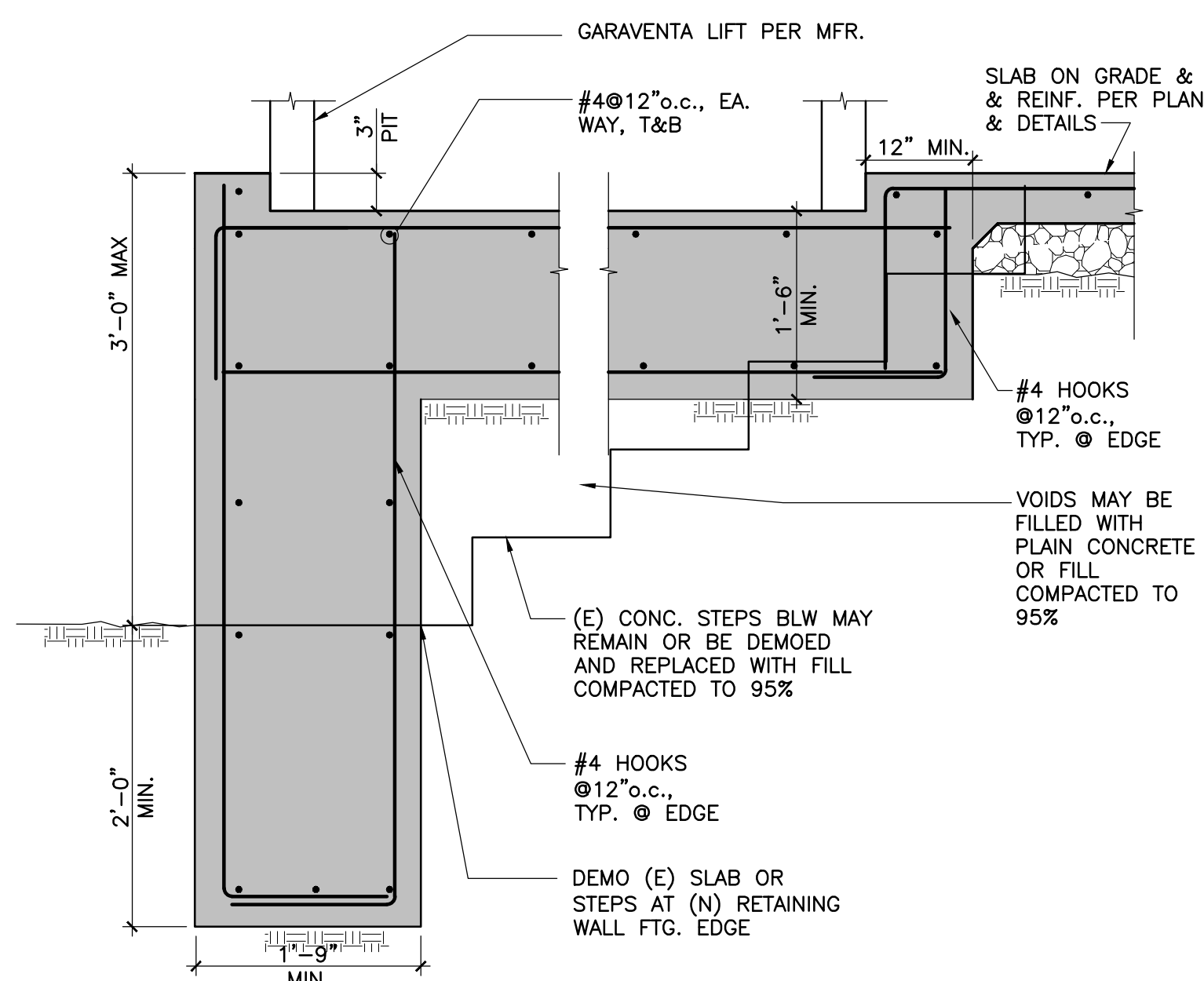
3 CONCRETE RAMP
1"=1'-0"



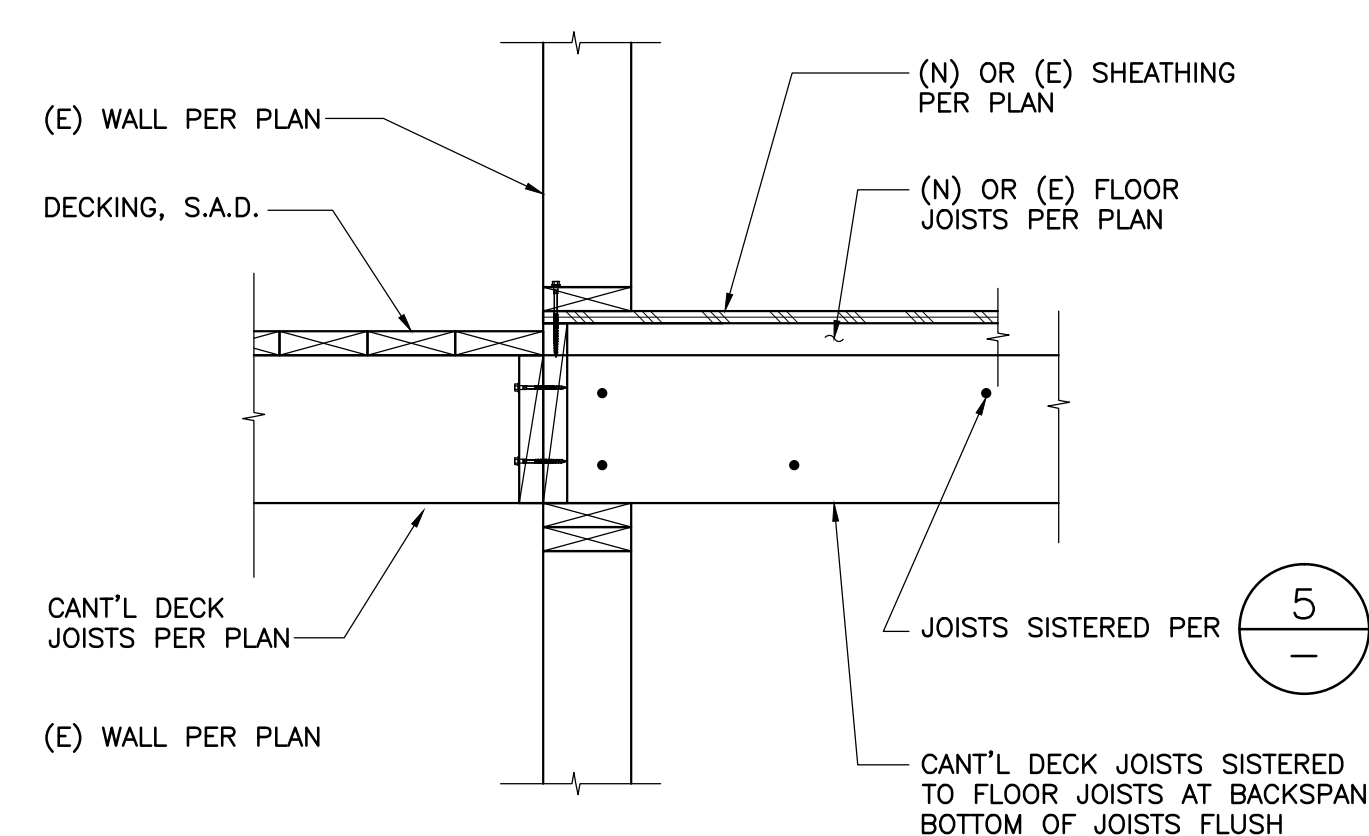
4 CONCRETE RAMP AT (E) FTG.
1"=1'-0"



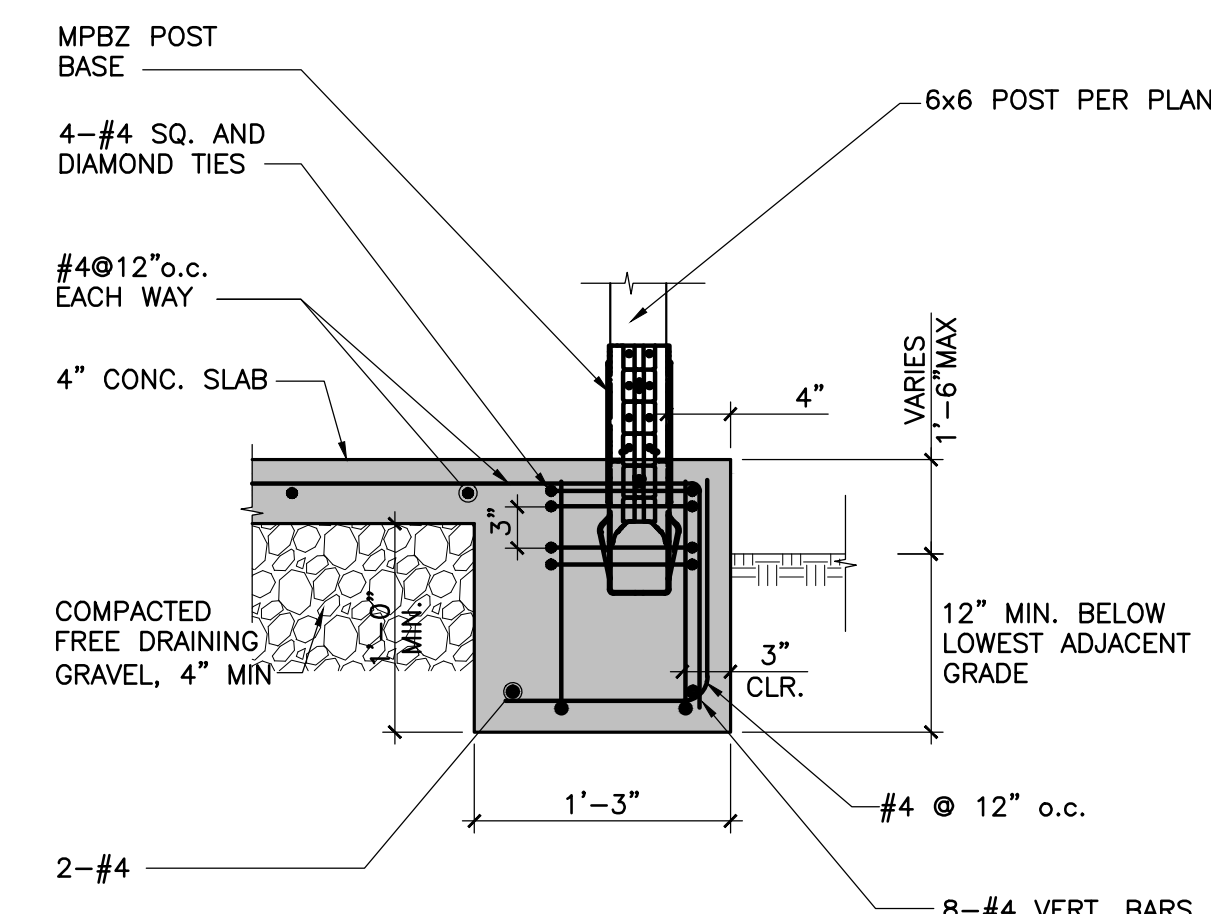
5 SISTERED JOISTS AT FLOOR
1"=1'-0"



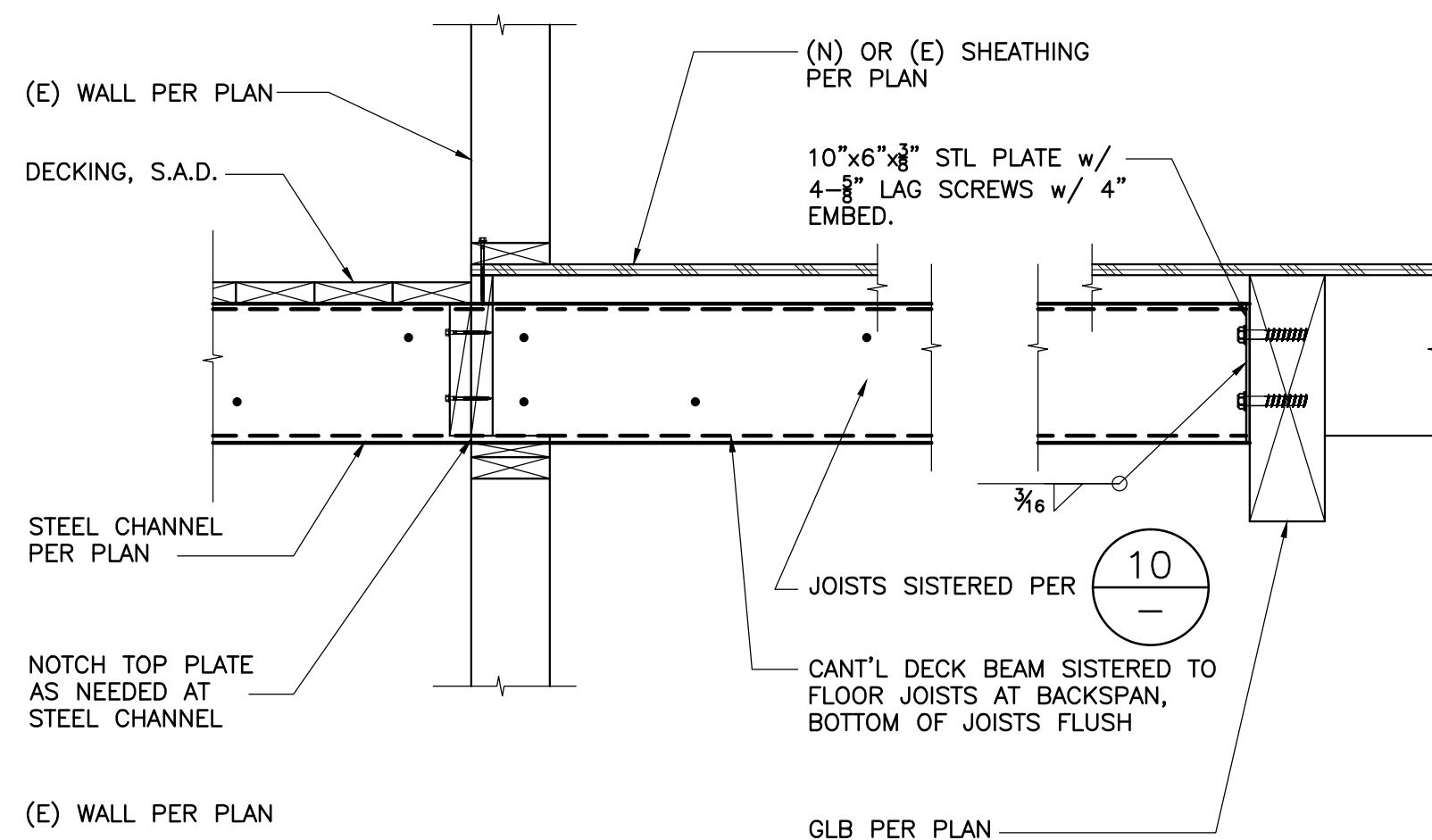
6 THICKENED PAD @ LIFT
1"=1'-0"



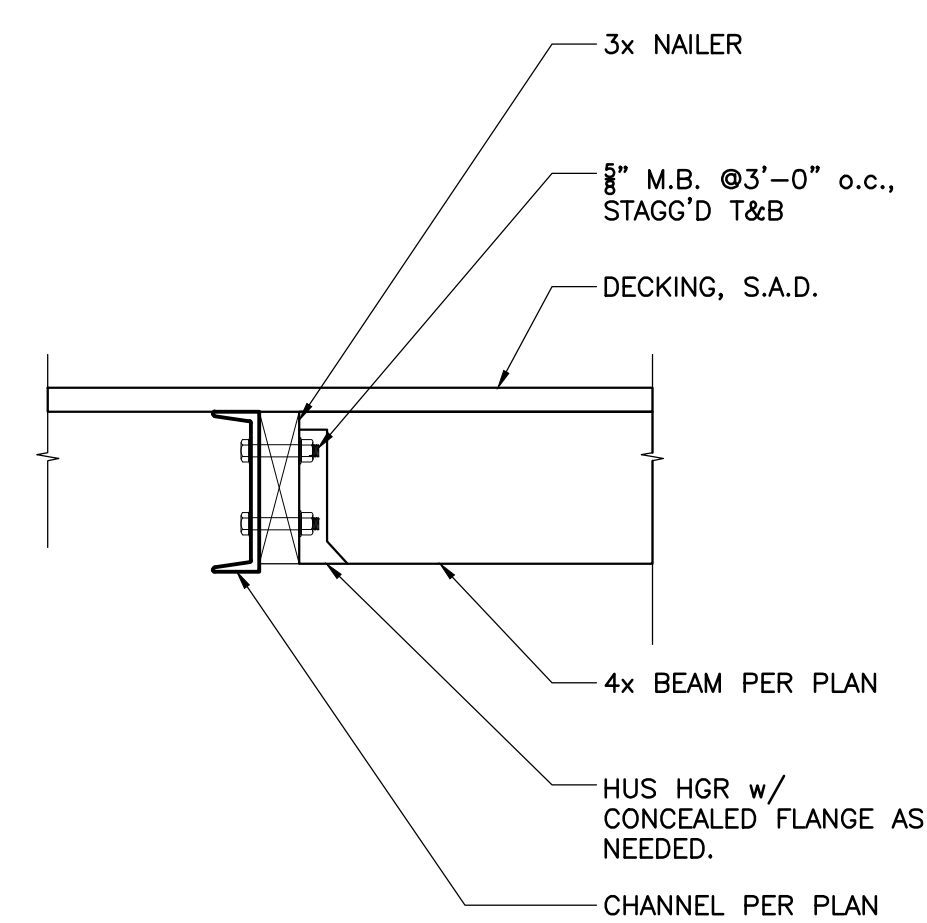
7 CANTILEVER @ DECK JOISTS
1"=1'-0"



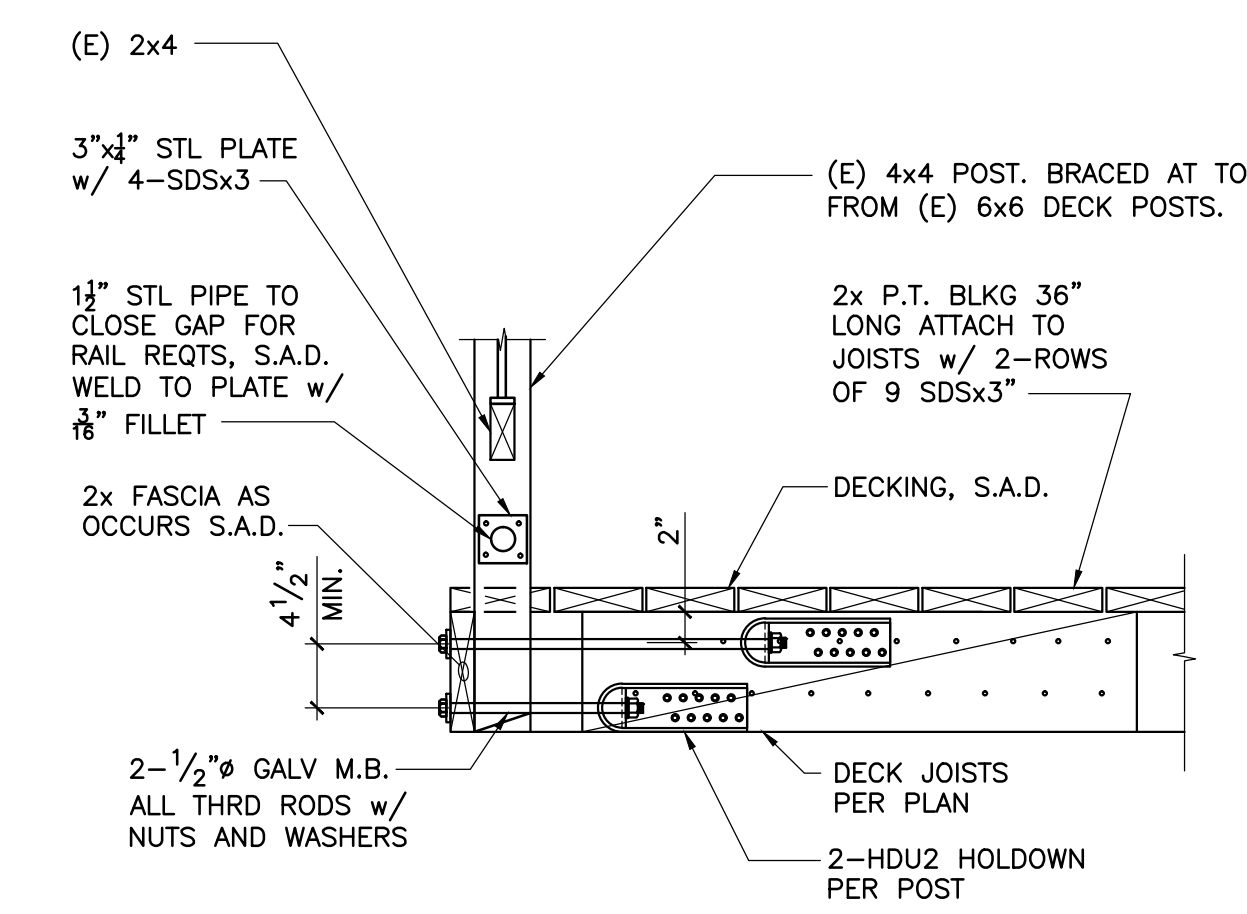
8 MOMENT POST BASE UNDER STAIR LANDING
1"=1'-0"



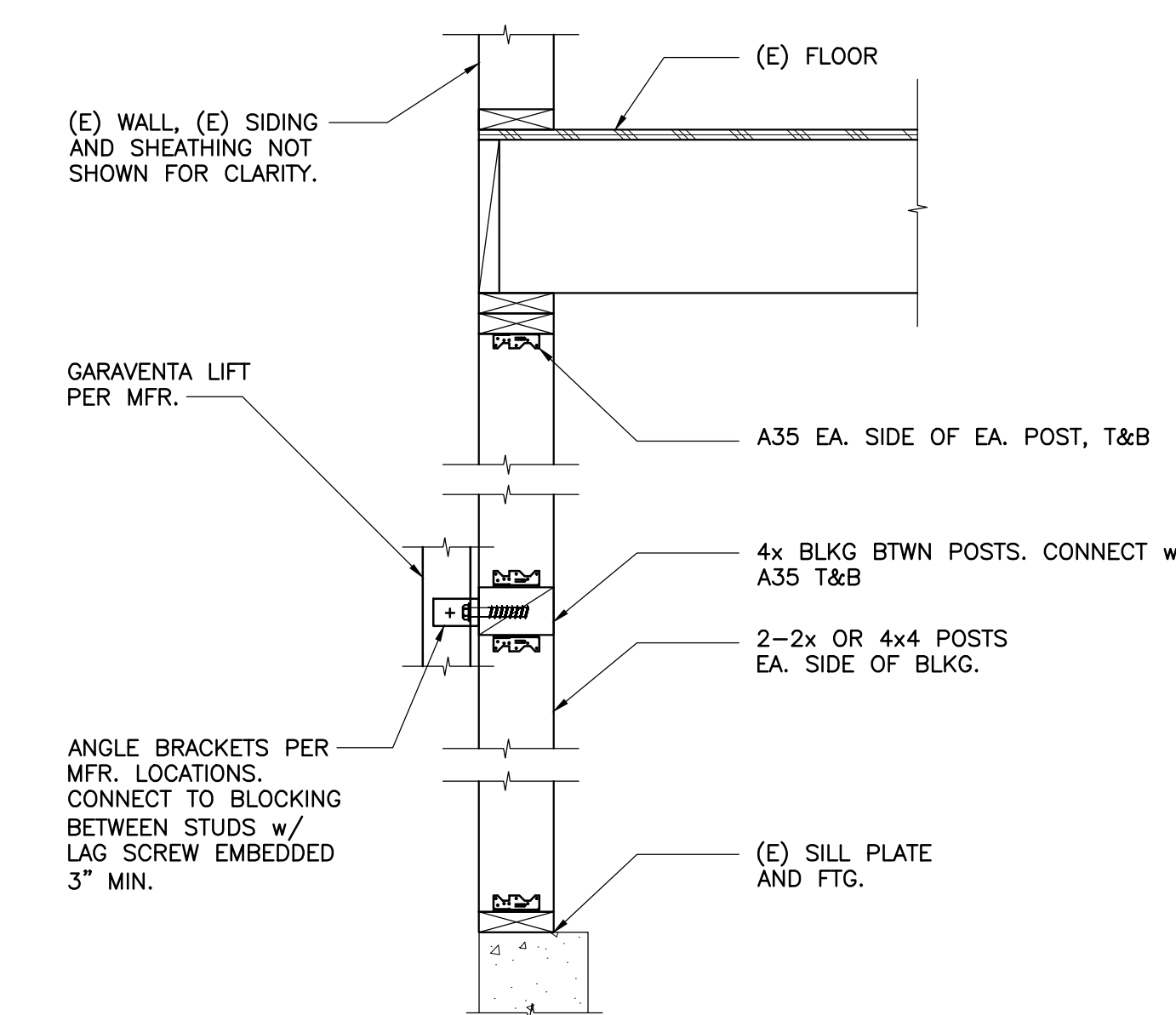
9 CANTILEVER @ DECK JOISTS
1"=1'-0"



10 CANTILEVER @ DECK JOISTS
1"=1'-0"

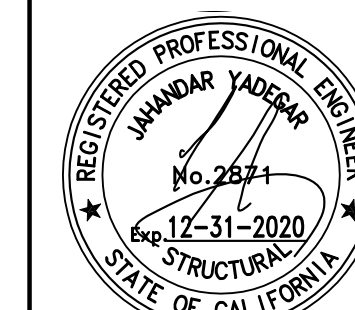


11 DECK GUARDRAIL (E) POST ATTACHMENT
1"=1'-0"



12 LIFT BRACING TO (E) STRUCTURE
1"=1'-0"

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910 Ensenada Avenue
BERKELEY, CA

TITLE
SECTIONS AND DETAILS

SCALE
AS NOTED

DATE
08/05/2020

BY
RH

ISSUE

PERMIT
08/05/2020

PAGE #

S3.0



Z O N I N G
A D J U S T M E N T S
B O A R D
NOTICE OF PUBLIC HEARING

906-908 Ensenada Avenue

Use Permit #ZP2022-0002 to combine two existing tenant spaces on the ground floor, 2,640 square feet in total, change the use of one space from retail, and establish a medical practitioner use.

The Zoning Adjustments Board of the City of Berkeley will hold a public hearing on the above matter, pursuant to Zoning Ordinance Section 23.406.040.D, on May 26, 2022, **conducted via Zoom, see the Agenda for details at:**

https://berkeleyca.gov/sites/default/files/legislative-body-meeting-agendas/2022-05-26_ZAB_Agenda.pdf. The meeting starts at 7:00 p.m.

PUBLIC ADVISORY: This meeting will be conducted exclusively through videoconference and teleconference. Pursuant to Section 3 of Executive Order N-29-20, issued by Governor Newsom on March 17, 2020, and the Shelter-in-Place Order, and to ensure the health and safety of the public by limiting human contact that could spread the COVID-19 virus, there will not be a physical meeting location available.

A. Land Use Designations:

- General Plan: Avenue Commercial
- Zoning: Solano Avenue Commercial, C-SO

B. Zoning Permits Required:

- C. Use Permit, under BMC Section 23.204.020, to establish a medical practitioner office in the C-SO; and
- D. Administrative Use Permit, under BMC Section 23.204.030(C) to combine two tenant spaces on the ground floor.

C. CEQA Recommendation: Categorically exempt pursuant to Section 15301 of the CEQA Guidelines ("Existing Facilities").

D. Parties Involved:

- Applicant Siddharth Sanghvi, 480 Third Street, Oakland
- Property Owner Alejandro and Daniel Balazs, 9 Caramel Avenue, El Cerrito

Further Information:

All application materials are available online at:
<https://aca.cityofberkeley.info/CitizenAccess/Welcome.aspx>.

The Zoning Adjustments Board final agenda and staff reports will be available online 6 days prior to this meeting at: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board>.

Questions about the project should be directed to the project planner, Sharon Gong, at (510) 981-7439 or cmariscal@berkeleyca.gov.

Written comments or a request for a Notice of Decision should be directed to the Zoning Adjustments Board Secretary at zab@berkeleyca.gov.

Communication Disclaimer:

Communications to Berkeley boards, commissions or committees are public record and will become part of the City's electronic records, which are accessible through the City's website. **Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, will become part of the public record.** If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service or in person to the secretary of the relevant board, commission or committee. If you do not want your contact information included in the public record, please do not include that information in your communication. Please contact the secretary to the relevant board, commission or committee for further information.

Communications and Reports:

Written comments must be directed to the ZAB Secretary at the Land Use Planning Division (Attn: ZAB Secretary), or via e-mail to: zab@cityofberkeley.info. All materials will be made available via the Zoning Adjustments Board Agenda page online at this address: <https://www.cityofberkeley.info/zoningadjustmentboard/>.

All persons are welcome to attend the virtual hearing and will be given an opportunity to address the Board. Comments may be made verbally at the public hearing and/or in writing before the hearing. The Board may limit the time granted to each speaker.

Correspondence received by 5:00 PM, eight days before this public hearing, will be provided with the agenda materials provided to the Board. Note that if you submit a hard copy document of more than 10 pages, or in color, or with photos, you must provide 15 copies. Correspondence received after this deadline will be conveyed to the Board in the following manner:

- **Correspondence received by 5:00 PM two days before** this public hearing, will be conveyed to the Board in a Supplemental Communications and Reports, which is released around noon one day before the public hearing; or
- **Correspondence received after 5:00 PM two days before** this public hearing will be saved in the project administrative record.

It will not be possible to submit written comments at the meeting.



Accessibility Information / ADA Disclaimer:

To request a disability-related accommodation(s) to participate in the meeting, including auxiliary aids or services, please contact the Disability Services specialist at 981-6342 (V) or 981-6345 (TDD) at least three business days before the meeting date.

SB 343 Disclaimer:

Any writings or documents provided to a majority of the Commission regarding any item on this agenda will be made available to the public. Please contact the Land Use Planning Division (zab@cityofberkeley.info) to request hard-copies or electronic copies.

Notice Concerning Your Legal Rights:

If you object to a decision by the Zoning Adjustments Board regarding a land use permit project, the following requirements and restrictions apply:

1. If you challenge the decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice.
2. You must appeal to the City Council within fourteen (14) days after the Notice of Decision of the action of the Zoning Adjustments Board is mailed. It is your obligation to notify the Land Use Planning Division in writing of your desire to receive a Notice of Decision when it is completed.
3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than ninety (90) days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that ninety (90) day period will be barred.
4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
5. If you believe that this decision or any condition attached to it denies you any reasonable economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a "taking" of property for public use without just compensation under the California or United States Constitutions, the following requirements apply:
 - A. That this belief is a basis of your appeal.
 - B. Why you believe that the decision or condition constitutes a "taking" of property as set forth above.
 - C. All evidence and argument in support of your belief that the decision or condition constitutes a "taking" as set forth above.

If you do not do so, you will waive any legal right to claim that your property has been taken, both before the City Council and in court.