



DESIGN REVIEW COMMITTEE STAFF REPORT

For Majority Recommendations

JUNE 16, 2022

742 (700) GRAYSON STREET **PRELIMINARY DESIGN REVIEW**

Design Review #DRCP2021-0015 To demolish the existing buildings used for manufacturing and construct one new 213,279 square-foot, four-story building containing 177,923 square feet of research and development space and 35,356 square feet of ground-floor manufacturing space, as well as one new seven-level parking garage containing 325 off-street parking spaces.

I. Introduction

This project is located in the MM Mixed Manufacturing District of West Berkeley on Grayson near the intersection at Seventh Street. The project proposed the construction of two new structures: one four-story building consisting of research and development, manufacturing and ancillary uses, and an adjacent seven-story parking structure providing 325 parking spaces.

The demolition proposal went before the Landmarks Preservation Commission (LPC) on June 2, 2022 where the Commission took no action. The project will be scheduled on an upcoming hearing date with the Zoning Adjustments Board.

The project is before the Design Review Committee this month for Preliminary Design Review.

II. Background

The project proposes the demolition of two existing structures and the construction of two new structures: one building consisting of research and development, manufacturing and ancillary uses, and an adjacent parking garage. The building will be a 4-story structure without a basement measuring +/-213,000 sf with 19,661 and 50,705 sf of usable open space, including ground-floor open space, outdoor terrace space and a roof deck. The building is proposed at a height of approximately 72 feet. The adjacent parking garage, at a height of approximately 65 feet, will be seven levels without a basement and contain 325 parking spaces. 148 secured bicycle parking spaces (128 secured, 20 short-term) will be provided along with shower facilities.

Other site features include:

- Plaza
- Streetscape enhancements and stormwater treatment
- Onsite bioretention area for stormwater treatment
- Outdoor terraces
- Landscaped roof deck.

III. Project Setting

A. Neighborhood/Area Description:

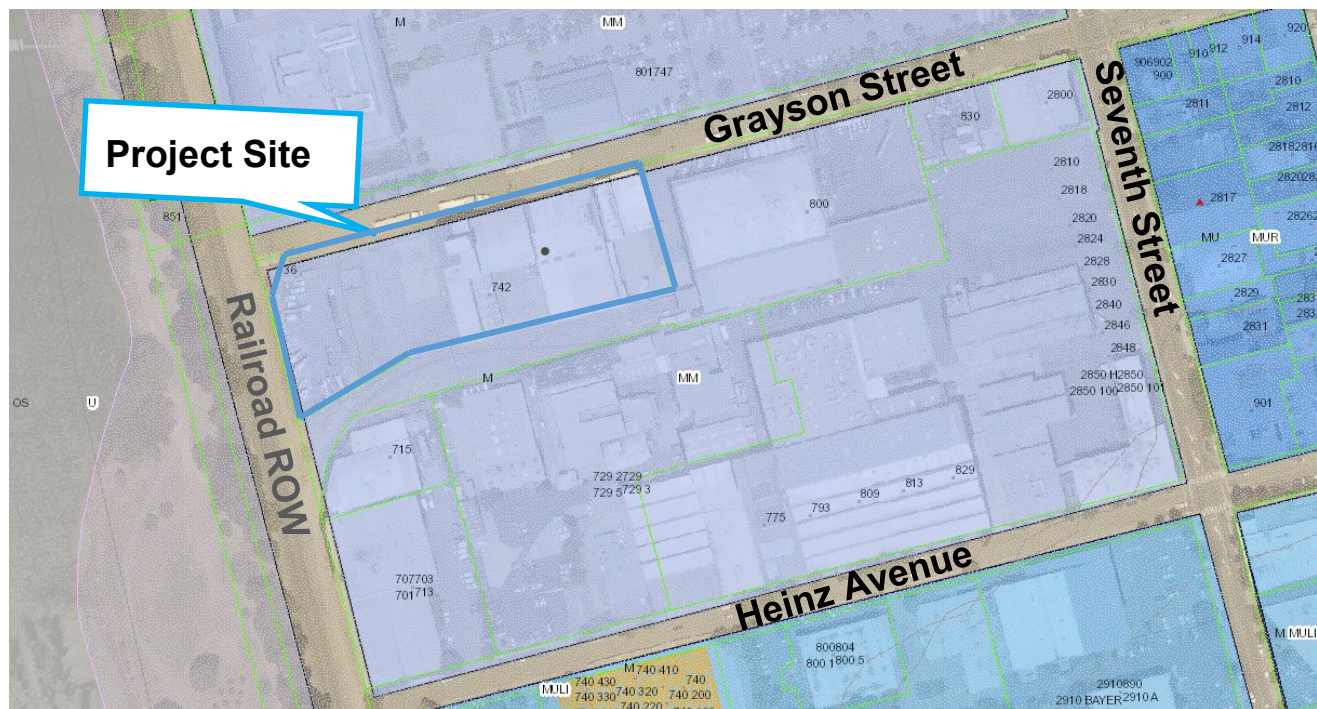
The project site is approximately 2.5 acres large and is located at the western end of the southside of Grayson Street as it meets the Union Pacific Railroad tracks and Aquatic Park beyond. The project site lies at the western border of Berkeley's established manufacturing and industrial area, within the General Plan's Manufacturing land use category. Located within the West Berkeley Plan Area, uses in the surrounding area support industrial, warehouse, manufacturing, wholesale trade, arts, research and supporting and compatible employment generating businesses.

Adjacent uses include industrial, manufacturing, research and development, and ancillary office uses to the south, east, and north, minimizing potential land use conflicts with the proposed project site. All adjacent parcels are also zoned MM. The Bayer campus is directly north of the site, Henkel Corporation to the east, Aquatic Park and Union Pacific Railroad tracks to the west, and various uses to the south, including Artworks Foundry, several professional offices, an outlet store and a bakery.

B. Site Conditions:

The north edge of the site is Grayson Street, which is bordered by an inconsistent amalgamation of old sidewalk, abandoned rail spurs (which may partially lay in the right of way), and dirt where it meets the public right of way. There are existing utility poles along the sidewalk at Grayson Street that the project proposes to relocate underground. The Union Pacific Railroad lies to the West of the property. The south edge of the site is bound by a private rail spur. Between 800 Grayson and 700 Grayson is a 35-foot-wide ingress/egress easement. Site topography is generally perceived as flat, though grades slope up gradually from northwest to southeast with increased downslope on the west edge of the site. Beyond the down sloping west edge and the railroad tracks lies Aquatic Park and the Aquatic Park Lagoon.

Figure 1: Vicinity Map



Legend

M-M Mixed Manufacturing
MU-LI Mixed Use - Light Industrial
MUR: Mixed Use - Residential



Table 1: Land Use Information

Location		Existing Use	Zoning District	General Plan Designation
Subject Property		Industrial (unoccupied)	MM	Manufacturing
Surrounding Properties	North	Manufacturing		
	South	Retail/office/manufacturing		
	East	Industrial (unoccupied)		
	West	Park	U	Open Space and Recreation

Table 2: Development Standards

Standard BMC Sections 23.206.070		Existing	Proposed	Permitted/ Required
Lot Area (sq. ft.)		109,230	No change	20,000
Gross Floor Area (sq. ft.)		45,406	213,279	N/A
Floor Area Ratio		0.42	2	2
Building Height	Average (ft.)	71.2	71'-11"	45'
	Stories	3	4	N/A
Building Setbacks (ft.)	Front	0'	4'-8"	0'
	Rear	8'	28'-8"	0'
	Left Side	0'	4'-6"	0'
	Right Side	259'	34'-6"	0'
Lot Coverage (%)		32	69	100
Usable Open Space (sq. ft.)		N/A	50,705	N/A
Parking	Automobile	4	325	380
	Bicycle	0	148	107

IV. Project Description

A. Requested Use Permits

- Use Permit pursuant to BMC Section 23.326.070.A to demolish main buildings used for non-residential purposes.
- Use Permit pursuant to BMC Section 23.206.050.A.2, to remove existing ground-level floor area used for manufacturing.
- Use Permit pursuant to BMC Section 23.206.030.A to construct 40,000 square feet or more of new gross floor area.
- Use Permit pursuant to BMC Section 23.206.030.A to re-establish more than 40,000 square feet of light manufacturing space.
- Administrative Use Permit pursuant to BMC Section 23.206.020 to establish more than 20,000 square feet of research and development use.
- Administrative Use Permit pursuant to BMC Section 23.304.050.A to allow architectural elements to exceed the height limit in a non-residential district.
- Use Permit pursuant to BMC Section 23.322.050.A.8 to designate up to 10% of the automobile parking required for a use for bicycle parking.
- Administrative Use Permit pursuant to BMC Section 23.322.100.5 to reduce the number of on-site loading spaces from nine to two.

- Variance pursuant to BMC Section 23.406.050 to allow an average height of 71 feet 11 inches where 45 feet is the maximum in the Mixed Manufacturing district.
- Variance pursuant to BMC Section 23.406.050 to provide 325 off-street automobile parking spaces where 380 are required.

B. CEQA Determination

It is staff's recommendation to ZAB that the project is categorically exempt pursuant to Section 15332 ("In-Fill Development Projects") of the CEQA Guidelines. The determination is made by ZAB.

V. Design Review Guidelines

The City's Design Guidelines are applicable for this project. Excerpts from the City-wide Design Review Guidelines are included below for your reference.

- **Setbacks:** The street façade of commercial streets should be respected, in order to create or maintain the sense of urban space.
- **Parking and Driveways:** Conflict with pedestrian circulation should be prevented by the proper location and design of auto entrances; whenever possible, parking should be behind buildings, underground, or in a central court.
- **Harmony with Surroundings:** The proposed design should be in harmony with its surroundings through the coordination of such design elements as cornice lines, eaves, and setbacks with those of existing neighborhood buildings.
- **Articulation:** Street facades in general and the ground floor level in particular should include elements of pedestrian scale and three-dimensional interest.
- **Lighting:** Lighting for circulation, security, building/sign identification should be non-obtrusive, except for lighting fixtures which are themselves decorative additions to the streetscape.
- **Walls and Fences:** Large, unarticulated expanses of any particular wall material that deaden the pedestrian environment should be avoided. The use of clear windows for ground floor retail projects is encouraged. Walls designed to allow sitting areas for pedestrian or space for landscaping and artwork are encouraged, especially in areas of heavy pedestrian use. Landscaping and/or art work should be maximized if large expanses of wall must be left devoid of openings.
- **Landscape and Open Space:** Sidewalk areas should include landscaping that is coordinated with the neighborhood design.
- **Public Open Space Areas:** the inclusion of public open spaces is encouraged as a means of providing places for people to come together for community interaction and enlivening the pedestrian environment.
- **Pedestrian Paths:** Pedestrian paths and arcades interior to the block which joins different parts of buildings as well as different streets are encouraged.
- **Building Entrances:** Entrance points should be clearly defined and easily identifiable by pedestrians by appropriate locations and by elements such as

awnings, signage, artwork or changes in paving material to define the entry point.

The West Berkeley Plan is also applicable to this project. Below are several relevant goals from that plan:

- Physical Form Goal 5: Development on major sites of 1 acre or more should be both internally cohesive and sensitively designed on the site's publicly used edges.
- Open Space Goal 9: Provide an accessible, aesthetically-pleasing network of green spaces and corridors - that is functional for varied types of users--to visually and physically link parks, creeks, and shoreline to residential and commercial, and light industrial areas.

The West Berkeley Plan can be found on the City's website at the link below:

<https://berkeleyca.gov/>

VI. Issues and Analysis

A. Design Review Issues:

Neighborhood Context The project is located in the MM Mixed Manufacturing District of West Berkeley between Seventh Street and the Union Pacific Railroad tracks with Aquatic Park just beyond. The site is located at the end of a dead-end street, surrounded by rail lines, only limited vehicular access ways and is located more than 650 feet from the nearest intersection. Because of the site's landlocked nature, a fire road is provided to the east of the property to allow for access to the back of the building.

Massing/ Building Design The project is made up of two separate structures: a four-story, 72-foot-tall mixed-use building and a seven-story, 65-foot-tall parking garage. The mixed-use portion of the building proposes a 20-foot ground floor height, with an average 16-foot floor height for all upper floors. The parking garage proposes 10' floor height for all floors, including the ground floor. The massing is broken up by a continuous void space that connects the ground floor amenity space to landscaped terraces at the second, third, and fourth floors. There is a large landscaped roof deck overlooking the Western edge of the property. The massing is pulled back at the Southwest corner with outdoor space provided at the second floor. Stacked terraces on the third and fourth floors are visually tied to the ground floor by a band of clear glazing that breaks the materiality of the South façade. The building steps back at the roof level on the South side.

Ground Floor Design The ground floor of this mixed-use building proposes a main lobby at the Northwest corner of the project adjacent to a large entry court as well as a landscaped area that runs the length of the Western edge of the property and wraps around to the South side. The bike storage room, which includes two shower rooms, can be accessed from the lobby or from an exterior door that opens out to Grayson Street. The majority of the floor is dedicated to the manufacturing uses with a portion allocated for a research and development tenant space along the West side of the floor. Mechanical spaces are arranged at the East end of the floor with access to Grayson and a loading dock is proposed directly adjacent to the parking structure.

Setbacks The building is setback 3'6" from the North property line at Grayson and 4'6" from the East property line. The building is pulled further back from the South and West property lines to allow for stormwater treatment planting areas and public open space.

Parking The proposed seven- story parking structure is designed to be 64'-5" and includes 325 parking spaces. Vehicular and loading access is located on Grayson Street at the North end of the project site. The project proposes two on-site loading spaces that can accommodate large trucks (50 feet or larger). The project proposes 148 onsite bike parking spaces. Bicyclists will have access to the bike storage room directly from Grayson Street.

Open Space Design Open space is incorporated on each floor throughout the project. A large landscaped area is provided along the Western edge of the property, with exterior stairs connecting to landscaped decks facing North at the second, third and fourth floors that lead to a landscaped roof deck. Additional outdoor terraces are provided at the Southwest corners of the second, third, and fourth floors, as well. The terraces are designed to offer outdoor space to all portions of the floor. The roof level includes a mechanical yard wrapped by a mechanical screen and a landscaped roof deck at the west end of the building, offering panoramic views of the east bay, north bay, and San Francisco.

Landscape The project includes 24,884 square feet of total landscaped area, including 14,503 square feet at ground level (see Sheet L5.00). This also includes over 4,200 square feet of stormwater management treatment area designed to capture and treat stormwater on-site and avoid negative impacts on Aquatic Park and the San Francisco Bay.

Streetscape Thirteen new street trees are proposed along Grayson.

Bird Safe Glass The project proposes bird safe glass on the west façade and partially opaque panels to reduce potential for bird strikes. Other features to protect against bird strikes – such as window shades that close automatically at night, are being considered.

Colors and Materials The project includes concrete, metal mesh, expanded metal mesh, and aluminum mullions and fins.

B. Issues for Discussion:

- Neighborhood Context
- Ground floor Design
- Building/ Façade Design
- Landscape
- Open Space Design
- Colors and Materials

VII. Recommendation

Staff recommends that the Committee discuss the issues outlined above and forward a favorable recommendation to ZAB with specific direction for Final Design Review.

Attachments:

1. Project Plans, received May 12, 2022
2. Applicant Statement, received May 12, 2022

Staff Planner: Anne Burns, aburns@cityofberkeley.info, (510) 981-7410

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File: BIM_30071742_700Grayson/18-221_742_Grayson_Central.rvt



700 GRAYSON STREET BERKELEY, CA 94710

ZONING PROJECT APPLICATION RESUBMITTAL - 05.12.2022

NOT FOR CONSTRUCTION

brick.

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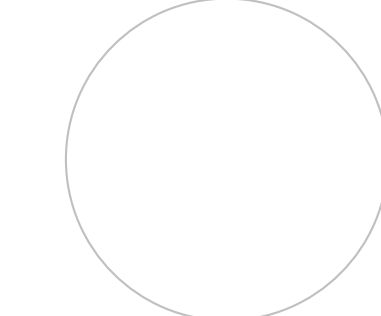
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CONSULTANT

△ date revision description

4 2022.05.12 ZONING APPLICATION RESUBMITTAL
3 2022.04.01 ZONING APPLICATION RESUBMITTAL
2 2021.12.08 ZONING APPLICATION RESUBMITTAL
1 2021.08.19 ZONING APPLICATION

date issue description



700 Grayson Street
700 grayson street
berkeley, ca 94710

project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

COVER

G0.00

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file: BIM 360/742 Grayson/18-221 742 Grayson Central.rvt

CL	CENTERLINE		
ANGLE			
ACOUS	ACOUSTICAL	MAT	MATERIAL
ADJ	ADJUSTABLE	MAX	MAXIMUM
AGG	AGGREGATE	M.C.	MEDICINE CABINET
AL	ALUMINUM	MECH	MECHANICAL
APPROX	APPROXIMATE	MEMB	MEMBRANE
ARCH	ARCHITECTURAL	MET	METAL
A.P.L.	ASSUMED PROPERTY LINE	MFR	MANUFACTURER
A.F.F.	ABOVE FINISH FLOOR	MIN	MINIMUM
ADD'L	ADDITIONAL	M	MIRROR (FRAMED)
		MISC	MISCELLANEOUS
BD	BOARD	M.O.	MASONRY OPENING
BTUM	BITUMINOUS	MTD	MOUNTED
BLDG	BUILDING	MUL	MULLION
BLKG	BLOCKING	MG	MEDICAL GAS PANEL
BM	BEAM	MB	MACHINE BOLT
B.O.	BOTTOM OF	MK	MARKER BOARD
BOT.	BOTTOM	MSH	MOP AND BROOM HOLDER
CAB	CABINET	(N)	NEW
C.B.	CATCH BASIN	N.I.C.	NOT IN CONTRACT
CBC	CALIFORNIA BUILDING CODE	NO. or #	NUMBER
C.T.	CERAMIC TILE	NOM	NOMINAL
C.C.T.	CUBICLE CURTAIN TRACK	N.T.S.	NOT TO SCALE
CJ	CAST IRON		
CLG	CEILING	O/	OVER
CLR	CLEAR	O.A.	OVERALL
COL	COLUMN	O.C.	ON CENTER
CONC.	CONCRETE	OC	OCCUPANCY
CONT.	CONTINUOUS	O.D.	OUTSIDE DIAMETER
CORR	CORRIDOR	OPP	OPPOSITE
CTSK	COUNTERSINK	O.F.D.	OVERFLOW DRAIN
C.M.U.	CONCRETE MASONRY	OFO	OWNER FURNISHED, OWNER INSTALLED
C.D.U.	COMBINATION DISPENSING UNIT	OFO	OWNER FURNISHED, CONTRACTOR INSTALLED
C.W.	CURTAIN WALL	OL	OCCUPANT LOAD
		OLF	OCCUPANT LOAD FACTOR
D.A.	DISABLED ACCESSIBILITY	PEN	PENETRATIONS(S)
DBL	DOUBLE	PL	PLATE
DEPT.	DEPARTMENT	P.LAM.	PLASTIC LAMINATE
D.F.	DRAINING FOUNTAIN	PLYWOOD	PLYWOOD
DET	DETAIL	PR	PAIR
DIA	DIAMETER	PTD.	PAINTED
DISP	DISPENSER	P.A.D.	POWER ACTUATED DEVICE
DN	DOWN	P.I.P.	POURED-IN-PLACE
DR	DOOR	P.T.	PRESSURE TREATED
DS	DOWNSPOUT	PV	PHOTOVOLTAIC
DWG.	DRAWING		
D.D.	DECK DRAIN	Q.T.	QUARRY TILE
D.F.	DOUGLAS FIR		
(E)	EXISTING	R	RISER
EA	EACH	RAD	RADIUS
E.J.	EXPANSION JOINT	R.D.	ROOF DRAIN
EL	ELEVATION	REF	REFERENCE
ELEC	ELECTRICAL	REFR	REFRIGERATOR
ELEV	ELEVATOR	RENF	REINFORCED
EMERG	EMERGENCY	REQD.	REQUIRED
ENCL	ENCLOSURE	RESIL	RESILIENT
EQ	EQUAL	R.H.	ROBE HOOK
EQPT	EQUIPMENT	RM	ROOM
ERRCS	EMERGENCY RESPONDER RADIO	R.O.	ROUGH OPENING
	COMMUNICATION SYSTEM	RT	RESILIENT TILE
E.W.C.	ELECTRIC WATER COOLER	RWD	REDWOOD
EXP	EXPANSION	R.W.L.	RAIN WATER LEADER
EXT.	EXTERIOR		
F.A.	FIRE ALARM	S.C.D.	SOLID CORE
F.O.C.	FLOOR CLEAN OUT	S.C.D.	SEE CIVIL DRAWINGS
F.D.	FLOOR DRAIN	SCHED	SCHEDULE
FDN	FOUNDATION	SD	SOAP DISPENSER
F.E.	FIRE EXTINGUISHER	SECT.	SECTION
F.E.C.	FIRE EXTINGUISHER CAB.	SF	STOREFRONT
F.H.C.	FIRE HOSE CABINET	SH	SHELF
FN	FINISH	SHWR	SHOWER
FL	FLOOR	SHT	SHEET
FLUOR	FLUORESCENT	S.L.D.	SEE LANDSCAPE DRAWINGS
F.O.C.	FACE OF CONCRETE	SM	SIMILAR
F.O.F.	FACE OF FINISH	S.M.S.	SHEET METAL SCREW
F.O.S.	FACE OF STUDS	SND	SANITARY NAPKIN DISPOSAL
F.S.S.	FOLDING SHOWER SEAT	SNV	SANITARY NAPKIN VENDOR
FT	FOOT OR FEET	S.O.G.	SLAB ON GRADE
FTG	FOOTING	S.S.	STAINLESS STEEL
FURR	FURRING	S.S.D.	SEE STRUCTURAL DRAWINGS
F.H.S.	FLAT HEAD SCREW	S.S.G.	STRUCTURAL SILICONE GLAZING
F.R.	FIRE RETARDANT	STD	STANDARD
		STL	STEEL
		STOR	STORAGE
GA	GAGE	STRL	STRUCTURAL
GALV.	GALVANIZED	SUSP.	SUSPENDED
G.F.C.P.	GLASS FIBER CONCRETE PANEL		
G.F.R.P.	GLASS FIBER REINFORCED CONCRETE	TCD	TOILET SEAT COVER DISPENSER
GL	GLASS	T.D.	TRENCH DRAIN
GND	GROUND	TREAD	TREAD
GYP	GYPSPUM	T.B.	TOWEL BAR
G.W.B.	GYPSPUM WALL BOARD	T.O.C.	TOP OF CURB/CONCRETE
GEN	GENERAL	TEL	TELEPHONE
		TER	TERRAZZO
H.B.	HOSE BIBB	T&G	TONGUE AND GROOVE
H.C.	HOLLOW CORE	THK	THICK
H.M.	HOLLOW METAL	TK.BD.	TACKBOARD
HORIZ	HORIZONTAL	T.O.	TOP OF
HR	HOUR	T.P.	TOP OF PAVEMENT/TELEPHONE PANELBOARD
H.S.S.	HOLLOW STRUCTURAL SECTION	TPD	TOILET PAPER DISPENSER
		T.V.	TELEVISION
		TYP.	TYPICAL
ID	INSIDE DIAMETER	T.O.S.	TOP OF STEEL
INSUL	INSULATION	T.O.W.	TOP OF WALL
INT	INTERIOR		
INT	INTRAVENOUS TRACK	U.O.N.	UNLESS OTHERWISE NOTED
JAN.	JANITOR	VCT	VINYL COMPOSITION TILE
J.T.	JOINT	VDB	VISUAL DISPLAY BOARD
		VERT.	VERTICAL
KIT.	KITCHEN	VEST.	VESTIBULE
LAB	LABORATORY		
LAM.	LAMINATE	W/	WITH
LAV.	LAVATORY	W.C.	WATER CLOSET
LVT	LIGHT	WD	WOOD
		W/O	WITHOUT
		WP	WATERPROOF
		WR	WASTE RECEPTACLE
		WT	WEIGHT

8 ABBREVIATIONS

GRAPHIC SYMBOLS

- GRAPHIC SYMBOLS REPRESENT OBJECTS, ELEMENTS, EQUIPMENT, INSTRUCTIONS, LOCATION, CONVENTIONS, ETC. THEY DO NOT REPRESENT THE SHAPE, SIZE, DIMENSION OF THE ACTUAL OBJECT.
- EACH DRAWING GROUP (I.E. MECHANICAL, ELECTRICAL) HAS ITS OWN SYMBOLS, ABBREVIATIONS, LEGEND AND NOTES. THE INFORMATION AND SYMBOLS ON THIS DRAWING ARE GENERAL AND APPLY TO ALL DRAWINGS.

GENERAL SYMBOLS

REFER TO FINISH SCHEDULE FOR FINISH SPECIFICATIONS

Name ROOM NAME

101 ROOM NUMBER

OPT FLOOR FINISH

RB WALL BASE

PT WALL FINISH

2' - 0"

ALIGN FIN. FACE TO FIN. FACE

2 REVISION

MATCH LINE SHADDED PORTION IS THE SIDE CONSIDERED.

SECTIONS

SECTION IDENTIFICATION

SHEET WHERE SECTION IS DRAWN

ELEVATIONS (UNFOLD ELEVATIONS CLOCKWISE)

DETAIL NUMBER INDICATES ELEVATION DRAWN

SHEET WHERE ELEVATION IS DRAWN

INTERIOR ELEVATIONS (UNFOLD ELEVATIONS CLOCKWISE)

DETAIL NUMBER INDICATES ELEVATION DRAWN

SHEET WHERE ELEVATION IS DRAWN

DETAILS

DETAIL NUMBER

SHEET WHERE DETAIL IS DRAWN

PARTITIONS

PARTITIONS - SEE WALL TYPES

DOORS

FLOOR FINISH TRANSITION WHERE INDICATED AT CENTER LINE OF DOOR, TYPICAL

CASEWORK

WALL HUNG CABINETS OR SHELVES

BASE CABINET COUNTER TOP

ELECTRICAL SYMBOLS

SCONE

RECESS WALL WASHER

RECESSED DOWNLIGHT, WET LOCATION

RECESSED DOWNLIGHT

PENDANT LIGHT FIXTURE

LED UNDER COUNTER LIGHT

LED LINEAR - FINELIGHT

ELECTRIC VEHICLE CHARGING STATION

J BOX

IN-SINK GARBAGE DISPOSAL

FLOOR DUPLEX OUTLET

HALF HOT FLOOR DUPLEX OUTLET

DUPLEX OUTLET

DOUBLE DUPLEX OUTLET

GROUND FAULT CIRCUIT INTERRUPTED OUTLET

EXTERIOR GFI DUPLEX OUTLET

SWITCH

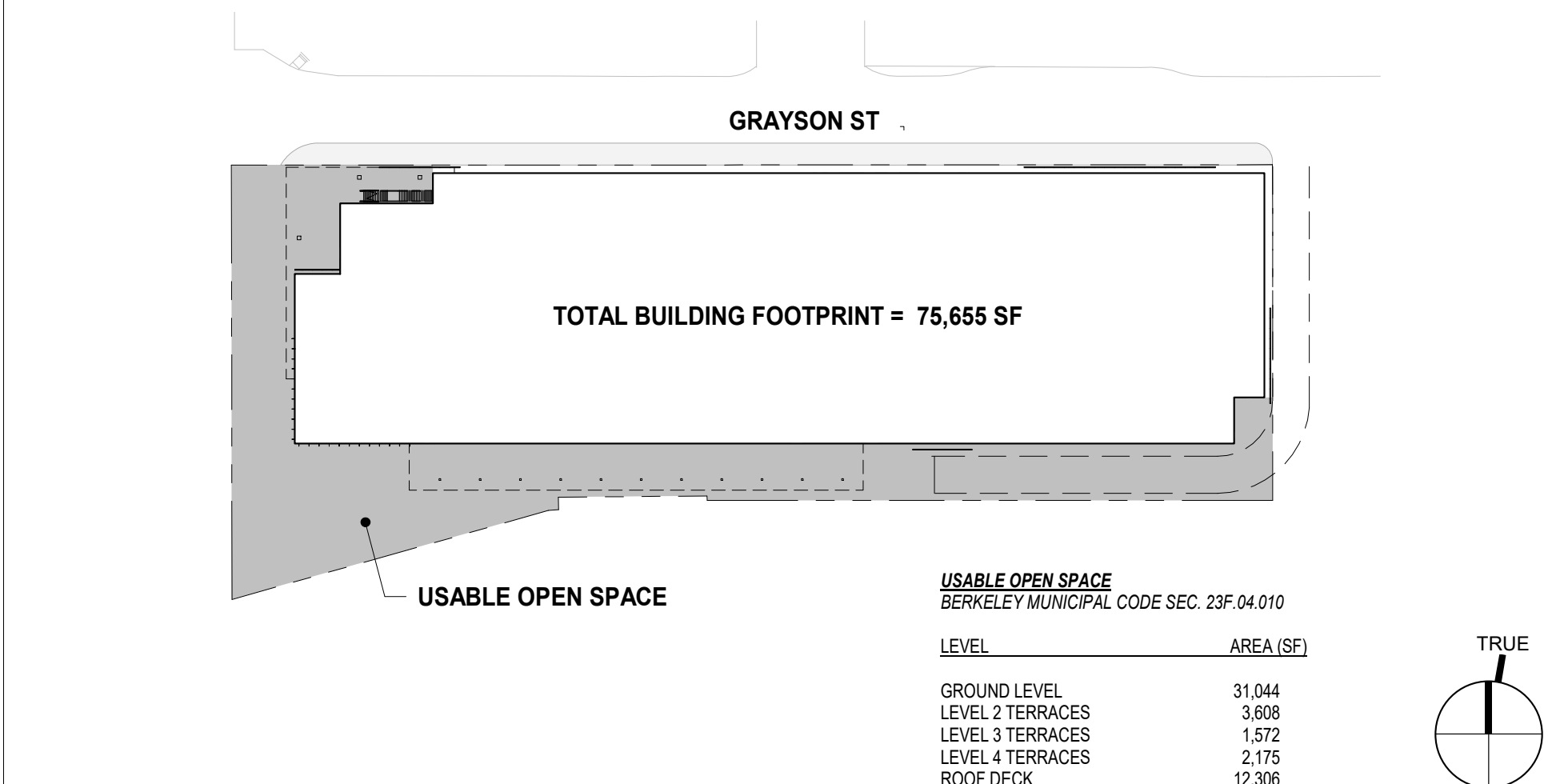
HANDRAIL / WALL PROTECTION

VISUAL DISPLAY BOARDS

CORNER GUARD

EDGE GUARD

7 GRAPHIC SYMBOLS



6 OPEN SPACE SUMMARY



5 VICINITY MAP

SITE DATA

ADDRESS: 700 GRAYSON STREET
BERKELEY, CA 94710

APN: 003 170400102

LOT AREA: 109,230 SF

ZONING: MM (MIXED MANUFACTURING)

GENERAL PLAN AREA: 4 (OFFICE & LAB)
A3.5 (OUTDOOR TERRACES)

OCCUPANCY GROUPS: TYPE II-B

FULLY SPRINKLERED: YES

STORIES: 4 STORIES ABOVE GRADE

ZONING COMPLIANCE

STANDARD	REQUIREMENT	PROPOSED PARKING	PROPOSED BUILDING	COMPLIANCE
MAX. HEIGHT	45'	64'-5"	71'-11"	N
FRONT SETBACK	N/A	N/A	N/A	Y
REAR SETBACK	N/A	N/A	N/A	Y
SIDE SETBACK	N/A	N/A	N/A	Y
LANDSCAPE COVERAGE	N/A	N/A	N/A	N/A
BUILDING COVERAGE	N/A	N/A	N/A	N/A
MAX. FAR	N/A	2.0	2.0	Y
MAX. ALLOWABLE AREA	218,480 GSF		213,279 GSF	Y

NOTES:
*1. ELEVATOR PENTHOUSE 49'-0" (80'-11")

4 PROJECT INFORMATION

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA ELEVATOR CODE

3 APPLICABLE CODES AND STANDARDS

VEHICULAR PARKING CALCULATION SUMMARY

TOTAL PARKING REQUIRED: BERKELEY MUNICIPAL CODE TABLE 23.322-4 SEE SHEET 63.01 FOR GROSS FLOOR AREA CALCULATION. USE AREA INCLUDES ALLOCATED SHARED SPACE.			
USE	RATIO	AREA (GSF)	REQUIRED SPACES
MANUFACTURING	11,500 GSF	35,356	24
RESEARCH & DEVELOPMENT	21,000 GSF	177,823	356
SUBTOTAL			380
PARKING REDUCTION:			-38
TOTAL REQUIRED PARKING:			342
TOTAL ACCESSIBLE STALLS (INCLUDING VANS)			8
TOTAL STANDARD STALLS (INCLUDING CLEAN AIR VEHICLES)			298
TOTAL ACCESSIBLE EV STALLS (INCLUDING VANS)			3
TOTAL STANDARD EV STALLS			35
TOTAL VEHICLE PARKING STALLS:			342

*SUBJECT TO THE FINDINGS IN SECTION 23.322.050(B)(C), AN ADMINISTRATIVE USE PERMIT MAY BE ISSUED TO DESIGNATE UP TO 10% OF AUTOMOBILE PARKING REQUIRED FOR A USE FOR BICYCLE AND/OR MOTORCYCLE PARKING, UNLESS A USE PERMIT FROM THE BOARD IS REQUIRED TO APPROVE ANY PART OF THE APPLICATION, IN WHICH CASE THE USE PERMIT SHALL BE APPROVED BY THE BOARD. ANY BICYCLE PARKING CREATED BY THIS DESIGNATION SHALL BE IN ADDITION TO OTHERWISE REQUIRED BICYCLE PARKING. MAXIMUM ALLOWABLE BICYCLE SUBSTITUTION: 38 SPACES

ACCESSIBLE PARKING REQUIRED (INCLUDING VANS):
PER CBC 11B-208, TABLE 11B-208.2
FOR 301-400 TOTAL SPACES, 8 REQUIRED

ACCESSIBLE VAN PARKING REQUIRED:
PER CBC 11B-208.2.4
FOR EVERY 6 OR FRACTION OF 6 ACCESSIBLE STALLS,
PROVIDE 1 ACCESSIBLE VAN STALL = 2 REQUIRED

ELECTRICAL VEHICLE (EV) CHARGING SPACES REQUIRED (INCLUDING ACCESSIBLE SPACES):
PER BERKELEY MUNICIPAL CODE SEC. 16.37.020
10% OF TOTAL PARKING SPACES SHALL BE EVCS = 35 REQUIRED

ACCESSIBLE EV VEHICLE CHARGING SPACES REQUIRED (INCLUDING VANS):
PER CBC 11B-208.3, TABLE 11B-208.3.2.1
FOR 26-50 EVCS, PROVIDE 1 EV ACCESSIBLE VAN, 1 EV ACCESSIBLE, 1 AMBULATORY = 3 REQUIRED

CLEAN AIR VEHICLE PARKING REQUIRED:
PER CALGREEN, TABLE 5.106.5.2
FOR 201 AND OVER STALLS, PROVIDE 8% CLEAN-AIR STALLS = 28 REQUIRED

OFF-STREET LOADING REQUIRED:
PER BERKELEY MUNICIPAL CODE TABLE 23.323-13

RATIO	AREA (GSF)	REQUIRED SPACES	PROVIDED
1 FOR FIRST 10,000 GSF	10,000	1	1
1 FOR EACH ADDITIONAL 25,000 GSF	203,279	8	1
TOTAL:	213,279	9	2

BICYCLE PARKING CALCULATION SUMMARY

BICYCLE PARKING REQUIRED:

PER BERKELEY MUNICIPAL CODE TABLE 23.322-10
1 SPACE / 2000 SF @ 213,279 GSF:

VEHICULAR PARKING REDUCTION: -38 SPACES
REQUIRED BICYCLE PARKING: 148 SPACES

PER CALGREEN 5.106.4
LONG TERM: 20 SPACES
SHORT TERM: 20 SPACES

LONG TERM (PROVIDED WITHIN BUILDING): 128 SPACES
SHORT TERM (PROVIDED OUTSIDE): 20 SPACES
TOTAL BICYCLE PARKING PROVIDED: 148 SPACES

2 PARKING CALCULATIONS

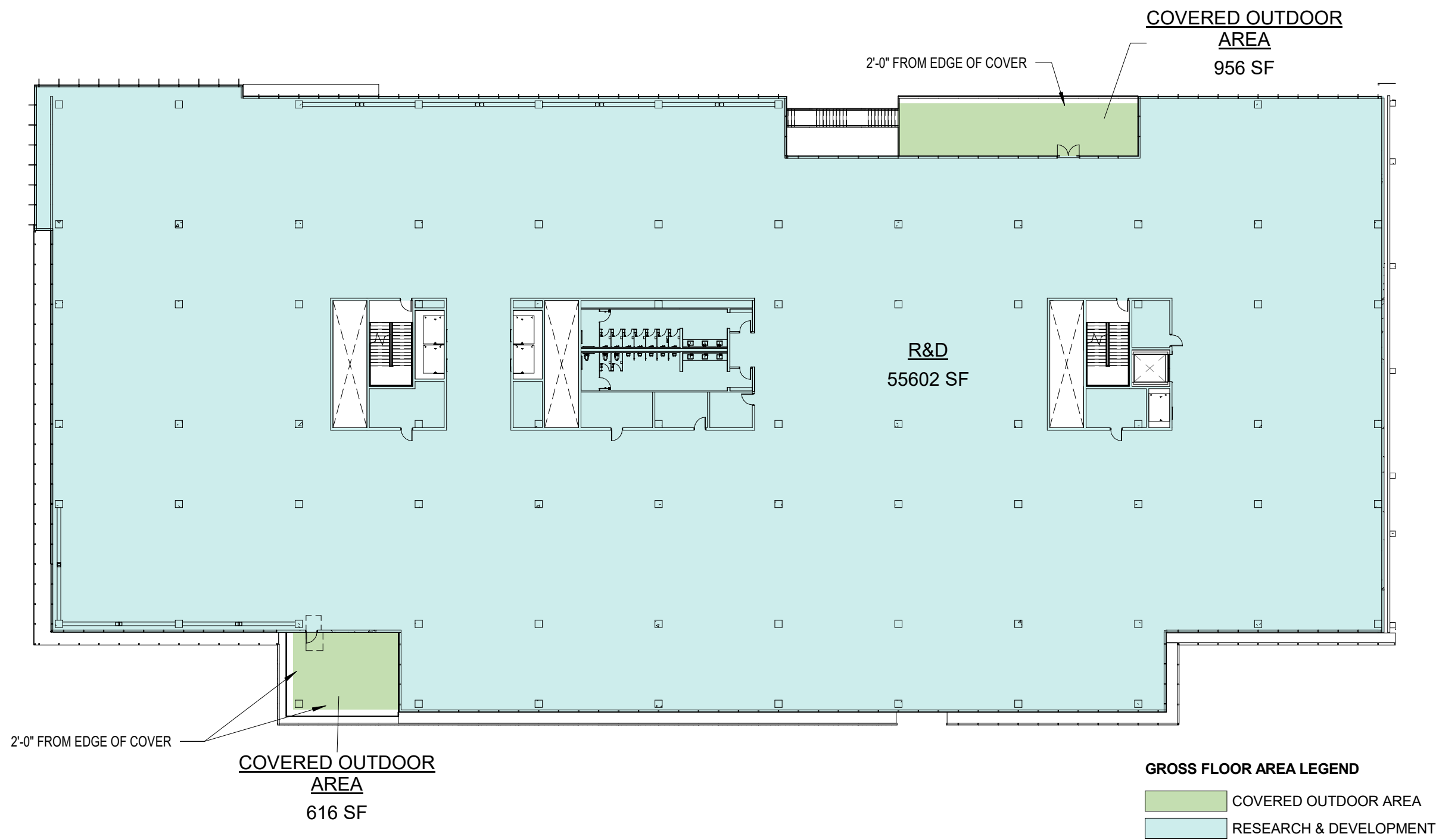
ASK	LEVEL 01 FLOOR PLAN - TRASH ROOM
ASK-001	
GENERAL	
G0.00	COVER
G0.01	PROJECT INFORMATION
G3.01	AREA CALCULATIONS (PER BERKELEY MUNI CODE)
G3.02	AREA CALCULATIONS (PER BERKELEY MUNI CODE)
G4.01	SITE PHOTOGRAPHS & BUILDING HEIGHT STUDY
G4.02	STREET STRIP ELEVATIONS & SHADOW STUDIES
G4.11	PROJECT RENDERINGS
G5.01	MATERIAL BOARD
CIVIL	
C1.01	GRADING & SITE PLAN
C1.02	UTILITY PLAN
C1.03	EROSION CONTROL PLAN
C1.04	STORMWATER MANAGEMENT PLAN
C1.05	BOUNDARY & TOPOGRAPHIC SURVEY
LANDSCAPE	
L0.01	ILLUSTRATIVE CONCEPT PLAN
L1.00	MATERIALS PLAN - GROUND LEVEL
L1.01	MATERIALS PLAN - TERRACE & ROOF LEVEL
L4.00	PLANTING PLAN - GROUND LEVEL
L4.01	PLANTING PLAN - TERRACE & ROOF LEVEL
L5.00	HYDROZONE PLAN - GROUND LEVEL
L5.01	HYDROZONE PLAN - TERRACE & ROOF LEVEL
DEMOLITION	
D1.01	DEMO - SITE PLAN
ARCHITECTURE	
A1.01	SITE PLAN
A1.01A	SITE PLAN - ENLARGED - SEGMENT A
A1.01B	SITE PLAN - ENLARGED - SEGMENT B
A2.01	LEVEL 1 - OVERALL
A2.01A	LEVEL 1 - MAIN BUILDING A
A2.01B	LEVEL 1 - MAIN BUILDING B
A2.02	LEVEL 2 - OVERALL
A2.02A	LEVEL 2 - MAIN BUILDING A
A2.02B	LEVEL 2 - MAIN BUILDING B
A2.03	LEVEL 3 - OVERALL
A2.03A	LEVEL 3 - MAIN BUILDING A
A2.03B	LEVEL 3 - MAIN BUILDING B
A2.04	LEVEL 4 - OVERALL
A2.04A	LEVEL 4 - MAIN BUILDING A
A2.04B	LEVEL 4 - MAIN BUILDING B
A2.05	ROOF PLAN - OVERALL
A2.05A	ROOF - MAIN BUILDING A
A2.05B	ROOF - MAIN BUILDING B
A2.11	LEVEL 1 - PARKING
A2.12	LEVEL 2 - PARKING
A2.13	LEVEL 3 - PARKING
A2.14	LEVEL 4 - PARKING
A2.15	LEVEL 5 - PARKING
A2.16	LEVEL 6 - PARKING
A2.17	LEVEL 7 - PARKING
A3.01	OVERALL ELEVATIONS
A3.02	EXTERIOR ELEVATIONS - MAIN BUILDING - SOUTH
A3.03	EXTERIOR ELEVATIONS - MAIN BUILDING - NORTH
A3.04	EXTERIOR ELEVATIONS - EAST & WEST
A3.05	EXTERIOR ELEVATIONS - GARAGE
A3.11	BUILDING SECTIONS - OVERALL
A3.12	BUILDING SECTIONS - MAIN BUILDING
A4.01	ENLARGED ELEVATION & WALL SECTION
A4.02	ENLARGED ELEVATION & WALL SECTION
A4.03	ENLARGED ELEVATION & WALL SECTION
A4.04	ENLARGED ELEVATION & WALL SECTION
TOTAL SHEETS: 58	

LANDSCAPE	
L0.01	ILLUSTRATIVE CONCEPT PLAN
L1.00	MATERIALS PLAN - GROUND LEVEL
L1.01	MATERIALS PLAN - TERRACE & ROOF LEVEL
L4.00	PLANTING PLAN - GROUND LEVEL
L4.01	PLANTING PLAN - TERRACE & ROOF LEVEL
L5.00	HYDROZONE PLAN - GROUND LEVEL
L5.01	HYDROZONE PLAN - TERRACE & ROOF LEVEL
DEMOLITION	
D1.01	DEMO - SITE PLAN
ARCHITECTURE	
A1.01	SITE PLAN
A1.01A	SITE PLAN - ENLARGED - SEGMENT A
A1.01B	SITE PLAN - ENLARGED - SEGMENT B
A2.01	LEVEL 1 - OVERALL
A2.01A	LEVEL 1 - MAIN BUILDING A
A2.01B	LEVEL 1 - MAIN BUILDING B
A2.02	LEVEL 2 - OVERALL
A2.02A	LEVEL 2 - MAIN BUILDING A
A2.02B	LEVEL 2 - MAIN BUILDING B
A2.03	LEVEL 3 - OVERALL
A2.03A	LEVEL 3 - MAIN BUILDING A
A2.03B	LEVEL 3 - MAIN BUILDING B
A2.04	LEVEL 4 - OVERALL
A2.04A	LEVEL 4 - MAIN BUILDING A
A2.04B	LEVEL 4 - MAIN BUILDING B
A2.05	ROOF PLAN - OVERALL
A2.05A	ROOF PLAN - BUILDING A
A2.05B	ROOF PLAN - BUILDING B
A2.10	LEVEL 1 - PARKING
A2.12	LEVEL 2 - PARKING
A2.13	LEVEL 3 - PARKING
A2.14	LEVEL 4 - PARKING
A2.15	LEVEL 5 - PARKING
A2.16	LEVEL 6 - PARKING
A2.17	LEVEL 7 - PARKING
A3.01	OVERALL ELEVATIONS
A3.02	EXTERIOR ELEVATIONS - MAIN BUILDING - SOUTH
A3.03	EXTERIOR ELEVATIONS - MAIN BUILDING - NORTH
A3.04	EXTERIOR ELEVATIONS - EAST & WEST
A3.05	EXTERIOR ELEVATIONS - GARAGE
A4.01	OVERALL SECTIONS - OVERALL
A4.02	BUILDING SECTIONS - MAIN BUILDING
A4.01	ENLARGED ELEVATION & WALL SECTION
A4.02	ENLARGED ELEVATION & WALL SECTION
A4.03	ENLARGED ELEVATION & WALL SECTION
A4.04	ENLARGED ELEVATION & WALL SECTION
TOTAL SHEETS 58	

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File: BIM 30071742 700 Grayson 18-221 742 Grayson Central.rvt

GROSS BUILDING AREA - R&D BUILDING	
Name	Area
LEVEL 1	
SHARED USE	16,880 SF
R&D	6,042 SF
MANUFACTURING	26,916 SF
	49,838 SF
LEVEL 2	
R&D	52,128 SF
	52,128 SF
LEVEL 3	
R&D	55,602 SF
	55,602 SF
LEVEL 4	
R&D	55,710 SF
	55,710 SF
SUBTOTALS BY USE	
Name	Area
MANUFACTURING	26,916 SF
R&D	169,483 SF
SHARED USE	16,880 SF
TOTAL AREA	213,279 SF
SHARED USE ALLOCATION (see note 3)	
MANUFACTURING	35,366 SF
R&D	177,923 SF

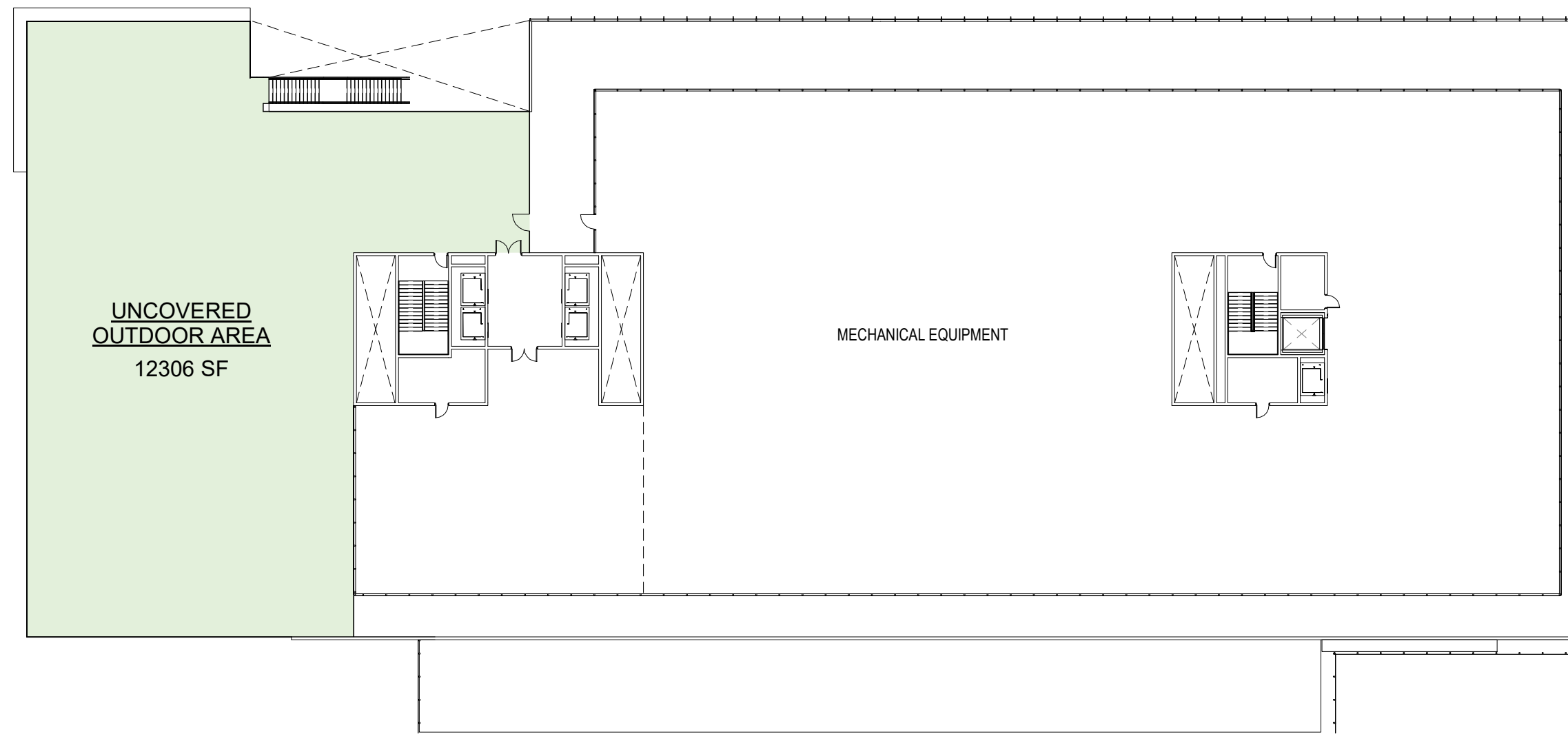
- NOTES:
- UNCOVERED AND GROUND LEVEL USABLE OUTDOOR AREAS ARE NOT COUNTED AS GROSS FLOOR AREA. SEE 60.01 FOR USABLE AREA CALCULATION.
 - COVERED USABLE OUTDOOR AREAS NOT COUNTED AS GROSS FLOOR AREA PER CITY OF BERKELEY INCOMPLETE LETTER DATED 2/16/2022.
 - SHARED USES INCLUDE LOBBY SPACES, STORAGE, TRASH AND UTILITY SPACES THAT SERVE MANUFACTURING AND R&D USES. SHARED USE IS ALLOCATED 50/50.



GROSS BUILDING AREA

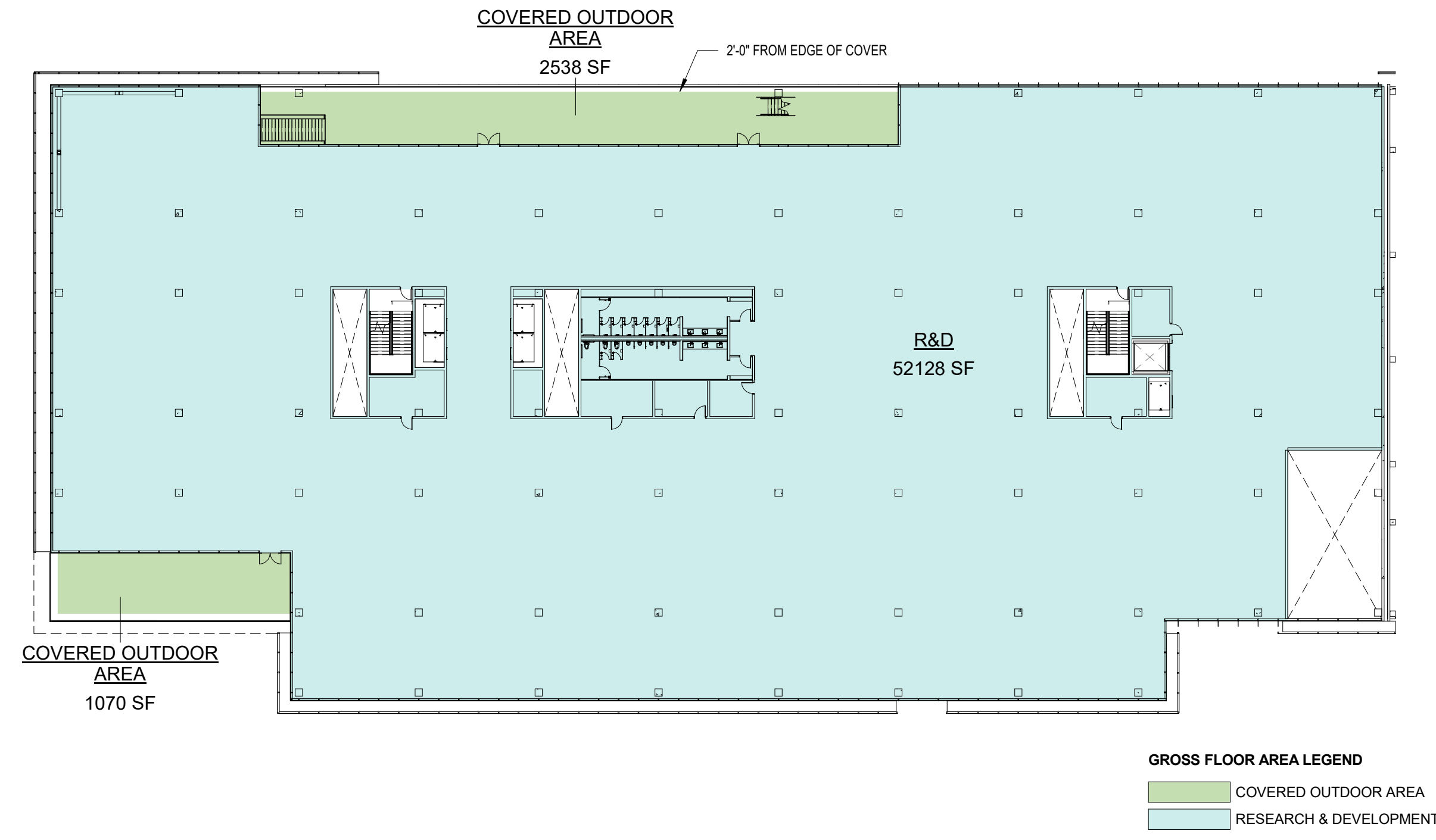
3 LEVEL 3

1" = 30'-0"



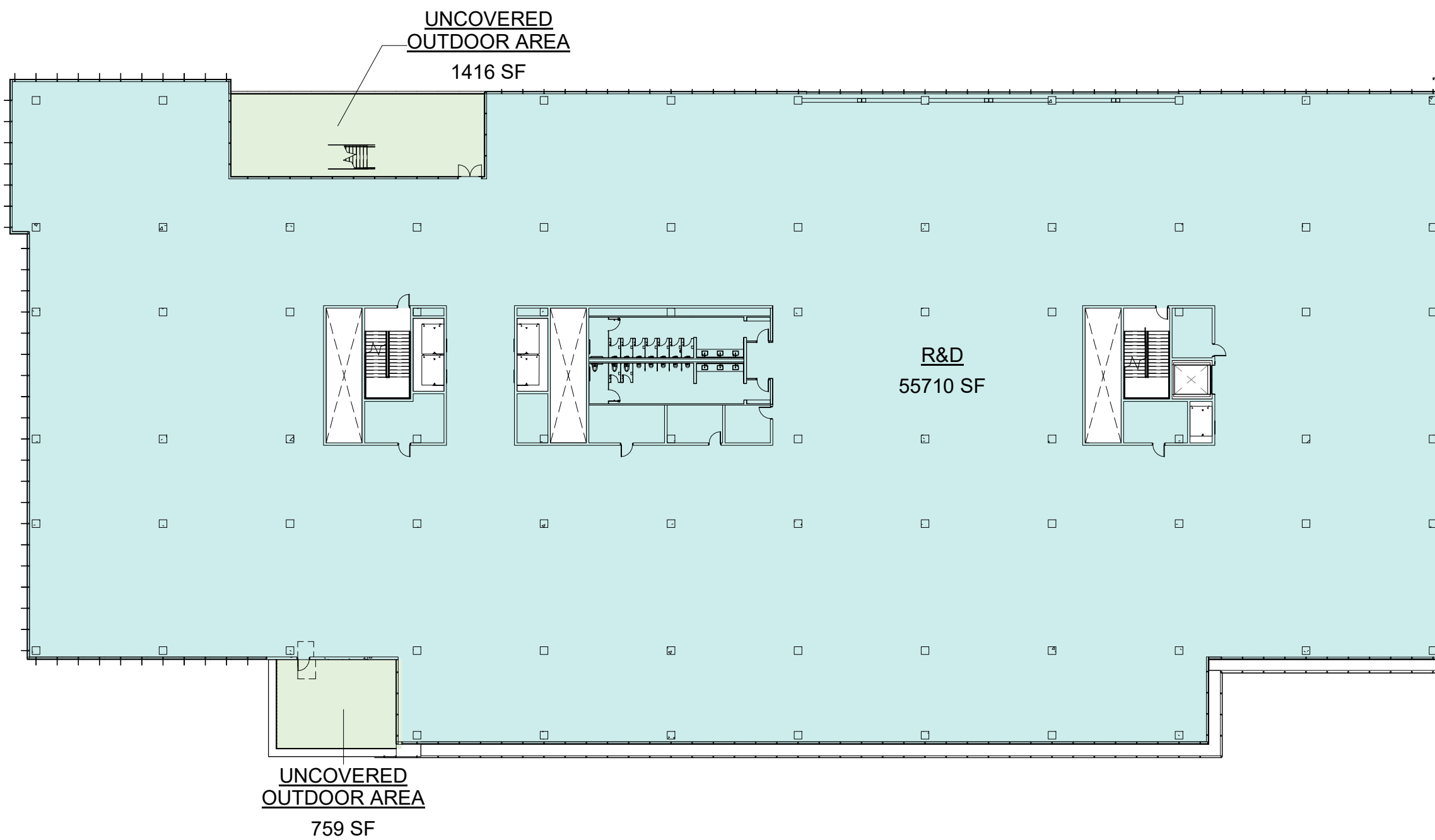
5 ROOF

1" = 30'-0"



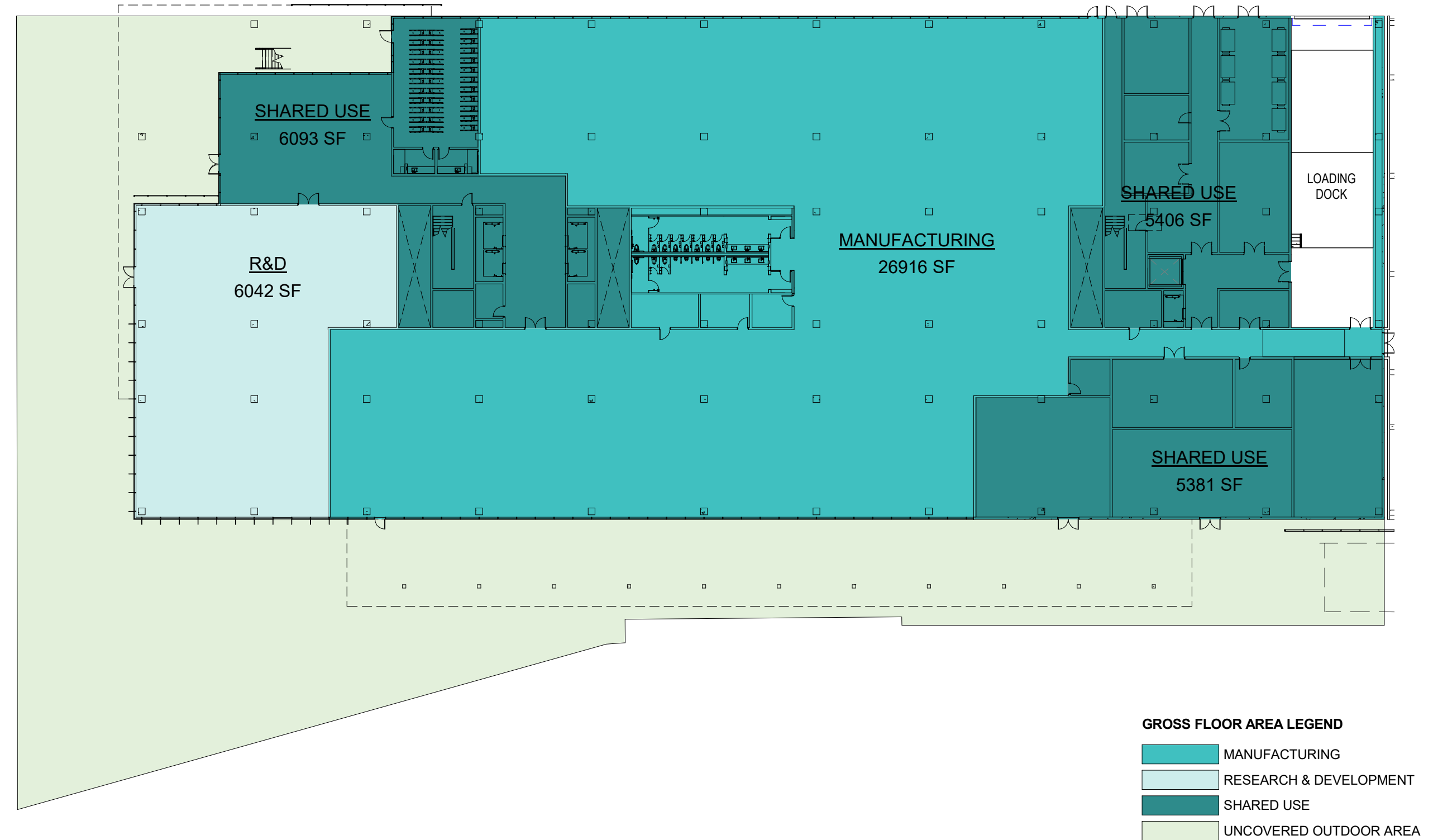
2 LEVEL 2

1" = 30'-0"



4 LEVEL 4

1" = 30'-0"



1 LEVEL 1

1" = 30'-0"

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△ date revision description

4 2022.05.12 ZONING APPLICATION RESUBMITTAL
3 2022.04.01 ZONING APPLICATION RESUBMITTAL
2 2021.12.08 ZONING APPLICATION RESUBMITTAL
1 2021.08.19 ZONING APPLICATION

date issue description

700 Grayson Street
700 grayson street
berkeley, ca 94710

project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

**AREA CALCULATIONS
(PER BERKELEY MUNI
CODE)**

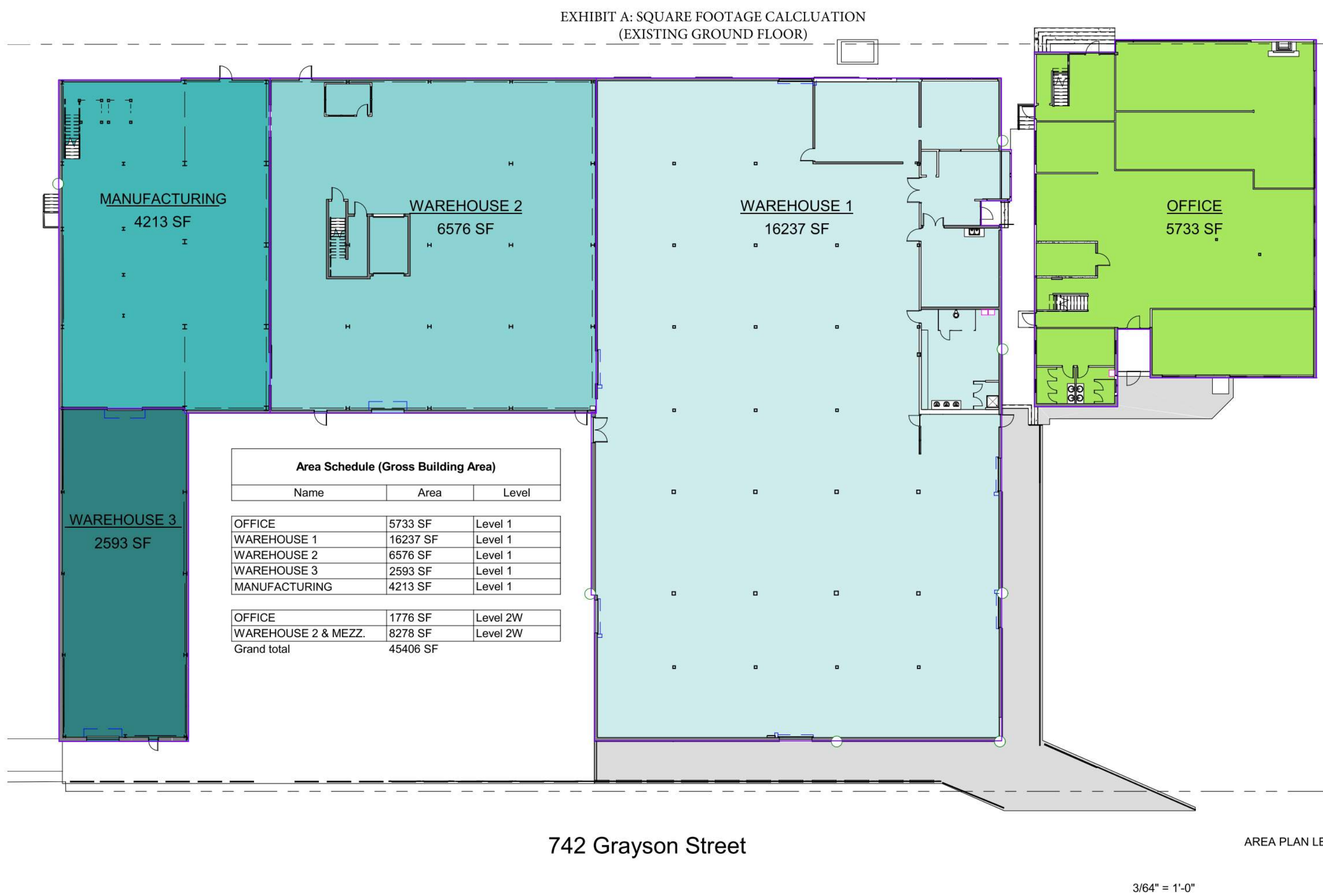
G3.01

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File: BAW 3007742 Grayson 1/18/21 742 Grayson Central.rvt

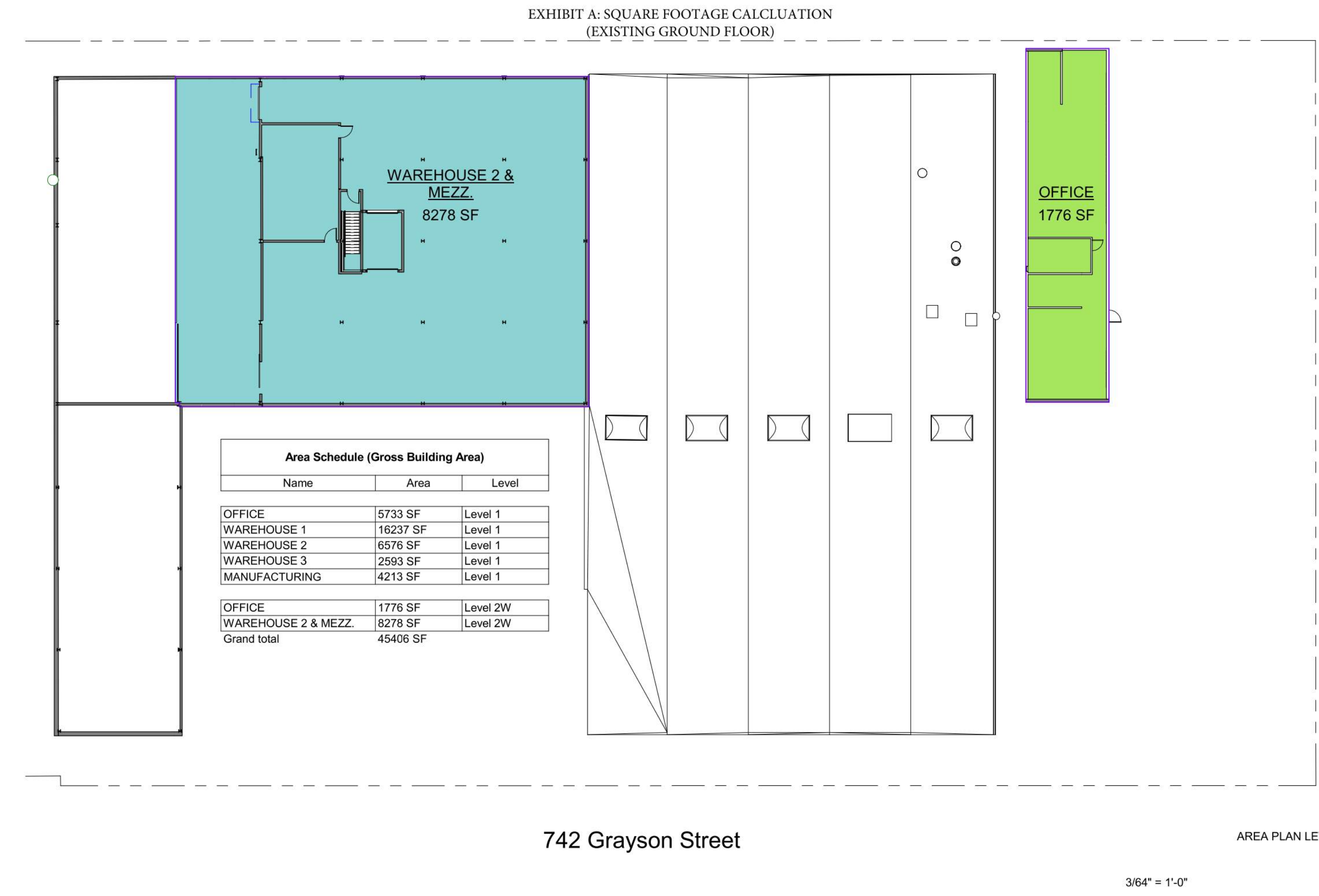
10 EXISTING BUILDING AREA CALCULATION - MEZZANINE LEVEL

NOTE: SEE ZONING LETTER OF DETERMINATION DATED 3/20/2020



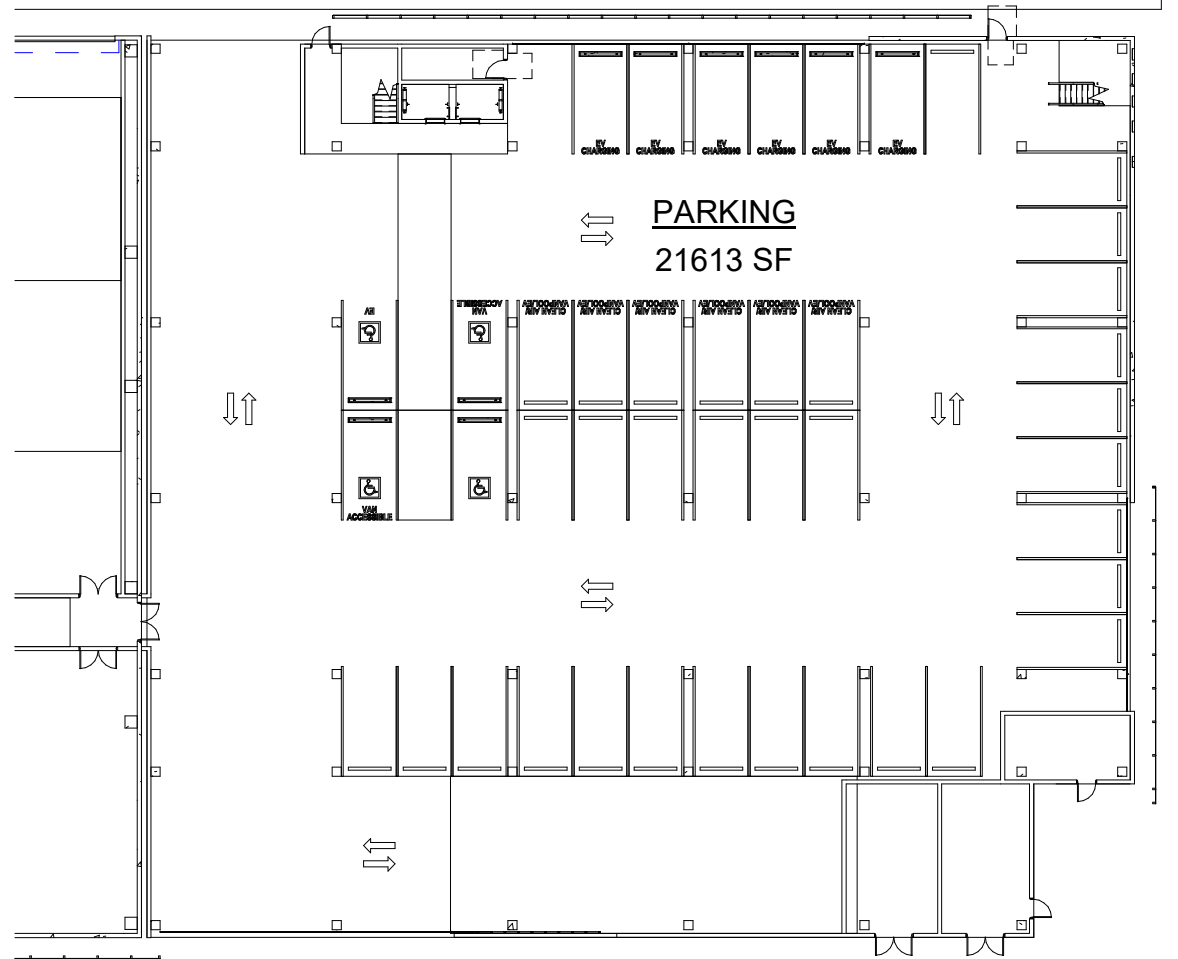
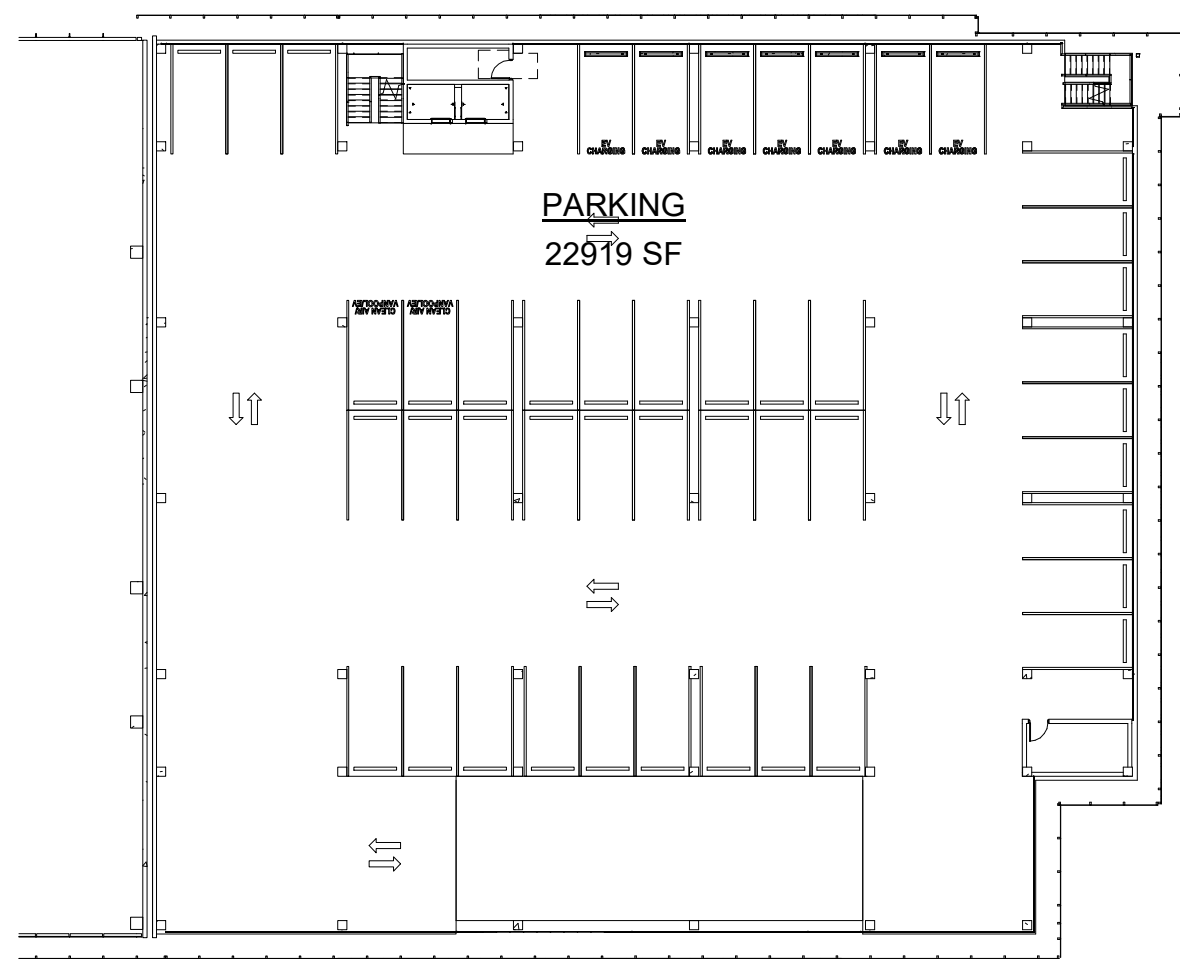
9 EXISTING BUILDING AREA CALCULATION - GROUND FLOOR

NOTE: SEE ZONING LETTER OF DETERMINATION DATED 3/20/2020



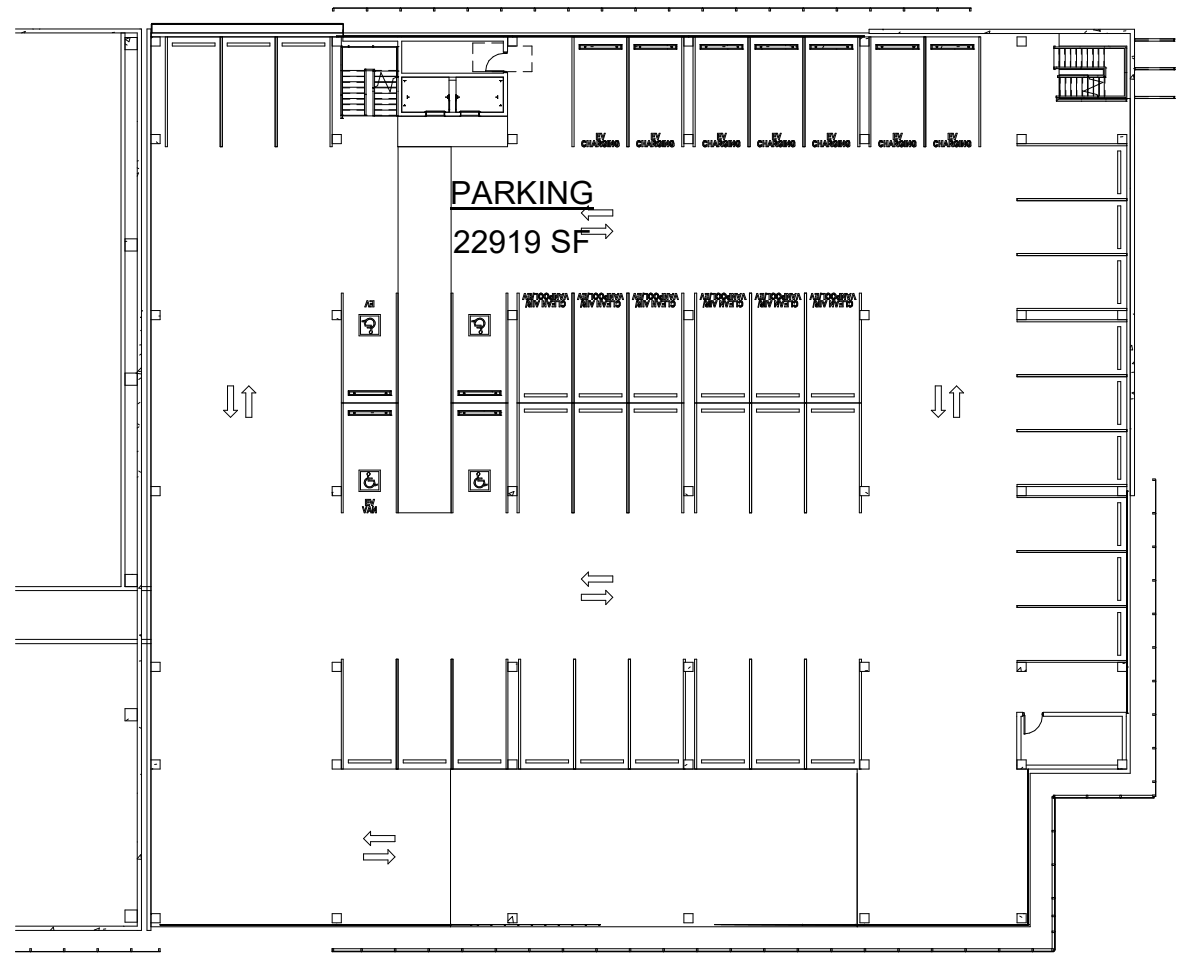
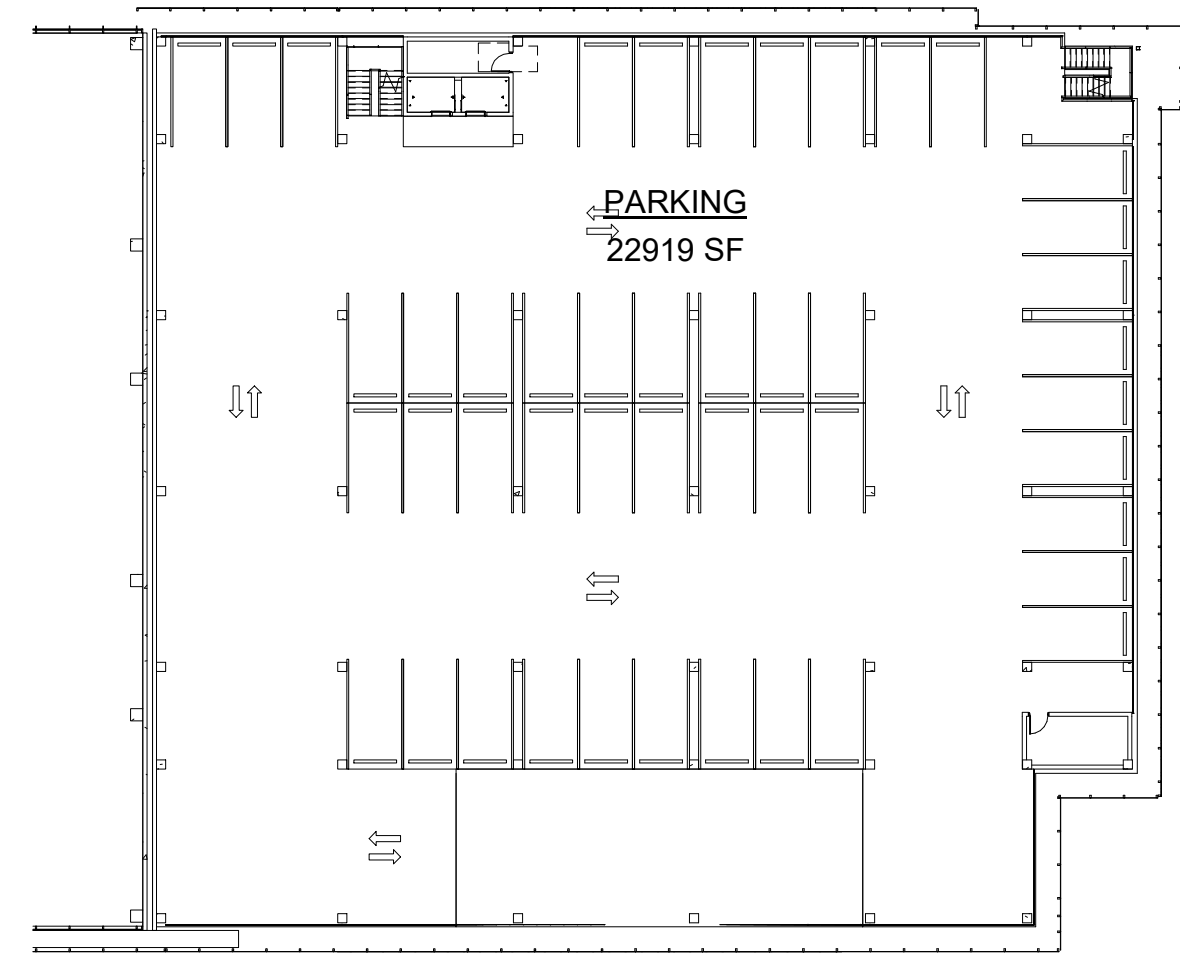
5 LEVEL 5-P

1 LEVEL 1-P



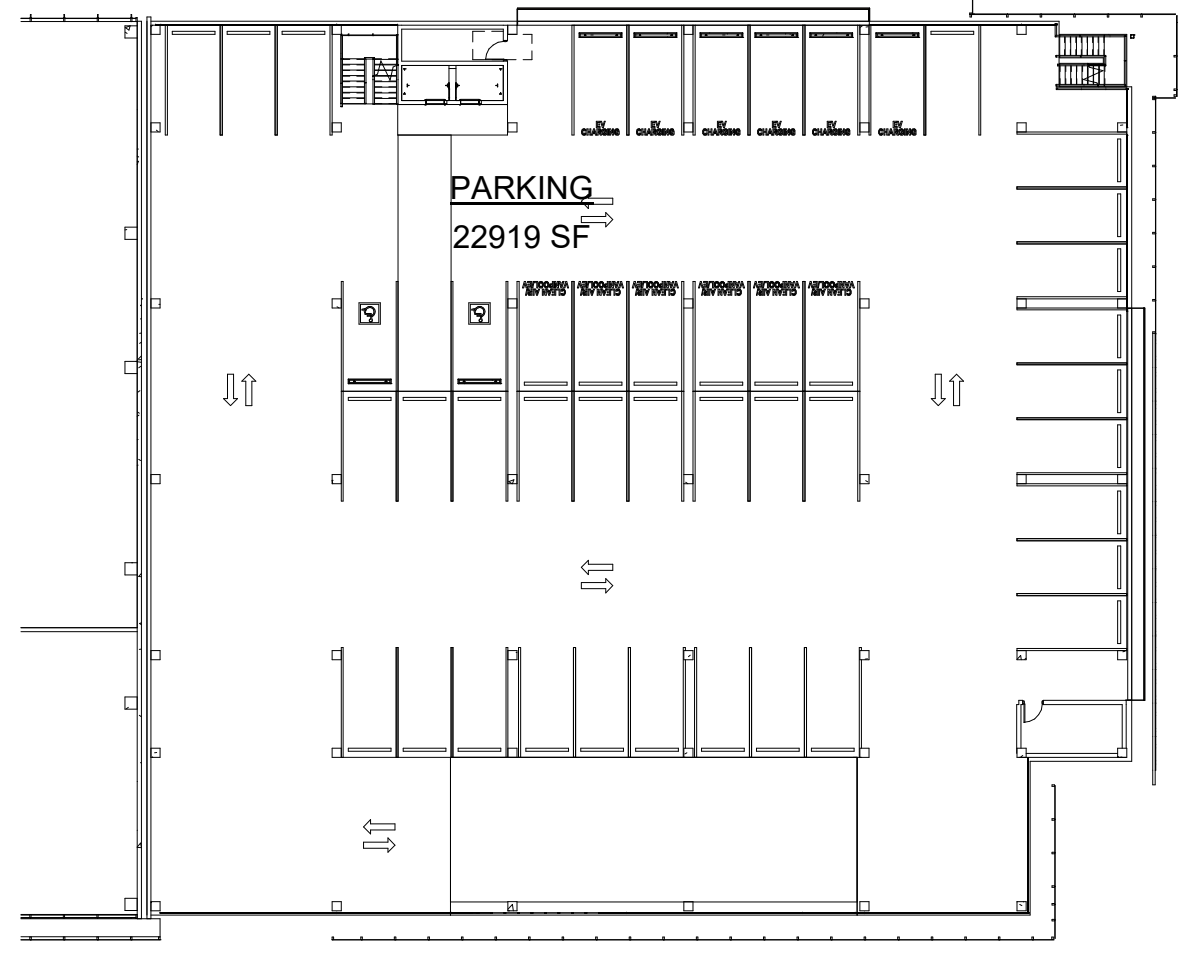
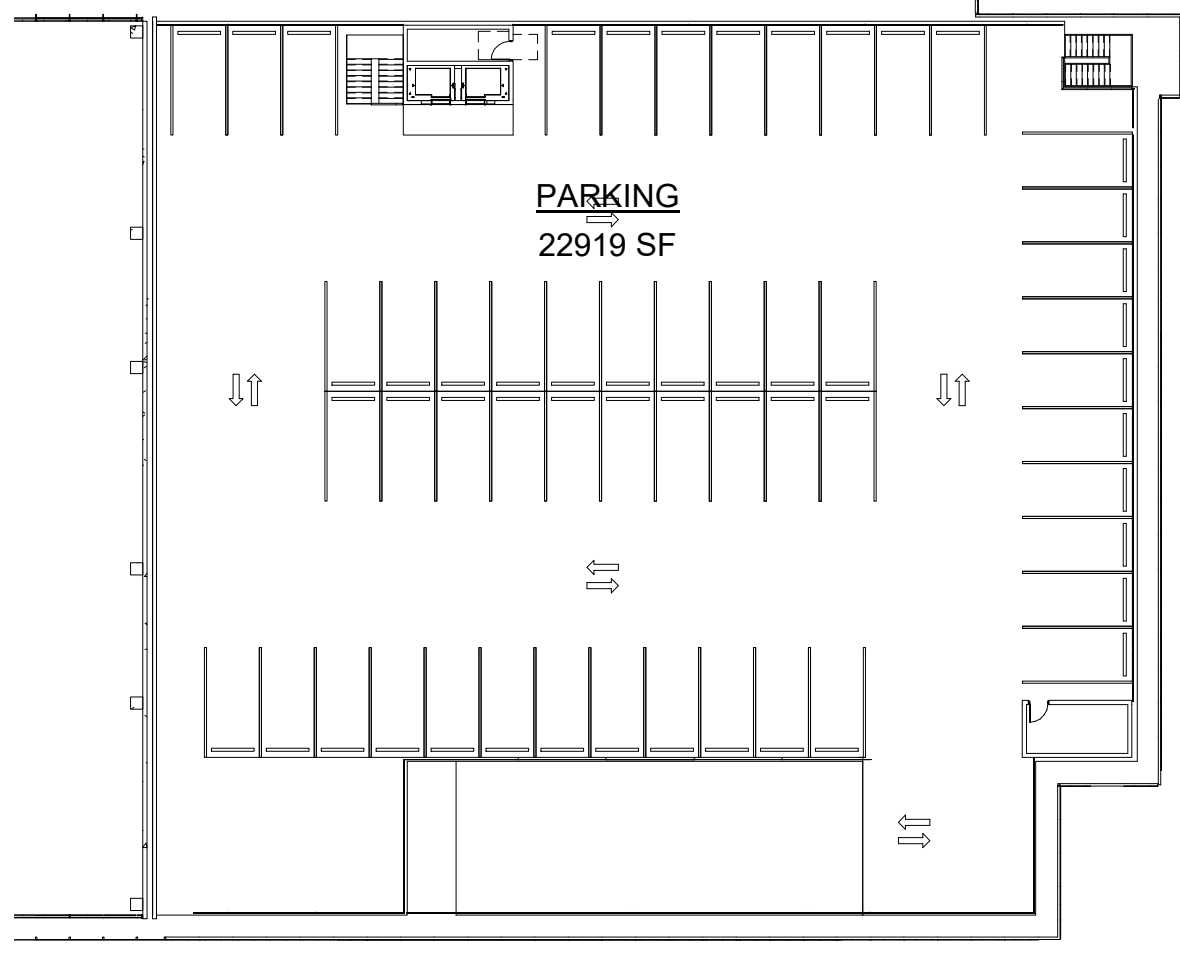
6 LEVEL 6-P

2 LEVEL 2-P



7 LEVEL 7-P

3 LEVEL 3-P



8 TOTAL AREAS

4 LEVEL 4-P

PARKING GROSS AREAS		
Level	Area	Occupancy
PARKING		
LEVEL 1-P	21613 SF	S-2
LEVEL 2-P	22919 SF	S-2
LEVEL 3-P	22919 SF	S-2
LEVEL 4-P	22919 SF	S-2
LEVEL 5-P	22919 SF	S-2
LEVEL 6-P	22919 SF	S-2
LEVEL 7-P	22919 SF	S-2
199128 SF		

NOTE: PARKING IS NOT COUNTED AS GROSS FLOOR AREA

1" = 30'-0"

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AREA CALCULATIONS
(PER BERKELEY MUNI
CODE)



7 CONTEXT - GRAYSON ST - LOOKING WEST



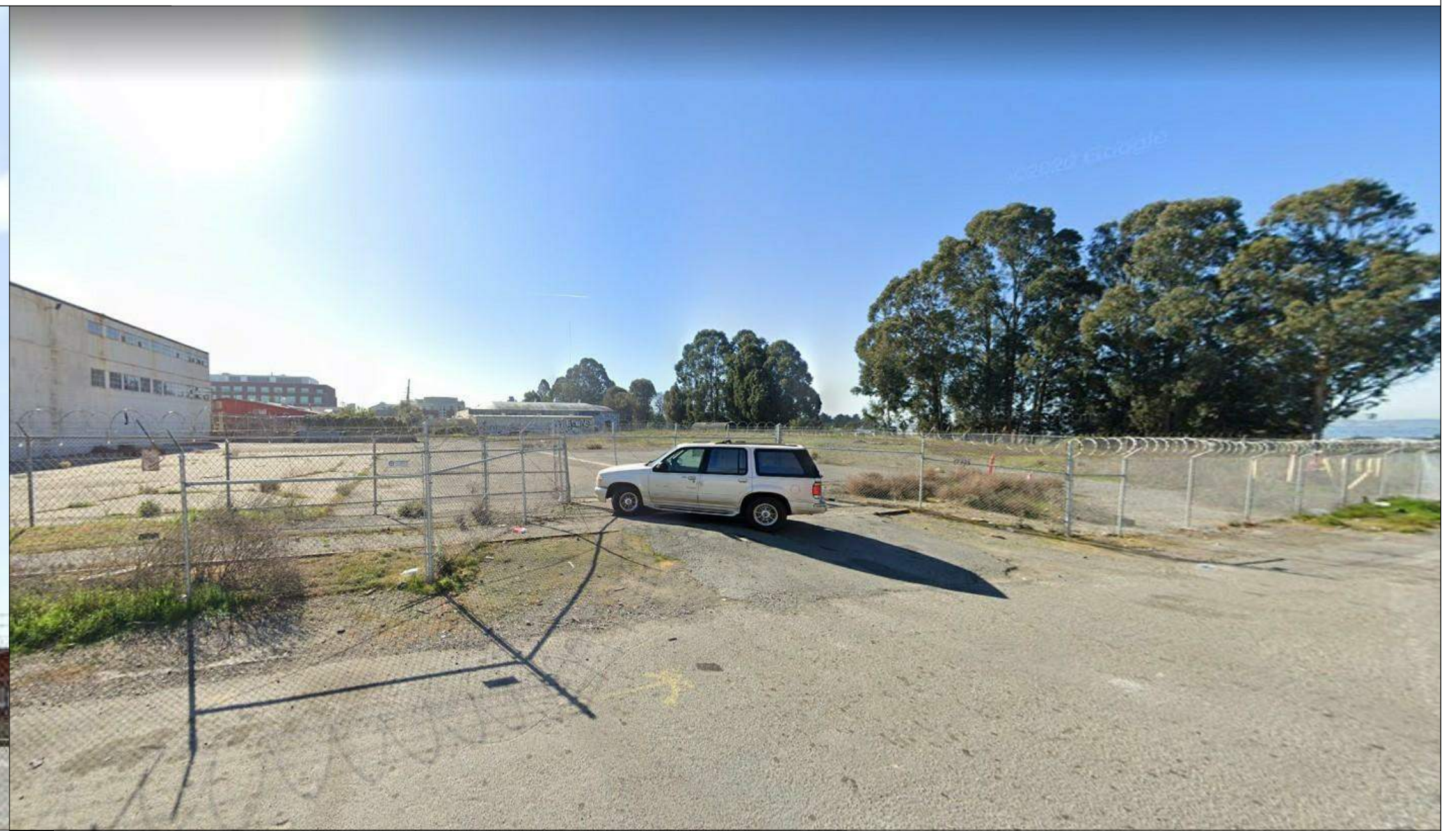
6 CONTEXT - GRAYSON ST - LOOKING EAST



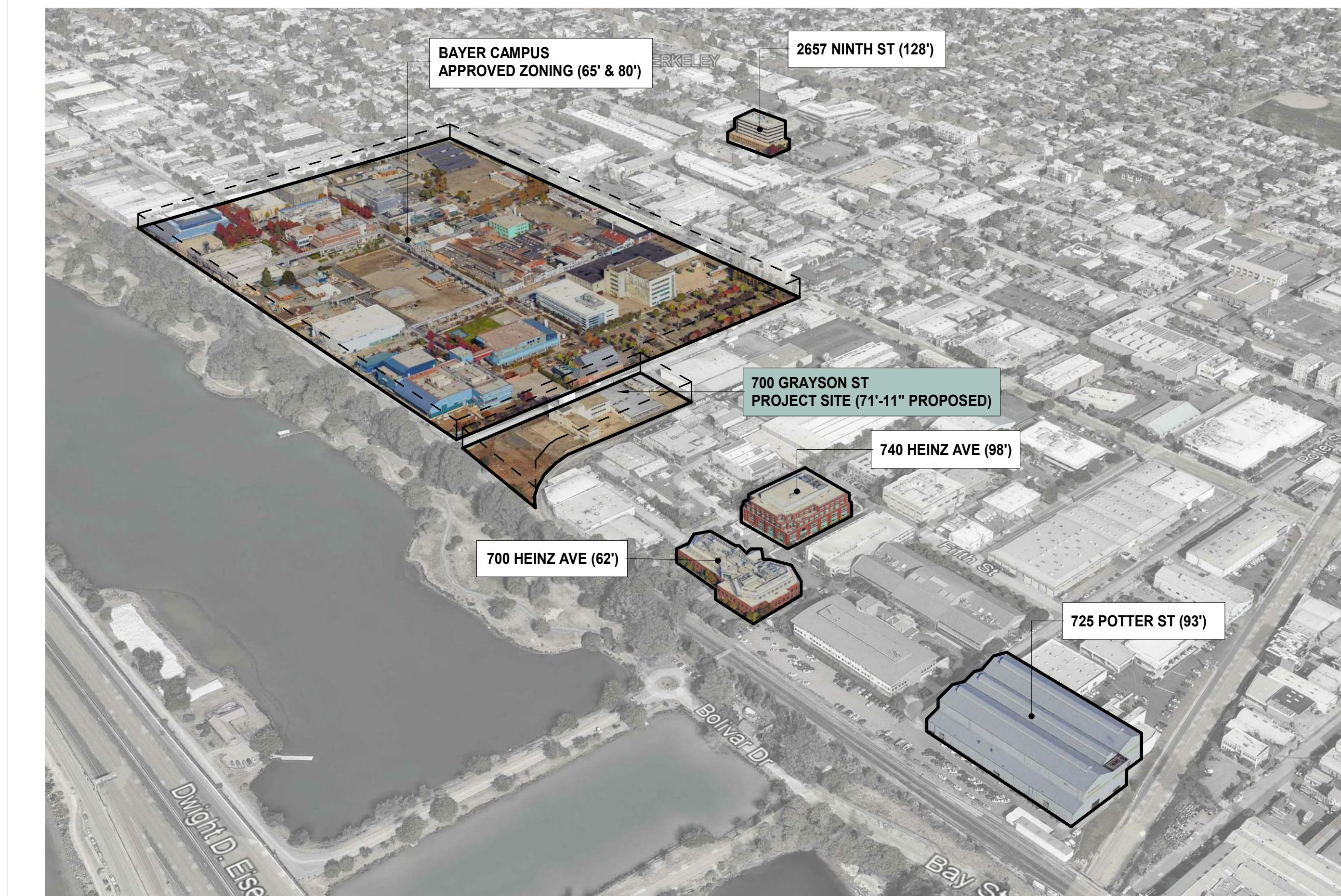
5 EXISTING OFFICE BUILDING



4 EXISTING WAREHOUSE



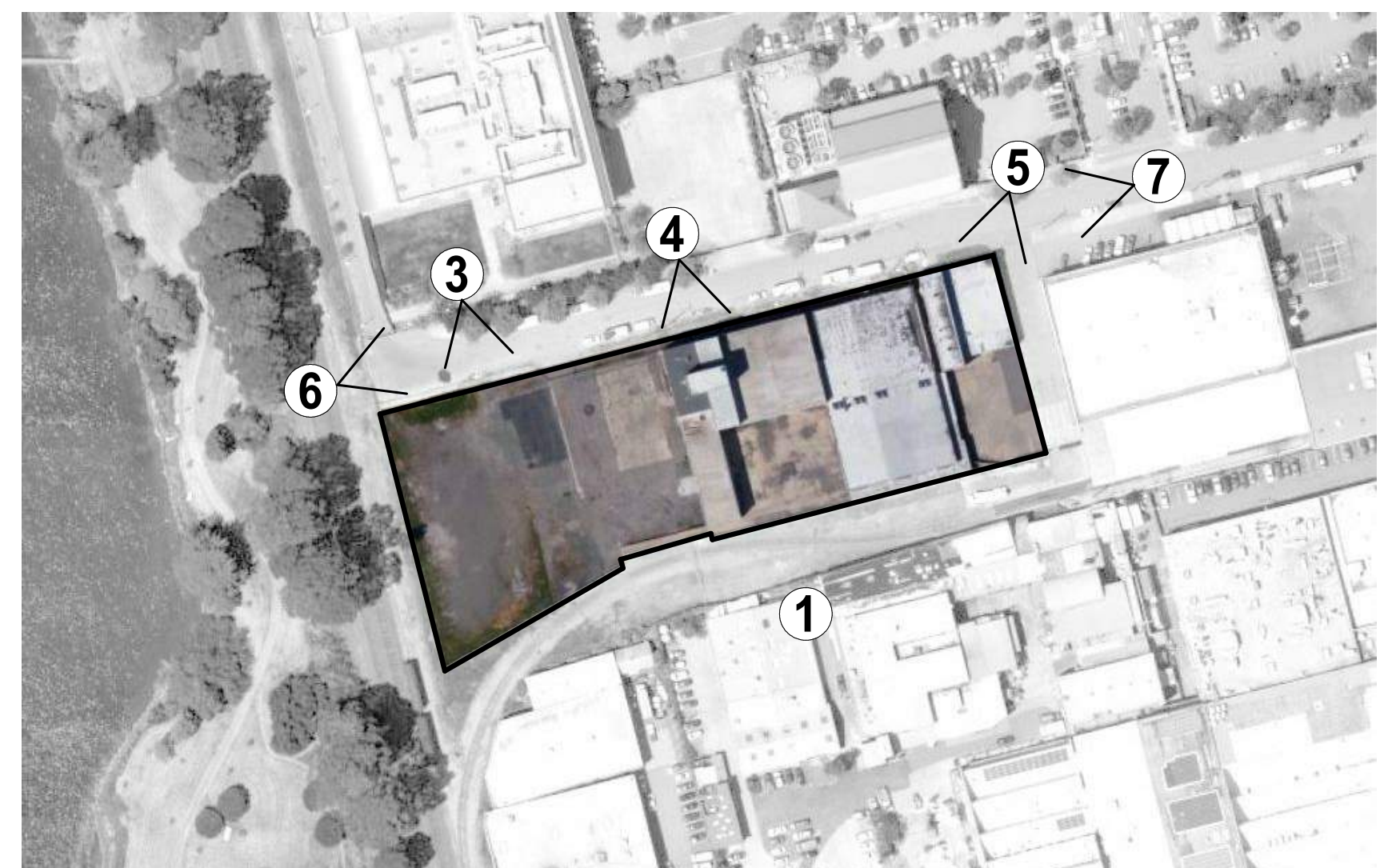
3 EXISTING PARKING LOT



2 BUILDING HEIGHT STUDY



1 CONTEXT - AERIAL VIEW



KEY PLAN

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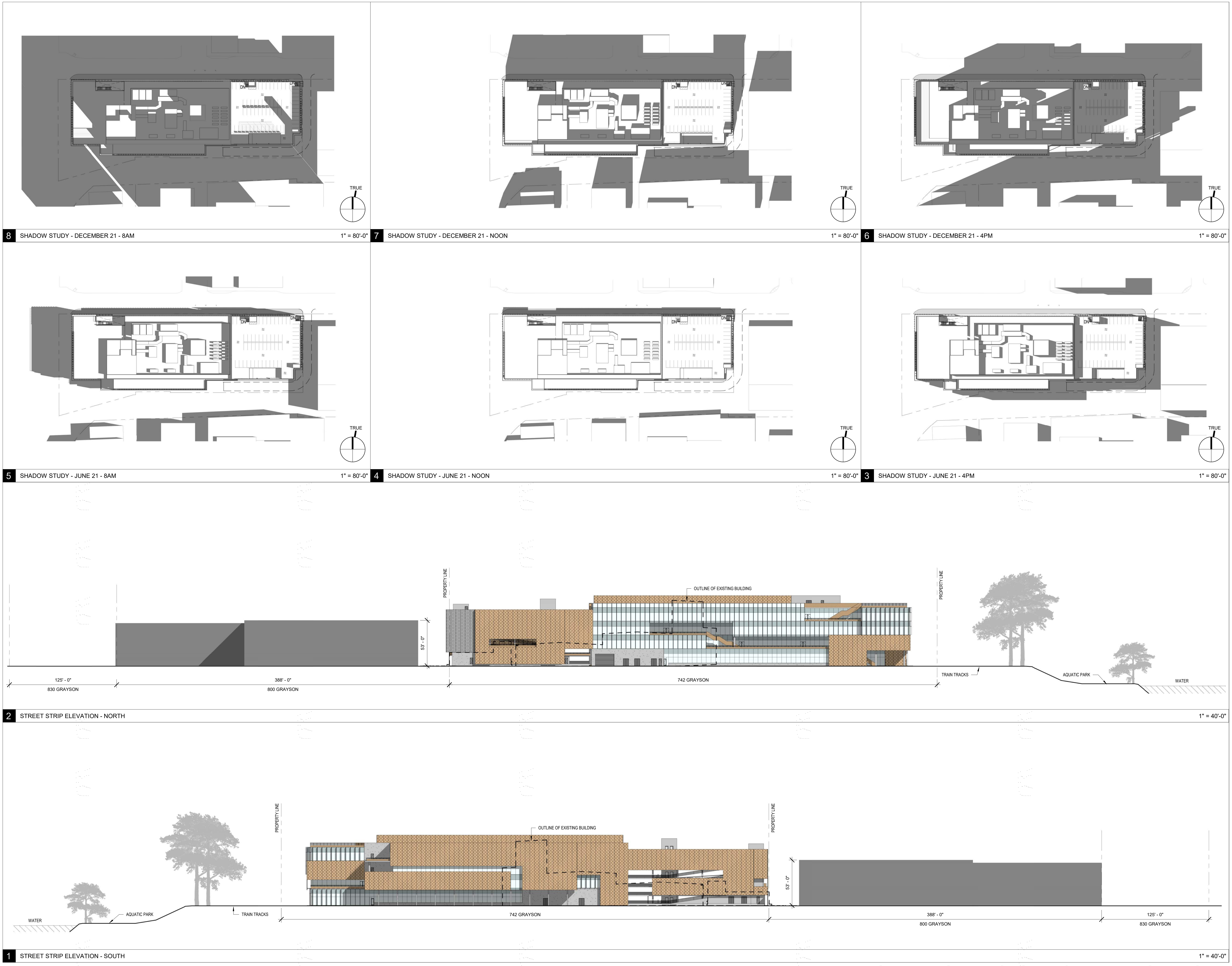
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**SITE PHOTOGRAPHS
& BUILDING HEIGHT
STUDY**

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File: BIM 300/742 Grayson/18-221 742 Grayson_Central.rvt



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1	2021.08.19	ZONING APPLICATION

#	date	issue description

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**STREET STRIP
ELEVATIONS &
SHADOW STUDIES**

NOT FOR CONSTRUCTION



5B NORTHWEST CORNER - EVENING



5A NORTHWEST CORNER



4 NORTHEAST CORNER VIEW



3 ENTRY APPROACH



2 NORTHWEST CORNER VIEW - FROM ACROSS AQUATIC PARK



1 SOUTHWEST CORNER VIEW

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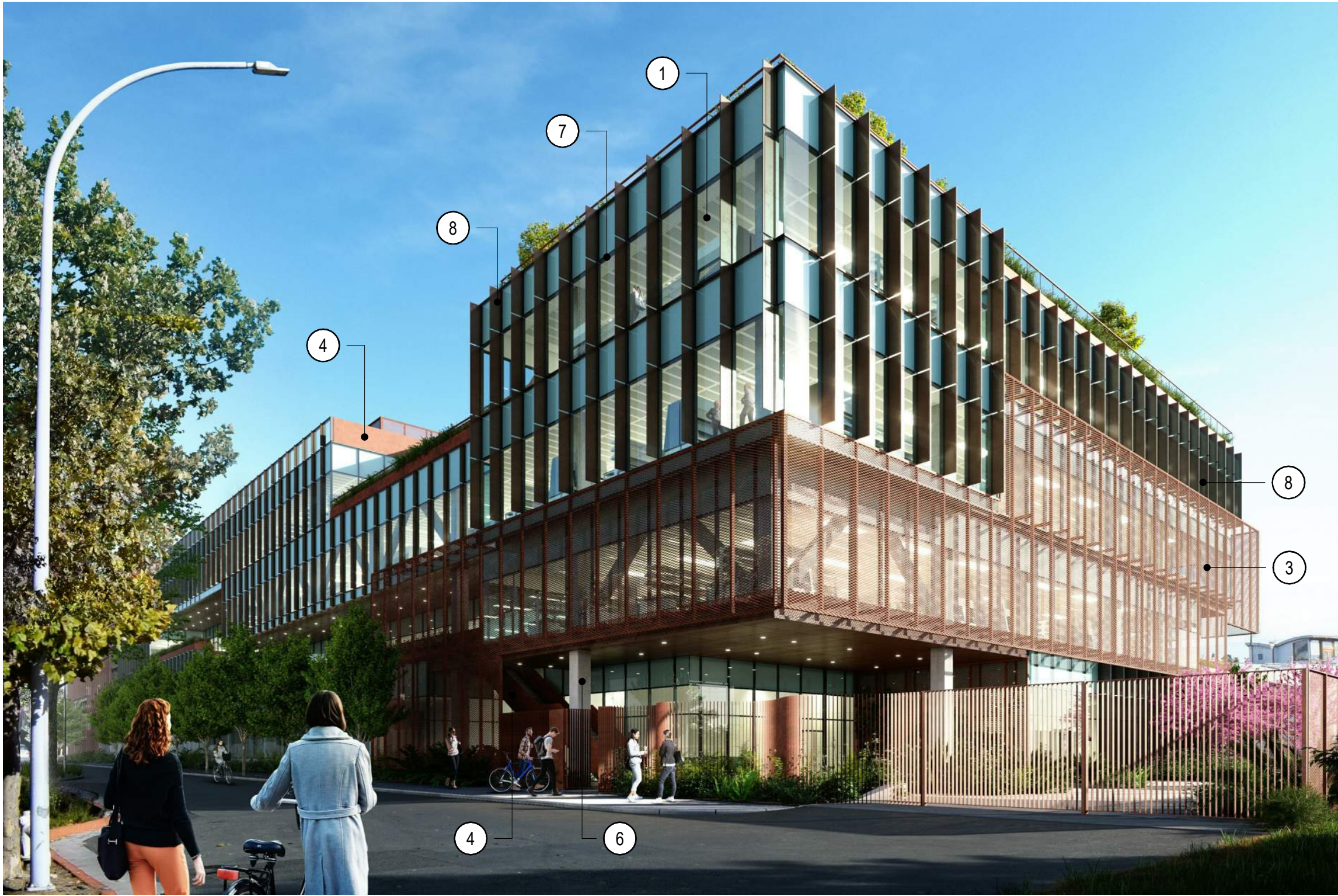
PROJECT RENDERINGS

KEY PLAN

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File: BIM_30071742_700 Grayson Central.rvt



13 RENDERINGS



CUT SHEET CAN BE DOWNLOADED HERE: <https://www.dero.com/submittals/dero-decker.pdf>

12 BIKE RACK: LONG TERM



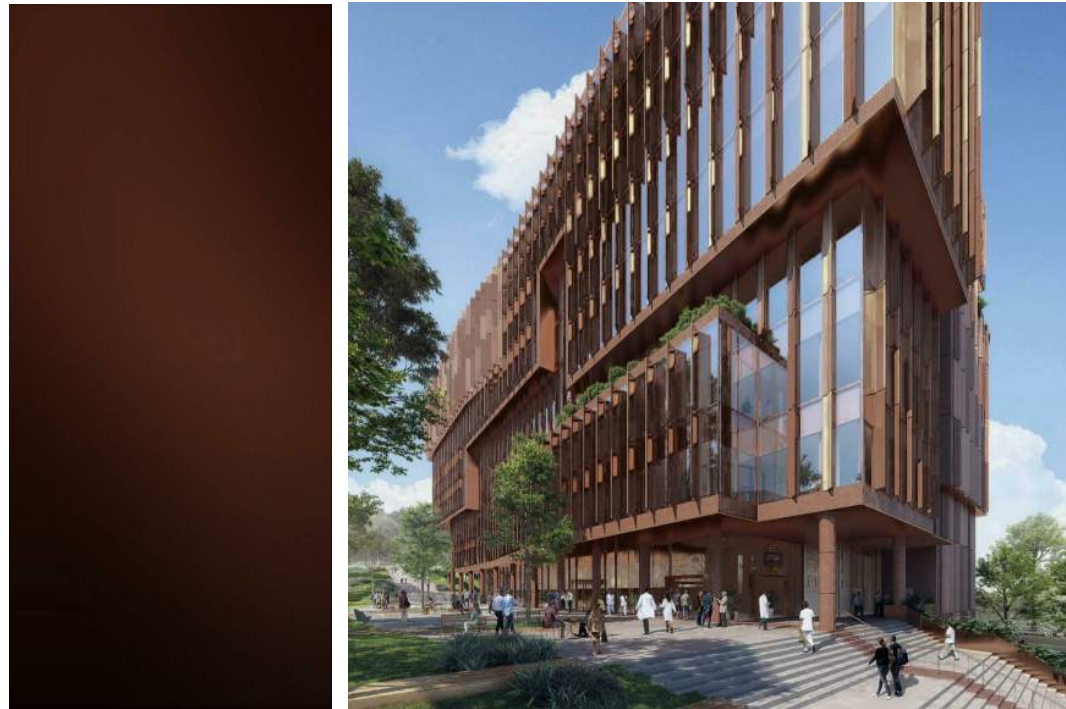
CUT SHEET CAN BE DOWNLOADED HERE: <https://www.mnicle.com/us2p-product-files/141/s>

11 BIKE RACK: SHORT TERM

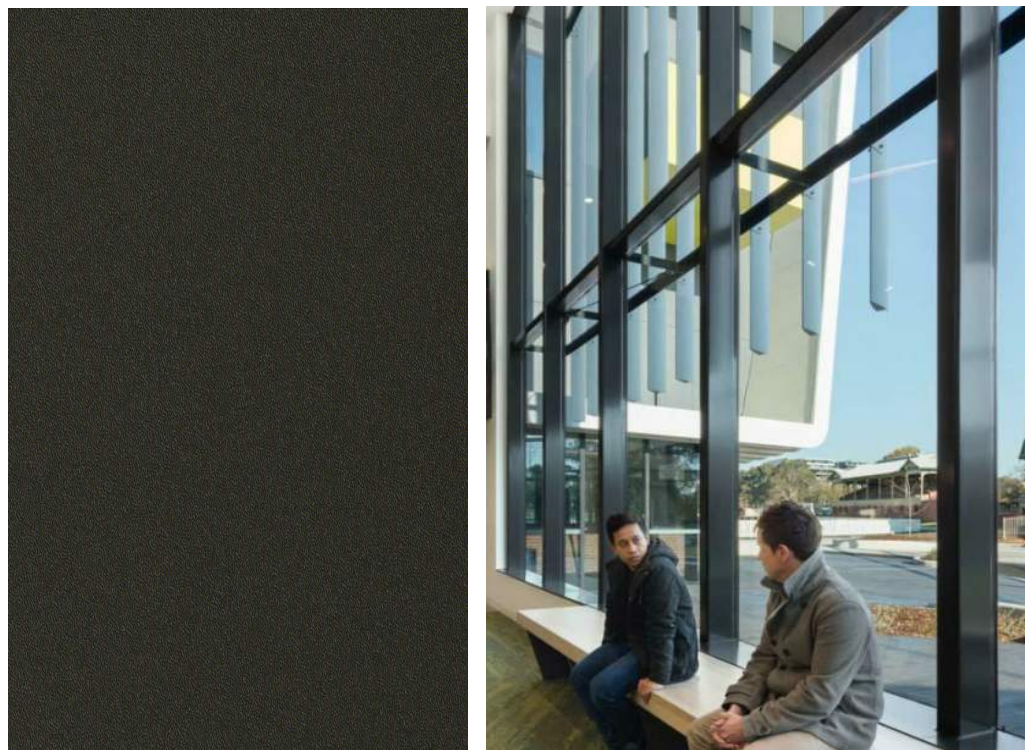


EMBOSSD CONCRETE SIGNAGE

10 SIGNAGE ON CONCRETE



8 MULLION & SUN SHADE FIN COLOR - EXTERIOR



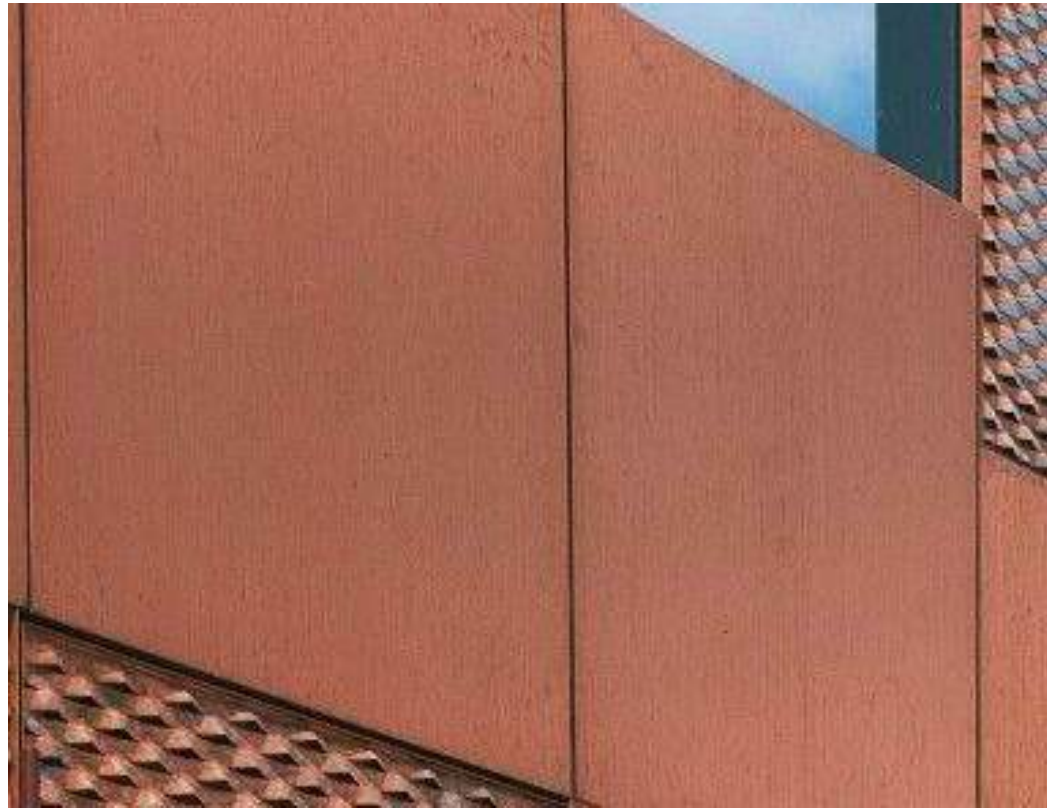
7 MULLION & FRAME FINISH COLOR - INTERIOR



6 CONCRETE



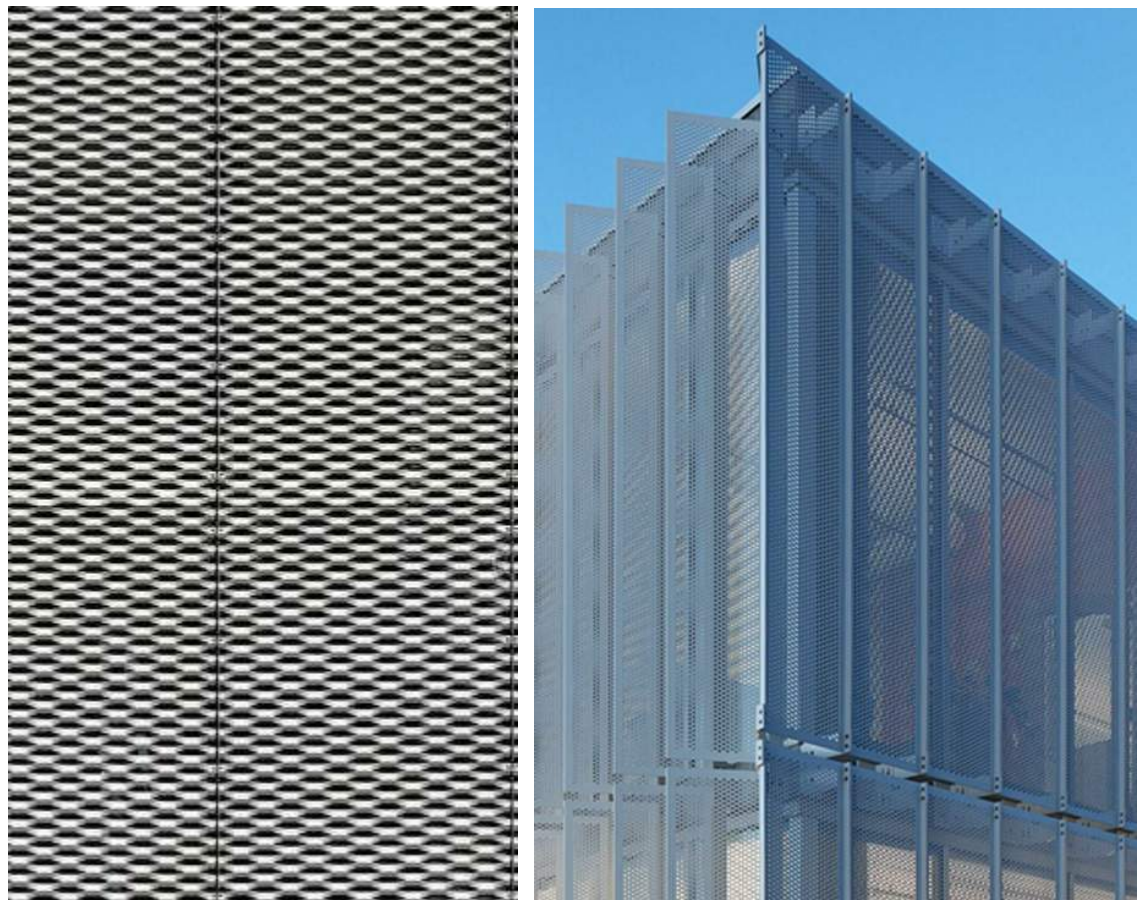
5 CONCRETE - BOARD FORMED



4 METAL PLANTER AND GUARD RAIL



3 METAL MESH SUNSCREEN



2 METAL MESH SUNSCREEN



1 CURTAIN WALL - SSG

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MATERIAL BOARD

ABBREVIATION INDEX

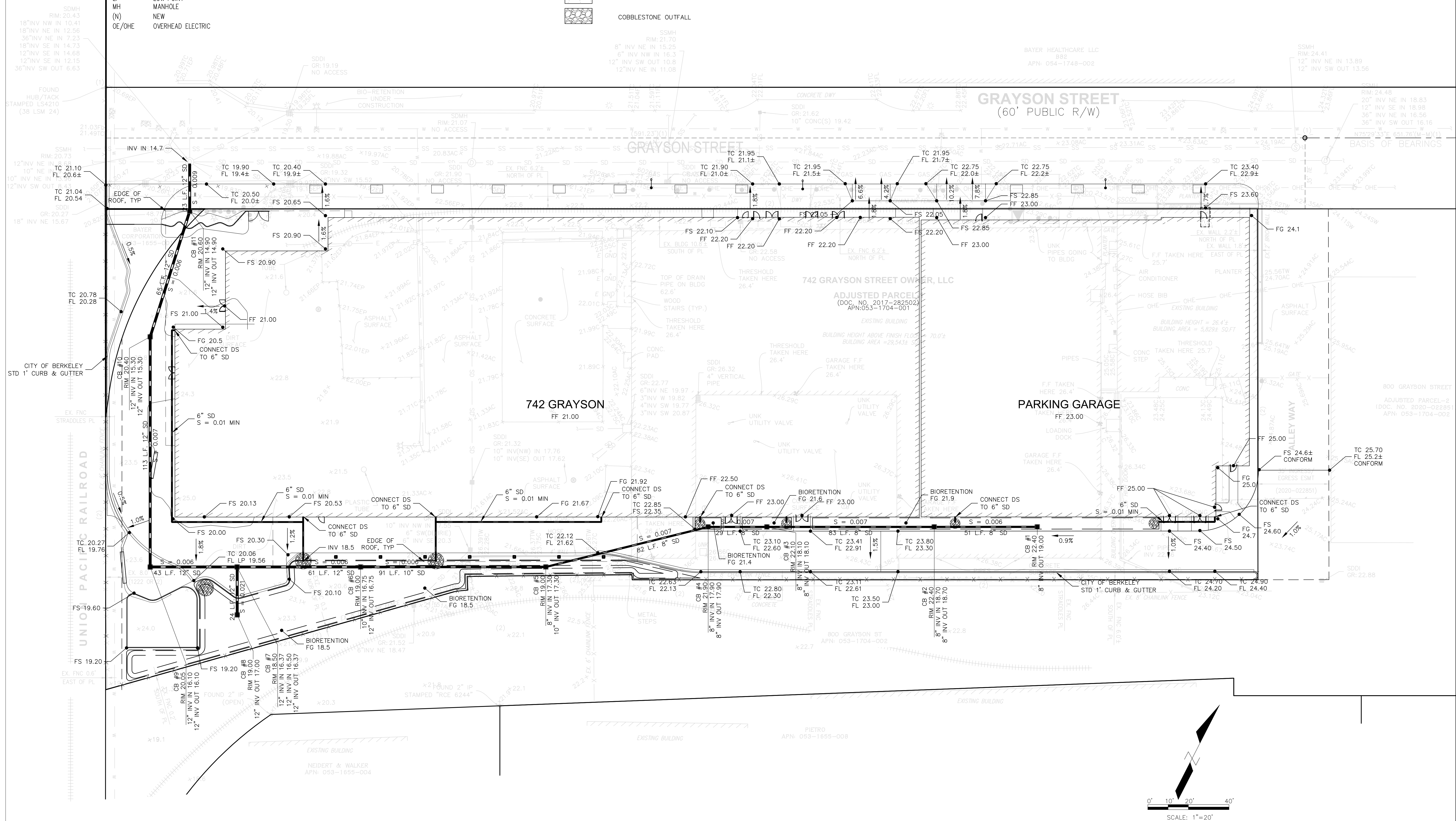
AB	AGGREGATE BASE	P	PAVEMENT SHOTS
AC	ASPHALT CONCRETE	PAE	PRIVATE ACCESS EASEMENT
BW	BOTTOM OF WALL (AT FINISHED GRADE)	PFW	PERIMETER FENCE WALL
CB	CATCH BASIN	PL	PROPERTY LINE
CIPP	CAST IN PLACE PIPE	PP	POWER POLE
C/L	CENTER LINE	PRC	POINT OF REVERSE CURVATURE
C&G	CURB AND GUTTER	PR	PROPOSED
CO	CLEAN OUT	PT	POINT
CMP	CORRUGATED METAL PIPE	PUE	PUBLIC UTILITY EASEMENT
CONC	CONCRETE	RET	RETAINING
DCV	DETECTOR CHECK VALVE	R/W	RIGHT OF WAY
DI	DROP INLET	SD	STORM DRAIN LINE
DET	DETAIL	SDE	STORM DRAIN EASEMENT
DWY	DRIVEWAY	SDMH	STORM DRAIN MANHOLE
EB	ELECTRICAL BOX	SF	SQUARE FEET
EC	END OF CURB	SS	SANITARY SEWER LINE
ECR	END OF CURB RETURN	SSE	SANITARY SEWER EASEMENT
ELEV	ELEVATION	SSFM	SANITARY SEWER FORCE MAIN
EP	EDGE OF PAVEMENT	SSMH	SANITARY SEWER MANHOLE
EX., (E)	EXISTING	STR	STRUCTURE
FC	FACE OF CURB	SWK	SIDEWALK
FF	FINISH FLOOR ELEVATION	TB	TOP OF BANK
FH	FIRE HYDRANT	TC	TOP OF VERTICAL CURB
FL	FLOW LINE	TFC	TOP OF FLUSH CURB
G	GAS	T(PFW)	TOP OF PERIMETER FENCE WALL
GB	GRADE BREAK	TP	TOP OF PAVEMENT
GBL	GRADE BREAK LINE	TW	TOP OF WALL
GR	GRATE	TYP	TYPICAL
GUT	GUTTER	W	WATER
G LIP	GUTTER LIP	WM	WATER METER
HP	HIGH POINT	WV	WATER VALVE
INV	INVERT		
LP	LOW POINT		
MH	MANHOLE		
(N)	NEW		
OE/OHE	OVERHEAD ELECTRIC		

LEGEND

—	PROPERTY LINE
—	LOT LINE
- - -	EASEMENT LINE
—	STORM DRAIN LINE
—	SANITARY SEWER LINE
W	WATER LINE
FW	FIRE WATER
⊕	CATCH BASIN
⊕	SANITARY SEWER MANHOLE
⊕	STORM DRAIN MANHOLE
⊕	POWER POLE
⊕	JOINT POLE
⊕	GUY WIRE
⊕	WATER VALVE
⊕	FIRE HYDRANT
⊕	POST INDICATOR VALVE
⊕	FIRE DEPARTMENT CONNECTION
⊕	BACKFLOW PREVENTER
⊕	BIORETENTION PLANTER
⊕	CONCRETE PAVEMENT
⊕	COBBLESTONE OUTFALL

CUT AND FILL VOLUME

CUT: 7,600 CY OFFHAUL
FILL: 0 CY



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alliquot associates
1390 south main street, suite 510
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925.476.2300
www.alliquot.com

date	revision description
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4	2022.05.12	ZONING APPLICATION RESUBMITTAL
3	2022.04.01	ZONING APPLICATION RESUBMITTAL
2	2021.12.08	ZONING APPLICATION RESUBMITTAL
1	2021.08.19	ZONING APPLICATION

#	date	issue description
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project number: 220112.01
date: 2022.03.31

grading & site plan

C1.01

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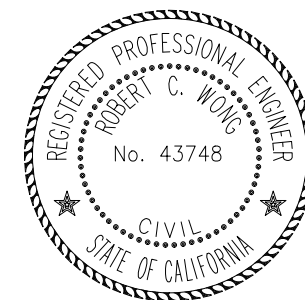
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date revision description

4 2022.05.12 ZONING APPLICATION RESUBMITTAL
3 2022.04.01 ZONING APPLICATION RESUBMITTAL
2 2021.12.08 ZONING APPLICATION RESUBMITTAL
1 2021.08.19 ZONING APPLICATION

date issue description



project number: 220112.01
date: 2022.03.31

utility plan

C1.02

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EROSION CONTROL GENERAL NOTES:

1. TEMPORARY EROSION CONTROL MEASURE DEVICES SHOWN ON THE EROSION CONTROL PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED WHEN THE QSP SO DIRECTS AS THE WORK PROGRESSES.
2. ALL DEVICES SHOWN ON THE EROSION CONTROL PLAN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED BY THE CONTRACTOR AT THE END OF EACH WORKING DAY.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PROVISIONS OF THE ASSOCIATION OF BAY AREA GOVERNMENTS (ABAG) "A MANUAL OF STANDARDS FOR EROSION AND SEDIMENT CONTROL MEASURES" AND THE CASQA CALIFORNIA STORMWATER BMP HANDBOOK.
4. ALL LOOSE SOILS AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
5. THE CONTRACTOR SHALL PLACE DRAIN ROCK AS A GRAVEL ROADWAY (6" MINIMUM THICKNESS FOR THE FULL WIDTH AND 50 FEET LONG) AT EACH ROAD ENTRANCE TO THE SITE. ANY MUD THAT IS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED THE SAME DAY AS REQUIRED BY THE QSP.
6. ALL EROSION CONTROL MEASURES WILL BE INSPECTED DAILY AND AFTER EACH STORM. BREACHES IN DIKES, STRAW WATTLES OR OTHER EROSION AND SEDIMENT CONTROL FACILITIES WILL BE REPAIRED AT THE CLOSE OF EACH DAY AND WHENEVER RAIN IS FORECAST.
7. ALL GRADED AREAS STEEPER THAN 6:1, INCLUDING, BUT NOT LIMITED TO, CUT AND FILL SLOPES, STREETS, PARKING AREAS, AND BUILDING PADS SHALL BE HYDROMULCHED AND HYDROSEEDED PER CITY'S REQUIREMENT. HYDROMULCH SHOULD BE LOW-WATER, DEEP-ROOTED, FAST-GROWING VEGETATION. SUGGESTED HYDROSEED MIX DESIGN FOLLOWS:

"BLANDO BROME" 40 LBS./ACRE
ZORRO PESQUE 10 LBS./ACRE
HYKON ROSE CLOVER 5 LBS./ACRE
CALIFORNIA NATIVE WILDFLOWER 8 LBS./ACRE
SUB-COVER 9 LBS./ACRE
FERTILIZER 100 LBS./ACRE
ORGANIC BINDER 300 LBS./ACRE
STRAW MULCH 4000 LBS./ACRE

8. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES.
9. SANDBAGS OR STRAW BALES SHALL BE STOCKPILED ON SITE AND PLACED AT INTERVALS SHOWN ON EROSION CONTROL PLANS, WHEN THE RAIN FORECAST IS 40% OR GREATER.
10. SANDBAGS REFERRED TO IN THE PRECEDING ITEMS MUST BE FULL. APPROVED SANDBAG FILL MATERIALS ARE DECOMPOSED GRANITE AND/OR GRAVEL.
11. WHEN DIRECTED BY THE QSP, A 12-INCH BERM SHALL BE MAINTAINED ALONG THE TOP OF THE SLOPE OF THOSE FILLS ON WHICH GRADING IS NOT IN PROGRESS.
12. PROVIDE VELOCITY CHECK DAMS IN ALL UNPAVED STREETS AT THE INTERVALS INDICATED BELOW IN NOTE #14. VELOCITY CHECK DAMS MAY BE CONSTRUCTED OF SANDBAGS OR OTHER EROSION RESISTANT MATERIALS APPROVED BY THE INSPECTOR, AND SHALL EXTEND COMPLETELY ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTERLINE. EARTH DIKES MAY NOT BE USED AS VELOCITY CHECK DAMS.
13. PROVIDE VELOCITY CHECK DAMS IN ALL UNPAVED GRADED CHANNELS AT THE INTERVALS INDICATED BELOW:

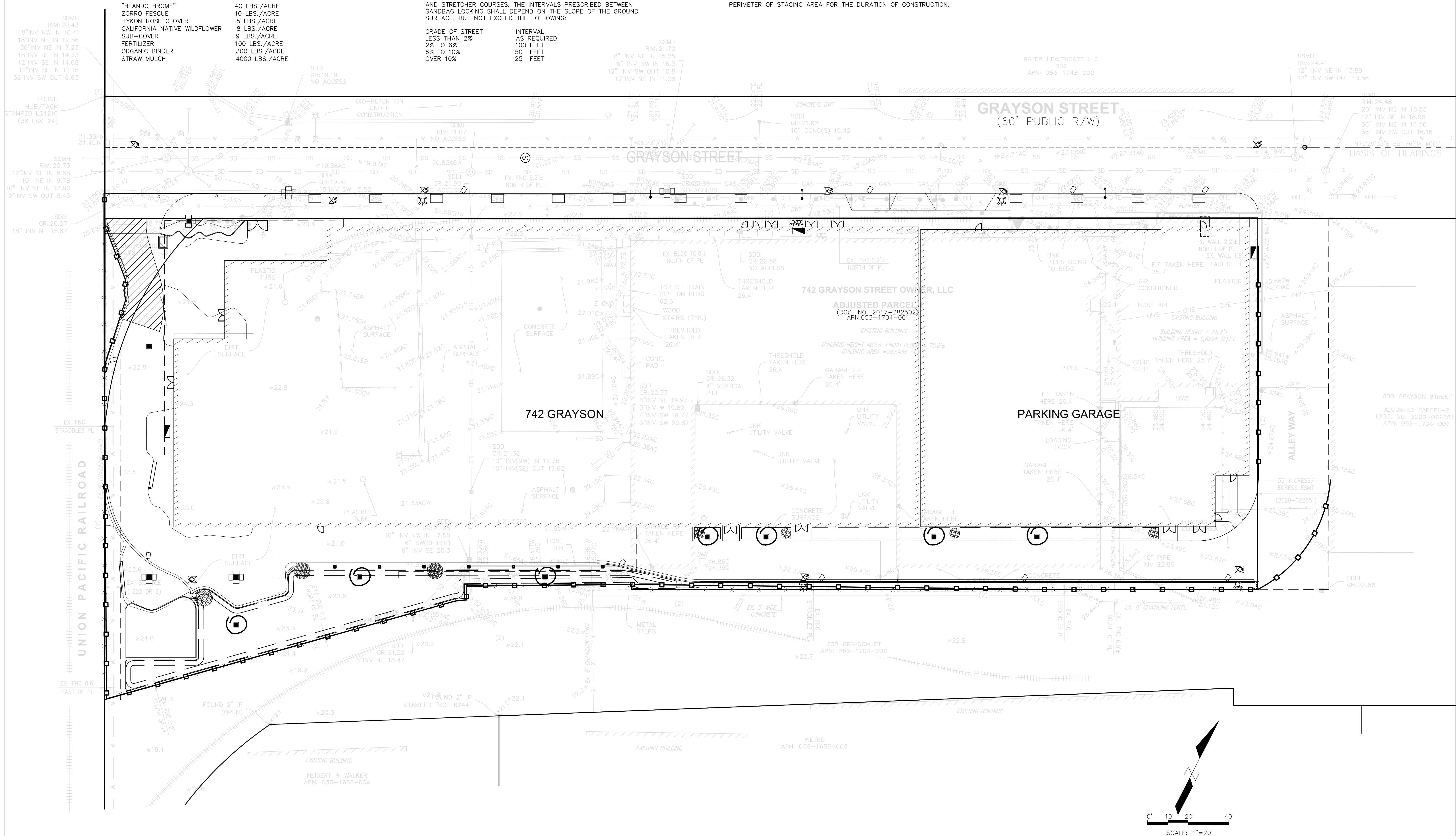
GRADE OF CHANNEL	INTERVAL
LESS THAN 3%	100 FEET
3% TO 6%	50 FEET
OVER 6%	25 FEET
14. SEWER OR STORM DRAIN TRENCHES THAT ARE OUT THROUGH BASIN DIKES OR BASIN INLET DIKES, SHALL BE PLUGGED WITH SANDBAGS FROM TOP OF PIPE TO TOP OF DIKE. SEWER LINES SHALL FIRST BE ENCASED IN CONCRETE BEFORE SANDBAGS ARE PLACED.
15. ALL OPEN UTILITY TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS FROM THE BOTTOM TO TOP WITH A DOUBLE ROW OF SANDBAGS PRIOR TO BACKFILL. SEWER TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS WITH A DOUBLE ROW OF SANDBAGS EXTENDING DOWNWARD, TWO SANDBAGS FROM THE GRADED SURFACE OF THE STREET. SANDBAGS ARE TO BE PLACED WITH ALTERNATE HEADER AND STRETCHER COURSES. THE INTERVALS PRESCRIBED BETWEEN SANDBAG LOCKING SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE, BUT NOT EXCEED THE FOLLOWING:

GRADE OF STREET	INTERVAL
LESS THAN 2%	AS REQUIRED
2% TO 6%	100 FEET
6% TO 10%	50 FEET
OVER 10%	25 FEET

16. AFTER STORM DRAIN, SANITARY SEWER AND UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUND SIGHTLY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHOULD BE EXERCISED TO PROVIDE FOR CROSS FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT ON THE CENTER LINE OF A CROWNED STREET.
17. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS OR IN EXTREME STORM CONDITIONS THE CONTRACTOR MAY USE STRAW WATTLES, SAND BAGS TO SECURE THESE EROSION CONTROL MEASURES AND VARIATIONS.
18. THE CONTRACTOR SHALL KEEP AN EMERGENCY PHONE NUMBER OF CREW CAPTAIN THAT WILL HANDLE EMERGENCIES.
19. THE CONTRACTOR SHALL ASSIGN STAND-BY CREWS 24 HOURS SEVEN DAYS PER WEEK TO BE CALLED TO WORK DURING EACH RAINSTORM EMERGENCY.
20. SEDIMENT TRAPS SHALL BE CLEANED OUT FREQUENTLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN THE DESILTING BASINS AND THE SEDIMENT TRAPS.
21. EROSION CONTROL STRUCTURES SHALL BE ADJUSTED BY THE CONTRACTOR TO REFLECT ALL CHANGES IN DRAINAGE AS ROAD IS BEING INSTALLED.
22. STOCKPILES OF TRENCH SPOILS, DEBRIS, SOIL, SAND OR OTHER MATERIALS SHALL BE COVERED OR REMOVED AS SOON AS PRACTICAL.
23. TEMPORARY STOCKPILES OF SUPPLIES ON SITE NECESSARY TO HANDLE EMERGENCY FIELD CONDITION SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES.
24. VEHICLE AND EQUIPMENT STORAGE AREA LOCATION MAY CHANGE DURING CONSTRUCTION STAGES.
25. STANDBY CREWS SHALL BE ALERTED BY THE PERMITTEE OR CONTRACTOR FOR EMERGENCY WORK DURING RAINSTORMS.
26. A TEMPORARY DIRT BERM SHALL BE MAINTAINED ALONG THE PERIMETER OF STAGING AREA FOR THE DURATION OF CONSTRUCTION.

LEGEND

- TEMPORARY SILT FENCE & FIBER ROLL
- SEDIMENTATION BASIN
- STABILIZED CONSTRUCTION ENTRANCE/EXIT
- SEDIMENT WATTLE INLET PROTECTION
- GRAVEL BAGS
- CONCRETE WASHOUT



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date revision description

4 2022.05.12 ZONING APPLICATION RESUBMITTAL
3 2022.04.01 ZONING APPLICATION RESUBMITTAL
2 2021.12.08 ZONING APPLICATION RESUBMITTAL
1 2021.08.19 ZONING APPLICATION

date issue description



project number: 220112.01
date: 2022.03.31

erosion
control plan

C1.03

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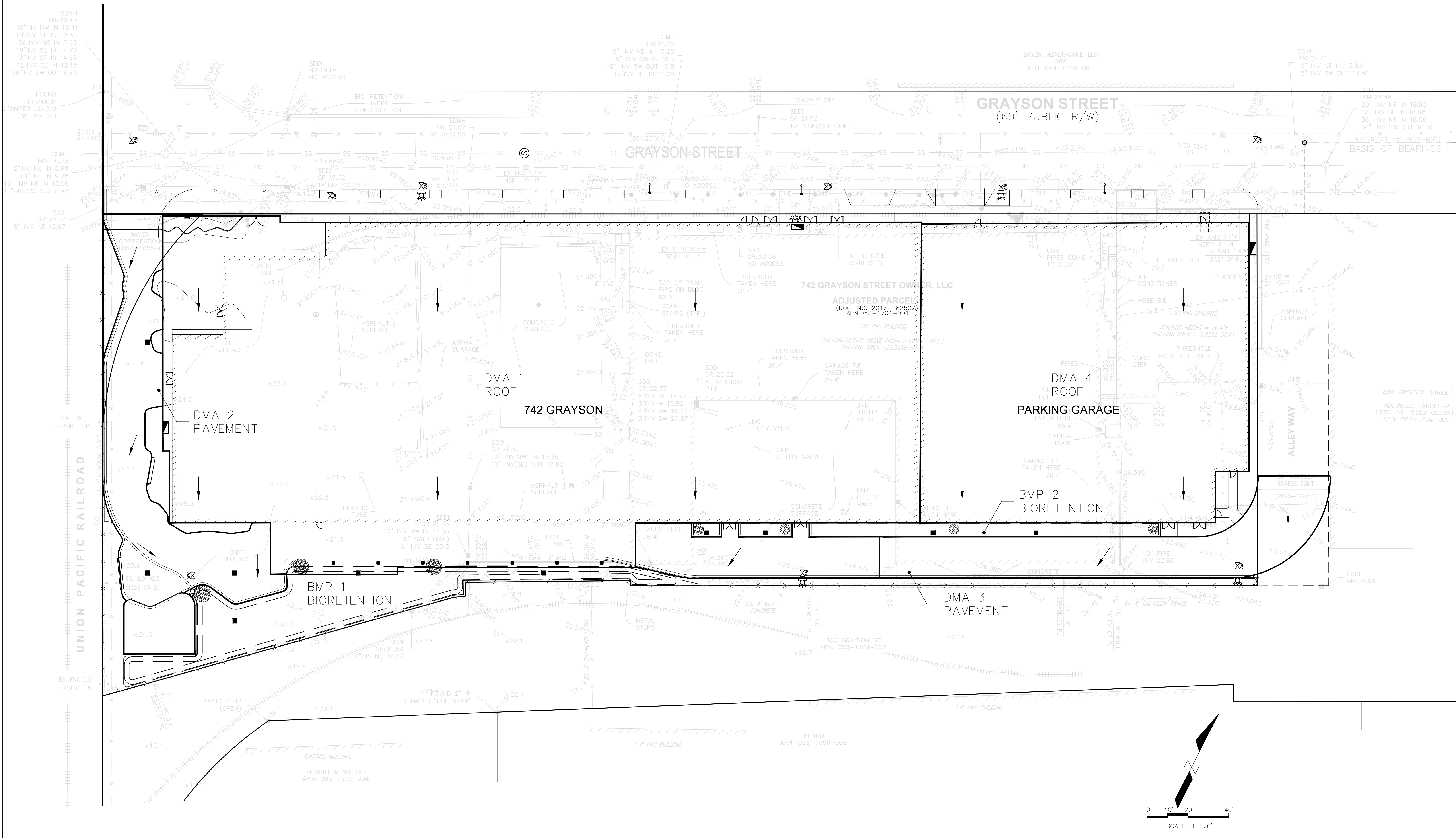
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STORMWATER MANAGEMENT TABLE

DMA #	IMPERVIOUS AREA (SF)	BMP #	IMPERVIOUS AREA TO BE TREATED(SF)	TREATMENT MEASURE	TREATMENT REQUIRED (SF)	TREATMENT PROVIDED (SF)
1	59,301	1				
2	7,140	1	74,390	BIORETENTION PLANTER	2,976	4,357
3	7,949	1				
4	23,371	2	23,371	BIORETENTION PLANTER	935	945



date revision description

- 4 2022.05.12 ZONING APPLICATION RESUBMITTAL
- 3 2022.04.01 ZONING APPLICATION RESUBMITTAL
- 2 2021.12.08 ZONING APPLICATION RESUBMITTAL
- 1 2021.08.19 ZONING APPLICATION

date issue description



project number: 220112.01
date: 2022.03.31

stormwater
management
plan

C1.04

NOT FOR CONSTRUCTION

BASIS OF BEARINGS:

THE BEARING OF NORTH 75°29'33" EAST AS DETERMINED BETWEEN TWO FOUND MONUMENTS ALONG THE MONUMENT LINE OF GRAYSON STREET, AS SHOWN UPON THAT CERTAIN RECORD MAP NO. 2510, FILED FOR RECORD IN BOOK 38 OF LAND SURVEYORS' MAPS, AT PAGE 24, OFFICIAL RECORDS OF ALAMEDA COUNTY, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

SURVEYOR'S NOTES:

- ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES, AND ARE IN U.S. SURVEY FEET AND DECIMALS THEREOF.
- THE BOUNDARY AS SHOWN HEREON CONTAINS 2.45 ACRES, MORE OR LESS.
- THIS TOPOGRAPHIC SURVEY REPRESENTS A FIELD SURVEY PERFORMED BY ALIQUOT ASSOCIATES, INC. ON SEPTEMBER 16, 2020.
- THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF A CURRENT TITLE REPORT ON THE SUBJECT PROPERTY AS SHOWN HEREON. THE SURVEYOR DOES NOT GUARANTEE AGAINST THE EXISTENCE OF ANY FURTHER RECORDED OR UNRECORDED EASEMENTS, USES, RIGHTS OF WAYS, LIENS OR ENCUMBRANCES.
- EASEMENTS SHOWN HEREON ARE BASED ON A TITLE REPORT ISSUED BY FIRST AMERICAN TITLE CO., ORDER NO. NCS-996187-SD. THIS SURVEY WILL BE BASED ON THE LATEST VESTING DEED.

BENCHMARK:

THE ELEVATION REFERENCE MARK FOR THIS SURVEY IS BASED UPON CITY OF BERKELEY SURVEY MONUMENT CARD, DESCRIBED AS A "MONUMENT 80209 3/8" Ø BRASS PIN IN MONUMENT WELL", LOCATED NEAR THE MONUMENT LINE OF 7TH STREET AND GRAYSON STREET.

ELEV= 30.01 FEET CITY OF BERKELEY DATUM

UTILITY NOTE:

THE UTILITY LINES SHOWN ON THIS DRAWING ARE DERIVED FROM SURFACE OBSERVATION AND RECORD DRAWINGS. THE LOCATIONS ARE APPROXIMATE ONLY. ACTUAL LOCATION AND SIZE, TOGETHER WITH PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS DRAWING SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ANY EXCAVATION.

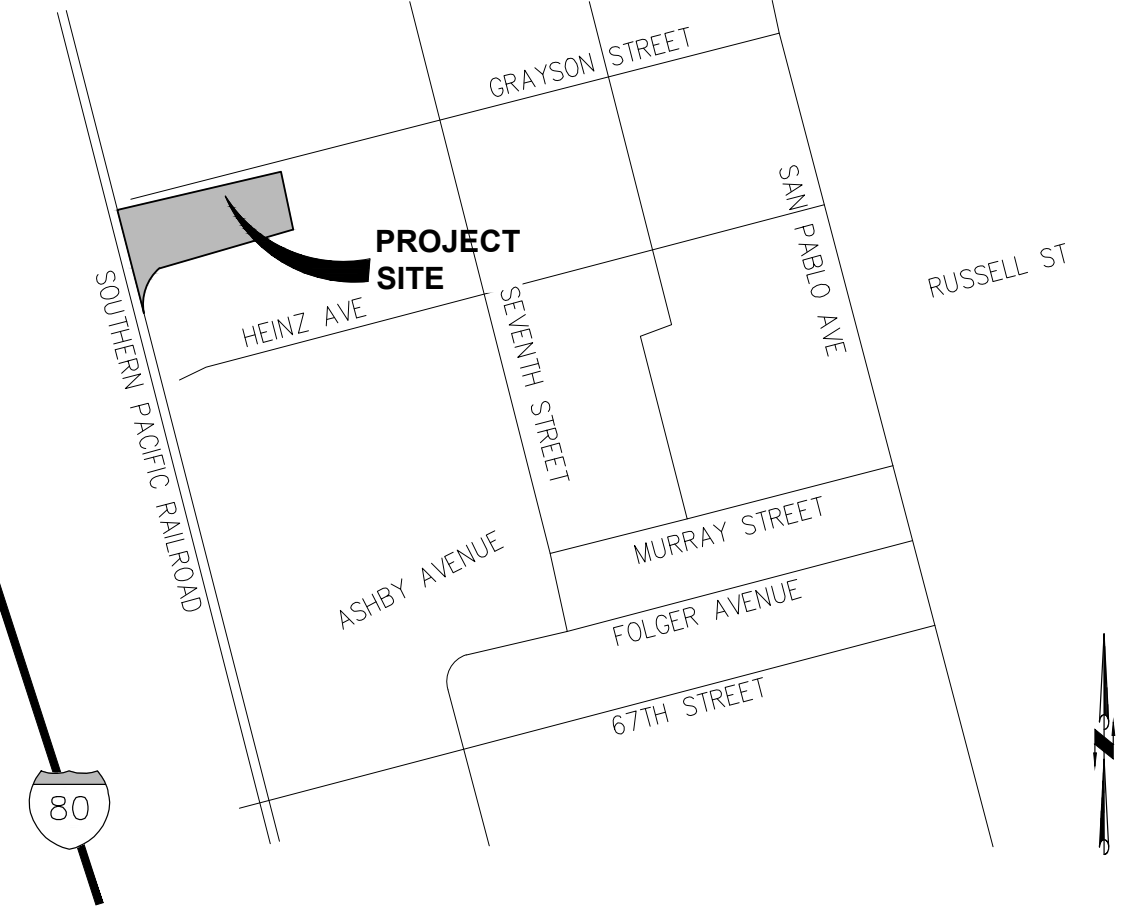
REFERENCES:

- RECORD OF SURVEY No. 2510 (38 LSM 24)
- LOT LINE ADJUSTMENT / MERGER LOLA 326 (2017-282502)

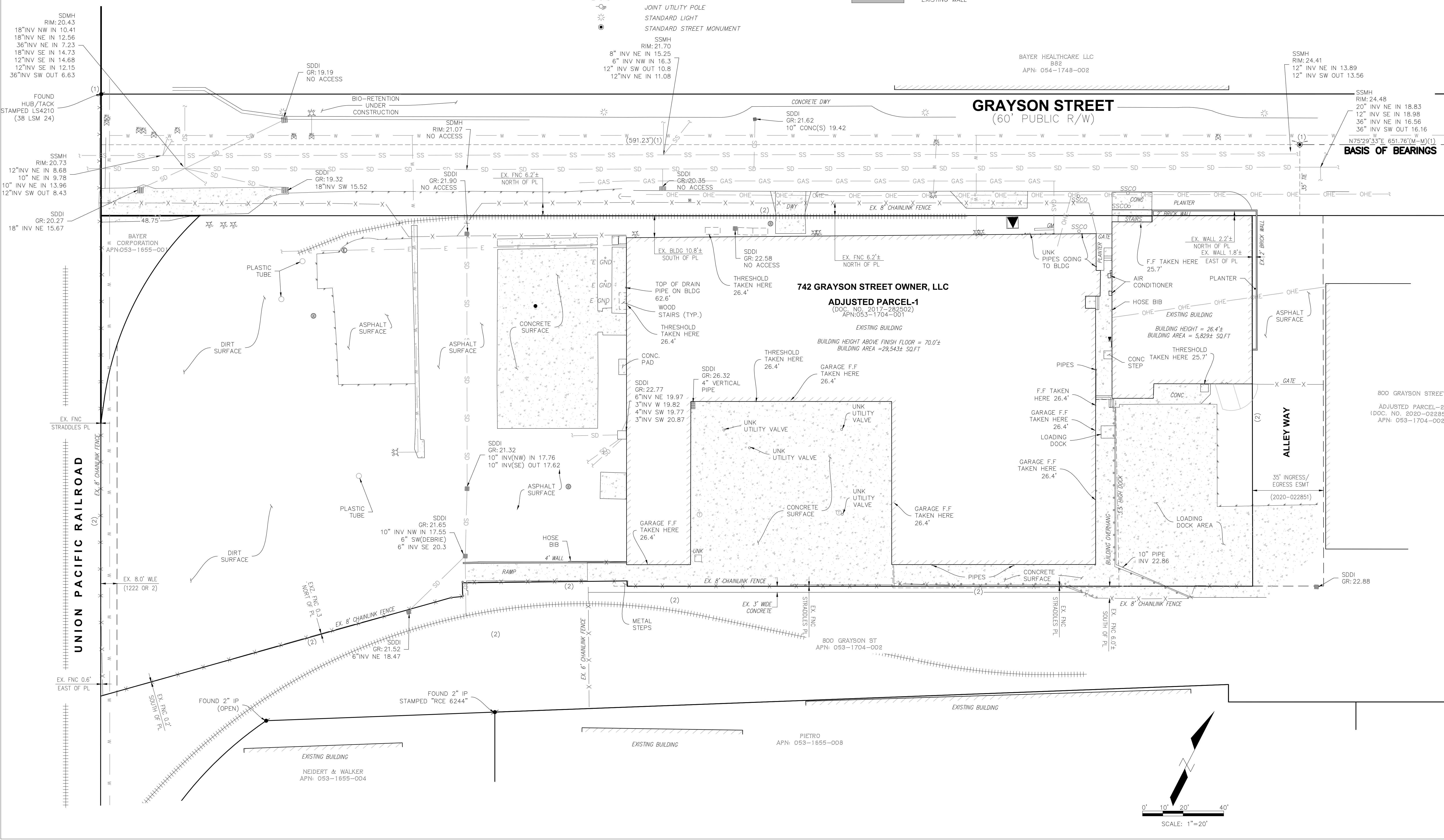
LEGEND:

- | | |
|--------|----------------------------|
| AC | ASPHALT CONCRETE |
| BLDG | BUILDING |
| BW | BOTTOM OF WALL |
| C/CONC | CONCRETE |
| DWY | DRIVEWAY |
| EP | EDGE OF PAVEMENT |
| ESMT | EASEMENT |
| FL | FLOW LINE GUTTER |
| F.F | FINISH FLOOR |
| GR | GRATE |
| GM | GAS METER |
| (M-M) | MONUMENT TO MONUMENT |
| PVC | POLYVINYL CHLORIDE |
| STL | STEEL |
| SW | SIDEWALK |
| TC | TOP OF CURB |
| TW | TOP OF WALL |
| TYP. | TYPICAL |
| UNK | UNKNOWN UTILITY |
| ⊙ | ELECTRIC MANHOLE |
| ⊙ | WATER MONITORING WELL |
| ⊙ | WATER VALVE |
| ⊙ | FENCE GATE POST |
| ⊙ | FIRE HYDRANT |
| ⊙ | FIRE DEPARTMENT CONNECTION |
| ⊙ | GROUND |
| ⊙ | JOINT UTILITY POLE |
| ⊙ | STANDARD LIGHT |
| ⊙ | STANDARD STREET MONUMENT |

- | | |
|---------------------------------------|---------------------------------|
| FOUND MONUMENT AS NOTED | TRANSFORMER |
| COMMUNICATION MANHOLE | SIGN |
| GUY WIRE | SANITARY SEWER MANHOLE(SSMH) |
| SANITARY SEWER CLEANOUT(SSCO) | STORM DRAIN DROP INLET(SDDI) |
| BOLLARD | BOUNDARY LINE |
| ADJACENT PROPERTY LINES | MONUMENT LINE |
| EASEMENT LINE (AS NOTED) | EXISTING FENCE(AS NOTED) |
| EXISTING EDGE OF PAVEMENT | EXISTING RAIL ROAD TRACK |
| EXISTING 4' GUARDRAIL | EXISTING OVERHEAD ELECTRIC LINE |
| EXISTING WATER LINE | EXISTING SANITARY SEWER LINE |
| EXISTING GAS LINE(PER RECORD DRAWING) | EXISTING BUILDING |
| EXISTING CONCRETE SURFACE | EXISTING WALL |



VICINITY MAP
NOT TO SCALE



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date revision description

4 2022.05.12 ZONING APPLICATION RESUBMITTAL

2021.12.08 100% SD

date issue description

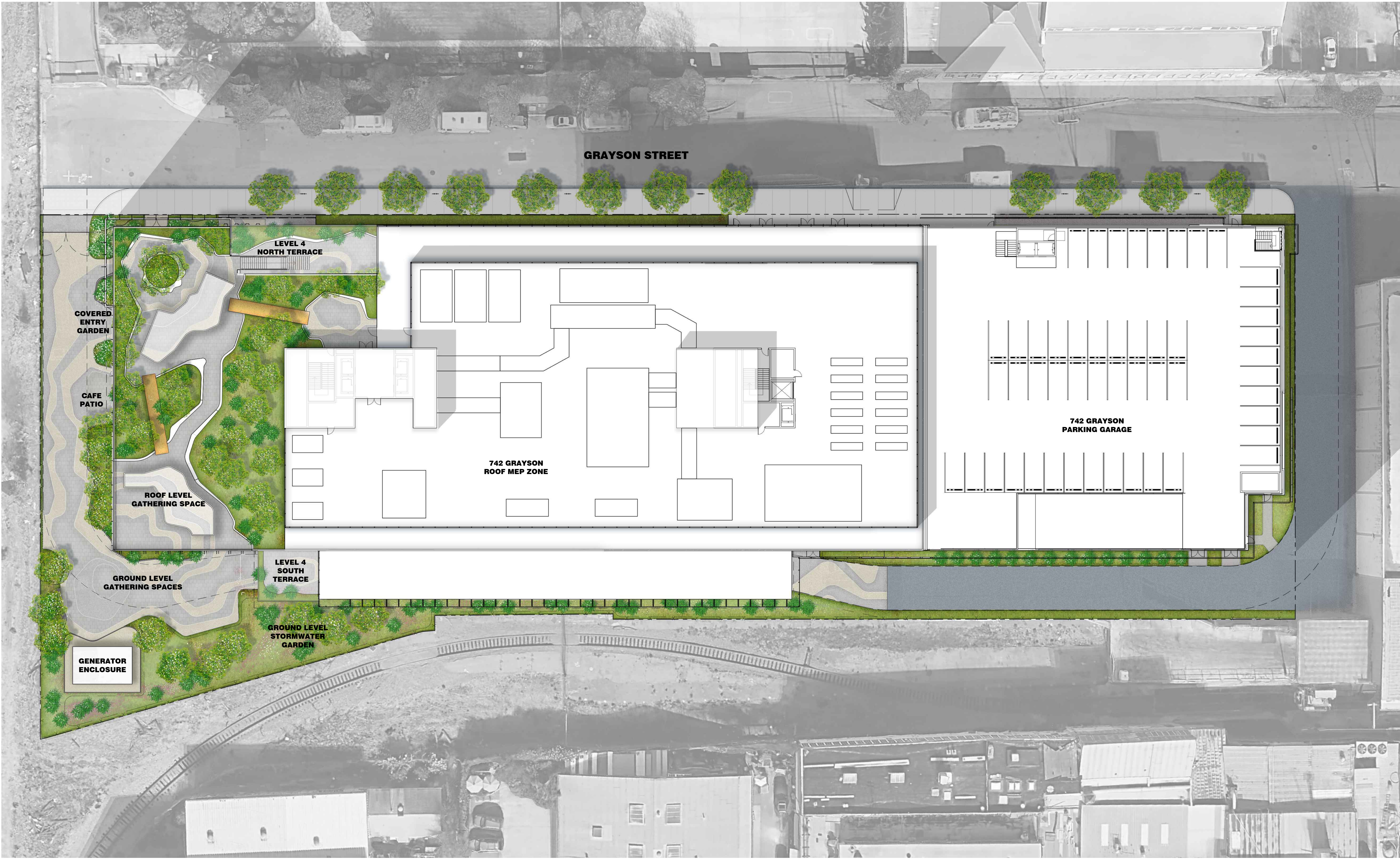


project number: 220112.01
date: 2021.12.08

boundary &
topographic
survey

C1.05

NOT FOR CONSTRUCTION



ILLUSTRATIVE CONCEPT PLAN

PLAN

NOTES:

1. For Building Details, See Arch Dwg.
2. For Site Grading and Street Improvement Details, See Civil Dwg.
3. For Planting Information, See L4.0 Landscape Planting Plan

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san francisco, ca 94107
650-200-3723
www.s-a-works.com

△	date	revision	description
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|---|------------|--------------------------------|
| 4 | 2022.05.12 | ZONING APPLICATION RESUBMITTAL |
| 3 | 2022.04.01 | ZONING APPLICATION RESUBMITTAL |
| 2 | 2021.12.08 | ZONING APPLICATION RESUBMITTAL |
| 1 | 2021.08.19 | ZONING APPLICATION |

#	date	issue	description
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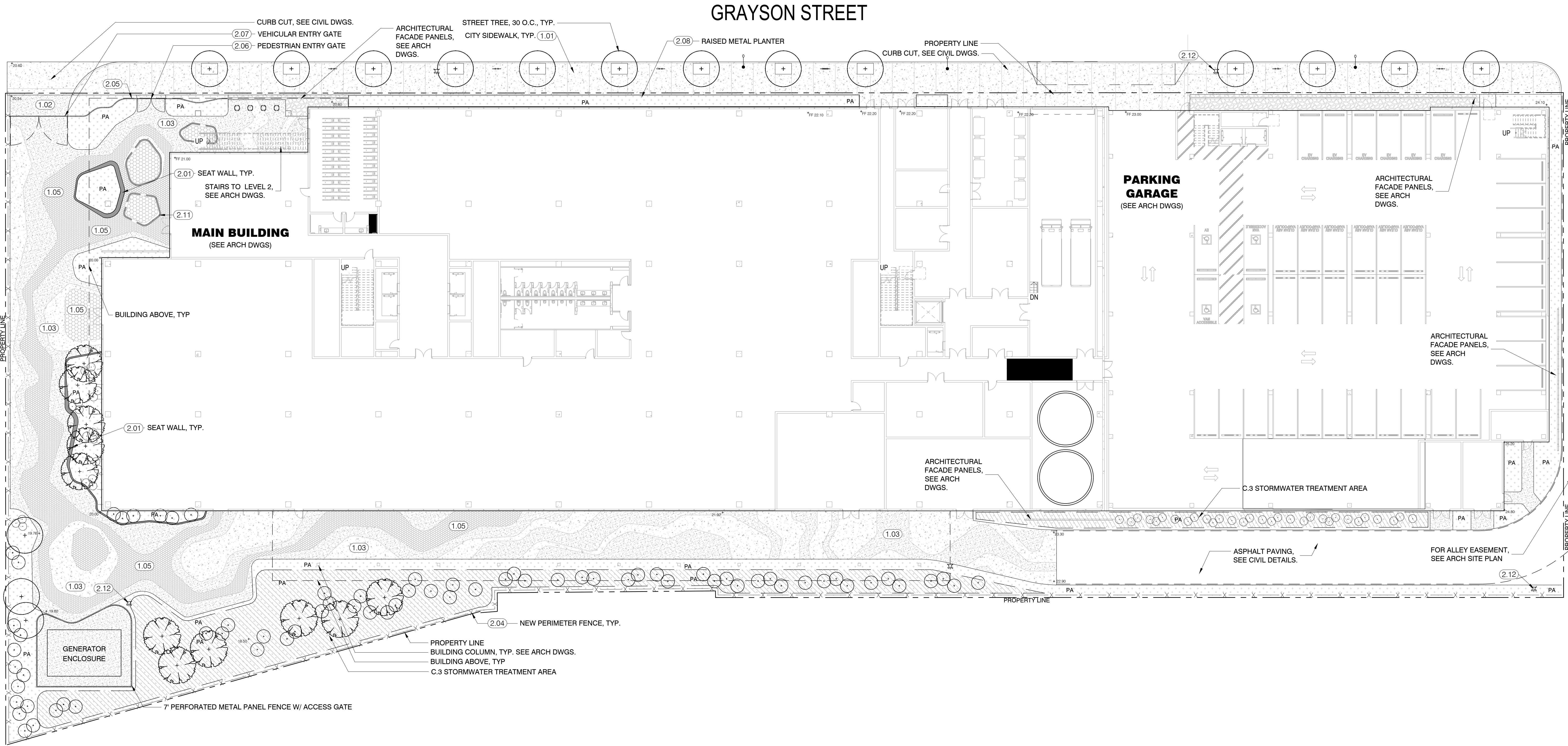
742 Grayson Street
742 grayson street
berkeley, ca 94710

project number: 18-221
date: 2021.12.07
drawn by: AS

ILLUSTRATIVE
CONCEPT PLAN

L0.01

NOT FOR CONSTRUCTION



MATERIALS PLAN: GROUND LEVEL

PLAN

MATERIALS LEGEND

1.00 PAVMENTS				
NO.	SYMB.	ITEM	DESCRIPTION	DETAIL
(1.01)		CITY SIDEWALK A	Concrete Sidewalk with Tree Grates Per Streetscape Standard Details	See Off-site Package
(1.03)	A	CONCRETE PAVEMENT - VEHICULAR	6" Concrete over 10" Compacted Aggregate base. Types A or B. See Layout Plan and Details	
	B			
(1.04)	A	CONCRETE PAVEMENT ON STRUCTURE	4" Concrete over 4" Compacted Aggregate base. See Arch Dwgs for Pavement adjacent to vertical Building Surfaces. Type A or B. See Layout Plan and Details	
	B			
(1.05)	A	PAVER - ON GRADE	Precast Concrete Paver, Vehicular Grade, Type A or B. See Layout Plan and Details.	
	B			
(1.06)	A	PAVER - ON STRUCTURE	Precast Concrete Paver, Set over Aggregate Base or on Pedestal System. Type A or B. See Layout Plan and Details.	
	B			
(1.08)		WOOD DECKING	2 x 6 Wood Decking with Wheel Guides	

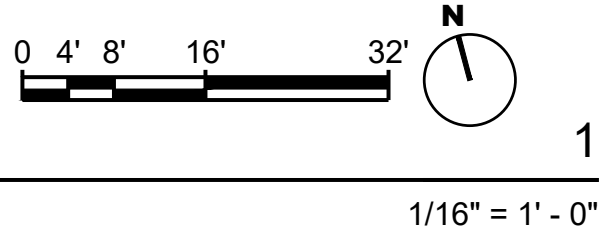
(1.07)		DECORATIVE GRAVEL PAVING		
2.00 WALLS, GATES, FENCES, MISC				
NO.	SYMB.	ITEM	DESCRIPTION	DETAIL
(2.01)		SEATWALL PLANTER ON GRADE	18" Tall CIP Concrete Seatwall w/ Integral Color, Skatestops 36" O.C. See Details.	S.A.D.
(2.02)		STAIRS	See Arch Dwgs.	
(2.03)		SEATWALL ON STRUCTURE	18" Tall CIP Concrete Seatwall w/ Integral Color	
(2.04)		PERIMETER FENCE	72" Tall Omega Architectural Fence w/ 2" Post	
(2.05)		ENTRY FENCE	72" Tall Weathered Steel 1 x 4 Slat Fence	
(2.06)		ENTRY GATE	72" High Pedestrian Gate	
(2.07)		VEHICULAR GATE	72" High Vehicular Swing Gate	
(2.08)		RAISED METAL PLANTER	Custom Aluminum Raised Planter	
(2.09)		GRAYSON AVE. BIKE RACK	Surface Mounted Single Circular Bike Rack	
(2.10)		ENTRY BIKE RACKS	MMCite Elk 3 Bike Capacity Bike Rack, Aluminum Surface Mounted	

(2.11)		ENTRY SUSPENDED LUMINAIRE		
(2.12)		FIRE HYDRANT	New Fire Hydrant Location, See Civil Drawings C1.02 For Proposed Utility Locations & Layout	

PLANTING			
SYMBOL	ITEM	DESCRIPTION	DETAIL
	PROPOSED TREE	See Planting Plan and Planting Details	
PA	PLANTING AREA	See Planting Plan and Planting Details	
PA	STORM WATER PLANTING AREA	See Planting Plan and Planting Details	

NOTES:

- For Building Details, See Arch Dwgs.
- For Site Grading and Street Improvement Details, See Civil Dwgs.
- For Planting Information, See L4.0 Landscape Planting Plan



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- 2021.08.19 ZONING APPLICATION

date issue
description



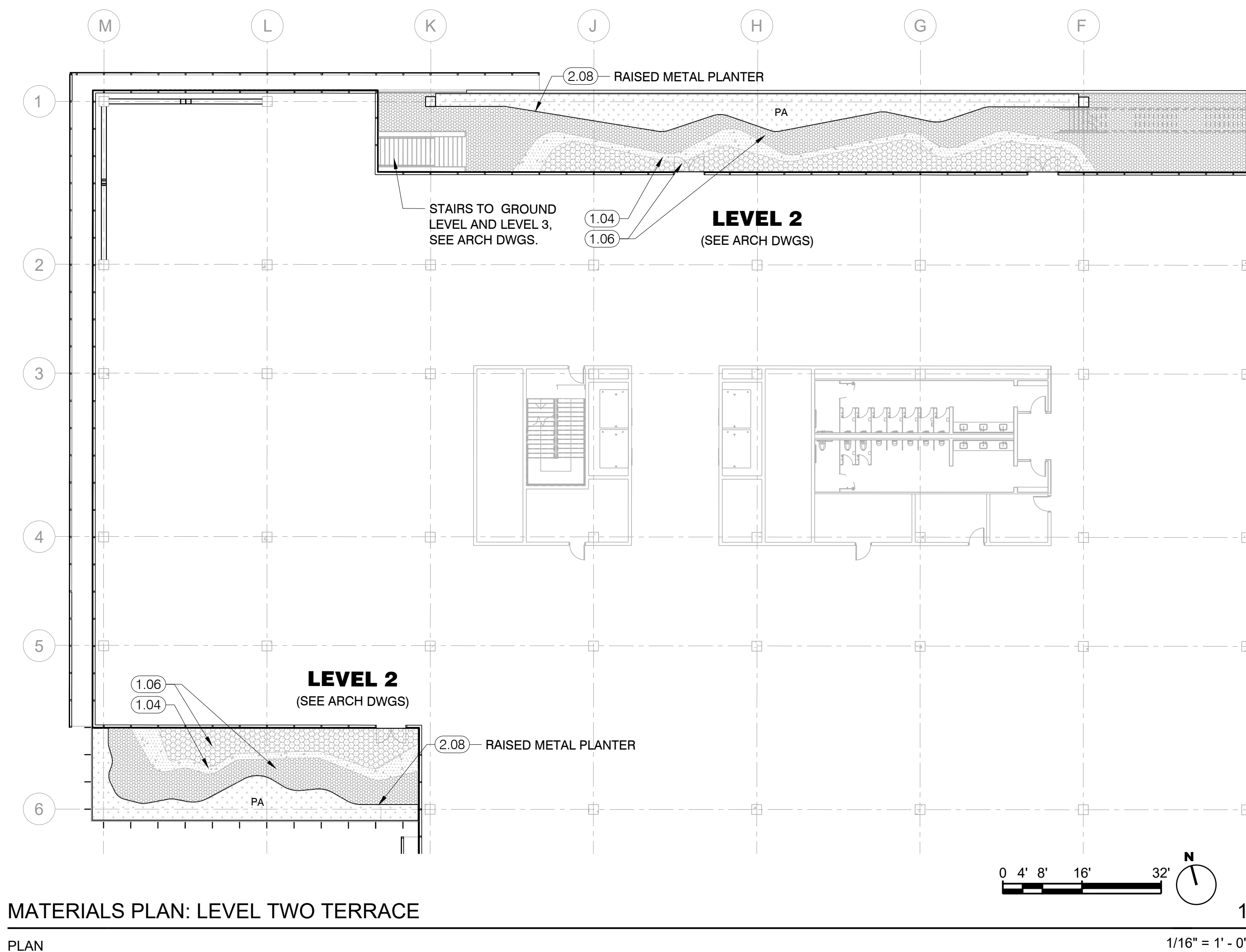
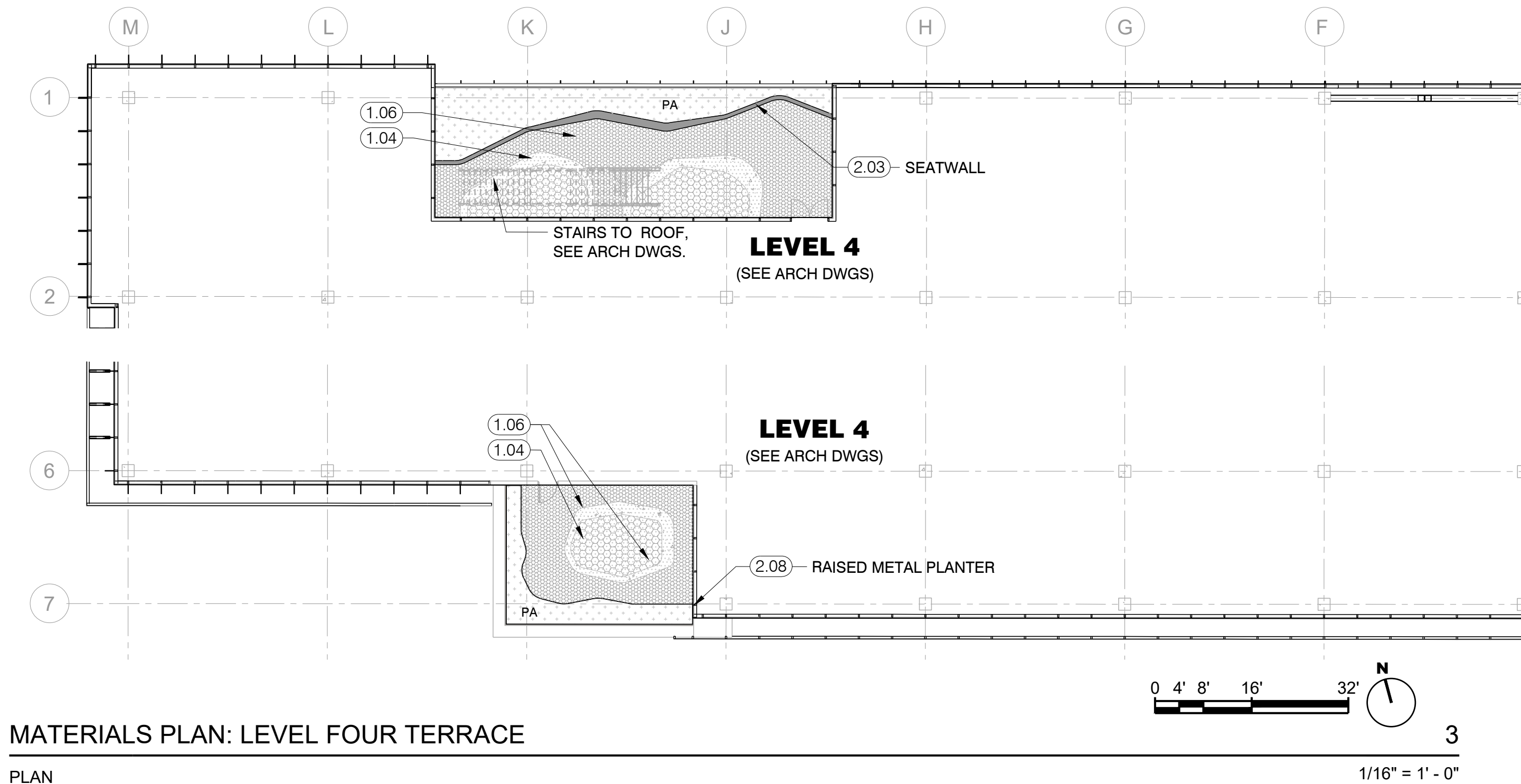
742 Grayson Street
742 grayson street
berkeley, ca 94710

project number: 18-221
date: 2021.12.07
drawn by: AS

**MATERIALS PLAN:
GROUND LEVEL**

L1.00

NOT FOR CONSTRUCTION



MATERIALS LEGEND

1.00	PAVMENTS			
NO.	SYMB.	ITEM	DESCRIPTION	DETAIL
(1.01)		CITY SIDEWALK A	Concrete Sidewalk with Tree Grates Per Streetscape Standard Details	See Off-site Package
(1.02)		CONCRETE PAVEMENT - VEHICULAR	6" Concrete over 10" Compacted Aggregate base. Types A or B. See Layout Plan and Details	
(1.03)		CONCRETE PAVEMENT - PEDESTRIAN	4" Concrete over 4" Compacted Aggregate base. Types A or B See Arch Dwgs for Pavement adjacent to Building.	
(1.04)		CONCRETE PAVEMENT ON STRUCTURE	4" Concrete over 4" Compacted Aggregate base. See Arch Dwgs for Pavement adjacent to vertical Building Surfaces. Type A or B. See Layout Plan and Details	
(1.05)		PAVER - ON GRADE	Precast Concrete Paver, Vehicular Grade, Type A or B. See Layout Plan and Details.	
(1.06)		PAVER - ON STRUCTURE	Precast Concrete Paver, Set over Aggregate Base or on Pedestal System. Type A or B. See Layout Plan and Details.	

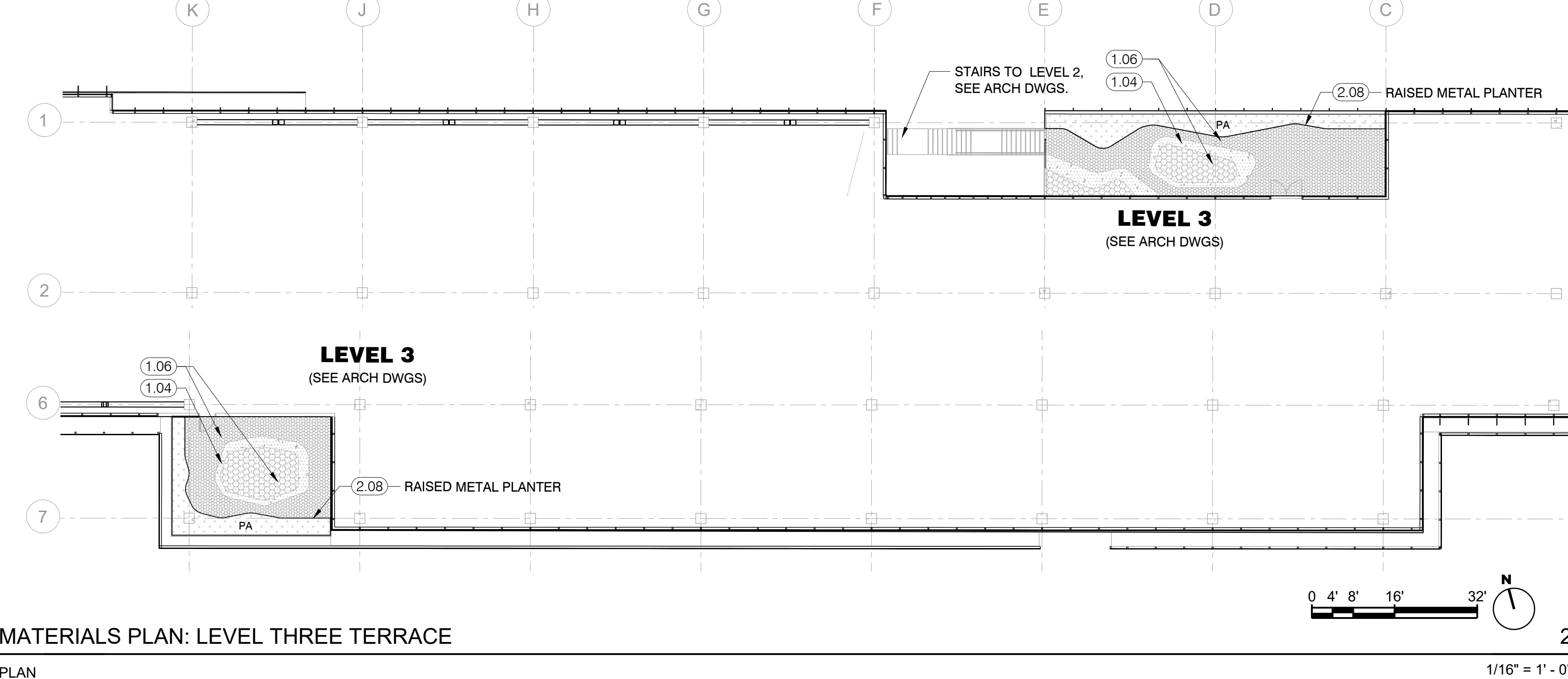
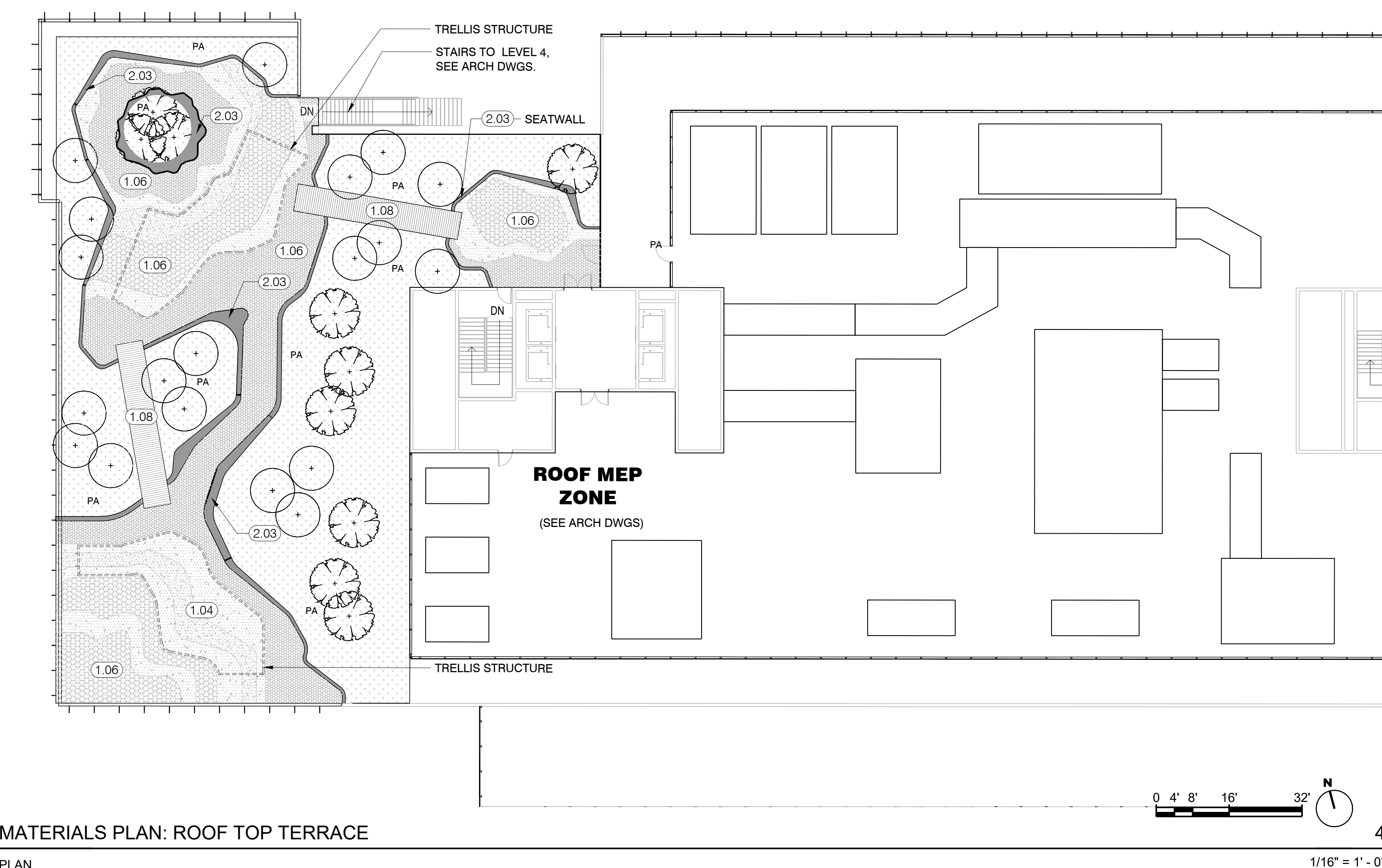
(1.08)		WOOD DECKING	2 x 6 Wood Decking with Wheel Guides	
(1.07)		DECORATIVE GRAVEL PAVING		
2.00	WALLS, GATES, FENCES, MISC			
NO.	SYMB.	ITEM	DESCRIPTION	DETAIL
(2.01)		SEATWALL PLANTER ON GRADE	18" Tall CIP Concrete Seatwall w/ Integral Color, Skatestops 36" O.C. See Details.	
(2.02)		STAIRS	See Arch Dwgs.	S.A.D.
(2.03)		SEATWALL ON STRUCTURE	18" Tall CIP Concrete Seatwall w/ Integral Color	
(2.04)		PERIMETER FENCE	72" Tall Omega Architectural Fence w/ 2" Post	
(2.05)		ENTRY FENCE	72" Tall Weathered Steel 1 x 4 Slat Fence	
(2.06)		ENTRY GATE	72" High Pedestrian Gate	
(2.07)		VEHICULAR GATE	72" High Vehicular Swing Gate	
(2.08)		RAISED METAL PLANTER	Custom Aluminum Raised Planter	
(2.09)		GRAYSON AVE. BIKE RACK	Surface Mounted Single Circular Bike Rack	

(2.10)		ENTRY BIKE RACKS	MMCite Elk 3 Bike Capacity Bike Rack, Aluminum Surface Mounted	
(2.11)		ENTRY SUSPENDED LUMINAIRE		
(2.12)		FIRE HYDRANT	New Fire Hydrant Location, See Civil Drawings C1.02 For Proposed Utility Locations & Layout	

PLANTING			
SYMBOL	ITEM	DESCRIPTION	DETAIL
	PROPOSED TREE	See Planting Plan and Planting Details	
	PLANTING AREA	See Planting Plan and Planting Details	
	STORM WATER PLANTING AREA	See Planting Plan and Planting Details	

NOTES:

- For Building Details, See Arch Dwgs.
- For Site Grading and Street Improvement Details, See Civil Dwgs.
- For Planting Information, See L4.0 Landscape Planting Plan



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date	revision	description
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4	2022.05.12	ZONING APPLICATION RESUBMITTAL
3	2022.04.01	ZONING APPLICATION RESUBMITTAL
2	2021.12.08	ZONING APPLICATION RESUBMITTAL
1	2021.08.19	ZONING APPLICATION

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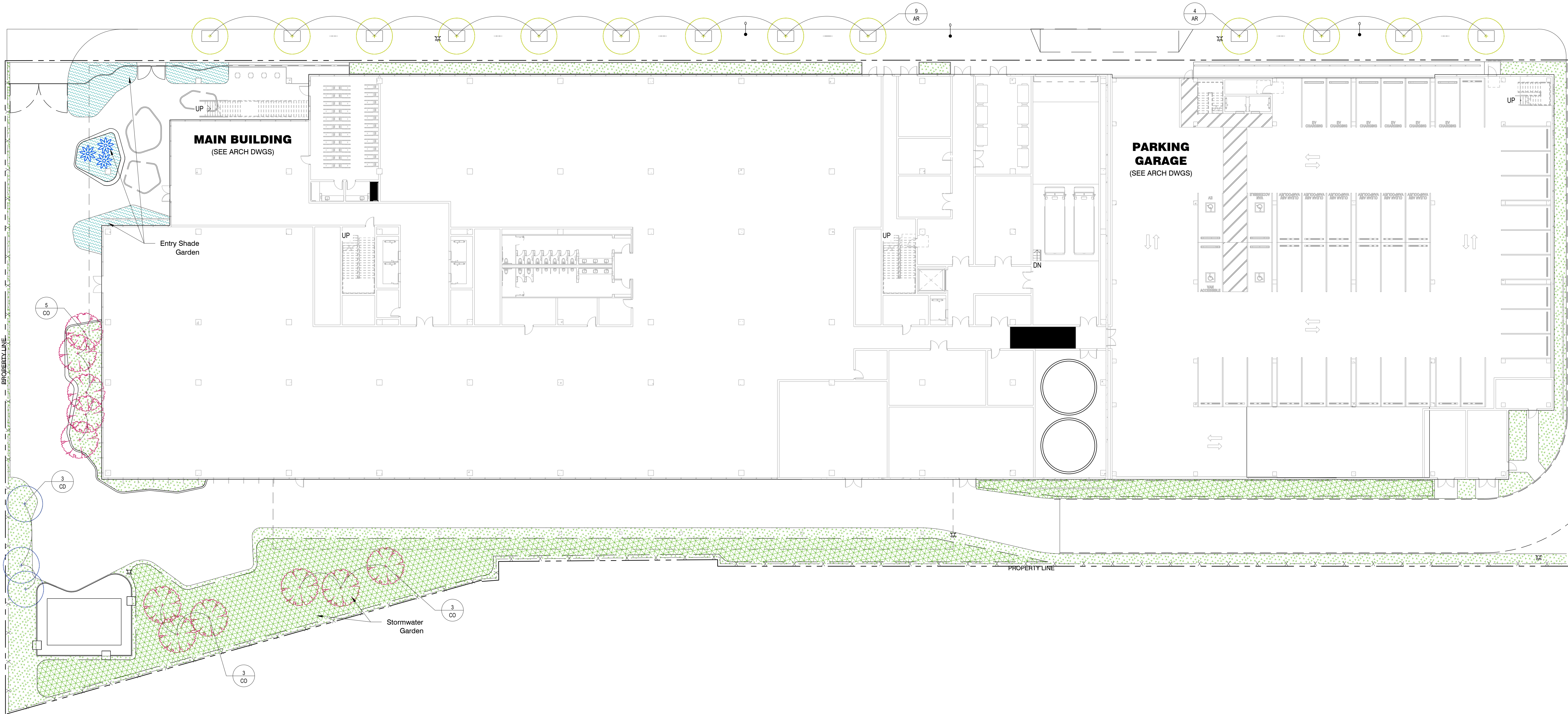
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date: 2021.12.07
drawn by: AS

**MATERIALS PLAN:
TERRACE AND
ROOF LEVEL**

L1.01

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GRAYSON STREET



PLANTING PLAN: GROUND LEVEL

PLAN

TREES							
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	WATER USAGE	
AR	●	<i>Acer rubrum</i> (or Species Per City Arborist) Red Maple		36" Box	30" O.C. As Shown	LOW	STREET TREE PER CITY STANDARDS
CD	○	<i>Calocedrus decurrens</i> Incense Cedar		36" Box	30" O.C. As Shown	LOW	NATIVE
CO	○	<i>Cercis occidentalis</i> Western Redbud		36" Box	15" O.C. As Shown	LOW	NATIVE

GROUND LEVEL PLANTING							
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES	
RV	●	<i>Ribes viburnifolium</i> Evergreen Currant		1 or 5 Gal	12" O.C.	LOW	NATIVE
AA	●	<i>Astilbe x arendsii</i> 'Snowdrift'		1 or 5 Gal	24" O.C.	MEDIUM	ATTRACTS POLLINATORS
AL	●	<i>Agertina linguistria</i> Snake Root	--	15 Gal	12" O.C.	LOW / MEDIUM	ATTRACTS POLLINATORS & BIRDS
HP	●	<i>Hebe pinguifolia</i> 'Sutherlandii'	--	15 Gal	30" O.C.	LOW / MEDIUM	ATTRACTS POLLINATORS & BIRDS
RT	●	<i>Rhus typhina</i> 'Dissecta'	--	1 or 5 Gal	30" O.C.	LOW	DROUGHT TOLERANT
SA	●	<i>Sarrea artemisioides</i> Feathery Cassia	--	15 Gal	36" O.C.	LOW	ATTRACTS POLLINATORS & BIRDS
BT	●	<i>Berberis thunbergii</i> Japanese Barberry		15 Gal	36" O.C.	MEDIUM	BIRD FRIENDLY

BUILDING ENTRY SHADE GARDEN							
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	WATER USAGE	NOTES
DA	●	<i>Dicksonia antarctica</i> Tasmanian tree fern	--	15 Gal	12" O.C.	MEDIUM-HIGH	-
NE	●	<i>Nephrolepis cordifolia</i> California Sword Fern	--	15 Gal	30" O.C.	MEDIUM	NATIVE
RI	●	<i>Ribes viburnifolium</i> Evergreen Currant	--	1 or 5 Gal	30" O.C.	LOW	NATIVE
WO	●	<i>Woodwardia fimbriata</i> Giant Chain Fern	--	15 Gal	36" O.C.	MEDIUM	NATIVE
AA	●	<i>Astilbe x arendsii</i> 'Snowdrift'		1 or 5 Gal	24" O.C.	MEDIUM	ATTRACTS POLLINATORS

STORMWATER GARDEN							
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	WATER USAGE	NOTES
RV	●	<i>Iris virginica</i> Blue Flag Iris	--	1 or 5 Gal	12" O.C.	LOW	SPECIES PER C.3 REQUIREMENTS
AE	●	<i>Arcoctaphylos</i> 'Emerald Carpet'	--	1 or 5 Gal	18" O.C.	LOW	SPECIES PER C.3 REQUIREMENTS
MR	●	<i>Mahonia repens</i> Creeping Oregon Grape	--	1 or 5 Gal	18" O.C.	LOW	SPECIES PER C.3 REQUIREMENTS
SS	●	<i>Santolina</i> spp. Lavender Cotton	--	1 or 5 Gal	18" O.C.	LOW	SPECIES PER C.3 REQUIREMENTS
AL	●	<i>Nepeta</i> 'Walker's Low'	--	15 Gal	12" O.C.	LOW	SPECIES PER C.3 REQUIREMENTS
LP	●	<i>Limonium perezii</i> Sea Lavender	--	5 or 15 Gal	30" O.C.	LOW	SPECIES PER C.3 REQUIREMENTS
KC	●	<i>Kniphofia citrina</i> Red Hot Pokers	--	5 or 15 Gal	30" O.C.	LOW	SPECIES PER C.3 REQUIREMENTS
HL	●	<i>Heriogramum latifolium</i> Coastal Buckwheat	--	5 or 15 Gal	30" O.C.	LOW	SPECIES PER C.3 REQUIREMENTS
HP	●	<i>Vaccinium ovatum</i> Evergreen Huckleberry	--	15 Gal	30" O.C.	MEDIUM	SPECIES PER C.3 REQUIREMENTS
RI	●	<i>Sambucus mexicana</i> Mexican Elderberry	--	15 Gal	30" O.C.	LOW	SPECIES PER C.3 REQUIREMENTS
HA	●	<i>Heteromeles arbutifolia</i> Toyon	--	15 Gal	30" O.C.	LOW	SPECIES PER C.3 REQUIREMENTS

NOTES:

- For Building Details, See Arch Dwgs.
- For Street Improvement Details and Site Grading, See Civil Dwgs.
- Compost to be incorporated at a rate of 4 cubic yards per 1,000 sf into the top 6 inches of soil or compost per horticultural soil report.
- Min. 3" of organic mulch on exposed soils.

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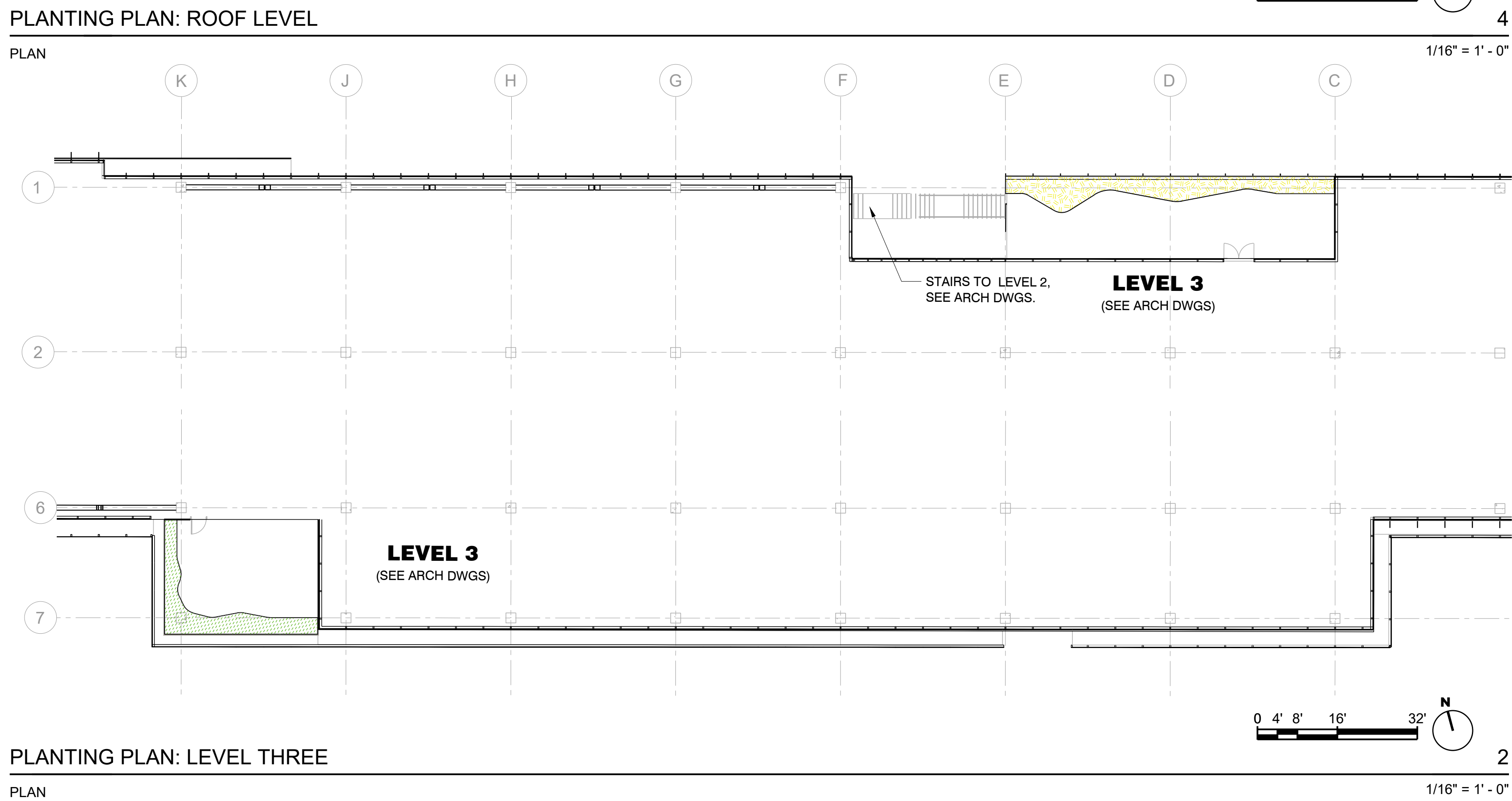
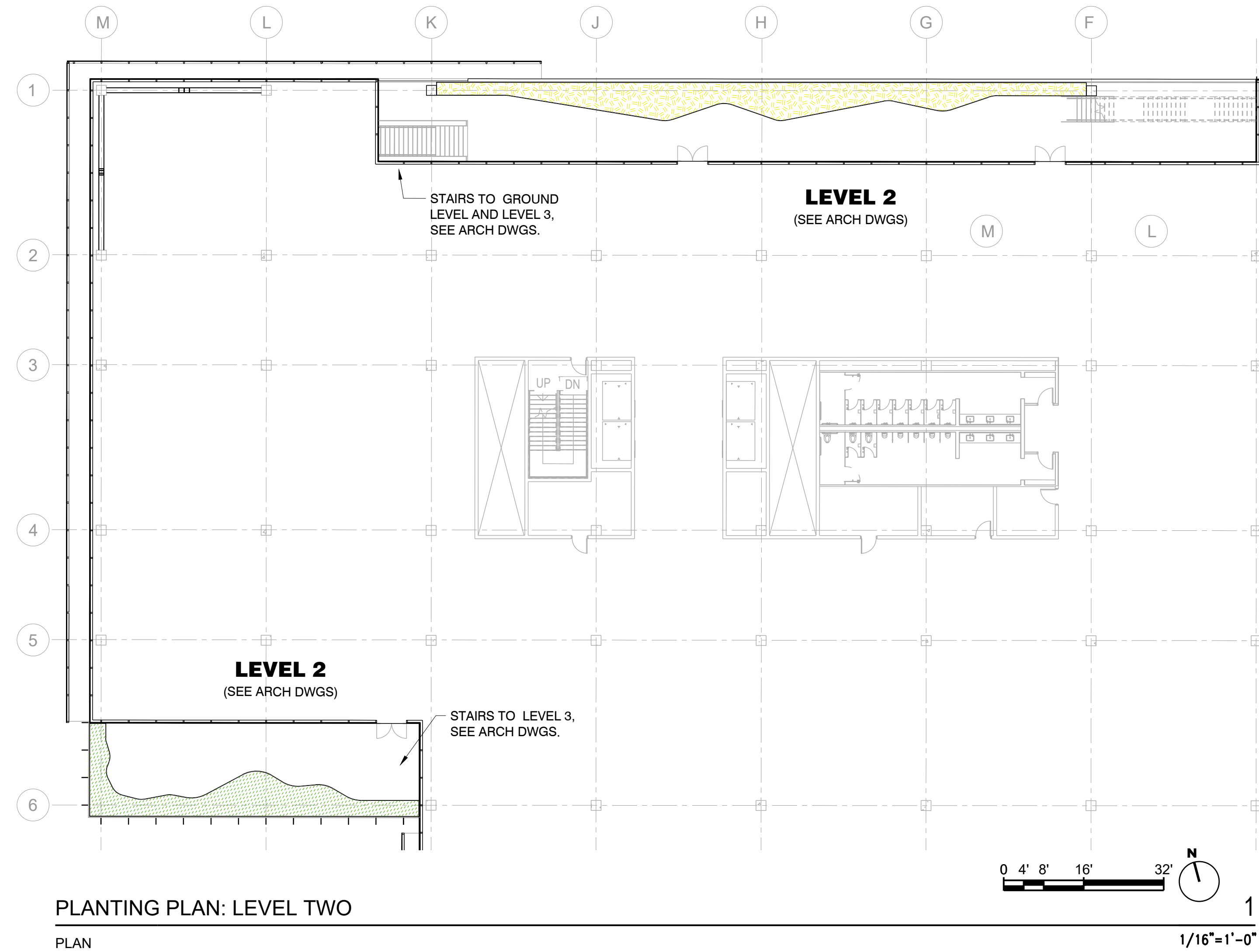
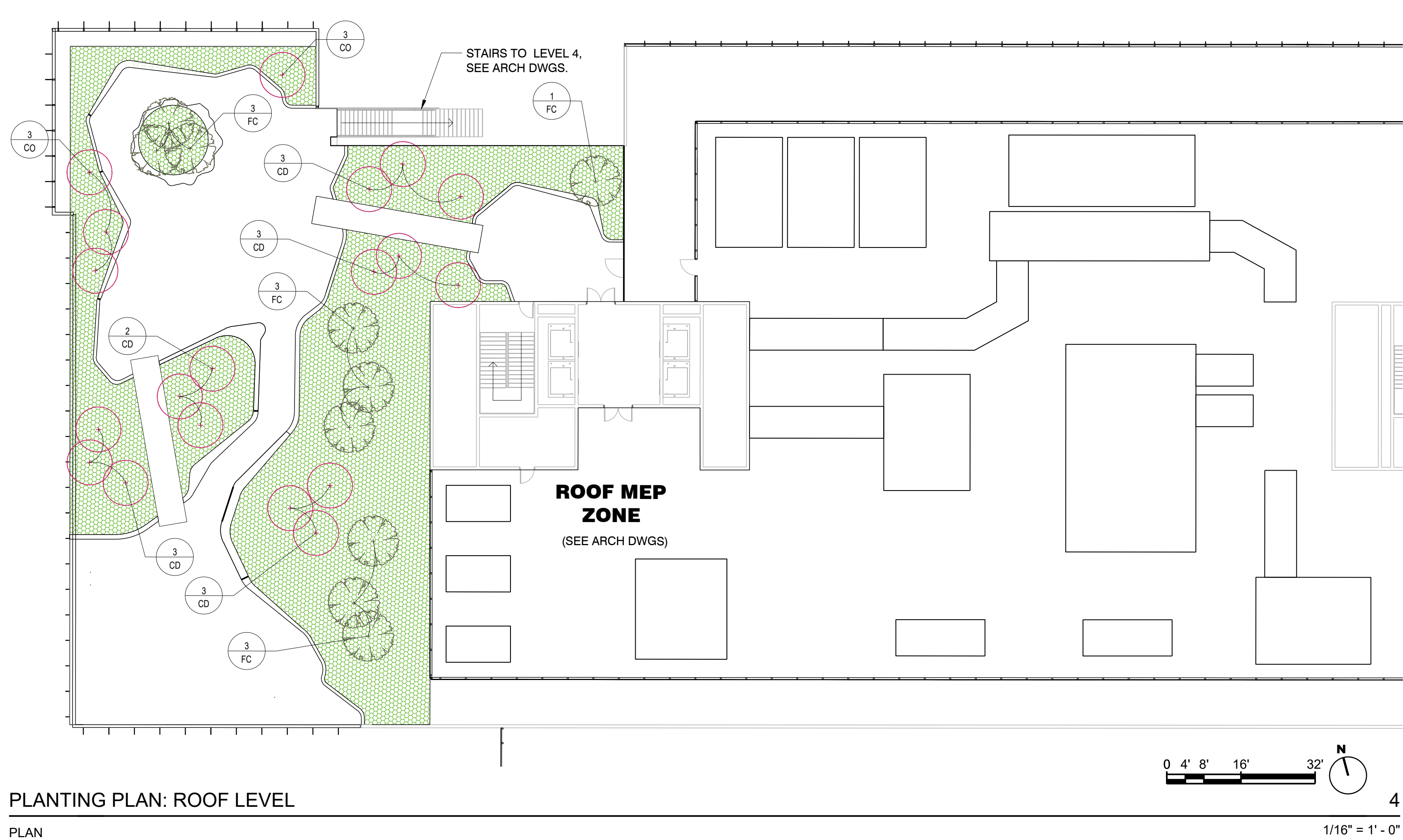
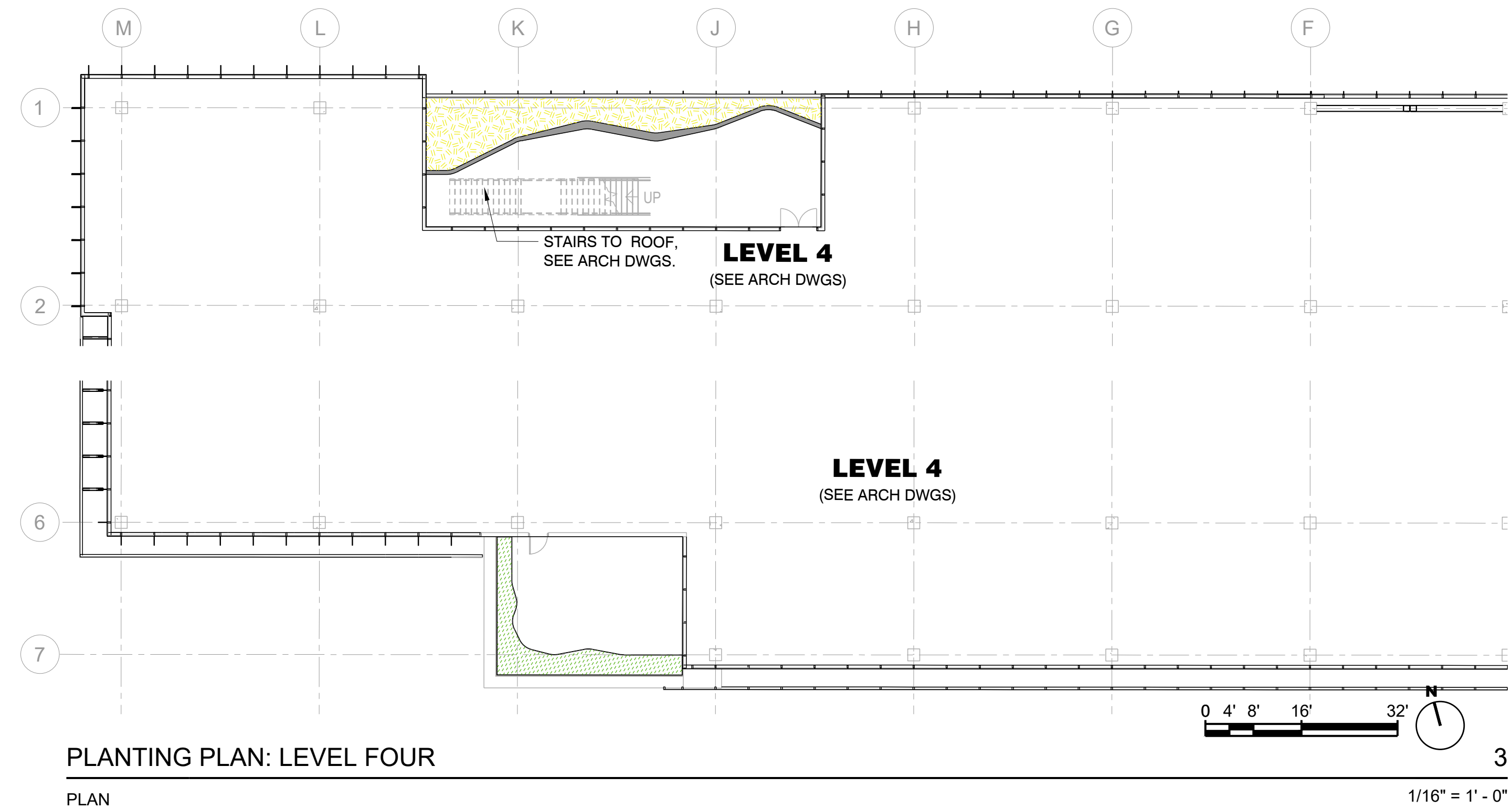
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PLANTING PLAN:
GROUND LEVEL

L4.00

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NORTH TERRACE PLANTINGS - LEVELS 2, 3, & 4 - ON STRUCTURE							
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	WATER USAGE	NOTES
MC	Myrica californica	Pacific Wax Myrtle	--	5 or 15 Gal	7" O.C.	LOW / MEDIUM	NATIVE
HA	Halimium atriplicifolium	Rock Rose	--	5 or 15 Gal	5" O.C.	LOW	DROUGHT TOLERANT
PB	Perovskia 'Blue Jean Baby'	Russian Sage	--	5 or 15 Gal	40" O.C.	LOW	ATTRACTS POLLINATORS
FR	Festuca rubra	Red Fescue	--	1 or 5 Gal	24" O.C.	LOW	NATIVE
CA	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	--	1 or 5 Gal	24" O.C.	LOW	BIRD FRIENDLY
PA	Deschampsia	Heavy Metal Blue Switch Grass	--	1 or 5 Gal	30" O.C.	LOW / MEDIUM	NATIVE
CB	Ceanothus 'Blue Jeans'	Blue Jean Ceanothus	--	5 or 15 Gal	40" O.C.	LOW	NATIVE

- NOTES:**
- For Building Details, See Arch Dwgs.
 - For Street Improvement Details and Site Grading, See Civil Dwgs.
 - Compost to be incorporated at a rate of 4 cubic yards per 1,000 sf into the top 6 inches of soil or compost per horticultural soil report.
 - Min. 3" of organic mulch on exposed soils.

SOUTH TERRACE PLANTINGS - LEVELS 2, 3, & 4 - ON STRUCTURE							
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	WATER USAGE	NOTES
MC	Myrica californica	Pacific Wax Myrtle	--	5 or 15 Gal	7" O.C.	LOW / MEDIUM	NATIVE
HA	Halimium atriplicifolium	Rock Rose	--	5 or 15 Gal	5" O.C.	LOW	ATTRACTS POLLINATORS
PB	Perovskia 'Blue Jean Baby'	Russian Sage	--	5 or 15 Gal	40" O.C.	LOW	ATTRACTS POLLINATORS
FR	Festuca rubra	Red Fescue	--	1 or 5 Gal	24" O.C.	LOW	NATIVE
CA	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	--	1 or 5 Gal	24" O.C.	LOW	BIRD FRIENDLY
PA	Deschampsia	Heavy Metal Blue Switch Grass	--	1 or 5 Gal	30" O.C.	LOW / MEDIUM	NATIVE
AM	Achillea millefolium	Common Yarrow	--	1 or 5 Gal	30" O.C.	LOW	ATTRACTS POLLINATORS
LL	Leucadendron lauroleum	Cone Bush	--	5 or 15 Gal	5" O.C.	LOW	DROUGHT TOLERANT

ROOF LEVEL TREE PLANTING						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	WATER USAGE
CD	Chilopsis linearis 'Hope'	Hope White Desert Willow	24" Box	30" O.C.	As Shown	LOW
FC	Fremontodendron 'California Glory'	Flannel Bush	24" Box	15" O.C.	As Shown	LOW

ROOF DECK PLANTINGS - ON STRUCTURE						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	WATER USAGE
FR	Festuca rubra	Red Fescue	--	1 or 5 Gal	24" O.C.	LOW
CA	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	--	1 or 5 Gal	24" O.C.	LOW
PA	Deschampsia	Heavy Metal Blue Switch Grass	--	1 or 5 Gal	30" O.C.	LOW / MEDIUM
VB	Verbena bonariensis	Tall Verbena	--	5 or 15 Gal	30" O.C.	VERY LOW
PB	Perovskia 'Blue Jean Baby'	Russian Sage	--	5 or 15 Gal	40" O.C.	LOW
LSA	Lanadula sp.	Lavender	--	5 or 15 Gal	30" O.C.	LOW
WF	Westringia fruticosa 'Wynabbie Gem'	Coastal Rosemary	--	5 or 15 Gal	40" O.C.	LOW
LL	Leucadendron lauroleum	Texas Ranger	--	5 or 15 Gal	30" O.C.	LOW
CH	Cistus x hybridus	White Rockrose	--	5 or 15 Gal	30" O.C.	LOW
LS	Leucadendron lauroleum	Cone Bush	--	5 or 15 Gal	40" O.C.	LOW
SC	Santolina chamaecyparissus	Lavender Cotton	--	5 or 15 Gal	30" O.C.	LOW

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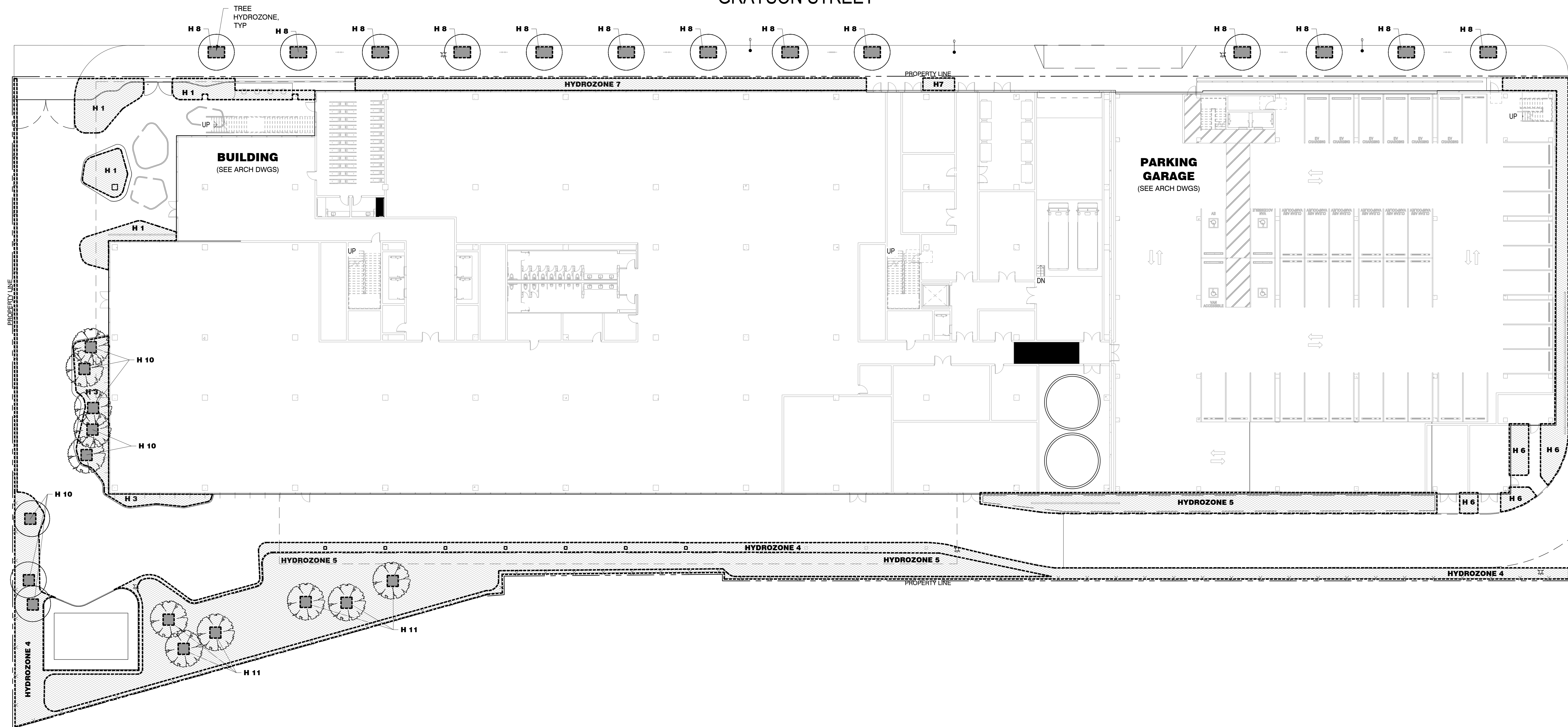
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date: 2021.12.07
drawn by: AS

**PLANTING PLAN:
TERRACE AND
ROOF LEVEL**

L4.01

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HYDROZONE PLAN: GROUND LEVEL

PLAN

SECTION A: HYDROZONE INFORMATION TABLE

NOTES:

1. For Building Details, See Arch Dwg.
2. For Street Improvement Details, See Civil Dwg.
3. For Landscape Materials, See L1.0 Landscape Concept Plan
4. For Planting Information, See L4.0 Landscape Planting Plan

ESTIMATE HYDROZONES AND ETWU							
	Hydrozone	Select System From the Dropdown List click on cell below	Plant Water Use Type (s) (low, medium, high)	Plant Factor (PF)	Hydrozone Area (HA) (ft2) Without SLA	Irrigation Efficiency (IE)	(PF x HA (ft2))/IE
BUILDING ENTRY SHADE GARDEN	Zone 1	Drip	Medium	0.40	1,107	0.81	547
GROUND LEVEL PLANTING	Zone 3	Drip	Low	0.40	624	0.81	308
GROUND LEVEL PLANTING	Zone 4	Drip	Medium	0.40	3,407	0.81	1,682
STORMWATER GARDEN	Zone 5	Drip	Low	0.20	6,292	0.81	1,554
GROUND LEVEL PLANTING	Zone 6	Drip	Medium	0.40	1,105	0.81	546
GROUND LEVEL PLANTING	Zone 7	Drip	Medium	0.40	845	0.81	417
STREET TREES	Zone 8	Drip	Low	0.30	288	0.81	107
GROUND LEVEL TREES	Zone 10	Drip	Low	0.30	80	0.81	30
STORMWATER GARDEN TREES	Zone 11	Drip	Low	0.20	160	0.81	40
LEVEL 2 NORTH TERRACE	Zone 12	Drip	Medium	0.40	588	0.81	290
LEVEL 2 SOUTH TERRACE	Zone 13	Drip	Low	0.30	375	0.81	139
LEVEL 3 NORTH TERRACE	Zone 14	Drip	Medium	0.40	260	0.81	128
LEVEL 3 SOUTH TERRACE	Zone 15	Drip	Low	0.30	169	0.81	63
LEVEL 4 NORTH TERRACE	Zone 16	Drip	Medium	0.40	413	0.81	204
LEVEL 4 SOUTH TERRACE	Zone 17	Drip	Low	0.30	186	0.81	69
ROOF LEVEL PLANTING	Zone 18	Drip	Low	0.30	5,321	0.81	1,971
ROOF LEVEL TREE PLANTING	Zone 19	Drip	Low	0.30	435	0.81	161
							8,255
			SLA			0	0
				Sum	21.655		
253,144		ETWU =		213,958 Gallons	ETWU complies with MAWA		
				28,602 Cubic Feet			
				286.02 HCF			
				0.66 Acre-feet			
				0.21 Millions of Gallons			

SECTION B: WATER BUDGET CALCULATIONS

Maximum Applied Water Allowance Calculations for New and Rehabilitated Non-Residential Landscapes		
Click on the blue cell on right to Pick City Name ETo of City from Appendix A	Berkeley	Name of City
	41.80	ETo (inches/year)
	0	Overhead Landscape Area (ft2)
	21703	Drip Landscape Area (ft2)
	0	SLA (ft2)
	Total Landscape Area	21,655
	Results:	
(ETo) x (0.62) x [(0.45 x LA) + (1.0 - 0.45) X SLA])	253,144	Gallons
	33,841	Cubic Feet
	338	HCF
	1	Acre-feet
	0	Millions of Gallons

**PROJECT MEETS WATER EFFICIENCY REQUIREMENTS:
ETWU IS LESS THAN MAWA**

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$$1/16'' = 1' - 0''$$

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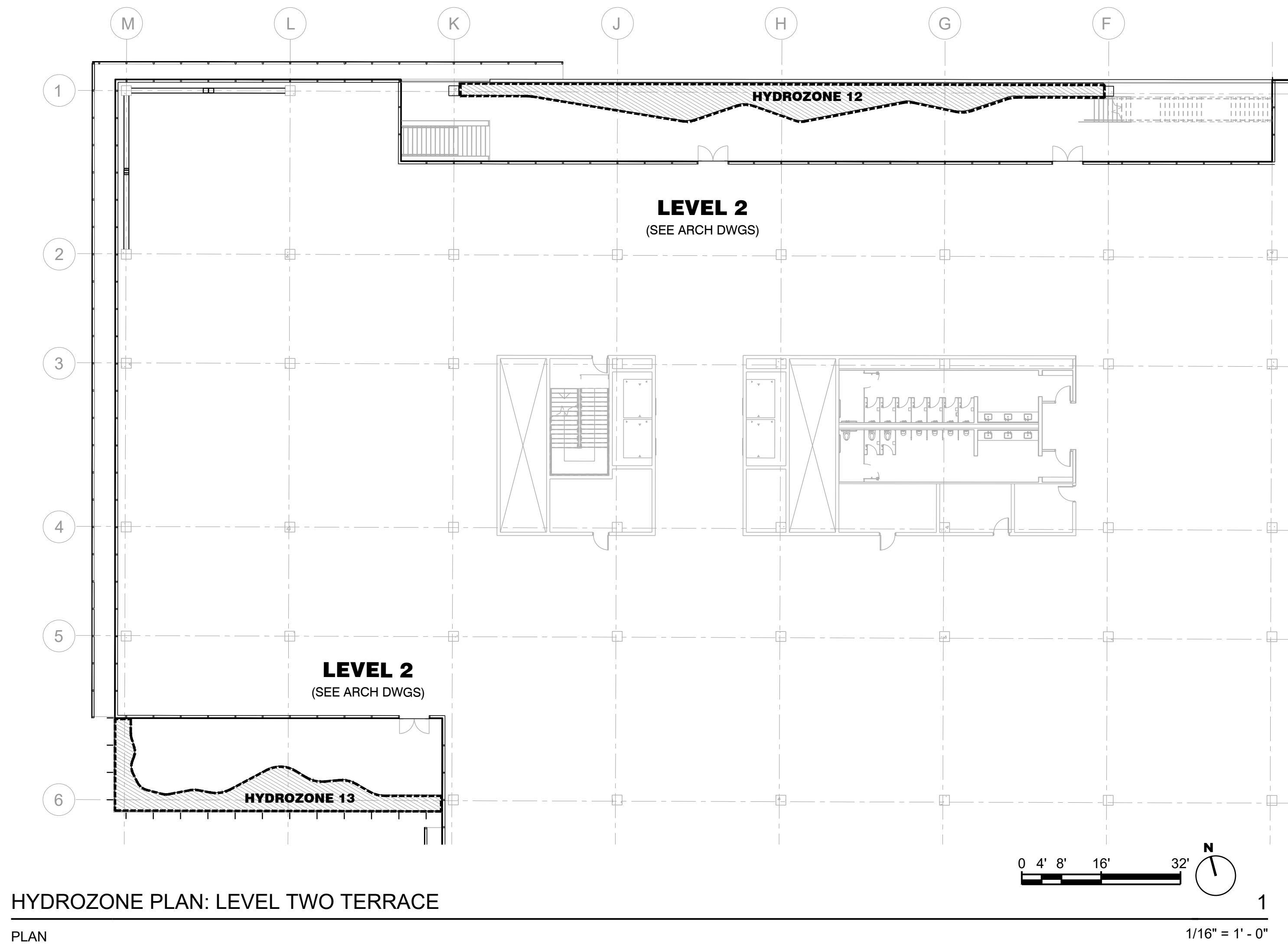
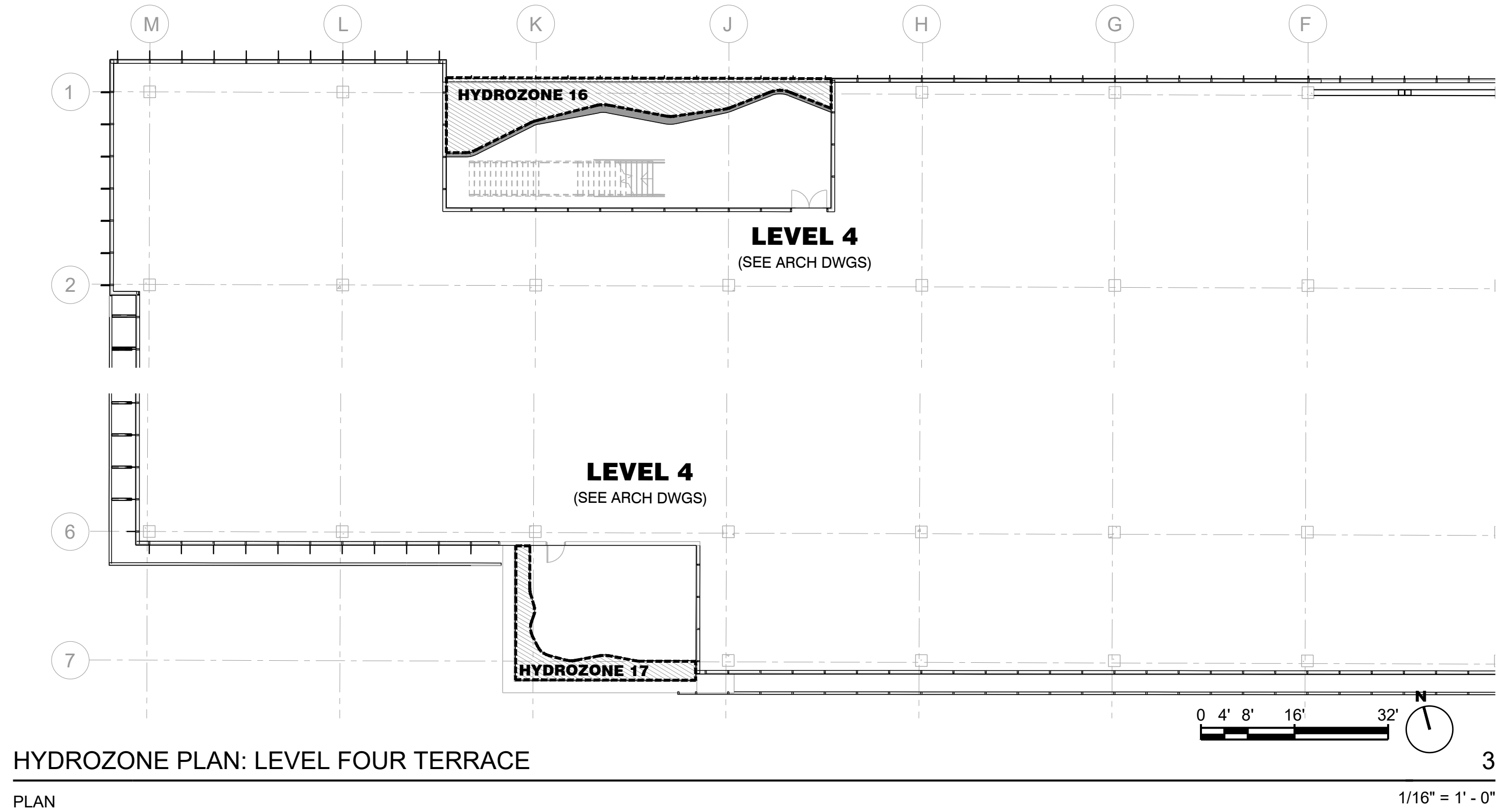
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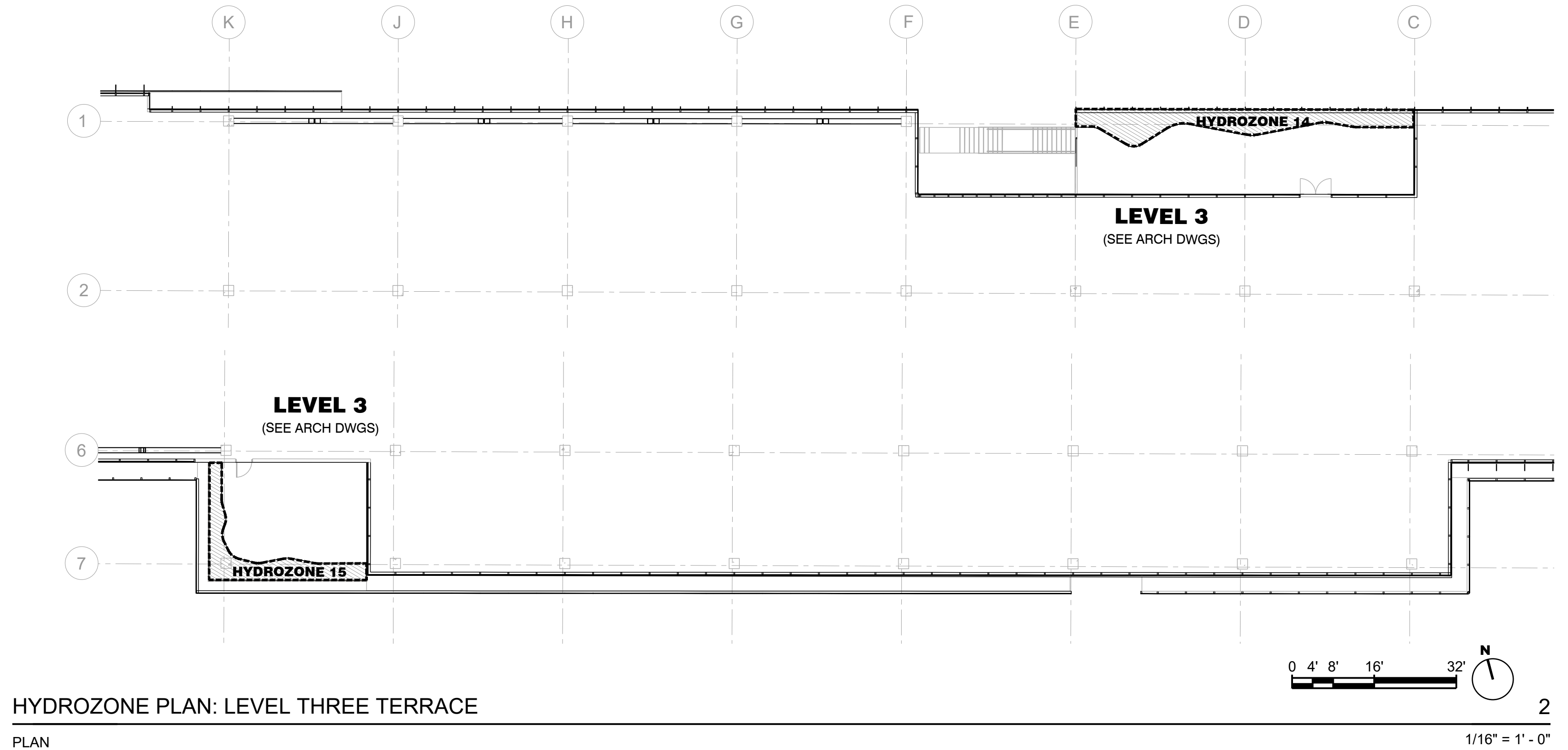
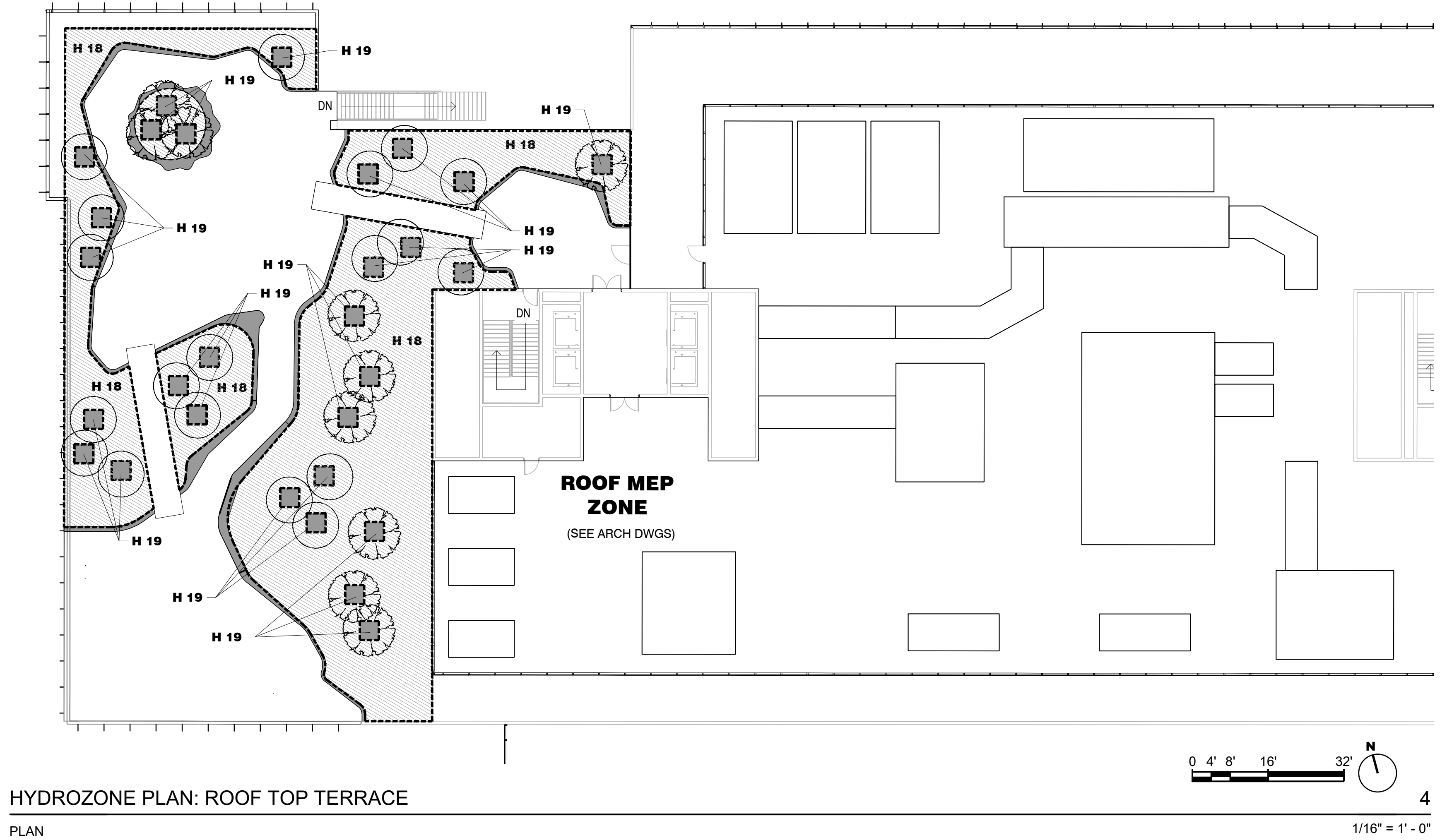
HYDROZONE PLAN:
GROUND LEVEL

L5.00

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- NOTES:**
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 2. For Street Improvement Details, See Civil Dwg.
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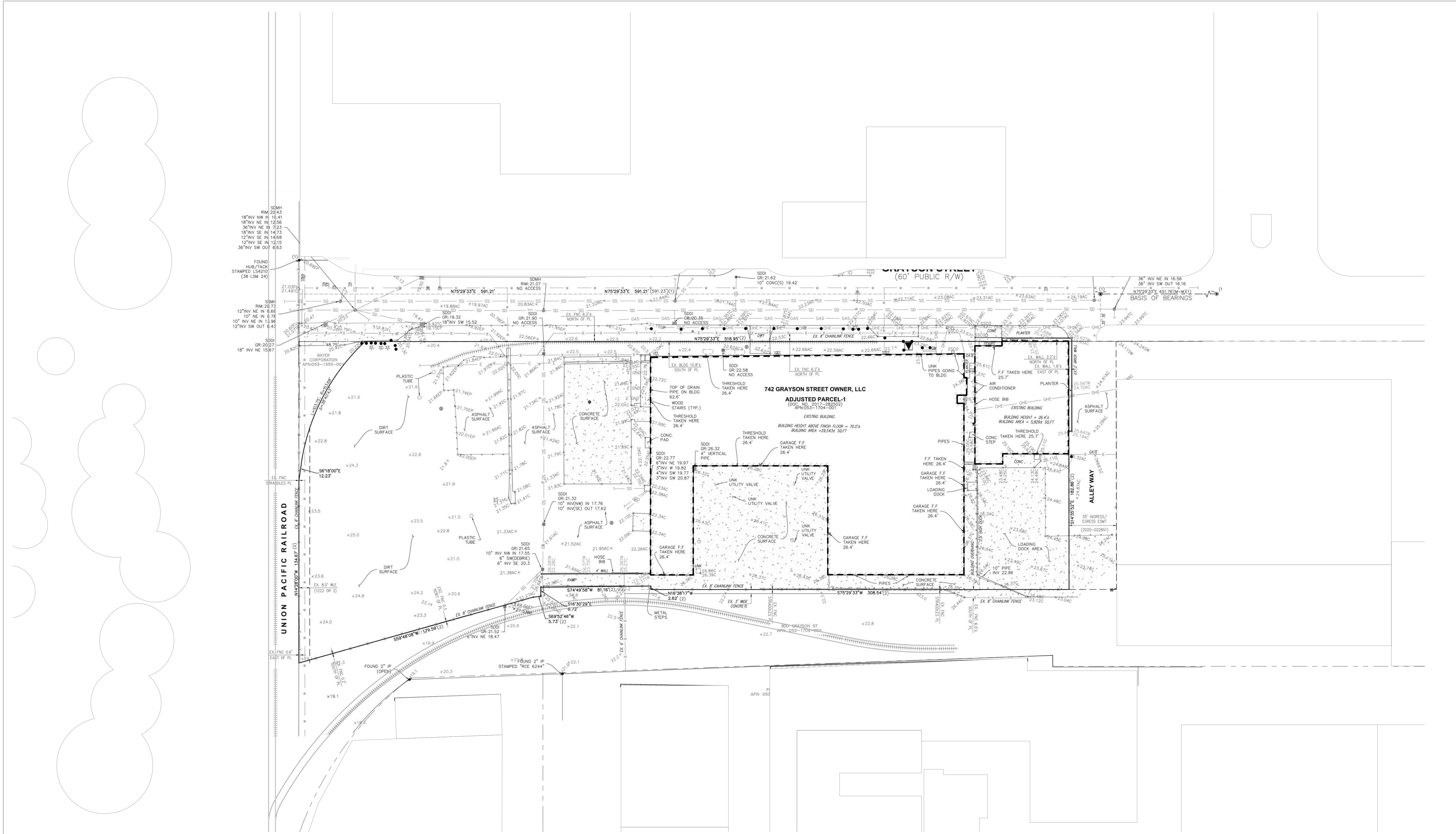
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HYDROZONE PLAN:
TERRACE AND
ROOF LEVEL

L5.01

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1 DEMO - SITE PLAN

1" = 30'-0"

- DEMO SITE PLAN NOTES:**
- SEE C1.01 FOR SITE SURVEY AND LEGEND.
- PROPERTY LINE
- DEMO BUILDING OUTLINE

DEMO SITE PLAN LEGEND

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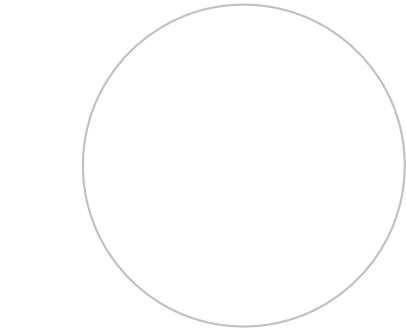
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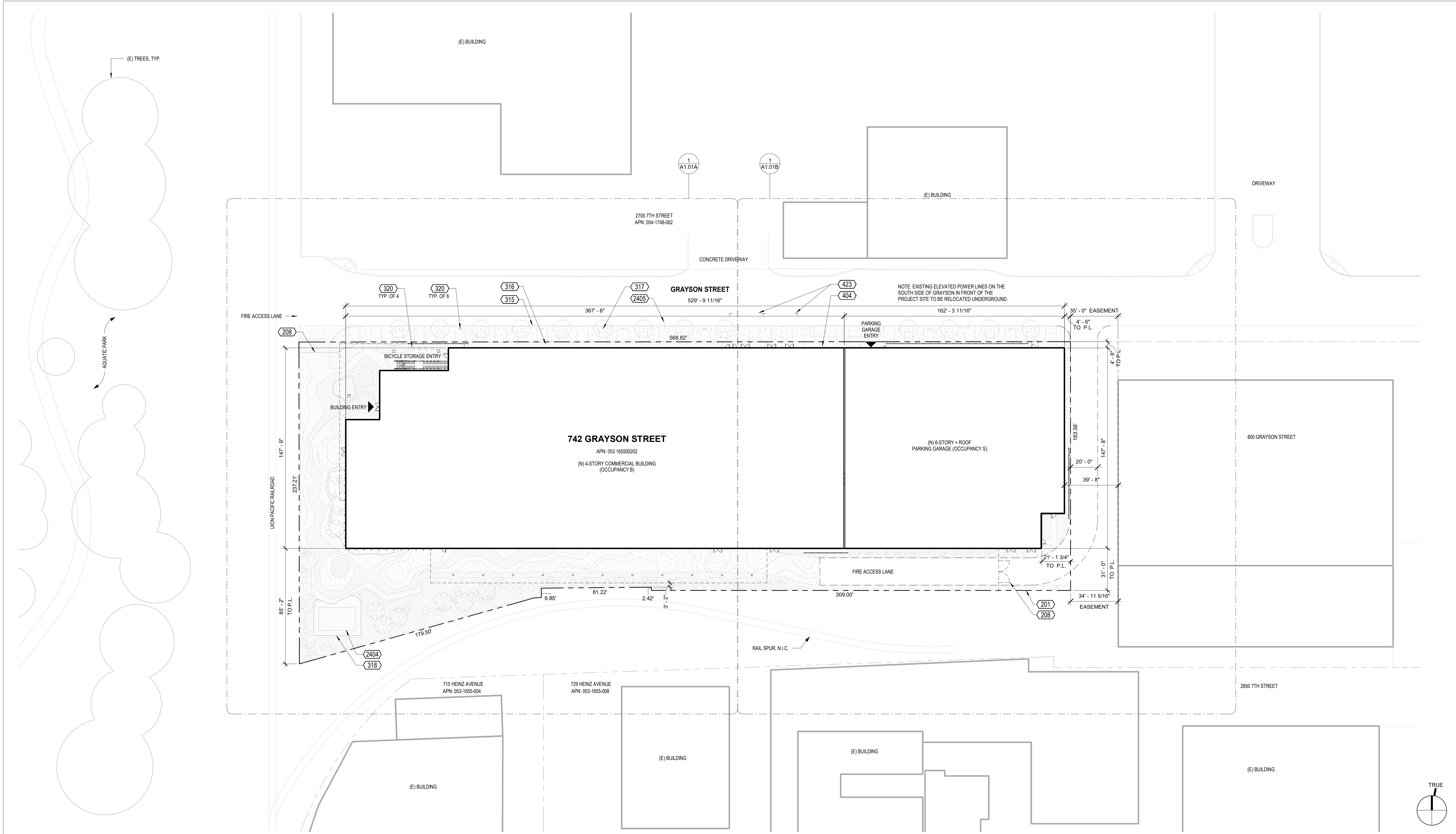
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DEMO - SITE PLAN

D1.01

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1 SITE PLAN

1" = 30'-0"

KEYNOTES

201	PROPERTY LINE
208	FENCE & GATE
315	CURB & GUTTER, S.C.D.
316	PLANTED AREA, S.L.D.
317	STREET TREE & GRATE, S.L.D.
318	GENERATOR ENCLOSURE, S.L.D.
320	LOADING DOCK
404	ON-STREET LOADING SPACE (25 FT. BOX TRUCK)
423	GENERATOR, S.E.D.
2404	STREET LIGHT & POLE, S.E.D.
2405	

KEYNOTE LEGEND

SITE PLAN NOTES:

- SEE RCP & ELECTRICAL DRAWINGS FOR SITE LIGHTING
- ALL ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM RUNNING SLOPE OF 1:20 AND A MAXIMUM CROSS-SLOPE OF 1:48. DIMENSION WIDTH OF ACCESSIBLE ROUTE. WALKS AND SIDEWALKS SHALL BE AT LEAST 48-INCHES WIDE PER CBC 11B-403H. S.C.D. FOR ALL SLOPES.
- SEE C1.05 FOR BOUNDARY & TOPOGRAPHIC SURVEY OF EXISTING CONDITIONS.
- SEE D1.01 FOR EXISTING CONDITIONS TO BE REMOVED.

--- PROPERTY LINE
--- BUILDING OVERHANG ABOVE
--- BLDG OUTLINE

SITE PLAN LEGEND

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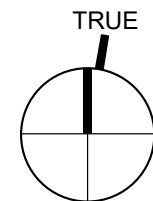
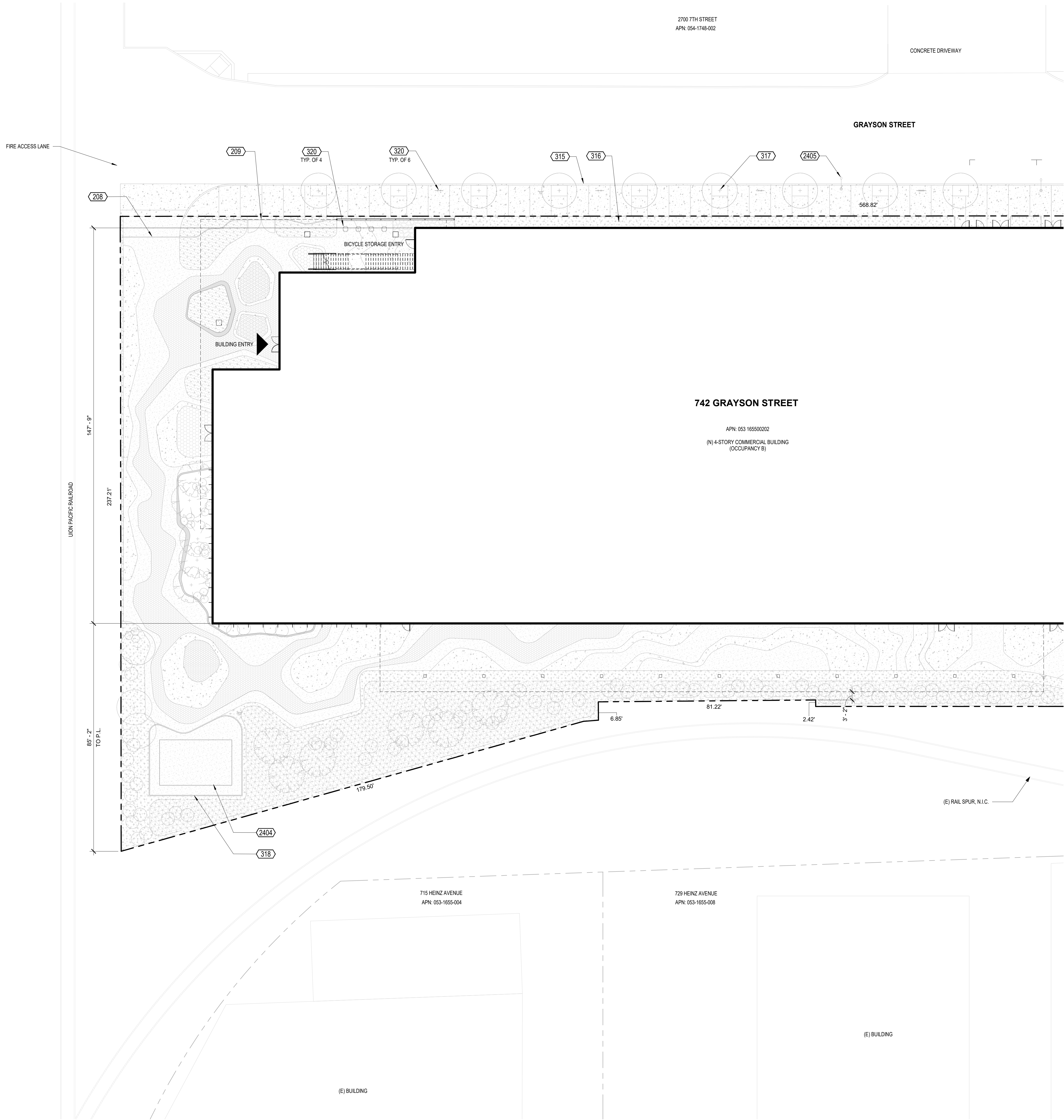
700 Grayson Street
700 grayson street
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project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

SITE PLAN

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File: BIM 300/742 Grayson/718-221_742 Grayson_Central.rvt

1 SITE PLAN - PARTIAL - SEGMENT A



1/16" = 1'-0"

SITE PLAN LEGEND

KEYNOTES

208	FENCE & GATE
209	CURB & GUTTER, S.C.D.
315	PLANTED AREA, S.L.D.
316	STREET TREE & GRATE, S.L.D.
317	GENERATOR ENCLOSURE, S.L.D.
318	GENERATOR, S.E.D.
320	STREET LIGHT & POLE, S.E.D.
2404	
2405	

KEYNOTE LEGEND

SITE PLAN NOTES:

- SEE RCP & ELECTRICAL DRAWINGS FOR SITE LIGHTING
- ALL ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM RUNNING SLOPE OF 1:20 AND A MAXIMUM CROSS-SLOPE OF 1:48. DIMENSION WIDTH OF ACCESSIBLE ROUTE. WALKS AND SIDEWALKS SHALL BE AT LEAST 48-INCHES WIDE PER CBC 11B-403H, S.C.D. FOR ALL SLOPES.
- SEE C1.05 FOR BOUNDARY & TOPOGRAPHIC SURVEY OF EXISTING CONDITIONS.
- SEE D1.01 FOR EXISTING CONDITIONS TO BE REMOVED.

---	PROPERTY LINE
---	BUILDING OVERHANG ABOVE
---	BLDG OUTLINE

CLIENT
REDCO development LLC
four embarcadero center, suite 1400
san francisco, ca 94111
415.450.1466
www.redcodevelopment.com

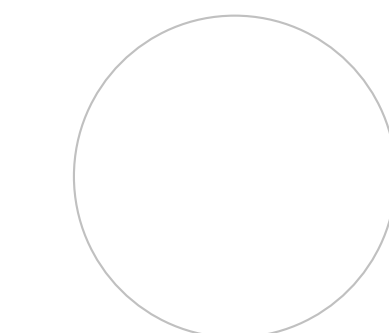
ARCHITECT
brick.
405 14th street, suite 500
oakland, ca 94612
910.516.0167
www.brick-inc.com

CONSULTANT

△ date revision description

4	2022.05.12	ZONING APPLICATION RESUBMITTAL
3	2022.04.01	ZONING APPLICATION RESUBMITTAL
2	2021.12.08	ZONING APPLICATION RESUBMITTAL
1	2021.08.19	ZONING APPLICATION

date issue description



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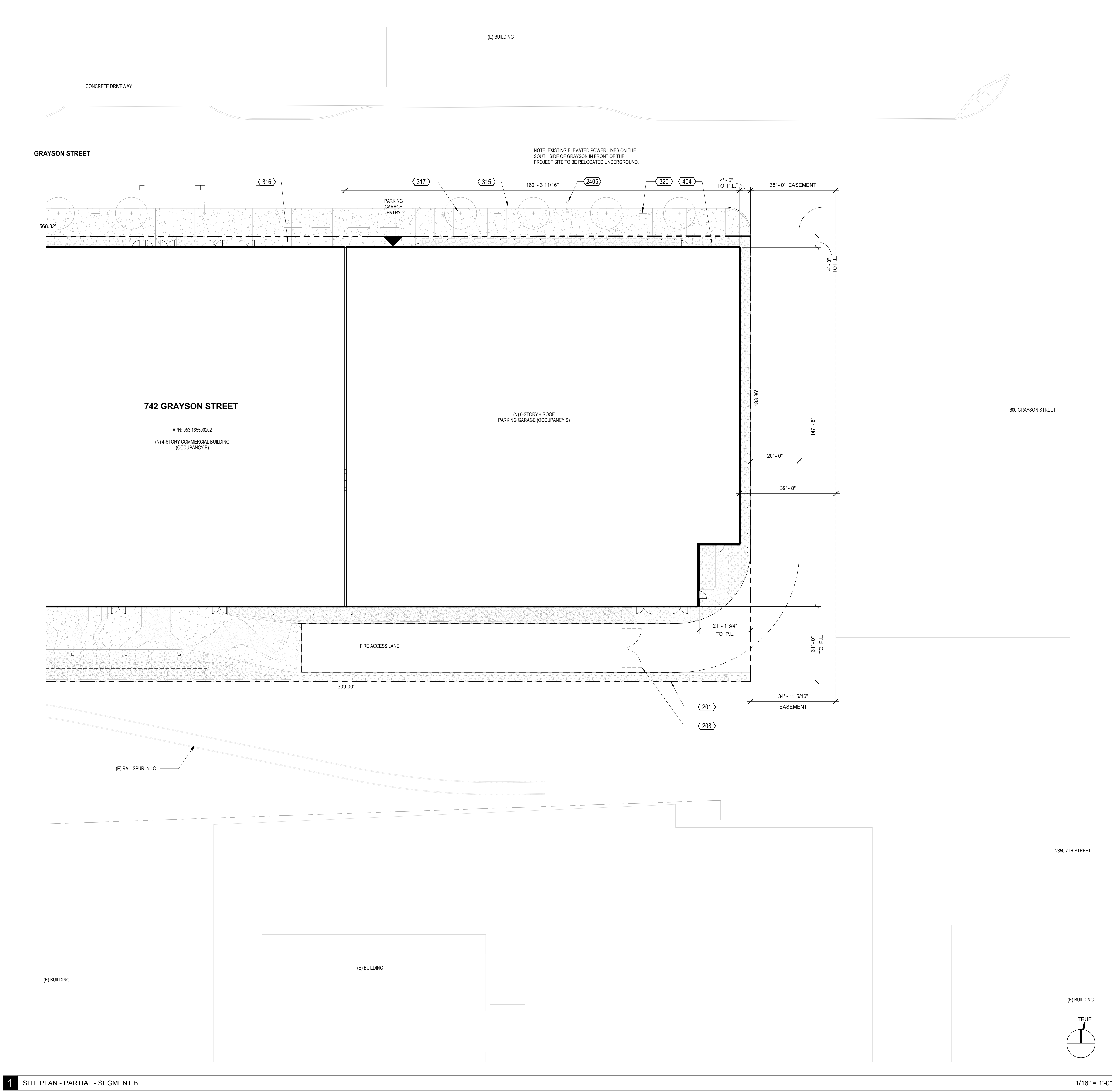
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drawn by: ROBERT ZIRKLE

**SITE PLAN -
ENLARGED -
SEGMENT A**

A1.01A

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File: S:\01\742\Grayson\718-221_742 Grayson_Central.rvt



1 SITE PLAN - PARTIAL - SEGMENT B

- KEYNOTES
- 201 PROPERTY LINE
 - 208 FENCE & GATE
 - 316 CURB & GUTTER, S.C.D.
 - 316 PLANTED AREA, S.L.D.
 - 317 STREET TREE & GRATE, S.L.D.
 - 320
 - 404 LOADING DOCK
 - 2405 STREET LIGHT & POLE, S.E.D.

KEYNOTE LEGEND

- SITE PLAN NOTES:**
- SEE RCP & ELECTRICAL DRAWINGS FOR SITE LIGHTING
 - ALL ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM RUNNING SLOPE OF 1:20 AND A MAXIMUM CROSS-SLOPE OF 1:48. DIMENSION WIDTH OF ACCESSIBLE ROUTE. WALKS AND SIDEWALKS SHALL BE AT LEAST 48-INCHES WIDE PER CBC 11B-403H, S.C.D. FOR ALL SLOPES.
 - SEE C1.05 FOR BOUNDARY & TOPOGRAPHIC SURVEY OF EXISTING CONDITIONS.
 - SEE D1.01 FOR EXISTING CONDITIONS TO BE REMOVED.

- -- PROPERTY LINE
--- -- BUILDING OVERHANG ABOVE
--- BLDG OUTLINE

SITE PLAN LEGEND

CLIENT
REDCO development LLC
four embarcadero center, suite 1400
san francisco, ca 94111
415.450.1466
www.recodevelopment.com

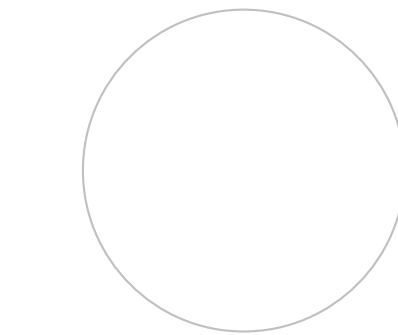
ARCHITECT
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oakland, ca 94612
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1	2021.08.19	ZONING APPLICATION

#	date	issue description
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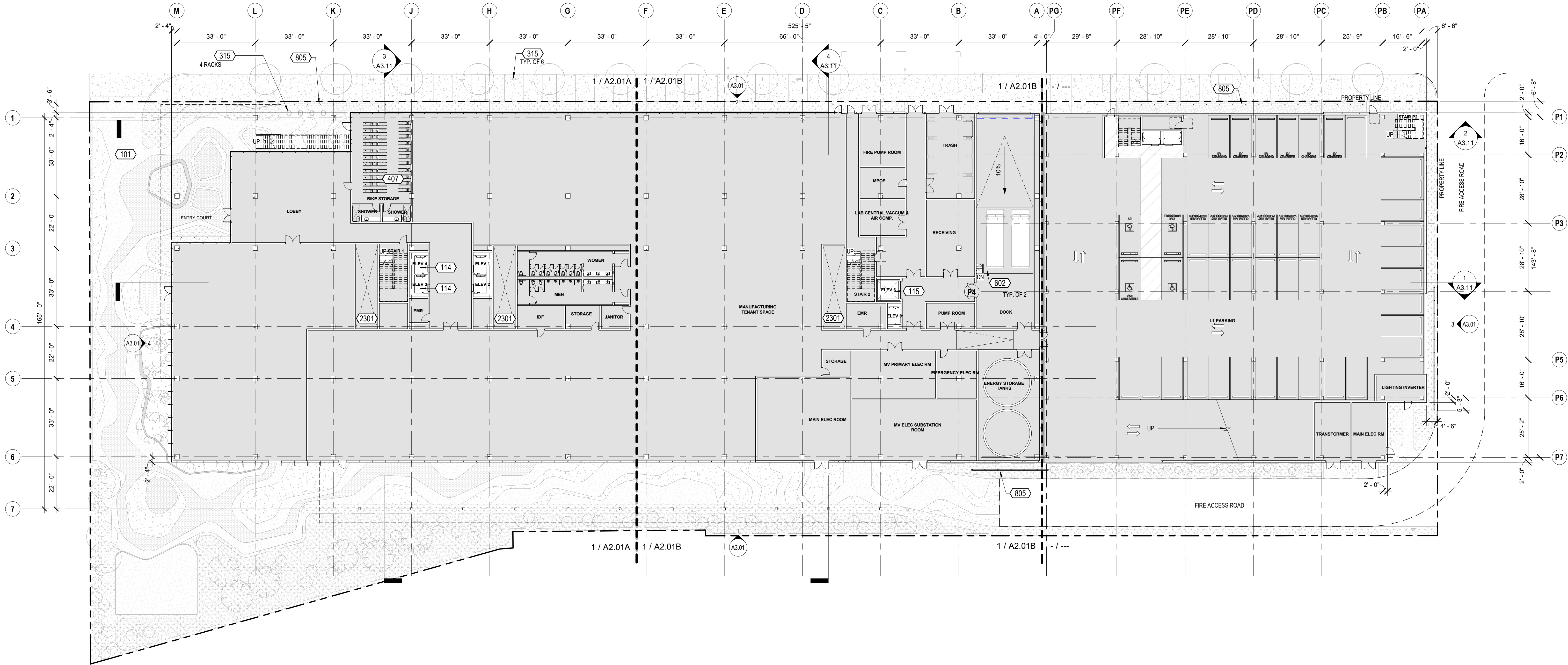
project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

**SITE PLAN -
ENLARGED -
SEGMENT B**

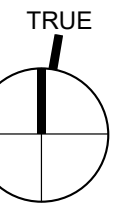
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File: BIM 3001742 Grayson 18-221 742 Grayson Central.rvt



1 LEVEL 1 - FLOOR PLAN - OVERALL



1" = 20'-0"

KEYNOTES

101	SEE LANDSCAPE DRAWINGS, S.L.D.
114	PASSENGER ELEVATOR
115	FREIGHT ELEVATOR
315	CURB & GUTTER, S.C.D.
407	LONG TERM BIKE PARKING
602	PTD EXPANDED METAL MESH PANEL
805	MECHANICAL SHAFT ABOVE, S.M.D.
2301	

KEYNOTE LEGEND

	SURFACE MOUNTED FIRE EXTINGUISHING CABINET, PORTABLE FIRE EXTINGUISHER 2-A RATED, O.F.C.I.
	FLOOR DRAIN, S.P.D.
	FLOOR SINK, S.P.D.
	FLOOR CLEANOUT, S.P.D.
	ROOF DRAIN
	PARTITION AS SCHEDULED, HEIGHT PER PARTITION TYPE, U.O.N
	ATYPICAL-HEIGHT PARTITION, HEIGHT AS NOTED.
	PROPERTY LINE
	DOOR TAG, SEE A10.11/A10.12
	CURTAIN WALL / STOREFRONT TAG, SEE A10.02/A10.03
	WINDOW TAG, SEE A10.01

FLOOR PLAN LEGEND

- PROVIDE A CLEAR HORIZONTAL DIMENSION OF 1'-0" MINIMUM FROM STRIKE FACE OF DOOR JAMB TO THE NEAREST RETURNING PARTITION OR OBSTACLE AT THE PULL SIDE OF THE DOOR. LOCATE THE DOOR STOP TO ALLOW FOR A MINIMUM 90 DEGREE SWING.
- PROVIDE THE REQUIRED BACKING, BRACING AND BLOCKING FOR ATTACHMENT OF CASEWORK, EQUIPMENT AND OTHER WORK.
- CONTRACTOR SHALL COORDINATE KEYING REQUIREMENTS WITH BUILDING OWNER.
- ALL OPEN JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED AND WEATHER-STRIPPED TO LIMIT AIR LEAKAGE. PENETRATIONS AT RATED PARTITIONS SHALL BE FIRE-SAFE TO MAINTAIN RATING.
- CONCEALED WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED, TYP.
- VERIFY DIMENSIONS SHOWN WITH FIELD MEASUREMENTS. CHECK LEVELS AND LINES INDICATED PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR ADJUSTMENT OR CORRECTION. WORK SHALL PROCEED ONLY AFTER THE DISCREPANCY HAS BEEN RESOLVED.
- WHERE CONFLICTS OCCUR, CONTRACTOR SHALL COORDINATE THE LAYOUT AND EXACT LOCATION OF PARTITIONS, DOORS, TELEPHONE, ELECTRICAL & COMMUNICATIONS OUTLETS AND SWITCHES WITH THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
- DIMENSIONS ARE F.O.F. OR CENTERLINE OF STUD, U.O.N.
- SEE SHEET A8.41 FOR ALL TYPICAL ROOF DETAILS.

FLOOR PLAN NOTES

1/8" = 1'-0"

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2	2021.12.08	ZONING APPLICATION RESUBMITTAL
1	2021.08.19	ZONING APPLICATION

date issue description

700 Grayson Street
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berkeley, ca 94710

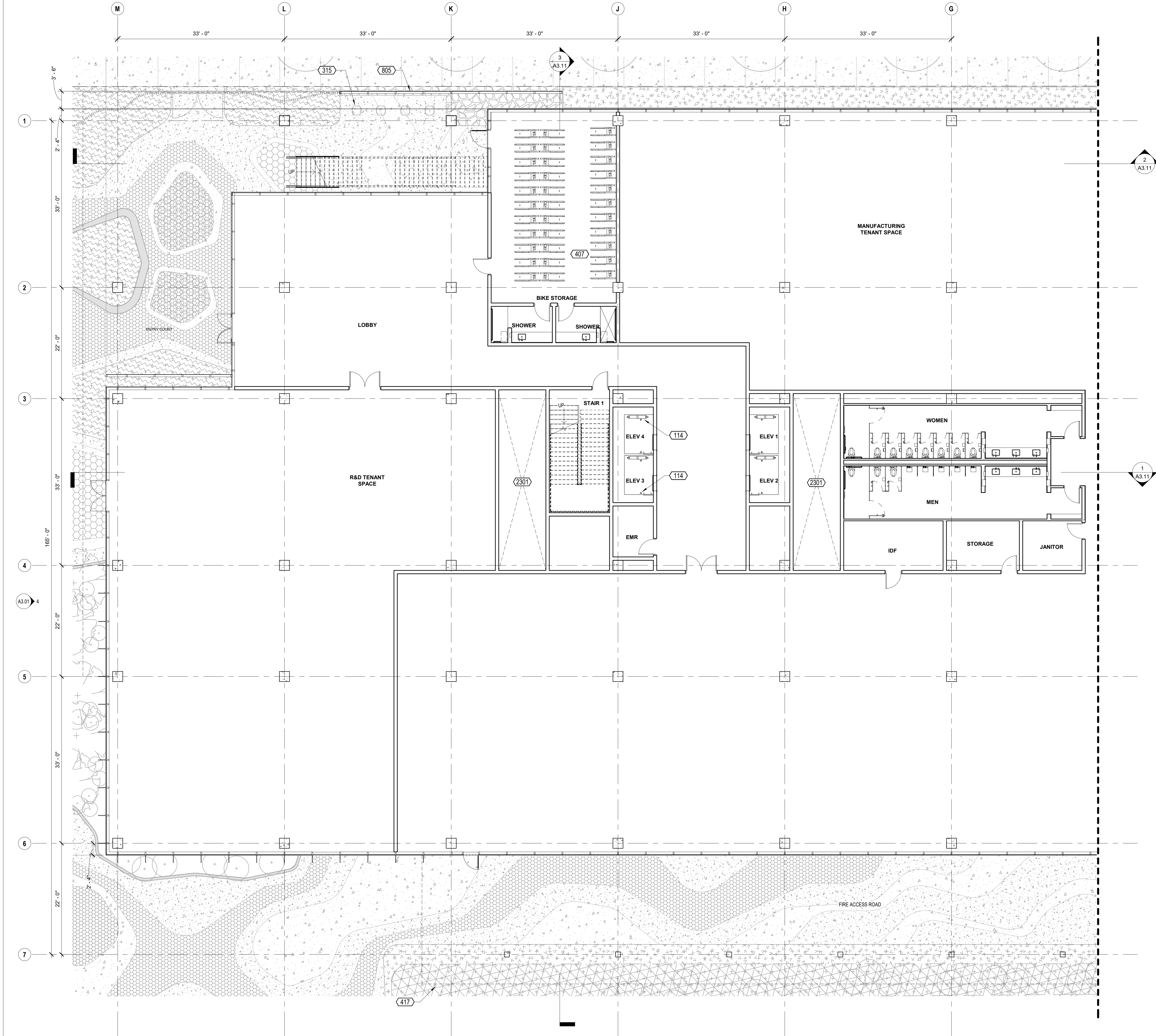
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date: 2021.12.08
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LEVEL 1 - OVERALL

A2.01

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File: BIM 3001742 Grayson 18-221 742 Grayson Central.rvt



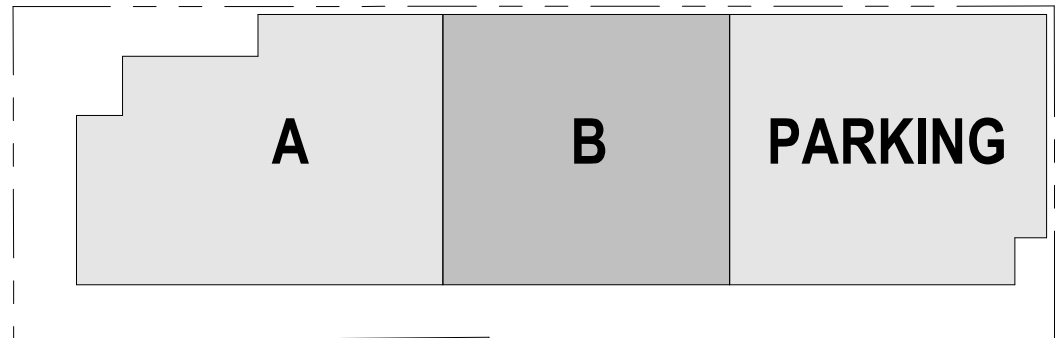
KEYNOTES	
114	PASSENGER ELEVATOR
315	CURB & GUTTER, S.C.D.
407	LONG TERM BIKE PARKING
417	BUILDING OUTLINE ABOVE
805	PTD EXPANDED METAL MESH PANEL
2301	MECHANICAL SHAFT ABOVE, S.M.D.

- KEYNOTE LEGEND**
- PROVIDE A CLEAR HORIZONTAL DIMENSION OF 1'-6" MINIMUM FROM STRIKE FACE OF DOOR JAMB TO THE NEAREST RETURNING PARTITION OR OBSTACLE AT THE PULL SIDE OF THE DOOR. LOCATE THE DOOR STOP TO ALLOW FOR A MINIMUM 90 DEGREE SWING.
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 - VERIFY DIMENSIONS SHOWN WITH FIELD MEASUREMENTS. CHECK LEVELS AND LINES INDICATED PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR ADJUSTMENT OR CORRECTION. WORK SHALL PROCEED ONLY AFTER THE DISCREPANCY HAS BEEN RESOLVED.
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 - DIMENSIONS ARE F.O.F. OR CENTERLINE OF STUD, U.O.N.
 - SEE SHEET A8.41 FOR ALL TYPICAL ROOF DETAILS.

FLOOR PLAN NOTES 1/8" = 1'-0"

	SURFACE MOUNTED FIRE EXTINGUISHING CABINET, PORTABLE FIRE EXTINGUISHER 2-A RATED, 0-F.C.I.
	FLOOR DRAIN, S.P.D.
	FLOOR SINK, S.P.D.
	FLOOR CLEANOUT, S.P.D.
	ROOF DRAIN
	PARTITION AS SCHEDULED, HEIGHT PER PARTITION TYPE, U.O.N.
	ATYPICAL-HEIGHT PARTITION, HEIGHT AS NOTED.
	PROPERTY LINE
	DOOR TAG, SEE A10.11/A10.12
	CURTAIN WALL / STOREFRONT TAG, SEE A10.02/A10.03
	WINDOW TAG, SEE A10.01

FLOOR PLAN LEGEND



KEY PLAN 1_A

1/8" = 1'-0"

1" = 100'-0"

CLIENT
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oakland, ca 94612
910.516.0167
www.brick-inc.com

CONSULTANT

#	date	revision	description
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4	2022.05.12	ZONING APPLICATION RESUBMITTAL
3	2022.04.01	ZONING APPLICATION RESUBMITTAL
2	2021.12.08	ZONING APPLICATION RESUBMITTAL
1	2021.08.19	ZONING APPLICATION

#	date	issue	description
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700 Grayson Street
700 grayson street
berkeley, ca 94710

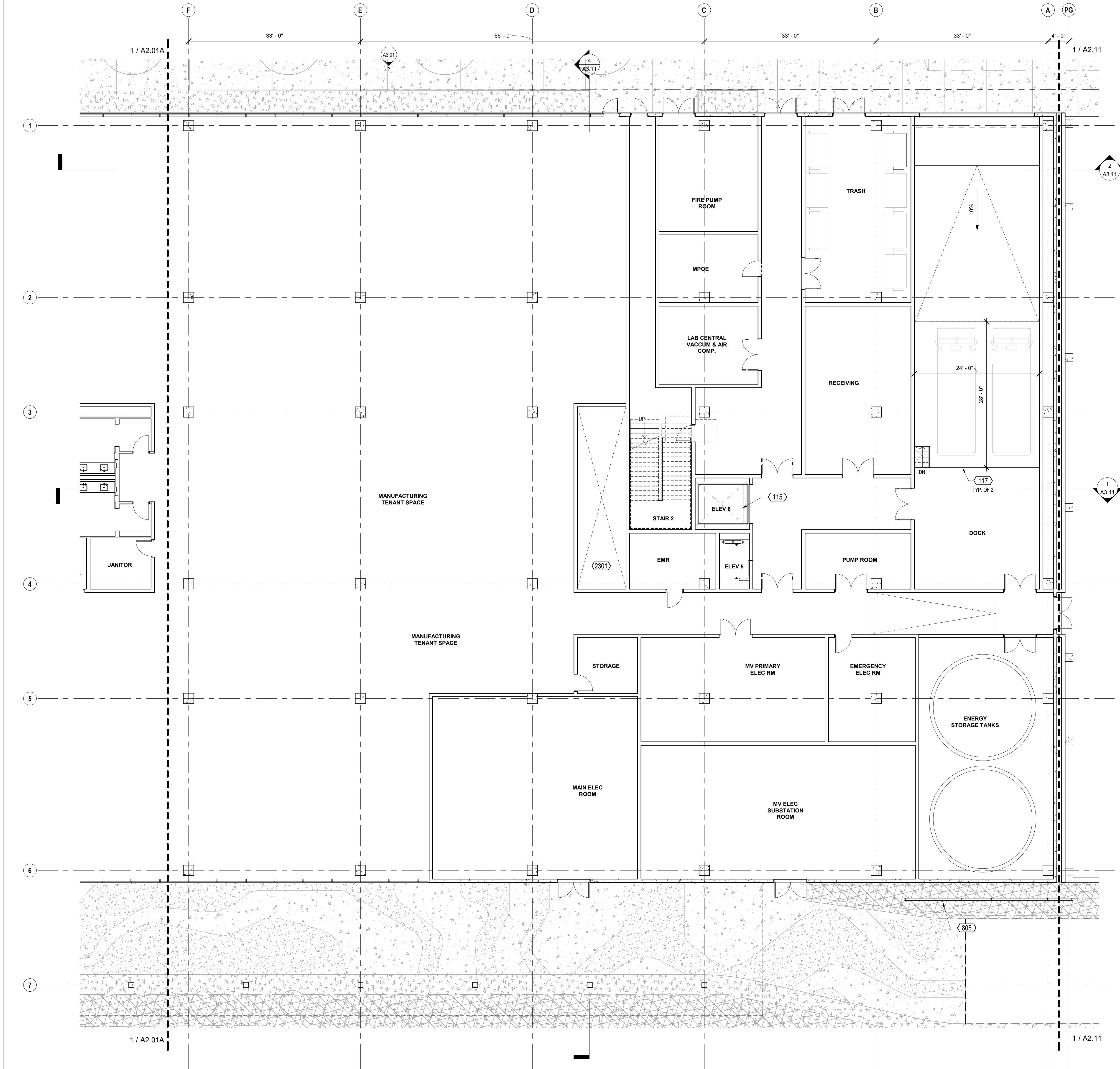
project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

**LEVEL 1 - MAIN
BUILDING A**

A2.01A

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File: B101-3001742-Grayson-18-221-742-Grayson-Central.rvt



KEYNOTES	
115	FREIGHT ELEVATOR
117	LOADING DOCK SPACE, 10'-6" X 28'-0" X 21'-11" HIGH
805	PTD EXPANDED METAL MESH PANEL
2301	MECHANICAL SHAFT ABOVE, S.M.D.

KEYNOTE LEGEND

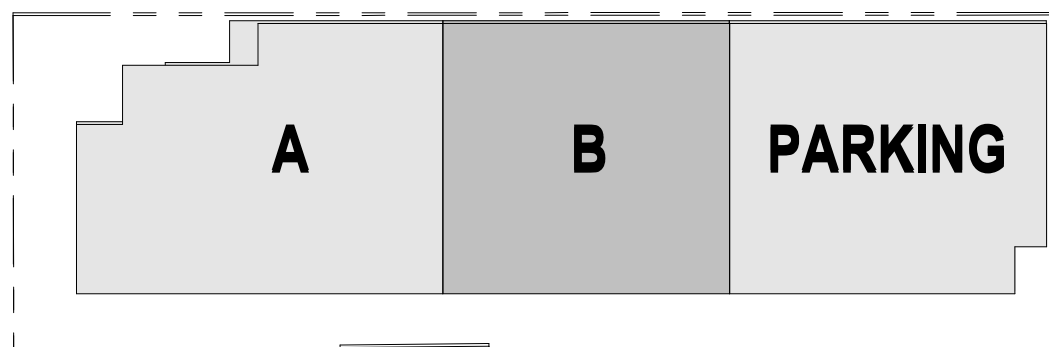
1. PROVIDE A CLEAR HORIZONTAL DIMENSION OF 1'-6" MINIMUM FROM STRIKE FACE OF DOOR JAMB TO THE NEAREST RETURNING PARTITION OR OBSTACLE AT THE PULL SIDE OF THE DOOR. LOCATE THE DOOR STOP TO ALLOW FOR A MINIMUM 90 DEGREE SWING.
2. PROVIDE THE REQUIRED BACKING, BRACING AND BLOCKING FOR ATTACHMENT OF CASEWORK, EQUIPMENT AND OTHER WORK.
3. CONTRACTOR SHALL COORDINATE KEYING REQUIREMENTS WITH BUILDING OWNER.
4. ALL OPEN JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, CASHEITED AND WEATHER-STRIPPED TO LIMIT AIR LEAKAGE. PENETRATIONS AT RATED PARTITIONS SHALL BE FIRE SAFE TO MAINTAIN RATING.
5. CONCEALED WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED, TYP.
6. VERIFY DIMENSIONS SHOWN WITH FIELD MEASUREMENTS. CHECK LEVELS AND LINES INDICATED PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR ADJUSTMENT OR CORRECTION. WORK SHALL PROCEED ONLY AFTER THE DISCREPANCY HAS BEEN RESOLVED.
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8. DIMENSIONS ARE F.O.F. OR CENTERLINE OF STUD, U.O.N.
9. SEE SHEET A8.41 FOR ALL TYPICAL ROOF DETAILS.

FLOOR PLAN NOTES

1/8" = 1'-0"

	SURFACE MOUNTED FIRE EXTINGUISHING CABINET, PORTABLE FIRE EXTINGUISHER 2-A RATED, 0-F.C.I.
	FLOOR DRAIN, S.P.D.
	FLOOR SINK, S.P.D.
	FLOOR CLEANOUT, S.P.D.
	ROOF DRAIN
	PARTITION AS SCHEDULED, HEIGHT PER PARTITION TYPE, U.O.N.
	ATYPICAL-HEIGHT PARTITION, HEIGHT AS NOTED.
	PROPERTY LINE
	DOOR TAG, SEE A10.11/A10.12
	CURTAIN WALL / STOREFRONT TAG, SEE A10.02/A10.03
	WINDOW TAG, SEE A10.01

FLOOR PLAN LEGEND



KEY PLAN 1_R

1" = 100'-0"

CLIENT
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910.510.0167
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4	2022.05.12	ZONING APPLICATION RESUBMITTAL
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700 Grayson Street
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LEVEL 1 - MAIN
BUILDING B

A2.01B

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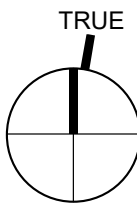
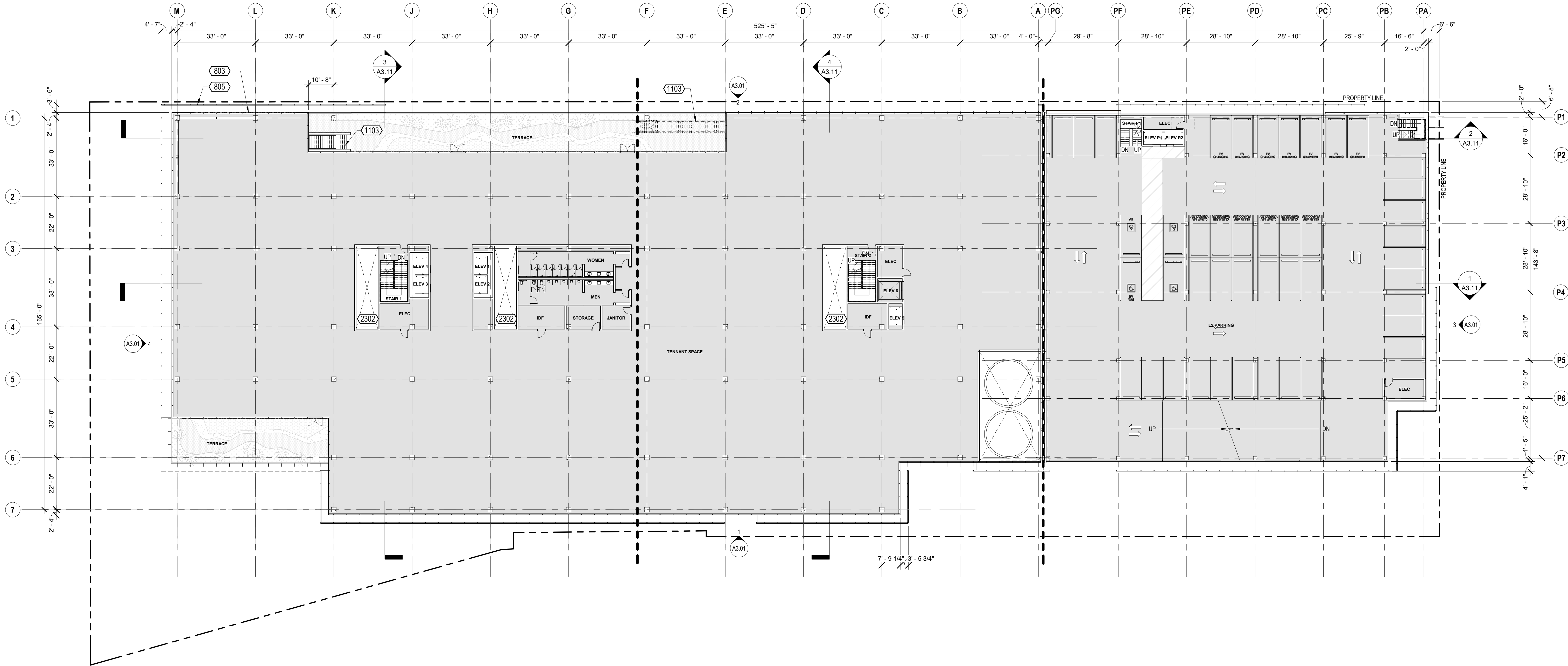
date issue description

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project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

LEVEL 2 - OVERALL

A2.02



1" = 20'-0"

1 LEVEL 2 - FLOOR PLAN - OVERALL

KEYNOTES

803 CURTAINWALL GLAZING SYSTEM AS SCHEDULED
805 PTD EXPANDED METAL MESH PANEL
1103 METAL STAIR, PAINTED
2302 MECHANICAL SHAFT, S.M.D.

KEYNOTE LEGEND

SURFACE MOUNTED FIRE EXTINGUISHING CABINET,
PORTABLE FIRE EXTINGUISHER 2-A RATED, O.F.C.I.
 FLOOR DRAIN, S.P.D.
 FLOOR SINK, S.P.D.
 FLOOR CLEANOUT, S.P.D.
 ROOF DRAIN
 PARTITION AS SCHEDULED, HEIGHT PER PARTITION TYPE, U.O.N
 ATYPICAL-HEIGHT PARTITION, HEIGHT AS NOTED
 PROPERTY LINE
 DOOR TAG, SEE A10.11/A10.12
 CURTAIN WALL / STOREFRONT TAG, SEE A10.02/A10.03
 WINDOW TAG, SEE A10.01

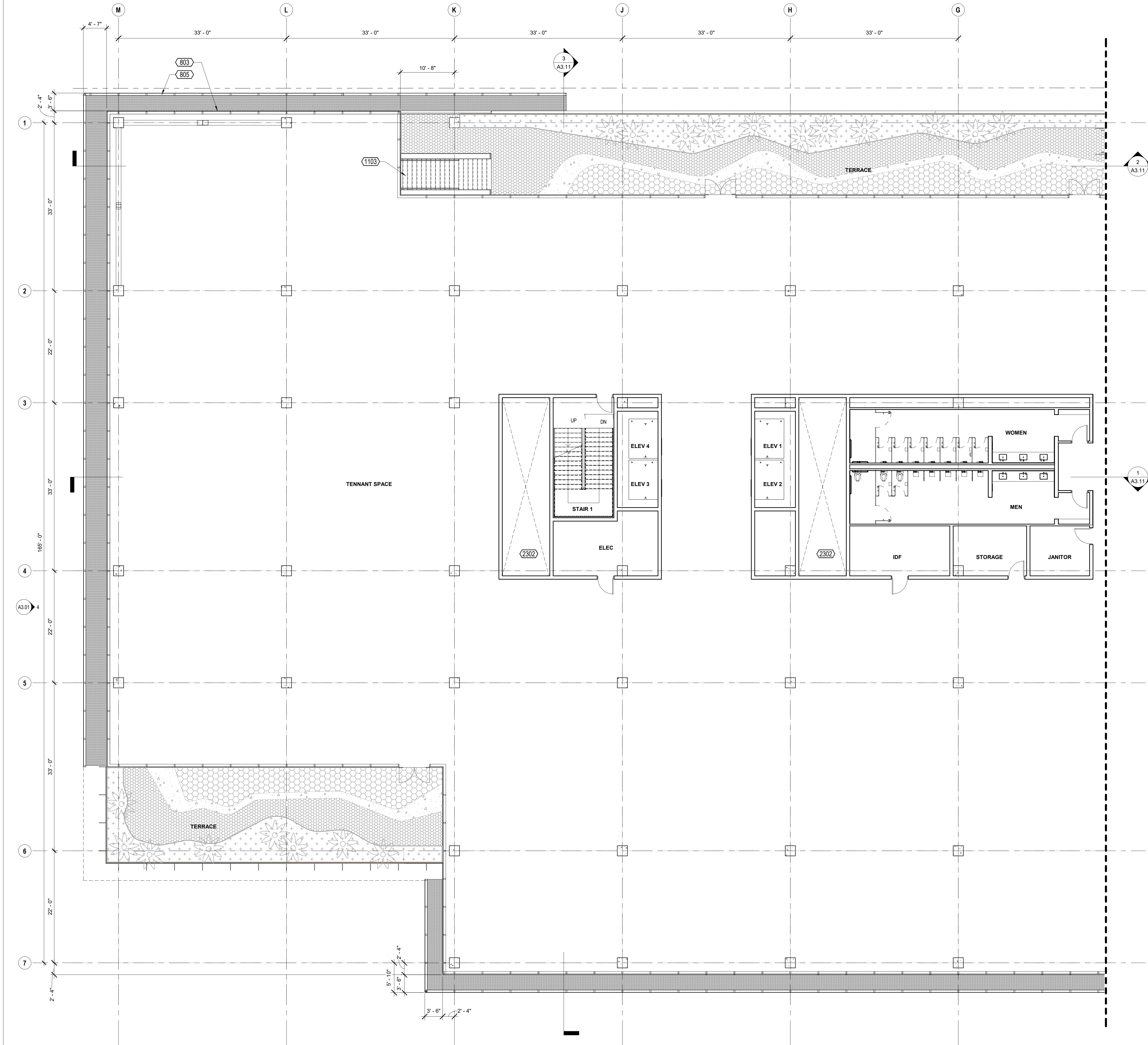
FLOOR PLAN LEGEND

- PROVIDE A CLEAR HORIZONTAL DIMENSION OF 1'-0" MINIMUM FROM STRIKE FACE OF DOOR JAMB TO THE NEAREST RETURNING PARTITION OR OBSTACLE AT THE PULL SIDE OF THE DOOR. LOCATE THE DOOR STOP TO ALLOW FOR A MINIMUM 90 DEGREE SWING.
- PROVIDE THE REQUIRED BACKING, BRACING AND BLOCKING FOR ATTACHMENT OF CASEWORK, EQUIPMENT AND OTHER WORK.
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FLOOR PLAN NOTES

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KEYNOTES	
803	CURTAINWALL GLAZING SYSTEM AS SCHEDULED
805	PTD EXPANDED METAL MESH PANEL
1103	METAL STAIR, PAINTED
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KEYNOTE LEGEND

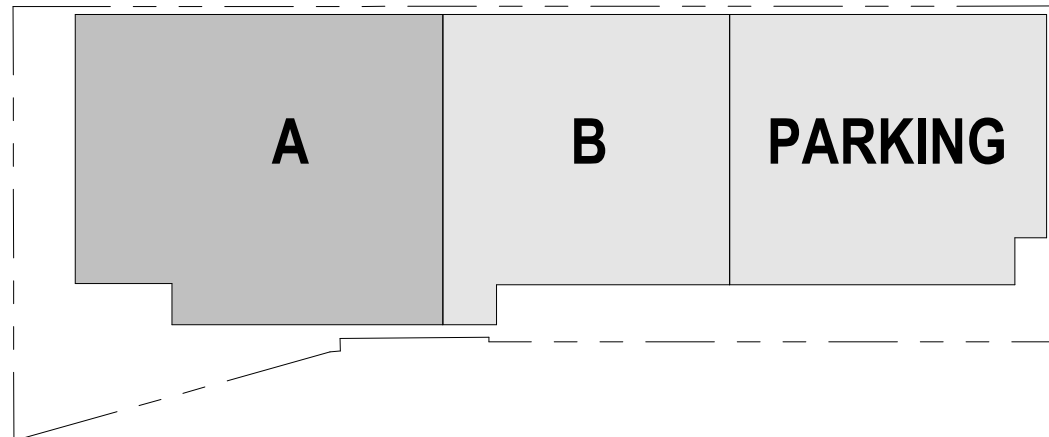
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FLOOR PLAN NOTES

1/8" = 1'-0"

	SURFACE MOUNTED FIRE EXTINGUISHING CABINET, PORTABLE FIRE EXTINGUISHER 2-A RATED, 0-F.C.I.
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	ATYPICAL-HEIGHT PARTITION, HEIGHT AS NOTED.
	PROPERTY LINE
	DOOR TAG, SEE A10.11/A10.12
	CURTAIN WALL / STOREFRONT TAG, SEE A10.02/A10.03
	WINDOW TAG, SEE A10.01

FLOOR PLAN LEGEND



1/8" = 1'-0"

KEY PLAN 2_A

1" = 100'-0"

#	date	issue description
4	2022.05.12	ZONING APPLICATION RESUBMITTAL
3	2022.04.01	ZONING APPLICATION RESUBMITTAL
2	2021.12.08	ZONING APPLICATION RESUBMITTAL
1	2021.08.19	ZONING APPLICATION

700 Grayson Street
700 grayson street
berkeley, ca 94710

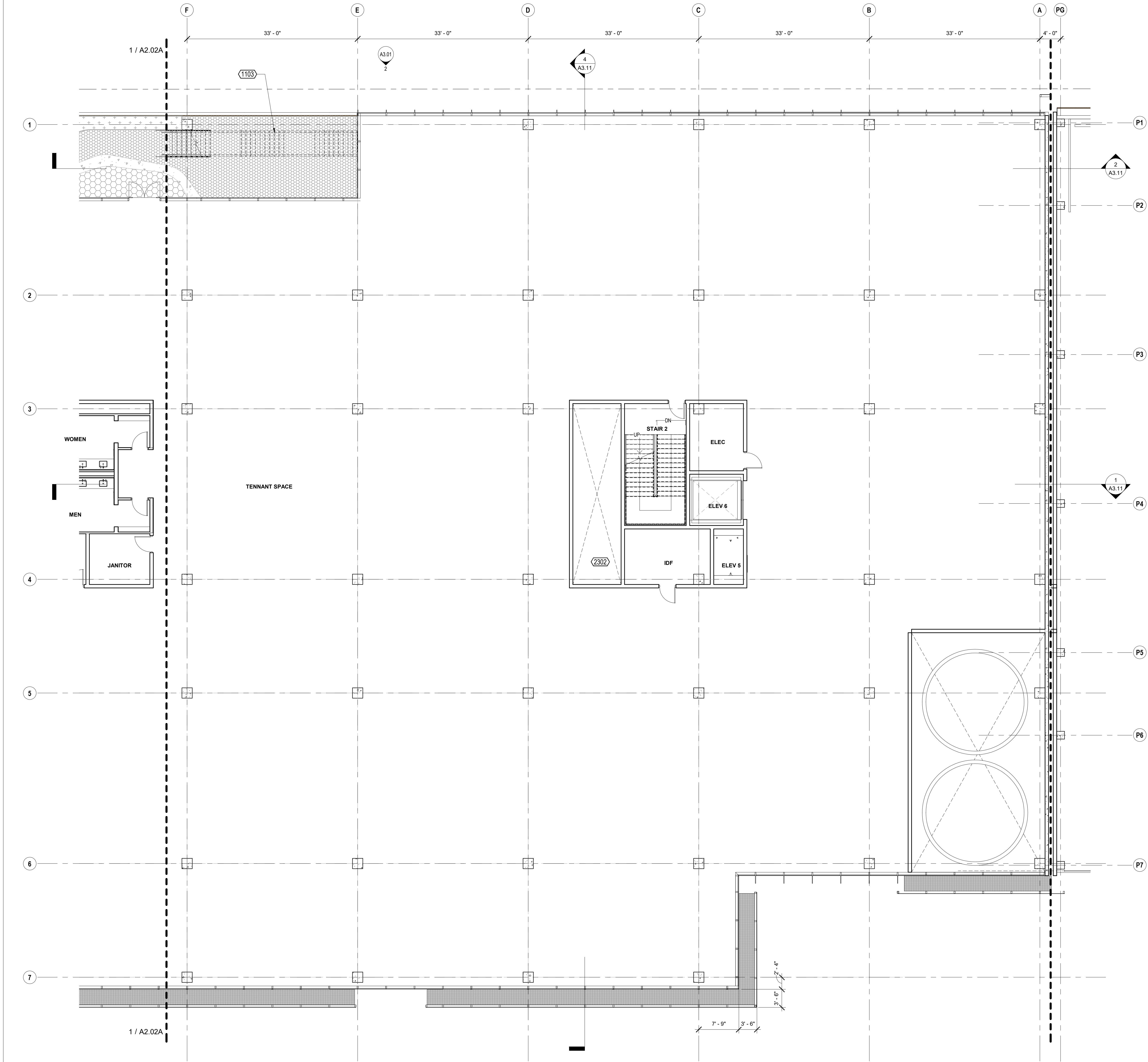
project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

**LEVEL 2 - MAIN
BUILDING A**

A2.02A

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File: B104_3001742_742 Grayson Central.rvt



KEYNOTES

1103 METAL STAIR, PAINTED
2302 MECHANICAL SHAFT, S.M.D.

KEYNOTE LEGEND

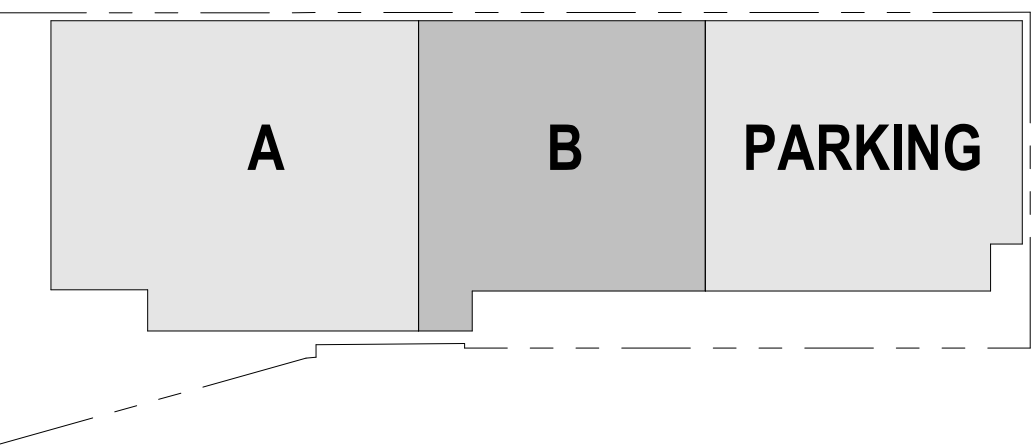
1. PROVIDE A CLEAR HORIZONTAL DIMENSION OF 1'-6" MINIMUM FROM STRIKE FACE OF DOOR JAMB TO THE NEAREST RETURNING PARTITION OR OBSTACLE AT THE PULL SIDE OF THE DOOR. LOCATE THE DOOR STOP TO ALLOW FOR A MINIMUM 90 DEGREE SWING.
2. PROVIDE THE REQUIRED BACKING, BRACING AND BLOCKING FOR ATTACHMENT OF CASEWORK, EQUIPMENT AND OTHER WORK.
3. CONTRACTOR SHALL COORDINATE KEYING REQUIREMENTS WITH BUILDING OWNER.
4. ALL OPEN JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, CASHEITED AND WEATHER-STRIPPED TO LIMIT AIR LEAKAGE. PENETRATIONS AT RATED PARTITIONS SHALL BE FIRE SAFE TO MAINTAIN RATING.
5. CONCEALED WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED, TYP.
6. VERIFY DIMENSIONS SHOWN WITH FIELD MEASUREMENTS. CHECK LEVELS AND LINES INDICATED PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR ADJUSTMENT OR CORRECTION. WORK SHALL PROCEED ONLY AFTER THE DISCREPANCY HAS BEEN RESOLVED.
7. WHERE CONFLICTS OCCUR, CONTRACTOR SHALL COORDINATE THE LAYOUT AND EXACT LOCATION OF PARTITIONS, DOORS, TELEPHONE, ELECTRICAL & COMMUNICATIONS OUTLETS AND SWITCHES WITH THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
8. DIMENSIONS ARE F.O.F. OR CENTERLINE OF STUD, U.O.N.
9. SEE SHEET A8.41 FOR ALL TYPICAL ROOF DETAILS.

FLOOR PLAN NOTES

1/8" = 1'-0"

- SURFACE MOUNTED FIRE EXTINGUISHING CABINET, PORTABLE FIRE EXTINGUISHER 2-A RATED, 0-F.C.I.
- FLOOR DRAIN, S.P.D.
- FLOOR SINK, S.P.D.
- FLOOR CLEANOUT, S.P.D.
- ROOF DRAIN
- PARTITION AS SCHEDULED, HEIGHT PER PARTITION TYPE, U.O.N.
- ATYPICAL-HEIGHT PARTITION, HEIGHT AS NOTED.
- PROPERTY LINE
- DOOR TAG, SEE A10.11/A10.12
- CURTAIN WALL / STOREFRONT TAG, SEE A10.02/A10.03
- WINDOW TAG, SEE A10.01

FLOOR PLAN LEGEND



1/8" = 1'-0"

KEY PLAN 2_B

1" = 100'-0"

CLIENT
REDCO development LLC
four embarcadero center, suite 1400
san francisco, ca 94111
415.450.1466
www.recodevelopment.com

ARCHITECT
brick.
405 14th street, suite 500
oakland, ca 94612
910.516.0167
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CONSULTANT

4 2022.05.12 ZONING APPLICATION RESUBMITTAL
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1 2021.08.19 ZONING APPLICATION

date issue description

700 Grayson Street
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berkeley, ca 94710

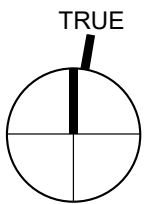
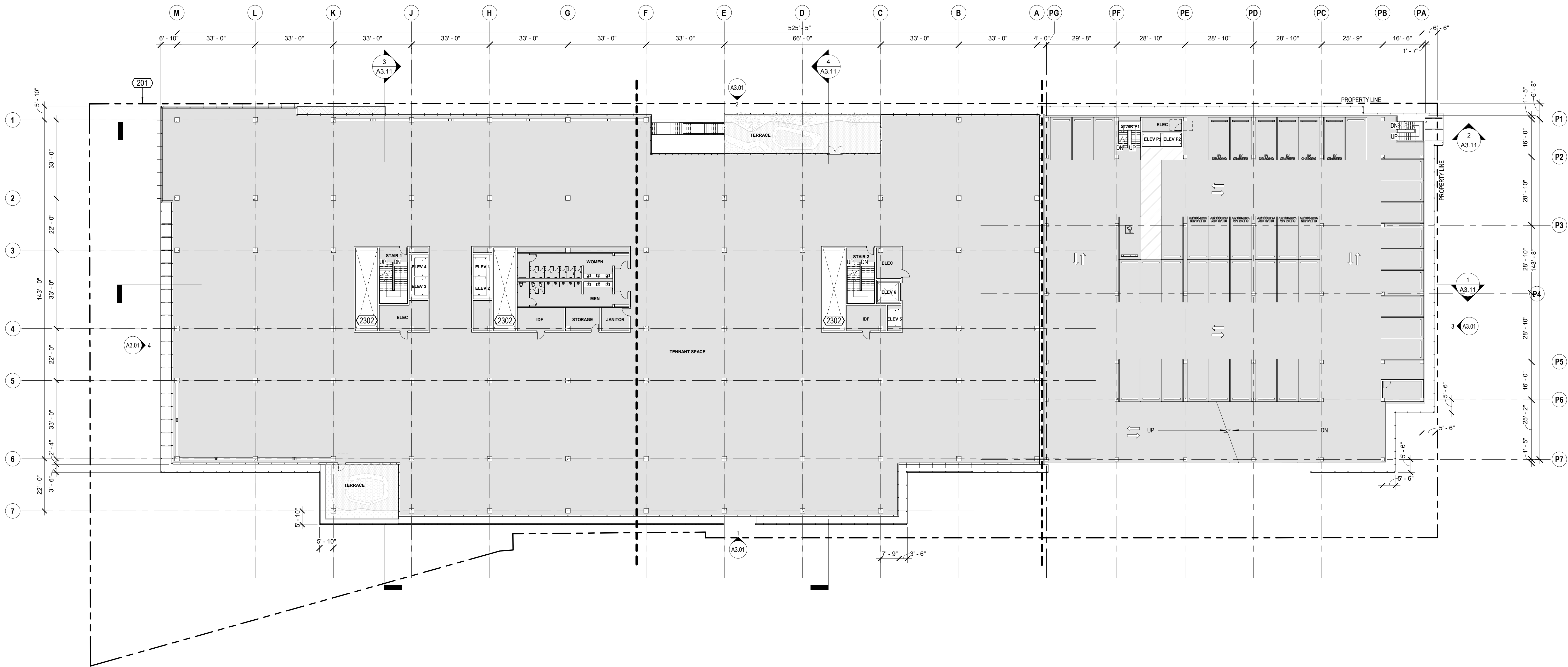
project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

**LEVEL 2 - MAIN
BUILDING B**

A2.02B

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File: B101/300/1242 Grayson/18-221 1242 Grayson Central.rvt



1 LEVEL 3 - FLOOR PLAN - OVERALL

1" = 20'-0"

KEYNOTES

201 PROPERTY LINE
2302 MECHANICAL SHAFT, S.M.D.

- SURFACE MOUNTED FIRE EXTINGUISHING CABINET, PORTABLE FIRE EXTINGUISHER 2-A RATED, O.F.C.I.
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- FLOOR SINK, S.P.D.
- FLOOR CLEANOUT, S.P.D.
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- DOOR TAG, SEE A10.11/A10.12
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- WINDOW TAG, SEE A10.01

KEYNOTE LEGEND

FLOOR PLAN LEGEND

- PROVIDE A CLEAR HORIZONTAL DIMENSION OF 1'-0" MINIMUM FROM STRIKE FACE OF DOOR JAMB TO THE NEAREST RETURNING PARTITION OR OBSTACLE AT THE PULL SIDE OF THE DOOR. LOCATE THE DOOR STOP TO ALLOW FOR A MINIMUM 90 DEGREE SWING.
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- CONCEALED WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED, TYP.
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- SEE SHEET A8.41 FOR ALL TYPICAL ROOF DETAILS.

1/8" = 1'-0"

FLOOR PLAN NOTES

1/8" = 1'-0"

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ARCHITECT
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CONSULTANT

△ date revision description

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1 2021.08.19 ZONING APPLICATION

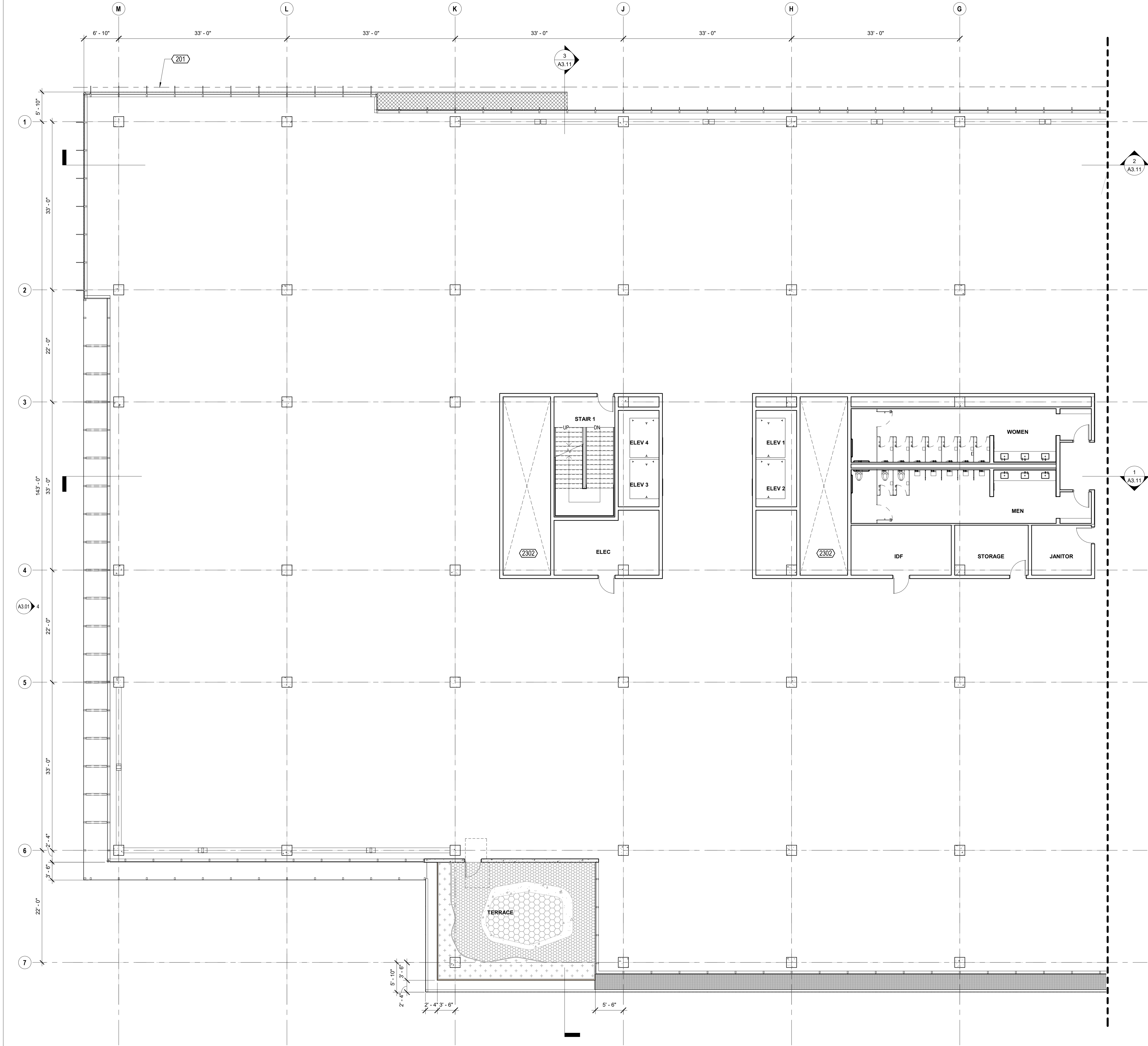
date issue description

700 Grayson Street
700 grayson street
berkeley, ca 94710

project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

LEVEL 3 - OVERALL

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File: BIM 300/742 Grayson 18-221 742 Grayson Central.rvt



KEYNOTES

201 PROPERTY LINE
1103 METAL STAIR, PAINTED
2302 MECHANICAL SHAFT, S.M.D.

KEYNOTE LEGEND

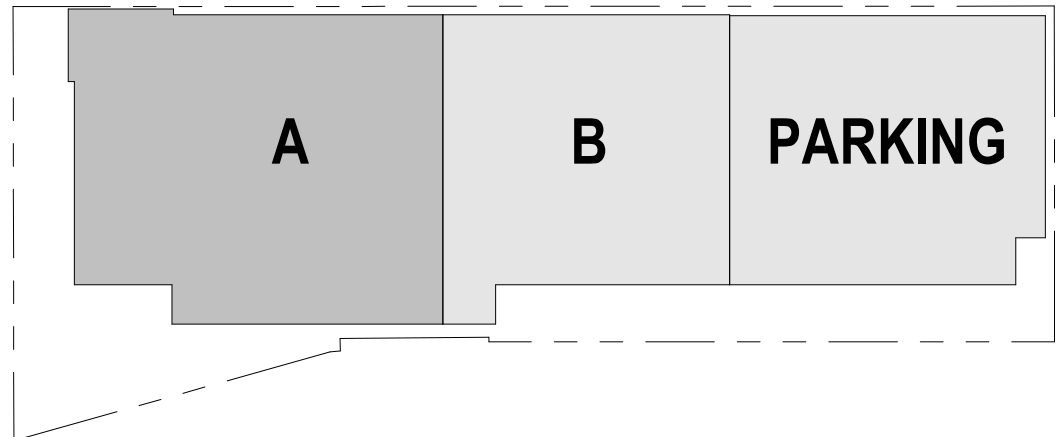
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FLOOR PLAN NOTES

1/8" = 1'-0"

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FLOOR DRAIN, S.P.D.
FLOOR SINK, S.P.D.
FLOOR CLEANOUT, S.P.D.
ROOF DRAIN
PARTITION AS SCHEDULED, HEIGHT PER PARTITION TYPE, U.O.N.
ATYPICAL-HEIGHT PARTITION, HEIGHT AS NOTED.
PROPERTY LINE
DOOR TAG, SEE A10.11/A10.12
CURTAIN WALL / STOREFRONT TAG, SEE A10.02/A10.03
WINDOW TAG, SEE A10.01

FLOOR PLAN LEGEND



KEY PLAN 3_A

1/8" = 1'-0"

1" = 100'-0"

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REDCO development LLC
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www.recodevelopment.com

ARCHITECT
brick.
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www.brick-inc.com

CONSULTANT

△ date revision description

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1 2021.08.19 ZONING APPLICATION

date issue description

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berkeley, ca 94710

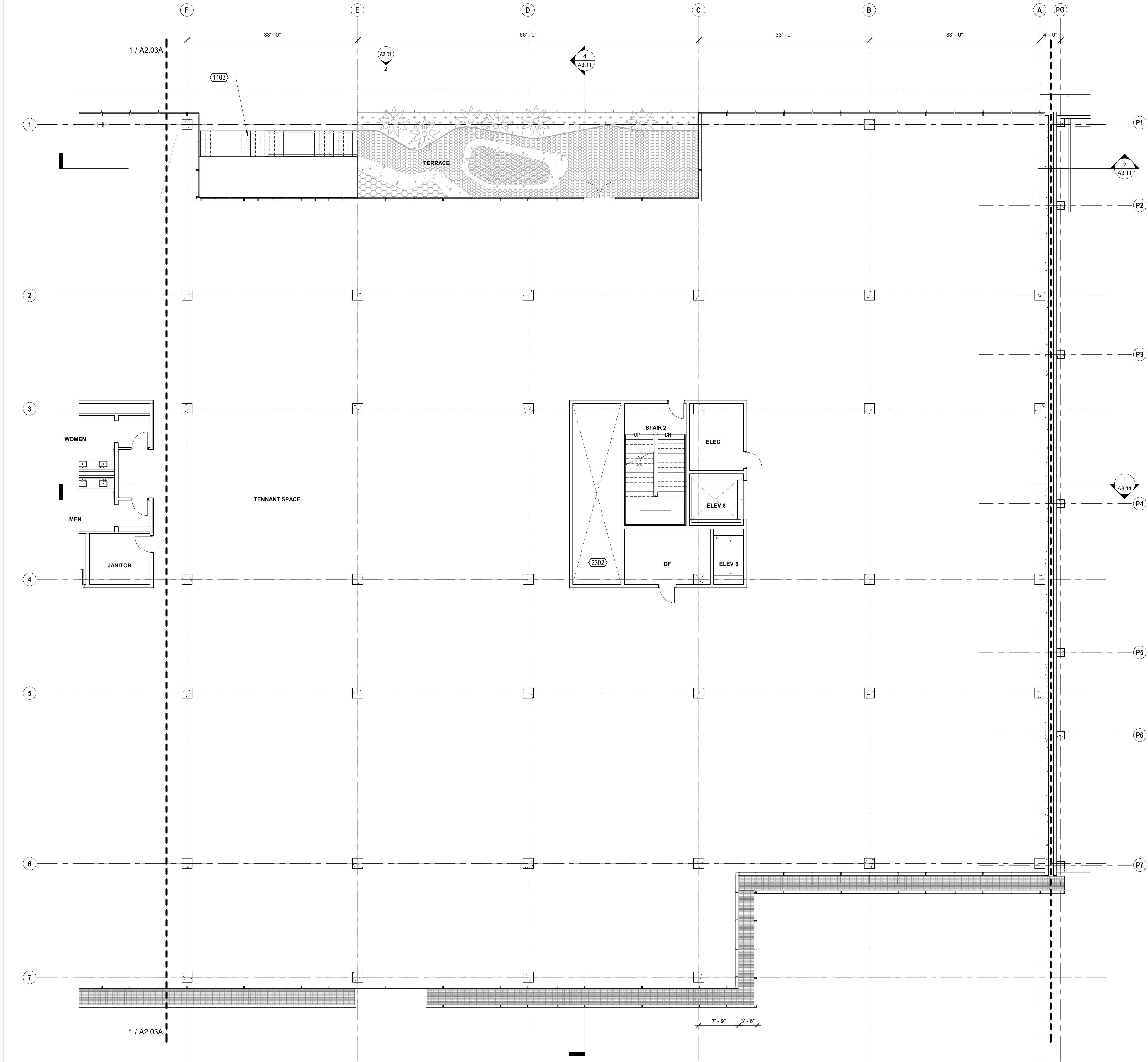
project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

**LEVEL 3 - MAIN
BUILDING A**

A2.03A

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File: B104_30071742_742 Grayson Central.rvt



KEYNOTES

1103 METAL STAIR, PAINTED
2302 MECHANICAL SHAFT, S.M.D.

KEYNOTE LEGEND

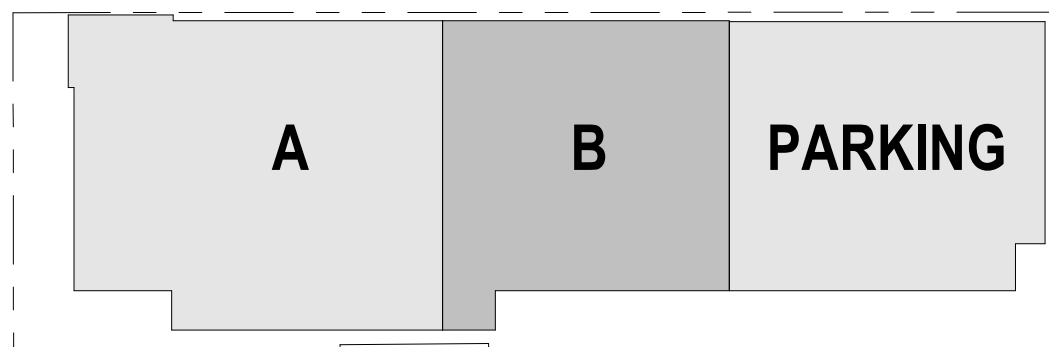
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FLOOR PLAN NOTES

1/8" = 1'-0"

- | | |
|--|--|
| | SURFACE MOUNTED FIRE EXTINGUISHING CABINET, PORTABLE FIRE EXTINGUISHER 2-A RATED, 0-F.C.I. |
| | FLOOR DRAIN, S.P.D. |
| | FLOOR SINK, S.P.D. |
| | FLOOR CLEANOUT, S.P.D. |
| | ROOF DRAIN |
| | PARTITION AS SCHEDULED, HEIGHT PER PARTITION TYPE, U.O.N. |
| | ATYPICAL-HEIGHT PARTITION, HEIGHT AS NOTED. |
| | PROPERTY LINE |
| | DOOR TAG, SEE A10.11/A10.12 |
| | CURTAIN WALL / STOREFRONT TAG, SEE A10.02/A10.03 |
| | WINDOW TAG, SEE A10.01 |

FLOOR PLAN LEGEND



1/8" = 1'-0"

KEY PLAN 3_B

1" = 100'-0"

CLIENT
REDCO development LLC
four embarcadero center, suite 1400
san francisco, ca 94111
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www.recodevelopment.com

ARCHITECT
brick.
405 14th street, suite 500
oakland, ca 94612
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CONSULTANT

△ date revision description

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date issue description

700 Grayson Street
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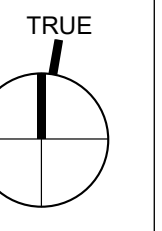
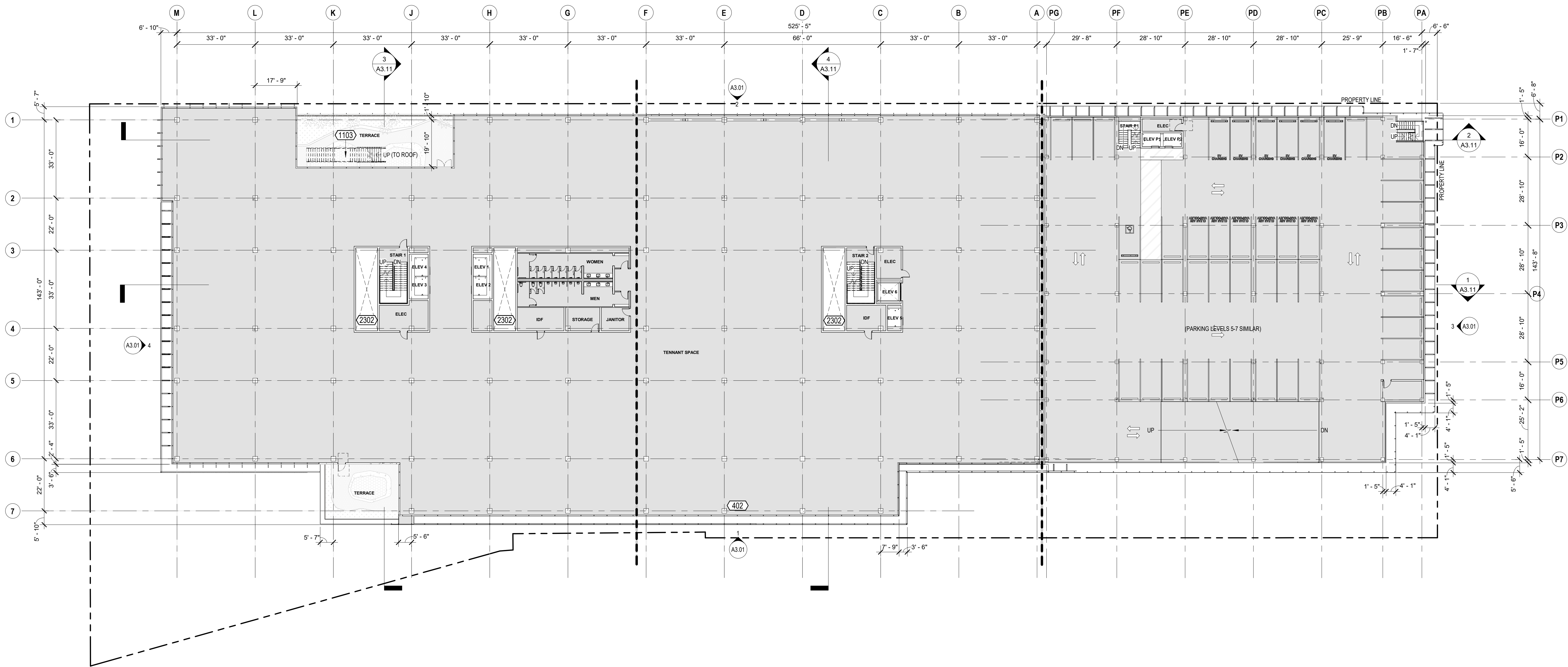
project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

**LEVEL 3 - MAIN
BUILDING B**

A2.03B

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File: BIM 300/1242 Grayson/18-221 742 Grayson Central.rvt



1 LEVEL 4 - FLOOR PLAN - OVERALL

1" = 20'-0"

KEYNOTES

- 402 TERRACE
- 1103 METAL STAIR, PAINTED
- 2302 MECHANICAL SHAFT, S.M.D.

- SURFACE MOUNTED FIRE EXTINGUISHING CABINET, PORTABLE FIRE EXTINGUISHER 2-A RATED, O.F.C.I.
- FLOOR DRAIN, S.P.D.
- FLOOR SINK, S.P.D.
- FLOOR CLEANOUT, S.P.D.
- ROOF DRAIN
- PARTITION AS SCHEDULED, HEIGHT PER PARTITION TYPE, U.O.N.
- ATYPICAL-HEIGHT PARTITION, HEIGHT AS NOTED.
- PROPERTY LINE
- DOOR TAG, SEE A10.11/A10.12
- CURTAIN WALL / STOREFRONT TAG, SEE A10.02/A10.03
- WINDOW TAG, SEE A10.01

KEYNOTE LEGEND

FLOOR PLAN LEGEND

FLOOR PLAN NOTES

- PROVIDE A CLEAR HORIZONTAL DIMENSION OF 1'-0" MINIMUM FROM STRIKE FACE OF DOOR JAMB TO THE NEAREST RETURNING PARTITION OR OBSTACLE AT THE PULL SIDE OF THE DOOR. LOCATE THE DOOR STOP TO ALLOW FOR A MINIMUM 90 DEGREE SWING.
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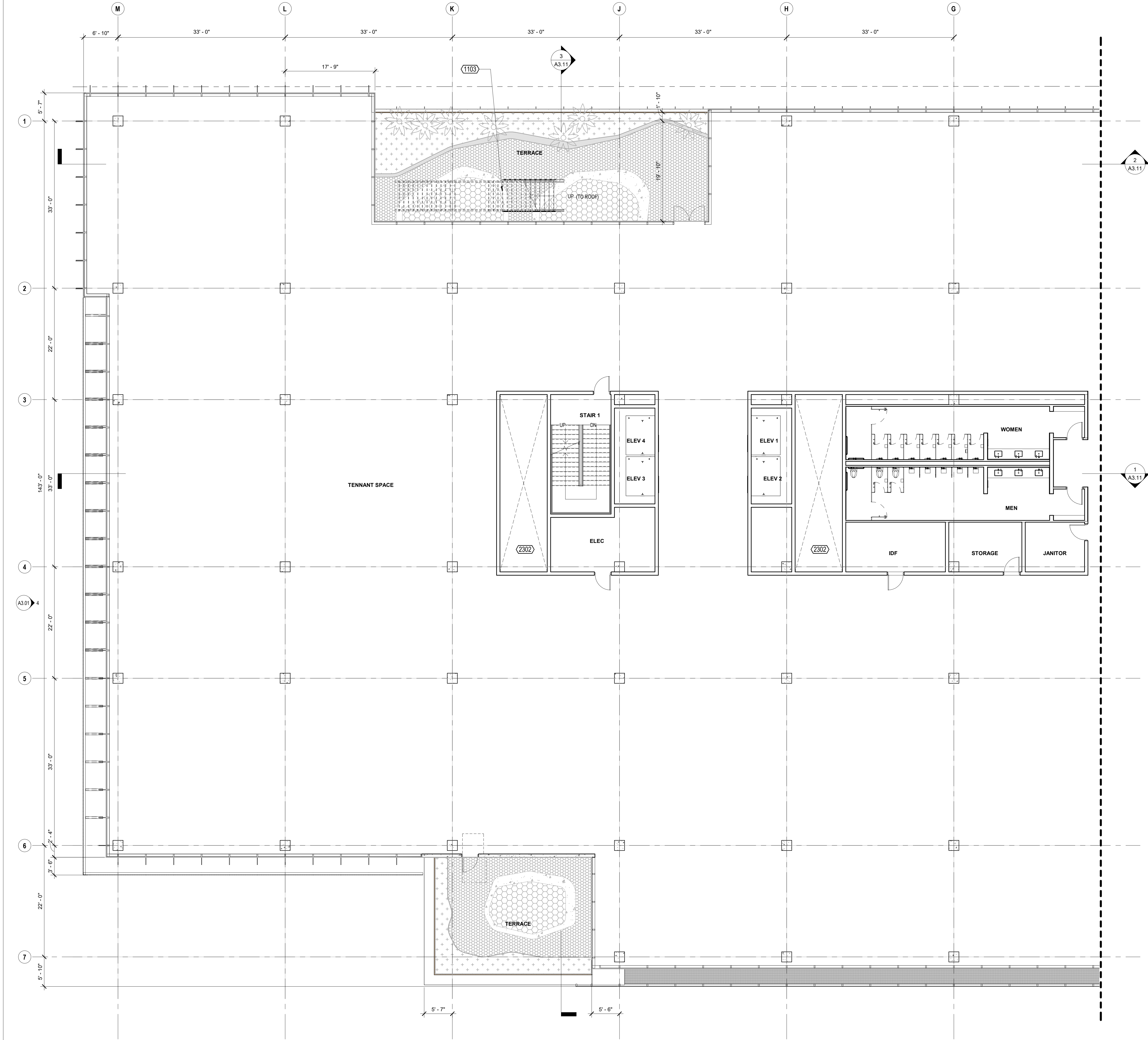
date issue description

700 Grayson Street
700 grayson street
berkeley, ca 94710

project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

LEVEL 4 - OVERALL

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File: BIM 3001742_700 Grayson 18-221 742 Grayson Central.rvt



KEYNOTES

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2302 MECHANICAL SHAFT, S.M.D.

KEYNOTE LEGEND

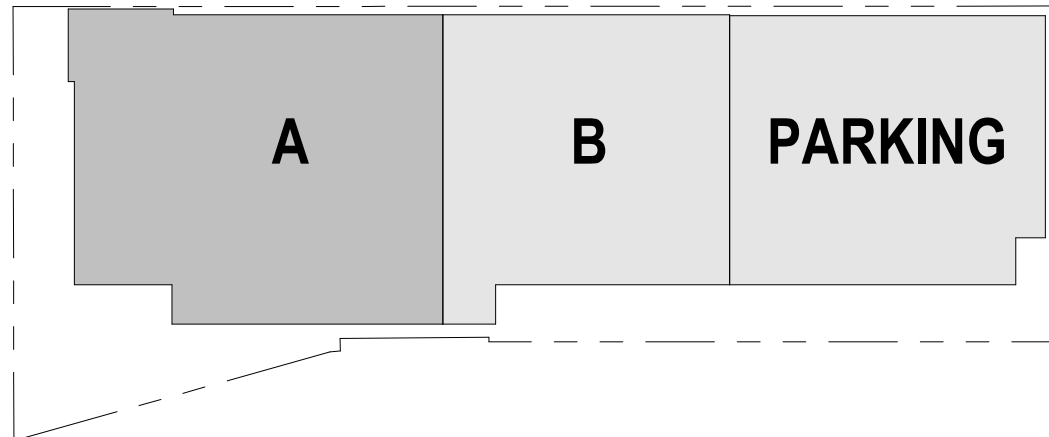
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FLOOR PLAN NOTES

1/8" = 1'-0"

- SURFACE MOUNTED FIRE EXTINGUISHING CABINET,
PORTABLE FIRE EXTINGUISHER 2-A RATED, 0-F.C.I.
- ⊙ FLOOR DRAIN, S.P.D.
- ⊠ FLOOR SINK, S.P.D.
- FLOOR CLEANOUT, S.P.D.
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- WINDOW TAG, SEE A10.01

FLOOR PLAN LEGEND



1/8" = 1'-0"

KEY PLAN 4_A

1" = 100'-0"

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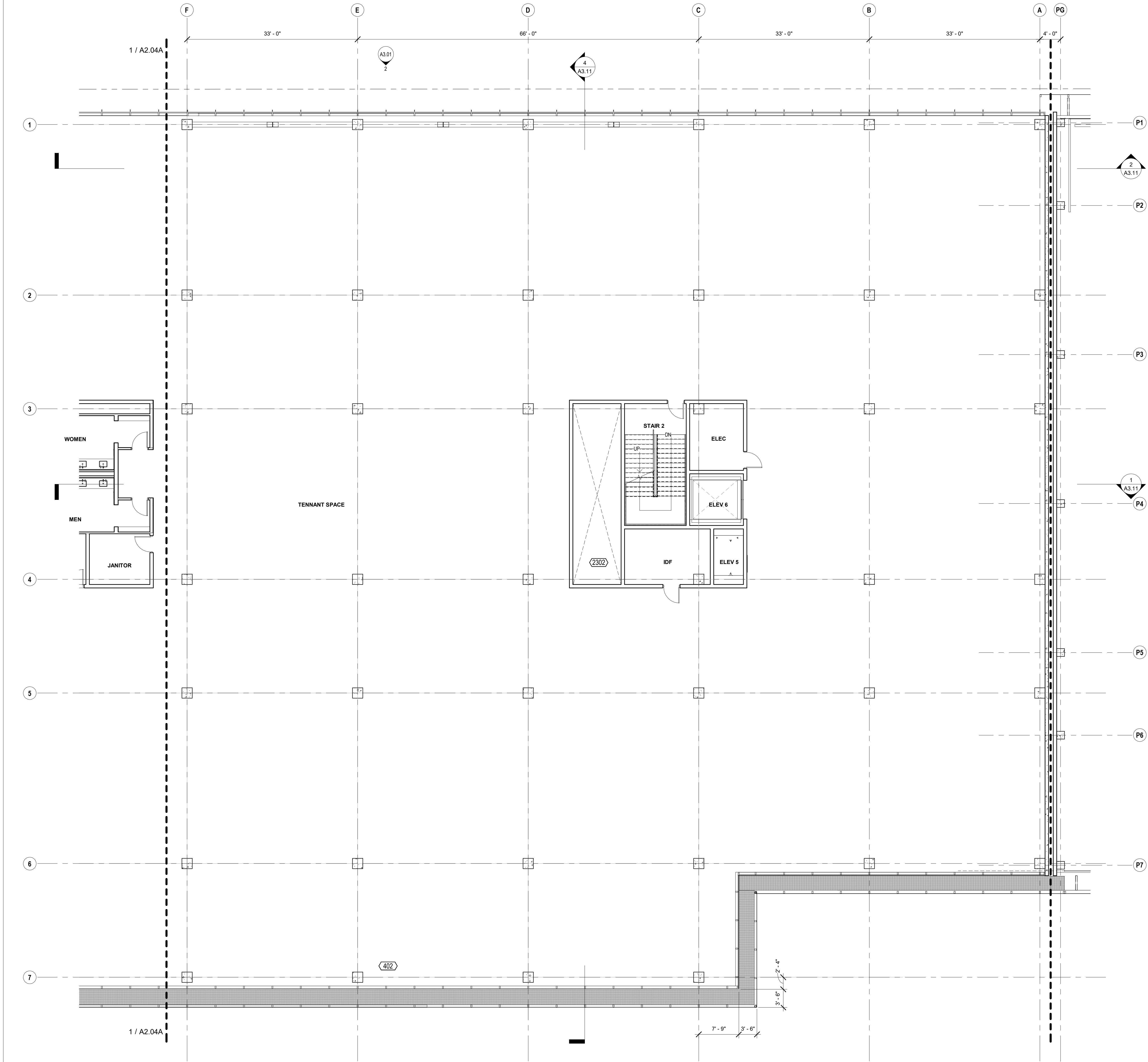
project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

**LEVEL 4 - MAIN
BUILDING A**

A2.04A

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KEYNOTES

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2302 MECHANICAL SHAFT, S.M.D.

KEYNOTE LEGEND

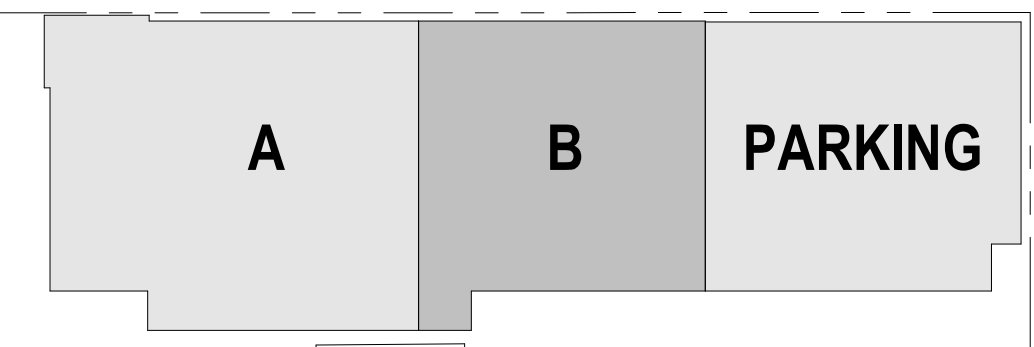
1. PROVIDE A CLEAR HORIZONTAL DIMENSION OF 1'-6" MINIMUM FROM STRIKE FACE OF DOOR JAMB TO THE NEAREST RETURNING PARTITION OR OBSTACLE AT THE PULL SIDE OF THE DOOR. LOCATE THE DOOR STOP TO ALLOW FOR A MINIMUM 90 DEGREE SWING.
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3. CONTRACTOR SHALL COORDINATE KEYING REQUIREMENTS WITH BUILDING OWNER.
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5. CONCEALED WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED, TYP.
6. VERIFY DIMENSIONS SHOWN WITH FIELD MEASUREMENTS. CHECK LEVELS AND LINES INDICATED PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR ADJUSTMENT OR CORRECTION. WORK SHALL PROCEED ONLY AFTER THE DISCREPANCY HAS BEEN RESOLVED.
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8. DIMENSIONS ARE F.O.F. OR CENTERLINE OF STUD, U.O.N.
9. SEE SHEET A8.41 FOR ALL TYPICAL ROOF DETAILS.

FLOOR PLAN NOTES

1/8" = 1'-0"

- SURFACE MOUNTED FIRE EXTINGUISHING CABINET, PORTABLE FIRE EXTINGUISHER 2-A RATED, 0-F.C.I.
- FLOOR DRAIN, S.P.D.
- FLOOR SINK, S.P.D.
- FLOOR CLEANOUT, S.P.D.
- ROOF DRAIN
- PARTITION AS SCHEDULED, HEIGHT PER PARTITION TYPE, U.O.N.
- ATYPICAL-HEIGHT PARTITION, HEIGHT AS NOTED.
- PROPERTY LINE
- DOOR TAG, SEE A10.11/A10.12
- CURTAIN WALL / STOREFRONT TAG, SEE A10.02/A10.03
- WINDOW TAG, SEE A10.01

FLOOR PLAN LEGEND



1/8" = 1'-0"

KEY PLAN 4_B

1" = 100'-0"

CLIENT
REDCO development LLC
four embarcadero center, suite 1400
san francisco, ca 94111
415.450.1466
www.recodevelopment.com

ARCHITECT
brick.
405 14th street, suite 500
oakland, ca 94612
910.516.0167
www.brick-inc.com

CONSULTANT

△ date revision description

4 2022.05.12 ZONING APPLICATION RESUBMITTAL
3 2022.04.01 ZONING APPLICATION RESUBMITTAL
2 2021.12.08 ZONING APPLICATION RESUBMITTAL
1 2021.08.19 ZONING APPLICATION

date issue description

700 Grayson Street
700 grayson street
berkeley, ca 94710

project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

**LEVEL 4 - MAIN
BUILDING B**

A2.04B

NOT FOR CONSTRUCTION

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REDCO development LLC
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san francisco, ca 94111
415.450.1466
www.recodevelopment.com

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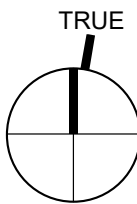
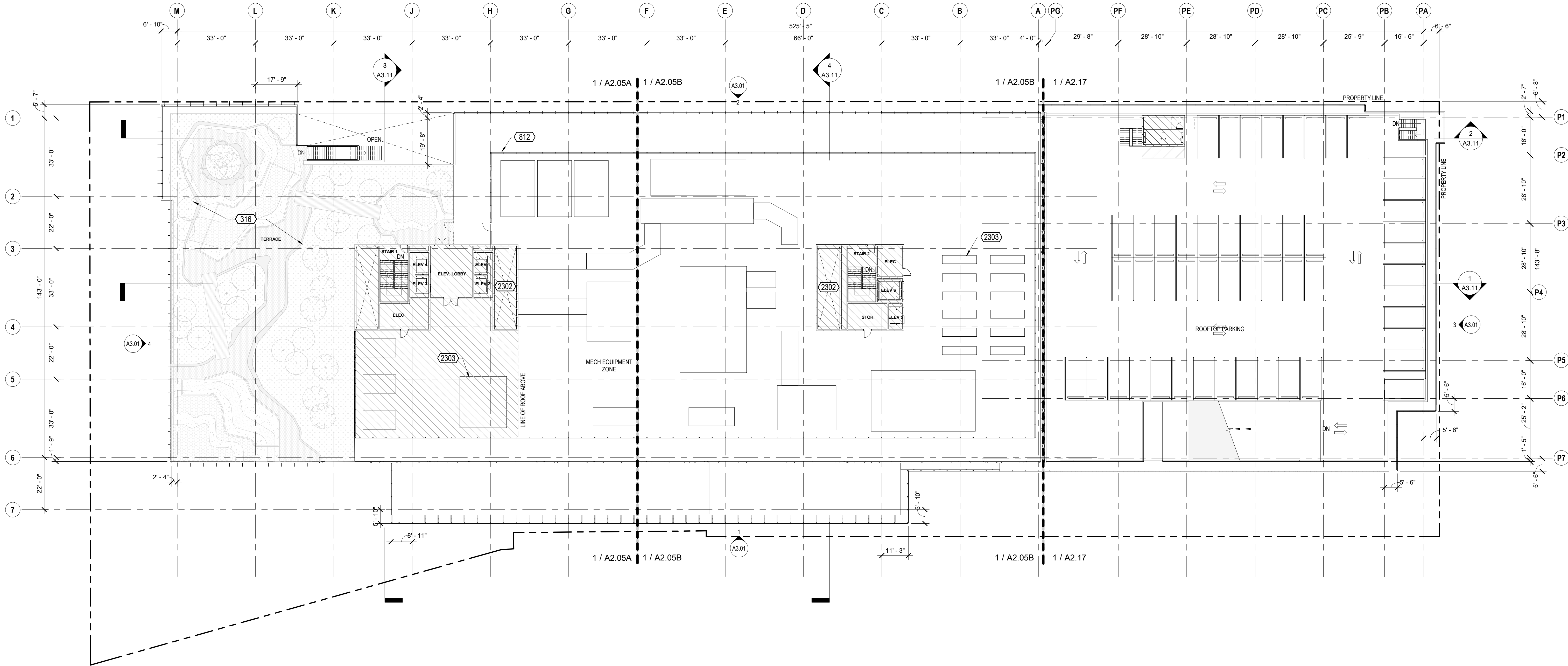
date issue description

700 Grayson Street
700 grayson street
berkeley, ca 94710

project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

**ROOF PLAN -
OVERALL**

A2.05



1" = 20'-0"

1 ROOF PLAN - FLOOR PLAN - OVERALL

AREAS QUALIFYING AS ALLOWABLE PROJECTIONS IN COMPLIANCE WITH BMC SECTION 23E.04.020.C

ROOF PROJECTIONS CALCULATION	
BERKELEY MUNICIPAL CODE SEC. 23E.04.020.C	
LEVEL	AREA (SF)
ROOF AREA	52,833
ROOF PROJECTION AREA	7,202
RATIO	13.6%

KEYNOTES

316	PLANTED AREA, S.I.D.
812	PERF. METAL MECHANICAL SCREEN
2302	MECHANICAL SHAFT, S.M.D.
2303	MECHANICAL EQUIPMENT, S.M.D.

	SURFACE MOUNTED FIRE EXTINGUISHING CABINET, PORTABLE FIRE EXTINGUISHER 2-A RATED, O.F.C.I.
	FLOOR DRAIN, S.P.D.
	FLOOR SINK, S.P.D.
	FLOOR CLEANOUT, S.P.D.
	ROOF DRAIN
	PARTITION AS SCHEDULED, HEIGHT PER PARTITION TYPE, U.O.N.
	ATYPICAL-HEIGHT PARTITION, HEIGHT AS NOTED.
	PROPERTY LINE
	DOOR TAG, SEE A10.11/A10.12
	CURTAIN WALL / STOREFRONT TAG, SEE A10.02/A10.03
	WINDOW TAG, SEE A10.01

- PROVIDE A CLEAR HORIZONTAL DIMENSION OF 1'-0" MINIMUM FROM STRIKE FACE OF DOOR JAMB TO THE NEAREST RETURNING PARTITION OR OBSTACLE AT THE PULL SIDE OF THE DOOR. LOCATE THE DOOR STOP TO ALLOW FOR A MINIMUM 90 DEGREE SWING.
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- SEE SHEET A8.41 FOR ALL TYPICAL ROOF DETAILS.

ROOF PROJECTION CALCULATION

KEYNOTE LEGEND

FLOOR PLAN LEGEND

1/8" = 1'-0" FLOOR PLAN NOTES

1/8" = 1'-0"

NOT FOR CONSTRUCTION



812	PERF. METAL MECHANICAL SCREEN
2302	MECHANICAL SHAFT, S.M.D.
2303	MECHANICAL EQUIPMENT, S.M.D.

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oakland, ca 94612
510.516.0167
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CONSULTANT

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9. SEE SHEET A8.41 FOR ALL TYPICAL ROOF DETAILS.

$$1/8" = 1'-0"$$

	SURFACE MOUNTED FIRE EXTINGUISHING CABINET, PORTABLE FIRE EXTINGUISHING Z-A RATED, O.F.C.I.
	FLOOR DRAIN, S.P.D.
	FLOOR SINK, S.P.D.
	FLOOR OUTLET, S.P.D.
	ROOF DRAIN
	PARTITION AS SCHEDULED. HEIGHT PER PARTITION TYPE: U.O.N
	ATYPICAL HEIGHT PARTITION, HEIGHT AS NOTED.
	PROPERTY LINE
	DOOR TAG, SEE A10.1/1A10.12
	CURTAIN WALL / STOREFRONT TAG, SEE A10.02/A10.03
	WINDOW TAG, SEE A10.01

A diagram of a parking lot layout. It shows three rectangular sections arranged horizontally. The first section on the left is shaded gray and labeled 'A'. The second section in the middle is white and labeled 'B'. The third section on the right is white and labeled 'PARKING'. A dashed line runs along the bottom edge of the sections, and a solid line runs along the top edge.

$$1/8'' = 1'-0''$$

KEY PLAN 2 A

1" = 100'-0"

4	2022.05.12	ZONING APPLICATION RESUBMITTAL
3	2022.04.01	ZONING APPLICATION RESUBMITTAL
2	2021.12.08	ZONING APPLICATION RESUBMITTAL
1	2021.08.19	ZONING APPLICATION

#	date	issue description
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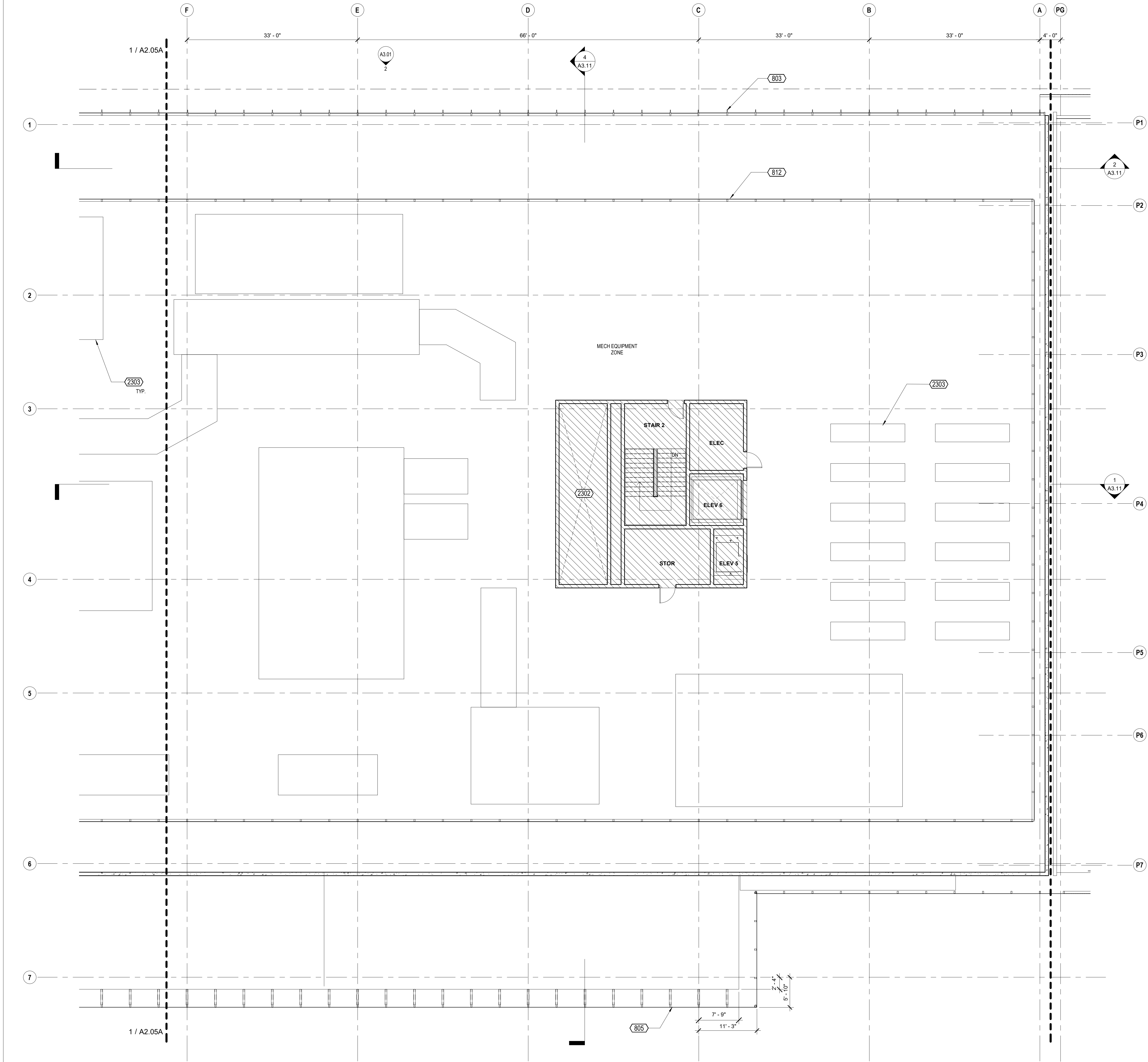
700 Grayson Street
700 grayson street
berkeley, ca 94710

project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

ROOF - MAIN
BUILDING A

A2.05A

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File: B101-3001742-Grayson-18-221-142-Grayson-Central.rvt



1 ROOF PLAN - SEGMENT FLOOR PLAN - B

KEYNOTES

- 803 CURTAINWALL GLAZING SYSTEM AS SCHEDULED
805 PTD EXPANDED METAL MESH PANEL
812 PERF. METAL MECHANICAL SCREEN
2302 MECHANICAL SHAFT, S.M.D.
2303 MECHANICAL EQUIPMENT, S.M.D.

KEYNOTE LEGEND

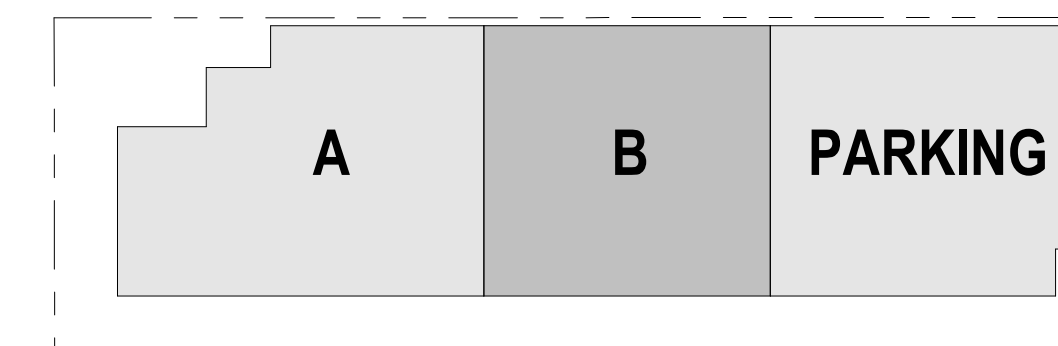
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FLOOR PLAN NOTES

1/8" = 1'-0"

- SURFACE MOUNTED FIRE EXTINGUISHING CABINET,
PORTABLE FIRE EXTINGUISHER 2-A RATED, 0-F-C.I.
FEC
FLOOR DRAIN, S.P.D.
FLOOR SINK, S.P.D.
FLOOR CLEANOUT, S.P.D.
ROOF DRAIN
PARTITION AS SCHEDULED, HEIGHT PER PARTITION TYPE, U.O.N.
ATYPICAL-HEIGHT PARTITION, HEIGHT AS NOTED.
PROPERTY LINE
DOOR TAG, SEE A10.11/A10.12
CURTAIN WALL / STOREFRONT TAG, SEE A10.02/A10.03
WINDOW TAG, SEE A10.01

FLOOR PLAN LEGEND



KEY PLAN 1_B

1" = 100'-0"

CLIENT
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CONSULTANT

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2 2021.12.08 ZONING APPLICATION RESUBMITTAL
1 2021.08.19 ZONING APPLICATION

date issue description

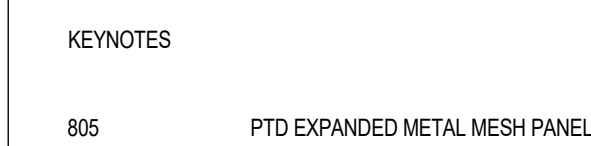
700 Grayson Street
700 grayson street
berkeley, ca 94710

project number: 18-221
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drawn by: ROBERT ZIRKLE

**ROOF - MAIN
BUILDING B**












A2.05B

NOT FOR CONSTRUCTION



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1/8" = 1'-0"

- | | |
|---|--|
|  | SURFACE MOUNTED FIRE EXTINGUISHING CABINET,
PORTABLE FIRE EXTINGUISHING 2-A RATED, O.F.C.I. |
|  | FLOOR DRAIN, S.P.D. |
|  | FLOOR SINK, S.P.D. |
|  | FLOOR CLEANOUT, S.P.D. |
|  | ROOF DRAIN |
|  | PARTITION AS SCHEDULED. HEIGHT PER PARTITION TYPE. U.O.N |
|  | ATYPICAL HEIGHT PARTITION, HEIGHT AS NOTED. |
|  | PROPERTY LINE |
|  | DOOR TAG, SEE A10.11/A10.12 |
|  | CURTAIN WALL / STOREFRONT TAG, SEE A10.02/A10.03 |
|  | WINDOW TAG, SEE A10.01 |

The diagram shows a parking lot layout with three sections labeled A, B, and PARKING. Section A is a small rectangular area on the left. Section B is a larger rectangular area in the middle. The PARKING section is a shaded rectangular area on the right. A dashed line runs along the top and left sides of the layout.

KEY PLAN 1_PARKING

1" = 100'-0"

CONSULTANT

△	date	revision description
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4	2022.05.12	ZONING APPLICATION RESUBMITTAL
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#	date	issue description
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700 Grayson Street
700 grayson street
berkeley, ca 94710

project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

LEVEL 1 - PARKING

A2.11














KEYNOTE LEGEND

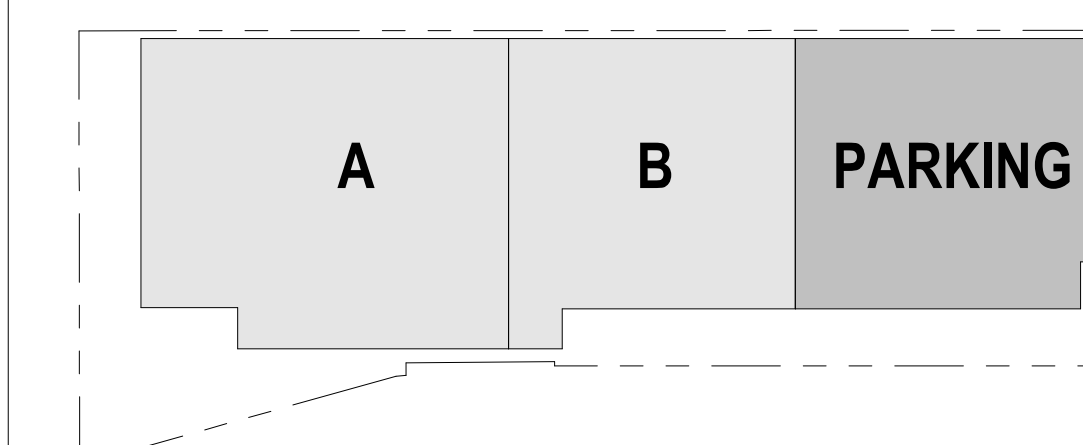
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FLOOR PLAN NOTES

1/8" = 1'-0"

- | | |
|---|---|
|  | SURFACE MOUNTED FIRE EXTINGUISHING CABINET,
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|  | FLOOR DRAIN, S.P.D. |
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|  | WINDOW TAG, SEE A10.01 |

FLOOR PLAN LEGEND



1/8" = 1'-0"

KEY PLAN 2_PARKING

1" = 100'-0"

CLIENT
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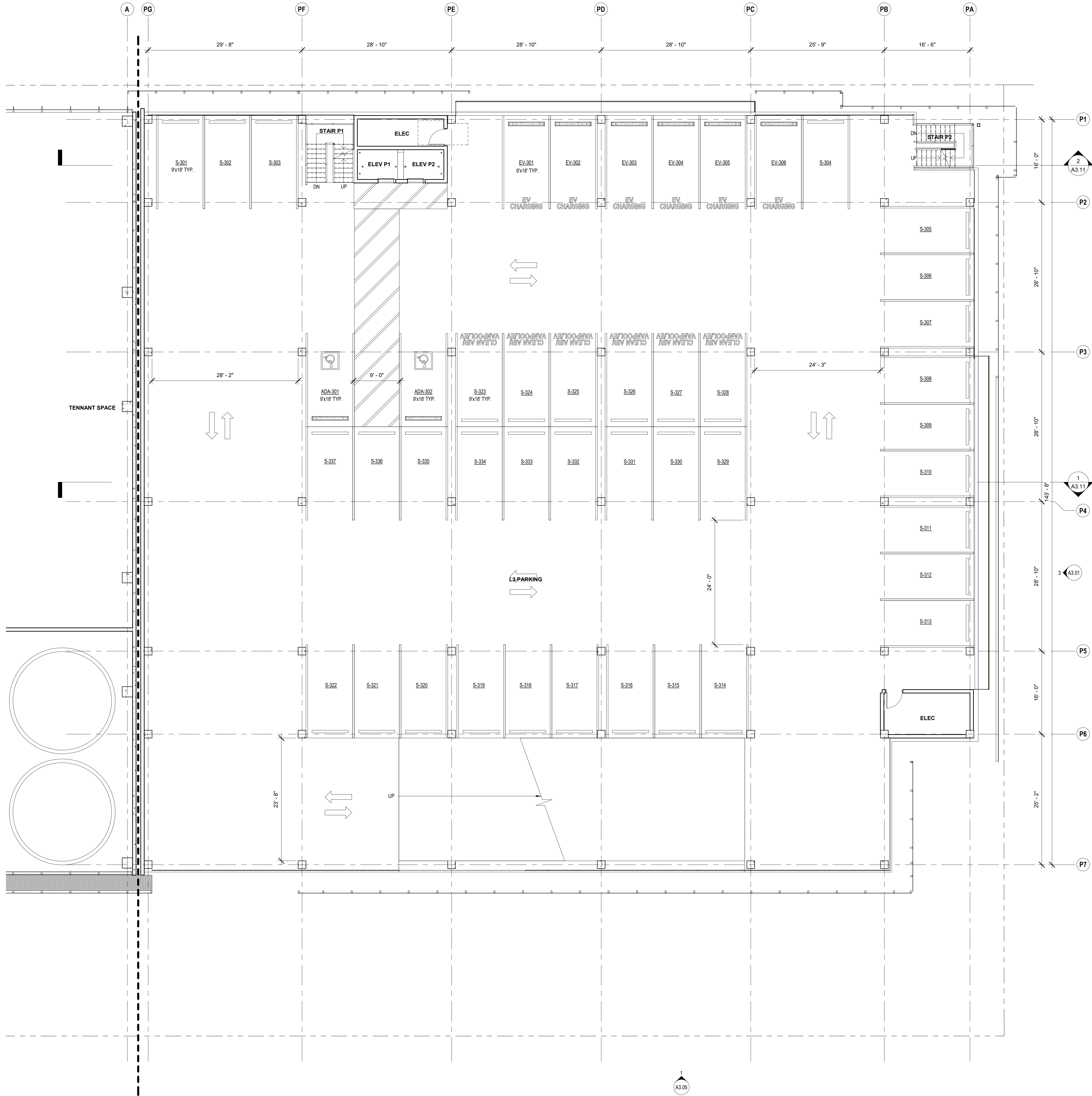
#	date	issue description
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700 Grayson Street
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project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

LEVEL 2 - PARKING

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File: BIM 30071242 Grayson 18-221 742 Grayson Central.rvt



KEYNOTES

KEYNOTE LEGEND

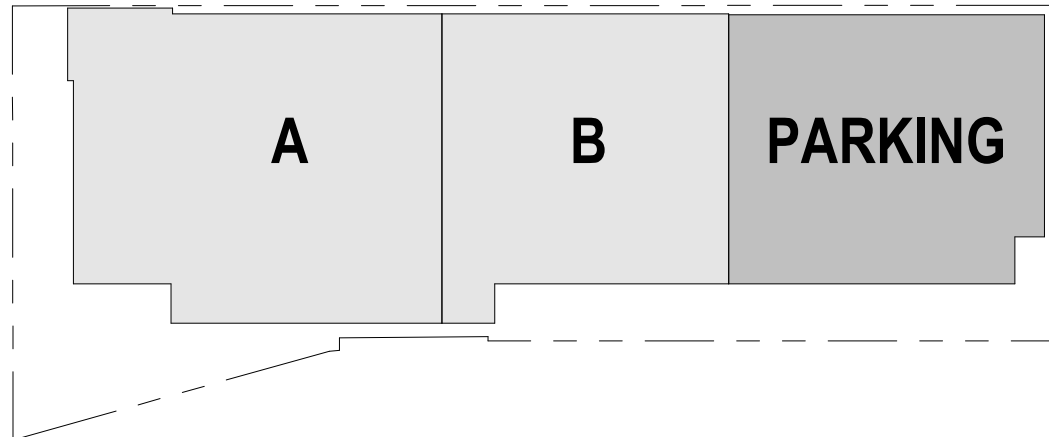
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FLOOR PLAN NOTES

1/8" = 1'-0"

- SURFACE MOUNTED FIRE EXTINGUISHING CABINET, PORTABLE FIRE EXTINGUISHER 2-A RATED, 0-F-C-1.
- FLOOR DRAIN, S.P.D.
- FLOOR SINK, S.P.D.
- FLOOR CLEANOUT, S.P.D.
- ROOF DRAIN
- PARTITION AS SCHEDULED, HEIGHT PER PARTITION TYPE, U.O.N.
- ATYPICAL-HEIGHT PARTITION, HEIGHT AS NOTED.
- PROPERTY LINE
- DOOR TAG, SEE A10.11/A10.12
- CURTAIN WALL / STOREFRONT TAG, SEE A10.02/A10.03
- WINDOW TAG, SEE A10.01

FLOOR PLAN LEGEND



KEY PLAN 3_PARKING

1" = 100'-0"

CLIENT
REDCO development LLC
four embarcadero center, suite 1400
san francisco, ca 94111
415.450.1466
www.recodevelopment.com

ARCHITECT
brick.
405 14th street, suite 500
oakland, ca 94612
910.510.0167
www.brick-inc.com

CONSULTANT

4 2022.05.12 ZONING APPLICATION RESUBMITTAL
3 2022.04.01 ZONING APPLICATION RESUBMITTAL
2 2021.12.08 ZONING APPLICATION RESUBMITTAL
1 2021.08.19 ZONING APPLICATION

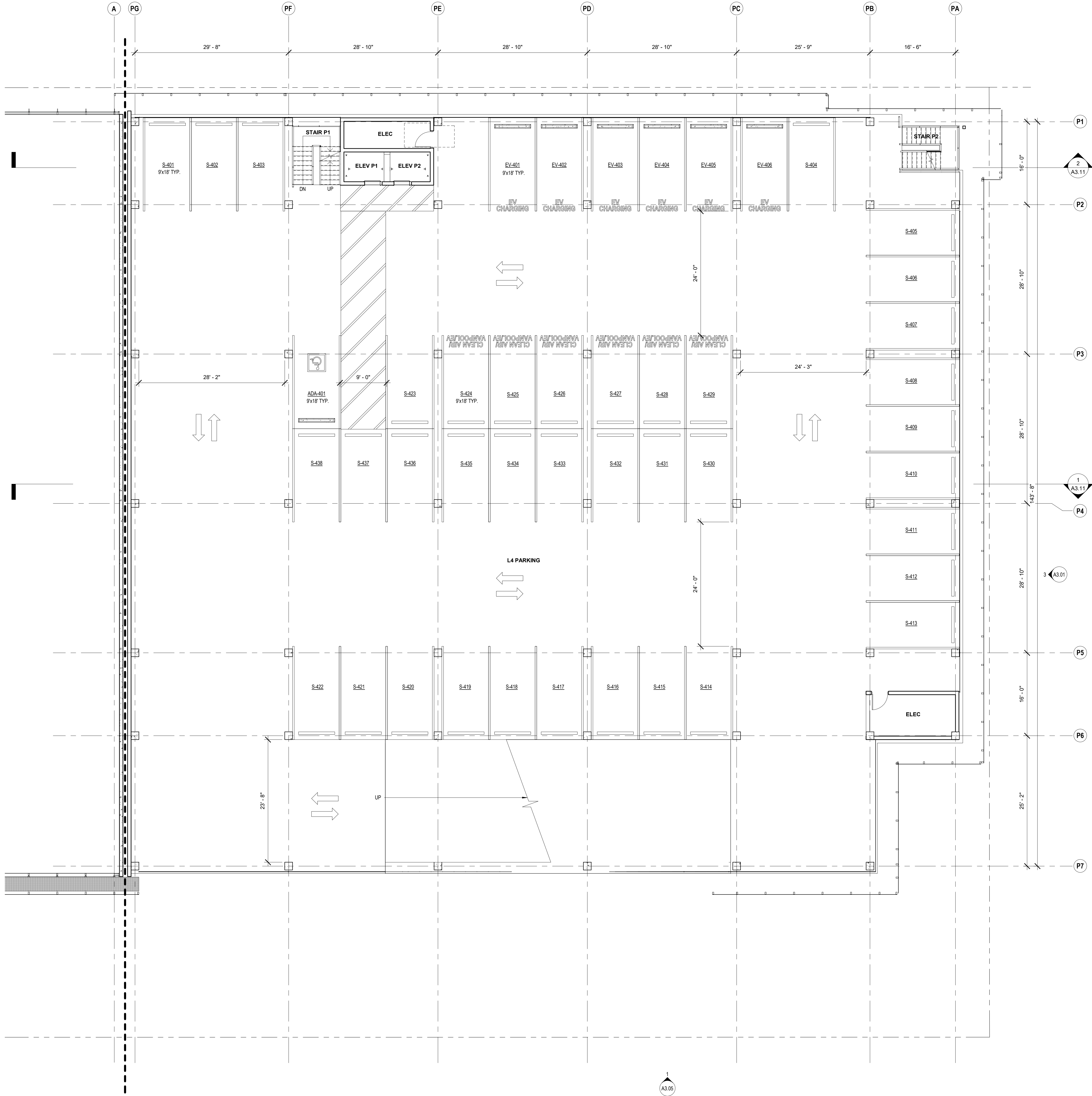
date issue description

700 Grayson Street
700 grayson street
berkeley, ca 94710

project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

LEVEL 3 - PARKING

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File: BIM 30071242 Grayson 18-221 742 Grayson Central.rvt



KEYNOTES

KEYNOTE LEGEND

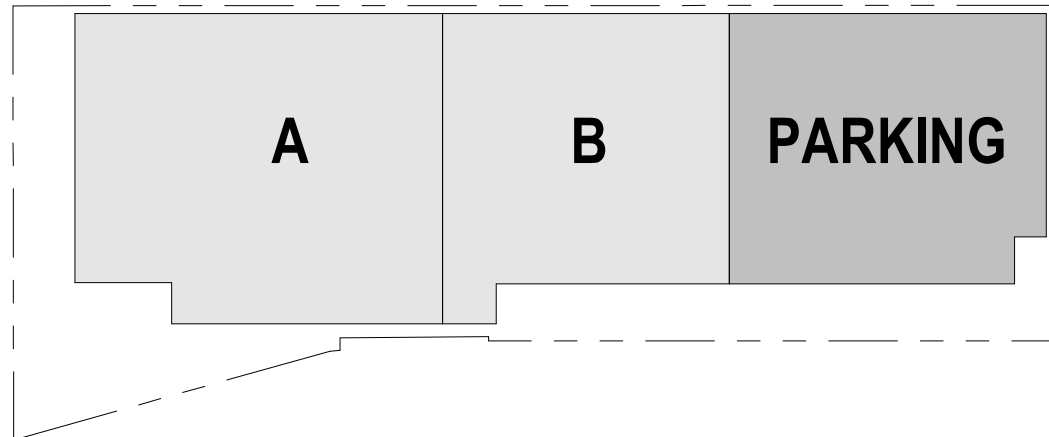
1. PROVIDE A CLEAR HORIZONTAL DIMENSION OF 1'-6" MINIMUM FROM STRIKE FACE OF DOOR JAMB TO THE NEAREST RETURNING PARTITION OR OBSTACLE AT THE PULL SIDE OF THE DOOR. LOCATE THE DOOR STOP TO ALLOW FOR A MINIMUM 90 DEGREE SWING.
2. PROVIDE THE REQUIRED BACKING, BRACING AND BLOCKING FOR ATTACHMENT OF CASEWORK, EQUIPMENT AND OTHER WORK.
3. CONTRACTOR SHALL COORDINATE KEYING REQUIREMENTS WITH BUILDING OWNER.
4. ALL OPEN JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED AND WEATHER-STRIPPED TO LIMIT AIR LEAKAGE. PENETRATIONS AT RATED PARTITIONS SHALL BE FIRE SAFE TO MAINTAIN RATING.
5. CONCEALED WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED, TYP.
6. VERIFY DIMENSIONS SHOWN WITH FIELD MEASUREMENTS. CHECK LEVELS AND LINES INDICATED PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR ADJUSTMENT OR CORRECTION. WORK SHALL PROCEED ONLY AFTER THE DISCREPANCY HAS BEEN RESOLVED.
7. WHERE CONFLICTS OCCUR, CONTRACTOR SHALL COORDINATE THE LAYOUT AND EXACT LOCATION OF PARTITIONS, DOORS, TELEPHONE, ELECTRICAL & COMMUNICATIONS OUTLETS AND SWITCHES WITH THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
8. DIMENSIONS ARE F.O.F. OR CENTERLINE OF STUD, U.O.N.
9. SEE SHEET A8.41 FOR ALL TYPICAL ROOF DETAILS.

FLOOR PLAN NOTES

1/8" = 1'-0"

- ◆ FEC ◆ SURFACE MOUNTED FIRE EXTINGUISHING CABINET, PORTABLE FIRE EXTINGUISHER 2-A RATED, 0-F.C.I.
- ⊙ FLOOR DRAIN, S.P.D.
- ⊖ FLOOR SINK, S.P.D.
- FLOOR CLEANOUT, S.P.D.
- ⊙ ROOF DRAIN
- ◆ A1 ◆ PARTITION AS SCHEDULED, HEIGHT PER PARTITION TYPE, U.O.N.
- ◆ A1 ◆ ATYPICAL-HEIGHT PARTITION, HEIGHT AS NOTED.
- PROPERTY LINE
- ◆ A-100 ◆ DOOR TAG, SEE A10.11/A10.12
- ◆ SF101 ◆ CURTAIN WALL / STOREFRONT TAG, SEE A10.02/A10.03
- ◆ W01 ◆ WINDOW TAG, SEE A10.01

FLOOR PLAN LEGEND



KEY PLAN 2_PARKING

1" = 100'-0"

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1 2021.08.19 ZONING APPLICATION

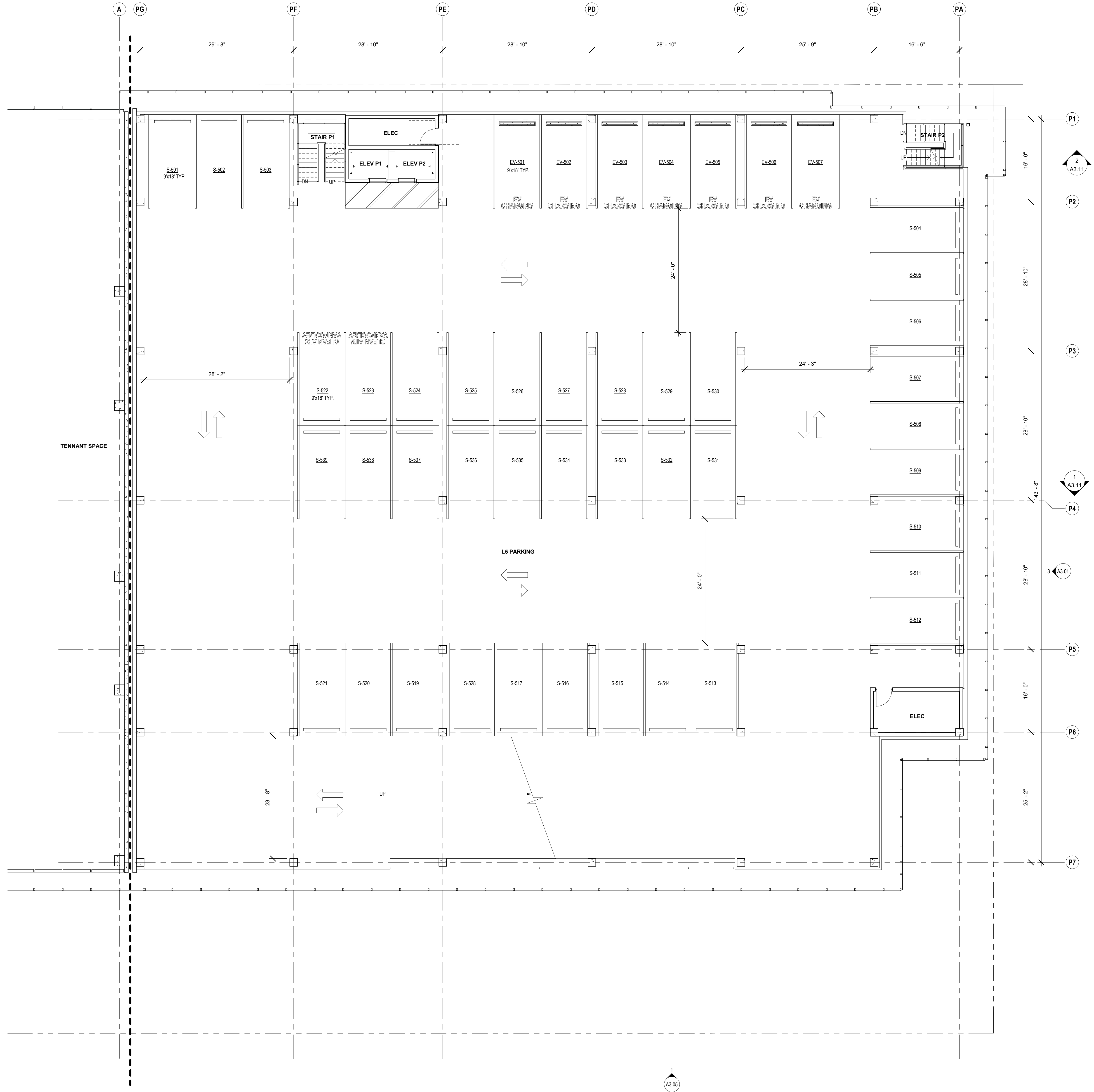
date issue description

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LEVEL 4 - PARKING

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KEYNOTES

KEYNOTE LEGEND

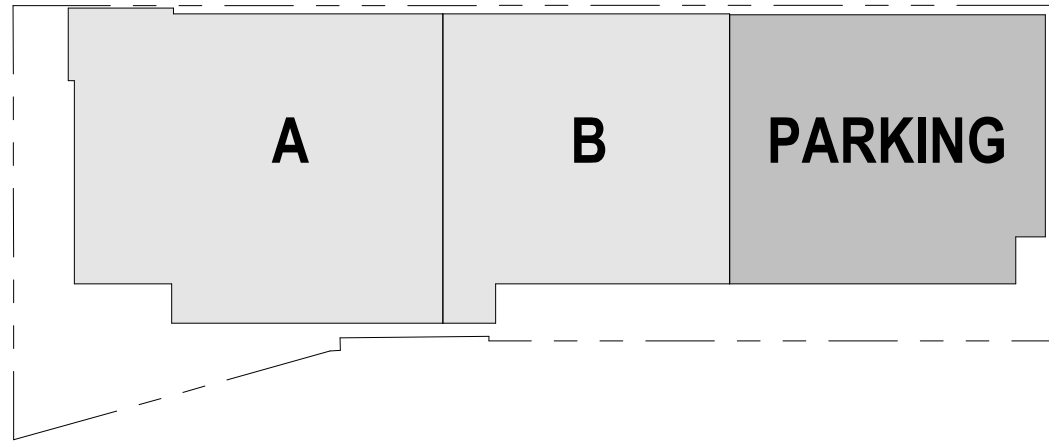
1. PROVIDE A CLEAR HORIZONTAL DIMENSION OF 1'-6\"/>

FLOOR PLAN NOTES

1/8" = 1'-0"

- SURFACE MOUNTED FIRE EXTINGUISHING CABINET, PORTABLE FIRE EXTINGUISHER 2-A RATED, 0-F.C.I.
- FLOOR DRAIN, S.P.D.
- FLOOR SINK, S.P.D.
- FLOOR CLEANOUT, S.P.D.
- ROOF DRAIN
- PARTITION AS SCHEDULED, HEIGHT PER PARTITION TYPE, U.O.N.
- ATYPICAL-HEIGHT PARTITION, HEIGHT AS NOTED.
- PROPERTY LINE
- DOOR TAG, SEE A10.11/A10.12
- CURTAIN WALL / STOREFRONT TAG, SEE A10.02/A10.03
- WINDOW TAG, SEE A10.01

FLOOR PLAN LEGEND



KEY PLAN 4-7_PARKING

1" = 100'-0"

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2 2021.12.08 ZONING APPLICATION RESUBMITTAL
1 2021.08.19 ZONING APPLICATION

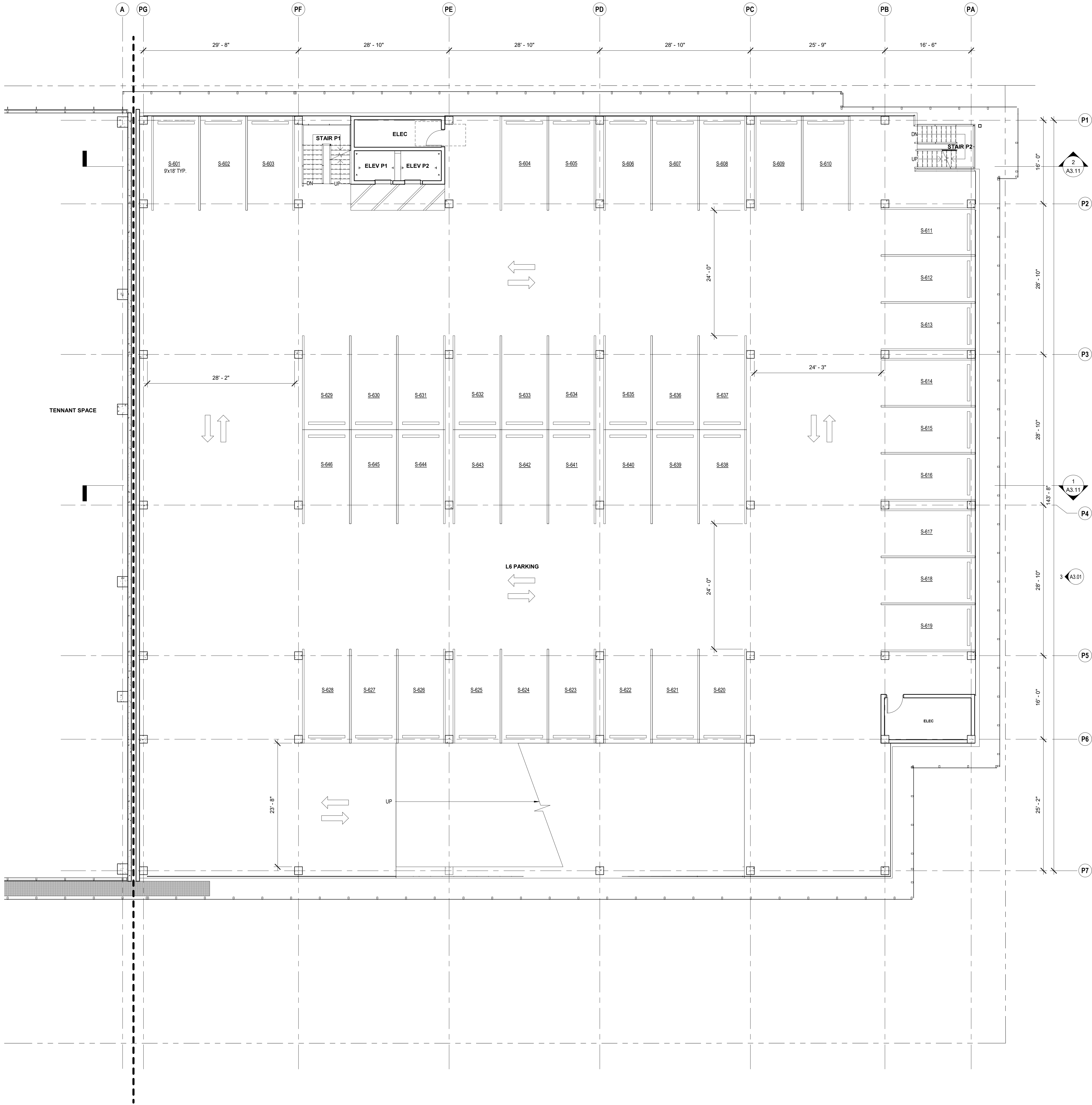
date issue description

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project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

LEVEL 5 - PARKING

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KEYNOTES

KEYNOTE LEGEND

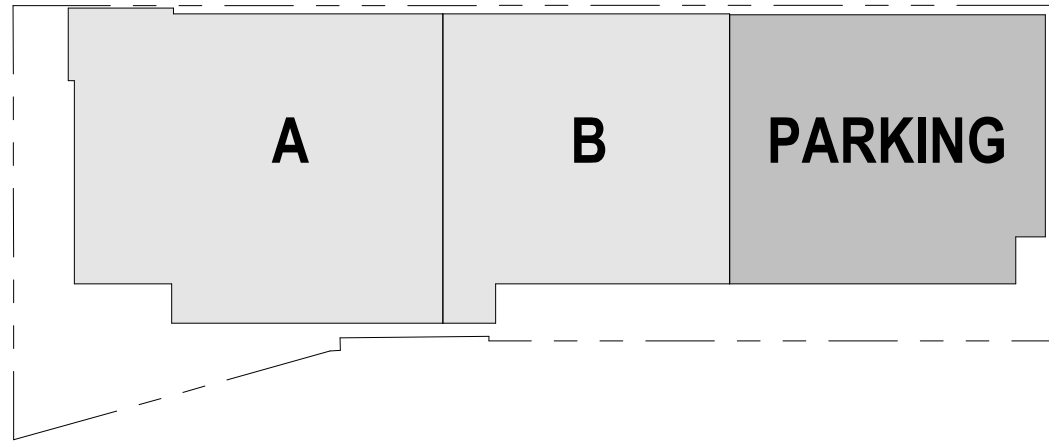
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5. CONCEALED WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED, TYP.
6. VERIFY DIMENSIONS SHOWN WITH FIELD MEASUREMENTS. CHECK LEVELS AND LINES INDICATED PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR ADJUSTMENT OR CORRECTION. WORK SHALL PROCEED ONLY AFTER THE DISCREPANCY HAS BEEN RESOLVED.
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8. DIMENSIONS ARE F.O.F. OR CENTERLINE OF STUD, U.O.N.
9. SEE SHEET A8.41 FOR ALL TYPICAL ROOF DETAILS.

FLOOR PLAN NOTES

1/8" = 1'-0"

- SURFACE MOUNTED FIRE EXTINGUISHING CABINET, PORTABLE FIRE EXTINGUISHER 2-A RATED, 0-F.C.I.
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- FLOOR SINK, S.P.D.
- FLOOR CLEANOUT, S.P.D.
- ROOF DRAIN
- PARTITION AS SCHEDULED, HEIGHT PER PARTITION TYPE, U.O.N.
- ATYPICAL-HEIGHT PARTITION, HEIGHT AS NOTED.
- PROPERTY LINE
- DOOR TAG, SEE A10.11/A10.12
- CURTAIN WALL / STOREFRONT TAG, SEE A10.02/A10.03
- WINDOW TAG, SEE A10.01

FLOOR PLAN LEGEND



KEY PLAN 4-7_PARKING

1" = 100'-0"

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3 2022.04.01 ZONING APPLICATION RESUBMITTAL
2 2021.12.08 ZONING APPLICATION RESUBMITTAL
1 2021.08.19 ZONING APPLICATION

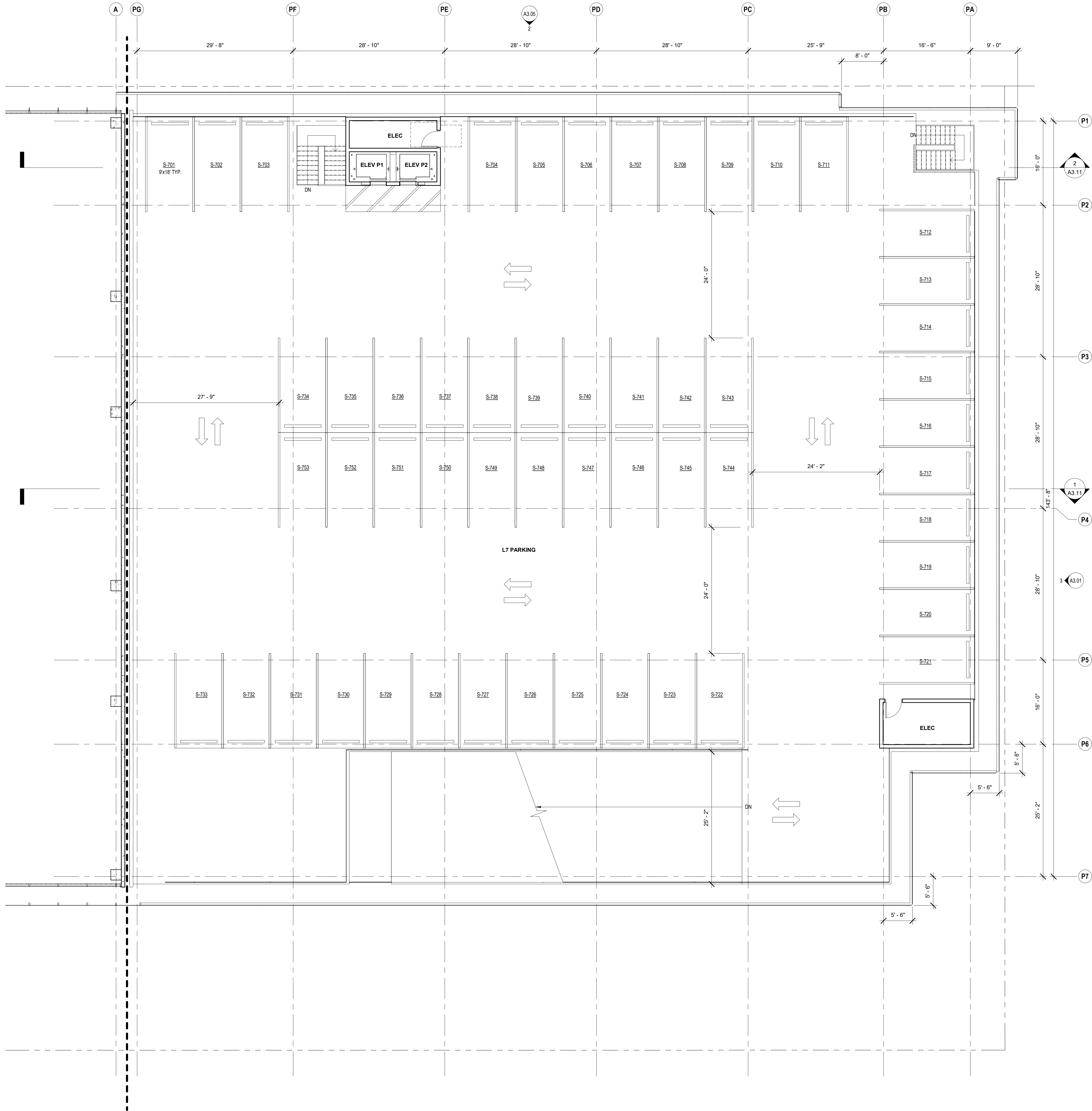
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berkeley, ca 94710

project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

LEVEL 6 - PARKING

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File: BIM 3001742_700 Grayson 18-221 742 Grayson Central.rvt



KEYNOTES

KEYNOTE LEGEND

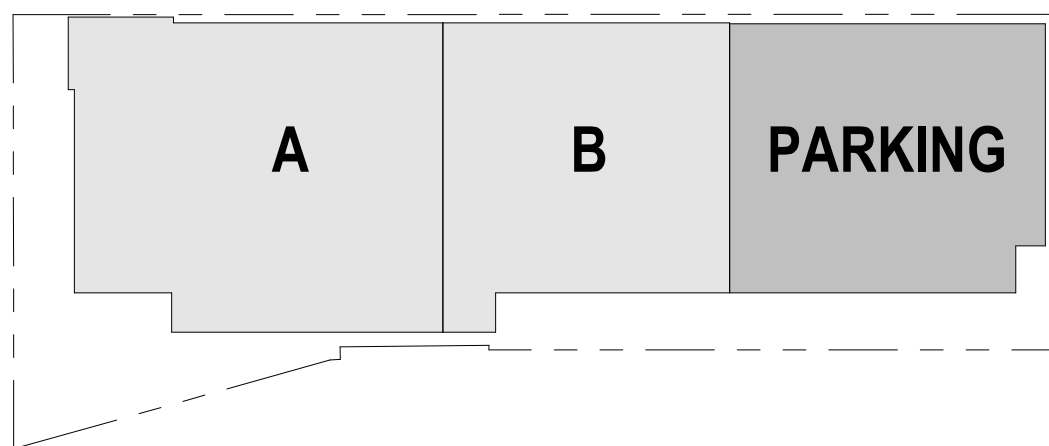
1. PROVIDE A CLEAR HORIZONTAL DIMENSION OF 1'-6" MINIMUM FROM STRIKE FACE OF DOOR JAMB TO THE NEAREST RETURNING PARTITION OR OBSTACLE AT THE PULL SIDE OF THE DOOR. LOCATE THE DOOR STOP TO ALLOW FOR A MINIMUM 90 DEGREE SWING.
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8. DIMENSIONS ARE F.O.F. OR CENTERLINE OF STUD, U.O.N.
9. SEE SHEET A8.41 FOR ALL TYPICAL ROOF DETAILS.

FLOOR PLAN NOTES

1/8" = 1'-0"

- SURFACE MOUNTED FIRE EXTINGUISHING CABINET, PORTABLE FIRE EXTINGUISHER 2-A RATED, 0-F.C.I.
- FLOOR DRAIN, S.P.D.
- FLOOR SINK, S.P.D.
- FLOOR CLEANOUT, S.P.D.
- ROOF DRAIN
- PARTITION AS SCHEDULED, HEIGHT PER PARTITION TYPE, U.O.N.
- ATYPICAL-HEIGHT PARTITION, HEIGHT AS NOTED.
- PROPERTY LINE
- DOOR TAG, SEE A10.11/A10.12
- CURTAIN WALL / STOREFRONT TAG, SEE A10.02/A10.03
- WINDOW TAG, SEE A10.01

FLOOR PLAN LEGEND



KEY PLAN 4-7_PARKING

1" = 100'-0"

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www.redcodevelopment.com

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CONSULTANT

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4 2022.05.12 ZONING APPLICATION RESUBMITTAL
3 2022.04.01 ZONING APPLICATION RESUBMITTAL
2 2021.12.08 ZONING APPLICATION RESUBMITTAL
1 2021.08.19 ZONING APPLICATION

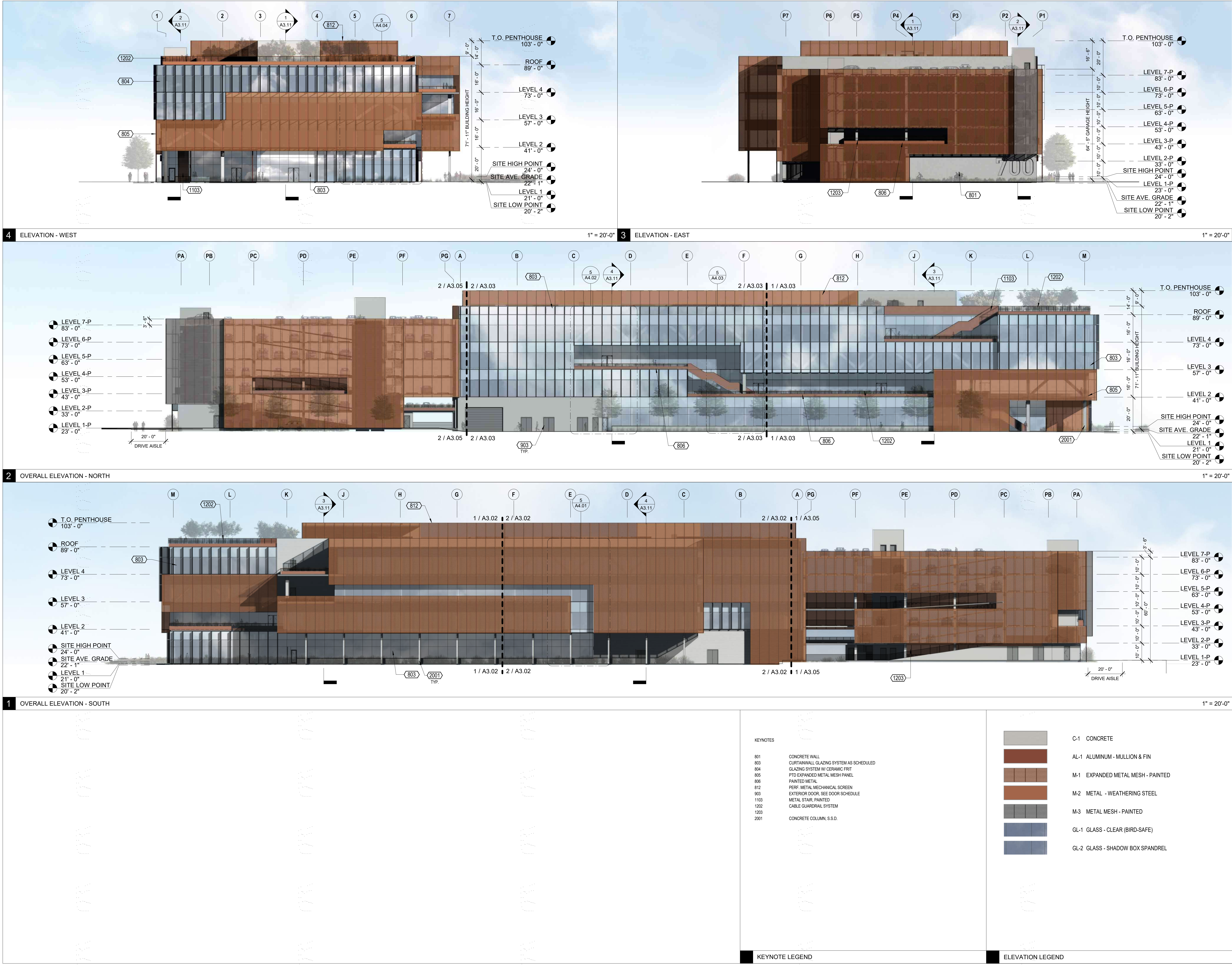
date issue description

700 Grayson Street
700 grayson street
berkeley, ca 94710

project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

LEVEL 7 - PARKING

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File: BIM 3001742 700 Grayson 18-221 742 Grayson Central.rvt



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415.450.1466
www.recodevelopment.com

ARCHITECT
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405 14th street, suite 500
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CONSULTANT

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4 2022.05.12 ZONING APPLICATION RESUBMITTAL
3 2022.04.01 ZONING APPLICATION RESUBMITTAL
2 2021.12.08 ZONING APPLICATION RESUBMITTAL
1 2021.08.19 ZONING APPLICATION

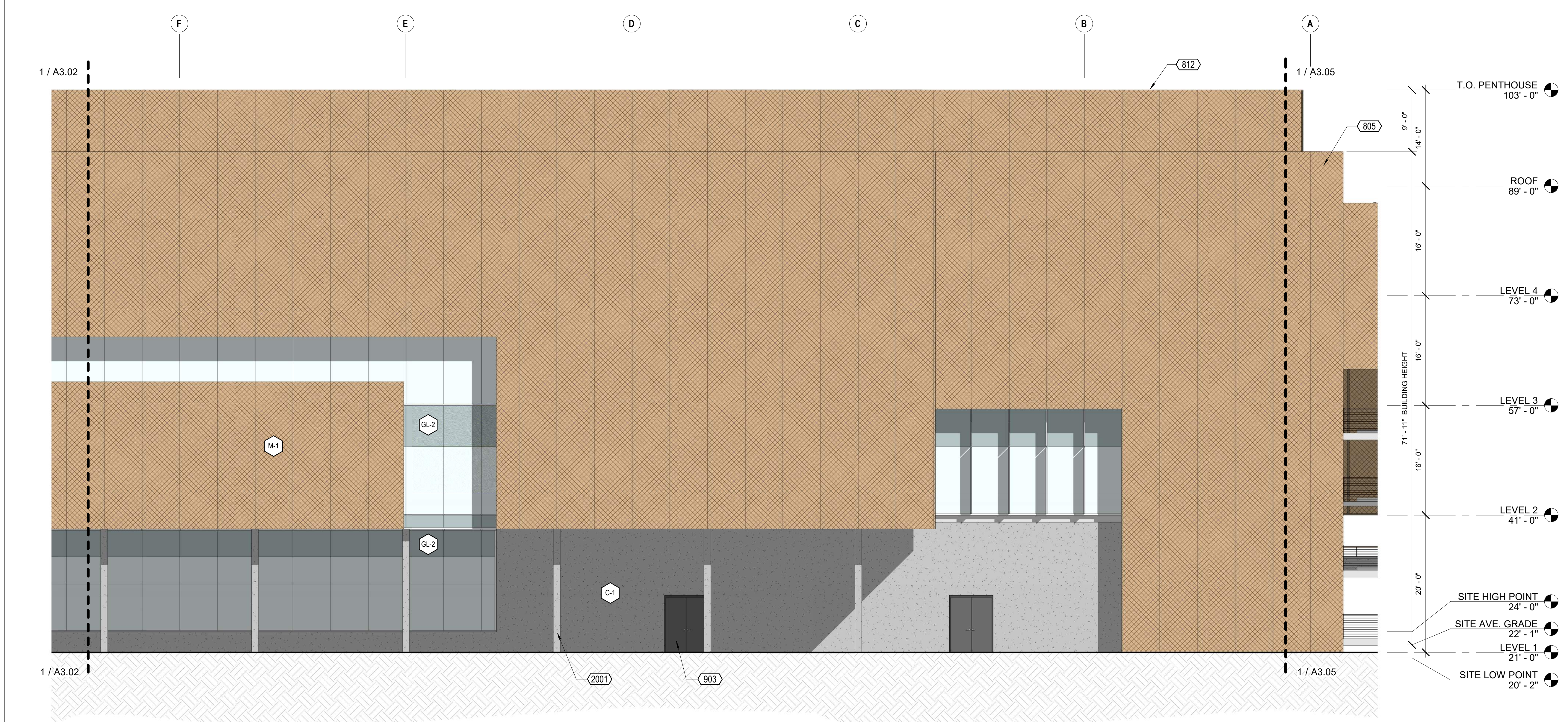
date issue description

700 Grayson Street
700 grayson street
berkeley, ca 94710

project number: 18-221
date: 2021.12.08
drawn by: RZ

OVERALL ELEVATIONS

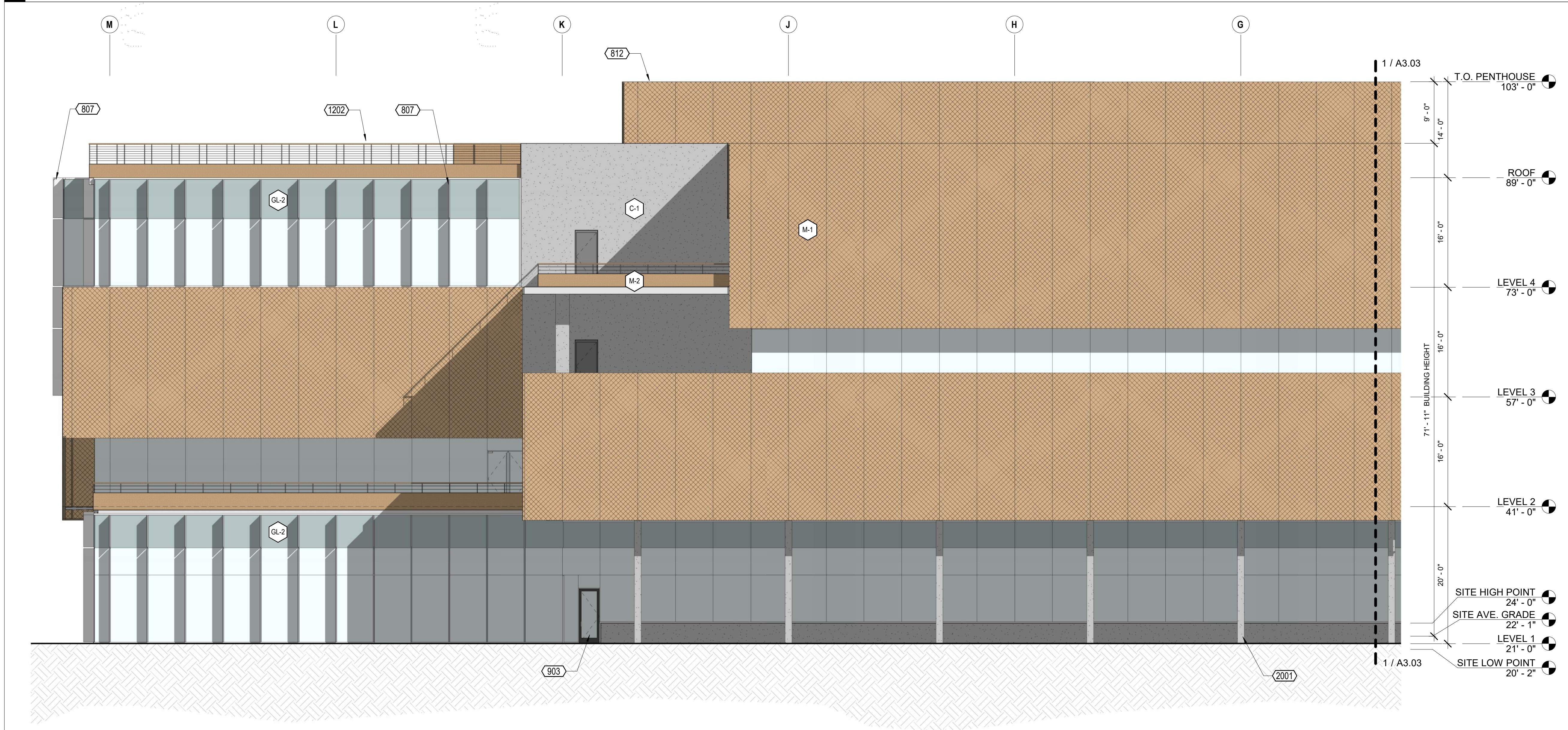
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2 MAIN BLDG ELEV - SOUTH B

1/8" = 1'-0"

ELEVATION LEGEND



1 MAIN BLDG ELEV - SOUTH A

1/8" = 1'-0"

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4 2022.05.12 ZONING APPLICATION RESUBMITTAL
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2 2021.12.08 ZONING APPLICATION RESUBMITTAL
1 2021.08.19 ZONING APPLICATION

date issue description

700 Grayson Street
700 grayson street
berkeley, ca 94710

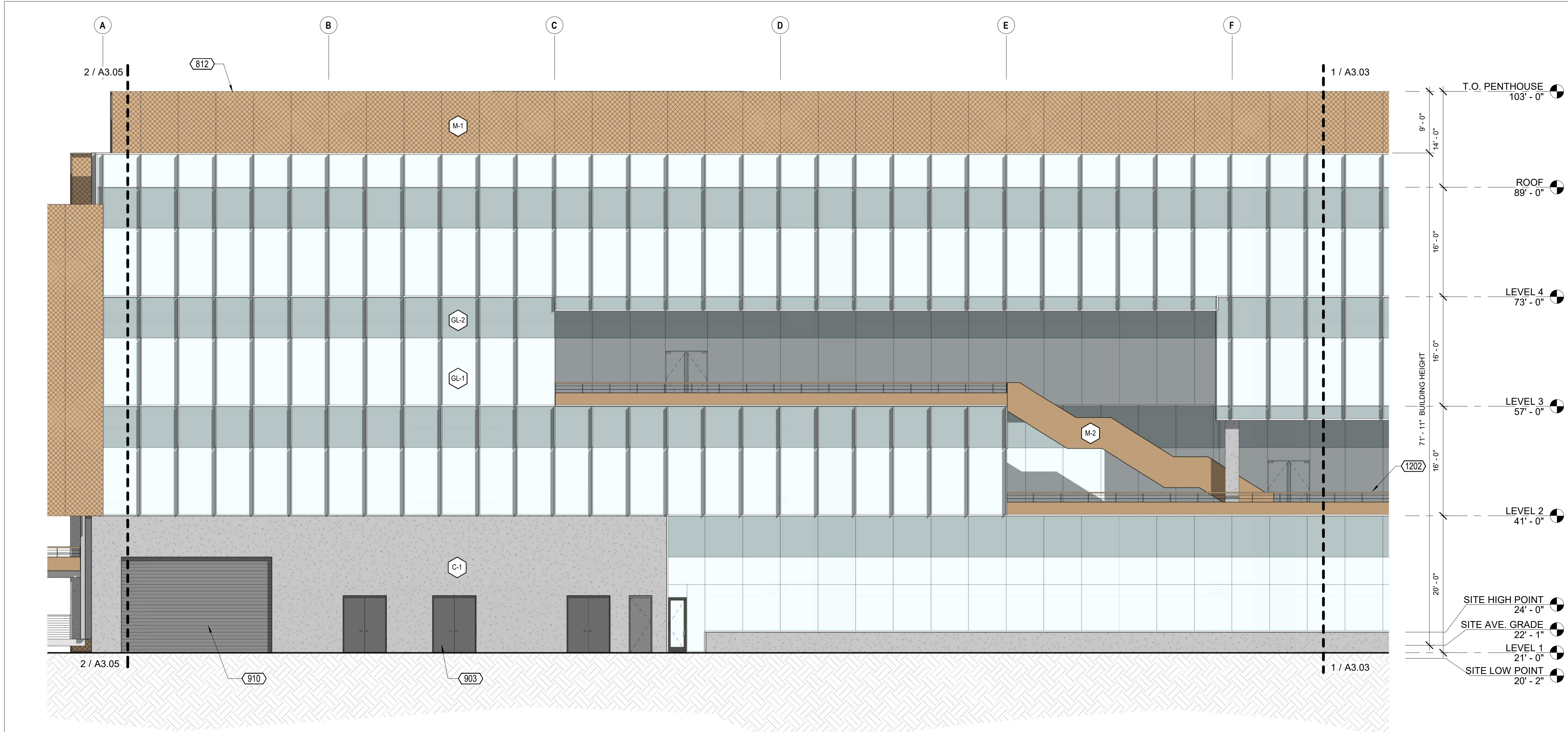
project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

**EXTERIOR
ELEVATIONS - MAIN
BUILDING - SOUTH**

A3.02

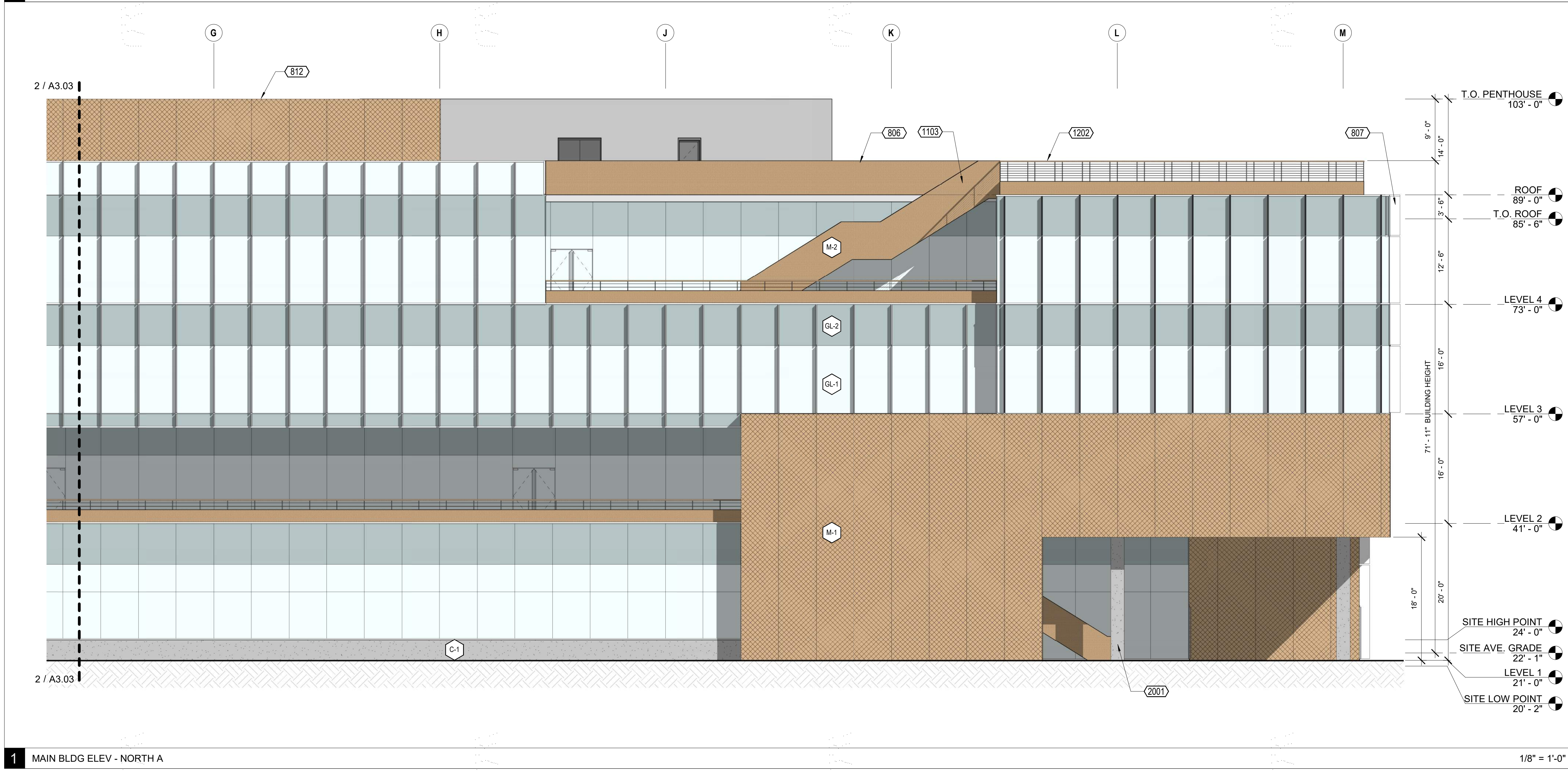
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2 MAIN BLDG ELEV - NORTH B

1/8" = 1'-0" ELEVATION LEGEND



1 MAIN BLDG ELEV - NORTH A

1/8" = 1'-0"

KEYNOTES

- 806 PAINTED METAL
- 807 XXX
- 812 PERF. METAL MECHANICAL SCREEN
- 903 EXTERIOR DOOR, SEE DOOR SCHEDULE
- 910 METAL STAR, PAINTED
- 1103 CABLE GUARDRAIL SYSTEM
- 1202 CONCRETE COLUMN, S.S.D.
- 2001

KEYNOTE LEGEND

- C-1 CONCRETE
- AL-1 ALUMINUM - MULLION & FIN
- M-1 EXPANDED METAL MESH - PAINTED
- M-2 METAL - WEATHERING STEEL
- M-3 METAL MESH - PAINTED
- GL-1 GLASS - CLEAR (BIRD-SAFE)
- GL-2 GLASS - SHADOW BOX SPANDREL

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date issue description

700 Grayson Street
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berkeley, ca 94710

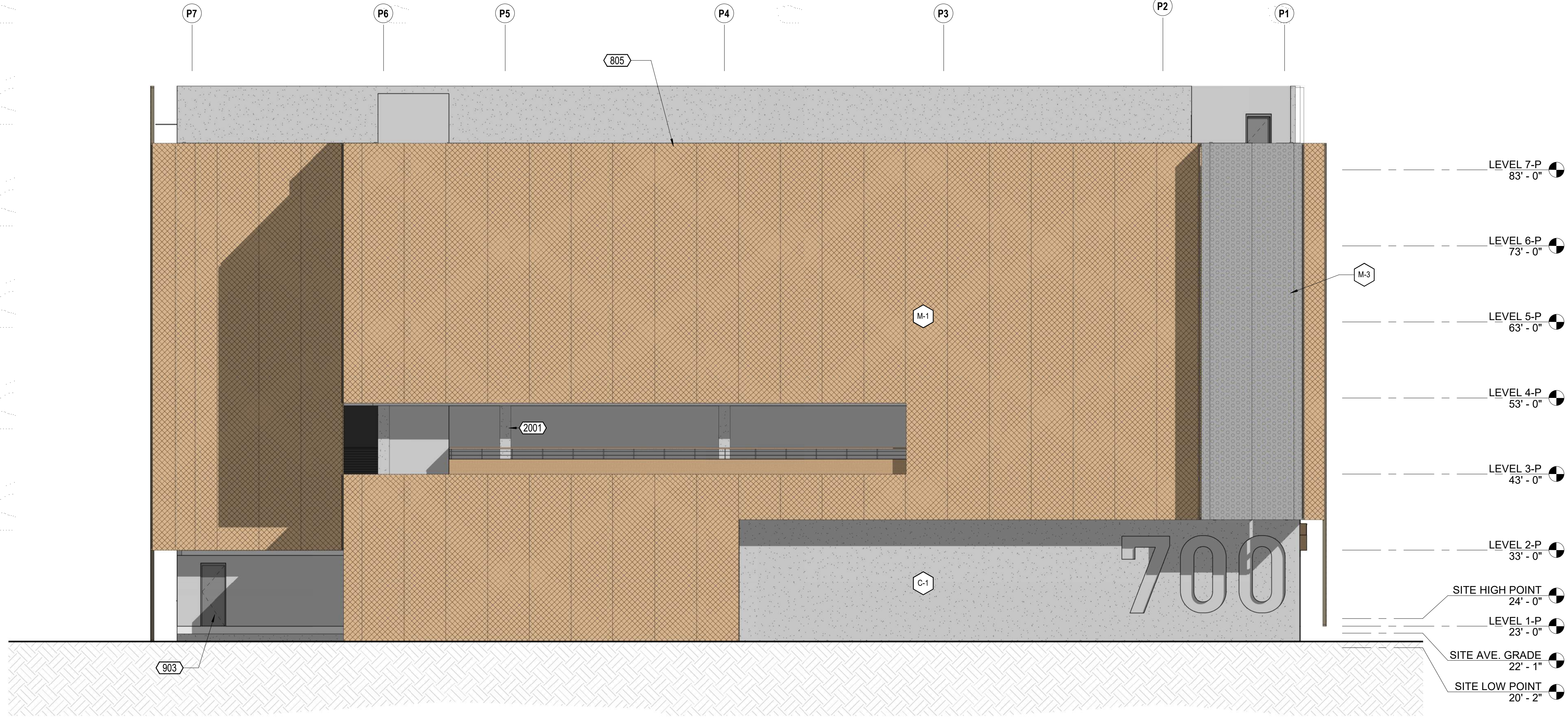
project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

**EXTERIOR
ELEVATIONS - MAIN
BUILDING - NORTH**

A3.03

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File: B104_30071742_700grayson.rvt



KEYNOTES

805 PTD EXPANDED METAL MESH PANEL
807 XXX
812 PERF. METAL MECHANICAL SCREEN
903 EXTERIOR DOOR, SEE DOOR SCHEDULE
1202 CABLE GUARDRAIL SYSTEM
2001 CONCRETE COLUMN, S.S.D.

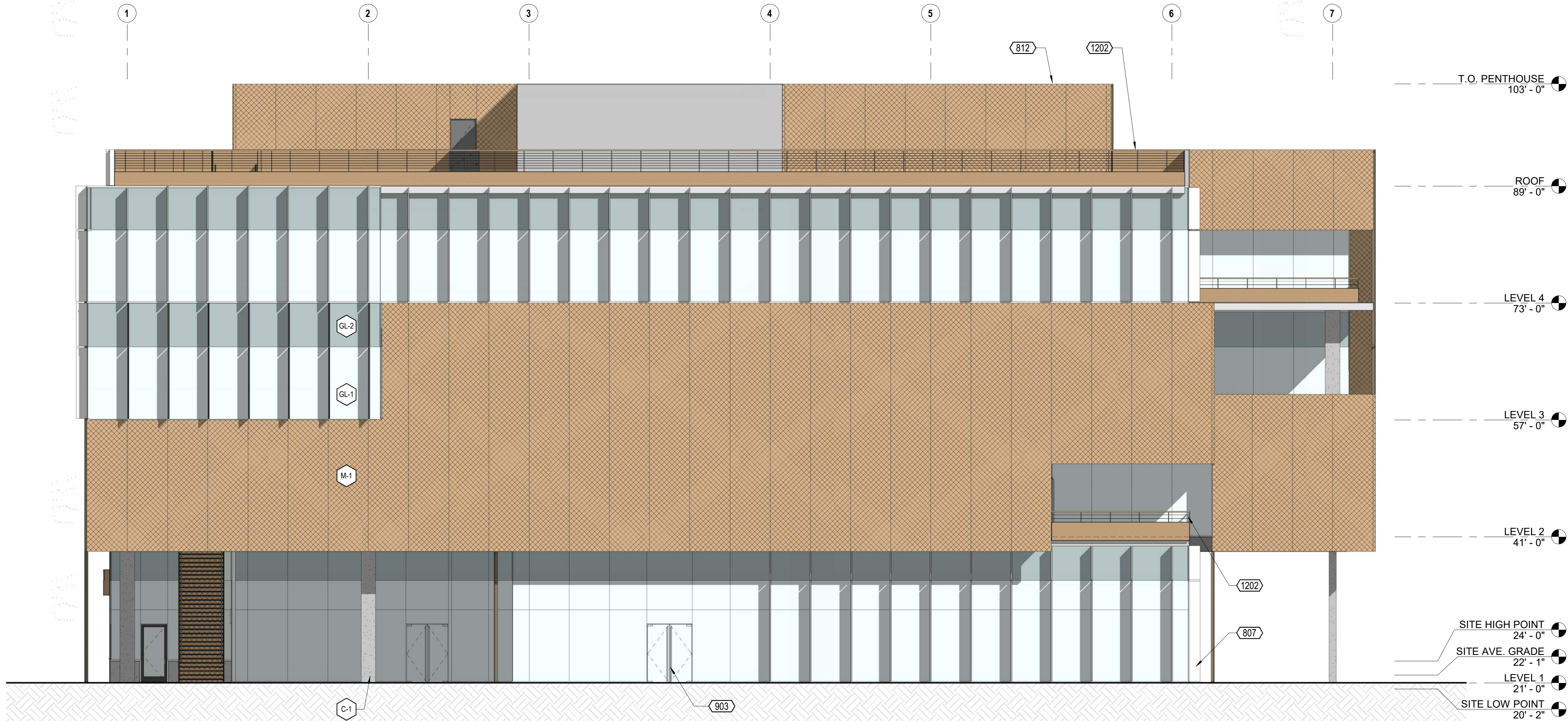
KEYNOTE LEGEND

	C-1 CONCRETE
	AL-1 ALUMINUM - MULLION & FIN
	M-1 EXPANDED METAL MESH - PAINTED
	M-2 METAL - WEATHERING STEEL
	M-3 METAL MESH - PAINTED
	GL-1 GLASS - CLEAR (BIRD-SAFE)
	GL-2 GLASS - SHADOW BOX SPANDREL

2 GARAGE ELEV - EAST

1/8" = 1'-0"

ELEVATION LEGEND



T.O. PENTHOUSE
103' - 0"

ROOF
89' - 0"

LEVEL 4
73' - 0"

LEVEL 3
57' - 0"

LEVEL 2
41' - 0"

SITE HIGH POINT
24' - 0"

SITE AVE. GRADE
22' - 1"

LEVEL 1
21' - 0"

SITE LOW POINT
20' - 2"

1 MAIN BLDG ELEV - WEST

1/8" = 1'-0"

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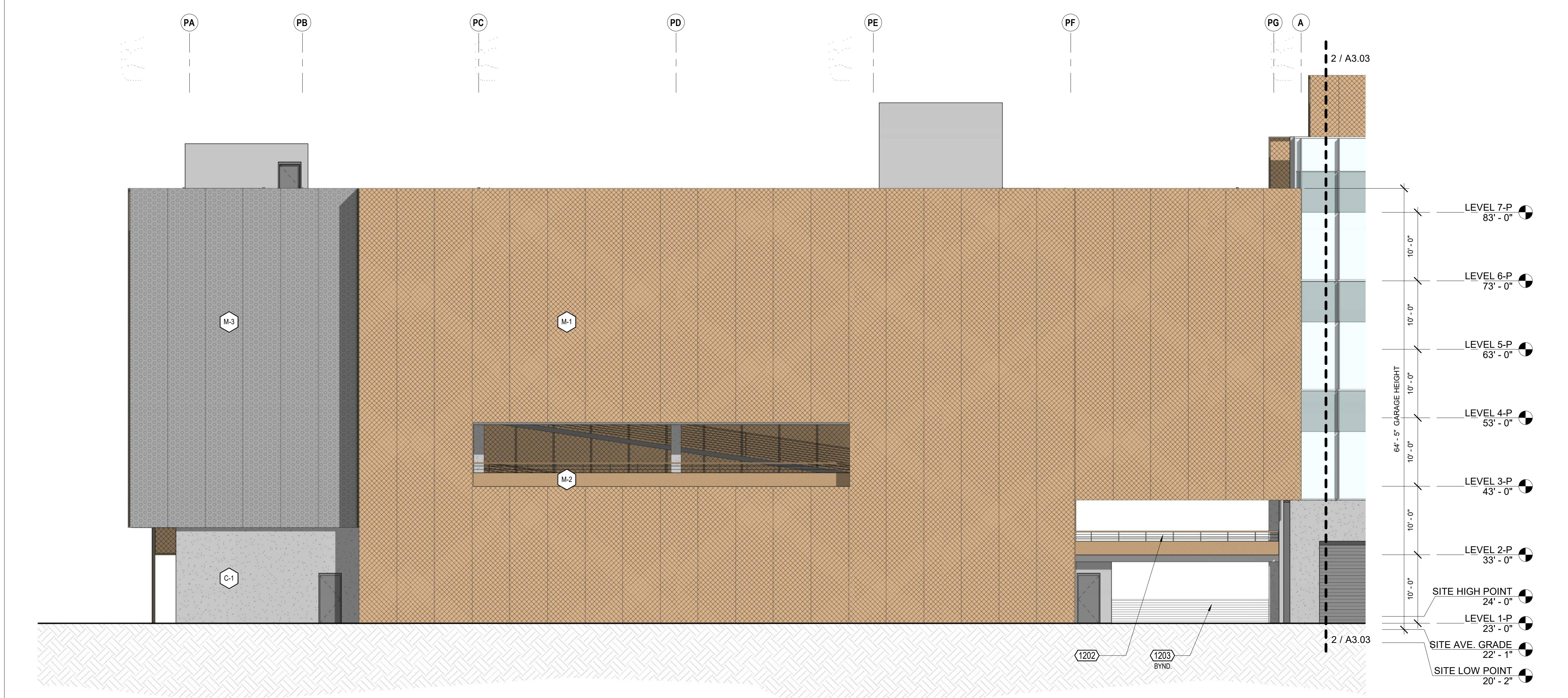
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date: 2021.12.08
drawn by: ROBERT ZIRKLE

**EXTERIOR
ELEVATIONS - EAST &
WEST**

A3.04

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KEYNOTES

805	PTD EXPANDED METAL MESH PANEL
1202	CABLE GUARDRAIL SYSTEM
1203	
2001	CONCRETE COLUMN, S.S.D.

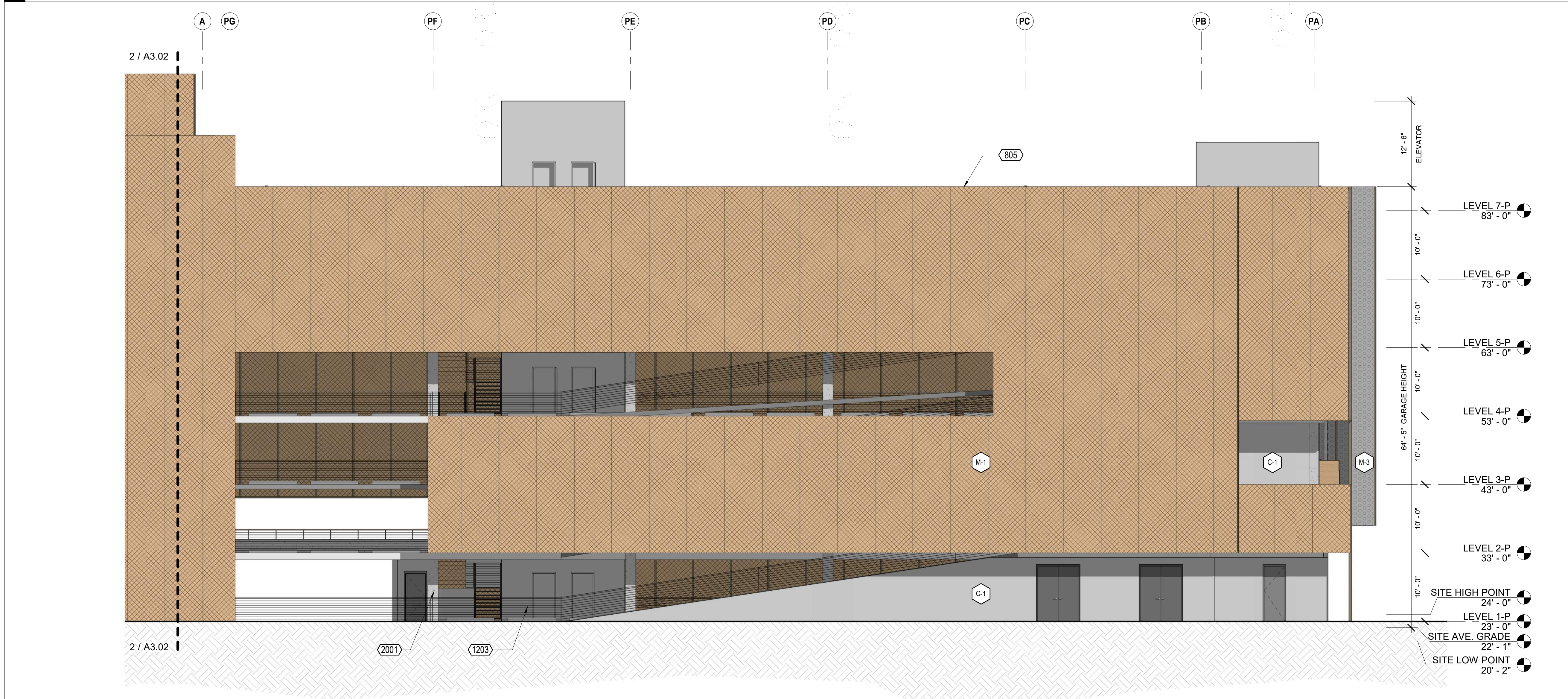
KEYNOTE LEGEND

	C-1 CONCRETE
	AL-1 ALUMINUM - MULLION & FIN
	M-1 EXPANDED METAL MESH - PAINTED
	M-2 METAL - WEATHERING STEEL
	M-3 METAL MESH - PAINTED
	GL-1 GLASS - CLEAR (BIRD-SAFE)
	GL-2 GLASS - SHADOW BOX SPANDEL

2 GARAGE ELEV - NORTH

1/8" = 1'-0"

ELEVATION LEGEND



1 GARAGE ELEV - SOUTH

1/8" = 1'-0"

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4	2022.05.12	ZONING APPLICATION RESUBMITTAL
3	2022.04.01	ZONING APPLICATION RESUBMITTAL
2	2021.12.08	ZONING APPLICATION RESUBMITTAL
1	2021.08.19	ZONING APPLICATION

date issue description

700 Grayson Street
700 grayson street
berkeley, ca 94710

project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

**EXTERIOR
ELEVATIONS -
GARAGE**

A3.05

NOT FOR CONSTRUCTION

brick.

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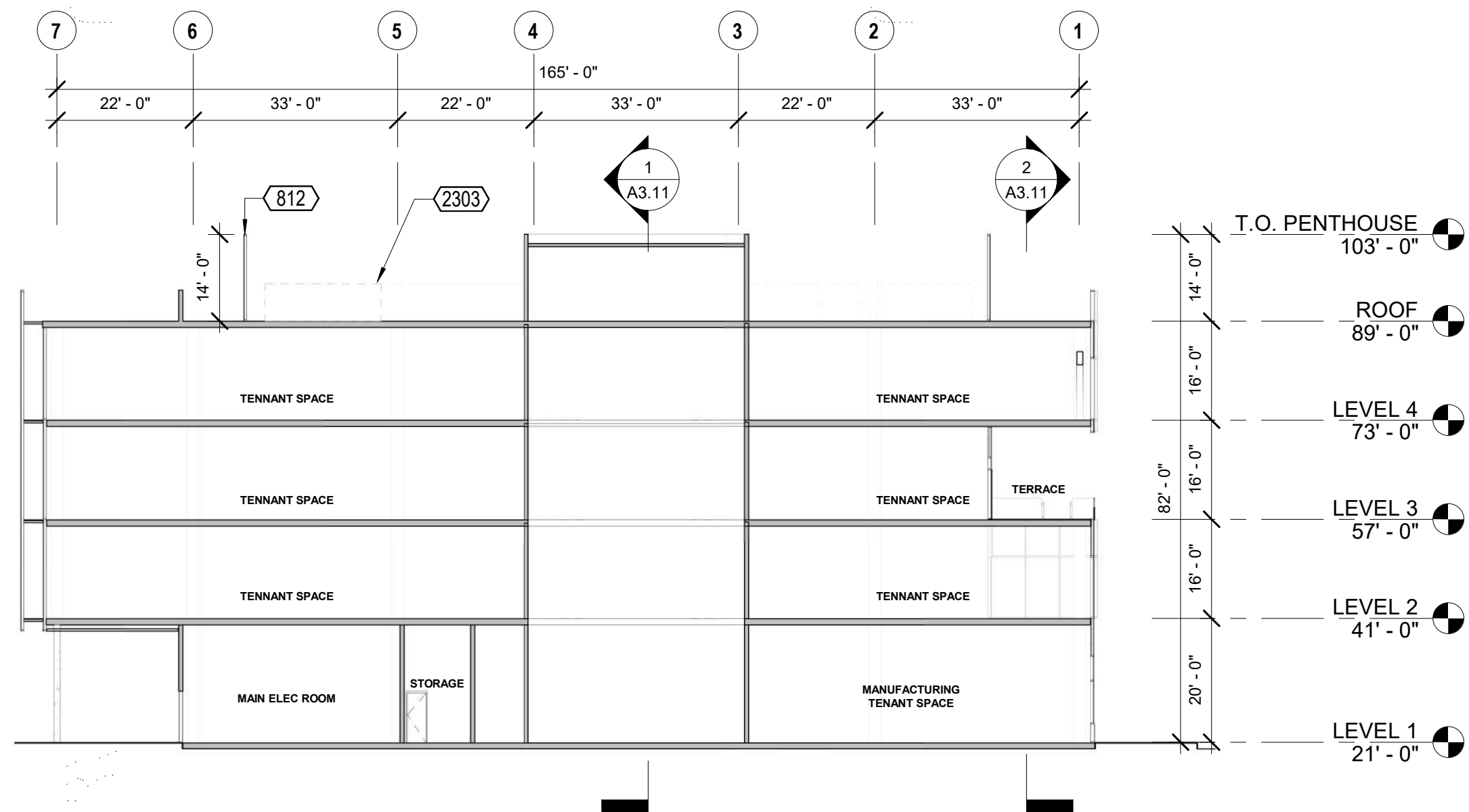
project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

**BUILDING SECTIONS -
OVERALL**

A3.11

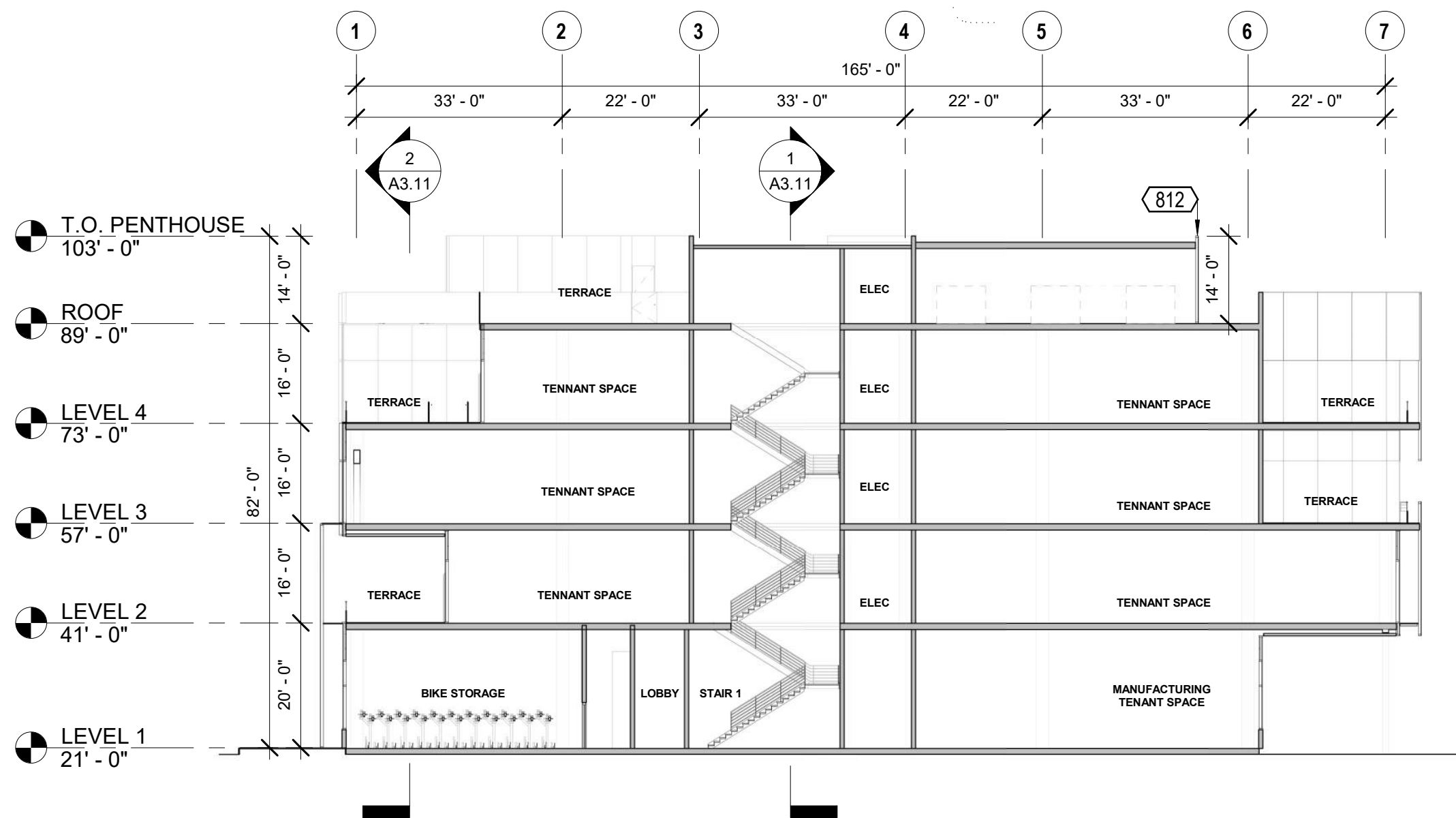
KEYNOTES

801 CONCRETE WALL
812 PERF. METAL MECHANICAL SCREEN
2303 MECHANICAL EQUIPMENT, S.M.D.



4 BUILDING SECTION N-S BETWEEN GRIDS C & D

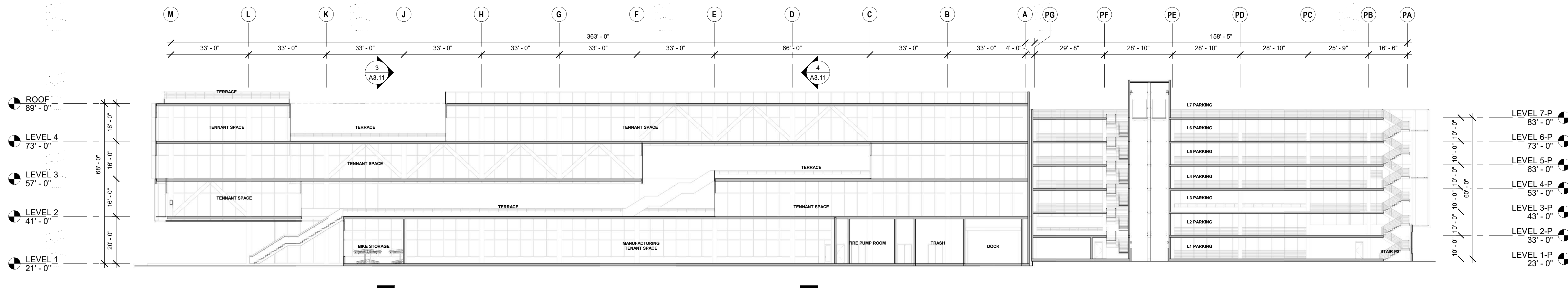
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3 BUILDING SECTION N-S BETWEEN GRIDS J & K

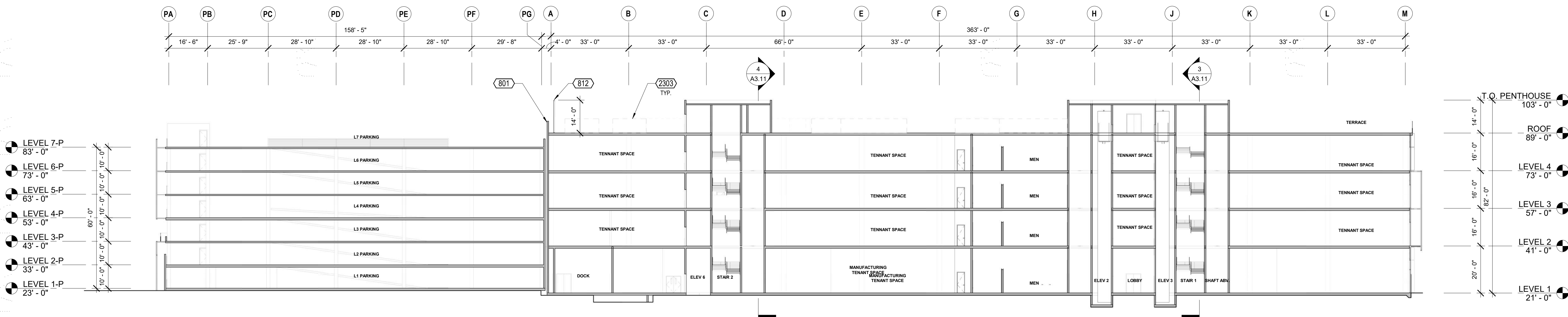
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KEYNOTE LEGEND



2 BUILDING SECTION E-W BETWEEN GRIDS 1 & 2

1" = 20'-0"

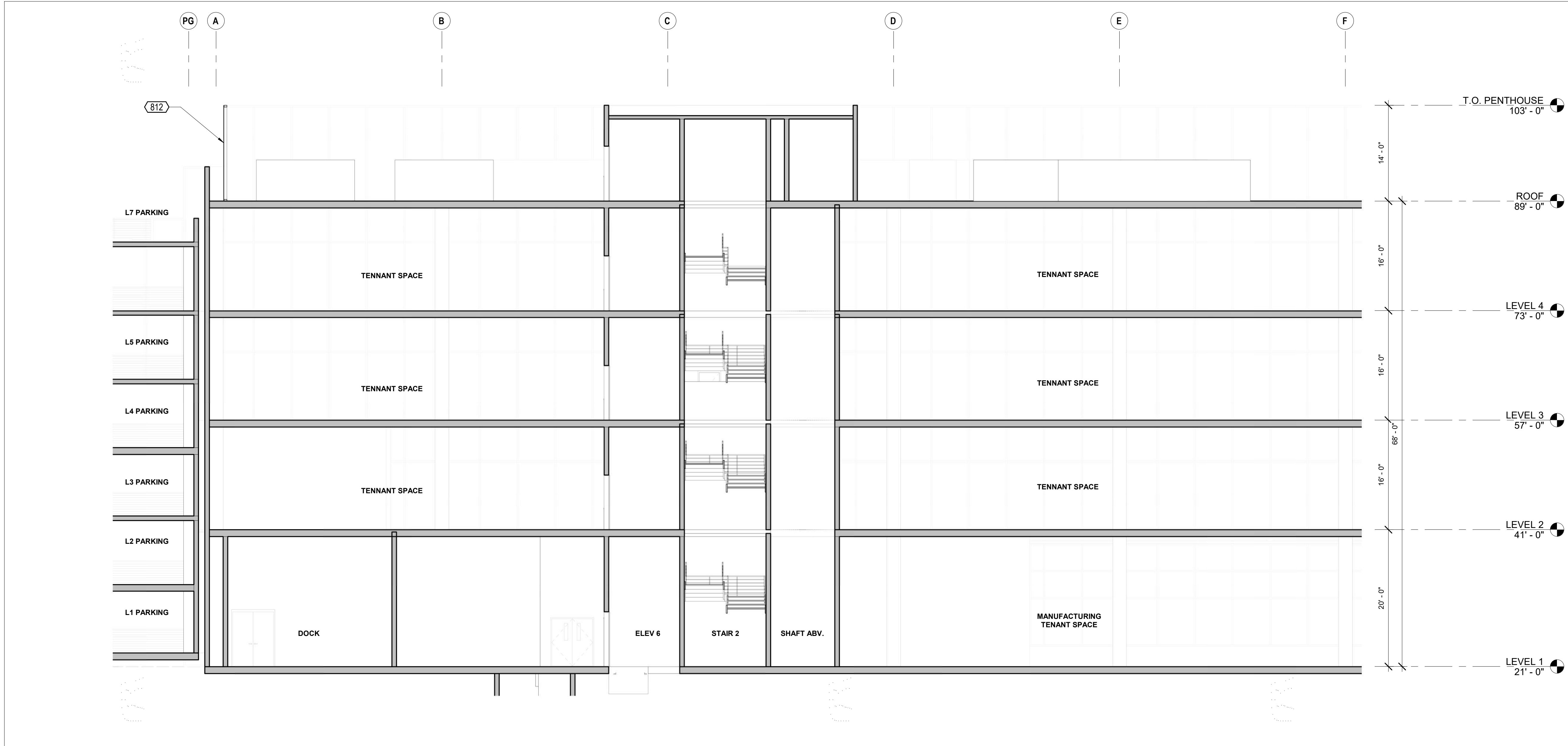


1 BUILDING SECTION E-W BETWEEN GRIDS P3 & P4

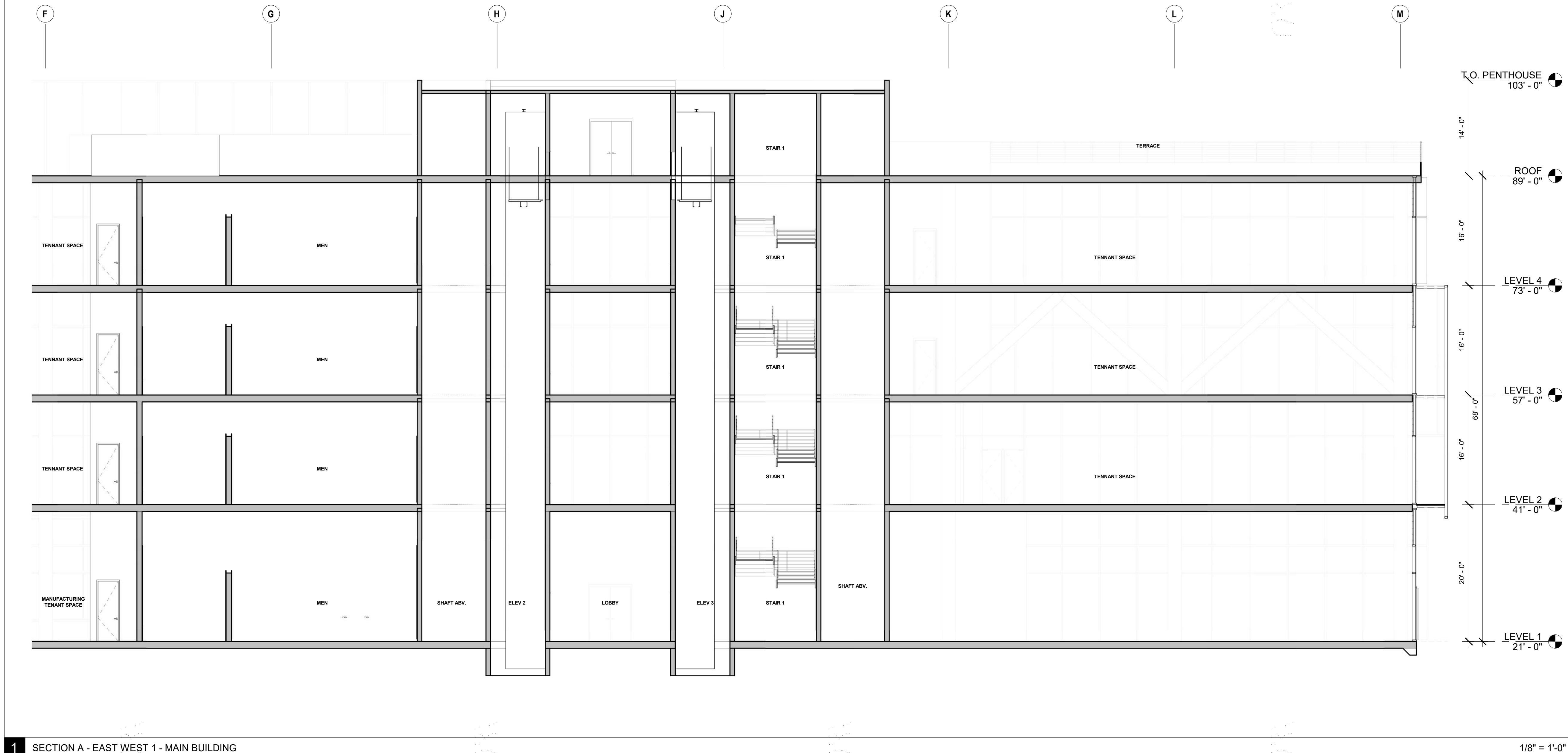
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File: BIM 30071242 Grayson 718-221 742 Grayson Central.rvt



2 SECTION A - EAST WEST 2 - MAIN BUILDING 1/8" = 1'-0"



1 SECTION A - EAST WEST 1 - MAIN BUILDING 1/8" = 1'-0"

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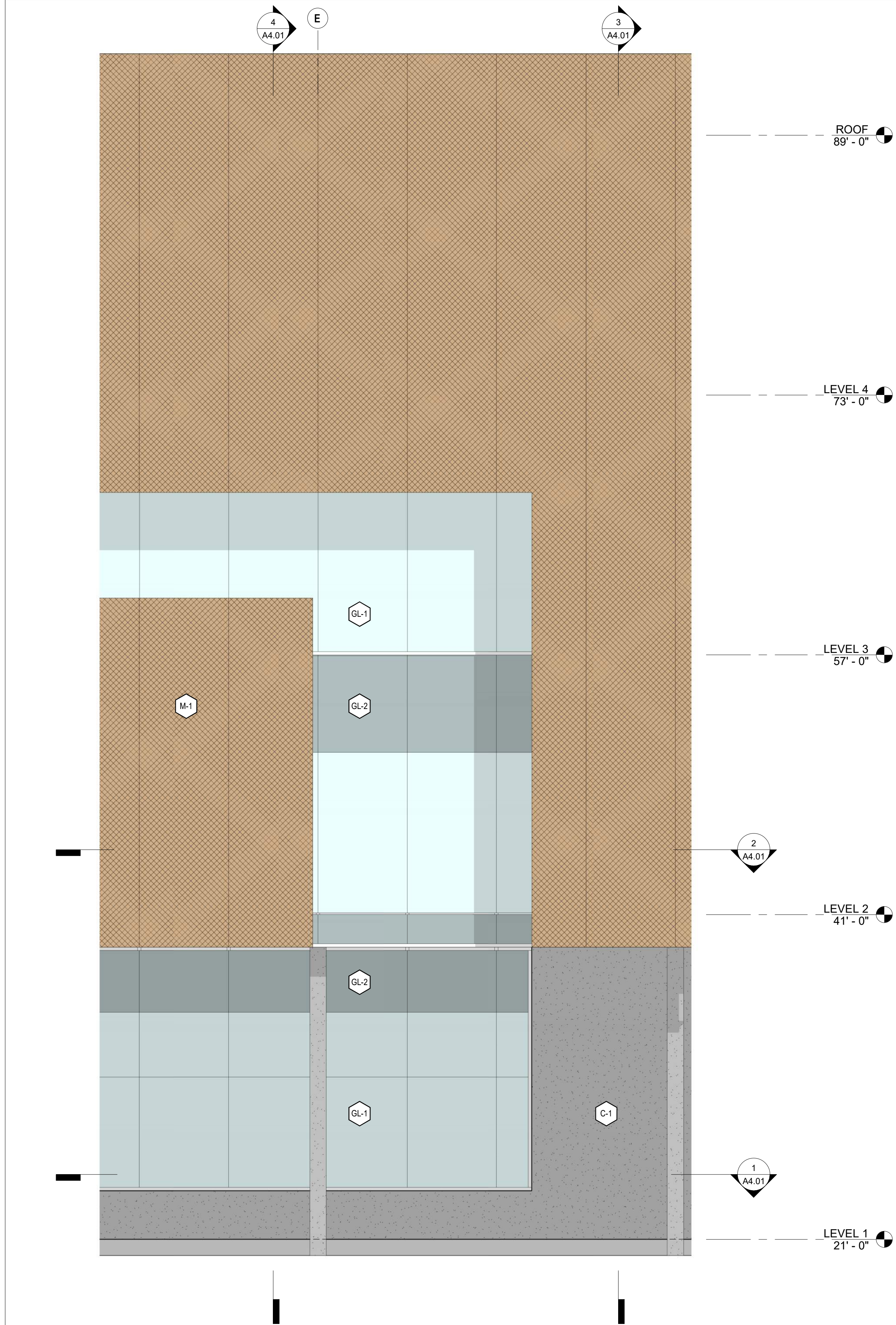
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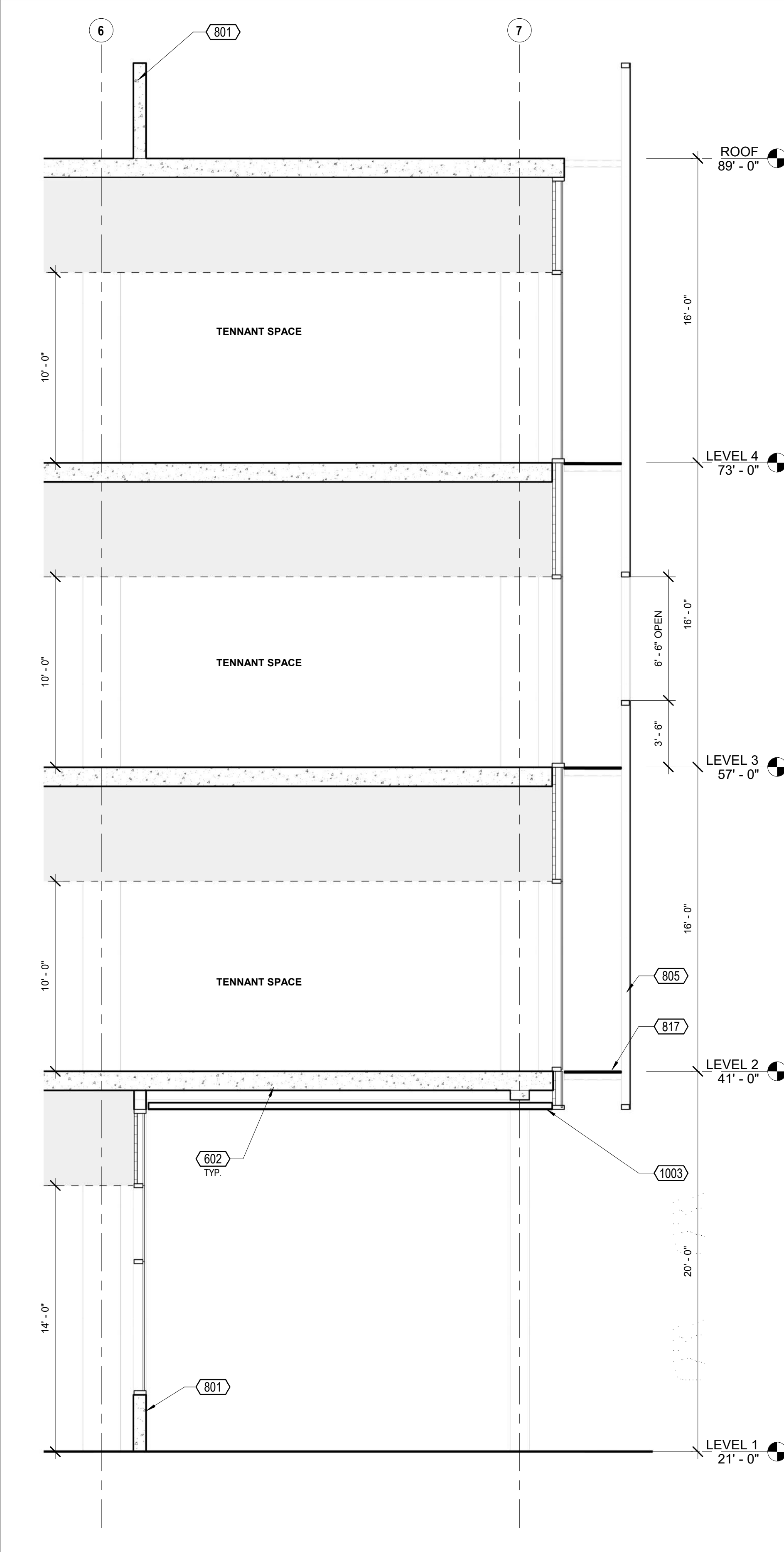
BUILDING SECTIONS -
MAIN BUILDING

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File: BIM 30071242 Grayson Central.rvt

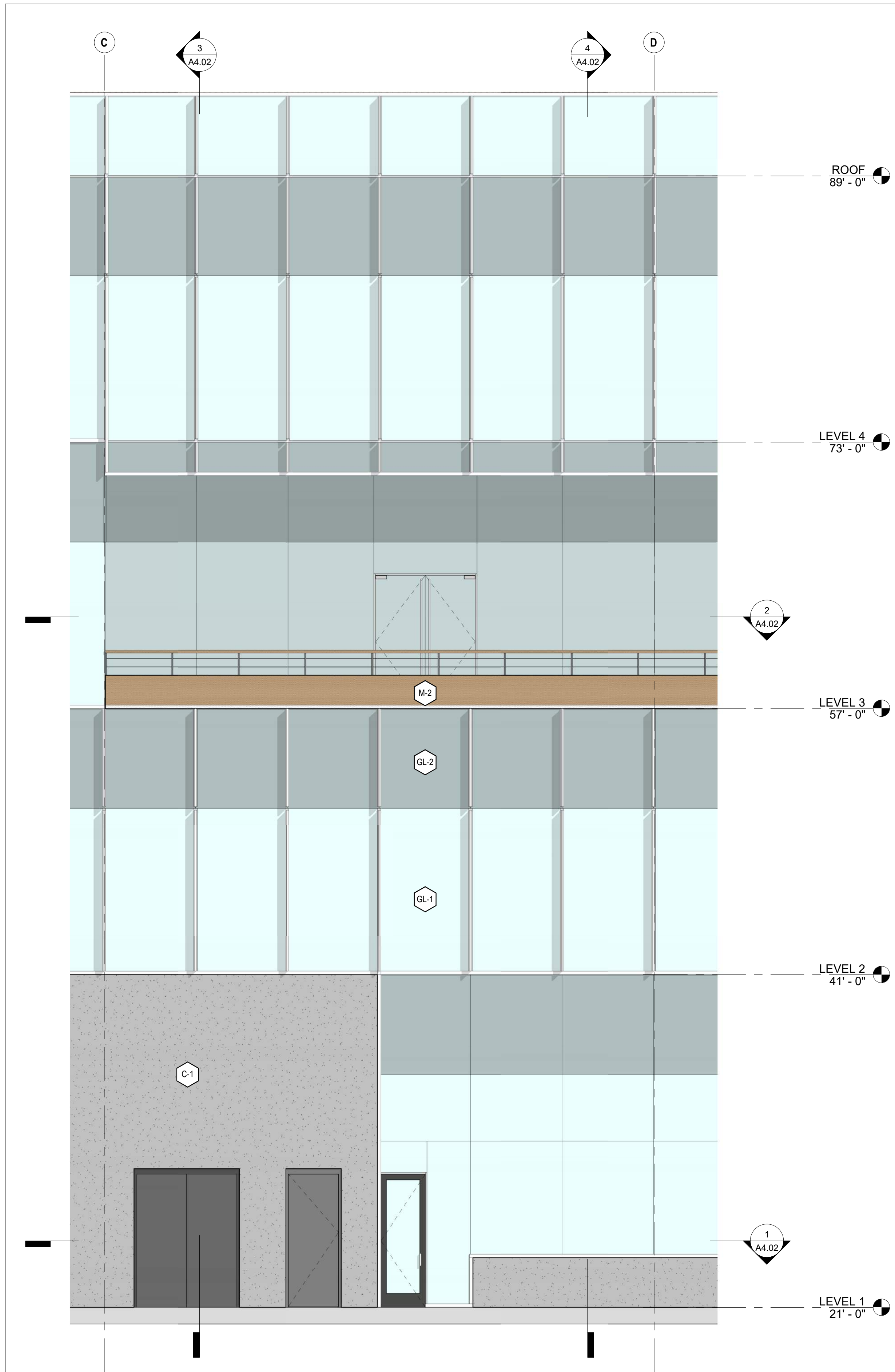


5 ENLARGED ELEVATION - SOUTH - BALCONY

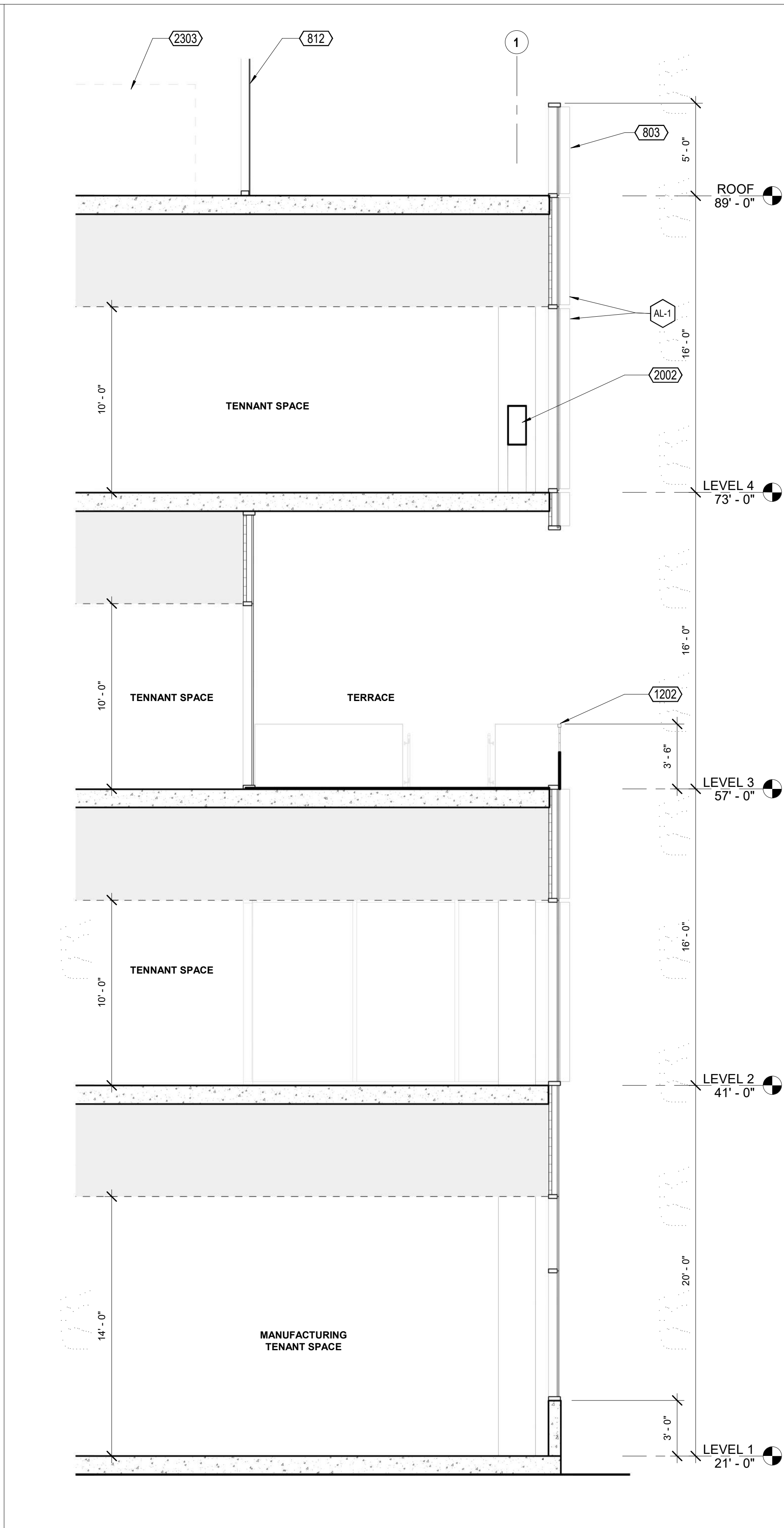
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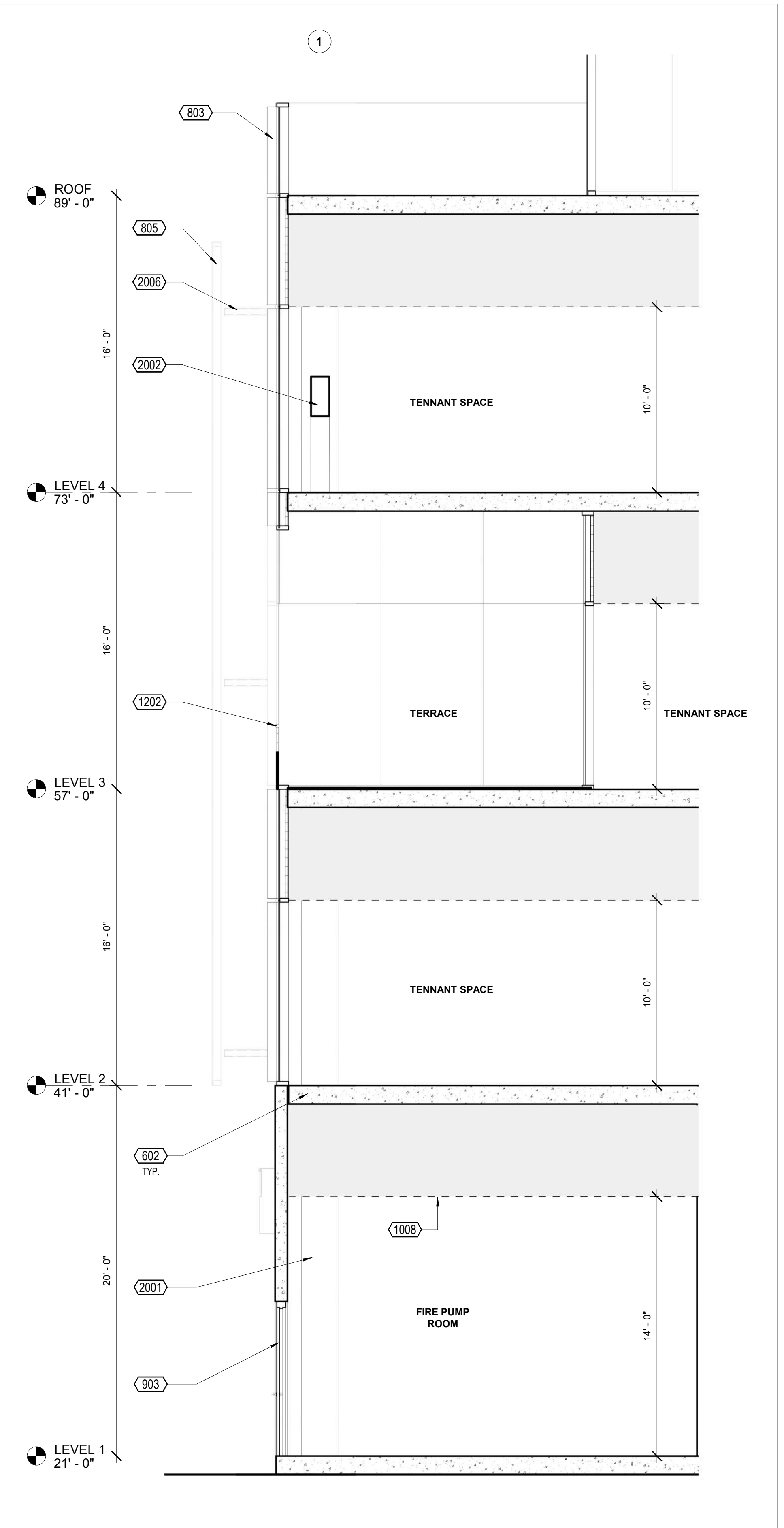
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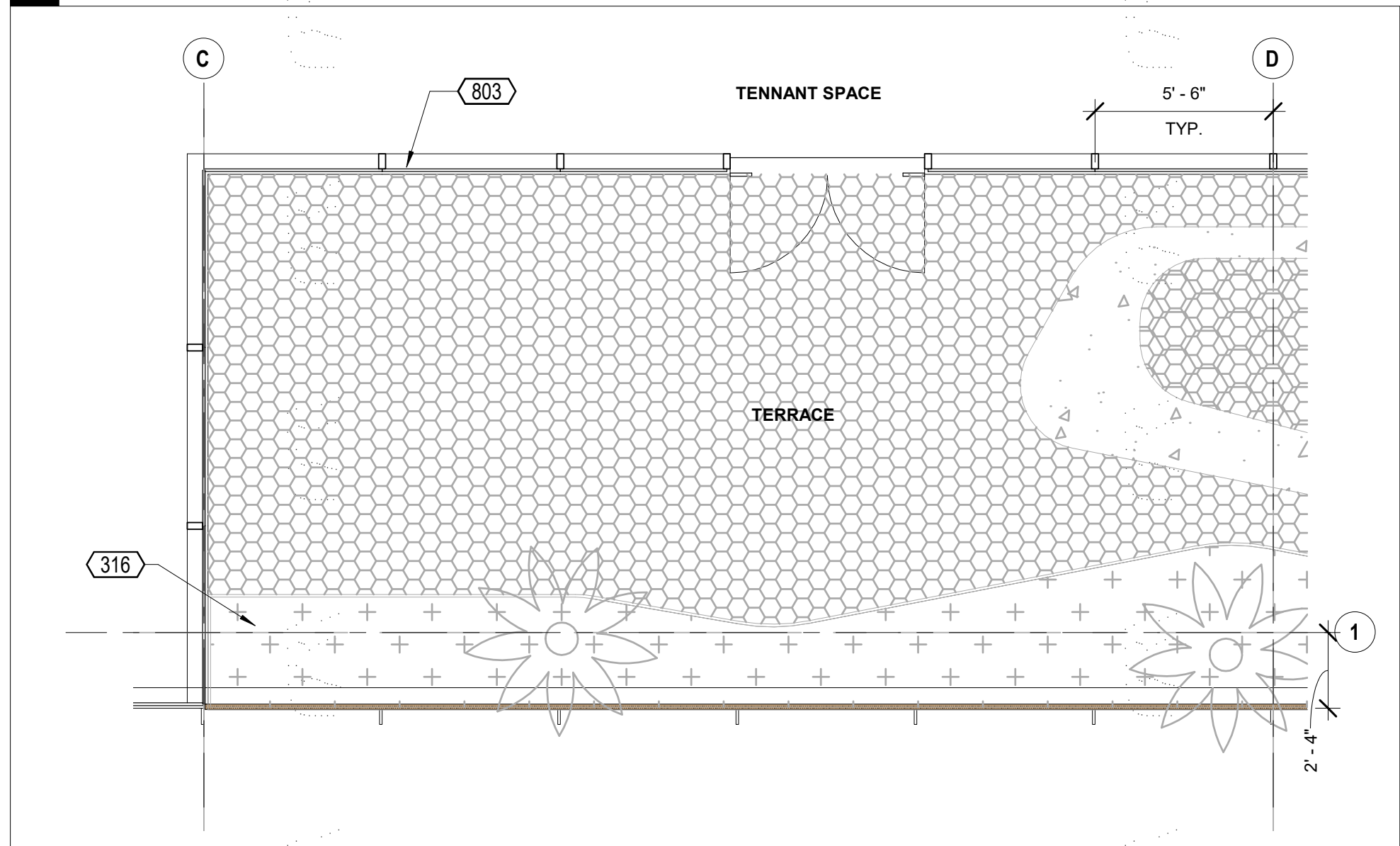
5 ENLARGED ELEVATION - NORTH



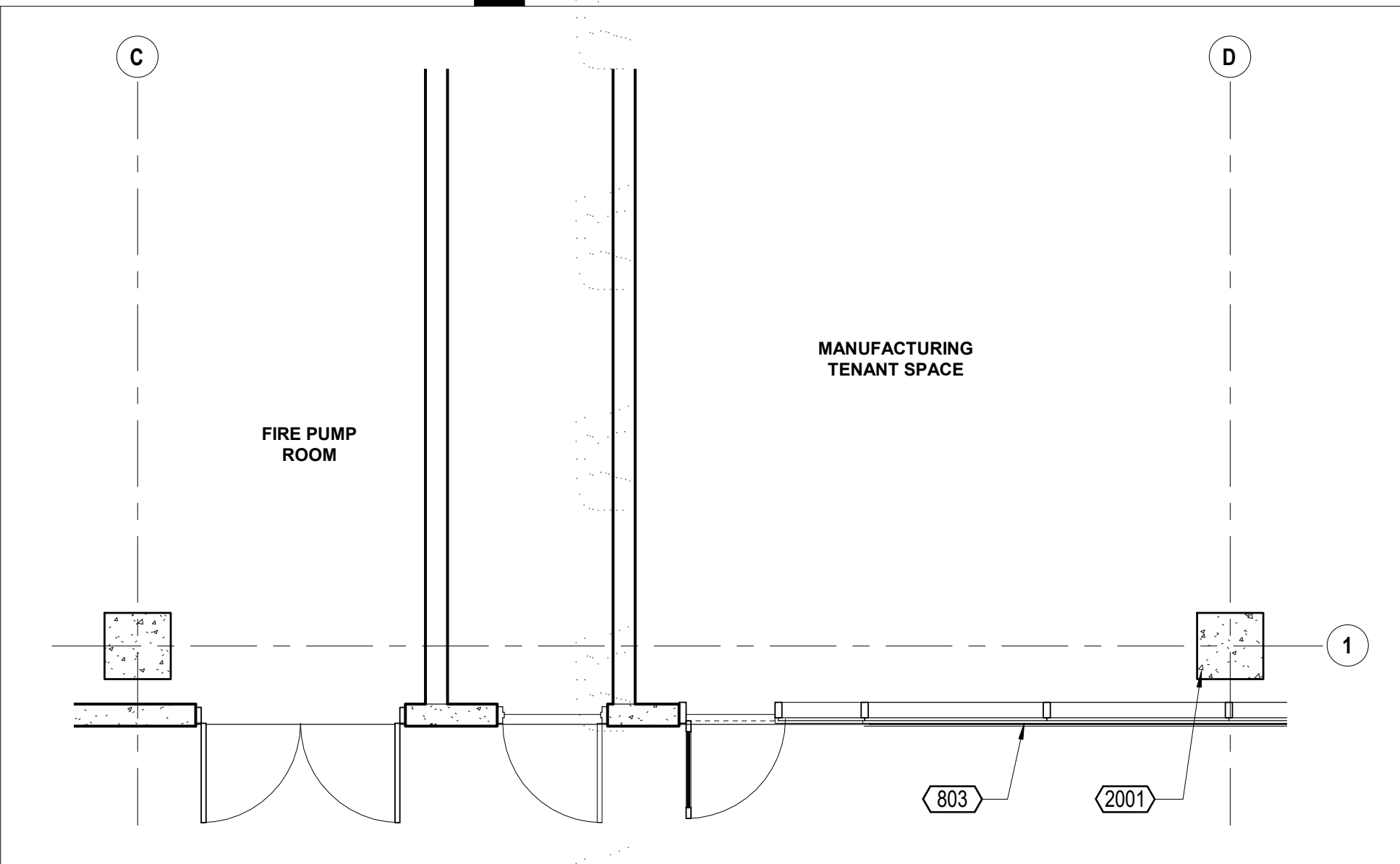
4 WALL SECTION - NORTH - TERRACE



3 WALL SECTION - NORTH - TERRACE



2 ENLARGED PLAN - LEVEL 3



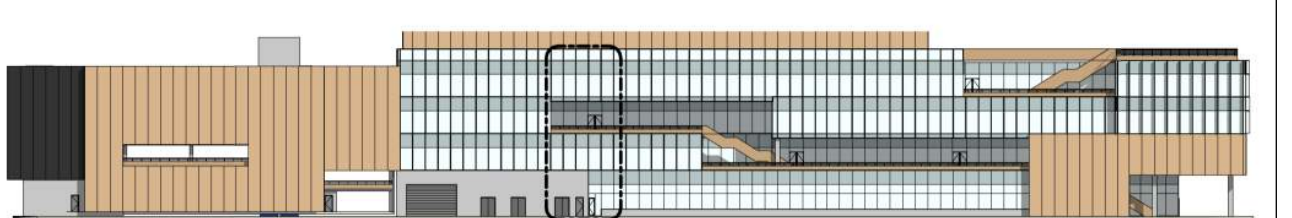
1 ENLARGED PLAN - LEVEL 1

- KEYNOTES
- 316 PLANTED AREA, S.I.D.
 - 602 CURTAINWALL GLAZING SYSTEM AS SCHEDULED
 - 803 PTD EXPANDED METAL MESH PANEL
 - 805 PERF. METAL MECHANICAL SCREEN
 - 903 EXTERIOR DOOR, SEE DOOR SCHEDULE
 - 1008 CABLE GUARDRAIL SYSTEM
 - 1202 CONCRETE COLUMN, S.I.D.
 - 2001 STRUCTURAL BRACE, S.I.D.
 - 2006 MECHANICAL EQUIPMENT, S.M.D.
 - 2303

KEYNOTE LEGEND

- C-1 CONCRETE
- AL-1 ALUMINUM - MULLION & FIN
- M-1 EXPANDED METAL MESH - PAINTED
- M-2 METAL - WEATHERING STEEL
- M-3 METAL MESH - PAINTED
- GL-1 GLASS - CLEAR (BIRD-SAFE)
- GL-2 GLASS - SHADOW BOX SPANDREL

ELEVATION LEGEND



KEY ELEVATION

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ARCHITECT
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△ date revision description

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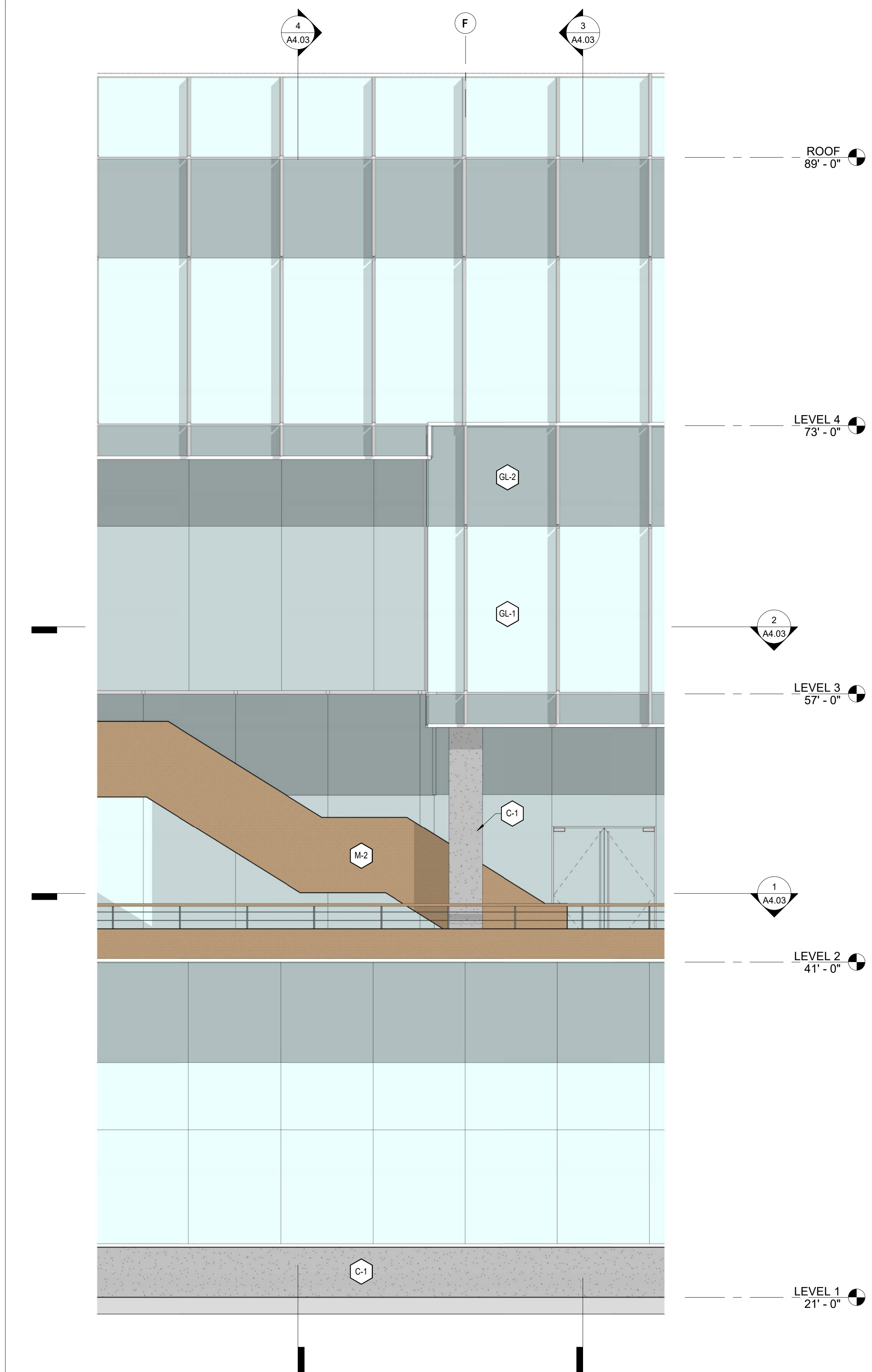
project number: 18-221
date: 2021.12.08
drawn by: ROBERT ZIRKLE

**ENLARGED
ELEVATION & WALL
SECTION**

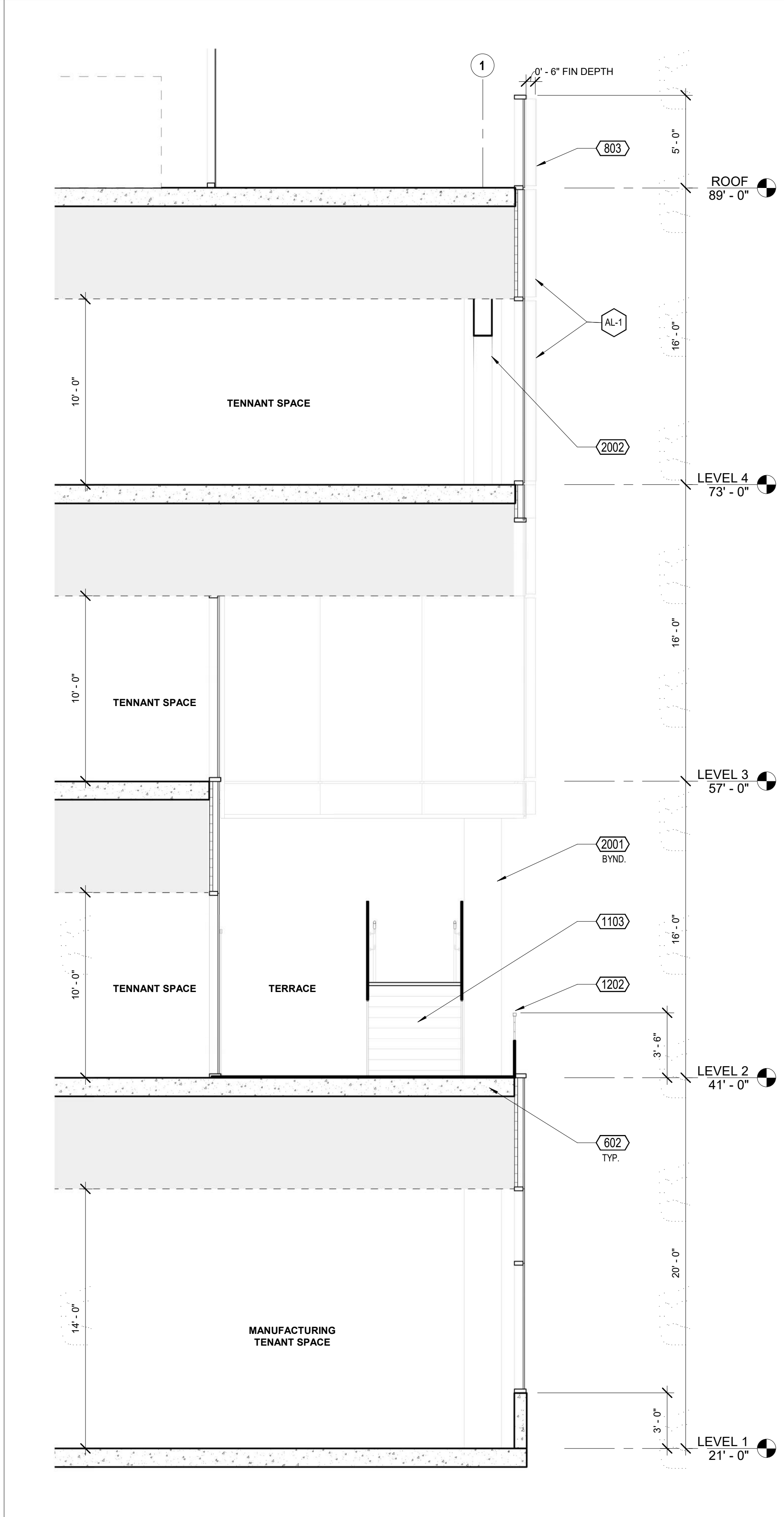
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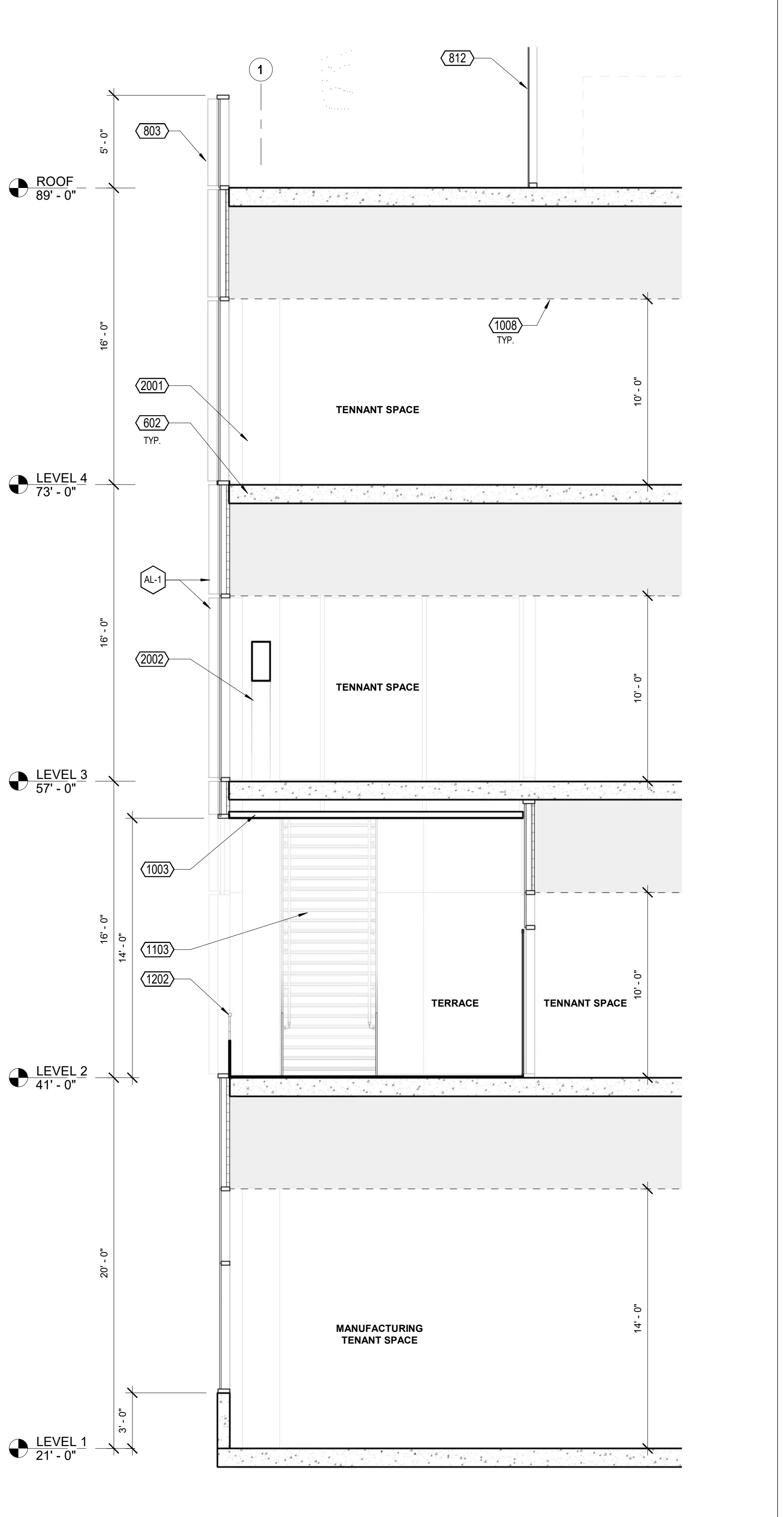
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File: BIM 3001742 Grayson 18-221 742 Grayson Central.rvt



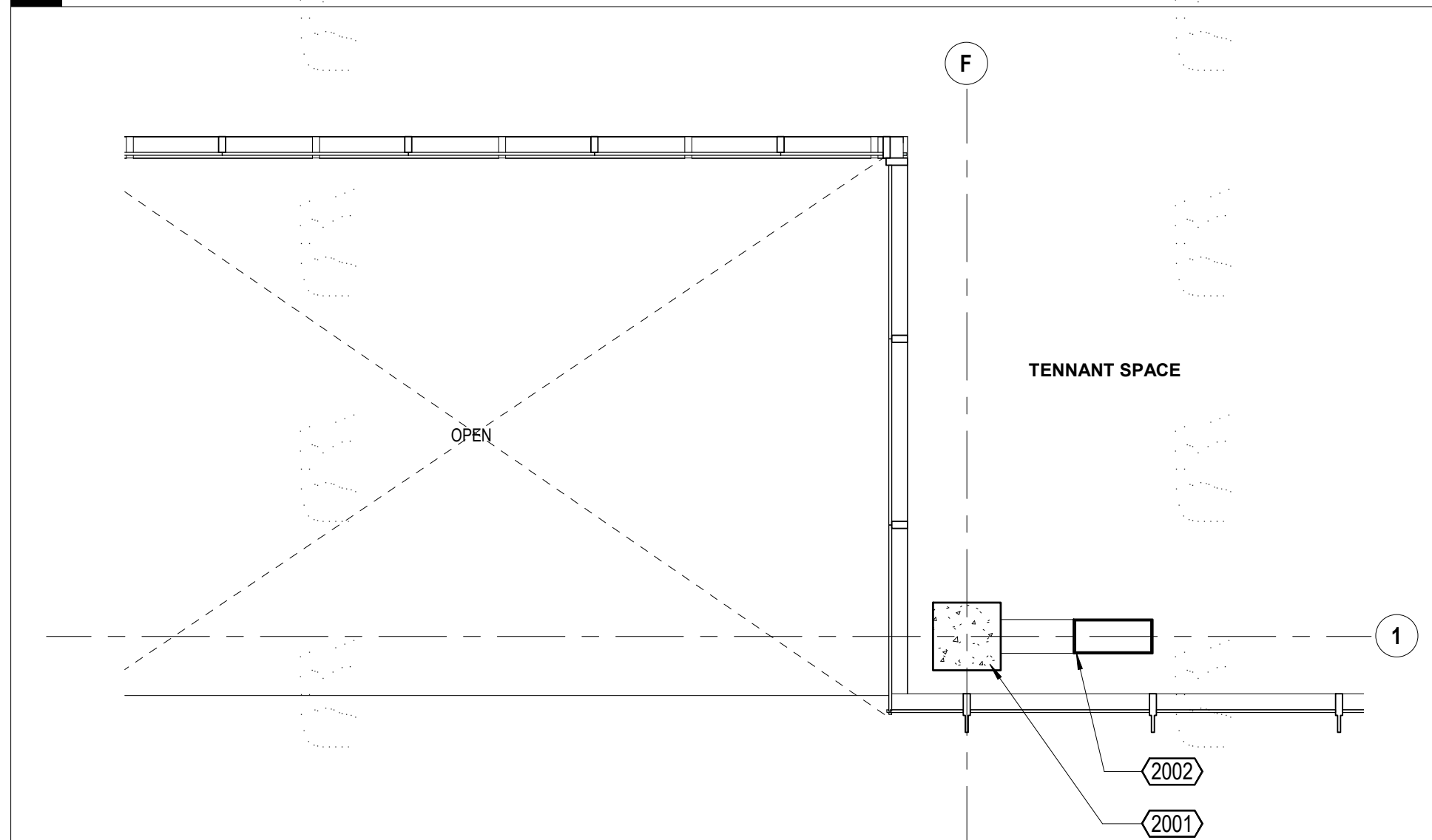
5 ENLARGED ELEVATION - NORTH - SCREEN WALL @ STAIR



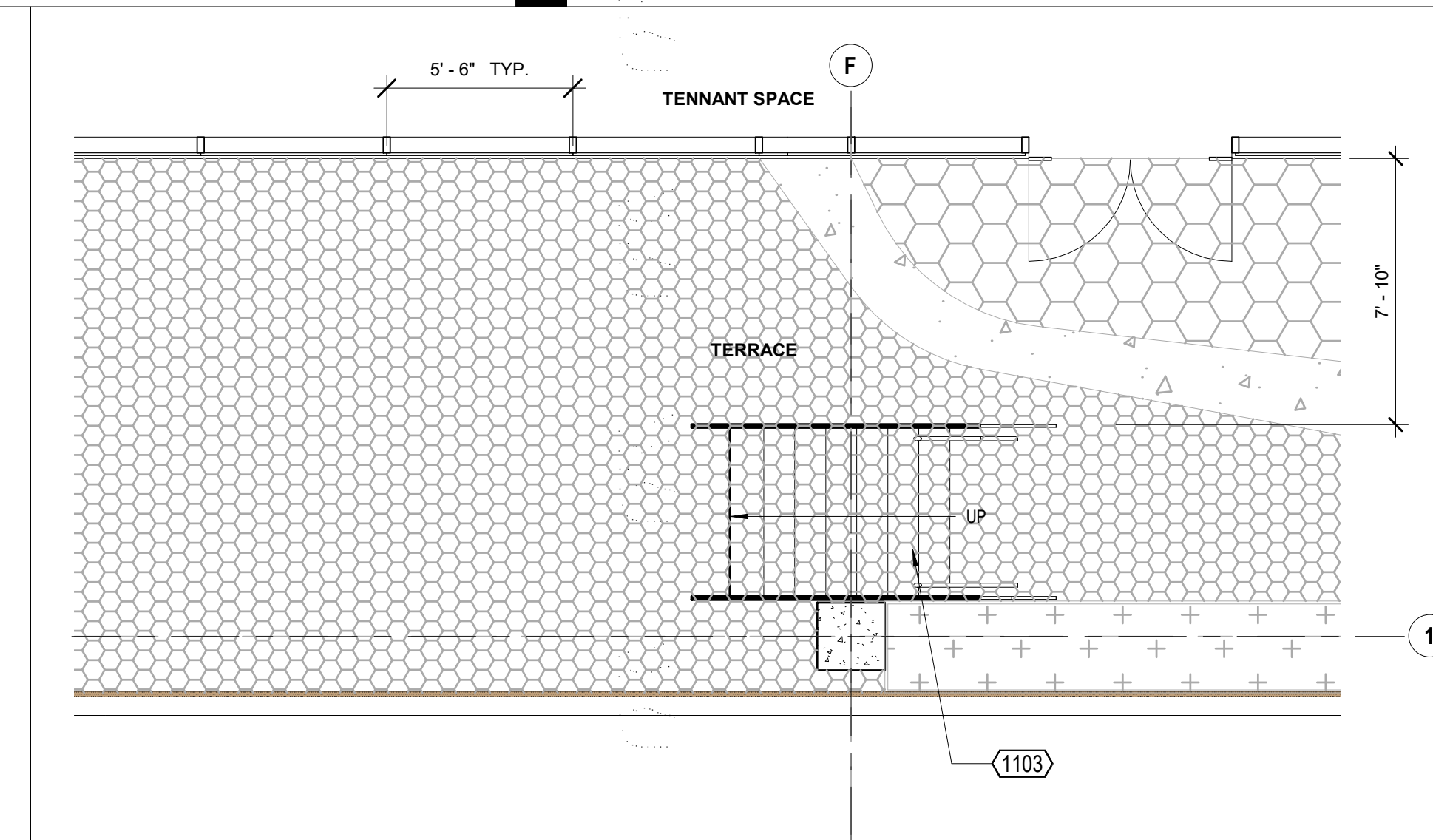
4 WALL SECTION - NORTH - TERRACE @ EXTERIOR STAIR



3 WALL SECTION - NORTH - EXTERIOR STAIR



2 ENLARGED PLAN - LEVEL 3



1 ENLARGED PLAN - LEVEL 2

KEYNOTES

602 CURTAINWALL GLAZING SYSTEM AS SCHEDULED
803 PERF. METAL MECHANICAL SCREEN METAL PANEL SOFFIT
1003 METAL STAIR, PAINTED
1103 CABLE GLAZORAIL SYSTEM
1202 CONCRETE COLUMN, S.S.D.
2001 STRUCTURAL BRACE, S.S.D.
2002

KEYNOTE LEGEND

C-1 CONCRETE
AL-1 ALUMINUM - MULLION & FIN
M-1 EXPANDED METAL MESH - PAINTED
M-2 METAL - WEATHERING STEEL
M-3 METAL MESH - PAINTED
GL-1 GLASS - CLEAR (BIRD-SAFE)
GL-2 GLASS - SHADOW BOX SPANDREL

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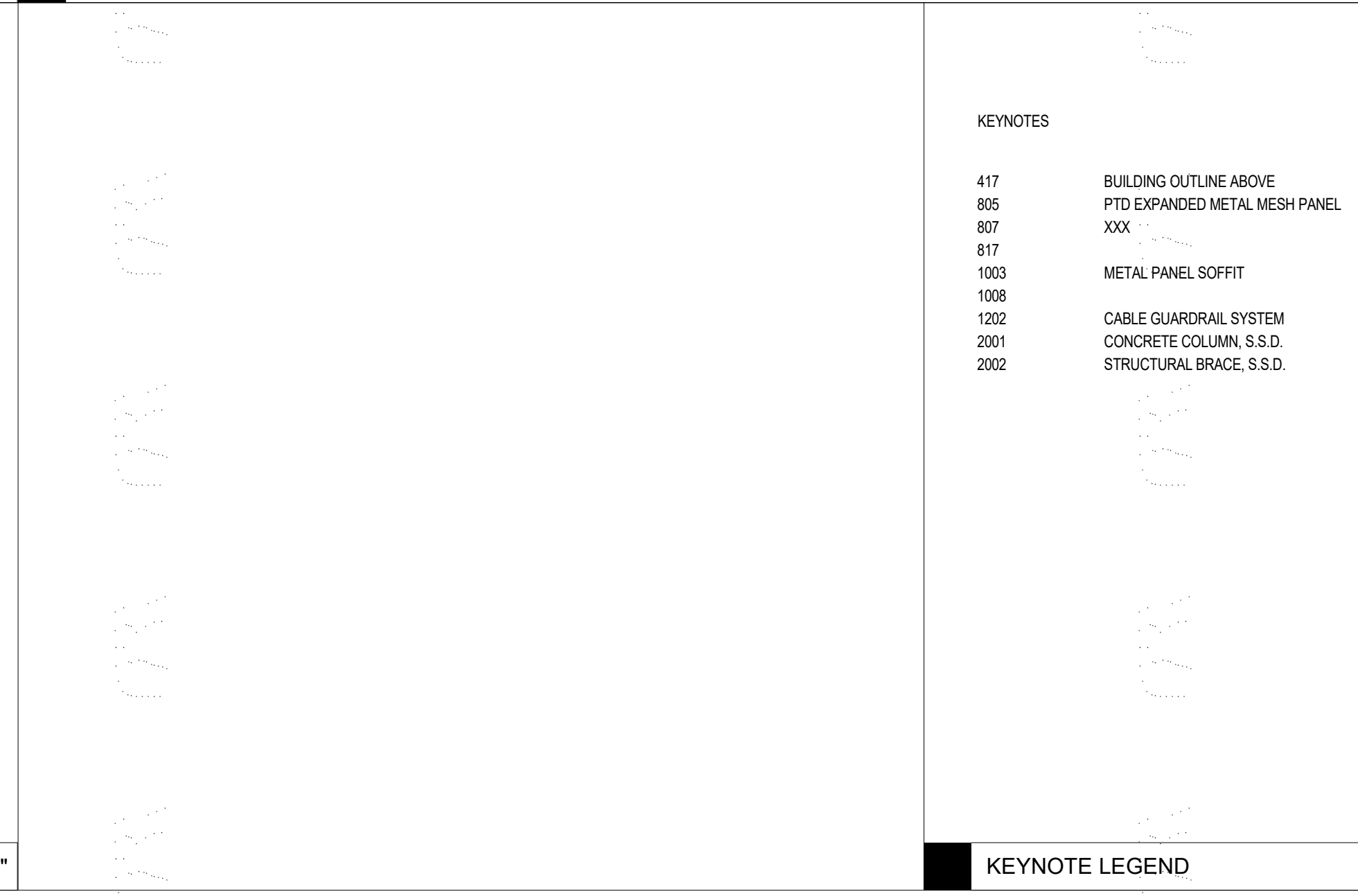
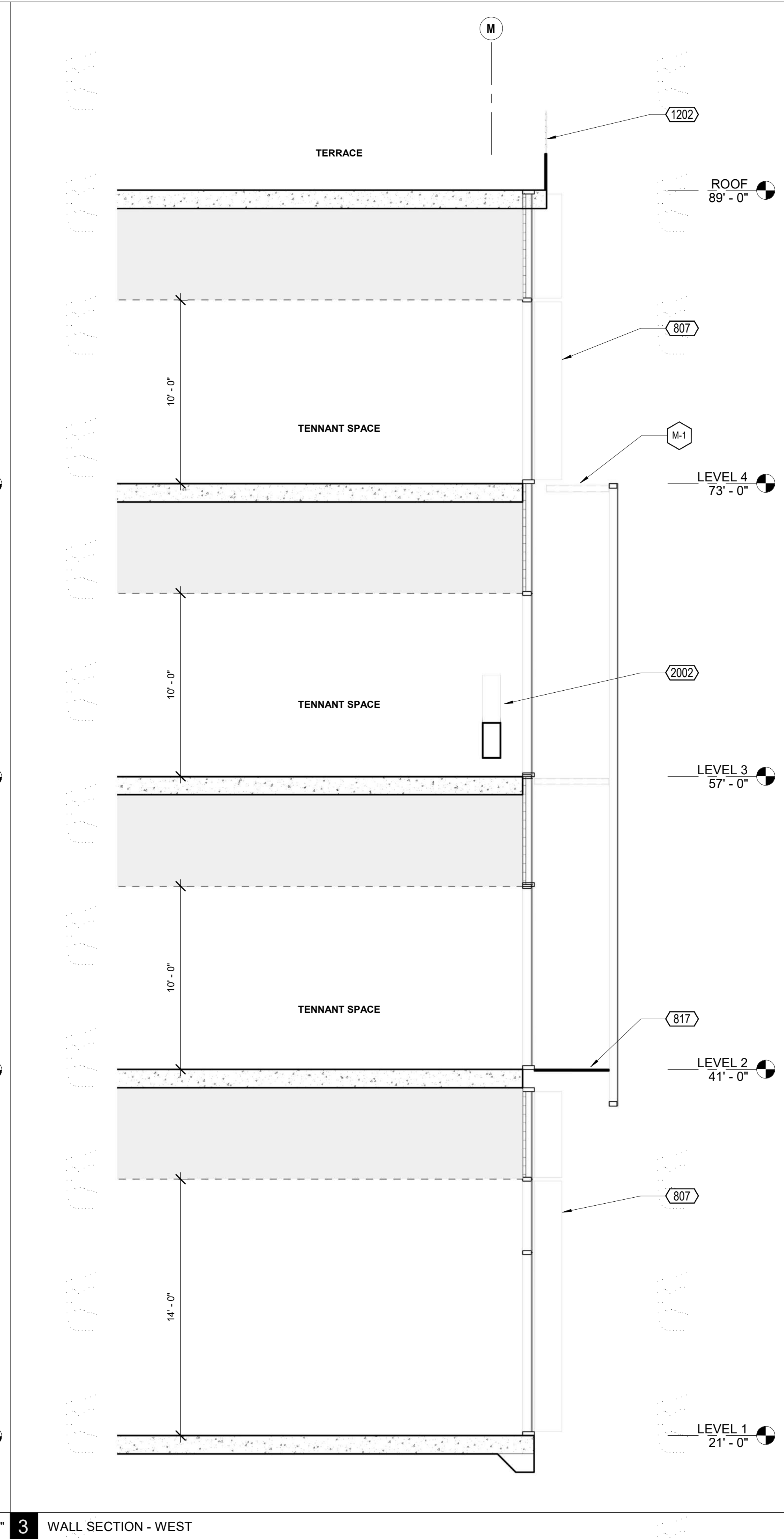
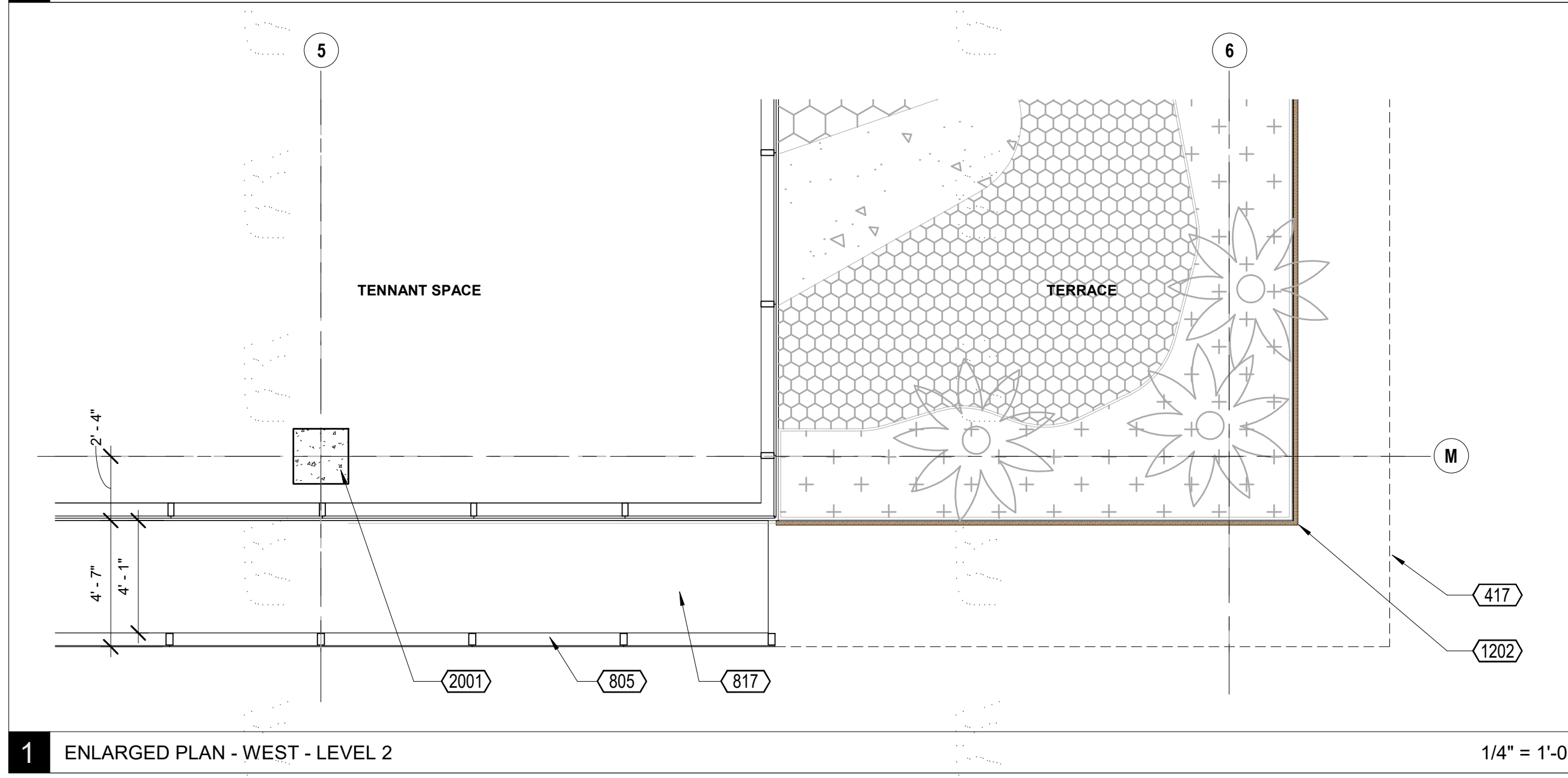
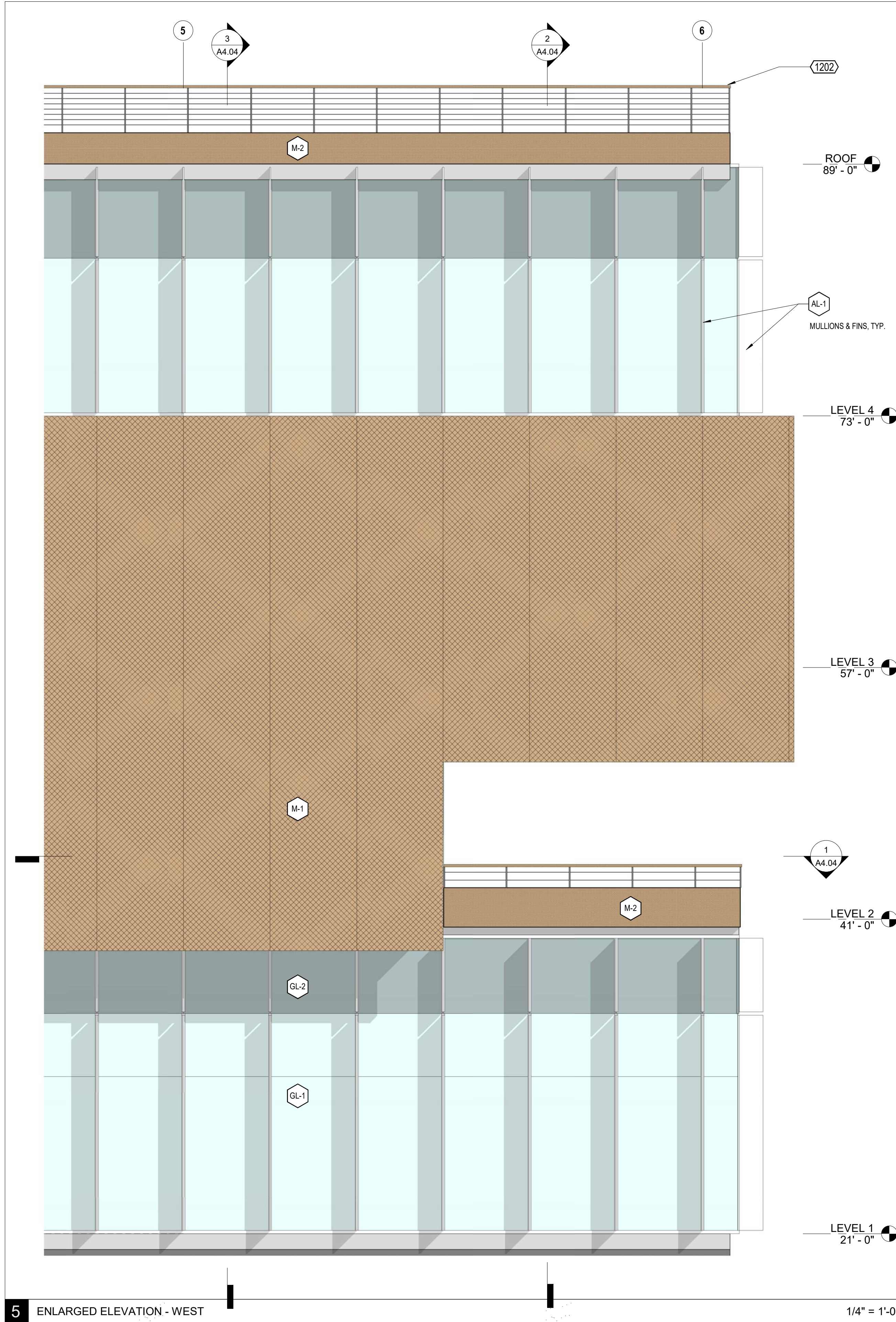
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**ENLARGED
ELEVATION & WALL
SECTION**

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File: BIM 30071242 Grayson 718-221 742 Grayson Central.rvt



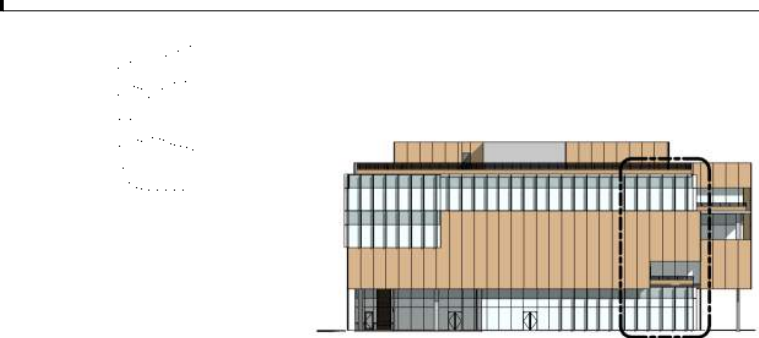
KEYNOTES

- 417 BUILDING OUTLINE ABOVE
- 805 PTD EXPANDED METAL MESH PANEL
- 807 XXX
- 817 METAL PANEL SOFFIT
- 1003
- 1008
- 1202 CABLE GUARDRAIL SYSTEM
- 2001 CONCRETE COLUMN, S.S.D.
- 2002 STRUCTURAL BRACE, S.S.D.

KEYNOTE LEGEND

- C-1 CONCRETE
- AL-1 ALUMINUM - MULLION & FIN
- M-1 EXPANDED METAL MESH - PAINTED
- M-2 METAL - WEATHERING STEEL
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**ENLARGED
ELEVATION & WALL
SECTION**

A4.04

NOT FOR CONSTRUCTION

12 May 2022

700 Grayson Street, Berkeley, California

Applicant Statement

Project Overview and Intent

The proposed project at 700 Grayson is a request to create state of the art manufacturing and research and development space in Southwest Berkeley. The proposal includes demolition of approximately 45,406 square feet of existing, dated, and derelict industrial space and rebuild approximately 213,000 square feet of new state of the art life science research and development and manufacturing space consistent with the West Berkeley Plan and the Berkeley Zoning Ordinance. The project site is 109,230 square feet or just over 2.5 acres and located in the Mixed Manufacturing (MM) zoning district. The General Plan designation is Manufacturing. The proposed project will replace existing manufacturing floor area at ground level (35,352 sf) pursuant to MM zone requirements and will include the following:



Proposed project

- New 177,923 sq. ft. Research and Development and 35,356 sq. ft. Manufacturing building with four stories at approximately 72' in height;
- A 9-foot tall mechanical penthouse; and,
- 325 space seven level (@64'-5" high) parking garage.



Buildings to be demolished

A variance is requested for the height of the building subject to the proposed findings in this statement because of the prevalence of structures recently entitled and constructed that have been allowed similar variances. However, it should be noted that the proposed main building is lower than the existing legal non-conforming 75' tower on the property. Proposed supporting variance findings are located later in this report. A use permit and variance are also requested to reduce the amount of parking provided in exchange for additional bicycle parking and a robust transportation demand management (TDM) program.

A use permit is requested to temporarily remove the manufacturing floor area during construction to accommodate replacement of new manufacturing space. Proposed supporting use permit and variance findings are located later in this report. The property is also currently the temporary host to the City of Berkeley's Horizon Transitional Village, as described further below.

The allowance for the City and Dorothy Day House to use the site while this entitlement is being sought, and other substantial community benefits are part of a well-designed development project that will benefit the City of Berkeley's community with new revenue streams, new research space, and good jobs for local people. The project will transform a vacant and moribund property into a connected and beautifully designed urban space that considers the environment and nearby wildlife resources. The project will also provide the City of Berkeley with much higher levels of property and business tax revenue than is currently the case for the site as it has existed for many years.

Address: 700 Grayson Street, Berkeley, CA

APN: 053 165500202

Parcel Area: +/-109,230 square feet

Zone: Mixed Manufacturing (MM)

Area Plan: West Berkeley Plan (Mixed Manufacturing Designation)

General Plan: Manufacturing

Building upon the established mixture of industrial and commercial uses within the West Berkeley Plan area, 700 Grayson seeks to offer the community a premier venue for the advancement of life science industries, attracting a wide range of employment opportunities while continuing to build West Berkeley as a global center for research, development, and advanced manufacturing. Utilizing leading building technologies, from innovative structures, energy efficient technologies, sustainably sourced materials, and landscapes, 700 Grayson's integration with the community will reflect both the city's rich history as well as its promising future.



Existing Site

Surveying the current condition of 700 Grayson shows how the current decaying, unused, and functionally obsolete structures, which are nearly 100 years old, are no longer congruent with the goals of the West Berkeley Plan. Investing in 700 Grayson was the result of identifying the need to revitalize the site, make meaningful connections to the neighborhood, and the need to build upon established and growing industries in West Berkeley.

Ground floor manufacturing floor area within the MM zone is protected (23.206.050(A)(1)). Therefore, the project seeks a use permit to demolish and then rebuild the manufacturing floor area as required by the MM zone. This is further discussed, below.

Benefits to the Berkeley Community

- Homeless Shelter: The project sponsor is currently leasing the existing office building to the City of Berkeley, at the cost of operating expenses only, in order to operate a homeless shelter. In coordination with Rebuilding Together and Dorothy Day House, the Horizon Transitional Village accommodates up to 50 homeless individuals. The 18-month lease runs through September 2022. This represents a net benefit of approximately \$918,000, with the site not rented at market rate (\$1.5/sf or net \$50,000/month) to an employment user.
- Housing & Childcare Fees: The project is expected to generate approximately \$840,000 in affordable housing fees and \$140,000 in childcare fees to the City.
- Funding for Ongoing Transitional Housing: The project sponsor is committed to providing the City with an additional \$250,000 toward homeless issues and replacement location of the horizon village, plus the sponsor's real estate experience and contacts to aid the City in finding a new shelter location.
- Employment: The project could generate up to 700 jobs, at a range of experience and wage levels. A conservative estimate of jobs that will not require advanced degrees is 15% of the work force, or 105 jobs.
- Sustainability: The project offers all native and drought-tolerant planting to support stormwater management, low water-use, and expand the habitat offered by Aquatic Park and the lagoon. Well landscaped roof terrace help insulate the building and mitigate heat island effect. Further, the building will have all-electric systems pursuant to Berkeley's REACH code.
- Berkeley Unified School District fees: Substantial mitigation fees will be paid to the Berkeley Unified School District.
- Public Improvements: The project will install sidewalks and 12 street trees, where none currently exist, and expand landscaping and stormwater plantings and basins. The project will substantially improve the public right of way along Grayson Street, including as needed the removal of abandoned railroad elements, provide curb/gutter/sidewalks where none have ever existed.
- Bird Safety: The project proposes bird safe glass on the west façade and partially opaque panels to reduce potential for bird strikes. Other features to protect against bird strikes – such as windows shades that close automatically at night, are being considered.
- Replacement of ground-level manufacturing floor area: While replacing 35,352 sf of ground floor level manufacturing floor area is a zoning requirement, it is also a gross benefit in the case of this project because the City of Berkeley will get far more usable manufacturing floor area than is the case today along with approximately 178,000 square feet of state of the art research and development space.

Proposed Project

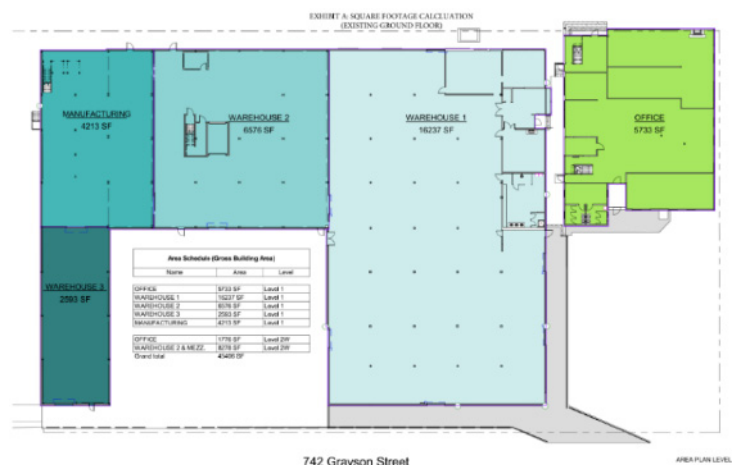
700 Grayson proposes the demolition of two existing structures and the construction of two new structures: one mixed-use building consisting of research and development, manufacturing and ancillary uses, and an adjacent parking garage. The building will be a 4-story structure without a basement measuring +/-213,000 sf and 50,705 sf of usable open space, including ground-floor open space, outdoor terrace space and a roof deck. The building is proposed at a height of approximately 72' as measured according to the Zoning Ordinance definition (additional height for rooftop equipment and mechanical penthouse is not included in this measurement).



The Zoning Ordinance requires (23.206.050(A)(1)) the project to preserve the existing ground level manufacturing floor area in the new building, which the project proposes do. The balance of the existing protected floor area is proposed as research and development use. The adjacent parking garage will be seven levels without a basement containing 325 parking spaces, at a height of 64'-5" feet. 148 bicycle parking spaces (128 secured, 20 short-term) will be provided along with shower facilities, availing the project to a 10% parking reduction via an administrative use permit.

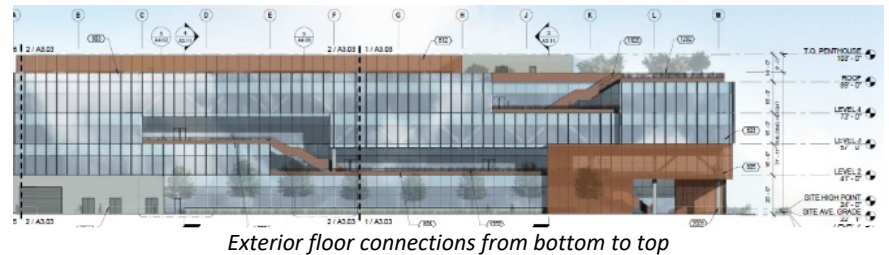


Per BMC 23.206.050(A)(1), the MM zone requires replacement of ground-level manufacturing area. In coordination with City staff, the project sponsor acknowledge that 35,352 sf of existing manufacturing floor area must be protected within the proposed project; this includes 5,733 sf that was used as office. The replaced manufacturing area will be located on the ground floor and will include designated manufacturing use as well as a proportion of the shared uses (i.e., lobby, storage, trash, utilities).



Revitalizing the site includes replacing a mostly dirt parking lot with a new plaza whose design references the site's natural history. Other site improvements include streetscape enhancements and stormwater treatment, capturing rain runoff from the site and building, then directing stormwater to an on-site landscaped bioretention area for treatment.

A key component of the design concept is to integrate terraces throughout the proposed building, bringing the landscape up and around the façade through a network of linked outdoor spaces culminating in a landscaped roof deck offering panoramic views of Berkeley, the east bay hills, and the bay.



700 Grayson makes meaningful connections to the community through its site, its proposed uses, and its architecture. As mentioned above, site and streetscape improvements will help link the proposed project to the immediate surroundings, integrating with adjacent structures and campuses. Proposed uses also reflect existing uses found on Grayson Street, transforming a dormant site into an active and compatible neighbor contributing to the rich urban context and local economy.

The proposed architecture honors the industrial nature of West Berkeley, commemorates the natural history of the region, and looks forward towards advancements in life sciences emerging in Berkeley. This is achieved through the careful selection of materials evocative of West Berkeley's industrial heritage, applied in a layered composition that recalls the rational and functional structures found throughout the area, utilizing advanced building technologies that improves performance, occupant comfort, and reflects the work taking place inside.

With street access from Grayson at the north of the project site only, the proposal also includes fire access on the east side of the site. Bicyclists will have access to the bike storage room directly from Grayson Street. Parking and loading access is also located on Grayson Street.

The ground floor of the mixed-use building will include approved active tenant uses, the replacement manufacturing floor area as required by the MM zoning requirements (on the ground floor), lobby spaces, and back of house spaces including a loading dock, bicycle storage, mechanical, and electrical rooms. The building will be served by two cores which will contain egress stairs, freight and passenger elevators, mechanical shafts, restrooms, and utility rooms.

Levels 2-4 of the mixed-use building house tenant spaces, core spaces, and outdoor terraces. Each terrace is located to offer outdoor space to all portions of the floor, accommodating multiple tenant leasing scenarios. Also, each terrace is linked to other terraces or to the roof deck by exterior walkways, creating a wrapping path of terraces around the building culminating at the roof deck.

The roof level of the mixed-use building includes a mechanical yard wrapped by a mechanical screen and the landscaped roof deck at the west end of the building, offering panoramic views of the east bay, north bay, and San Francisco.

Temporary Homeless Shelter – City of Berkeley and Dorothy Day House

The property owner/applicants are currently allowing the site and buildings to be used temporarily by the City of Berkeley for the Horizon Transitional Village shelter for up to 50 unhoused individuals. The 18-month lease runs through September 2022. The owner/applicants further propose to provide additional funding and professional resources to assist the City to find a new location when it is time to develop this project site (see community benefit discussion). The Horizon shelter was described in the July 2, 2021, *Berkeleyside* article as follows:



Facilities for the unhoused currently inside the building

“The shelter, at 742 Grayson St., is managed by [Dorothy Day House](#) and is designed as a hybrid between a traditional shelter with individual beds, and Mayor Jesse Arreguín’s original plan of a [sanctioned outdoor encampment with tents](#). The cavernous warehouse space currently has room for about 50 people, with designated “neighborhoods” (that haven’t yet been named) connoted by colored pillars, small personal storage cubbies, a breakfast area, recreational space with a library and “movie theater” and a back storage area that will allow residents to store larger items — like tents — for when they depart from the space.”

Design Approach

The mixed-use building will be clad with a layered curtainwall that includes aluminum curtainwall frames, fritted glass, vertical fin sunshades, and coated expanded metal mesh sunscreens. The bird safe glass on the west elevation will help reduce or eliminate the potential for bird strikes. This is especially important because of the project’s relationship to the Aquatic Park lagoon to the west, which is an aquatic (and other) bird gathering place.



Southwest rendering

Sunshading strategies reduce energy use and glare while increasing comfort and are deployed based on solar orientation. As such, facades with less direct sun exposure have increased amounts of clear glazed curtainwall, allowing for increased daylighting inside and increased visibility of active uses from the exterior. The rooftop mechanical screen will be

detailed the same as the sunshading devices and/or the rain screen material to integrate seamlessly with the expression of the facades.

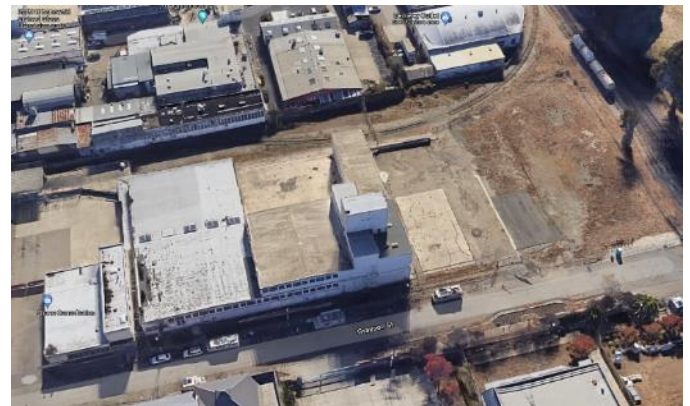
The adjacent seven-level parking garage to the east of the mixed-use building will be a concrete structure wrapped with coated expanded metal mesh panels to architecturally integrate with the mixed-use building. The northeast corner of the parking garage will include a large mural to welcome visitors. Vehicular access to the garage is from Grayson Street, leading to ground level parking. Also at the ground level are egress stairs, elevators, and pedestrian access to the mixed-use building. Ramps at the south edge of the garage lead to upper levels of parking. The garage roof will be partially covered by a photovoltaic panel array.



Garage Elevation

Project Site, Use and History

700 Grayson, approximately 2.5 acres large, is located at the western end of the southside of Grayson Street as it meets the Union Pacific Railroad tracks and Aquatic Park beyond. The project site lies at the western border of Berkeley's established manufacturing and industrial area, within the General Plan's Manufacturing land use category. Located within the West Berkeley Plan Area, uses in the surrounding area support industrial, warehouse, manufacturing, wholesale trade, arts, research and supporting and compatible employment generating businesses.



The north edge of the site is Grayson Street, which is bordered by an inconsistent amalgamation of old sidewalk, abandoned rail spurs (which may partially lay in the right of way), and dirt where it meets the public right of way. The site has not been redeveloped in many decades and as a result there are insufficient site storm water facilities to protect the Aquatic Park drainage. There are existing utility poles along the sidewalk at Grayson Street, which present visual clutter and potential obstacles to fire and life safety activity, that the project proposes to relocate underground. The end of the street and lack of activity has created circumstances that support a variety of deleterious activity. The difficulty and limited access to the site has resulted in under investment by prior owners, and by the City of Berkeley.



The west edge of the site is bound by the Union Pacific Railroad easements and property. The south edge of the site is bound by a private rail spur, and 800 Grayson existing structures lie to the east of the project site. Between 800 Grayson and 700 Grayson is a 35-foot-wide ingress/egress easement.

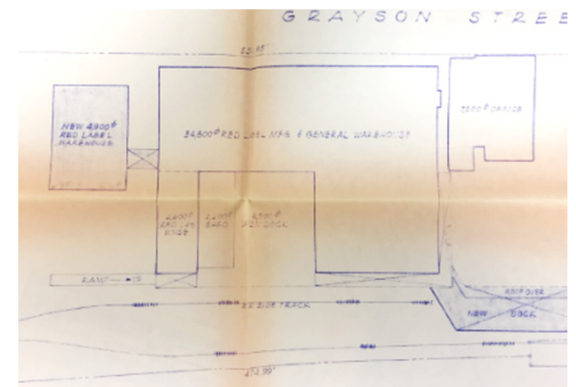
Site topography is generally perceived as flat, though grades slope up gradually from northwest to southeast with increased downslope on the west edge of the site. Beyond the down sloping west edge and the railroad tracks lies Aquatic Park and the Aquatic Park Lagoon. There is currently no drainage protection from Grayson Street, the site or the railroad tracks, into Aquatic Park. No oak trees exist on the site.

Adjacent uses include industrial manufacturing, research and development, and ancillary office uses to the south, east, and north, minimizing potential land use conflicts with the proposed project site. All adjacent parcels are also zoned MM. The Bayer campus is directly north of the site, Henkel Corporation to the east, Aquatic Park and Union Pacific Railroad tracks to the west, and various uses to the south, including Artworks Foundry, several professional offices, an outlet store and a bakery.



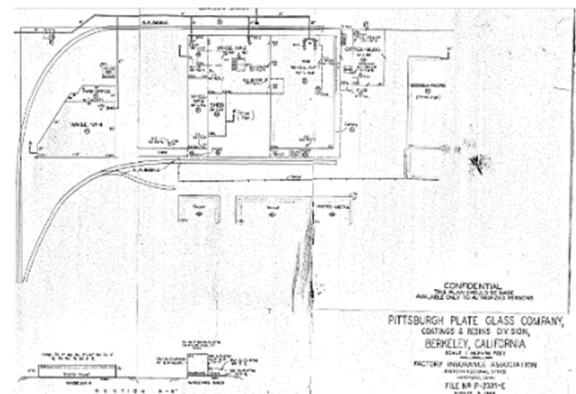
HRE page indicating uses of building floor area

Pursuant to City of Berkeley planning staff review, the use of the property at 700 Grayson Street is manufacturing with other ancillary uses. The current array of buildings was originally constructed for the mixing of compounds into new products, so it had a very high level of both warehousing and distribution, and office as ancillary uses. A 1974 use permit recognized the use as “Establishment of a water-based and solid adhesive compounding and distribution plant.”



1974 Site and building use plan

Since approximately 1930, the site has been used by a variety of primarily warehouse, storage, and distribution uses over the course of its modern era history. By 1964 the warehousing and distribution functions, along with some incidental manufacture of chemical products, was well documented. See image of 1964 as-built site plan and building description. All these uses were permitted uses at the time.



1964 Site and building use plan

The historic resource evaluation prepared for the project also supports the site’s primary floor area use as warehousing for both the compounds to be mixed and the new compounds created. As shown in the image and in the historic resource report prepared by Page & Turnbull, the primary uses of the building’s floor area were dedicated to warehousing of materials. This is consistent with the balance of the

documentation provided above. Additional documentation of prior site plans and recent photographs of the building's interior can be provided upon request.

CEQA Considerations

Environmental review of the site's soils and groundwater conditions has been ongoing for the past 10 plus years with oversight from the Waterboard with summary included plus all applicable reports in submittal. Site is incorrectly listed on the cortese list (with email clarification anticipated from the Waterboard on this correction). A site deed restriction to commercial uses, soil management plan and requirements for vapor barrier protections are required for new development but no further cleanup or monitoring. An historic resources report on the existing site and structures was completed by Page & Turnbull in June of 2021. The Summary of Findings beginning on page 2 of the report states that the project does not appear eligible under the California or National Registers. The report is attached to this submittal package.

A transportation memo prepared for the project by Fehr and Peers indicates that the proposed project will have a less than significant impact on Vehicle Miles Travelled (VMT).

A cultural resources analysis prepared by ArcheoTec indicates a low potential for cultural resources to be encountered. On site archaeological monitoring was provided during soil testing and drilling. No evidence of cultural materials (including midden) was encountered.

The General Plan

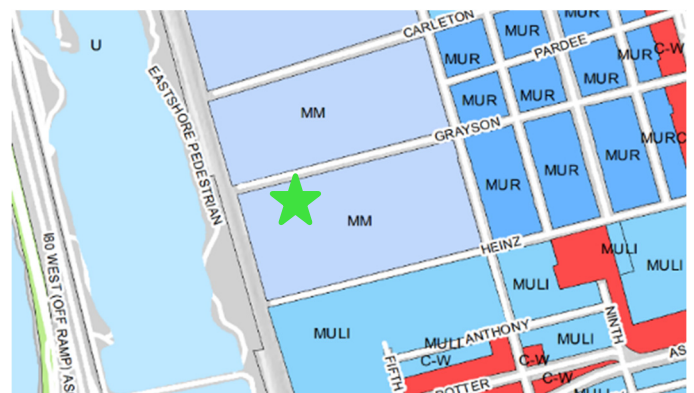
The General Plan finally incorporated the West Berkeley Plan by reference as a part of the City of Berkeley's most recent General Plan updated in 2001. The establishment of the MM zoning (see below) and its protection for Manufacturing, Wholesale Trade, and Warehouse land uses and floor area was cornerstone to the West Berkeley Plan's effort supporting the goals of preserving and encouraging industrial and manufacturing uses found in West Berkeley.

The West Berkeley Plan

Adopted in 1993, The West Berkeley Plan aims to preserve and enhance a rich mix of artists, manufacturing, wholesale, warehousing, research and development, residential, and retail uses. The plan was created in part by, and its implementation is monitored by the community. The required zoning was adopted by the City Council as West Berkeley Plan implementation in 1998.

Zoning Development Standards for the MM Zone

Table 1 identifies required development standards. The proposed project complies with development and performance standards outlined in BMC section 23E.76.070 and listed above except for the height and parking variance, requested below. The project also requests use permits to reduce parking and loading requirements.



Project zoning designation

Table 1: Development Standards

<i>Development Standard</i>	<i>Reference</i>	<i>Permitted or Required</i>	<i>Proposed</i>
Floor Area Ratio	<i>BMC Sec. 23.206.050(A)(1)</i>	2.0	2.0
Height Limit	<i>BMC Sec. 23.206.050(A)(1)</i>	45 ft.	72 ft. Variance Requested
Minimum Lot Size	<i>BMC Sec. 23.206.050(A)(1)</i>	20,000 sf	109,230 sf
Front Setback	<i>BMC Sec. 23.206.050(A)(1)</i>	0	0
Side Setbacks	<i>BMC Sec. 23.206.050(A)(1)</i>	0	Varies, 34'-5" minimum (west), 3'-8" (east)
Rear Setback	<i>BMC Sec. 23.206.050(A)(1)</i>	0	Varies, 28'-7" minimum
Vehicular Parking	<i>BMC Table 23.322-4. BMC Sec. 23.206.050(A)(1)</i>	380	325 Use Permit and Variance Requested
Bicycle Parking	<i>BMC Sec. 23.322.090(A)(1)</i>	107 (1/2,000sf)	148
Electric Vehicle Stations	<i>BMC Sec. 19.37.040</i>	33 (10% of total spaces)	33
Loading	<i>BMC Sec. 23.322.100(B)</i>	9	2 Use Permit Requested
Open Space	<i>BMC Sec. 23.206.050(A)(1)</i>	0 sf	50,705 sf

Loading Reduction

The Zoning Ordinance requires the project to provide nine on-site truck loading spaces. However, the project's proposed use of primarily R&D with some light manufacturing is expected to have lower loading needs than a traditional manufacturing use. As a benchmark, the project transportation consultant, Fehr & Peers, reviewed on-site truck loading requirements for similar uses in nearby jurisdictions and other jurisdictions with a significant level of R&D development activity were reviewed.

Table 2 presents the on-site truck loading requirements for the project as required by the City of Berkeley and compares it to loading spaces required by the other jurisdictions. Compared to the nine spaces required by the Berkeley Zoning Ordinance, other jurisdictions would only require three or four on-site truck loading spaces for the same project. The project proposes two on-site loading spaces that can accommodate large trucks (50 feet or larger). Based on the demand implied by the code requirements of the other jurisdictions, we recommend providing four loading spaces for the project. Since the project would provide two on-site loading docks for large trucks, we recommend designating two on-street loading spaces (50 feet total) to accommodate loading for smaller trucks.

Table 2: On-Site Loading Requirements Comparison

<i>Jurisdiction/Use Assumptions</i>	<i>Required Spaces</i>	<i>Minimum Dimensions</i>
City of Berkeley		
Manufacturing District (213.3 KSF)	9 spaces ¹	25 feet long, 12 feet wide, and 14 feet vertical clearance ¹
City of Emeryville		
R&D Use (171.7 KSF)	2 medium spaces ²	35 feet long, 12 feet wide, and 14 feet vertical clearance ²
Industrial Use (41.6 KSF)	1 large space ²	50 feet long, 12 feet wide, and 14 feet vertical clearance ²
<i>Total</i>	<i>3 spaces</i>	
City of Richmond		
R&D Use (171.7 KSF)	2 medium spaces ³	35 feet long, 12 feet wide, and 14 feet vertical clearance ³
Industrial Use (41.6 KSF)	1 large spaces ³	50 feet long, 12 feet wide, and 14 feet vertical clearance ³
<i>Total</i>	<i>3 spaces</i>	
City of Oakland		
Industrial Use (213.3 KSF)	3 spaces ⁴	45 feet long, 12 feet wide, and 14 feet vertical clearance ⁵
City of South Francisco		
Total Use (213.3 KSF)	4 spaces ⁶	50 feet long, 12 feet wide, and 14 feet vertical clearance ⁶
City of Hercules		
Industrial/R&D Use (213.3 KSF)	4 spaces ⁷	50 feet long, 12 feet wide, and 14 feet vertical clearance ⁷

Notes:

1. [Berkeley Municipal Code Section 23.322.100](#) requires one loading space for the first 10,000 square feet in manufacturing districts, with one additional loading space for each additional 25,000 square feet.
2. [Emeryville Municipal Code Section 9-4.409](#) requires two medium loading spaces for 100,000-200,000 square feet of research and development uses, and one large loading space for 25,000-50,000 square feet of industrial uses.
3. [Richmond Municipal Code Section 15.04.607.090](#) requires two medium loading spaces for 100,000-200,000 square feet of research and development uses, and three large loading spaces for 100,000-200,000 square feet of industrial uses.
4. [Oakland Municipal Code Section 17.116.150](#) requires two loading berths for the first 50,000-99,999 square feet of industrial uses, with one additional loading berth for each additional 150,000 square feet.
5. [Oakland Municipal Code Section 17.116.220](#).
6. [South San Francisco Municipal Code Section 20.330.009](#) requires four loading spaces for 150,001-230,000 square feet of non-residential uses.
7. [Hercules Zoning Ordinance Section 13-32.330](#) requires two loading berths for the first 50,000 square feet of industrial/R&D uses, with one additional loading berth for each additional 100,000 square feet.

Source: Fehr & Peers, 2022.

Variance Requests

700 Grayson seeks to increase the height limit from 45 feet to approximately 72 feet to accommodate increased floor to floor heights required for the market needs of manufacturing space of 20' (Level 1) and research and development uses of 16' (Levels 2-4). The increased height does not accommodate increased floor area – the project still proposes an FAR of 2.0 as allowed by the zoning. The proposed project will provide extensive community benefits as discussed above. A mechanical penthouse will be located on the roof and a separate AUP is requested for that.

A second variance is required to allow a parking reduction. This is matched by additional bicycle parking, pursuant to an administrative use permit and a robust TDM program which are anticipated to reduce parking demand.

Permits & Findings Required

The project team has identified the following necessary permits for the project:

1. **BMC 23.326.070.A:** Use Permit to demolish existing non-residential buildings;
2. **BMC 23.206.050.A.2:** Use Permit to remove existing ground-level floor area used for manufacturing.
3. **BMC 23.206.030.A:** Use Permit to construct 40,000 or more gross square feet of new floor area;
4. **BMC 23.206.020:** Administrative Use Permit to establish more than 20,000 SF R&D use;
5. **BMC 23.206.030.A:** Use Permit to reconstruct more than 40,000 square feet of ground level floor area devoted to light manufacturing use.
6. **BMC 23.406.050:** Variance from BMC 23.322.030.C to provide 325 off-street automobile parking spaces where 380 are required.
7. **BMC 23.322.050.A.8:** Use Permit to designate up to 10% of automobile parking required for a use for bicycle and/or motorcycle parking.
8. **BMC 23.322.100.5:** Administrative Use Permit to reduce the number of on-site loading spaces from 9 to 2.
9. **BMC 23.406.050:** Variance from BMC 23.406.050: Development and Performance Standards, height requirement of 45 feet to allow up to 72 feet.
10. **BMC 23.304.050.A:** Administrative Use Permit to allow architectural elements to exceed the height limit in a non-residential district.

BMC 23.326.070 Demolitions of Non-Residential Buildings

D. A Use Permit or an AUP for demolition of a non-residential building or structure may be approved only if the ZAB or Zoning Officer finds that:

- 1. The demolition will not be materially detrimental to the commercial needs and public interest of any affected neighborhood or the City of Berkeley; and*
- 2. The demolition:*
 - (a) Is required to allow a proposed new building or other proposed new Use;*

The proposed project will not be materially detrimental to the commercial needs and public interest of the West Berkeley neighborhood. The demolition will not remove buildings of historical or architectural significance. The removal of the structures will facilitate reuse of the site in a manner that will allow the

site to be economically productive for the City of Berkeley in the future and provide an appropriate transition to the eclectic mix of uses on the block and in the immediate vicinity which include industrial, artist studios, lab, R&D, yoga, co-working, furniture making, and retail/restaurant uses. The existing buildings do not meet industry standards for productive manufacturing or research and development uses, which have greatly evolved in recent years. The upgrades necessary to these buildings would require significant investment and alterations to the buildings and site to accommodate reuse.



23.206.050(A) Use Permit to Demolish and Replace Protected Manufacturing Floor Area

In order to approve use permit to allow the demolition of protected use floor area the ZAB must make the finding found in Zoning Ordinance section 23.206.050(A)(3) and (4):

(3)(a) To approve a permit required by Table 23.206-6 for changes to a protected industrial use in the MM and MU-LI districts, the review authority must find that replacement space is provided as required by Paragraph 4 (Replacement Space) below...

4. Replacement Space. Floor area occupied by a protected industrial use that is changed to a non-protected use must be replaced, in the West Berkeley Plan area, by a comparable space devoted to one or more of protected industrial uses.

The proposed project will demolish the current ground level manufacturing floor area in order to make room for new construction. It will replace the 35,352 sf of protected floor area pursuant to Zoning Ordinance requirements and as described in this application, with 35,356 sf of manufacturing area (including shared use areas) within the project. The floor area will be down during construction but it is already currently vacant with the exception of the temporary unhoused persons facility.

23.206.100 Findings for MM District

In order to approve a project in the MM zone, the ZAB must make the following findings. This finding is required for the following use permits relevant to this project:

- **BMC 23.206.030.A:** Use Permit to construct 40,000 or more gross square feet of new floor area;
- **BMC 23.206.020:** Administrative Use Permit to establish more than 20,000 SF R&D use;
- **BMC 23.206.030.A:** Use Permit to reconstruct more than 40,000 square feet of ground level floor area devoted to light manufacturing use.

A. That the project:

1. Is consistent with the purposes of the district;
2. Is compatible with the surrounding uses and buildings;

3. *Complies with the adopted West Berkeley Plan; and*
4. *Meets any applicable performance standards for off-site impacts.*

B. Additional Findings.

1. The project:

- (a) Is unlikely, under reasonably foreseeable circumstances, to induce a substantial change of use in buildings from manufacturing, wholesale trade, or warehousing uses; and*
- (b) Is designed in such a manner to be supportive of the industrial character of the district. Such physical compatibility shall include materials used; facade treatments; landscaping; lighting; type, size and placement of awnings, windows, and signs; and all other externally visible aspects of the design of the building and site.*

The proposed uses and buildings are compatible with the purposes of the district in that the project will: develop manufacturing and research and development, and ancillary uses that meet the West Berkeley Plan's designation of a Manufacturing District; provide a range of job opportunities and wage ranges, including those that do not require advanced degrees. Additionally, the project improves the quality of the West Berkeley environment through improvements to the quality of building materials, bioretention systems to improve stormwater quality into Aquatic Park and the lagoon, where currently none exists, and new sidewalks and landscaping, including street trees, which do not currently exist.

The proposed uses are compatible with the surrounding uses, which include warehousing, manufacturing, office, research and development, laboratories, co-working/yoga, furniture manufacturing, and art studios/production. Additionally, the combination of laboratory, office and research & development uses within the subject site are inherently consistent with the district purpose to provide opportunities for office that will not interfere with light manufacturing uses or building stock. Notably, within two blocks of the project site are a school, and retail and commercial services, in addition to employment uses. This project would further contribute to the economic and land use diversity described in the district purposes.

The proposed use is consistent with the West Berkeley Plan because it is a development that will provide manufacturing and research & development uses that maintain the mix of uses and economic diversity which gives West Berkeley its unique character. The plan was in part initiated to prevent the conversion of manufacturing uses to office and residential uses. Over



Beyond employment uses, there are an eclectic mix of uses within one block of the project site, including a school and a yoga studio/co-working space.

the last 30 years, such conversions have occurred only rarely. The West Berkeley Plan supports the start-up of new types of economic activity which creates opportunities for land and business development.

Additionally, the proposed project would increase the number of employees on-site. The project could generate up to 700 new jobs. Many of those jobs will be filled by current Berkeley residents who are commuting to research jobs outside of Berkeley. Approximately 15%, or 105 of those jobs will not require advanced degree thus expanding job opportunities in line with the West Berkeley Plan goals. The proposed use of glass, metal, concrete, and deep-earth toned metal mesh express the industrial nature of the building while complementing the setting across from Aquatic Park and within West Berkeley's eclectic architecture.

The proposed use will not create substantial dust, glare, noise, odor, vibration, hazardous materials, or any other potential off-site environmental impacts because it will be required to comply with performance standards applicable in West Berkeley. Landscaping, tree planting, partially opaque metal mesh panels, reduce the possibility for glare.

Specifically, the project supports the following West Berkeley Plan Policies:

- **Goal 1 – Policy D:** Providing space for, and designating appropriate locations for, office, service, and laboratory businesses, particularly growing Berkeley based businesses which are particularly suited to West Berkeley's physical environment.
- **Goal 2 – Policy B:** Create a Mixed Manufacturing district as a general industrial district, where both heavy and light manufacturers can function, along with "biotech" industries and office users which can recycle the upper stories of buildings.
- **Goal 4 -** Assure that new development in any sector is of a scale and design that is appropriate to its surroundings, while respecting the genuine economic and physical needs of the development.

BMC 23.322.050.A.8 Use Permit to Designate up to 10% of Parking for Use by Bicycles

(e) To approve the permit, the review authority must find that:

- i. The substitution will not lead to an undue shortage of automobile parking spaces; and*
- ii. It can be reasonably expected that there will be demand for the bicycle and/or motorcycle parking spaces.*

The proposed project includes 325 parking spaces where 380 are required. The project will provide 148 onsite bike parking spaces—38 additional bicycle spaces or 10% of the total vehicle parking requirement—making it eligible for the 10% vehicle parking reduction.

Estimated Parking Demand

The project transportation consultant, Fehr & Peers, estimated project parking demand using data published by the Institute of Transportation Engineers (ITE) in the *Parking Generation Manual (5th Edition)* as a starting point. ITE's *Parking Generation Manual* is primarily based on data collected at

single-use suburban sites where the automobile is often the only travel mode. However, the project site is in a relatively dense urban environment adjacent to transit service where some employers or visitors may access the site by walking, bicycling, or using transit. To account for those who would access the project site by non-automobile modes, a modal adjustment was applied to the raw ITE parking demand, similar to the one applied to the project trip generation. The modal adjustment is based on US Census data for workers in the project census tract based on the Census Transportation Planning Product (CTPP, 2012-2016), which shows that about 23 percent of workers in the project area¹ travel to and from work by non-automobile modes, compared to 13 percent for the United States as a whole. Therefore, the project parking demand was reduced by about 11 percent to account for the non-automobile access modes.²

Table 3 presents the estimated parking demand for the project. Based on the ITE data, the project is estimated to generate a peak parking demand of 408 spaces, compared to the 325 spaces provided by the project. Reducing the project parking demand to match the project parking supply would require a transportation demand management (TDM) plan that would reduce project parking demand by about 20 percent.

Table 3: Project Parking Demand

<i>Land Use</i>	<i>Size¹</i>	<i>Rate²</i>	<i>Parking Demand</i>
R&D	177.9 KSF	2.39 spaces per KSF	425
Light Manufacturing	35.4 KSF	0.92 spaces per KSF	33
ITE Parking Demand			458
Non-Auto Adjustment (-11%) ³			--50
Project Parking Demand			408
Project Parking Supply			325
TDM Reduction Required			83 spaces (20% reduction)

Notes:

1. KSF = 1,000 square feet
2. Based on data from the ITE Parking Manual (5th Edition) for peak weekday parking demand in general urban/suburban settings. land use code 710 for the R&D component of the project and land use code 140 for the light manufacturing component of the project.
3. Adjustment based on mode share (Table A202105) as compiled in the CTPP (2012-2016) estimate for workers in the project census tract (Alameda County Tract 4220) compared to national data.

Source: Fehr & Peers, 2022.

TDM Strategies

Table 4 presents the potential TDM measures that could reduce the project parking demand. The effectiveness of the strategies presented in the table is primarily based on research compiled in *Handbook for Analyzing Greenhouse Gas Emission Reductions, Assessing Climate Vulnerabilities, and Advancing Health and Equity, Designed for Local Governments, Communities, and Project Developers*

¹ Alameda County Tract 4220

² The non-automobile adjustment for the project is calculated as the ratio of non-automobile trips for workers in the project census tract to the US as a whole ($1 - 0.77/0.87 = 0.11$).

(California Air Pollution Control Officers Association [CAPCOA], December 2021), which is a resource for local agencies to quantify the benefit, in terms of reduced vehicle trips and parking demand, of implementing various TDM strategies.

As shown in Table 4, the proposed TDM measures combined are estimated to reduce the project parking demand by at least 20 percent, which would reduce the project parking demand to below the proposed parking supply. Therefore, no parking impacts will occur as a result of the 10% automobile parking reduction.

Table 4: TDM Plan Reduction Estimates

<i>TDM Strategy</i>	<i>Description</i>	<i>Estimated Parking Demand Reduction¹</i>
BART Shuttle	Provide peak commute period shuttle service to BART (West Berkeley Shuttle)	3% - 6%
Bicycle Amenities	Provide secure bicycle parking, showers and lockers, and repair station	<1%
Bike Share	Facilitate installation of a potential BayWheels bikeshare station along the site frontage	
Carshare Parking Spaces	Dedicate on-site carshare parking spaces	<1%
Carpool and Ride-Matching Assistance	Assist employees in forming carpools and provide preferential carpool parking spaces	1%
Transit Fare Subsidy	Require tenants to provide transit subsidies to employees	3% - 5% ²
Pre-Tax Commuter Benefits	Require tenants to provide pre-tax commuter benefits to employees	
Marketing and Education	Actively market and educate employees on various commuting options	1%
Limited Parking Supply and Parking Management	Provide less parking than demanded by project users and charge market-rate for all parking spaces	8% - 12%
Remote Work	Encourage tenants to allow employee to work remotely at least one day per week	4%-6%
Total Estimated Parking Demand Reduction		20% – 29%

Notes:

1. Primarily based on *Handbook for Analyzing Greenhouse Gas Emission Reductions, Assessing Climate Vulnerabilities, and Advancing Health and Equity, Designed for Local Governments, Communities, and Project Developers* (CAPCOA, December 2021).
2. Assuming a transit subsidy of about \$2.50 per day per employee (value to transit user and not necessarily the cost) available to all employees.

Sources: Fehr & Peers, 2022.

23.406.050(F) Variance Findings for Issuance and Denial

Parking Variance

(a) There are exceptional circumstances applying to the property which do not apply generally in the same district;

(b) The Variance is necessary to preserve a substantial property right;

The Use Permit findings stated above (see BMC 23.322.050.A.8 Use Permit to Designate up to 10% of Parking for Use by Bicycles) are incorporated into these variance findings by reference and are not repeated below.

The project site at 700 Grayson Street is exceptional for its isolated location at the end of a dead end street, surrounded by rail lines and only limited vehicular access ways. The project site is unique in Berkeley in that it may be located on the only block in West Berkeley where sites are landlocked on two sides by active railroad right-of-way, and on a third by an abandoned rail spur. Because of the site's landlocked nature, the Fire Department requires a fire road to the east of the property to allow for access to the back of the building. This exceptional site condition reduces the potential building footprint.

In order to meet the parking requirement, the project would need to reduce floor area—below the 2.0 floor area permitted by the Zoning Ordinance. This would prevent the applicant from enjoying substantial property rates. Alternatively, the project could build another level of parking, increasing the building height further beyond the 72 feet proposed for the R&D/Manufacturing portion of the building. However, as shown in Tables 3 and 4, above, the reduction in parking from 380 spaces to 325 spaces (including 38 spaces reduced with a Use Permit in exchange for providing additional bike parking spaces), more closely equates estimated parking demand with the proposed supply. This allows the applicant to maximize the enjoyment of property rights by aligning the amount of floor area proposed with the parking necessary to serve it.

(c) The Variance will not adversely affect the health or safety of persons residing or working near the property;

(d) The Variance will not be materially detrimental to the public welfare or injurious to nearby property or improvements;

(e) The Variance will promote the municipal health, welfare, and safety and benefit the city as a whole;

(f) Any other Variance findings required by Zoning Ordinance can be made.

The proposed variance request will not adversely affect the health and safety of people living or working nearby, or cause detriment to the public welfare. Rather, the variance would create numerous benefits to the surrounding area, and to Berkeley in general in the form alternative travel modes that help to reduce traffic, air quality impacts, GHG emissions, and noise. The variance reduction would more closely align parking demand, as shown in Table 3 and 4 above, with parking provided. For example, the project provides more bicycle parking than is required and locates the secure bike parking abutting the front lobby—closer than any vehicle parking provided. Along with showers, lockers, and a bike repair station, these amenities incentivize biking as a highly convenient option for commuting. The project also provides shuttle access to BART, closing the “last mile” gap for employees traveling on transit. Meeting

the parking requirement per the Zoning Ordinance, would require an additional level of parking and additional height and construction material. Instead, the reduction allows more floor area and construction to be devoted to R&D/Manufacturing work space, which supports employment at all income and education levels, and less space devoted to the storage of cars.

23.406.050(F) Variance Findings for Issuance and Denial
Height Variance

After considerable design work, feasibility, and construction review, we have found it necessary to request a height variance from the otherwise applicable 45' height limit of the Mixed Manufacturing zoning district (Section 23.206.050(A)(1)). Our work toward implementation has obviated several issues that prevent us from developing the property without substantial hardship because of locational and other challenges of the project site, and realities of the marketplace for R&D and manufacturing uses related to life sciences.

(a) There are exceptional circumstances applying to the property which do not apply generally in the same district;

The project site at 700 Grayson Street is exceptional for its isolated location at the end of a dead end street, surrounded by rail lines and only limited vehicular access ways. The site is located more than 650 feet from the nearest intersection. This reduces the building's visual impact on surrounding uses but also creates challenges for emergency ingress and egress.

Railroad & Spur Location: The project site is unique in Berkeley in that it may be located on the only block in West Berkeley where sites are landlocked on two sides by active railroad right-of-way, and on a third by an abandoned rail spur. Although many sites in West Berkeley are adjacent to the railroad tracks, no other site in the City of

Berkeley appears to be bound on three sides by two active railroad tracks and an inactive track (Grayson Street frontage) and on the other two sides by a public right-of-way (Grayson Street, which also contains old railroad tracks) and vehicular driveway (an easement on the adjacent property). The driveway is approximately 650 feet from the closest intersection. Because of the site's landlocked nature, the Fire Department requires a fire road to the east of the property to allow for access to the back of the building.



Rail tracks and spurs on and adjacent to the project site

This exceptional site condition reduces the potential building footprint and necessitates that access to the site be on Grayson Street. However, this constraint also provides an opportunity, in that these

railroad and vehicular facilities also serve as extended buffers to all neighboring sites. The rail spur to the south is located is actively used is unlikely to ever be developable given the lack of access and its narrow width of 50 to 80 feet. Although setbacks are not required in the MM district, these buffers serve as setbacks that reduce noise and visual impacts to neighboring buildings.

(b) The Variance is necessary to preserve a substantial property right;

The proposed variance is necessary for the applicant's enjoyment of substantial rights. These are rights for development potential that are broadly enjoyed by the balance of properties in West Berkeley. Only with the height variance, can the project achieve floor allow allowed by the 2.0 FAR limit in the MM district.

Ground Floor Heights: Ground floor heights anticipated by the 45-foot height limit do not provide for the enjoyment of substantial property rights. The nature of R&D and life science users can include large pieces of machinery, deliveries, equipment, and ductwork that require taller ceiling heights and taller reinforced floors. As the Bay Area in particular continues to generate new innovations, companies, and technologies, space requirements and equipment needs are continuing to evolve. The buildings will need to be flexible to adapt to these changing technologies and the needs of lessees over time.

Allowing a minimum of 16 feet floor-to-floor provides necessary space for equipment and structural requirements, while providing clear floor-to-ceiling heights to accommodate tenant needs. Notably, the recently approved project 600 Addison Street achieves 16-foot floor-to-floor heights in a way that meets the City's definition of building height, through excavation given the steep slope on the site. That level of excavation is not feasible at this project site given the more gradual slope and the substantial amount of off-haul that would be required.

Floor-to-floor heights in R&D and laboratory buildings need to be higher to accommodate specific tenant, structural, and HVAC needs. Depending on the tenant needs, the project architects assume that 3-4 feet of space above the ceiling is needed for the following:

- Non-combustible construction requires fire proofing of the deck components and sprinklers (6-8" of ceiling space)
- Larger ductwork sizing (in comparison to typical office buildings) is required to achieve the required laboratory air flow rates (24"-36" depending on the exhaust needs of the tenant)
- Lab tenants also have special needs that we do not typically find in office buildings such as: tenant gases, vacuum, compressed air systems, additional plumbing for higher supply and waste handling, multi-tenant metering systems.
- Structural requirements for floor assemblies with additional vibration mitigation needs due to the proximity to the railroad (3.5" of concrete over a 2" metal deck; see details below).

Railroad Vibration: R&D users often require specialized equipment and pads on which to locate sensitive electronic equipment. Trains on the railroad tracks produce vibration at the site that is higher than more typically settings in West Berkeley that do not abut two active railroad lines. Structural framing requirements, and potentially concrete slab thickness, will be greater at this site to reduce vibration associated with passing trains. For structural framing, architects typically assume a floor assembly

consisting of 3.5" of concrete over a 2" metal deck and girders approximately 24" in depth. This leaves 12'-6.5" to underside of structure. Add to this typical ceiling depths needed to support HVAC systems for laboratory and R&D users, this unique circumstance necessitates taller floor to floor heights.

In order to achieve the typical 16-foot floor-to-floor heights that are required for leasable research and development and laboratory uses, the project would be limited to three stories, not the four stories that are anticipated by the 45-foot height limit. This less than desirable circumstance results in operational and financial constraint for the property owner. Collectively, these circumstances deprive the applicant of substantial property rights.

(c) The Variance will not adversely affect the health or safety of persons residing or working near the property;

(d) The Variance will not be materially detrimental to the public welfare or injurious to nearby property or improvements;

(e) The Variance will promote the municipal health, welfare, and safety and benefit the city as a whole;
The proposed variance request will not adversely affect the health and safety of people living or working nearby, or cause detriment to the public welfare. Rather, the variance would create numerous benefits to the surrounding area, and to Berkeley in general in the form continued advocacy and support for homeless services, undergrounding of overhead electrical lines that support safety, improved public infrastructure, and native plantings and new stormwater management facilities that would improve water quality in the Aquatic Park lagoon and San Francisco Bay.

Comparable to Neighborhood

Heights – The existing tower on the site measures 75'-9" in height, exceeding both the current MM district height requirement as well as the height limit proposed by the project. The subject site is positioned in a fairly remote location, 650 feet from the nearest intersection and dwarfed by the superblock occupied by the Bayer site to the north. Notably, the Bayer site is anticipated to have building heights up to 80 feet in their approved master plan update, in addition to existing buildings which already exceed 45 feet. In addition to the subject site, many other buildings in the vicinity of the project site exceed the current height limit. The City of Berkeley has granted several variances to exceed the height limit within just 2 blocks of the project site:



Several buildings that exceed the district height limit are located within two blocks of the project site, including 740 Heinz, 700 Heinz, and 725 Potter.

- Approved height Variance for a 60-foot laboratory building at 700 Heinz Ave.
- Approved height Variance for a 4-story building at 725 Potter

- Approved height Variance for a 74-foot 4-story building at 740 Heinz Ave.

The project would be compatible in terms of building height and the quality of materials and therefore would not be materially detrimental to the neighborhood in terms of views, light, or air impacts. As detailed in the preceding sections, the project site enjoys substantial buffers to adjacent parcels. To the north, the Bayer property is separated by a 60-foot right-of-way. To the south, the project separated by approximately 90 feet, given the 50 to 80-foot railroad spur and the project's fire access lane and setback. To the east, the adjacent building has not windows on the confronting façade and therefore will not be impacted by the building height. To the west are the railroad tracks and Aquatic Park. The building would be visible from Aquatic Park, but softened by the third floor lushly landscaped terrace.



740 Heinz Ave. is a 74-foot building located one block from the project site which also received a variance in 2012 to exceed the 45-foot height limit.

The project would provide an intensity of use at four stories, which will be compatible with existing industrial structures. It will not be detrimental to the immediate neighborhood, since the variance request will not contribute to additional workers, vehicles or traffic, or noise during operation of the project. The 45-foot height limit in the district contemplated 4-story buildings, just not 4-story buildings with the taller height requirements than previously necessary. In this way, the project supports Goal 4 of the West Berkeley Plan, assuring that new development is appropriate to its surroundings, while respecting the genuine economic and physical needs of the proposed development.

Adjacency to Aquatic Park Lagoon – Aquatic Park serves as a public recreation amenity, linear bike and pedestrian path, and habitat for waterfowl. The subject site does not currently have stormwater management systems in place. As a result, stormwater is not well treated before it enters Aquatic Park and the lagoon. The project includes 24,884 square feet of total landscaped area, including 14,503 square feet at ground level (see Sheet L5.00). This also includes over 4,200 square feet of C.3 stormwater management treatment area designed to capture and treat stormwater on-site and avoid negative impacts on Aquatic Park and the San Francisco Bay.



Project site (in blue) relative to Aquatic Park and lagoon.

Community Benefits: In addition to accommodating a homeless shelter at present, the project is committed to support ongoing transitional housing through an additional payment and sweat equity to find another shelter space; will contribute required fees to affordable housing and childcare, and will install sidewalks and 12 street trees, where none currently exist, and expand landscaping and stormwater plantings and basins.

The project is able to provide the benefits proposed herein because of the 4-stories of leasable floor area. In this way, the 4-story proposed project meets the following purposes of the MM District in a way that would be less well supported by a 3-story project that fully complied with the height measurement.

- 5. Provide an appropriate location for the development of compatible industries which can provide high quality employment for people at all educational levels, and add significantly to the tax base, such as the biotechnology industry.
- 8. Support the development of industrial businesses which contribute to the maintenance and improvement of the environment.

(f) Any other Variance findings required by Zoning Ordinance can be made.

No other findings are required by the MM zoning district relevant to height.

23.406.040(E) Findings for Issuance and Denial and Conditions

In order to approve any use permit, the ZAB must make the General Non-Detriment required by section 23B.32.040 of the Zoning Ordinance.

1. *To approve a Use Permit, the ZAB shall find that the proposed project or use:*
 - (a) Will not be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or visiting in the area or neighborhood of the proposed use; and*
 - (b) Will not be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City.*
2. *To approve the Use Permit, the ZAB must also make any other Use Permit findings specifically required by the Zoning Ordinance for the proposed project.*
3. *When taking action on a Use Permit, the ZAB shall consider in its findings:*
 - (a) The proposed land use; and*
 - (b) The structure or addition that accommodates the use.*
4. *Required findings shall be made based on the circumstances existing at the time a decision is made on the application.*
5. *The ZAB shall deny a Use Permit application if it determines that it is unable to make any of the required findings.*

The proposed project will neither be a detriment to the neighborhood nor to the City of Berkeley in general. The proposed project represents an improvement on an underutilized lot, which includes dated buildings and stormwater and other infrastructure, lack of site security, and opportunities for illegal activities especially at the dead end of Grayson Street. The proposed light manufacturing and R&D uses are permitted by the MM district and appropriate for the proposed building, which includes taller floor-to-ceiling heights and state-of-the-art building systems. Parking reductions will allow for more alignment between estimated parking demand and proposed parking supply. The project will provide high quality employment space with sustainability features that include all electric systems, expanded bicycle facilities that will reduce greenhouse gas emissions, noise, traffic, and air quality impacts for both its neighbors and for the region.

The new uses will generate up to 700 job opportunities at a range of qualification levels. The project will add bioretention systems to slow and clean stormwater improving the quality of water entering the Aquatic Park lagoon and San Francisco Bay. It will plant new street trees (where none currently exist) and native landscaping to support habitat and reduce the heat island effect. The project, therefore, aligns with Berkeley's General Plan, West Berkeley Plan, and Climate Action Plan goals which seek to increase employment opportunities and reduce greenhouse gas emissions.



The project will replace out-of-date buildings and streetscape, with new sidewalk, street trees, and underground utilities.