



D E S I G N  
R E V I E W  
C O M M I T T E E  
S T A F F R E P O R T

**For Committee Decision**  
JULY 21, 2022

## **2440 Shattuck Avenue**

### **FINAL DESIGN REVIEW**

**Design Review #DRCF2022-0003** to demolish one existing commercial building and construct an eight story, mixed use building with 40 dwelling units and 2,700 square feet of ground floor commercial space.

#### **I. Introduction**

This project is located at the Northwest corner of Shattuck and Haste in the C-DMU Mixed-use Downtown Zoning District in the Corridor Subarea.

The demolition referral went before the Landmarks Preservation Commission on April 7, 2022 where the Commission took no action. A public hearing was held with the Zoning Adjustments board on May 26, 2022 where the project received its Use Permit. A copy of those drawings is included as an attachment.

It was last before the Design Review Committee for Preliminary Design Review on April 21, 2022. A summary from that meeting can be found below. It is returning this month for Final Design Review, where the Committee will discuss the project details, open space design and final colors and materials.

#### **II. Background**

The project would demolish the existing building, remove the existing curb cut and driveway on Haste Street, and construct a new mixed-use building with the following primary components:

- 40 dwelling units (7 one-bedroom, 19 two-bedroom, 14 three-bedroom) for a total of 87 beds;
- 2,700 square feet of commercial space for two retail tenants on the ground floor at the west side of the property with access from Shattuck Avenue;
- A bicycle storage room for 44 bicycles on the ground floor and a total of four on-site short-term bicycle racks located along Shattuck Avenue;

- A residential lobby with “green wall” and recessed entry, access to Haste Street;
- Residential amenities on the ground floor including community kitchen, office, lounge with fireplace, and space for cubicles and conference room;
- Three new street trees along Haste Street;
- Useable open space of 1,150 square feet, located on the eighth-floor terrace fronting Shattuck Avenue;
- A five-foot setback at the right (interior) and rear property lines to allow for access to the mechanical, bike storage, refuse and electrical rooms at the rear of the building on the first floor.

### III. Project Setting

#### A. Neighborhood/Area Description:

The project site is located in downtown Berkeley, along the north side of Haste Street at the corner of Shattuck Avenue and Haste Street. The surrounding area consists of commercial, mixed use, residential and medical office buildings ranging from one to five stories in height. One block north between Channing Way and Durant Avenue is the approved Logan Park development – two eight-story buildings totaling 287,872 square feet, including 237 dwelling units and 12,000 square feet of ground-floor commercial space.<sup>1</sup> The Downtown Berkeley BART station is located to the north within a short walking distance from the project site (0.3 miles). In addition, bus service is available via transit lines on Shattuck Avenue.

#### B. Site Conditions:

The project site rectangular and generally level, 8,560 square foot corner lot with 79 feet of frontage along Shattuck Avenue and approximately 105 feet of frontage along Haste Street. The site is currently developed with a one-story 6,500 square-foot concrete commercial building, which until recently contained the Dollar Tree. There is a bus stop located at the south property line along Haste Street, including 81 feet of red curb and 70-foot long by nine-foot wide bus stop concrete apron. A curb cut and yellow loading zone occupy the remaining street frontage along Haste Street toward the rear of the property. A concrete bulb out and street trees are located in the sidewalk at the front of the property facing Shattuck Avenue.

**Figure 1: Vicinity Map**



**Table 1: Land Use Information**

Location		Existing Use	Zoning District	General Plan Designation
Subject Property		Commercial, Retail (Dollar Store)	C-DMU (Corridor)	Avenue Commercial
Surrounding Properties	North	Commercial, Restaurant (Noodles Fresh)		
	South	Commercial, Retail (Vacant)	C-DMU (Buffer)	
	East	Mixed-Use	C-DMU (Corridor)	
	West	Residential (4-story apartment building)	R-3	High Density Residential (HDR)

## IV. DRC Summary from April 21, 2022

***Preliminary Design Review received a favorable recommendation as presented with the following direction for Final Design Review (FDR).***

***MOTION: (Kahn, Mitchell) VOTE (7-0-0-0).***

### **Conditions**

- *Show more color at FDR, even if an alternate palette proposal.*
- *Consider integrating the cornice with the trellis design.*
- *Horizontal trim at the 7th floor should remain in the design.*
- *Consider a stronger base.*
- *Consider making the bay on the northeast corner a more prominent feature.*
- *Provide a slide window into commercial storefront area.*

### **Recommendations**

- *Recommend coming sooner for FDR since review could affect many building details.*
- *Building facades need more depth.*
- *Look carefully at storefront mullion proportions*
- *Northeast bay - consider different canopy or horizontal trim detail below it, or a smaller green wall statement.*
- *Consider a stronger relationship between the base and floors above. Now, the only bay that aligns is the northeast corner.*
- *7th floor trim line is a successful detail.*
- *Middle bay on Haste may be too thin.*
- *2nd floor windows look short.*
- *Supports on entrance canopy could be improved and better balanced with bay above.*
- *North and west elevations are also very visible. Details should be added to these elevations as well.*
- *Bird safe glazing is recommended, especially at the green wall and the ground floor storefronts.*
- *Recommend an alternate color palette with a bolder statement. Add more color. Show option @ FDR.*
- *Look at slightly lighter shade for dark stucco color.*
- *Recommend adding a lot of green on the trellis and making a stronger statement. Doesn't need to be steel, but should be a living crown.*
- *Design should work both with or without the green wall.*
- *Four (4) street trees are recommended on Haste.*

## V. Issues and Analysis

### **A. Consistency with Approved Use Permit Design**

An 8 ½" x 11" copy of the approved Use Permit drawings has been included as an attachment for reference. The Use Permit included Preliminary Design

Review conditions listed below, as well as the last two below that were added by ZAB during the Use Permit public hearing. This design submittal is consistent with the approved Use Permit design.

- Show more color, even if an alternate palette proposal.
- Consider integrating the cornice with the trellis design.
- Horizontal trim at the 7th floor should remain in the design.
- Consider a stronger base.
- Consider making the bay on the northeast corner a more prominent feature.
- Provide a slide window into commercial storefront area.
- At least 80% native and drought tolerant plants in the plant palette.
- More planting along the Shattuck Avenue frontage.

**B. Current Submittal includes:**

- Floor plans, exterior elevations, building sections, perspective renderings;
  - Ground floor storefront has been refined.
  - North and west elevations have been further developed to include control joints, simplified window design, and trim bands along the seventh and eighth floors.
  - East façade has been revised to reflect feedback from the Committee: the center bay proportions and color have been adjusted; the canopy at the 8<sup>th</sup> floor now only extends the length of the roof deck; and the ground floor storefront design has been simplified.
- Construction details and wall sections;
- Landscape plan and plant palette; and
  - New planter added at the ground floor adjacent to the retail space on Shattuck.
  - Planters on roof deck reconfigured to allow for growth on trellis.
  - Percentage of native and drought tolerant plants will be included in the presentation.
- Colors and Materials
  - Revised Material Board is included on Sheet CB.

**C. Issues for Discussion:**

- Façade Design
- Building Details
- Final Color and Material Palette
- Final Landscape Plan

**VI. Recommendation**

Staff recommends that the Committee discuss the issues outlined above and approve Final Design Review with staff follow up as necessary.

**Attachments:**

1. Project Plans, received July 5, 2022
2. Approved Use Permit plans, approved May 26, 2022

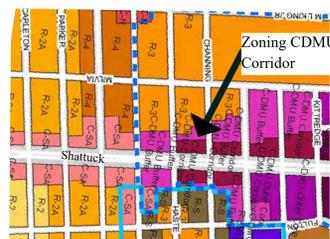
**Staff Planner:** Anne Burns, aburns@ci.berkeley.ca.us, (510) 981-7410



## The Lair - 2440 Shattuck Avenue

### Vicinity Map APN#055-1896-005-00

Site Area = 8,560 sf



### Project Summary

<b>Ground Floor</b>	Gross Area = 6,916 sf
<b>Second Floor</b>	Gross Area = 7,634 sf
<b>Third Floor</b>	Gross Area = 7,634 sf
<b>Fourth Floor</b>	Gross Area = 7,634 sf
<b>Fifth Floor</b>	Gross Area = 7,634 sf
<b>Sixth Floor</b>	Gross Area = 7,634 sf
<b>Seventh Floor</b>	Gross Area = 7,634 sf
<b>Eighth Floor</b>	Gross Area = 5,568 sf
<b>Total Gross Area</b>	<b>= 58,288 sf</b>

### Residential Summary

<b>(7 levels)</b>
<b>7 One Bdrm</b>
<b>19 Two Bdrm</b>
<b>14 Three Bdrm</b>
<b>Total = 40 units (87 Bedrooms)</b>
<b>Open Space</b>
Open Space @ 80 sf/unit = 3,200 sf Required
Open Space Provided = 1,150 sf
<b>Parking</b>
2,700 sf Retail @ 2 cars/1,000 sf = 6 cars Required
Residential Parking = 0 cars Required
Total cars required = 6 cars
Total cars provided = 0 cars
<b>Bike Parking</b>
Long Term - 1 Bike/3 Bedrooms = 29 Long Term Bikes Required
Total Long Term Bikes Provided = 44 Bikes
Short Term - 1 Bike/40 Bedrooms = 2 Short Term Bikes Required
Commercial 1 Bike/2,000 sf = 2 Short Term Bikes Required
Total Short Term Bikes Required = 4 Bikes
Total Short Term Bikes Provided = 4 Bikes

### Tabulation Form

Project Address:	2440 Shattuck Ave			Date:	11.22
Applicant's Name:	Dave Johnson / Johnson Lyman Architects				
Zoning District:	C-DMU Corridor				
Please print in ink the following numerical information for your Administrative Use Permit, Use Permit, or Variance application:					
<b>Units, Parking Spaces &amp; Bedrooms</b>	<b>Existing</b>	<b>Proposed</b>	<b>Permitted/ Required<sup>1</sup></b>		
Number of Dwelling Units (#)	0	40	N/A		
Number of Parking Spaces (#)	0	0	4	Retail (667sf/car)=4 Cars Res = 0 Cars	
Number of Bedrooms (#)	N/A	N/A	N/A		
<b>Yards and Height</b>					
Front Yard Setback (Shattuck) (Feet)	0'	0'	0'	0' Min (0 to 75' height) 15' Min (76 to 120' height)	
Side Yard Setbacks: (facing property)					
Left: (Feet)	0'	0'	0'	0' Min (0 to 20' height) 5' Min (21 to 75' height) 15' Min (76 to 120' height)	
Right: (Feet)	0'	5'	5'	0' Min (0 to 75' height) 5' Min (76 to 120' height) 15' Min (121 to 220' height)	
Rear Yard Setback (Feet)	0'	5'	5'	5' Min (21 to 75' height) 15' Min (76 to 120' height)	
Building Height* (# Stories)	1	8	N/A		
Average* (Feet)	236"	87'-0" Top of Parapet	60"	75' (with 150' permit)	
Maximum* (Feet)	N/A	87'-0"	75'		
<b>Areas</b>					
Lot Area (Square-Foot)	8,560 sf	8,560 sf	N/A		
Gross Floor Area* (Square-Foot)	6,500 sf	58,288 sf	N/A		
Total Area Covered by All Floors (Square-Foot)	6,500 sf	6,916 sf	N/A		
Lot Coverage* Residential only (Building Footprint/Lot Area) (%)	76%	81%	N/A		
Useable Open Space* (Square-Foot)	N/A	1,150 sf	3,200 sf	80 sf/Unit	
Floor Area Ratio* Non-Residential only (Except ES-R)	N/A	N/A	N/A		

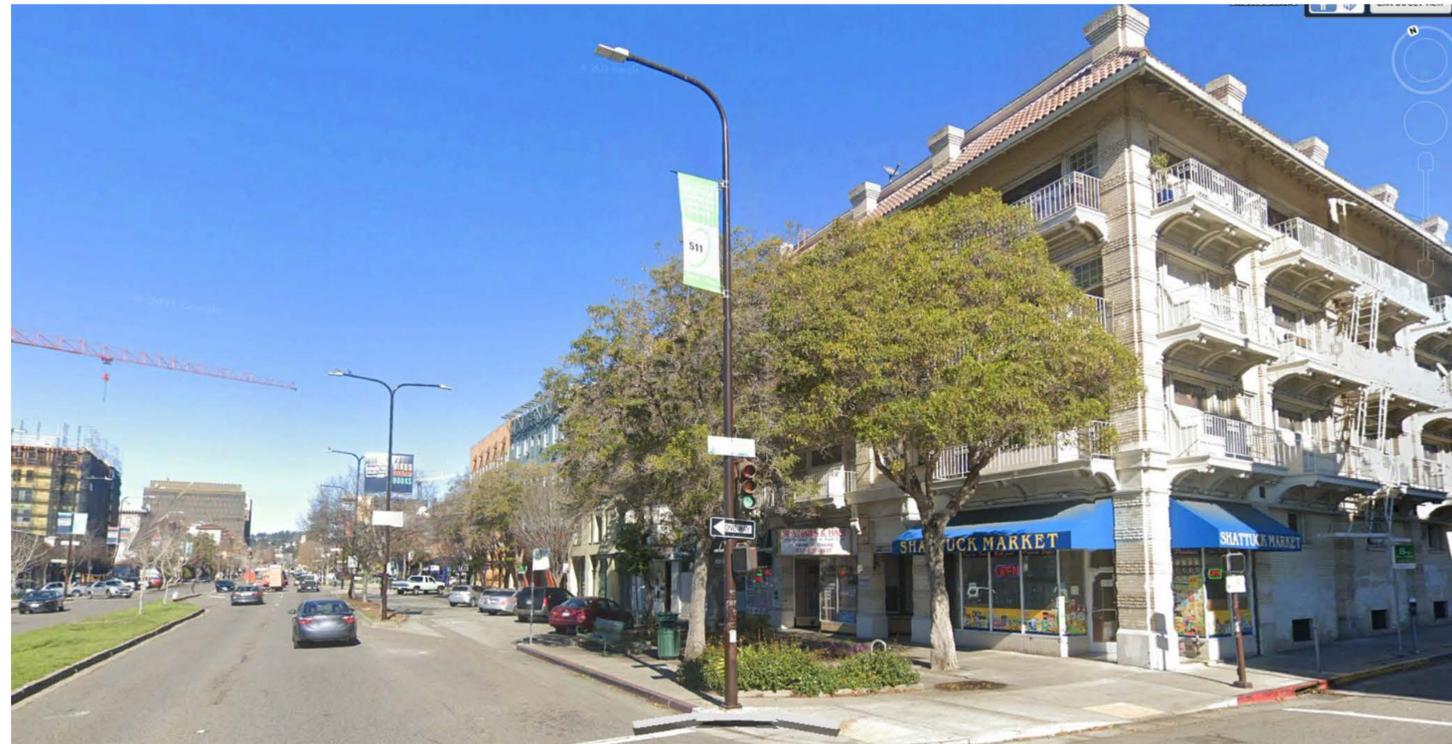
### Project Team

<b>Developer</b>	<b>Architect</b>
Bill Schrader The Austin Group LLC 925.743.8836 (o&t) 925.683.8782 (c)	Johnson Lyman Architects Dave Johnson 1375 Locust St., #202 Walnut Creek, CA 94596 925.930.9690
<b>Civil Engineer</b>	<b>Landscape Arch</b>
Humann Company 1021 Brown Ave., Lafayette, CA 94549 Ph. 925.284.0265	Thomas Baak & Assoc Rick Stover 1629 North Main Walnut Creek, CA 94596 925.933.2583

### Sheet Index

A0	Cover Sheet	A33	Sections/Details
PH1	Photo Context	A34	Sections/Details
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P2	Rendering	SH2	Sun Study
P2A	Rendering	L1	Landscape Plan
P2B	Rendering	L2	Landscape Details
P3	Rendering	C01	Preliminary Grading Plan
P4	Photo Montage	C02	Preliminary Utility Plan
P5	Photo Montage	C03	Boundary/Topographic Survey
A11	Ground Plan	EXH-1	Bus Stop Exhibit
A12	Upper Plans	DB1	Density Bonus Base Plans
A13	Roof Plans	DB2	Density Bonus Calculation
A14	Floor Plans		
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**A0**  
6.15.22



View from Shattuck Avenue looking Northeast



View from Shattuck Avenue looking Northwest

# The Lair @ Haste



View to Lobby



View from Shattuck Avenue

# The Lair @ Haste



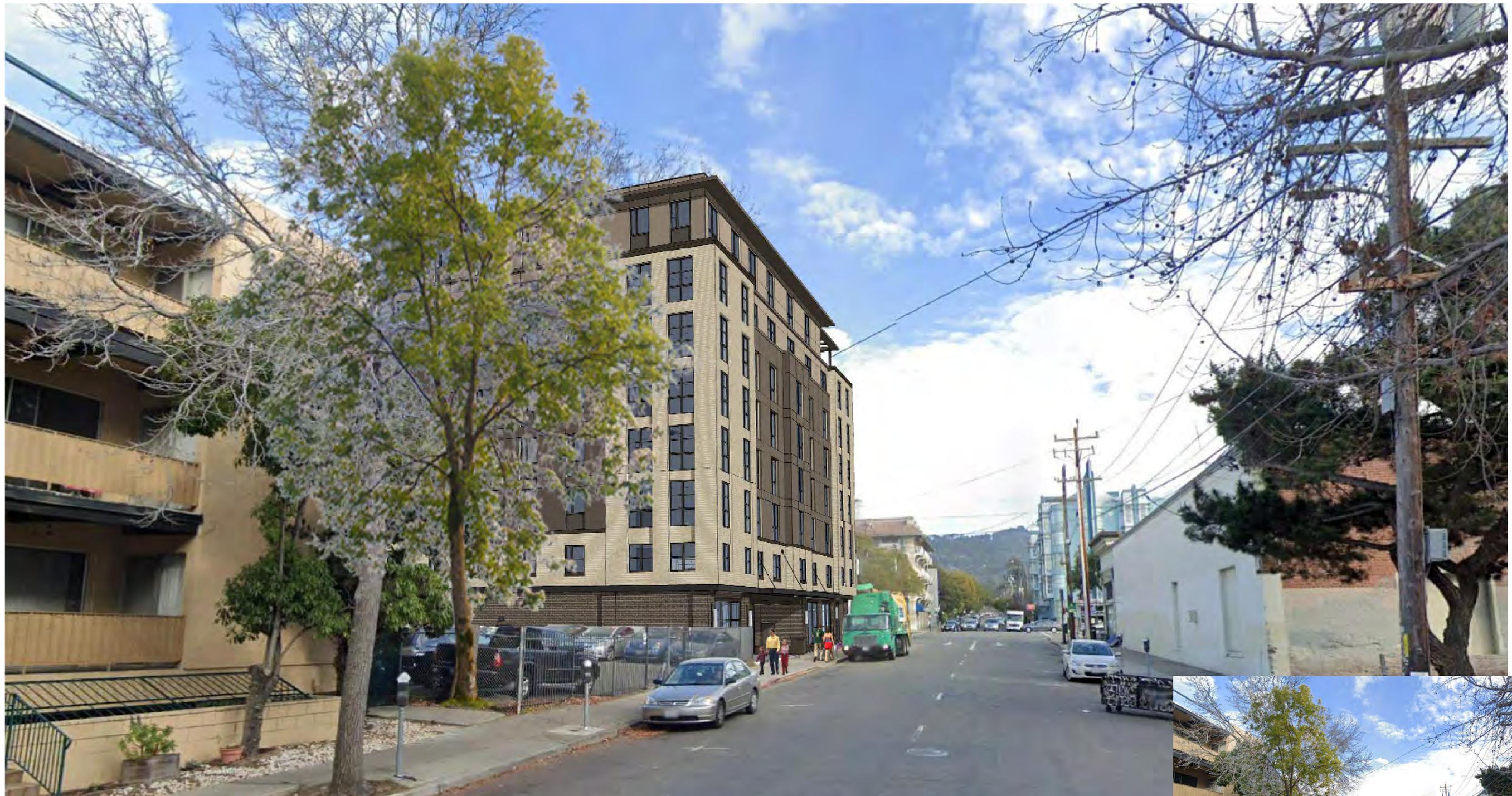
View from Shattuck Avenue looking southwest



Terrace View



View of Lobby/Conference Area



View Looking East from Haste



Existing View



View Looking South West from Shattuck Avenue



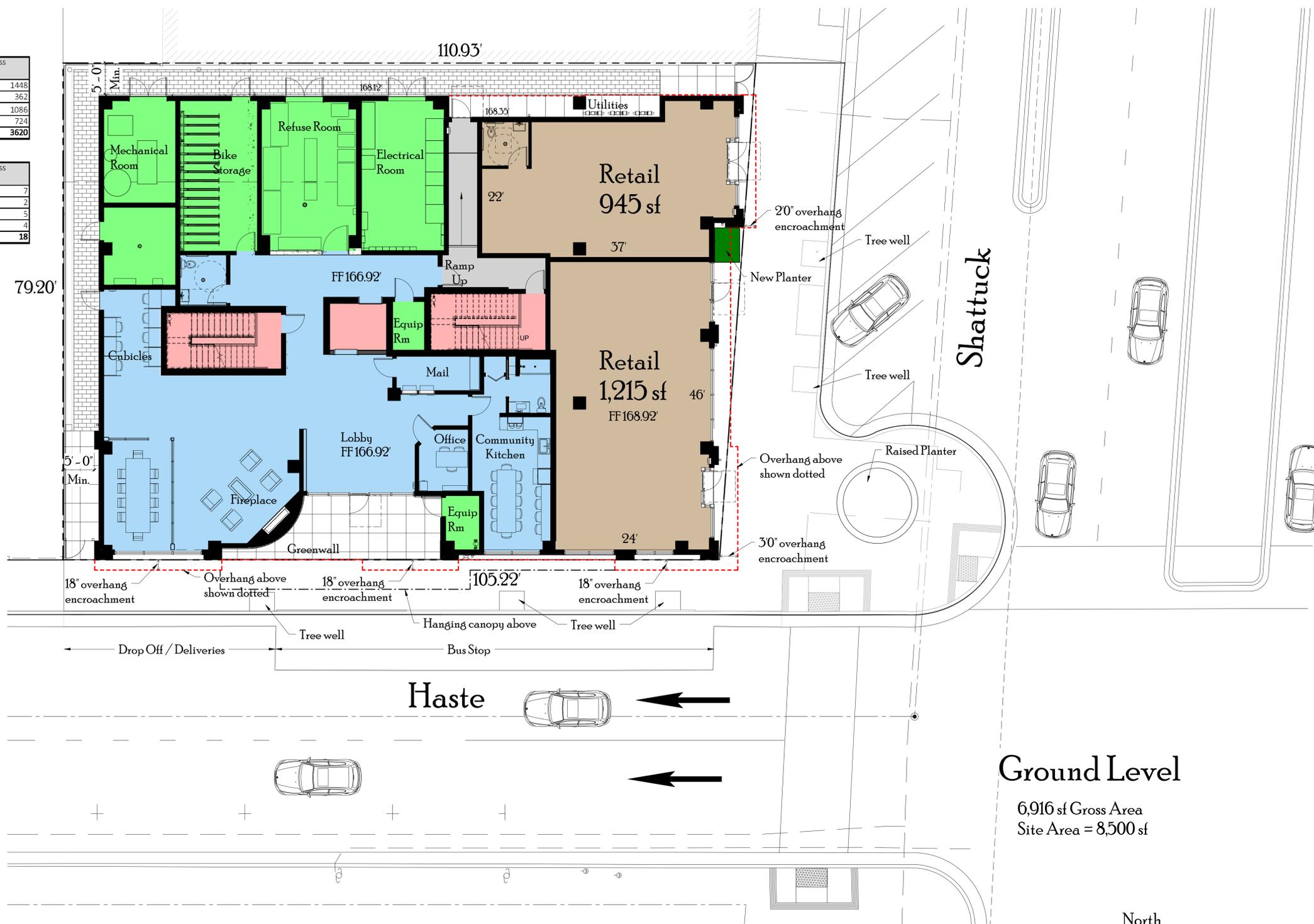
Existing View

# Refuse Calculation

Enter Total # Residents: **181**

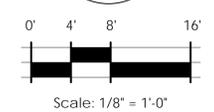
Estimated Capacity Required (in Gallons)	Minimum Capacity	20% Excess Capacity
Refuse Estimate 40% (gal):	1207	1448
Container Recycling Estimate 10% (gal):	302	362
Cardboard/Paper Recycling Estimate 30% (gal):	905	1086
Compost/Organics Estimate 20% (gal):	603	724
<b>Total Waste Volume Estimate (gal):</b>	<b>3017</b>	<b>3620</b>

Estimated Capacity Required (in Cubic Yards)	Minimum Capacity	20% Excess Capacity
Refuse Estimate 40% (cubic yards):	6	7
Container Recycling Estimate 10% (cubic yards):	2	2
Cardboard/Paper Recycling Estimate 30% (cubic yards):	5	5
Compost/Organics Estimate 20% (cubic yards):	3	4
<b>Total Waste Volume Estimate (cubic yards):</b>	<b>15</b>	<b>18</b>



## Ground Level

6,916 sf Gross Area  
Site Area = 8,500 sf



# The Lair @ Haste

## Ground Level

**A1.1**  
6.15.22



**8th Level** (3rd-7th Level similar)

4 units Gross Area = 5,568 sf

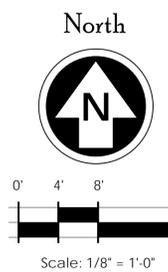
- Metal Column (typ)
- Decorative pavers
- 20' Setback
- Decorative Metal Rail
- Planter (typ)

- (1) One Bdrm
- (3) Two Bdrm
- (2) Three Bdrm



**2nd Level** (3rd-7th Level similar)

6 units Gross Area = 7,634 sf

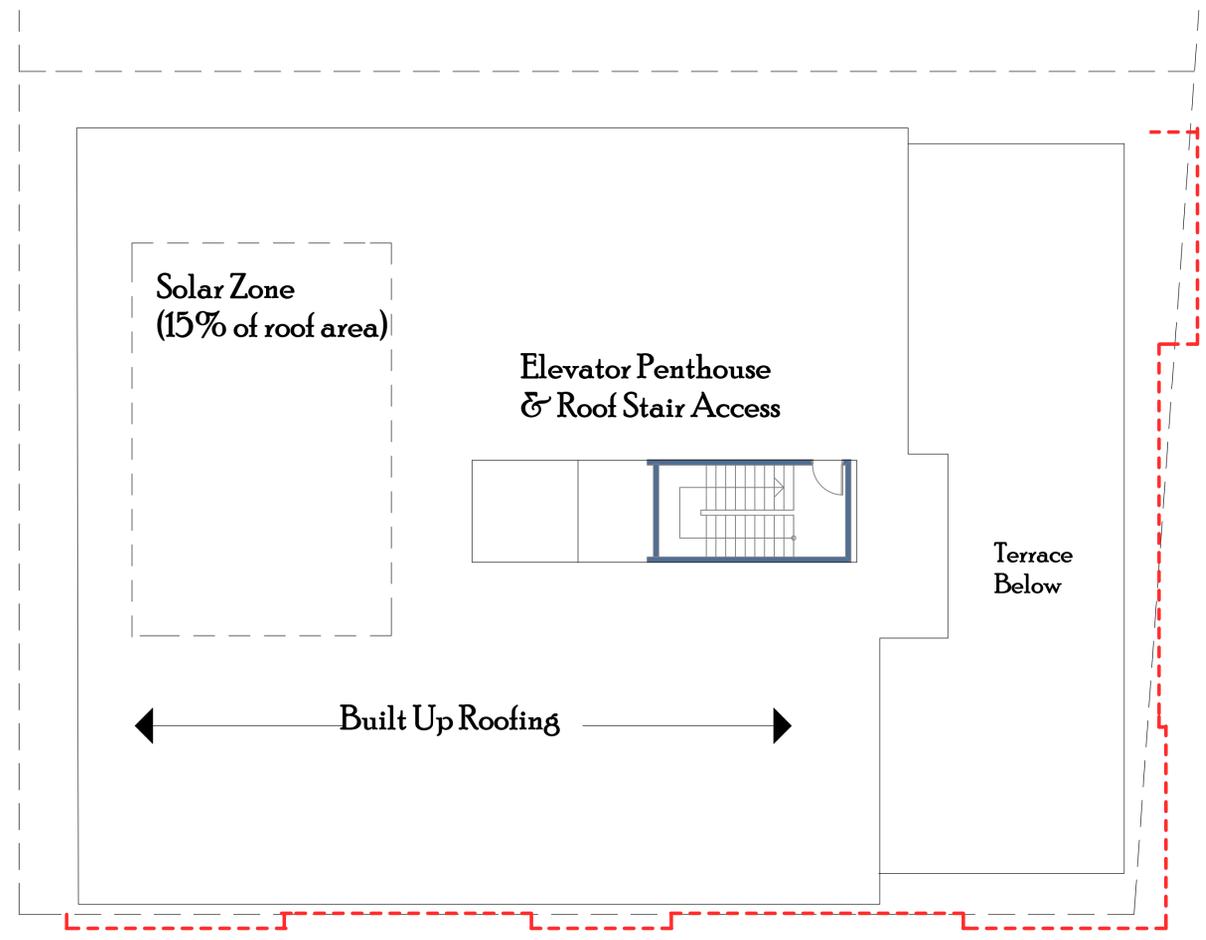


# The Lair @ Haste

## Upper Levels

**A1.2**

6.15.22



Average Area of all Floors = 7,634 sf  
 Area of stair and elevator projection above roof = 360 sf  
 Percentage of projection = 5% < 15%

Roof Plan

# The Lair @ Haste

Roof Plan

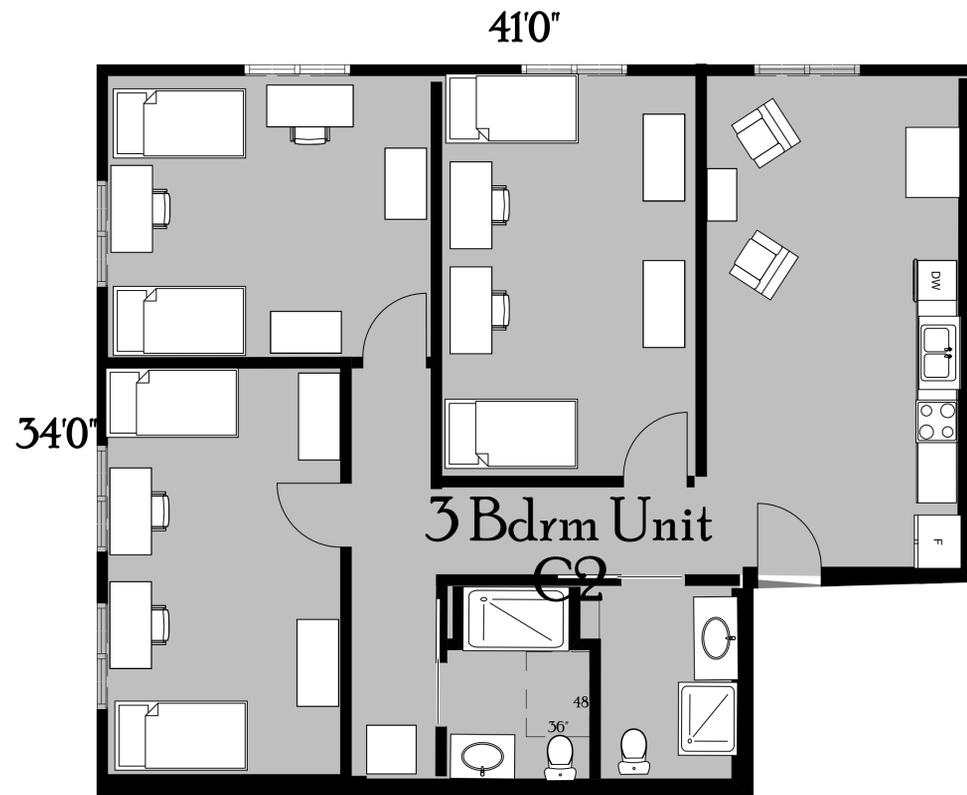
North

0' 8' 24'

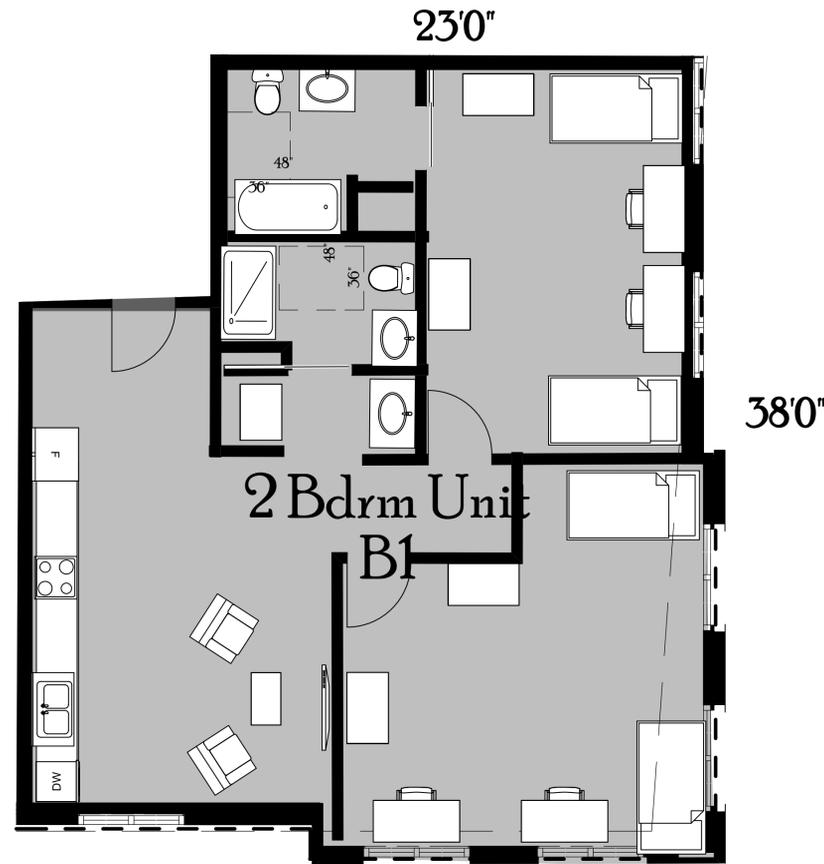
1/8" = 10'

# A1.3

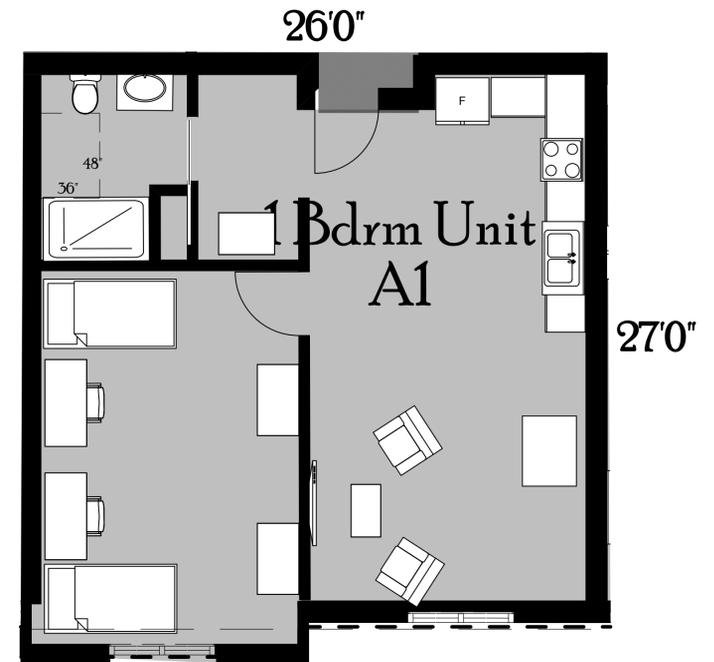
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**Three Bedroom**  
1,270 sf Gross Area



**Two Bedroom**  
1,050 sf Gross Area



**One Bedroom**  
710 sf Gross Area

## Typical Floor Plans

# The Lair @ Haste



Typical Floor Plans 1/4" = 10" **A1.4** 6.15.22



# South Elevation

View from Haste Street

1" = 16'



# East Elevation

View from Shattuck Avenue

1" = 16'



# North Elevation

3/16" = 10"



## The Lair @ Haste





# East Elevation

View from Shattuck Avenue

3/16" = 10"

# The Lair @ Haste



# A2.3

6.15.22





# West Elevation

3/16" = 10'

# The Lair @ Haste



**A2.4**  
6.15.22



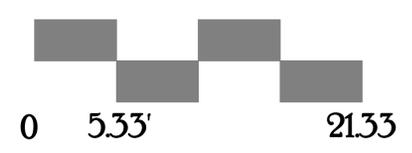


# South Elevation

View from Haste

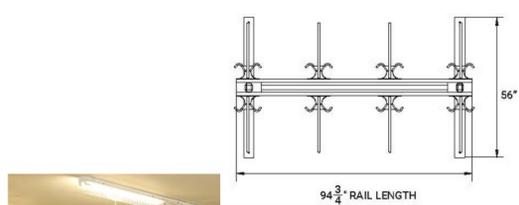
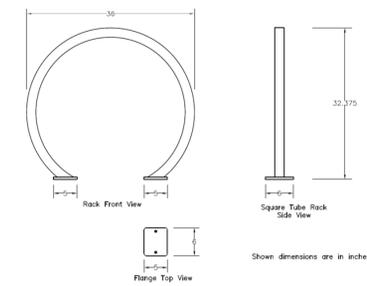
# The Lair @ Haste

3/16" = 10'



**A2.5**  
6.15.22





Bike Storage  
Park A Bike

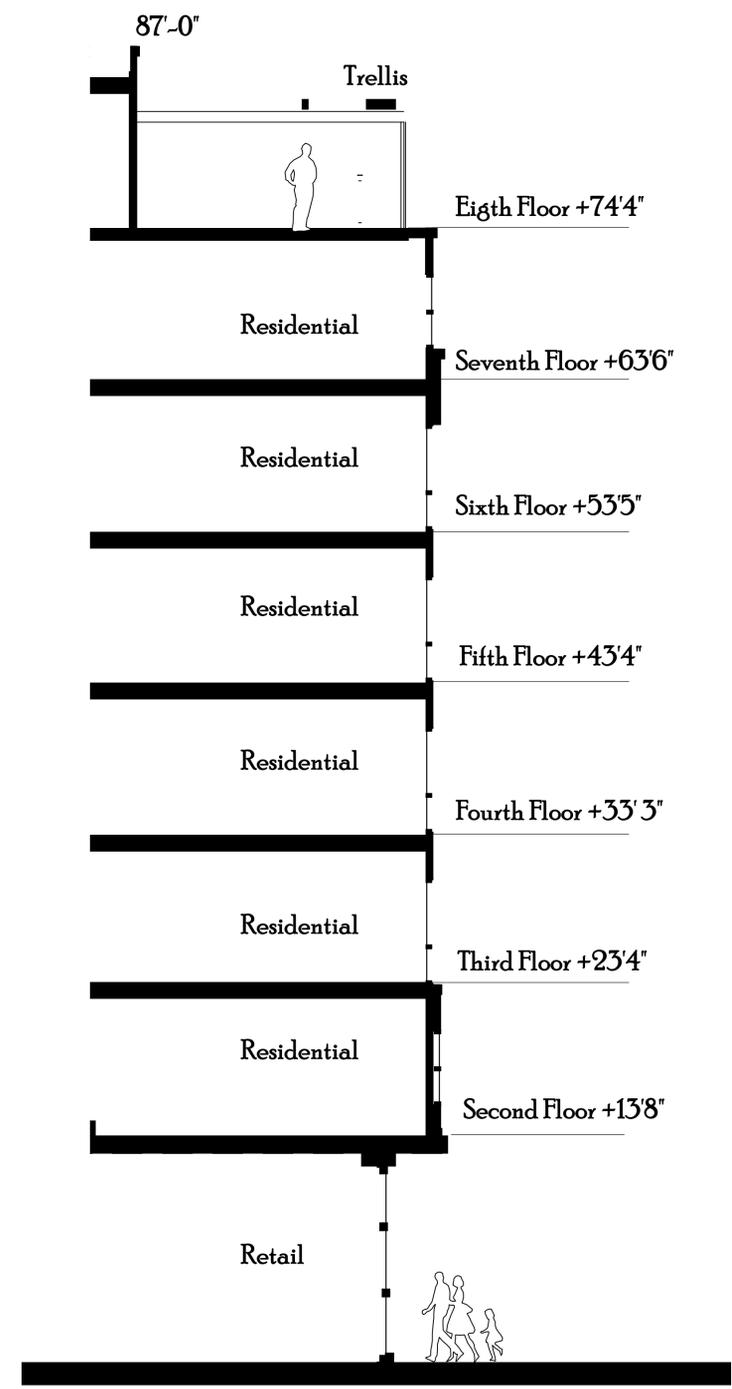
Bike rack



Lobby Entry Green Wall  
Habitat Horticulture



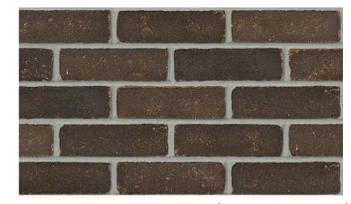
Wall Sconce  
Progress Light 5675



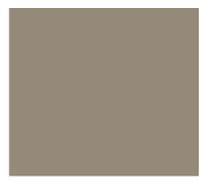
Section A-A



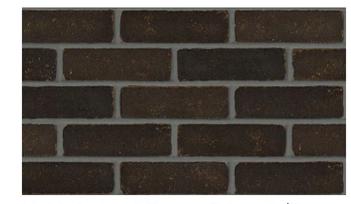
Enlarged Elevation  
3/16" = 10"



Old Myford (Field Color)  
McNear Brick



Smooth Plaster  
SW Downing Earth 2820



Old Myford Dark Blend (Base Color)  
McNear Brick



Smooth Plaster  
SW Turkish Coffee 6076



Beige  
McNear Brick



Black Anodized  
Window Frame

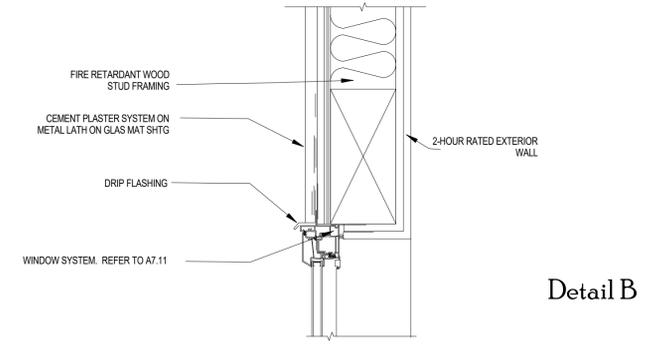
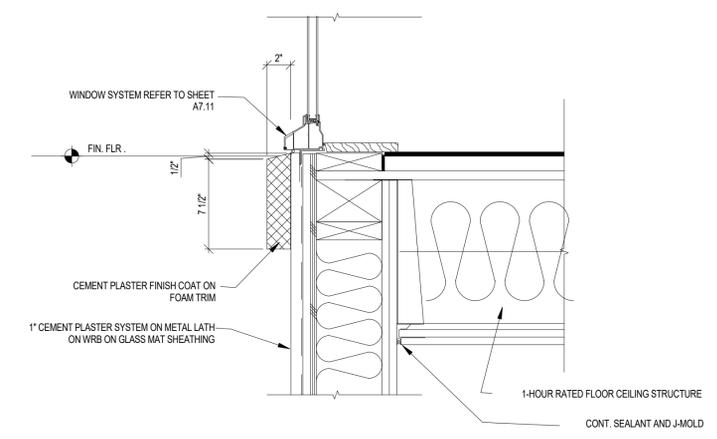
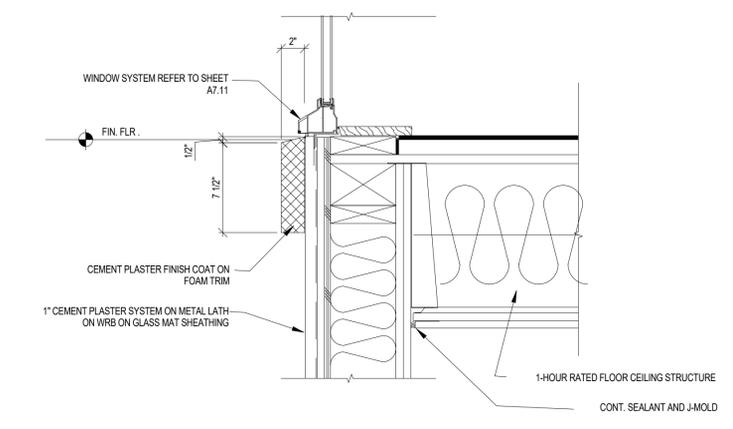
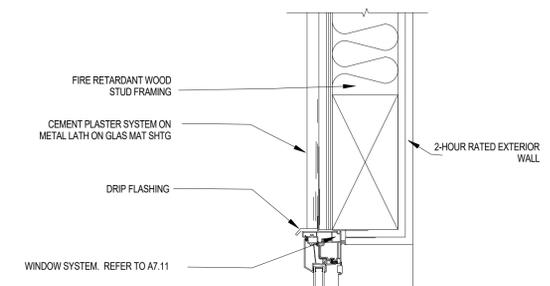
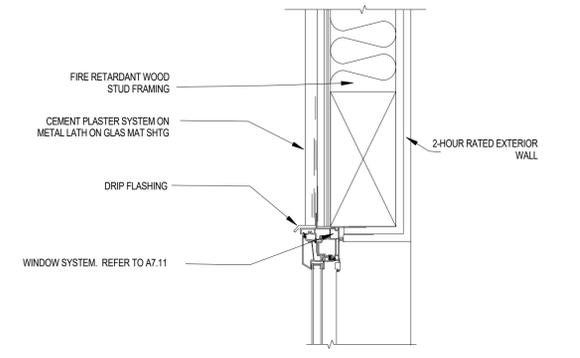
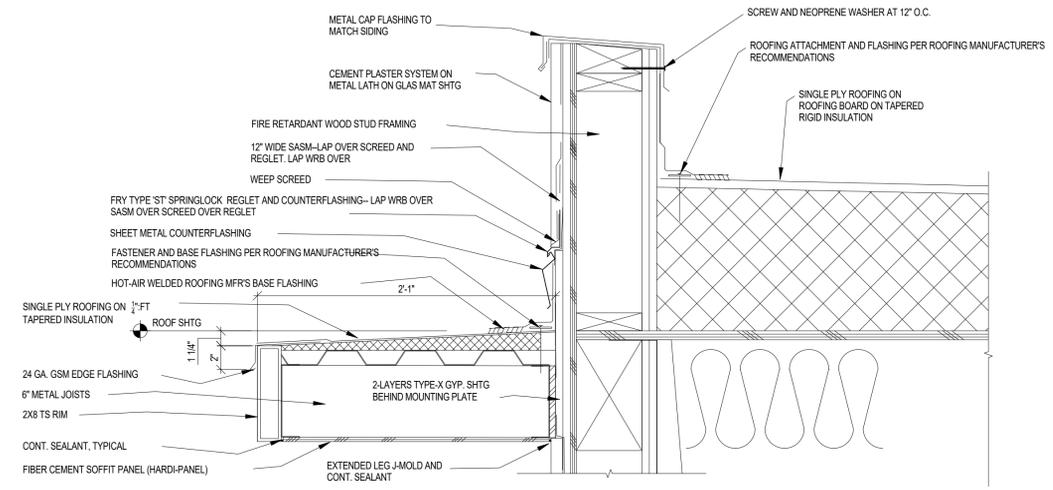
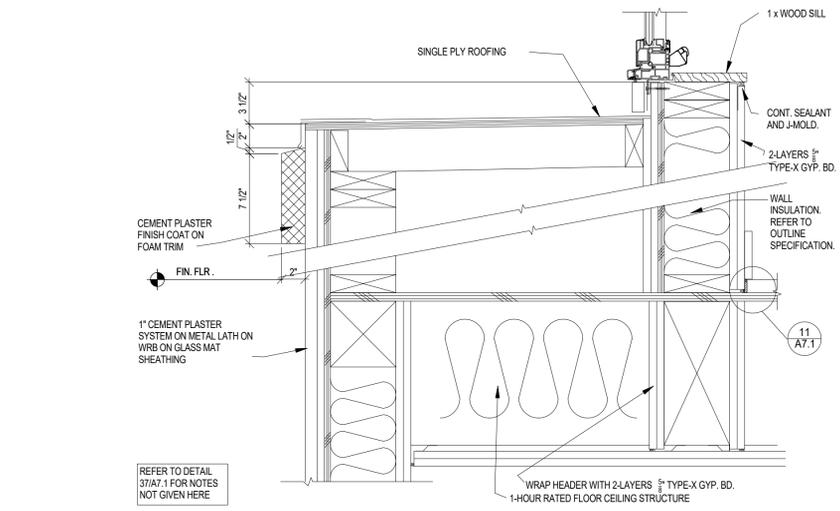
**JOHNSON LYMAN ARCHITECTS**  
1375 Locust Street, #202, Walnut Creek, CA 94596  
925.930.9690

Materials

The Lair @ Haste

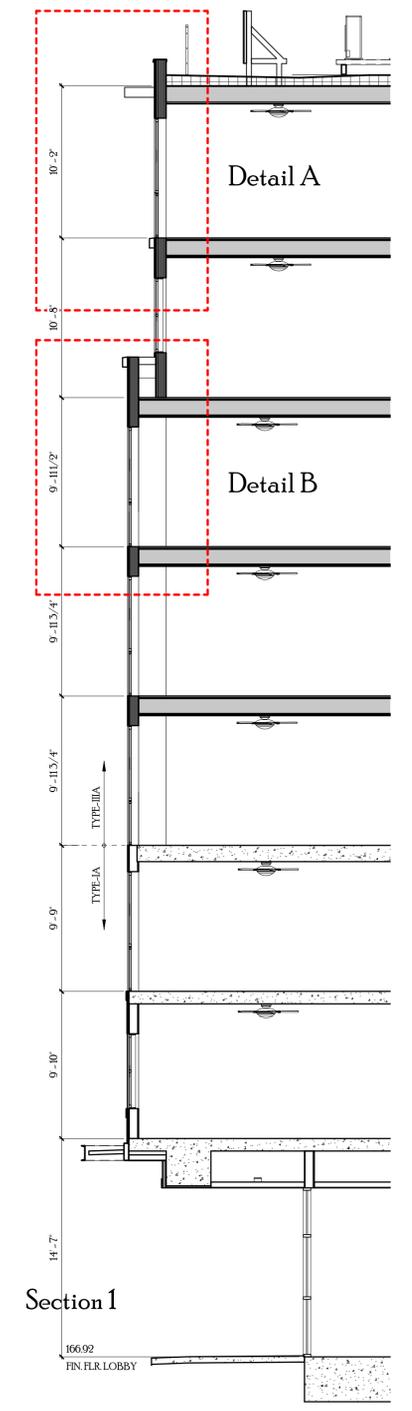
Sections/Materials

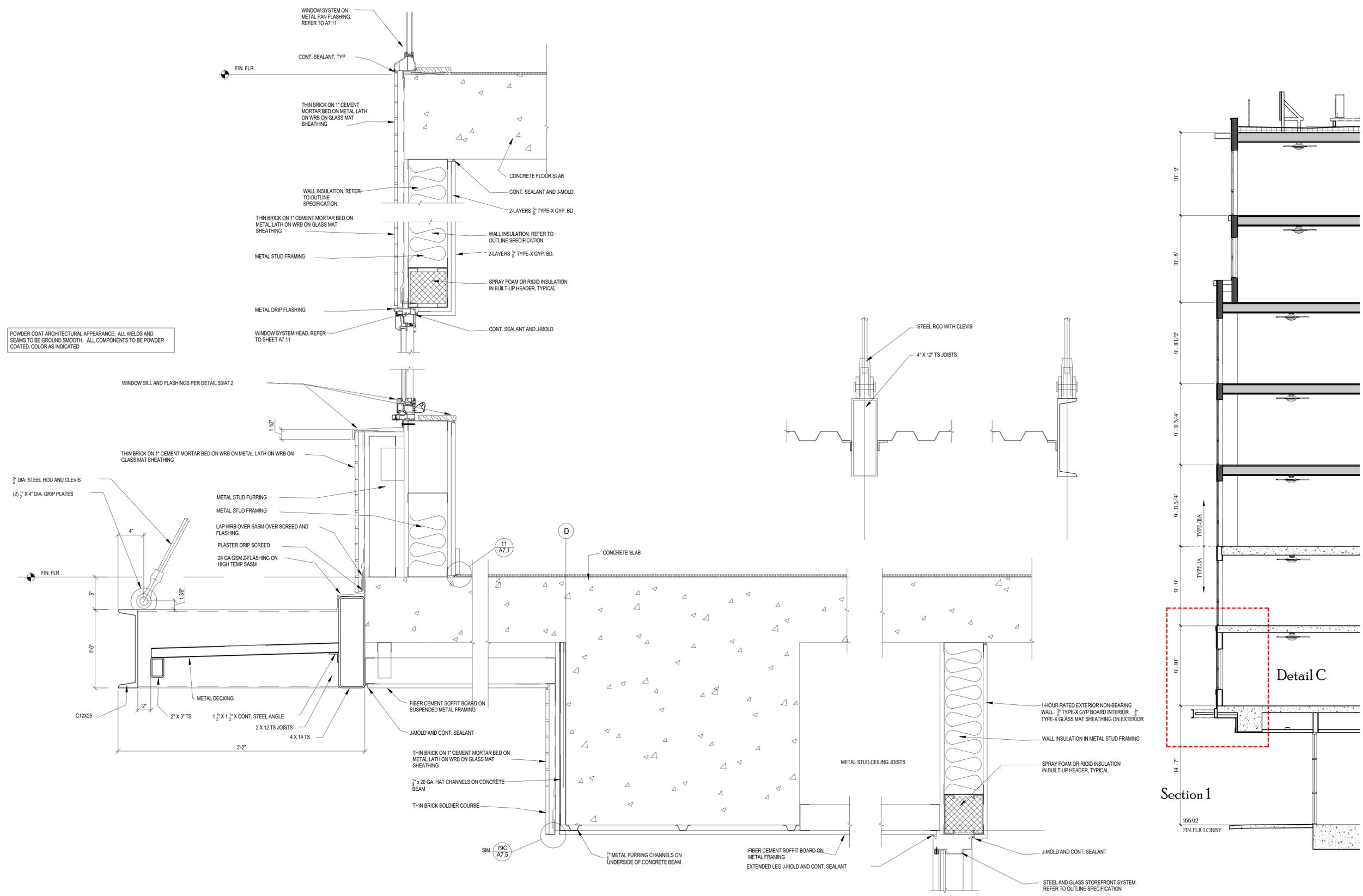
**CB**  
6.15.22



Detail A

Detail B



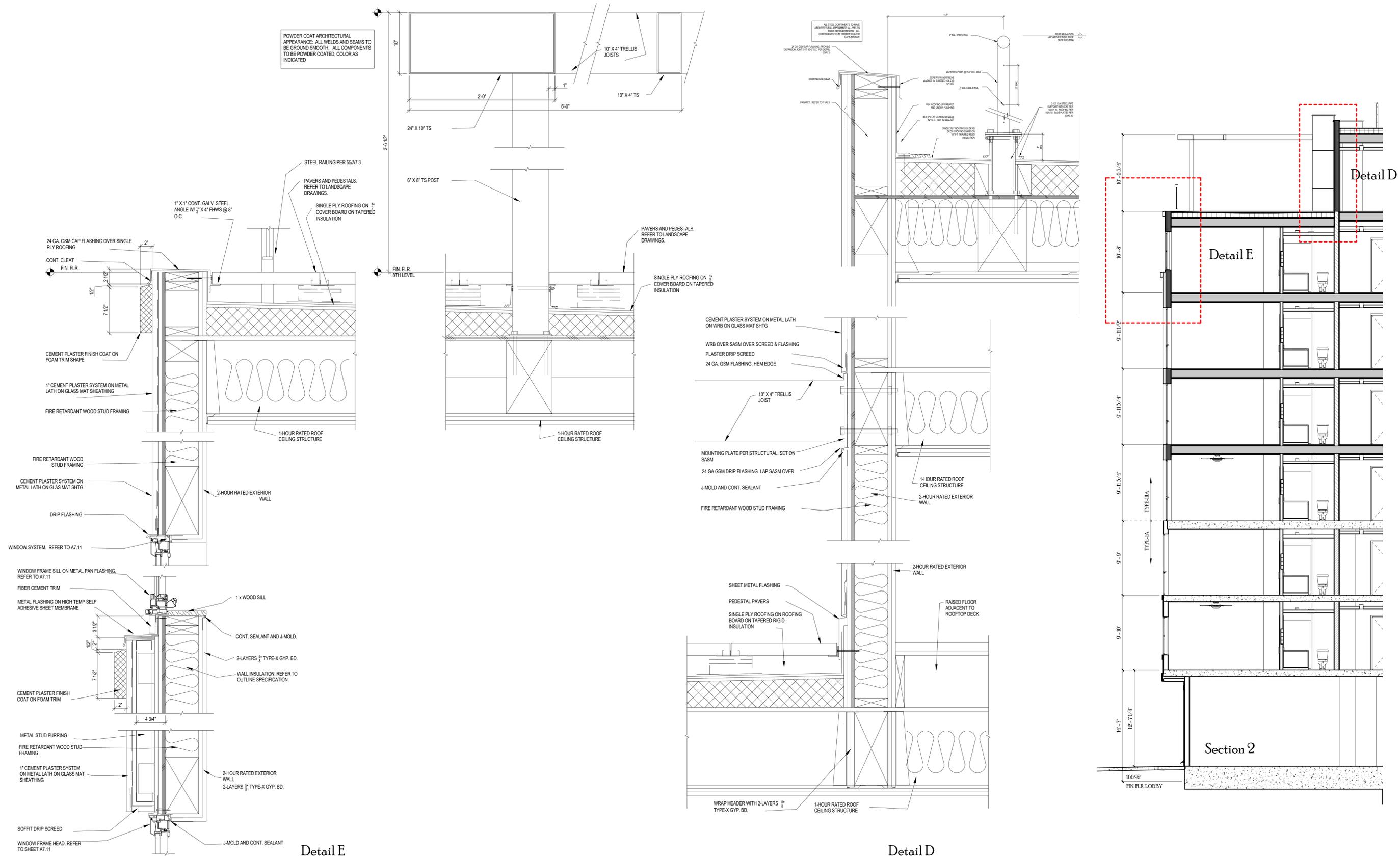


POWDER COAT ARCHITECTURAL APPEARANCE. ALL WELDS AND SEAMS TO BE GRIND SMOOTH. ALL COMPONENTS TO BE POWDER COATED, COLOR AS INDICATED.

Detail C

Section 1

Detail C

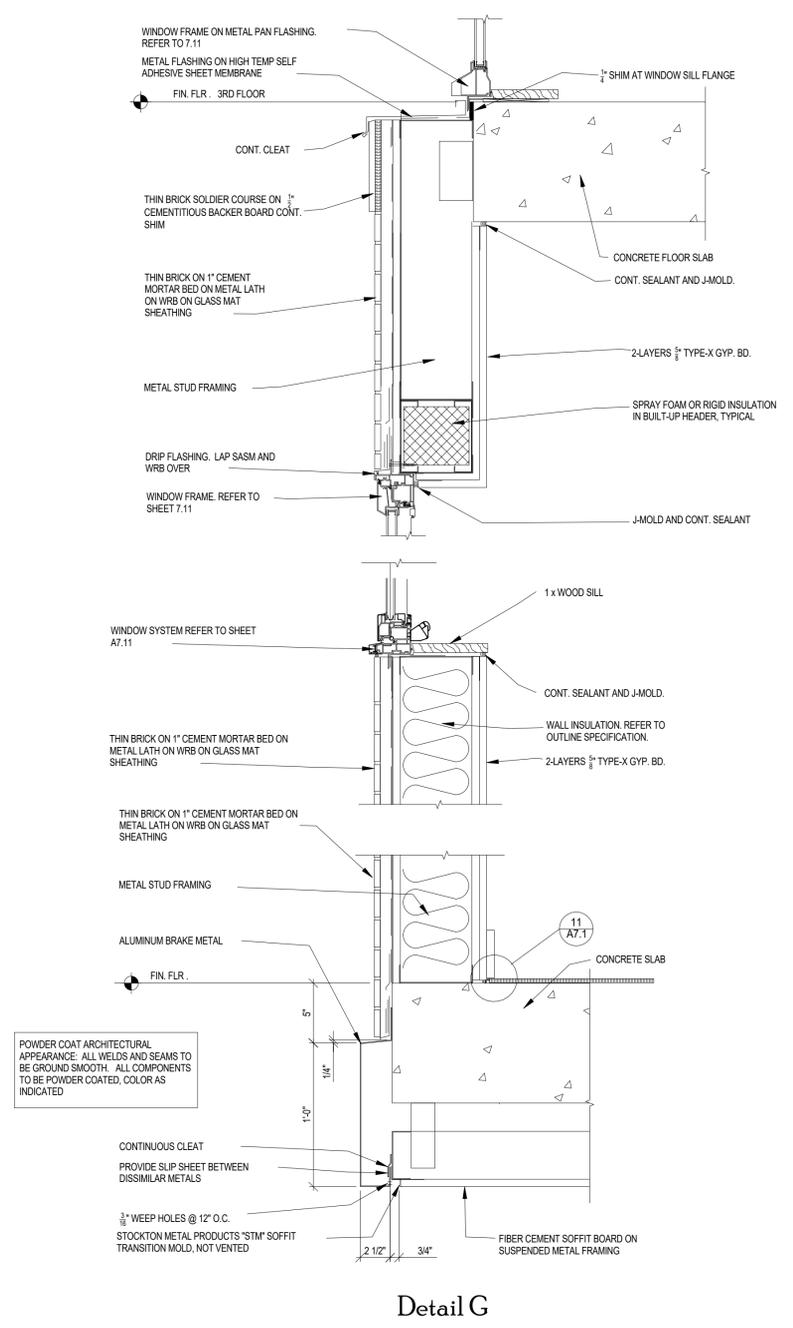


POWDER COAT ARCHITECTURAL APPEARANCE: ALL WELDS AND SEAMS TO BE GROUND SMOOTH. ALL COMPONENTS TO BE POWDER COATED, COLOR AS INDICATED.

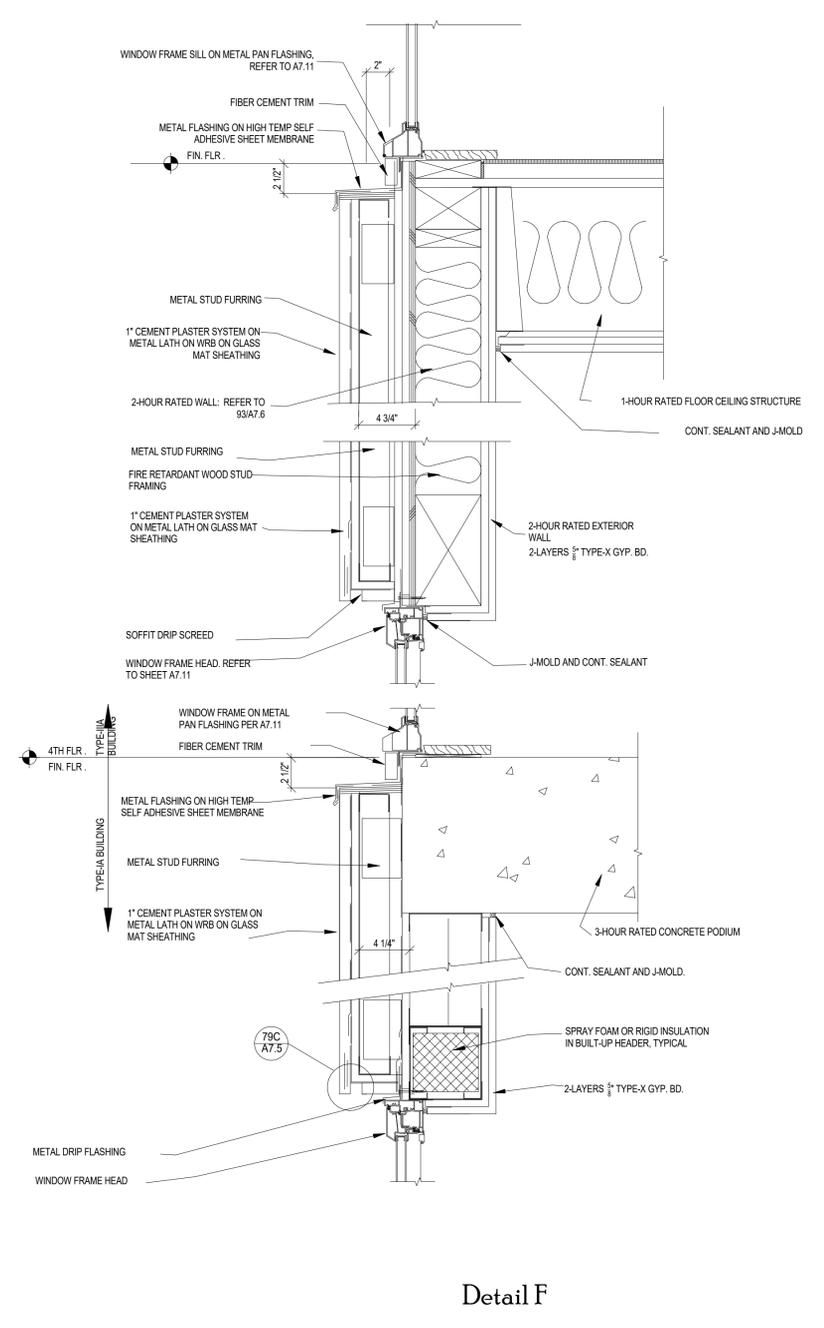
Detail E

Detail D

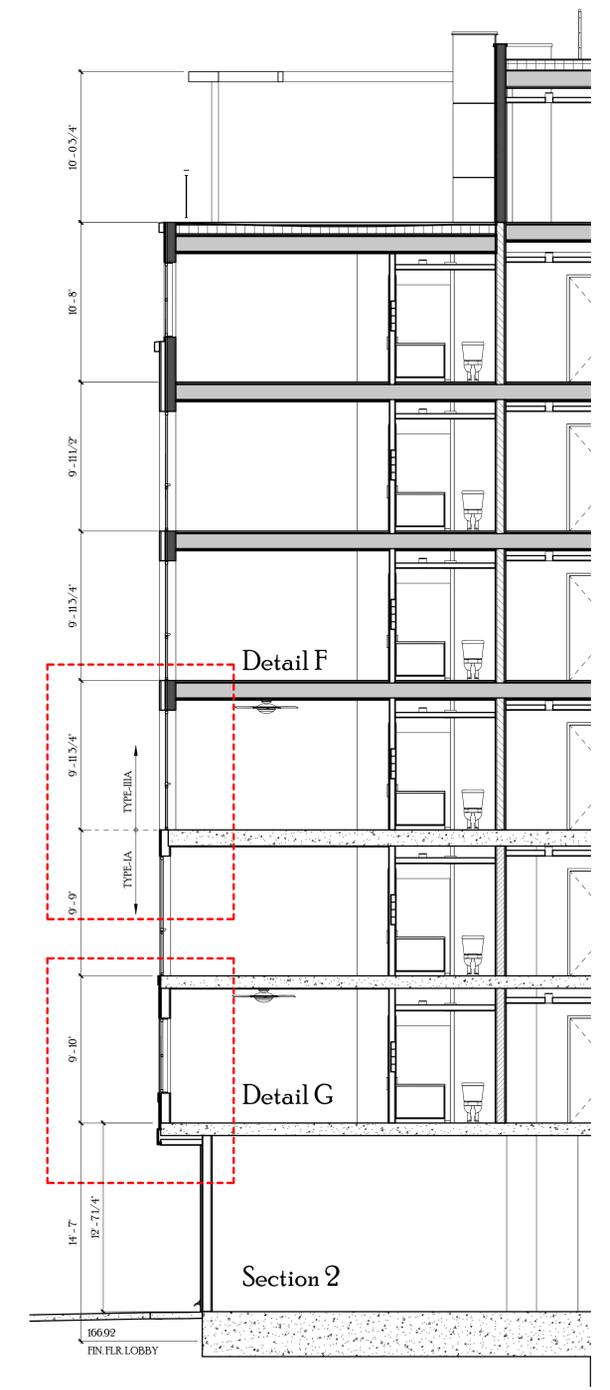
Section 2



Detail G

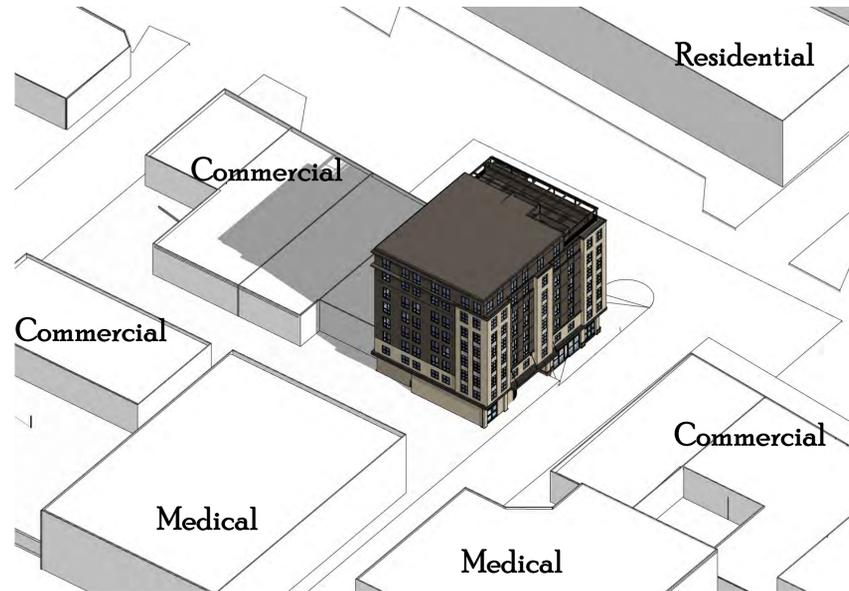


Detail F





December 21 - 9:21am  
Two Hours after Sunrise

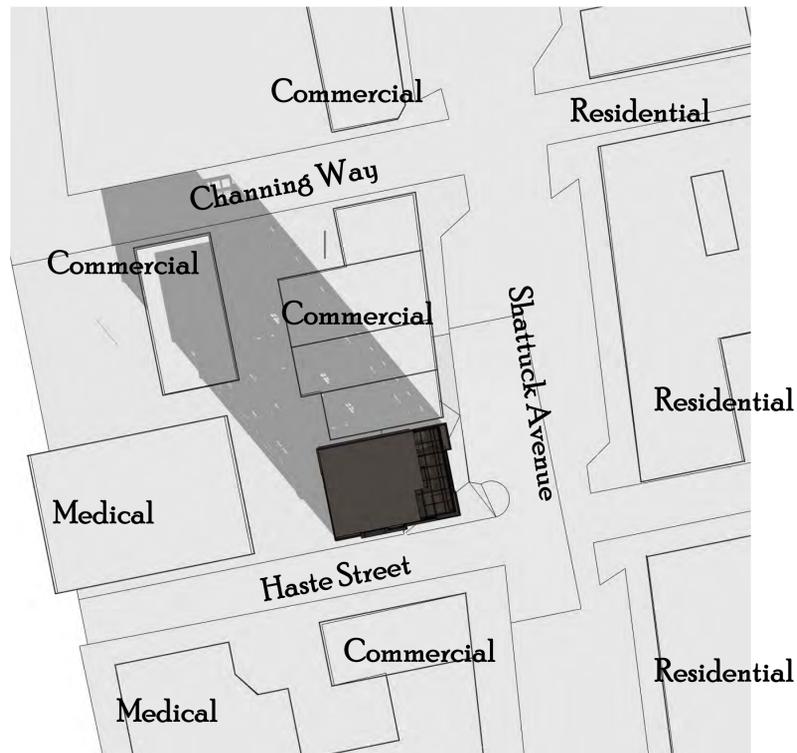


December 21 - 12pm

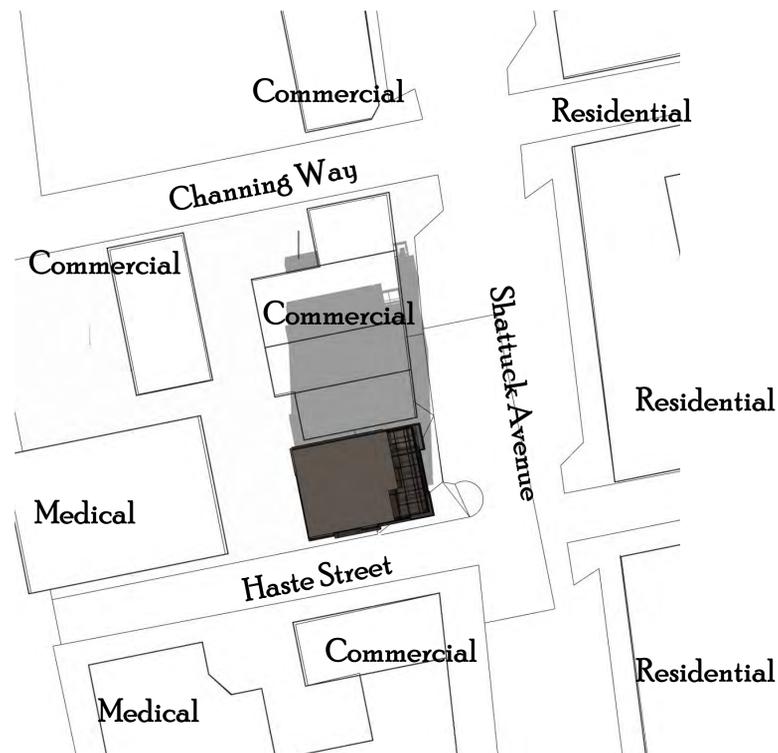


December 21 - 2:54pm  
Two Hours before Sunset

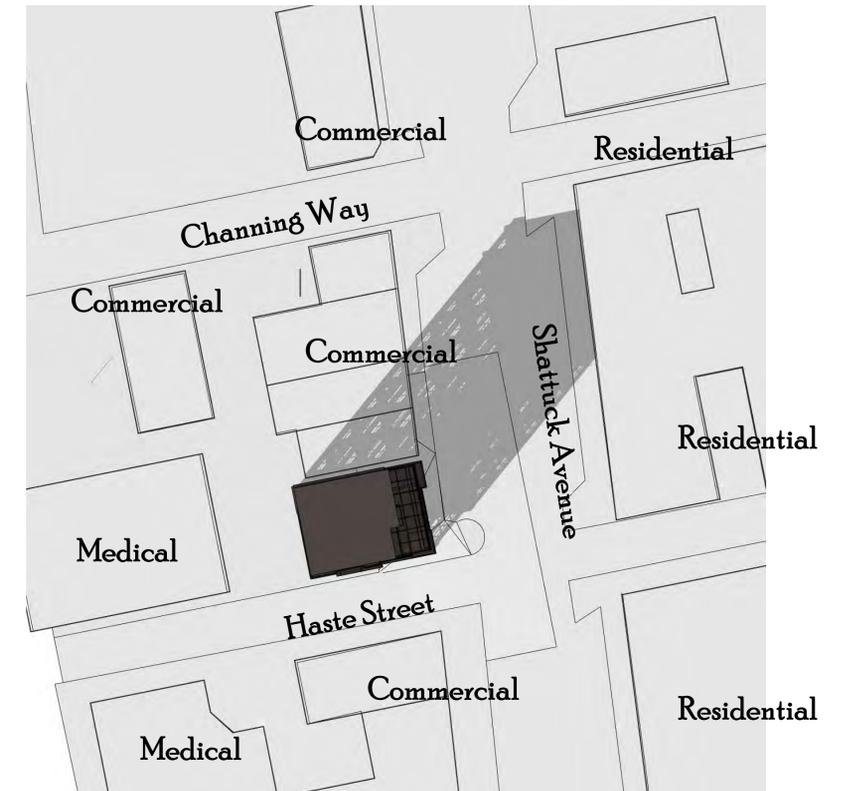
## Aerial Views



December 21 - 9:21am  
Two Hours after Sunrise



December 21 - 12pm



December 21 - 2:54pm  
Two Hours before Sunset

## Plan Views

# The Lair @ Haste

## Sun Study

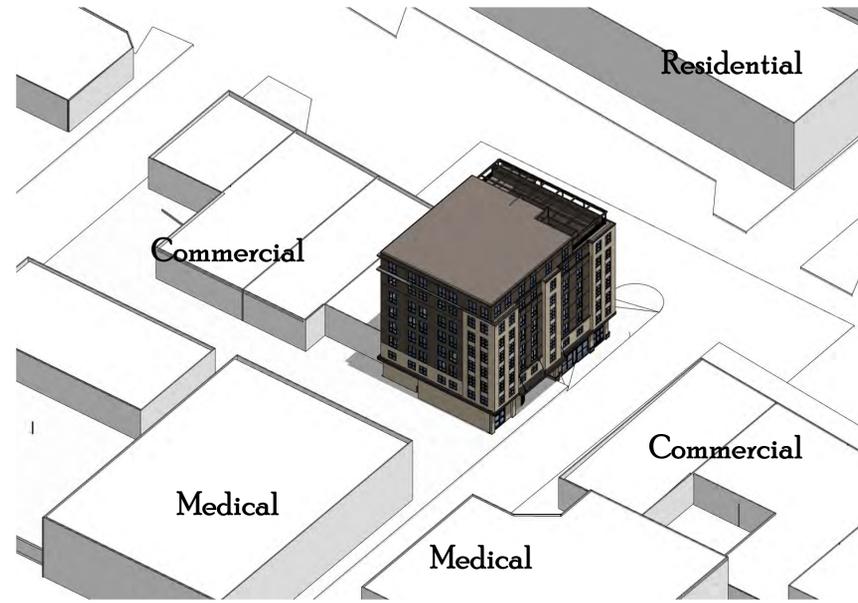


# SH1

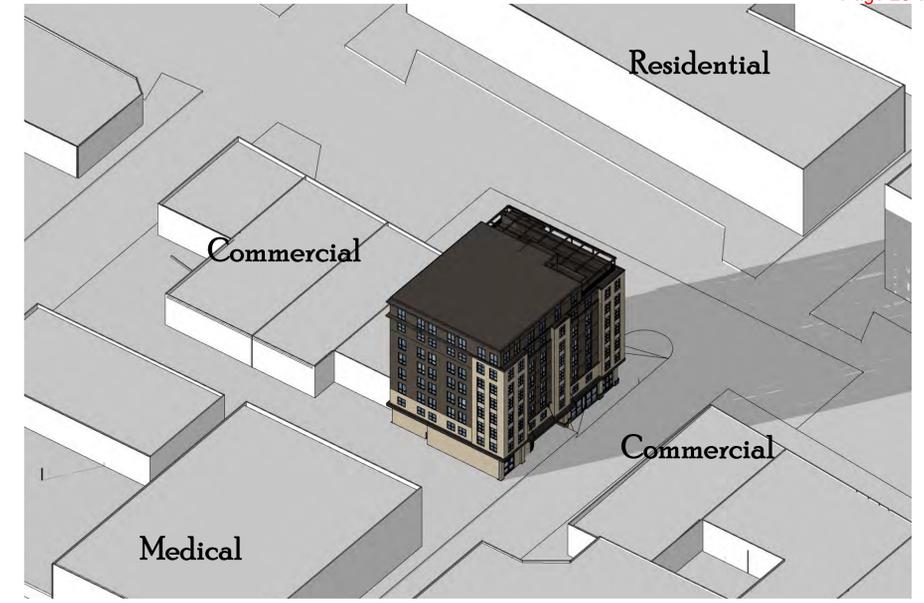
6.15.22



June 21 - 7:48am  
Two Hours after Sunrise

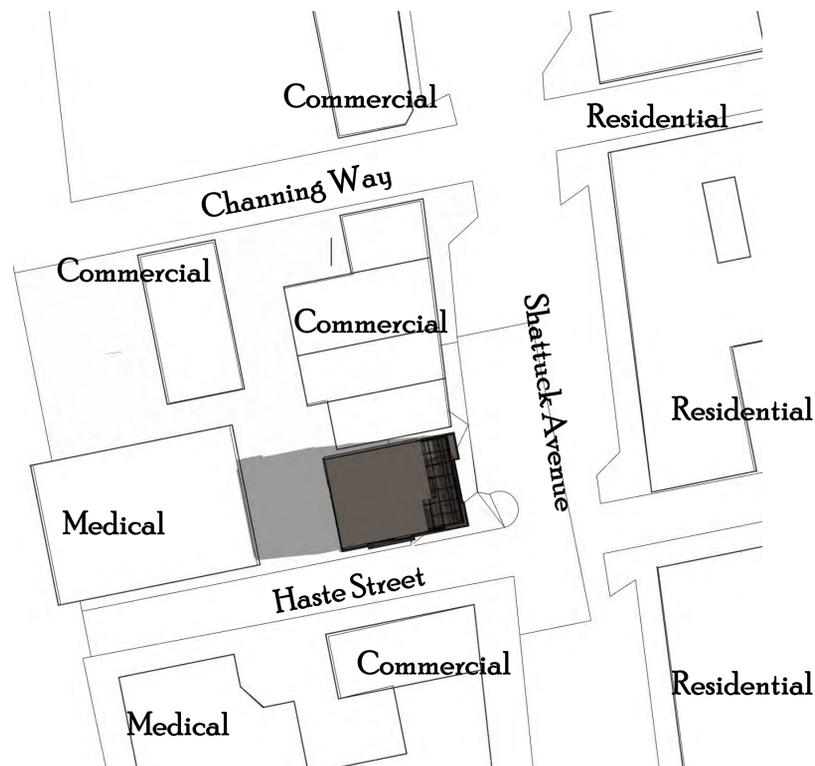


June 21 - 12pm

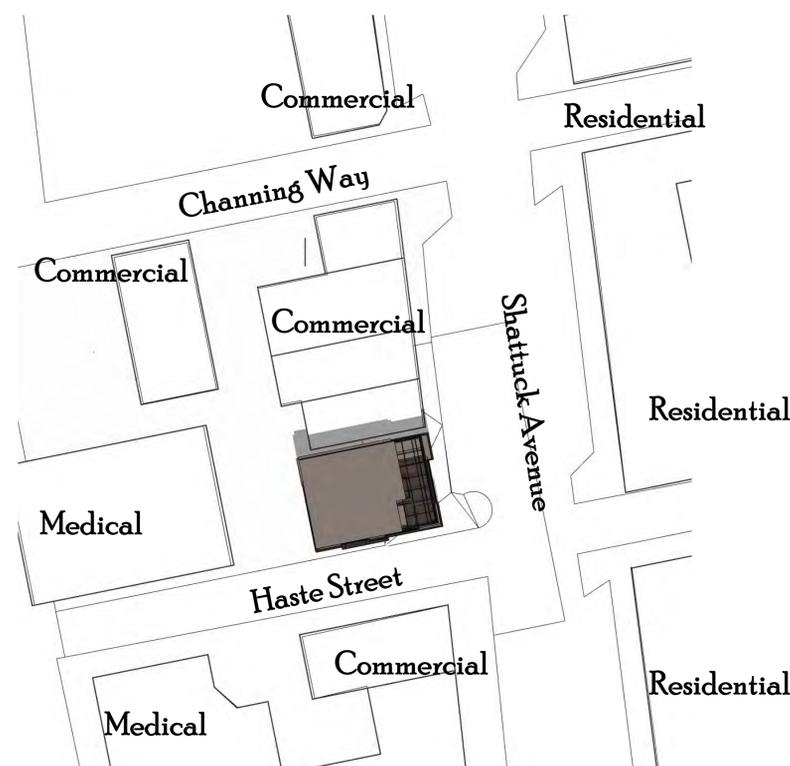


June 21 - 6:34pm  
Two Hours before Sunset

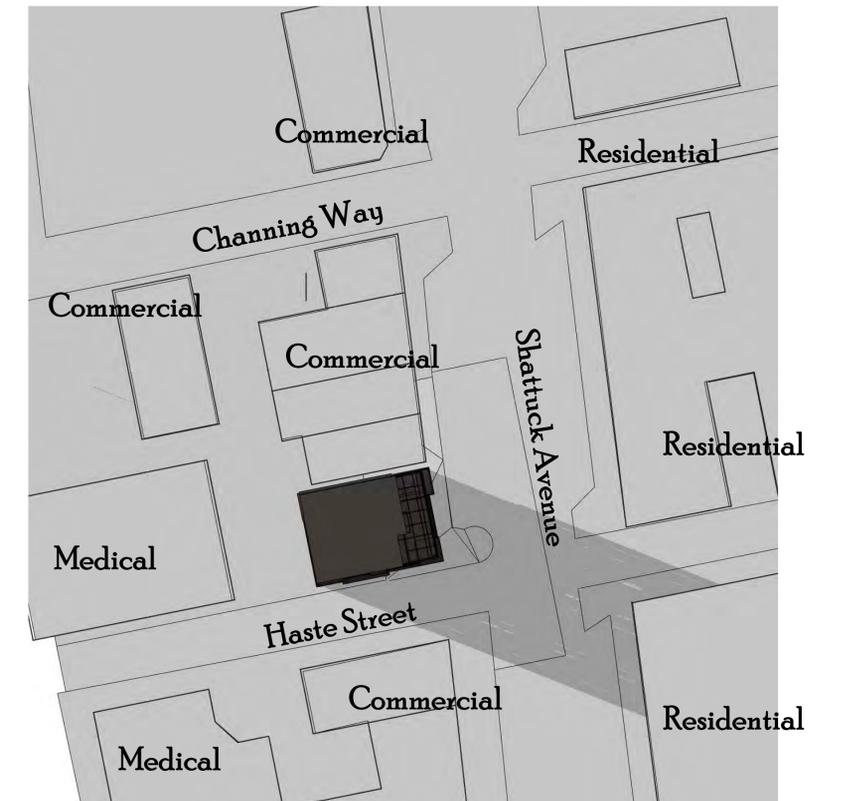
## Aerial Views



June 21 - 7:48am  
Two Hours after Sunrise



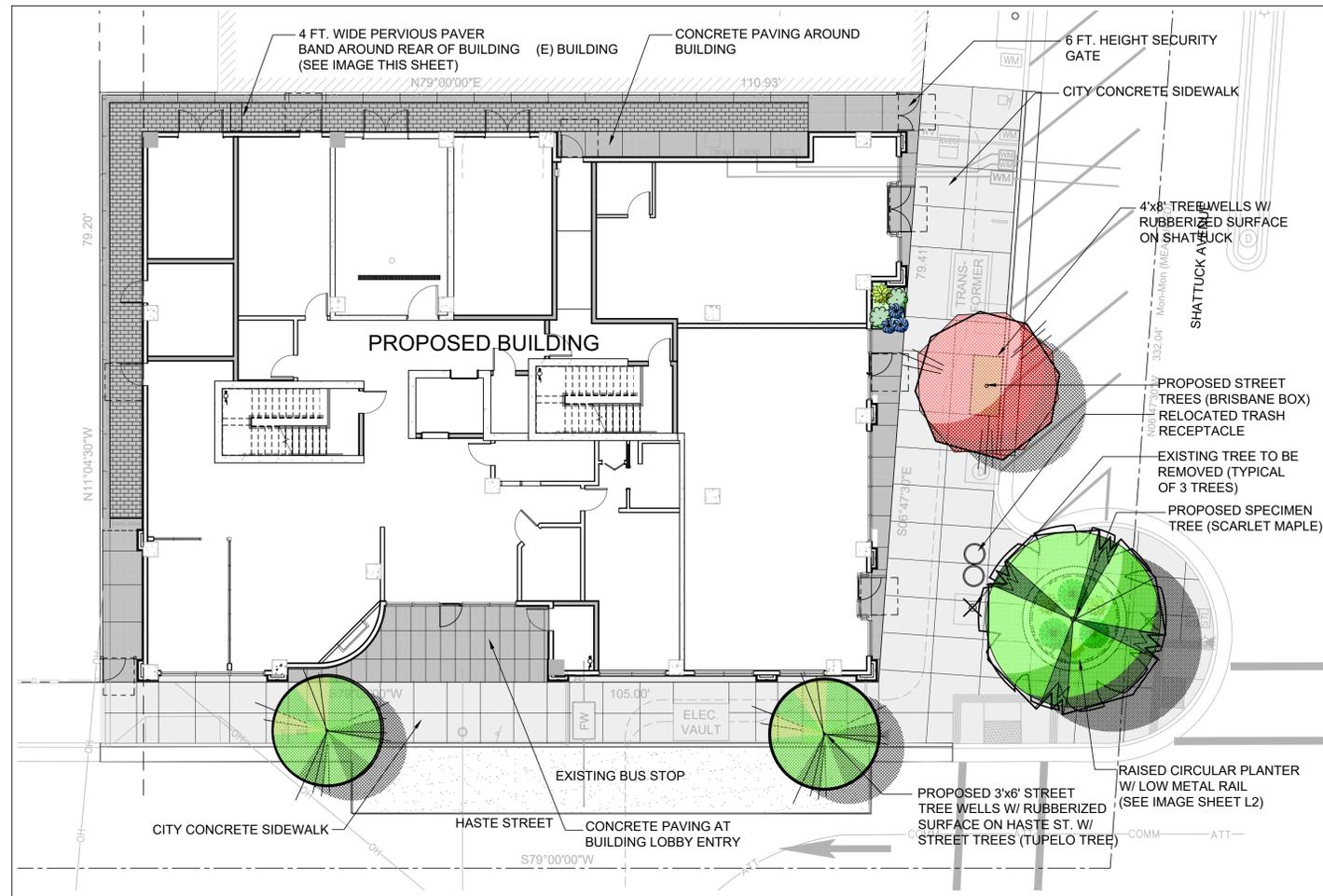
June 21 - 12pm



June 21 - 6:34pm  
Two Hours before Sunset

## Plan Views

# The Lair @ Haste



Ground Level



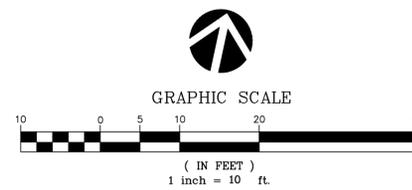
Roof Plan

**WATER EFFICIENT IRRIGATED LANDSCAPE WORKSHEET**

REFERENCE EVAPOTRANSPIRATION (ET<sub>0</sub>): 41.8

HYDROZONE / PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF / IE)	LANDSCAPE AREA (sq. ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
<b>REGULAR LANDSCAPE AREAS:</b>							
LOW WATER USE	0.2	BUBBLER	0.81	0.2469135	258	63.703683	1650.9
MEDIUM WATER USE	0.5	BUBBLER	0.81	0.6172839	36	22.222204	575.9
					<b>TOTALS:</b>	<b>294</b>	<b>86</b>
<b>SPECIAL LANDSCAPE AREAS:</b>							
REC. AREA				0	0	0	0
WATER FEATURE 1				0	0	0	0
WATER FEATURE 2				0	0	0	0
					<b>TOTALS:</b>	<b>0</b>	<b>0</b>
<b>ETWU TOTAL:</b>							<b>2,227</b>
<b>MAXIMUM ALLOWED WATER ALLOWANCE (MAWA):</b>							<b>3,429</b>
<b>ETAF CALCULATIONS:</b>							
<b>REGULAR LANDSCAPE AREAS:</b>							
TOTAL ETAF x AREA	86						
TOTAL LANDSCAPE AREA	294						
AVERAGE ETAF	0.29						
<b>ALL LANDSCAPE AREAS:</b>							
TOTAL ETAF x AREA	86						
TOTAL LANDSCAPE AREA	294						
SITEWIDE ETAF	0.29						

NOTE: AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS MUST BE 0.55 OR BELOW FOR RESIDENTIAL AREAS, AND 0.45 OR BELOW FOR NON-RESIDENTIAL AREAS.



**GENERAL NOTES**

- ALL PLANTING AREAS, EXCEPT STORMWATER PLANTERS, SHALL RECEIVE A 3" MINIMUM DEEP LAYER OF FIR BARK DRESSING.
- ALL PLANTING SHALL BE WATERED BY FULLY AUTOMATIC, WATER-CONSERVING IRRIGATION SYSTEM WITH WEATHER-BASED CONTROLLER OPERATION.

**PROJECT PRIVATE USABLE LANDSCAPE OPEN SPACE**

	TOTAL AREA	LANDSCAPE AREA
• ROOF LEVEL	1,455 SF	630 SF (INCLUDES ARBOR SPAN)

CITY REQUIREMENT: 40% OF COMMON AREA IS TO BE LANDSCAPE. LANDSCAPE AREA IS 43% OF USABLE COMMON AREA OPEN SPACE.

**RECOMMENDED PLANT LIST:**

BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	WUCOLS	NATIVE	WATER USE
<b>TREES:</b>						
ACER RUBURM	SCARLET MAPLE	1	36" BOX	MED	NO	
LOPHOSTEMON CONFERTUS	BRISBANE BOX	1	24" BOX	MED	NO	
NYSSA SYLVATICA 'WILDFIRE'	TUPELO TREE	2	24" BOX	MED	NO	
<b>SHRUBS/PERENNIALS:</b>						
AGAVE ATTENUATA	FOXTAIL AGAVE	3	5 GA	LOW	NO	
CORDYLINA 'ELECTRIC PINK'	CORDYLINA	4	5 GA	LOW	NO	
DICENTRA SPECTABILIS	BLEEDING HEART	11	5 GA	MED	YES	
GALVESIA SPECIOSA	ISLAND SNAPDRAGON	10	5 GA	MED	YES	
IRIS DOUGLASII	PACIFIC COAST IRIS	6	5 GA	LOW	YES	
PENSTEMON SPECTABILIS	BEARD TONGUE	9	5 GA	LOW	YES	
SALVIA CLEVELANDII 'COMPACTA'	CLEVELAND SAGE	7	5 GA	LOW	YES	
<b>VINE:</b>						
GELSEMIUM SEMPERVIRENS	CAROLINA JESSAMINE	6	5 GA	LOW	NO	



ACER RUBRUM  
 (SCARLET MAPLE)



LOPHOSTEMON CONFERTUS  
 (BRISBANE BOX)



NYSSA SYLVATICA  
 (TUPELO)



AGAVE ATTENUATA  
 (FOXTAIL AGAVE)



CORDYLINA 'ELECTRIC PINK'  
 (CORDYLINA)



DICENTRA SPECTABILIS  
 (BLEEDING HEART)



GALVIA SPECIOSA  
 (ISLAND SNAPDRAGON)



IRIS DOUGLASIANA  
 (PACIFIC COAST IRIS)



PENSTEMON SPECTABILIS  
 (BEARD TONGUE)



SALVIA CLEVELANDII 'COMPACTA'  
 (CLEVELAND SAGE)



GELSEMIUM SEMPERVIRENS  
 (CAROLINA JESSAMINE)



FIBERGLASS PRE-FABRICATED PLANTERS:  
 TOURNESOL SITEWORKS 'WILSHIRE' SERIES  
 PLANTERS WITH A METAL BRONZE FINISH



DECORATIVE PAVER 'A' AT ROOF:  
 LANDMARK OUTDOOR 'FRONTIER 20'  
 24" SQ. PAVER W/ PEPPER WOOD GRAIN  
 APPEARANCE



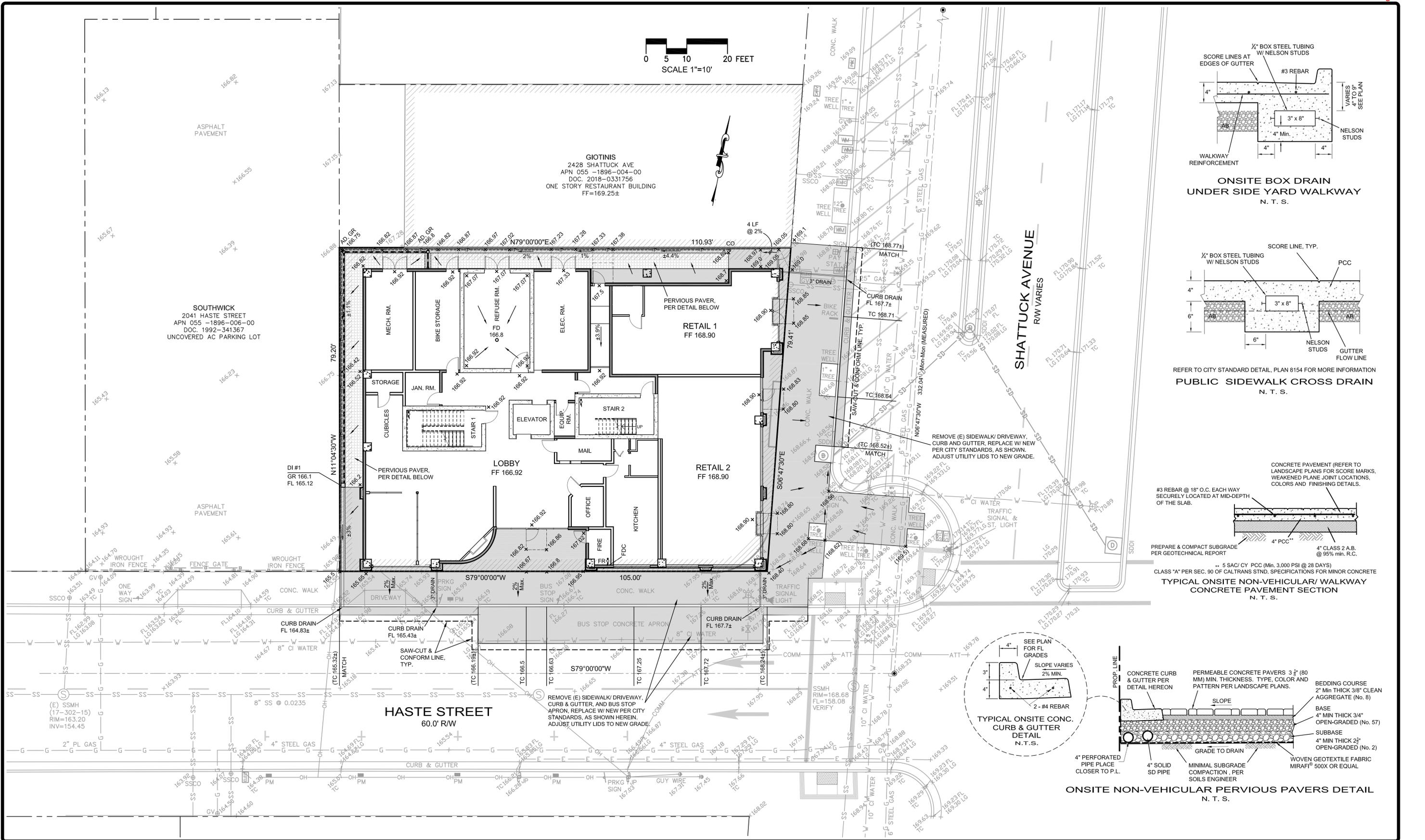
DECORATIVE PAVER 'B' AT ROOF:  
 LANDMARK OUTDOOR 'FRONTIER 20'  
 24" SQ. PAVER W/ NATURAL IVORY  
 STONE APPEARANCE



PERMEABLE PAVER AT GROUND LEVEL:  
 BELGARD 'AQUALINE' 80mm (4-1/2 x 9 x3-1/8)  
 MODULE, VICTORIAN COLOR BLEND (SHOWN)



EXAMPLE IMAGE: 2450 SHATTUCK AVENUE  
 RAISED CIRCULAR PLANTER WITH LOW METAL RAILING



NO.	DATE	BY	REVISIONS

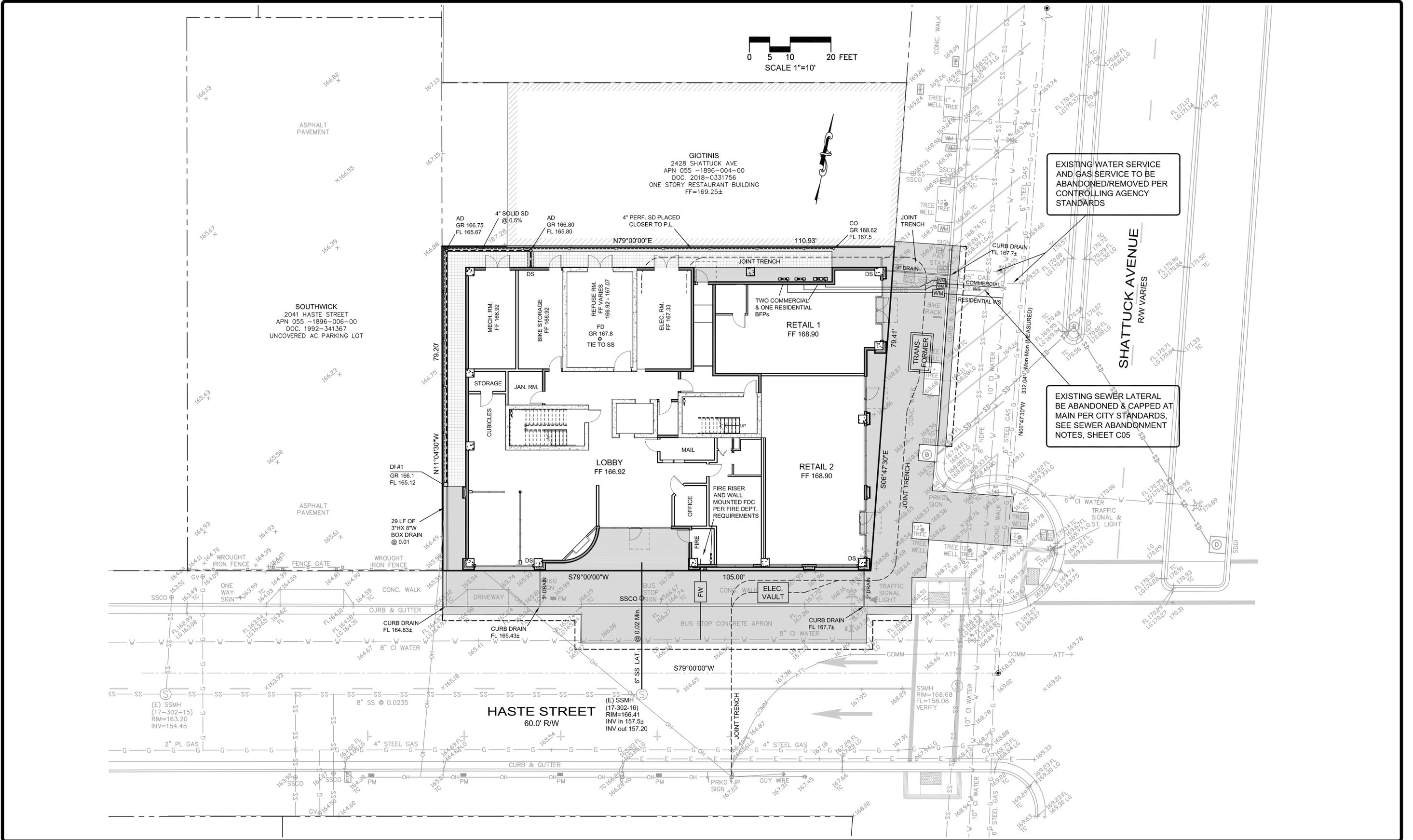
SCALE	1"=10'
DATE	03/01/2022
ENGINEER	H.N.
JOB NO.	21-127

REGISTERED PROFESSIONAL ENGINEER  
STATE OF CALIFORNIA  
No. 29528  
*H.N. Walshe*  
IZZAT S. NASHASHIBI R.C.E. 29528

**PRELIMINARY GRADING AND DRAINAGE PLAN**  
FOR  
**THE LAIR**  
2440 SHATTUCK AVENUE  
APN 055 -1896-005-00  
BERKELEY CALIFORNIA

**HUMANN COMPANY INC.**  
ENGINEERING - SURVEYING  
1021 BROWN AVE. LAFAYETTE, CA 94549  
PH (925)283-5000 FAX (925)283-3578

SHEET	C01
OF 3 SHEETS	
JOB NO.	21-127



EXISTING WATER SERVICE AND GAS SERVICE TO BE ABANDONED/REMOVED PER CONTROLLING AGENCY STANDARDS

EXISTING SEWER LATERAL BE ABANDONED & CAPPED AT MAIN PER CITY STANDARDS, SEE SEWER ABANDONMENT NOTES, SHEET C05

NO.	DATE	BY	REVISIONS

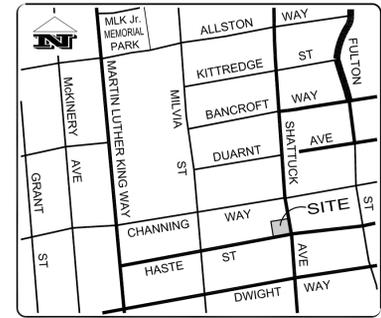
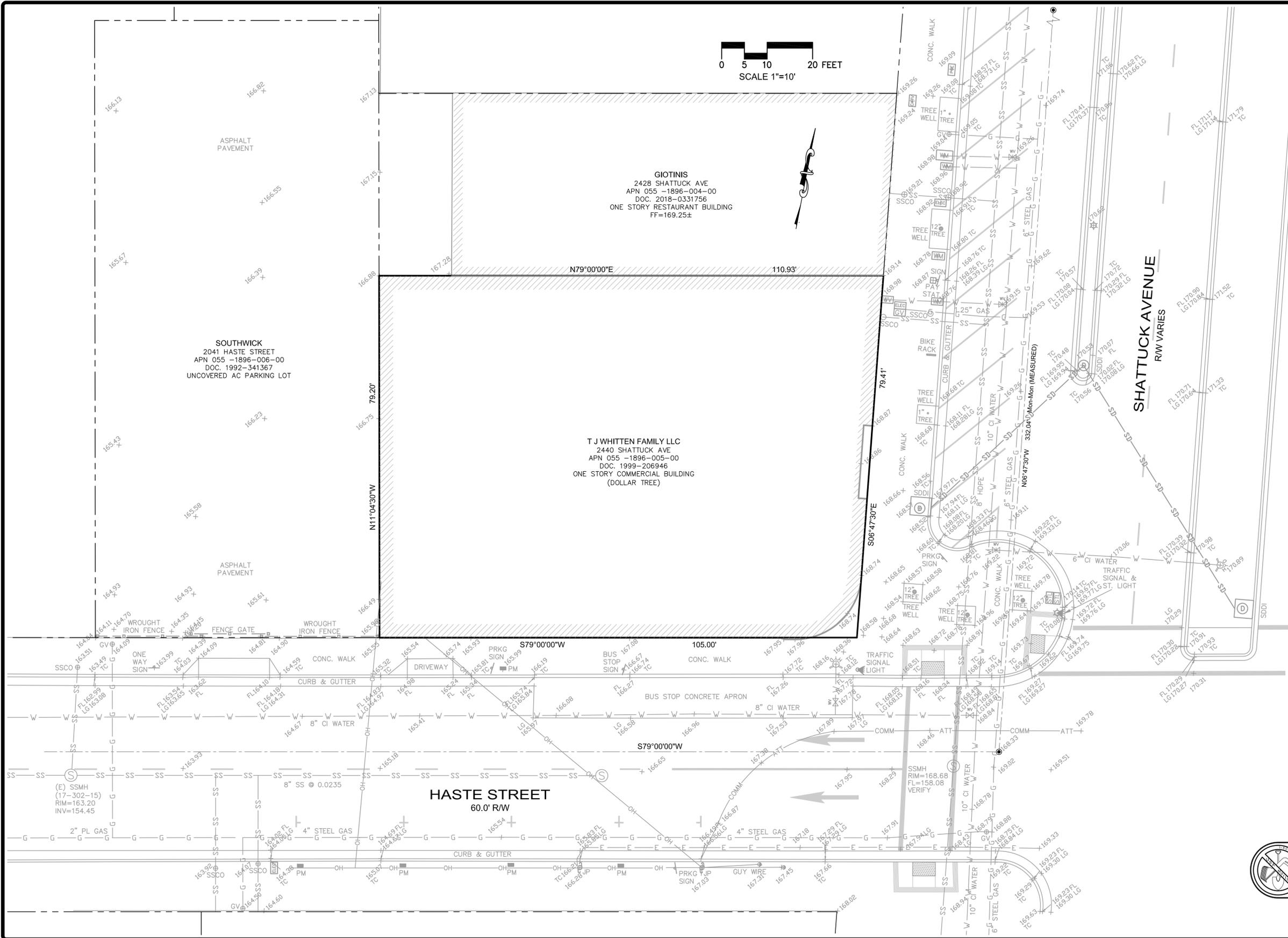
SCALE	1"=10'
DATE	03/01/2022
ENGINEER	H.N.
JOB NO.	21-127

REGISTERED PROFESSIONAL ENGINEER  
 STATE OF CALIFORNIA  
 No. 29528  
 IZZAT S. NASHASHIBI  
 R.C.E. 29528

PRELIMINARY UTILITY PLAN  
 FOR  
 THE LAIR  
 2440 SHATTUCK AVENUE  
 APN 055 -1896-005-00  
 BERKELEY CALIFORNIA

HUMANN COMPANY INC.  
 ENGINEERING - SURVEYING  
 1021 BROWN AVE. LAFAYETTE, CA 94549  
 PH (925)283-5000 FAX (925)283-3578

SHEET C02  
 OF 3 SHEETS  
 JOB NO. 21-127



VICINITY MAP N.T.S.

**LEGEND**

- PROPERTY LINE
- CENTERLINE
- JOINT POLE
- SS — SANITARY SEWER & MANHOLE
- SS — STORM SEWER & MANHOLE
- DRAIN INLET/CATCH BASIN
- FIRE HYDRANT
- FORCED MAIN
- COMM — COMMUNICATION
- WATER MAIN & GATE VALVE
- SPOT ELEVATION
- OVERHANG UTILITY
- SIGN
- EXISTING TREE
- STANDARD CITY MONUMENT
- DCD ASSMBLY, SERVICE & VALVE
- WATER SERVICES & METER
- ELECTRIC BOX
- STREET LIGHT
- PG&E BOX
- CABLE TELEVISION BOX
- TRAFFIC SIGNAL BOX

**BASIS OF BEARINGS:**  
TAKEN AS NORTH 06°47'30" WEST BETWEEN THE TWO FOUND MONUMENTS IN SHATTUCK AVENUE AS SHOWN ON PARCEL MAP 1983 (91 M 56).

**DATUM:**  
ELEVATIONS SHOWN HEREON ARE BASED UPON B0361  
1/2" Ø BRASS PIN IN MONUMENT WELL ELEVATION: 168.33'

**BEFORE EXCAVATING CALL U.S.A.**

OWNER AND/OR CONTRACTOR ARE RESPONSIBLE FOR LOCATION AND VERIFICATION OF ALL EXISTING UNDERGROUND UTILITIES. UNDERGROUND SERVICE ALERT (USA) SHOULD BE NOTIFIED FOR ASSISTANCE IN THIS MATTER AT (800) 227-2600, 48 HOURS PRIOR TO ANY CONSTRUCTION.

THE (USA) ALLOCATION NUMBER SHALL BE KEPT AT THE JOB SITE.

LOCATION AND CHARACTER OF ANY UTILITIES IF SHOWN HEREON ARE APPROXIMATE AND TAKEN FROM A COMBINATION OF SURFACE STRUCTURE OBSERVATION AND/OR THE RECORDS OF THE CONTROLLING AGENCY. HUMANN COMPANY DOES NOT ASSUME RESPONSIBILITY FOR THE LOCATION OF ANY EXISTING UTILITIES OR OTHER UNDERGROUND FEATURES SUCH AS WALLS, TANKS, BASEMENTS, BURIED OBJECTS, ETC.

NO.	DATE	BY	REVISIONS

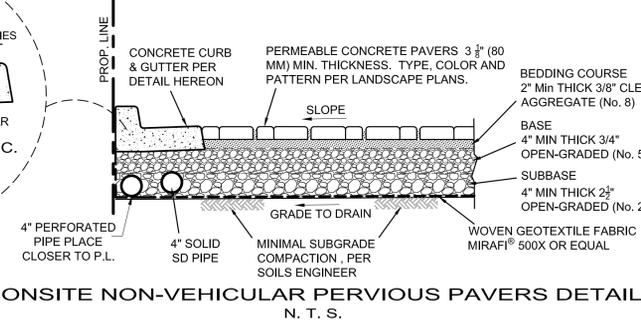
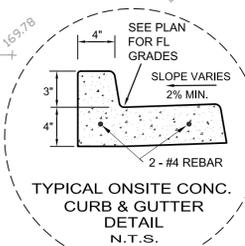
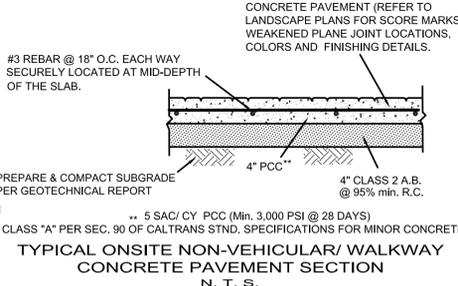
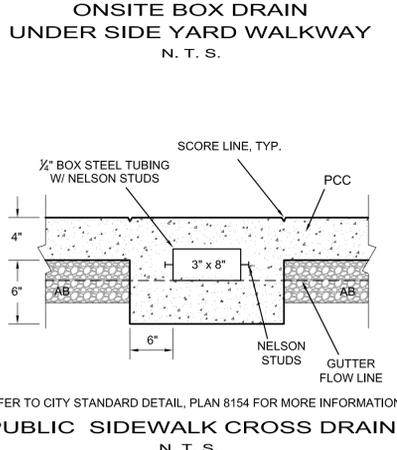
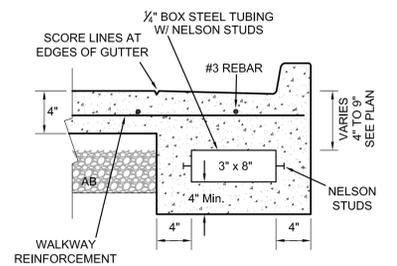
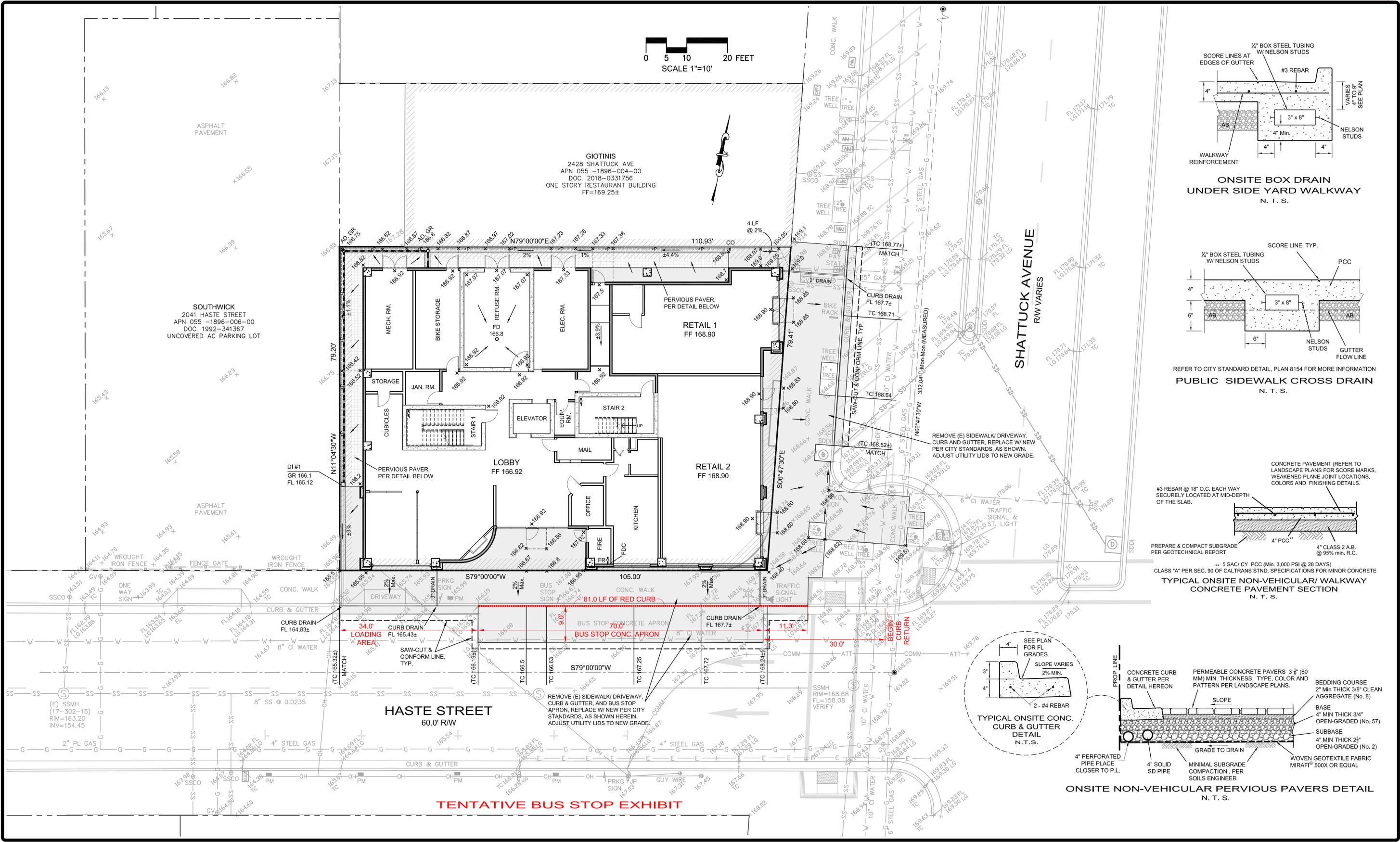
SCALE	1"=10'
DATE	07/20/2021
ENGINEER	EK/HN
JOB NO.	21-127

LICENSED LAND SURVEYOR  
ERIC (RICK) HUMANN  
No. 5452  
P.L.S. 5452

**BOUNDARY AND TOPOGRAPHIC SURVEY**  
FOR  
**T. J. WHITTEN FAMILY LLC**  
2440 SHATTUCK AVENUE  
APN 055 -1896-005-00  
BERKELEY CALIFORNIA

**HUMANN COMPANY INC.**  
ENGINEERING - SURVEYING  
1021 BROWN AVE. LAFAYETTE, CA 94549  
PH (925)283-5000 FAX (925)283-3578

SHEET	C03
OF 3 SHEETS	
JOB NO.	21-127



NO.	DATE	BY	REVISIONS

SCALE 1"=10'  
 DATE 03/01/2022  
 ENGINEER H.N.  
 JOB NO. 21-127

REGISTERED PROFESSIONAL ENGINEER  
 STATE OF CALIFORNIA  
 No. 29528  
 IZZAT S. NASHASHIBI R.C.E. 29528

**TENTATIVE BUS STOP EXHIBIT FOR THE LAIR**  
 2440 SHATTUCK AVENUE  
 APN 055 -1896-005-00  
 BERKELEY CALIFORNIA

**HUMANN COMPANY INC.**  
 ENGINEERING - SURVEYING  
 1021 BROWN AVE. LAFAYETTE, CA 94549  
 PH (925)283-5000 FAX (925)283-3578

SHEET EXH.1  
 OF 1 SHEETS  
 JOB NO. 21-127

# Base Project Summary

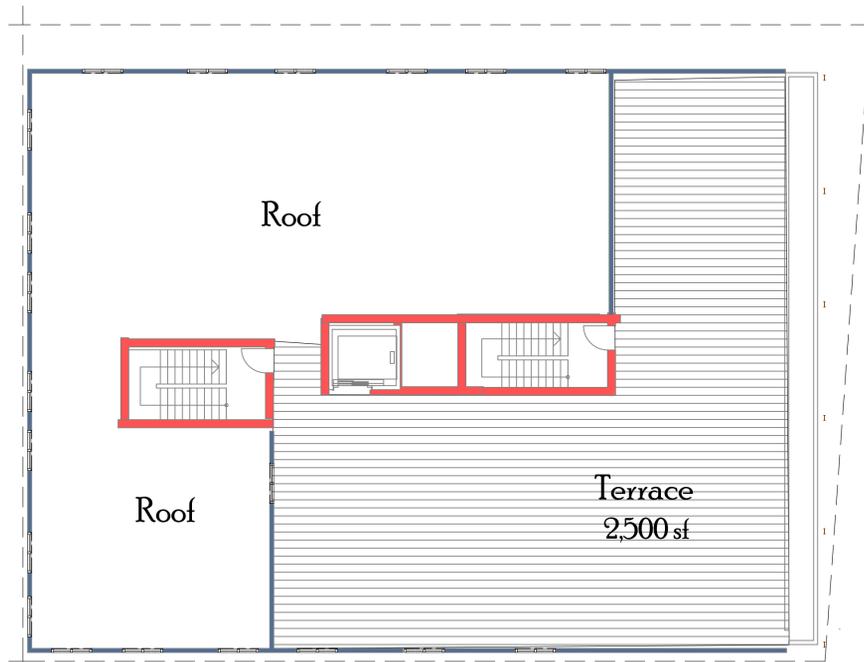
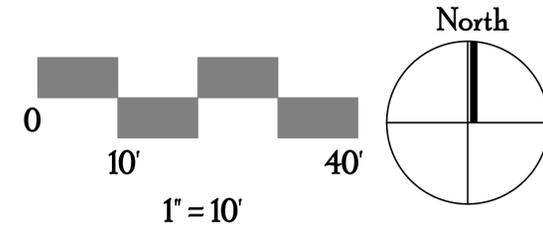
<b>Ground Floor</b> Gross Building Area 6,916 sf	<b>Fifth Floor</b> Gross Area = 7,634 sf
<b>Second Floor</b> Gross Area = 7,634 sf	<b>Sixth Floor</b> Gross Area = 7,634 sf
<b>Third Floor</b> Gross Area = 7,634 sf	<b>Total Gross Area = 45,085 sf</b>
<b>Fourth Floor</b> Gross Area = 7,634 sf	

**Open Space**  
Open Space @ 80 sf/unit = 2,400sf Required  
Open Space Provided = 2,500 sf

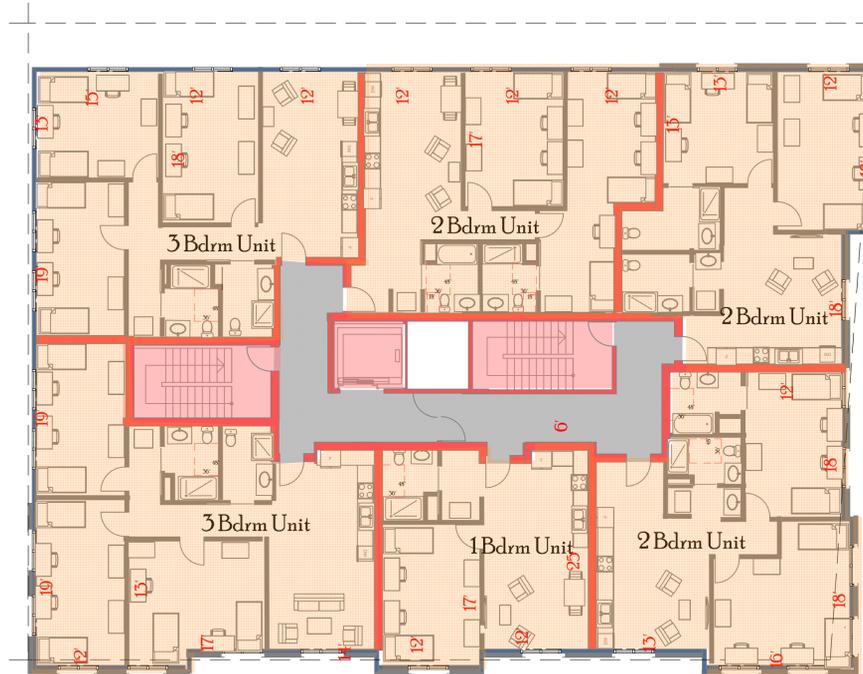
**Parking**  
Retail 2700/667 = 5 cars Required  
Total cars provided = 5 cars in Basement

**Bike Parking**  
1 Bike/3 Bedrooms = 10 Bikes Required  
Total Bikes Provided = 16 Bikes

**Residential Breakdown**  
(5 levels)  
5 One Bdrm  
15 Two Bdrm  
10 Three Bdrm  
  
Total = 30 units (65 Bedrooms)



Roof Level



2nd Level (3rd-6th Level Similar)  
6 Units

- Residential Area = 6,647 sf  
(Included in Base Area)
- Corridor Area = 573 sf  
(Included in Base Area)
- Stairs/Elevators = 414 sf  
(Not included in Base Area)

Gross Area 7,634sf  
Base Area = 7,220 sf

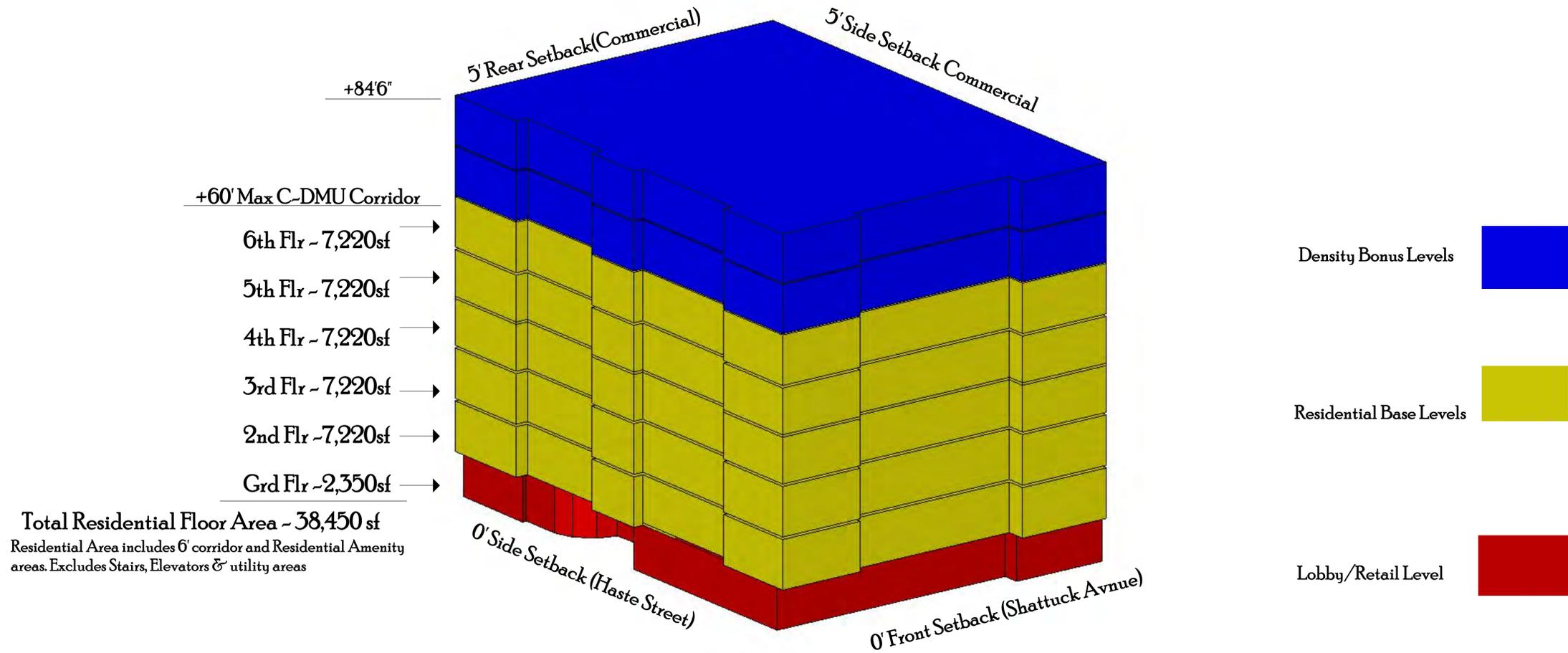


Ground Level

- Retail Area = 2,700 sf  
(Not included in Base Area)
- Utility Area = 834 sf  
(Not included in Base Area)
- Lobby = 1,785 sf  
(Included in Base Area)
- Stairs/Elevators = 414 sf  
(Included in Base Area)
- Corridor Area = 151 sf  
(Included in Base Area)

Gross Area = 6,916 sf  
Base Area = 2,350 sf





**Total Residential Floor Area ~ 38,450 sf**  
Residential Area includes 6' corridor and Residential Amenity areas. Excludes Stairs, Elevators & utility areas

## Base Plan Model

Base Project	Base # Units	Base # Units	% VLI units	# VLI Units	#VLI Units	Bonus %	# DB Units	# DB Units	Total Units
sq. ft. - see calculation below	base project/avg. unit size	Base Units/Max. Residential Density (rounded up)	VLI = Very Low Income <50 AMI	% VLI x Base # Units			%Bonus x Base # Units (rounded up)	%Bonus x Base # Units (rounded up)	base unit + DB Units (rounded up)
38,450	29.97	30.00	10%	3.00	3.00	32.50%	9.75	10.00	40

Base Project Square Footage (a,b)	Floor	Residential Sq. Footage Proposed (a)	Number of Units Proposed
2,350	first	2,852	0
7,220	second	7,220	6
7,220	third	7,220	6
7,220	fourth	7,220	6
7,220	fifth	7,220	6
7,220	sixth	7,220	6
	seventh	7,220	6
	eighth	5,154	4
<b>38,450</b>	<b>TOTAL</b>	<b>51,326</b>	<b>40</b>

	%VLI	%DB
<b>Total Square Footage:</b> 51,326	5%	20.0%
<b>Proposed Units:</b> 40	6%	22.5%
<b>Average Unit Size:</b> 1,283	7%	25.0%
	8%	27.5%
	9%	30.0%
	10%	32.5%
	11%	35.0%
	12%	38.75%
	13%	42.50%
	14%	46.25%
	15%	50.0%

## Base Plan Calculation Lair

## Density Bonus Calculation

# DB2

PLANS APPROVED BY ZONING ADJUSTMENTS BOARD

  
SIGNATURE

May 26, 2022  
DATE

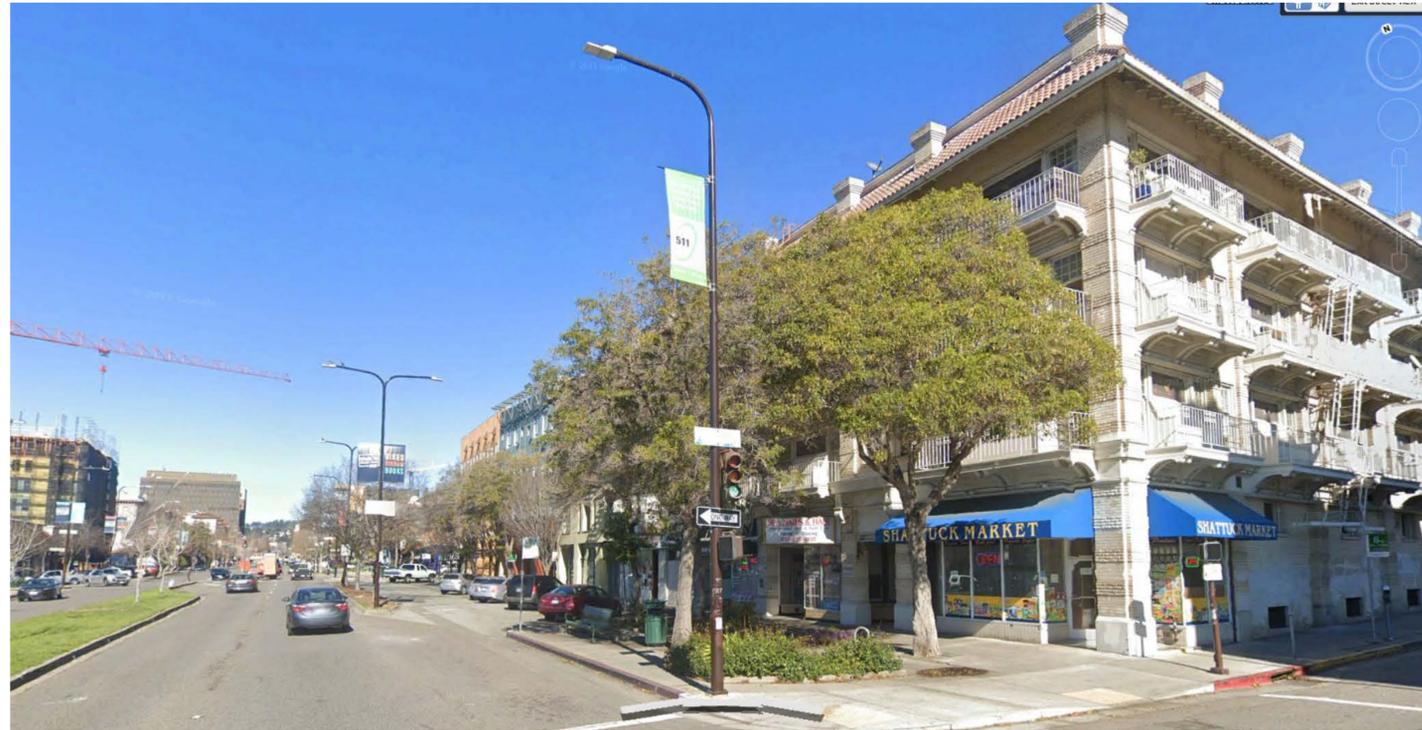
\* Findings and Conditions Attached



## The Lair - 2440 Shattuck Avenue

<p>Vicinity Map APN#055-1896-005-00</p>	<p>Project Summary</p>	<p>Residential Summary</p>	<p>Tabulation Form</p>	<p>Project Team</p>	<p>Sheet Index</p>																																																																																																																																																																								
<p>Site Area = 8,560 sf</p>   	<p><b>Ground Floor</b> Gross Area = 6,916 sf</p> <p><b>Second Floor</b> Gross Area = 7,634 sf</p> <p><b>Third Floor</b> Gross Area = 7,634 sf</p> <p><b>Fourth Floor</b> Gross Area = 7,634 sf</p> <p><b>Fifth Floor</b> Gross Area = 7,634 sf</p> <p><b>Sixth Floor</b> Gross Area = 7,634 sf</p> <p><b>Seventh Floor</b> Gross Area = 7,634 sf</p> <p><b>Eighth Floor</b> Gross Area = 5,568 sf</p> <p><b>Total Gross Area = 58,288 sf</b></p>	<p>(7 levels) 7 One Bdrm 19 Two Bdrm 14 Three Bdrm Total = 40 units (87 Bedrooms)</p> <p><b>Open Space</b> Open Space @ 80 sf/unit = 3,200 sf Required Open Space Provided = 1,150 sf</p> <p><b>Parking</b> 2,700 sf Retail @ 2 cars/1,000 sf = 6 cars Required Residential Parking = 0 cars Required Total cars required = 6 cars Total cars provided = 0 cars</p> <p><b>Bike Parking</b> Long Term - 1 Bike/3 Bedrooms = 29 Long Term Bikes Required Total Long Term Bikes Provided = 44 Bikes Short Term - 1 Bike/40 Bedrooms = 2 Short Term Bikes Required Commercial 1 Bike/2,000 sf = 2 Short Term Bikes Required Total Short Term Bikes Required = 4 Bikes Total Short Term Bikes Provided = 4 Bikes</p>	<p>Project Address: <b>2440 Shattuck Ave</b> Date: <b>11.22</b></p> <p>Applicant's Name: <b>Dave Johnson / Johnson Lyman Architects</b></p> <p>Zoning District: <b>C-DMU Corridor</b></p> <p>Please print in ink the following numerical information for your Administrative Use Permit, Use Permit, or Variance application:</p> <table border="1"> <thead> <tr> <th></th> <th>Existing</th> <th>Proposed</th> <th>Permitted Required*</th> </tr> </thead> <tbody> <tr> <td><b>Units, Parking Spaces &amp; 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Assoc Rick Stover 1629 North Main Walnut Creek, CA 94956 925.933.2583</p>	<table border="1"> <tr> <td>A0</td> <td>Cover Sheet</td> <td>A33</td> <td>Sections/Details</td> </tr> <tr> <td>PH1</td> <td>Photo Context</td> <td>A34</td> <td>Sections/Details</td> </tr> <tr> <td>P1</td> <td>Rendering</td> <td>SH1</td> <td>Sun Study</td> </tr> <tr> <td>P2</td> <td>Rendering</td> <td>SH2</td> <td>Sun Study</td> </tr> <tr> <td>P2A</td> <td>Rendering</td> <td>L1</td> <td>Landscape Plan</td> </tr> <tr> <td>P2B</td> <td>Rendering</td> <td>L2</td> <td>Landscape Details</td> </tr> <tr> <td>P3</td> <td>Rendering</td> <td>C01</td> <td>Preliminary Grading Plan</td> </tr> <tr> <td>P4</td> <td>Photo Montage</td> <td>C02</td> <td>Preliminary Utility Plan</td> </tr> <tr> <td>P5</td> <td>Photo Montage</td> <td>C03</td> <td>Boundary/Topographic Survey</td> </tr> <tr> <td>A11</td> <td>Ground Plan</td> <td>EXH-1</td> <td>Bus Stop Exhibit</td> </tr> <tr> <td>A12</td> <td>Upper Plans</td> <td>DB1</td> <td>Density Bonus Base Plans</td> </tr> <tr> <td>A15</td> <td>Roof Plans</td> <td>DB2</td> <td>Density Bonus Calculation</td> </tr> <tr> <td>A14</td> <td>Floor Plans</td> <td></td> <td></td> </tr> <tr> <td>A21</td> <td>Overall Elevations</td> <td></td> <td></td> </tr> <tr> <td>A22</td> <td>North Elevation</td> <td></td> <td></td> </tr> <tr> <td>A23</td> <td>East Elevation</td> <td></td> <td></td> </tr> <tr> <td>A24</td> <td>West Elevation</td> <td></td> <td></td> </tr> <tr> <td>A25</td> <td>South Elevation</td> <td></td> <td></td> </tr> <tr> <td>CB</td> <td>Color/Materials</td> <td></td> <td></td> </tr> <tr> <td>A31</td> <td>Sections/Details</td> <td></td> <td></td> </tr> <tr> <td>A32</td> <td>Sections/Details</td> <td></td> <td></td> </tr> </table>	A0	Cover Sheet	A33	Sections/Details	PH1	Photo Context	A34	Sections/Details	P1	Rendering	SH1	Sun Study	P2	Rendering	SH2	Sun Study	P2A	Rendering	L1	Landscape Plan	P2B	Rendering	L2	Landscape Details	P3	Rendering	C01	Preliminary Grading Plan	P4	Photo Montage	C02	Preliminary Utility Plan	P5	Photo Montage	C03	Boundary/Topographic Survey	A11	Ground Plan	EXH-1	Bus Stop Exhibit	A12	Upper Plans	DB1	Density Bonus Base Plans	A15	Roof Plans	DB2	Density Bonus Calculation	A14	Floor Plans			A21	Overall Elevations			A22	North Elevation			A23	East Elevation			A24	West Elevation			A25	South Elevation			CB	Color/Materials			A31	Sections/Details			A32	Sections/Details		
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**A0**  
5.15.22



View from Shattuck Avenue looking Northeast



View from Shattuck Avenue looking Northwest

# The Lair @ Haste



View to Lobby

# The Lair @ Haste



View from Shattuck Avenue

# The Lair @ Haste



JOHNSON  
LYMAN  
ARCHITECTS

1375 Locust Street, #202, Walnut Creek, CA 94596  
925.930.9690 930.9039 fax



# P2

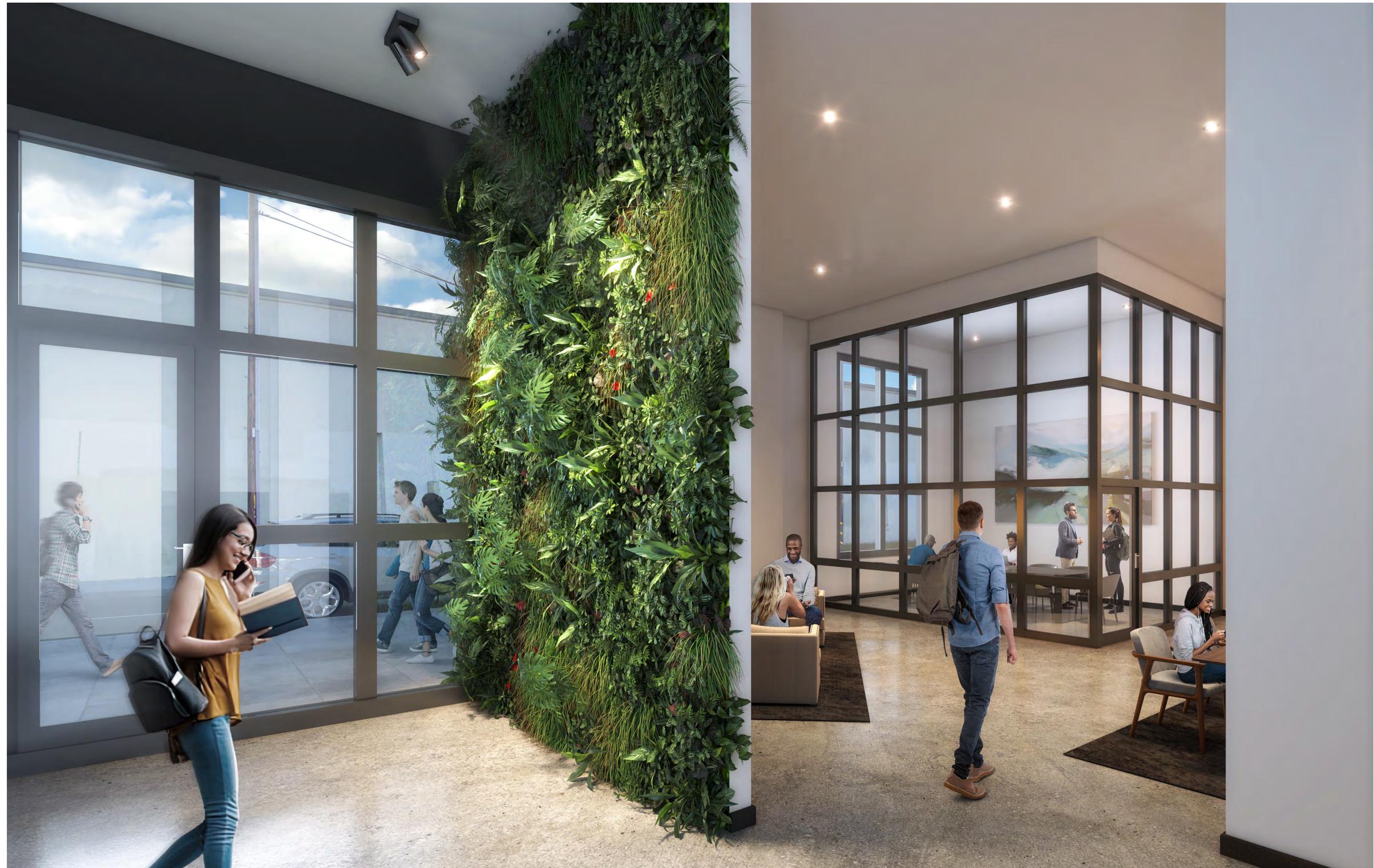
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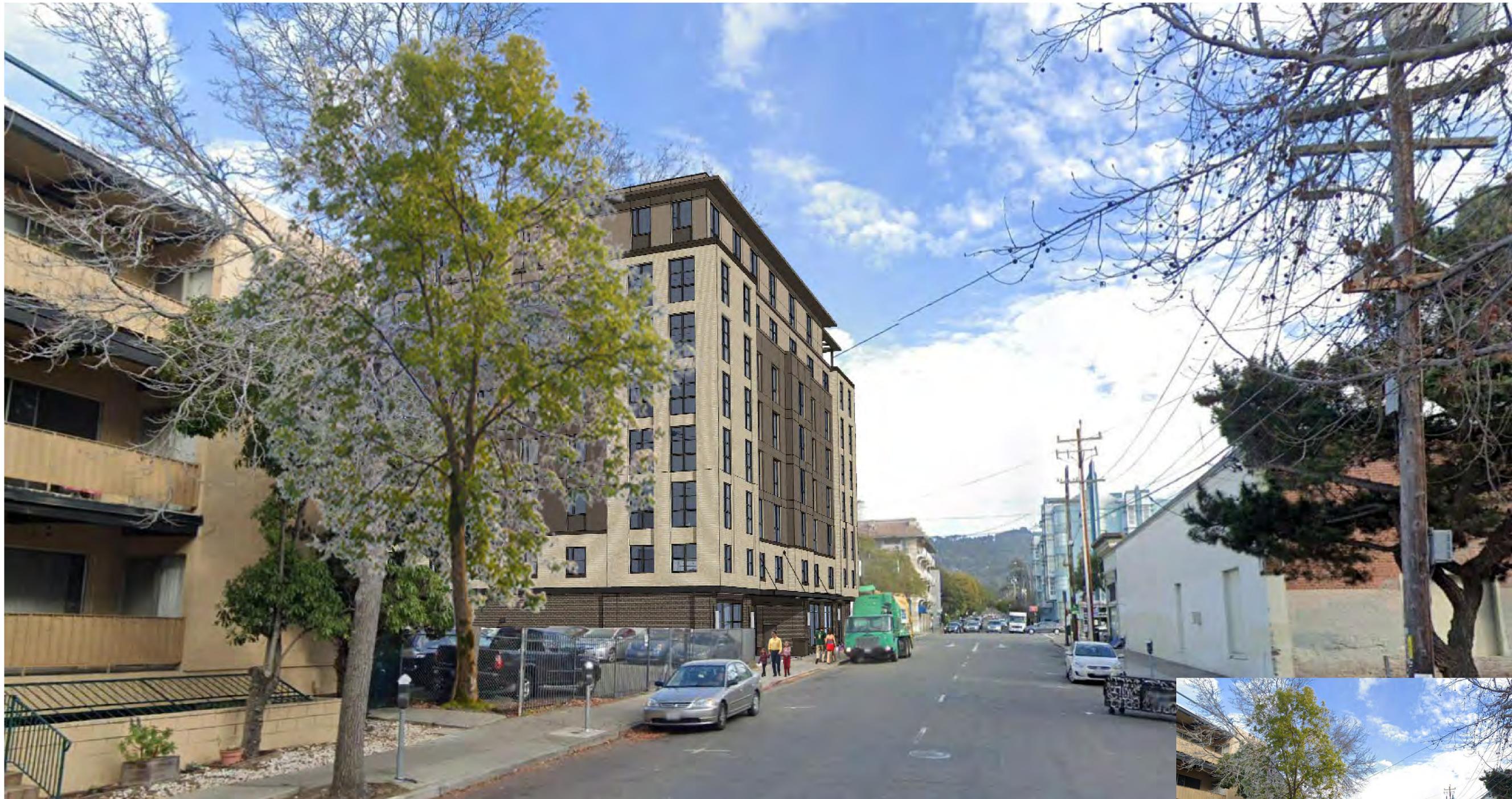
View from Shattuck Avenue looking southwest



Terrace View



View of Lobby/Conference Area



View Looking East from Haste



Existing View



View Looking South West from Shattuck Avenue



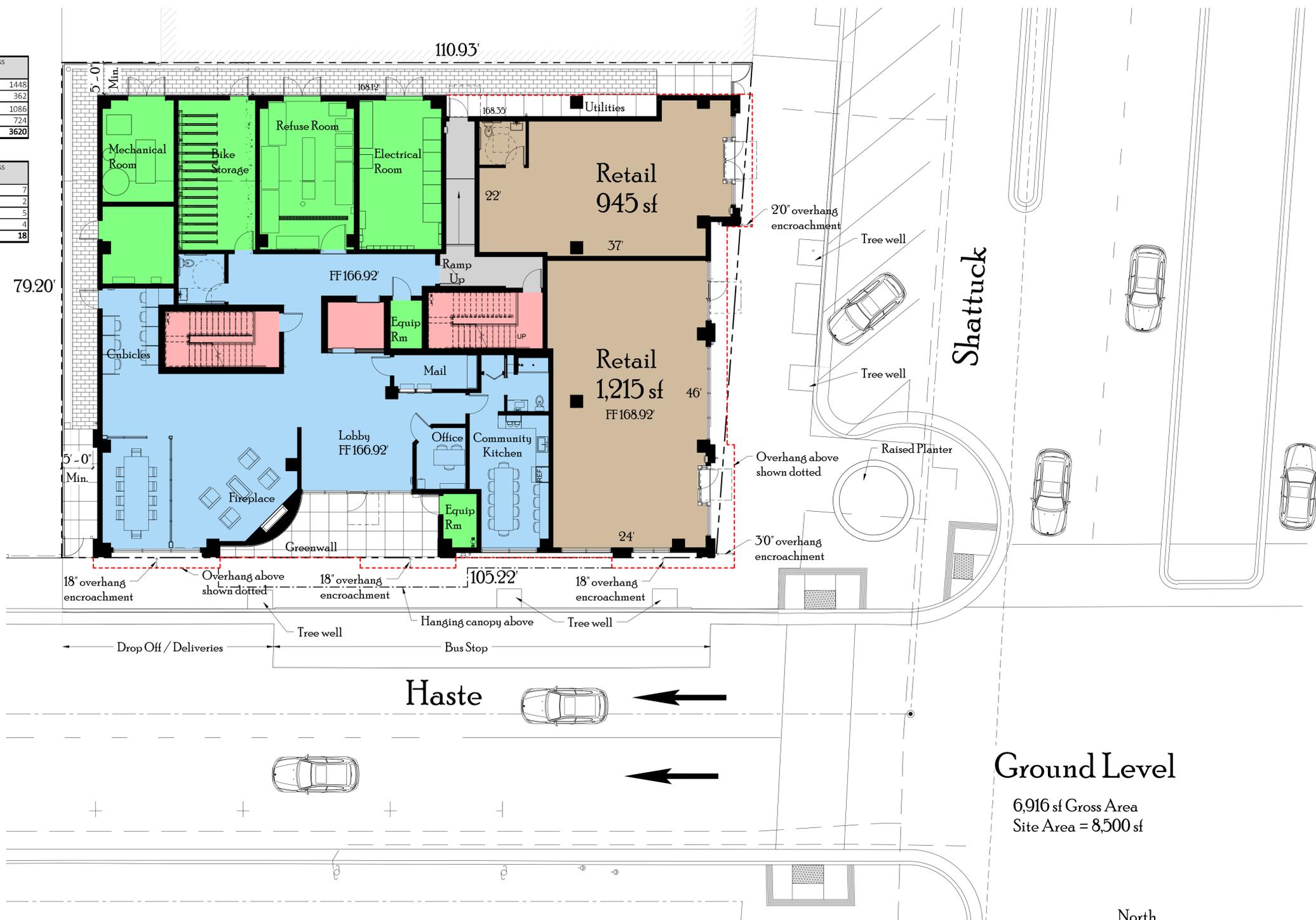
Existing View

# Refuse Calculation

Enter Total # Residents: **181**

Estimated Capacity Required (in Gallons)	Minimum Capacity	20% Excess Capacity
Refuse Estimate 40% (gal):	1207	1448
Container Recycling Estimate 10% (gal):	302	362
Cardboard/Paper Recycling Estimate 30% (gal):	905	1086
Compost/Organics Estimate 20% (gal):	603	724
<b>Total Waste Volume Estimate (gal):</b>	<b>3017</b>	<b>3620</b>

Estimated Capacity Required (in Cubic Yards)	Minimum Capacity	20% Excess Capacity
Refuse Estimate 40% (cubic yards):	6	7
Container Recycling Estimate 10% (cubic yards):	2	2
Cardboard/Paper Recycling Estimate 30% (cubic yards):	5	5
Compost/Organics Estimate 20% (cubic yards):	3	4
<b>Total Waste Volume Estimate (cubic yards):</b>	<b>15</b>	<b>18</b>



Ground Level

6,916 sf Gross Area  
 Site Area = 8,500 sf

North



0' 4' 8' 16'



Scale: 1/8" = 1'-0"

# The Lair @ Haste

Ground Level

A1.1

5.15.22



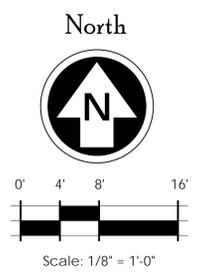
1375 LOCUST ST #202, WALNUT CREEK, CA 94596  
 PHONE: 925.930.9690  
 WEB PAGE: WWW.JOHNSONLYMAN.COM  
 EMAIL: STAFF@JOHNSONLYMAN.COM

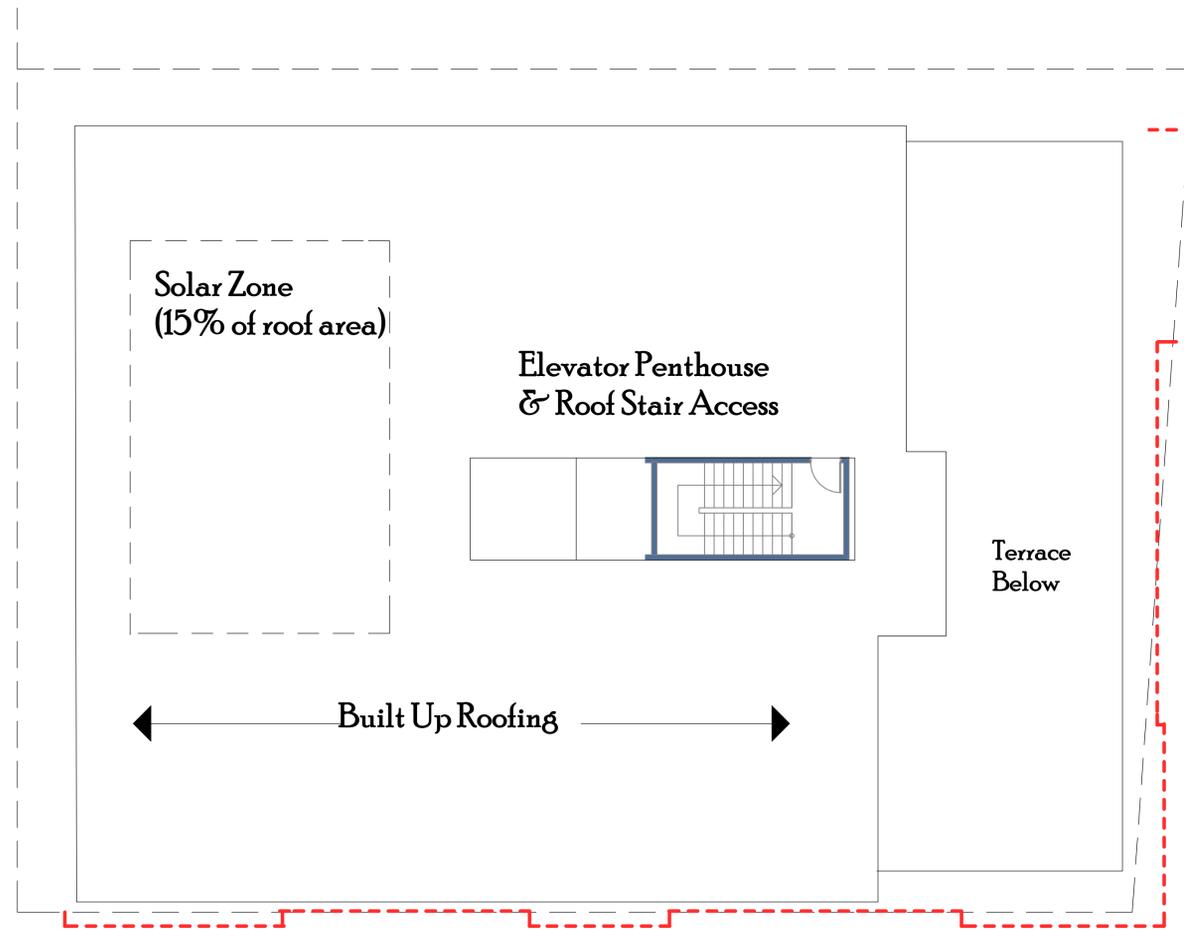


- (1) One Bdrm
- (3) Two Bdrm
- (2) Three Bdrm

# The Lair @ Haste

## Upper Levels

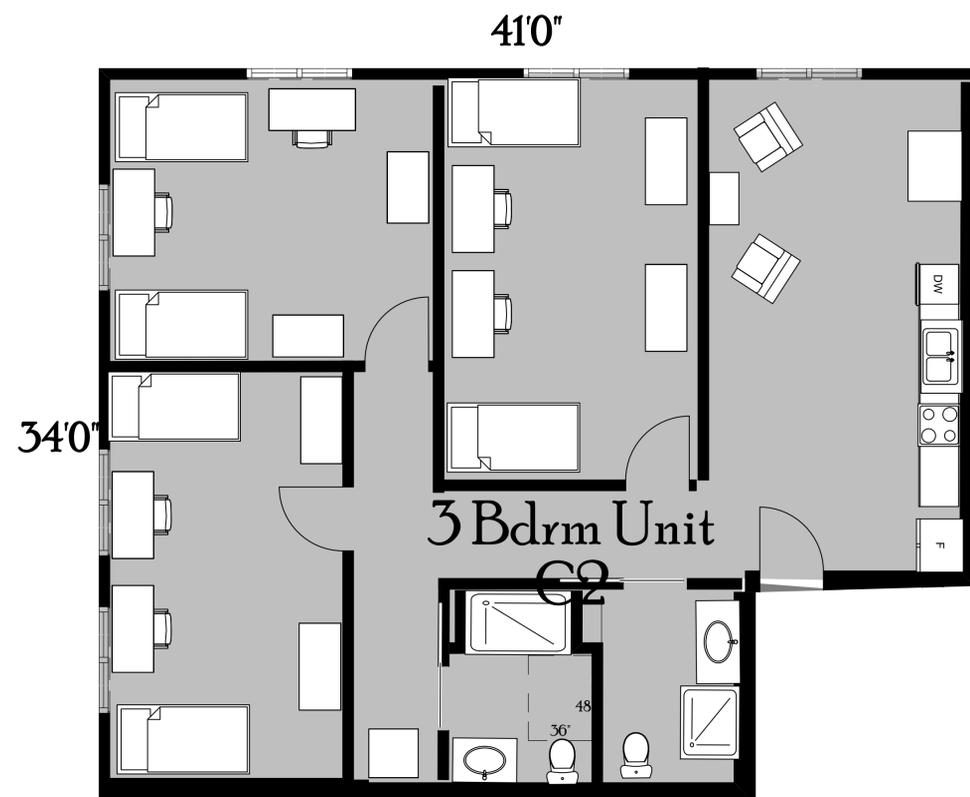




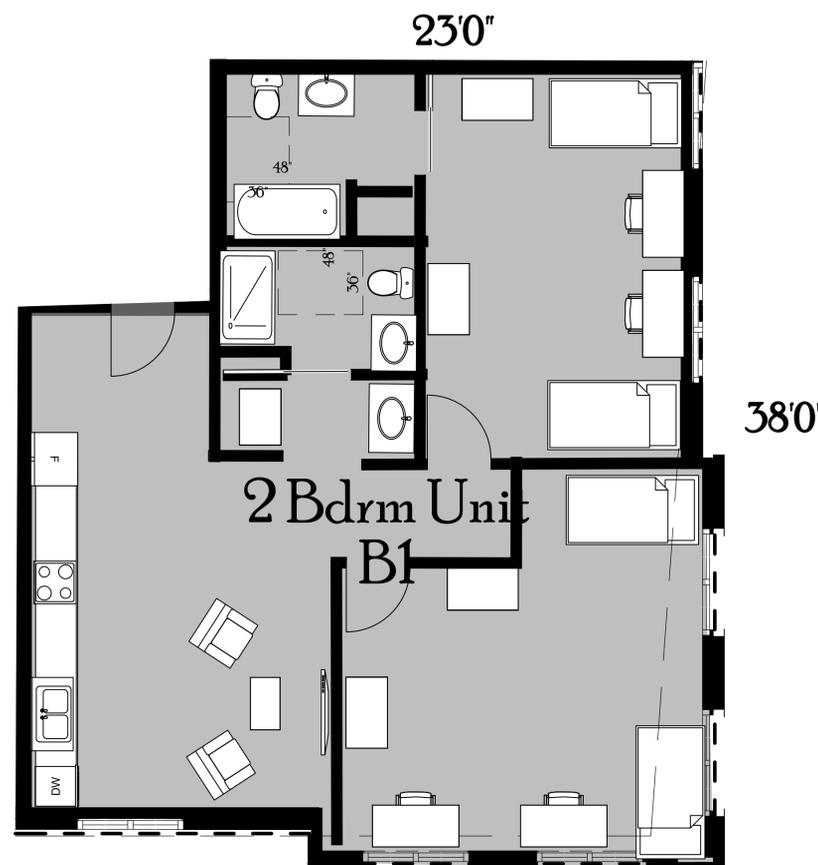
Average Area of all Floors = 7,634 sf  
Area of stair and elevator projection above roof = 360 sf  
Percentage of projection = 5% < 15%

Roof Plan

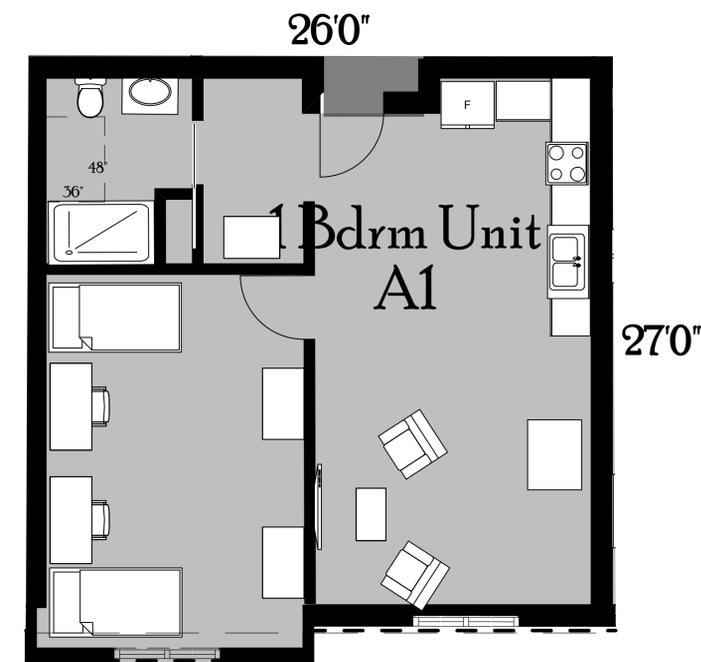
# The Lair @ Haste



**Three Bedroom**  
1,270 sf Gross Area



**Two Bedroom**  
1,050 sf Gross Area



**One Bedroom**  
710 sf Gross Area

### Typical Floor Plans

# The Lair @ Haste



# South Elevation

View from Haste Street

1" = 16'



# East Elevation

View from Shattuck Avenue

1" = 16'



Shattuck Avenue

# North Elevation

3/16" = 10"



# East Elevation

View from Shattuck Avenue

3/16" = 10'

# The Lair @ Haste



# A2.3

5.15.22





# West Elevation

3/16" = 10'

## The Lair @ Haste



# A2.4

5.15.22



# South Elevation

View from Haste

# The Lair @ Haste

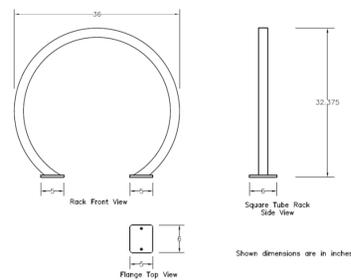
3/16" = 10"



# A2.5

5.15.22





Bike rack



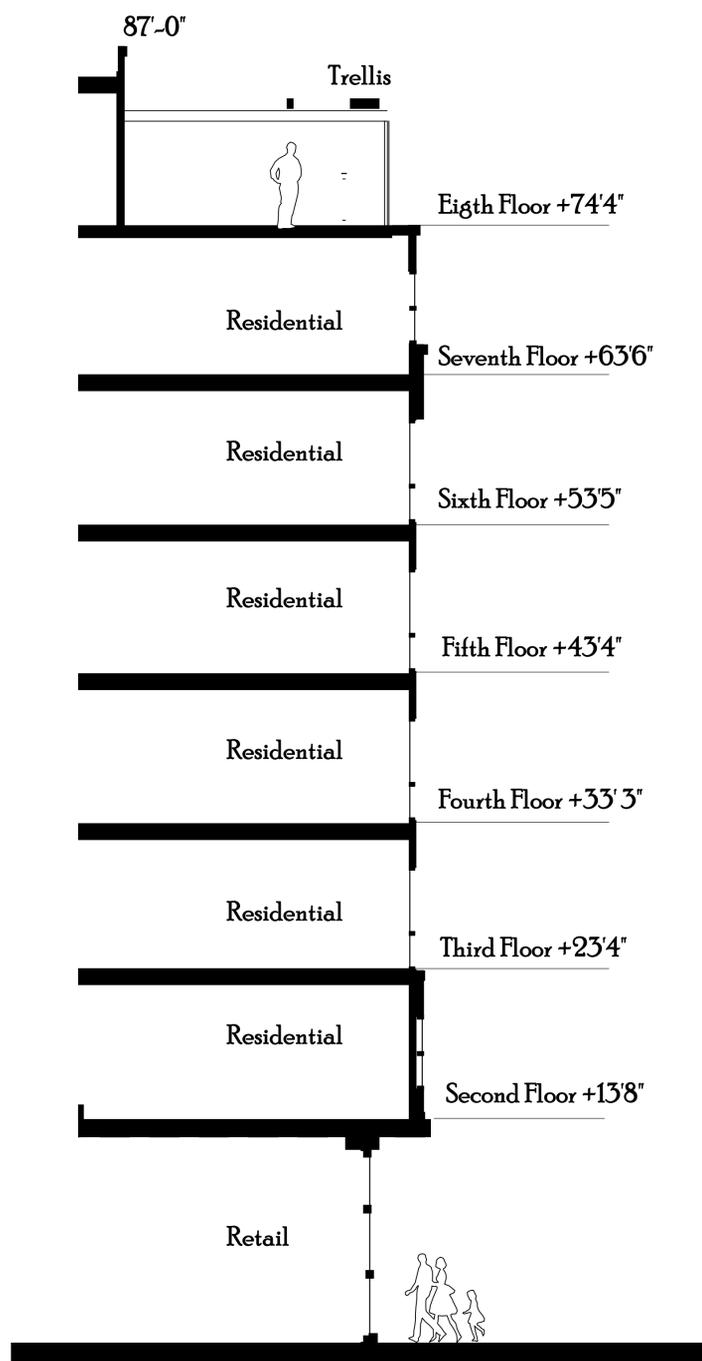
Bike Storage  
 Park A Bike



Wall Sconce  
 Progress Light 5675



Lobby Entry Green Wall  
 Habitat Horticulture



Section A-A

# The Lair @ Haste



Enlarged Elevation  
 3/16" = 10"  
 Section A

# Sections/Materials

CB  
 5.15.22



Old Myford (Field Color)  
 McNear Brick



Smooth Plaster  
 SW Downing Earth 2820



Old Myford Dark Blend (Base Color)  
 McNear Brick



Smooth Plaster  
 SW Turkish Coffee 6076



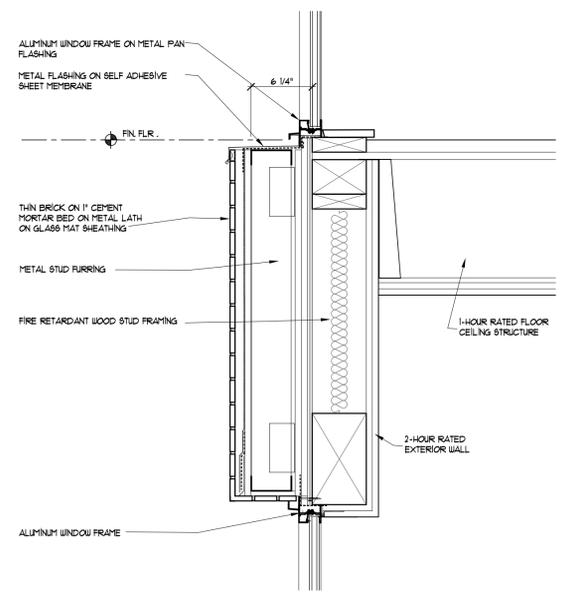
Beige  
 McNear Brick



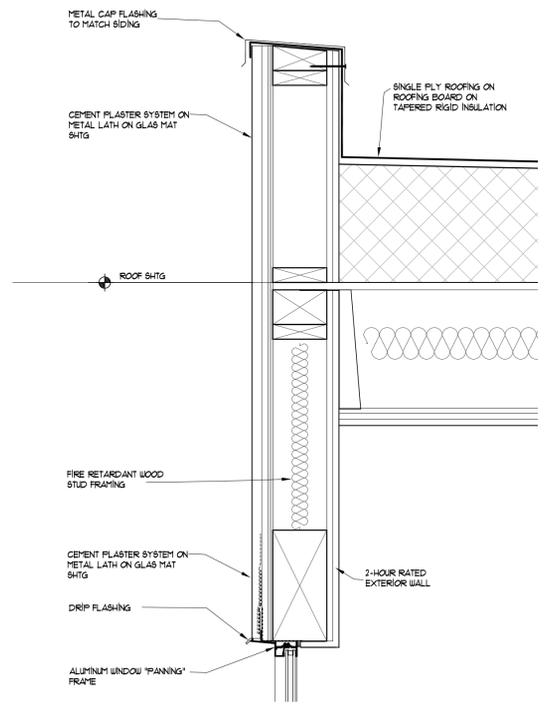
Black Anodized  
 Window Frame



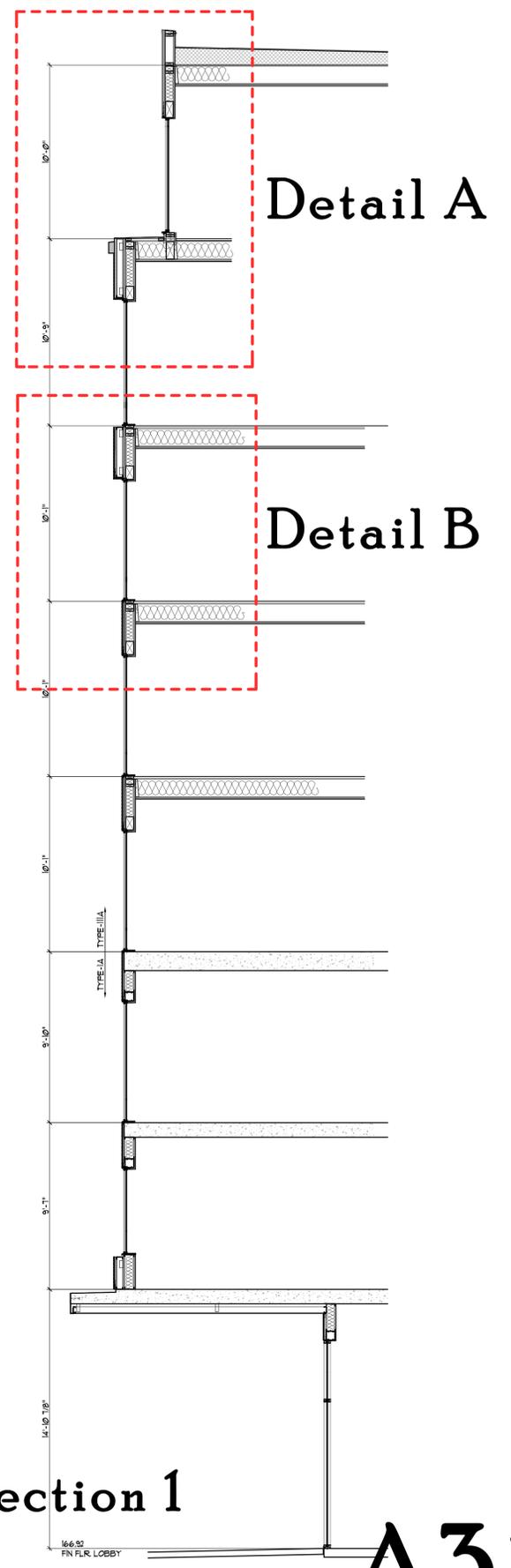
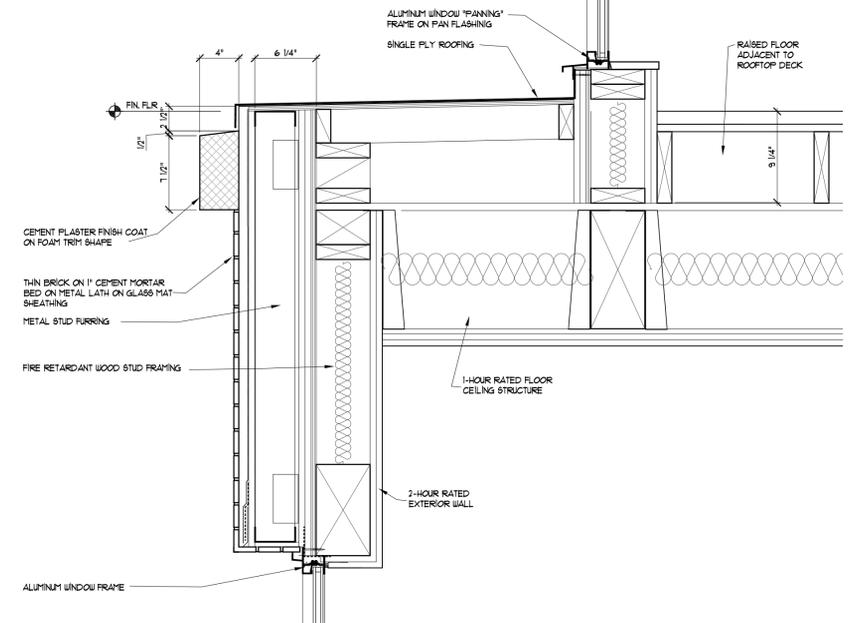
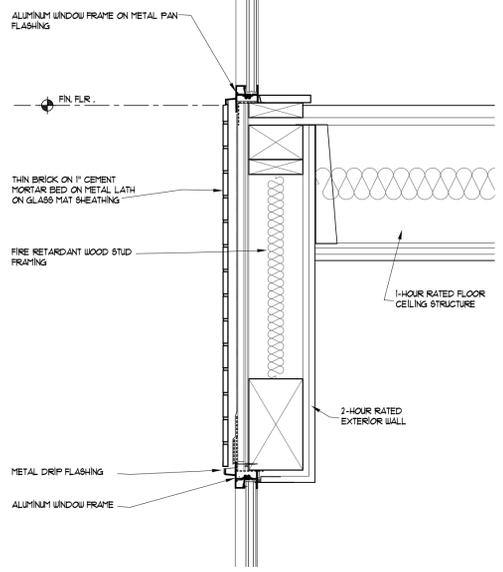
# Materials



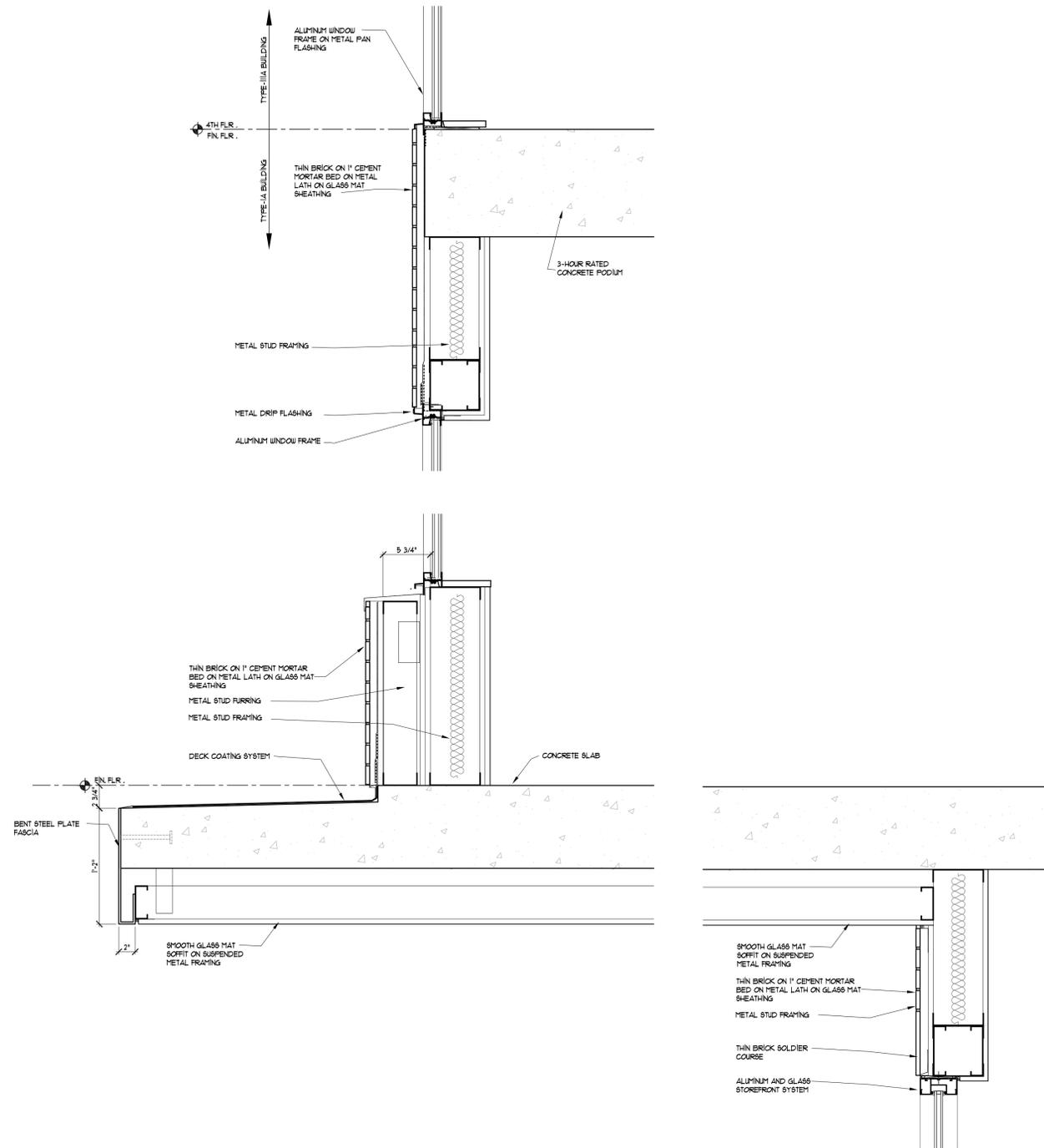
Detail B



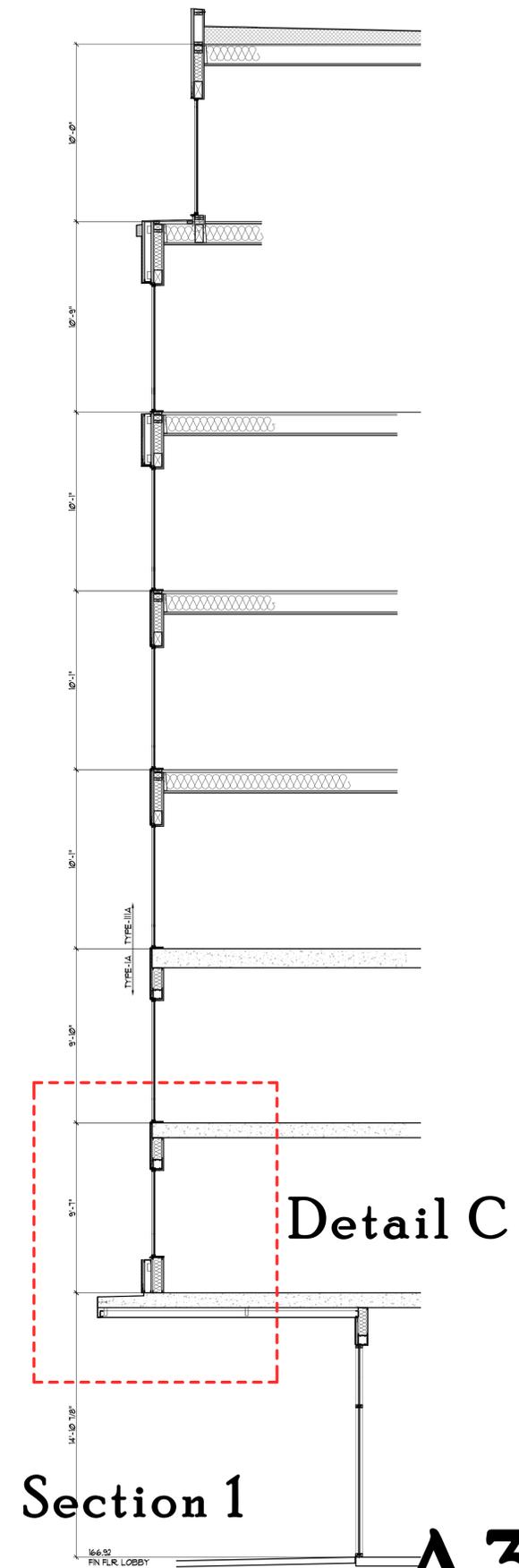
Detail A



Section 1



Detail C



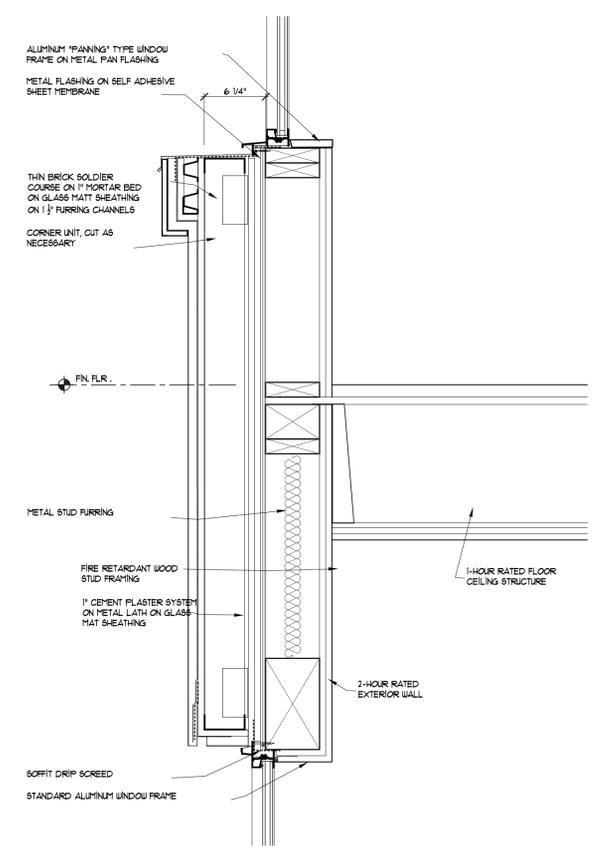
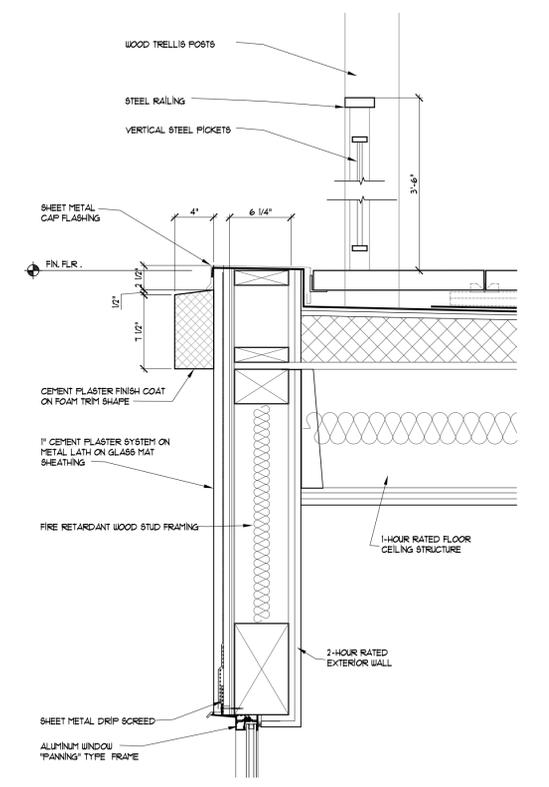
Section 1

Detail C

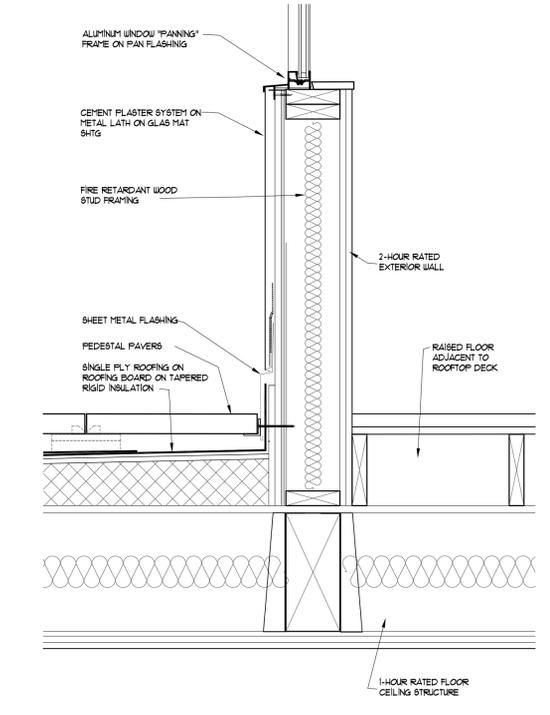
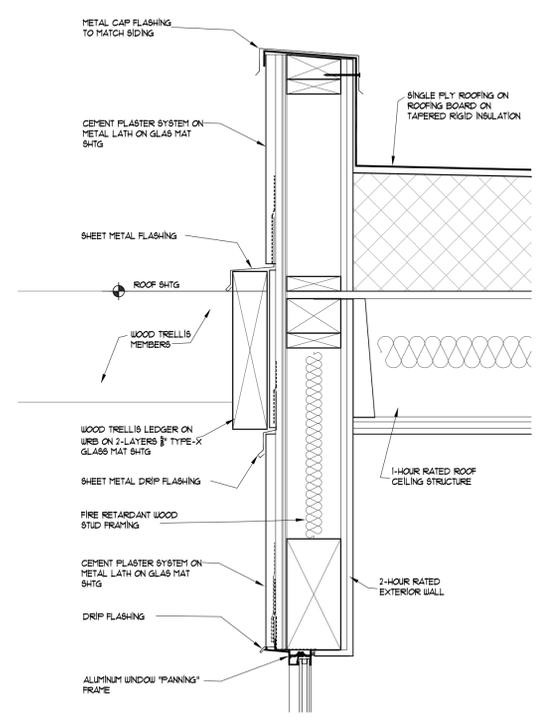
A3.2

5.15.22

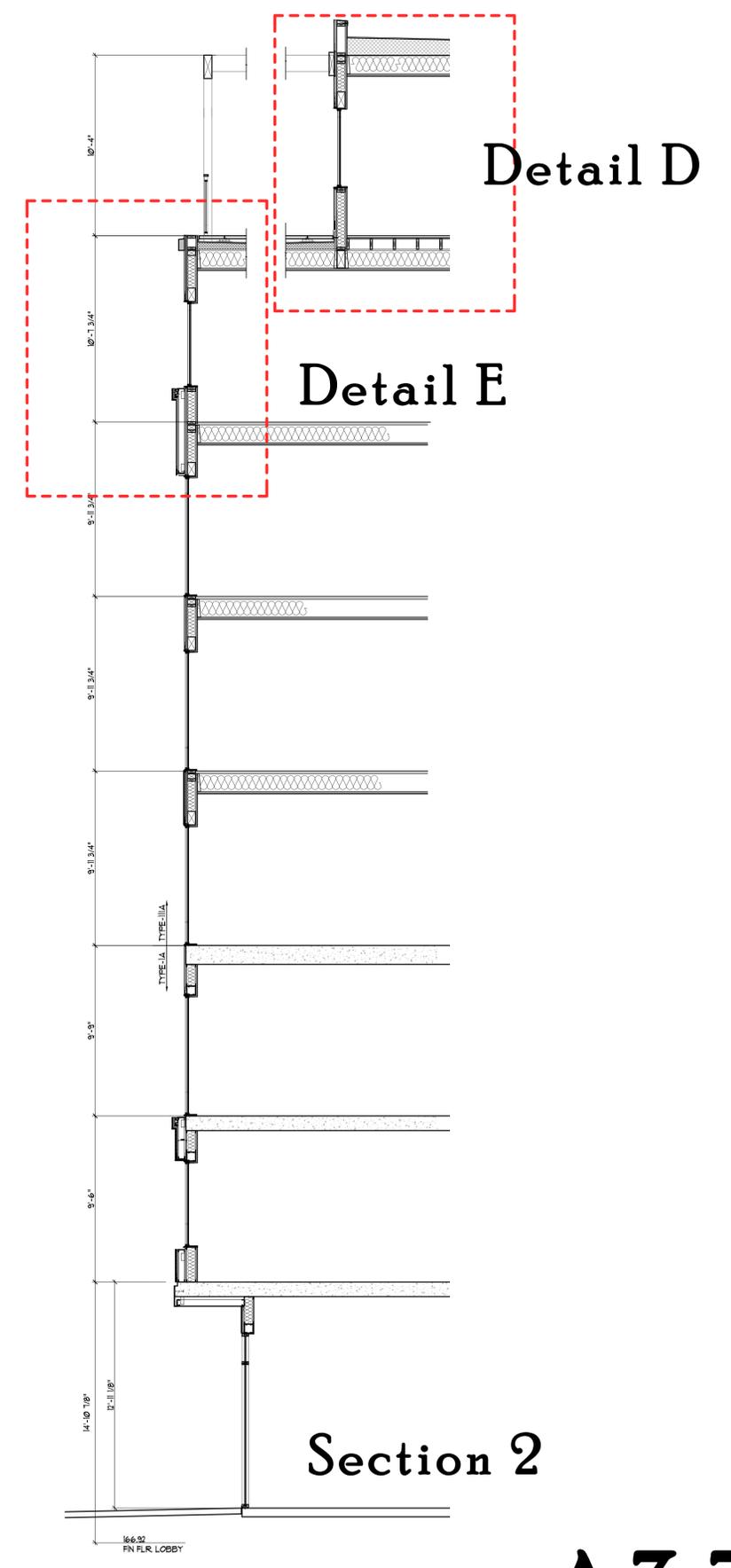




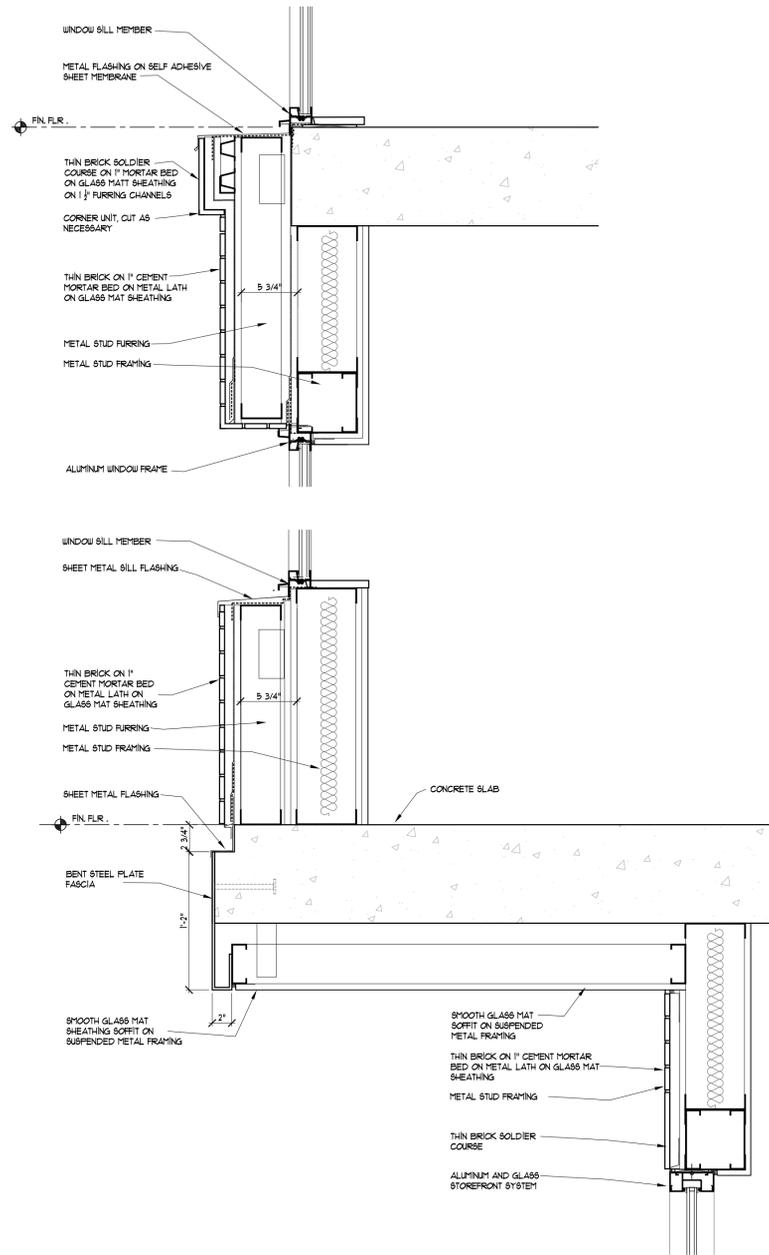
Detail E



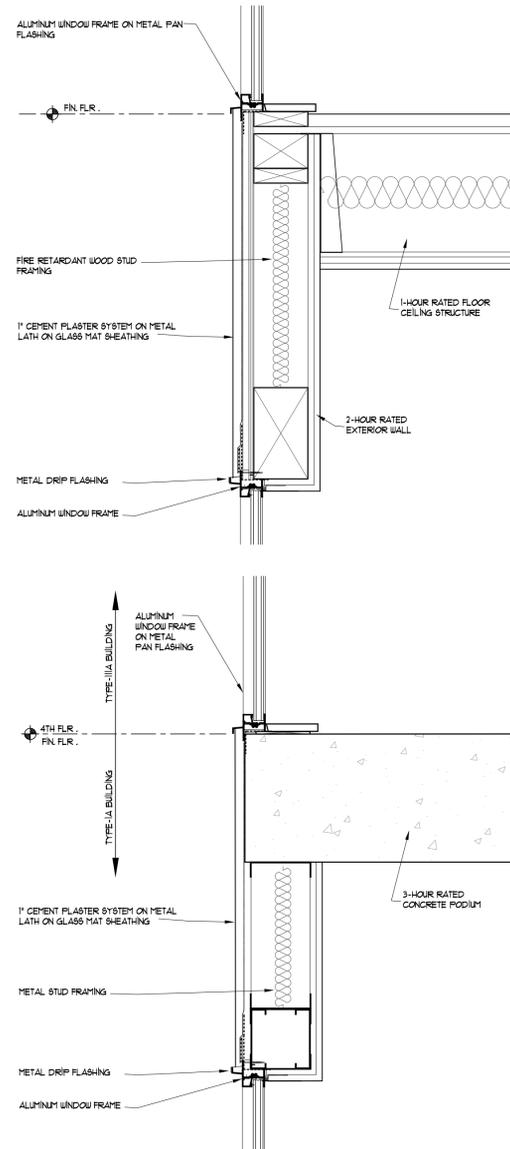
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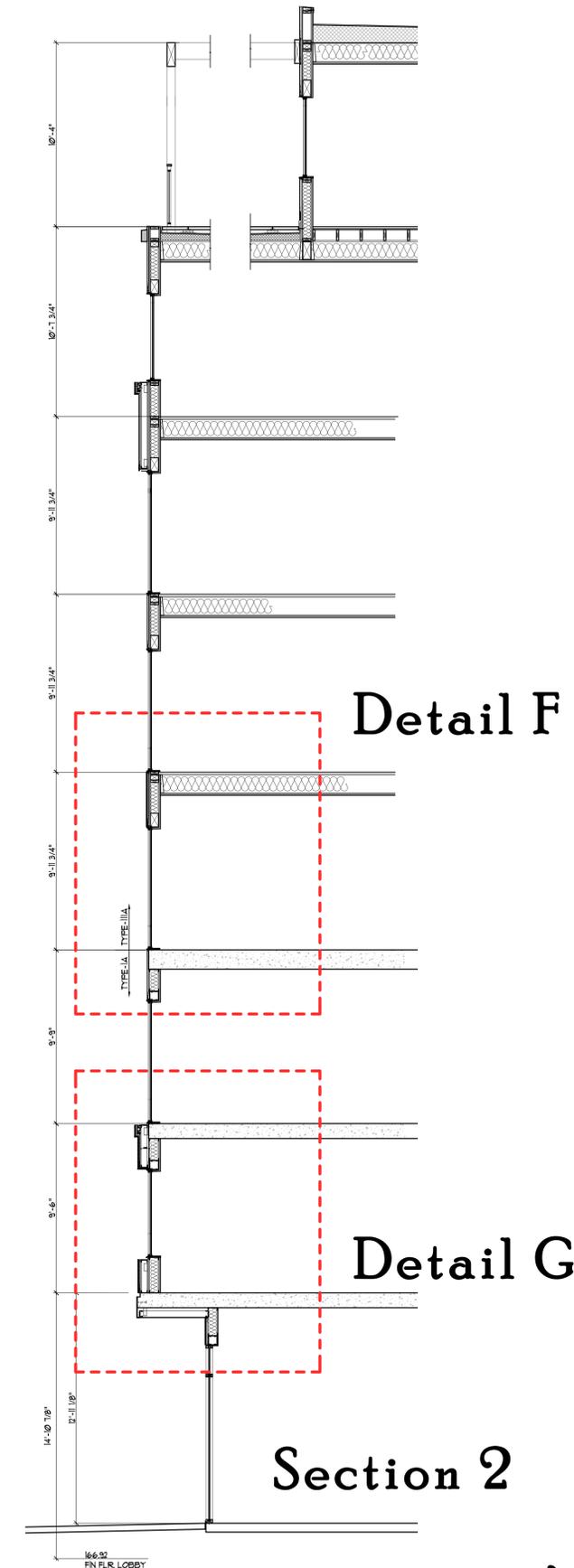
Section 2



Detail G



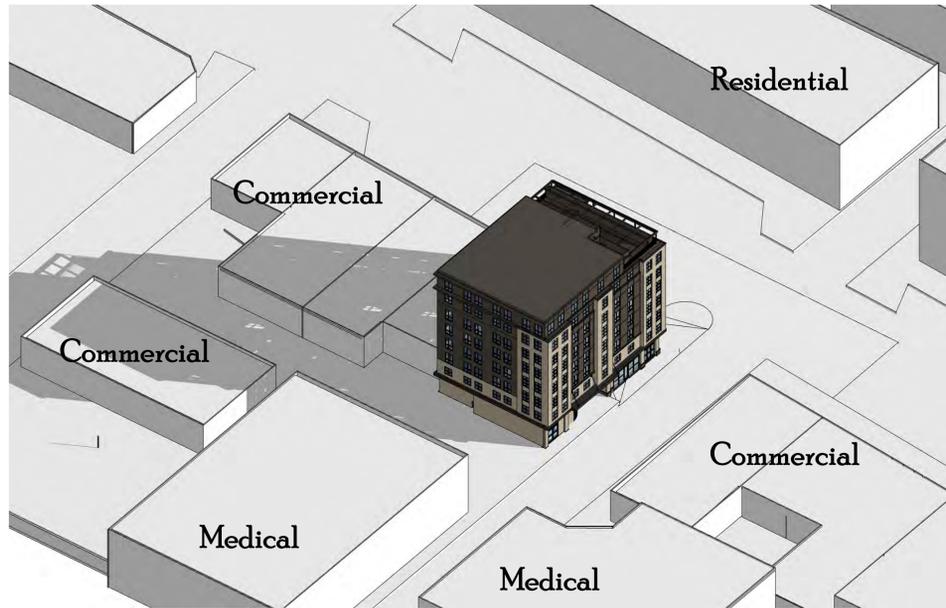
Detail F



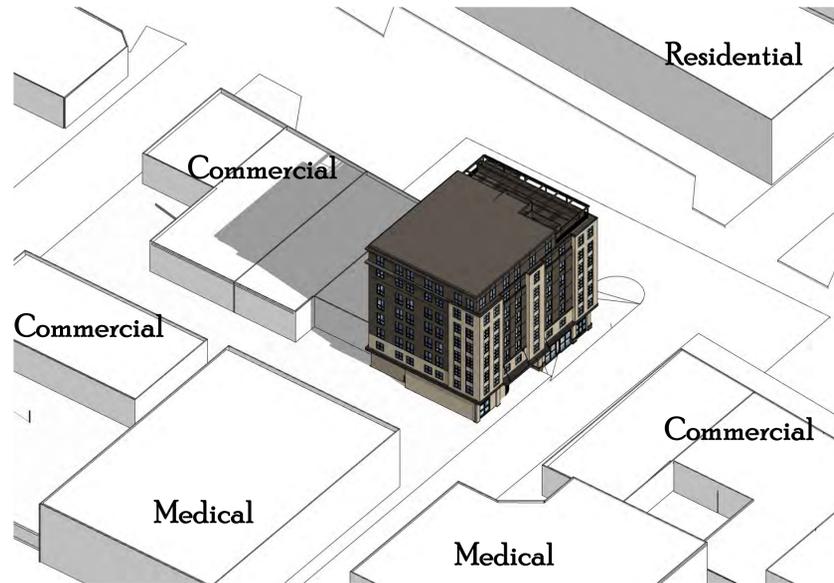
Detail F

Detail G

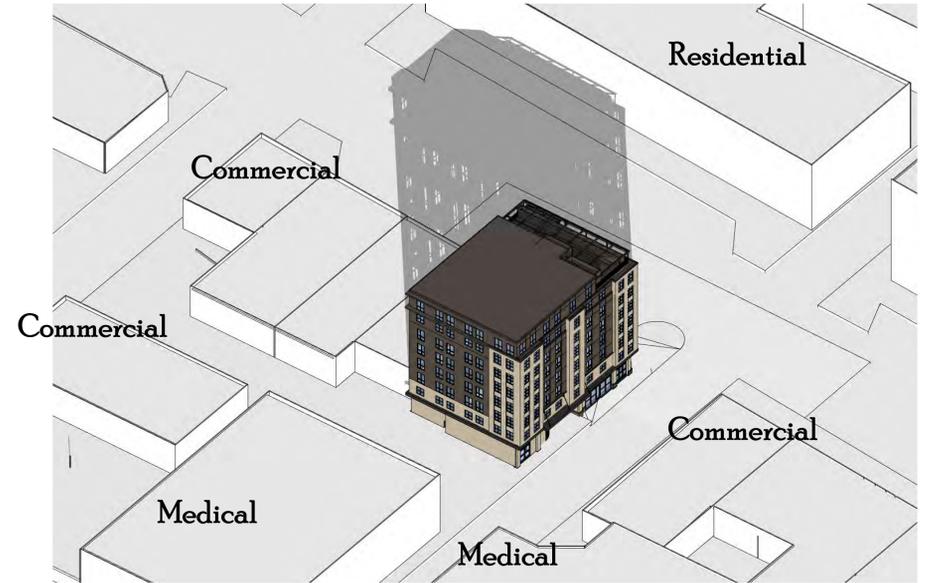
Section 2



December 21 - 9:21am  
Two Hours after Sunrise

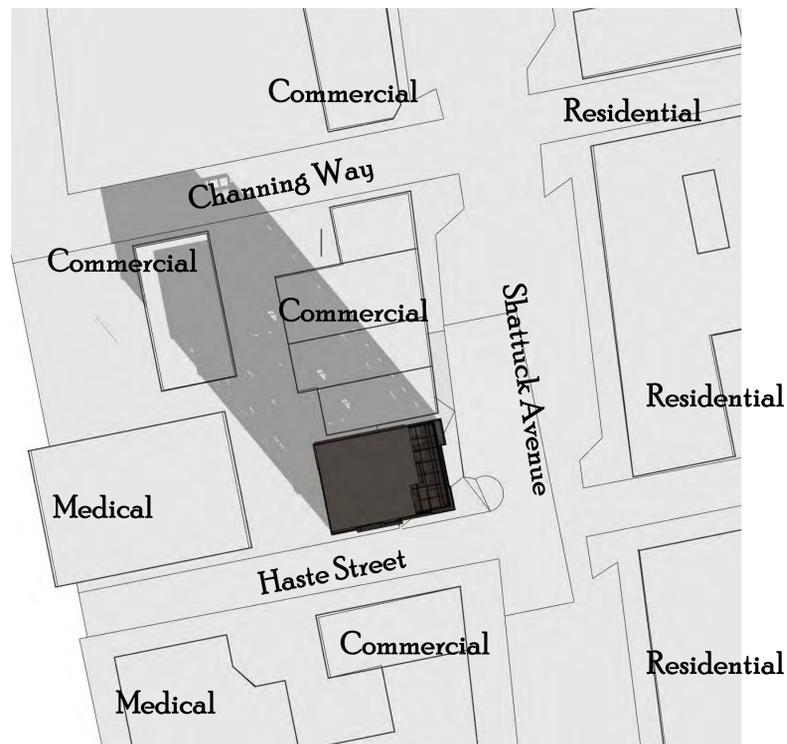


December 21 - 12pm

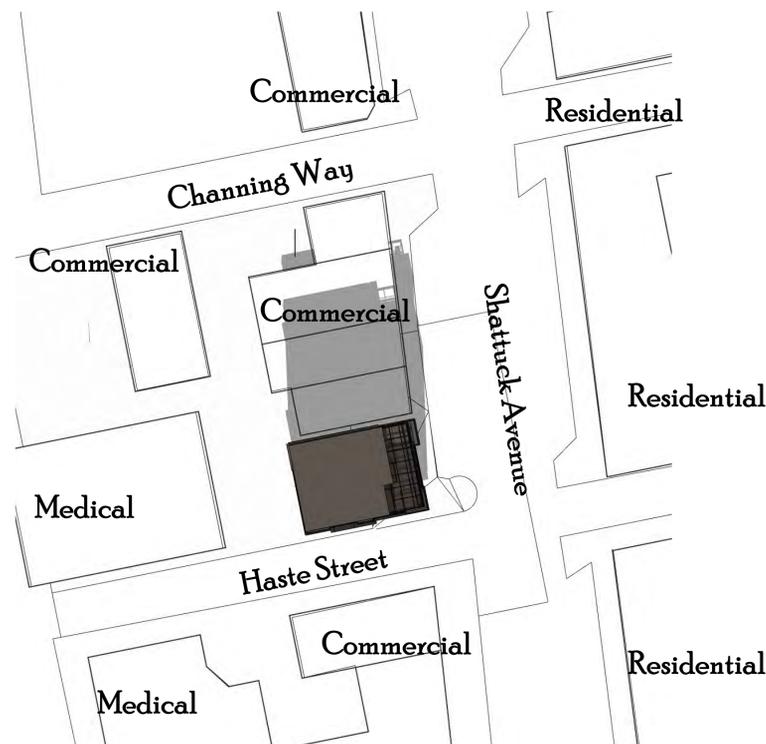


December 21 - 2:54pm  
Two Hours before Sunset

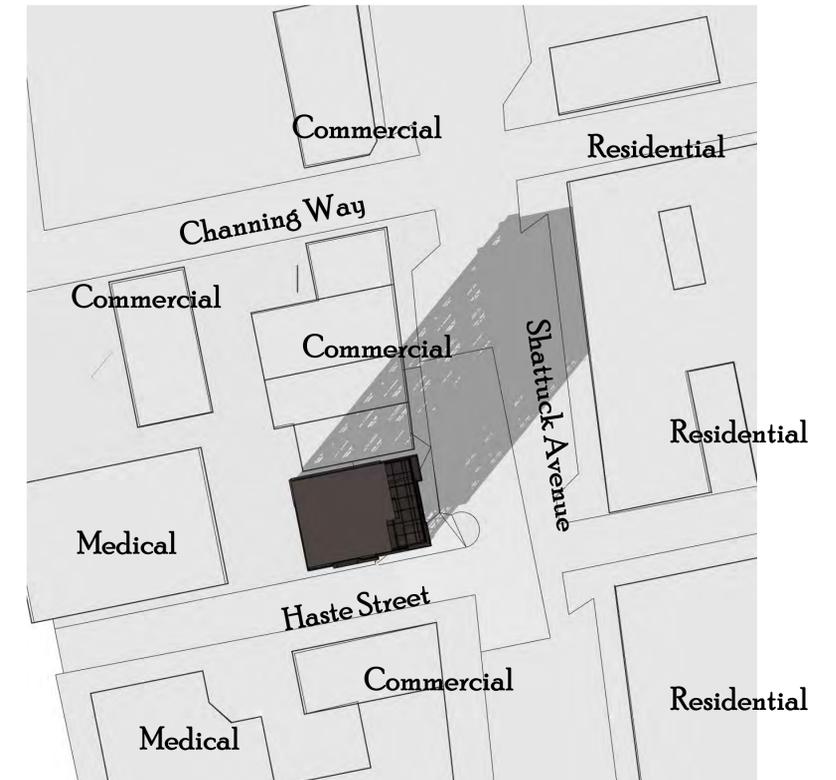
## Aerial Views



December 21 - 9:21am  
Two Hours after Sunrise



December 21 - 12pm



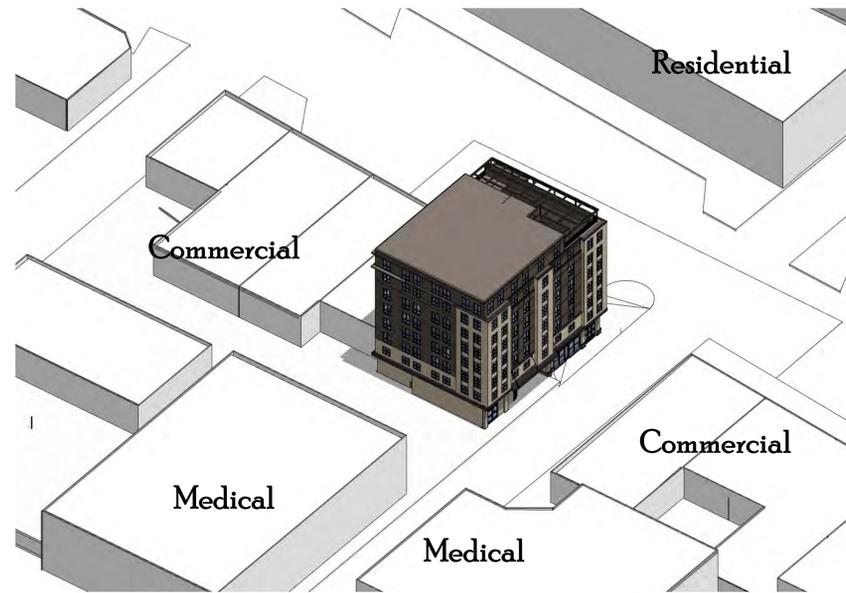
December 21 - 2:54pm  
Two Hours before Sunset

## Plan Views

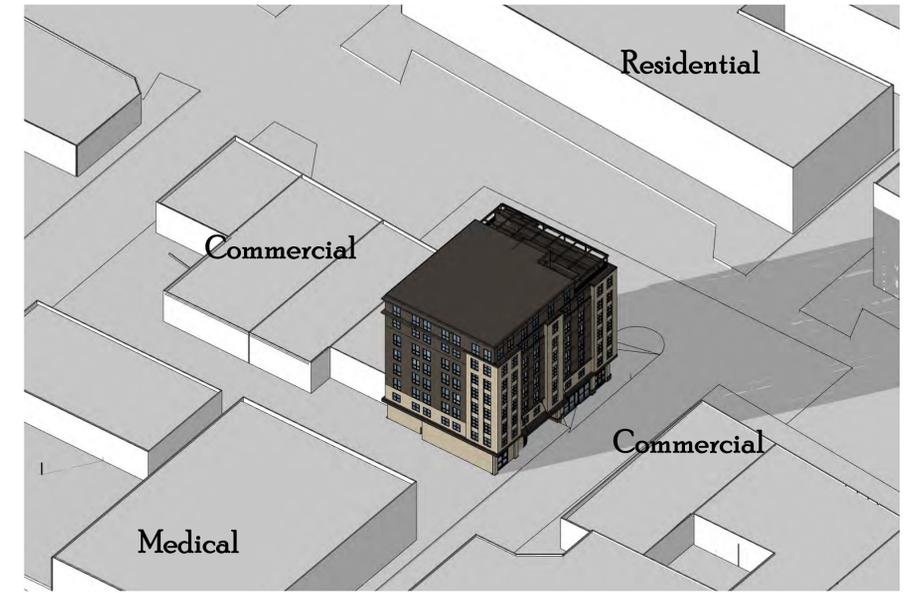
# The Lair @ Haste



June 21 - 7:48am  
Two Hours after Sunrise

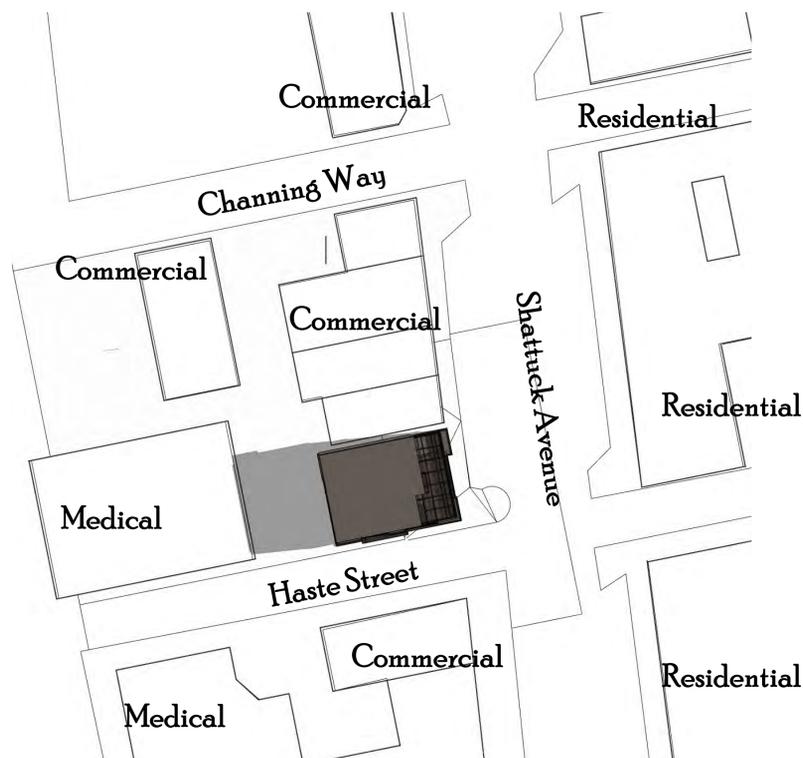


June 21 - 12pm

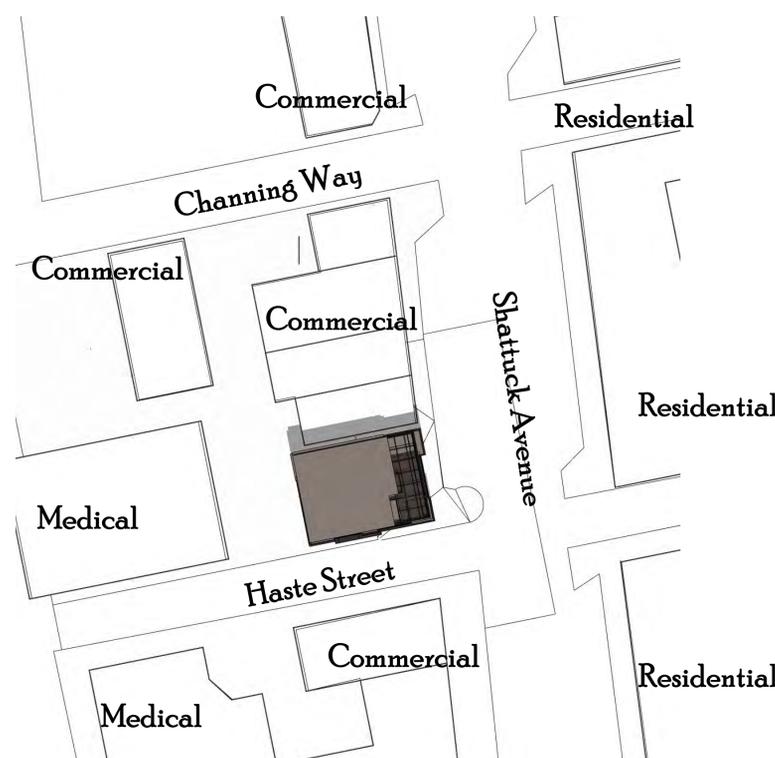


June 21 - 6:34pm  
Two Hours before Sunset

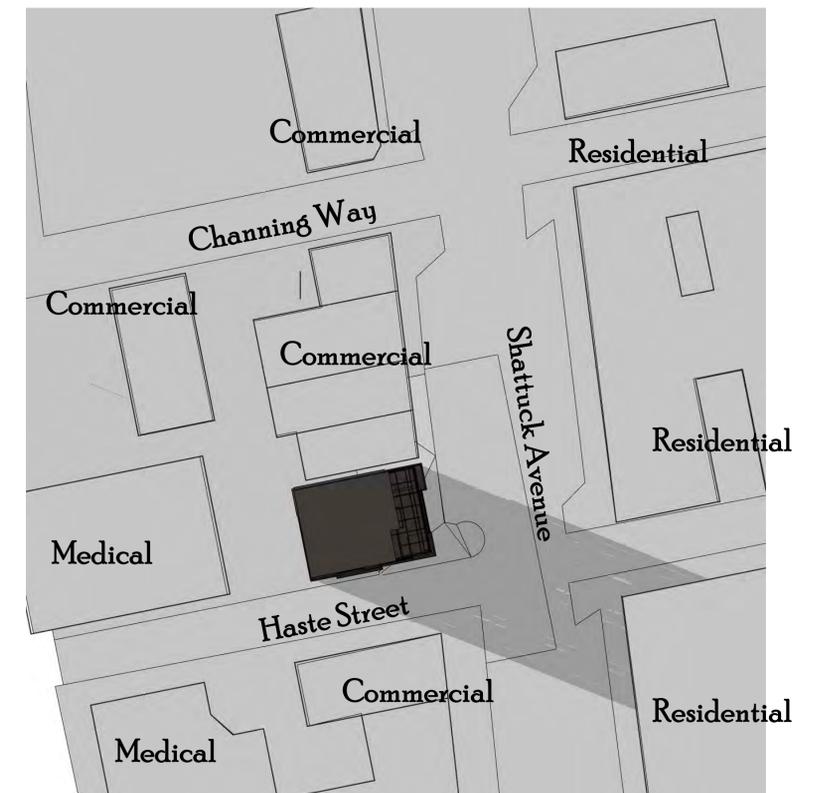
## Aerial Views



June 21 - 7:48am  
Two Hours after Sunrise



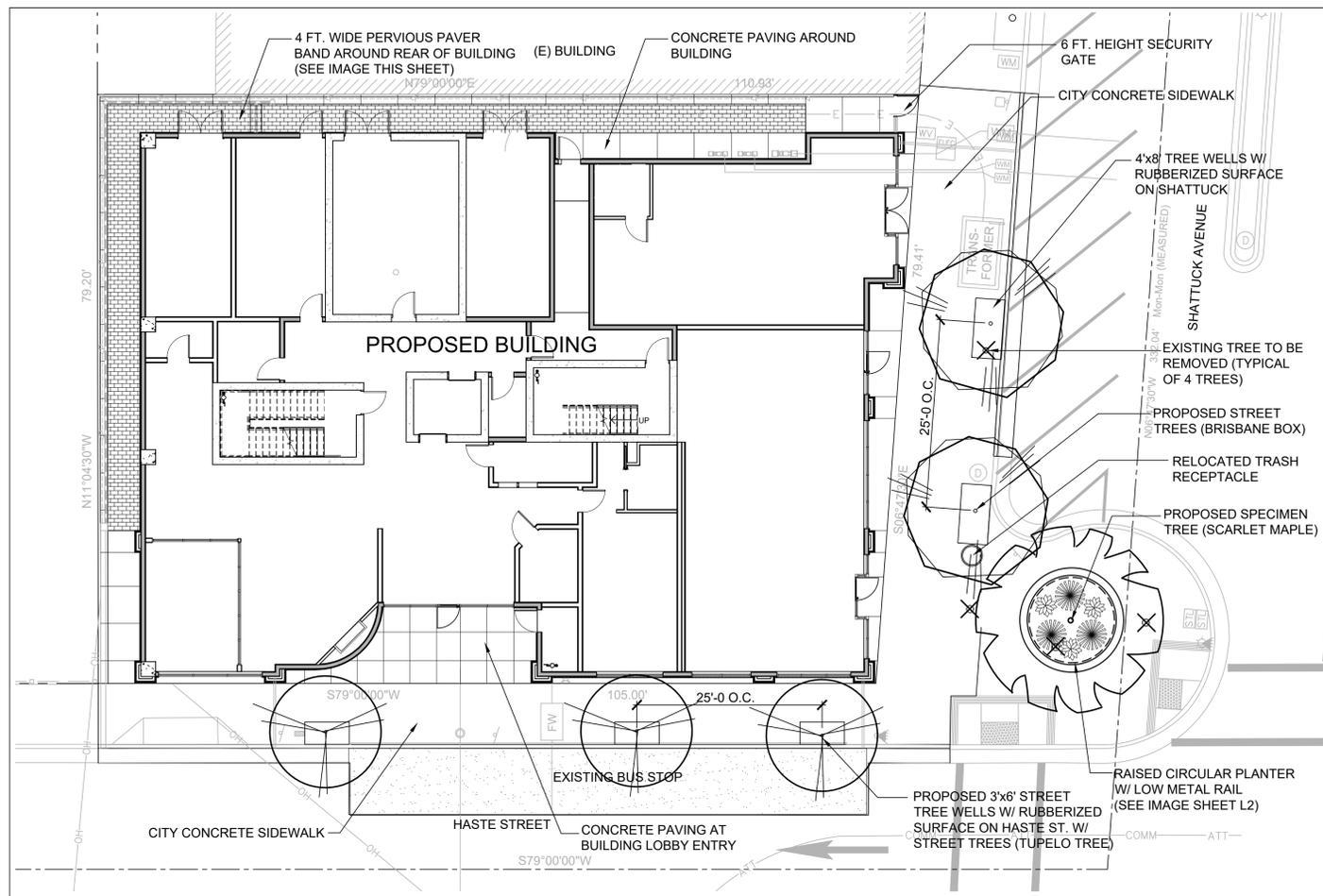
June 21 - 12pm



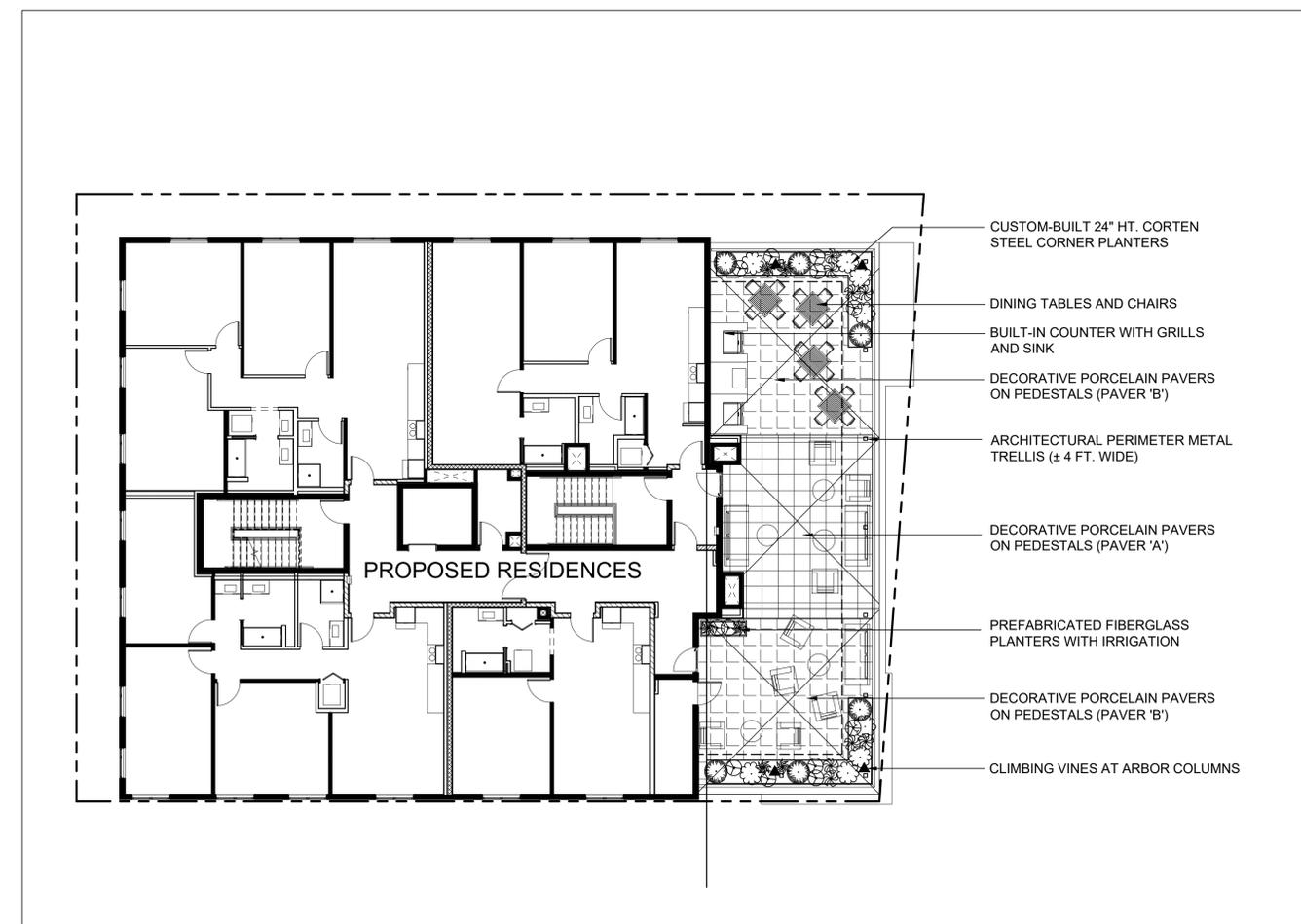
June 21 - 6:34pm  
Two Hours before Sunset

## Plan Views

# The Lair @ Haste



Ground Level



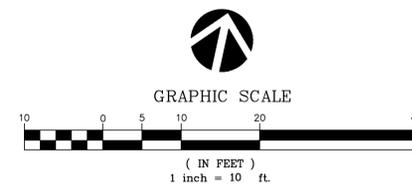
Roof Plan

**WATER EFFICIENT IRRIGATED LANDSCAPE WORKSHEET**

REFERENCE EVAPOTRANSPIRATION (ETo): 41.8

HYDROZONE / PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF / IE)	LANDSCAPE AREA (sq. ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
<b>REGULAR LANDSCAPE AREAS:</b>							
LOW WATER USE	0.2	BUBBLER	0.81	0.2469135	248	61.234548	1587.0
MEDIUM WATER USE	0.5	BUBBLER	0.81	0.6172839	45	27.777755	719.9
<b>TOTALS:</b>					293	89	
<b>SPECIAL LANDSCAPE AREAS:</b>							
REC. AREA					0	0	0
WATER FEATURE 1					0	0	0
WATER FEATURE 2					0	0	0
<b>TOTALS:</b>					0	0	0
<b>ETWU TOTAL:</b>							2,307
<b>MAXIMUM ALLOWED WATER ALLOWANCE (MAWA):</b>							3,417
<b>ETAF CALCULATIONS:</b>							
<b>REGULAR LANDSCAPE AREAS:</b>							
TOTAL ETAF x AREA	89						
TOTAL LANDSCAPE AREA	293						
AVERAGE ETAF	0.30						
<b>ALL LANDSCAPE AREAS:</b>							
TOTAL ETAF x AREA	89						
TOTAL LANDSCAPE AREA	293						
SITWIDE ETAF	0.30						

NOTE: AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS MUST BE 0.55 OR BELOW FOR RESIDENTIAL AREAS, AND 0.45 OR BELOW FOR NON-RESIDENTIAL AREAS.



**GENERAL NOTES**

- ALL PLANTING AREAS, EXCEPT STORMWATER PLANTERS, SHALL RECEIVE A 3" MINIMUM DEEP LAYER OF FIR BARK DRESSING.
- ALL PLANTING SHALL BE WATERED BY FULLY AUTOMATIC, WATER-CONSERVING IRRIGATION SYSTEM WITH WEATHER-BASED CONTROLLER OPERATION.

**PROJECT PRIVATE USABLE LANDSCAPE OPEN SPACE**

	TOTAL AREA	LANDSCAPE AREA
• ROOF LEVEL	1,444 SF	450 SF (INCLUDES ARBOR)

CITY REQUIREMENT: 40% OF COMMON AREA IS TO BE LANDSCAPE. LANDSCAPE AREA IS 31% OF USABLE COMMON AREA OPEN SPACE.

**RECOMMENDED PLANT LIST:**

BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	WUCOLS	NATIVE WATER USE
<b>TREES:</b>					
ACER RUBURM	SCARLET MAPLE	1	36" BOX	MED	NO
LOPHOSTEMON CONFERTUS	BRISBANE BOX	2	24" BOX	MED	NO
NYSSA SYLVATICA 'WILDFIRE'	TUPELO TREE	3	24" BOX	MED	NO
<b>SHRUBS/PERENNIALS:</b>					
AGAVE ATTENUATA	FOXTAIL AGAVE	3	5 GA	LOW	NO
CORDYLIN 'ELECTRIC PINK'	CORDYLIN	3	5 GA	LOW	NO
DICENTRA SPECTABILIS	BLEEDING HEART	6	5 GA	MED	YES
GALVESIA SPECIOSA	ISLAND SNAPDRAGON	12	5 GA	MED	YES
IRIS DOUGLASII	PACIFIC COAST IRIS	4	5 GA	LOW	YES
PENSTEMON SPECTABILIS	BEARD TONGUE	8	5 GA	LOW	YES
SALVIA CLEVELANDII 'COMPACTA'	CLEVELAND SAGE	8	5 GA	LOW	YES
<b>VINE:</b>					
GELSEMIUM SEMPERVIRENS	CAROLINA JESSAMINE	4	5 GA	LOW	NO



ACER RUBRUM  
 (SCARLET MAPLE)



LOPHOSTEMON CONFERTUS  
 (BRISBANE BOX)



NYSSA SYLVATICA  
 (TUPELO)



AGAVE ATTENUATA  
 (FOXTAIL AGAVE)



CORDYLIN 'ELECTRIC PINK'  
 (CORDYLIN)



DICENTRA SPECTABILIS  
 (BLEEDING HEART)



GALVIA SPECIOSA  
 (ISLAND SNAPDRAGON)



IRIS DOUGLASIANA  
 (PACIFIC COAST IRIS)



PENSTEMON SPECTABILIS  
 (BEARD TONGUE)



SALVIA CLEVELANDII 'COMPACTA'  
 (CLEVELAND SAGE)



GELSEMIUM SEMPERVIRENS  
 (CAROLINA JESSAMINE)



FIBERGLASS PRE-FABRICATED PLANTERS:  
 TOURNESOL SITEWORKS 'WILSHIRE' SERIES  
 PLANTERS WITH A METAL BRONZE FINISH



DECORATIVE PAVER 'A' AT ROOF:  
 LANDMARK OUTDOOR 'FRONTIER 20'  
 24" SQ. PAVER W/ PEPPER WOOD GRAIN  
 APPEARANCE



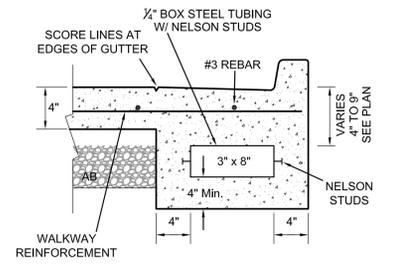
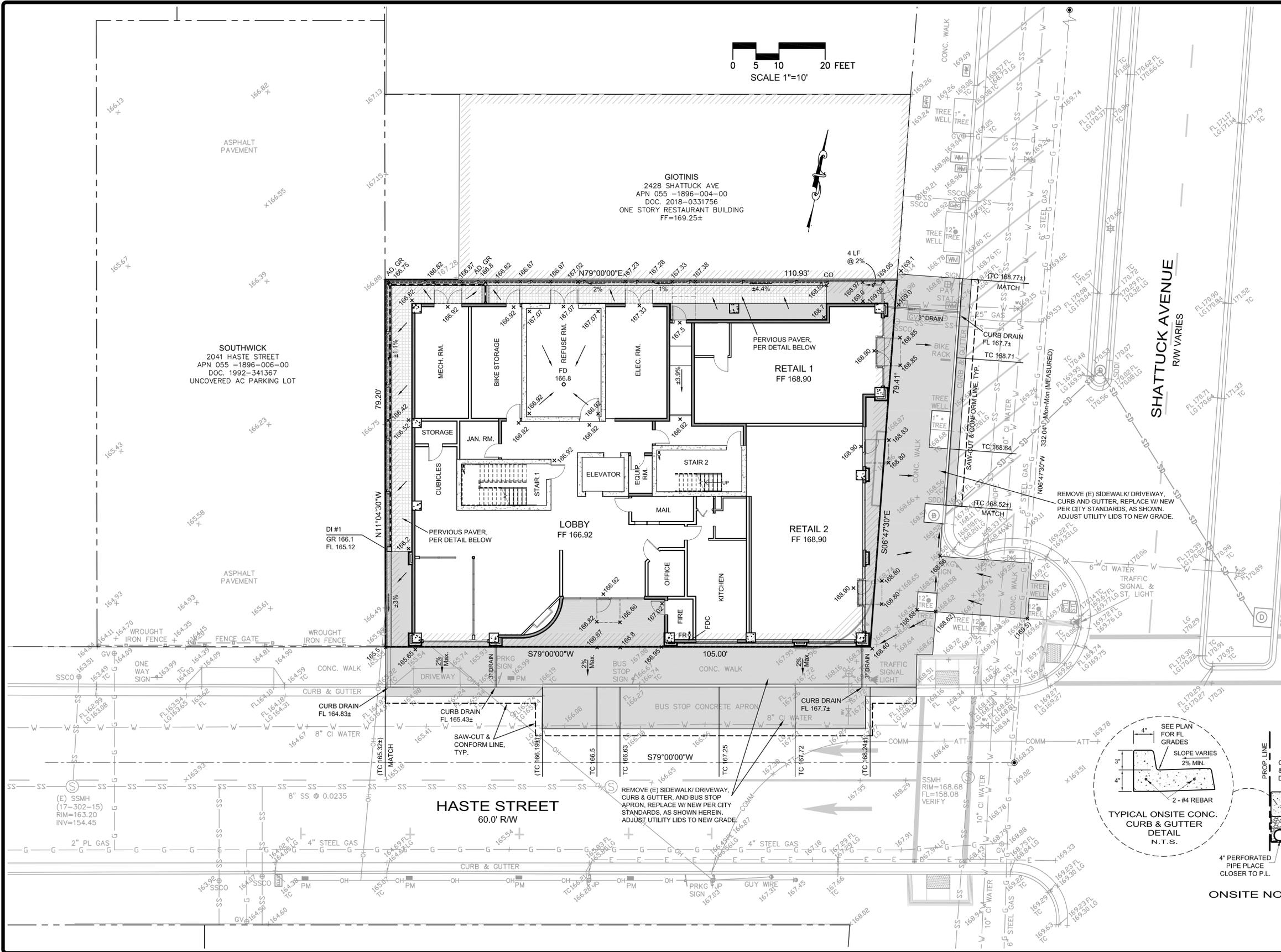
DECORATIVE PAVER 'B' AT ROOF:  
 LANDMARK OUTDOOR 'FRONTIER 20'  
 24" SQ. PAVER W/ NATURAL IVORY  
 STONE APPEARANCE



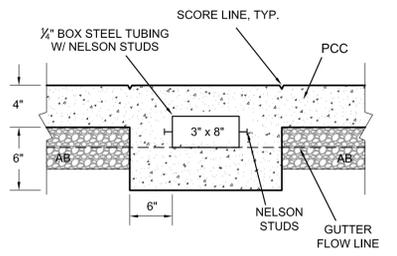
PERMEABLE PAVER AT GROUND LEVEL:  
 BELGARD 'AQUALINE' 80mm (4-1/2 x 9 x 3-1/8)  
 MODULE, VICTORIAN COLOR BLEND (SHOWN)



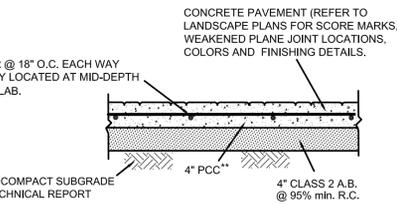
EXAMPLE IMAGE: 2450 SHATTUCK AVENUE  
 RAISED CIRCULAR PLANTER WITH LOW METAL RAILING



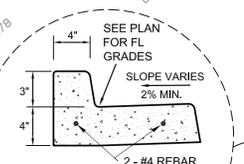
**ONSITE BOX DRAIN UNDER SIDE YARD WALKWAY**  
 N. T. S.



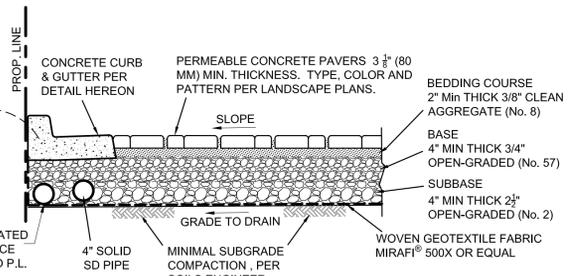
**PUBLIC SIDEWALK CROSS DRAIN**  
 N. T. S.



**TYPICAL ONSITE NON-VEHICULAR/WALKWAY CONCRETE PAVEMENT SECTION**  
 N. T. S.



**TYPICAL ONSITE CONC. CURB & GUTTER DETAIL**  
 N. T. S.



**ONSITE NON-VEHICULAR PERVIOUS PAVERS DETAIL**  
 N. T. S.

NO.	DATE	BY	REVISIONS

SCALE 1"=10'

DATE 03/01/2022

ENGINEER H.N.

JOB NO. 21-127

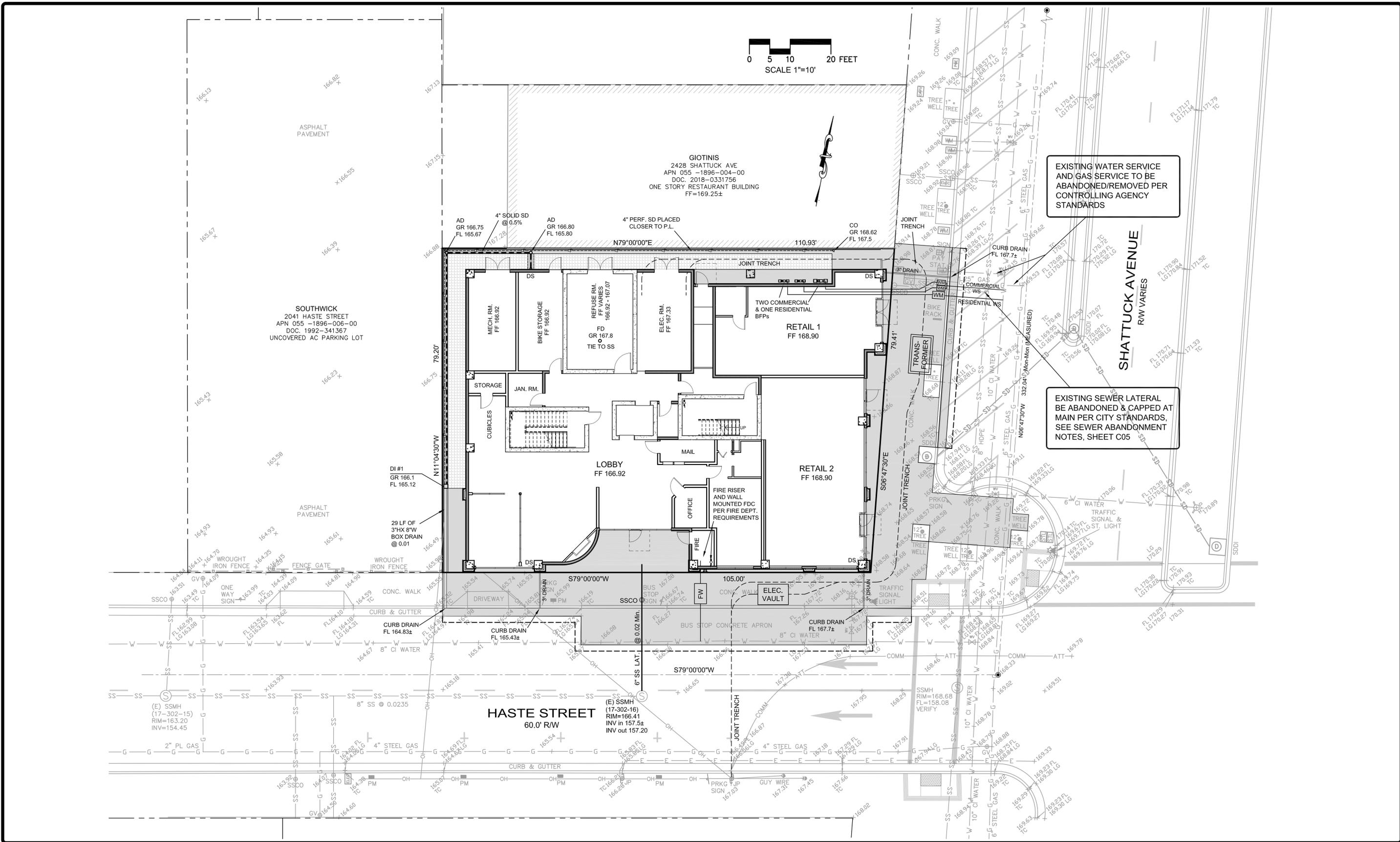
REGISTERED PROFESSIONAL ENGINEER  
 CIVIL  
 STATE OF CALIFORNIA  
 No. 29528  
 IZZAT S. NASHASHIBI  
 R.C.E. 29528

PRELIMINARY GRADING AND DRAINAGE PLAN  
 FOR  
**THE LAIR**  
 2440 SHATTUCK AVENUE  
 APN 055 -1896-005-00

BERKELEY CALIFORNIA

**HUMANN COMPANY INC.**  
 ENGINEERING - SURVEYING  
 1021 BROWN AVE. LAFAYETTE, CA 94549  
 PH (925)283-5000 FAX (925)283-3578

SHEET C01  
 OF 3 SHEETS  
 JOB NO. 21-127



EXISTING WATER SERVICE AND GAS SERVICE TO BE ABANDONED/REMOVED PER CONTROLLING AGENCY STANDARDS

EXISTING SEWER LATERAL BE ABANDONED & CAPPED AT MAIN PER CITY STANDARDS, SEE SEWER ABANDONMENT NOTES, SHEET C05

NO.	DATE	BY	REVISIONS

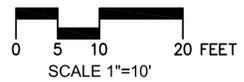
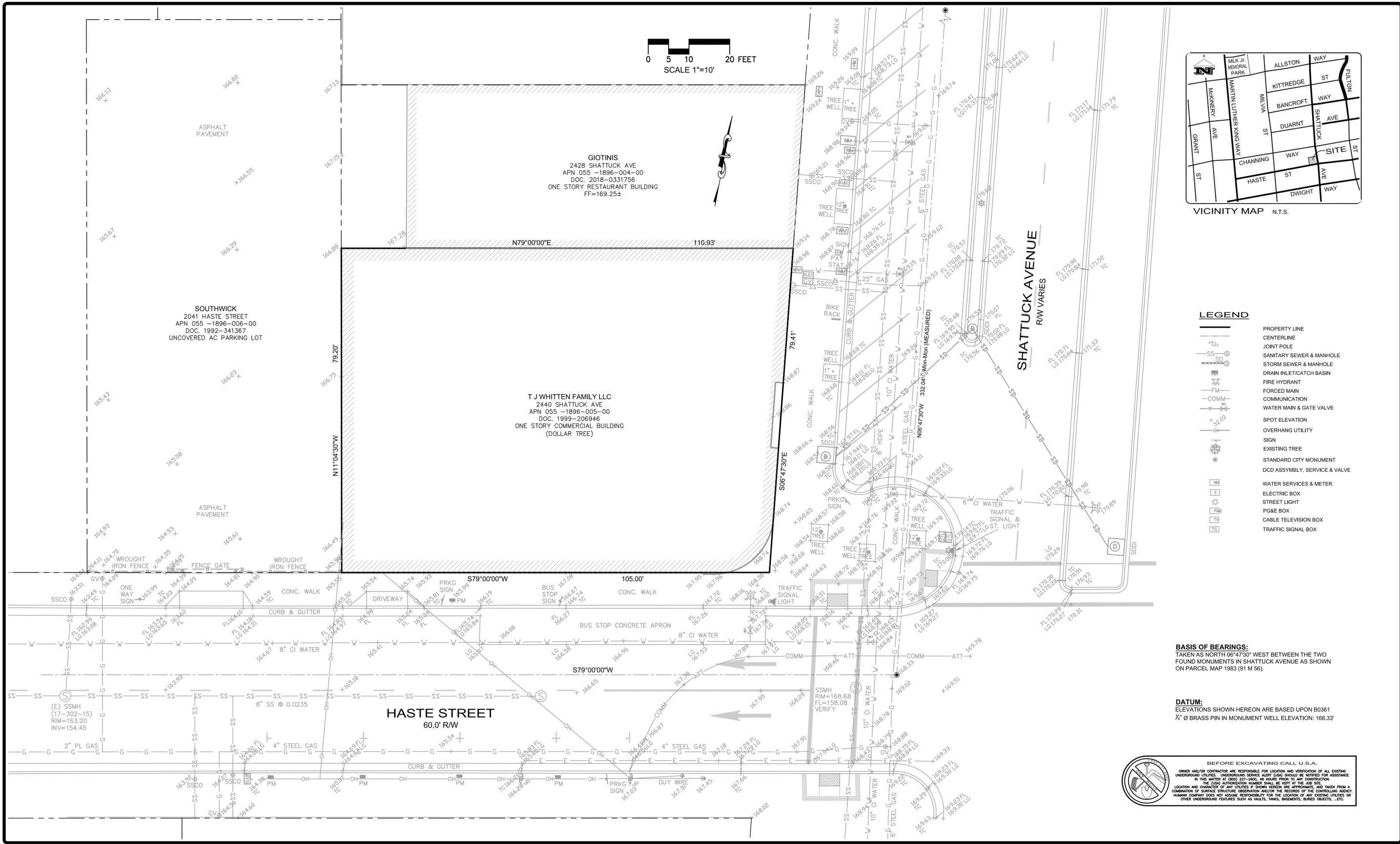
SCALE 1"=10'  
 DATE 03/01/2022  
 ENGINEER H.N.  
 JOB NO. 21-127

REGISTERED PROFESSIONAL ENGINEER  
 CIVIL  
 STATE OF CALIFORNIA  
 No. 29528  
 IZZAT J. NASHASHIBI  
 R.C.E. 29528

PRELIMINARY UTILITY PLAN  
 FOR  
**THE LAIR**  
 2440 SHATTUCK AVENUE  
 APN 055 -1896-005-00  
 BERKELEY CALIFORNIA

**HUMANN COMPANY INC.**  
 ENGINEERING - SURVEYING  
 1021 BROWN AVE. LAFAYETTE, CA 94549  
 PH (925)283-5000 FAX (925)283-3578

SHEET C02  
 OF 3 SHEETS  
 JOB NO. 21-127



VICINITY MAP N.T.S.

- LEGEND**
- PROPERTY LINE
  - CENTERLINE
  - JOINT POLE
  - SS — SANITARY SEWER & MANHOLE
  - SD — STORM SEWER & MANHOLE
  - DI — DRAIN INLET/CATCH BASIN
  - FH — FIRE HYDRANT
  - FM — FORCED MAIN
  - COMM — COMMUNICATION
  - W — WATER MAIN & GATE VALVE
  - SE — SPOT ELEVATION
  - OH — OVERHANG UTILITY
  - S — SIGN
  - T — EXISTING TREE
  - M — STANDARD CITY MONUMENT
  - D — DCD ASSEMBLY, SERVICE & VALVE
  - WM — WATER SERVICES & METER
  - E — ELECTRIC BOX
  - PL — STREET LIGHT
  - PG&E — PG&E BOX
  - TV — CABLE TELEVISION BOX
  - TS — TRAFFIC SIGNAL BOX

**BASIS OF BEARINGS:**  
 TAKEN AS NORTH 06°47'30" WEST BETWEEN THE TWO FOUND MONUMENTS IN SHATTUCK AVENUE AS SHOWN ON PARCEL MAP 1983 (91 M 56).

**DATUM:**  
 ELEVATIONS SHOWN HEREON ARE BASED UPON B0361 1/4" Ø BRASS PIN IN MONUMENT WELL ELEVATION: 168.33'

BEFORE EXCAVATING CALL U.S.A.  
 OWNER AND/OR CONTRACTOR ARE RESPONSIBLE FOR LOCATION AND VERIFICATION OF ALL EXISTING UNDERGROUND UTILITIES. UNDERGROUND SERVICE ALERT (USA) SHOULD BE NOTIFIED FOR ASSISTANCE IN THIS MATTER AT (800) 227-2600, 48 HOURS PRIOR TO ANY CONSTRUCTION.  
 THE USA AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.  
 LOCATION AND CHARACTER OF ANY UTILITIES IF SHOWN HEREON ARE APPROXIMATE AND TAKEN FROM A COMBINATION OF SURFACE STRUCTURE OBSERVATION AND/OR THE RECORDS OF THE CONTROLLING AGENCY. HUMANN COMPANY DOES NOT ASSUME RESPONSIBILITY FOR THE LOCATION OF ANY EXISTING UTILITIES OR OTHER UNDERGROUND FEATURES SUCH AS WALLS, TANKS, BASEMENTS, BURIED OBJECTS, ETC.

NO.	DATE	BY	REVISIONS

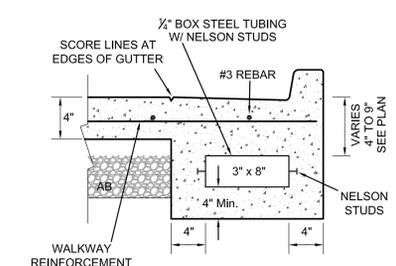
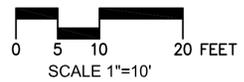
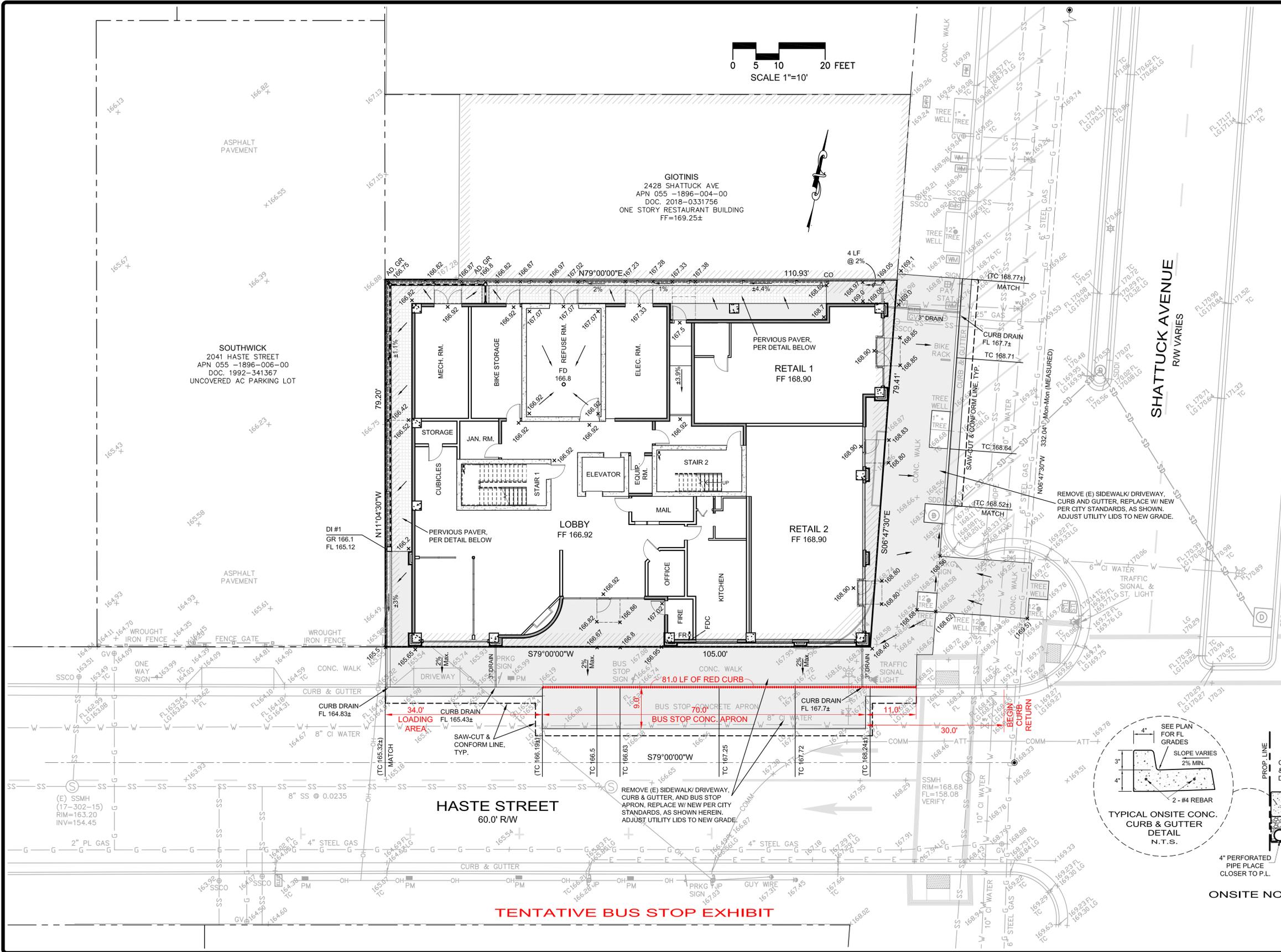
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DATE	07/20/2021
ENGINEER	EK/HN
JOB NO.	21-127

ERIC (RICK) HUMANN P.L.S. 5452

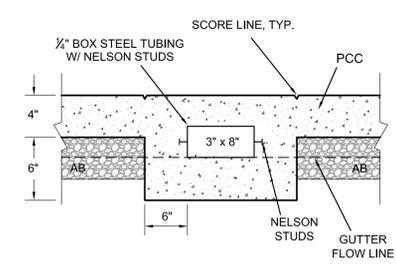
**BOUNDARY AND TOPOGRAPHIC SURVEY**  
 FOR  
**T. J. WHITTEN FAMILY LLC**  
 2440 SHATTUCK AVENUE  
 APN 055 -1896-005-00  
**BERKELEY CALIFORNIA**

**HUMANN COMPANY INC.**  
 ENGINEERING - SURVEYING  
 1021 BROWN AVE. LAFAYETTE, CA 94549  
 PH (925)283-5000 FAX (925)283-3578

SHEET	C03
OF 3 SHEETS	
JOB NO.	21-127



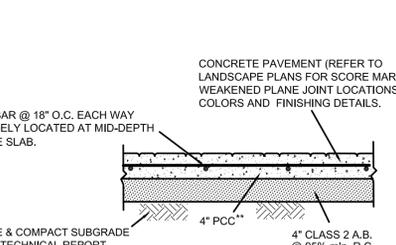
**ONSITE BOX DRAIN UNDER SIDE YARD WALKWAY**  
 N. T. S.



**PUBLIC SIDEWALK CROSS DRAIN**  
 N. T. S.

REFER TO CITY STANDARD DETAIL, PLAN 8154 FOR MORE INFORMATION

**TYPICAL ONSITE NON-VEHICULAR WALKWAY CONCRETE PAVEMENT SECTION**  
 N. T. S.



**TYPICAL ONSITE NON-VEHICULAR WALKWAY CONCRETE PAVEMENT SECTION**  
 N. T. S.

PREPARE & COMPACT SUBGRADE PER GEOTECHNICAL REPORT

CLASS "A" PER SEC. 90 OF CALTRANS STND. SPECIFICATIONS FOR MINOR CONCRETE

5 SAC/ CY PCC (Min. 3,000 PSI @ 28 DAYS)

CONCRETE PAVEMENT (REFER TO LANDSCAPE PLANS FOR SCORE MARKS, WEAKENED PLANE JOINT LOCATIONS, COLORS AND FINISHING DETAILS.)

#3 REBAR @ 18" O.C. EACH WAY SECURELY LOCATED AT MID-DEPTH OF THE SLAB.

4" PCC

4" CLASS 2 A.B. @ 95% MIN. R.C.

4" PERFORATED PIPE PLACE CLOSER TO P.L.

4" SOLID SD PIPE

MINIMAL SUBGRADE COMPACTION PER SOILS ENGINEER

WOVEN GEOTEXTILE FABRIC MIRAFIX® 500X OR EQUAL

GRADE TO DRAIN

PERMEABLE CONCRETE PAVERS 3 1/2" (80 MM) MIN. THICKNESS. TYPE, COLOR AND PATTERN PER LANDSCAPE PLANS.

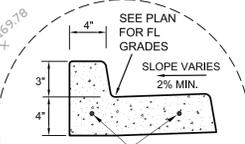
CONCRETE CURB & GUTTER PER DETAIL HEREON

SLOPE

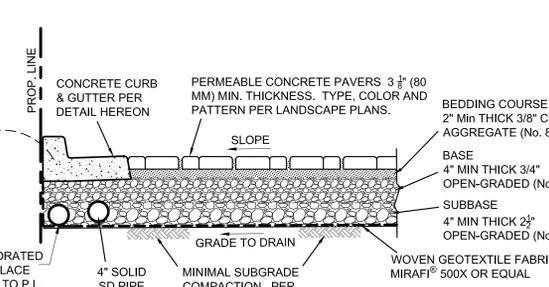
BEDDING COURSE 2" MIN THICK 3/8" CLEAN AGGREGATE (No. 8)

BASE 4" MIN THICK 3/4" OPEN-GRADED (No. 57)

SUBBASE 4" MIN THICK 2 1/2" OPEN-GRADED (No. 2)



**TYPICAL ONSITE CONC. CURB & GUTTER DETAIL**  
 N. T. S.



**ONSITE NON-VEHICULAR PERVIOUS PAVERS DETAIL**  
 N. T. S.

NO.	DATE	BY	REVISIONS

SCALE 1"=10'

DATE 03/01/2022

ENGINEER H.N.

JOB NO. 21-127

REGISTERED PROFESSIONAL ENGINEER  
 CIVIL  
 STATE OF CALIFORNIA  
 No. 29528  
 IZZAT S. NASHASHIBI  
 R.C.E. 29528

*Mohd. Washkiel*

**TENTATIVE BUS STOP EXHIBIT**  
 FOR  
**THE LAIR**  
 2440 SHATTUCK AVENUE  
 APN 055 -1896-005-00

BERKELEY CALIFORNIA

**HUMANN COMPANY INC.**  
 ENGINEERING - SURVEYING  
 1021 BROWN AVE. LAFAYETTE, CA 94549  
 PH (925)283-5000 FAX (925)283-3578

SHEET **EXH.1**  
 OF 1 SHEETS  
 JOB NO. 21-127

# Base Project Summary

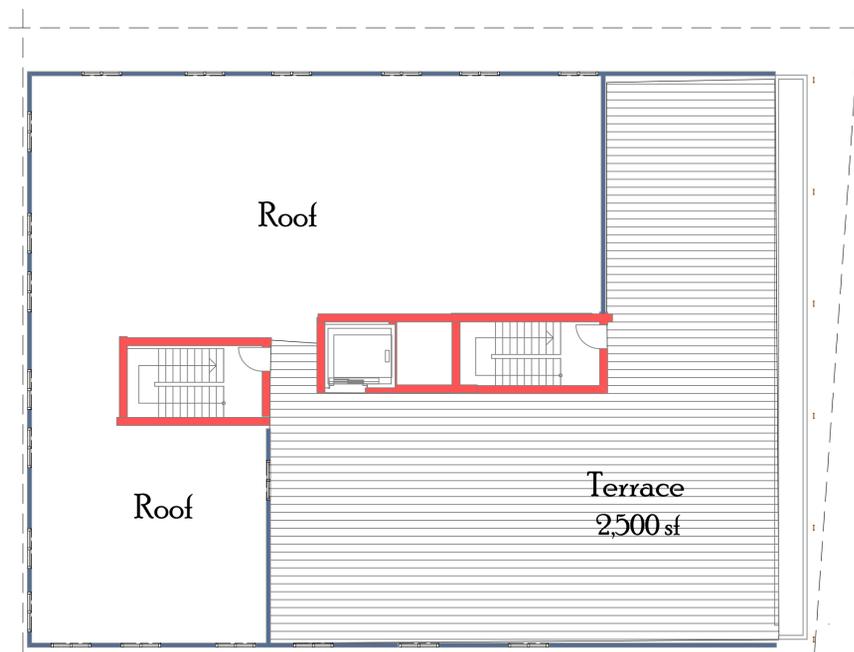
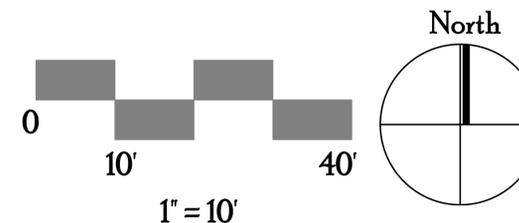
<b>Ground Floor</b> Gross Building Area 6,916 sf	<b>Fifth Floor</b> Gross Area= 7,634 sf
<b>Second Floor</b> Gross Area= 7,634 sf	<b>Sixth Floor</b> Gross Area= 7,634 sf
<b>Third Floor</b> Gross Area= 7,634 sf	<b>Total Gross Area = 45,085 sf</b>
<b>Fourth Floor</b> Gross Area= 7,634 sf	

**Open Space**  
 Open Space @80 sf/unit =2,400sf Required  
 Open Space Provided = 2,500 sf

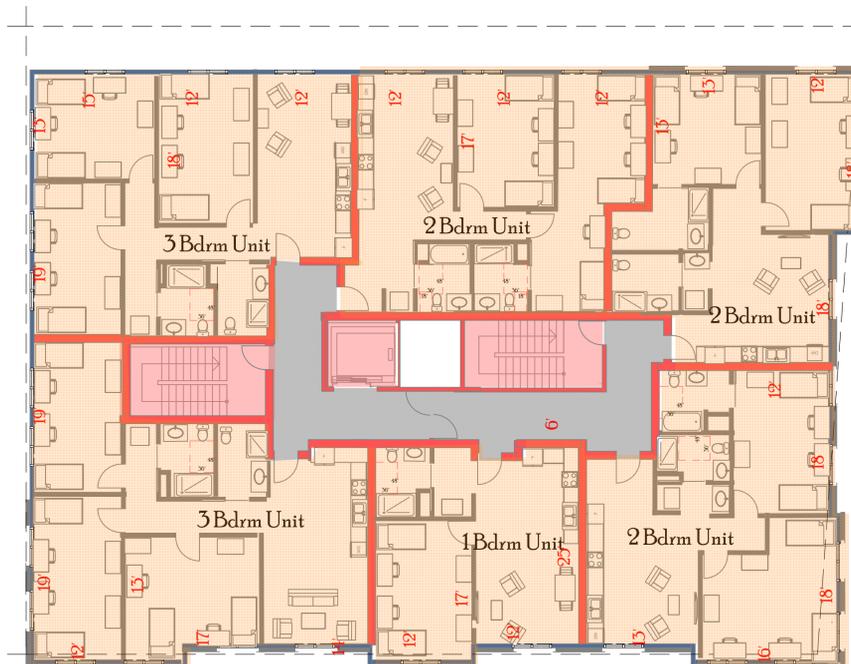
**Parking**  
 Retail 2700/667 = 5 cars Required  
 Total cars provided = 5 cars in Basement

**Bike Parking**  
 1 Bike/3 Bedrooms = 10 Bikes Required  
 Total Bikes Provided =16 Bikes

**Residential Breakdown**  
 (5 levels)  
 5 One Bdrm  
 15 Two Bdrm  
 10 Three Bdrm  
 Total = 30 units (65 Bedrooms)



## Roof Level



## 2nd Level (3rd-6th Level Similar) 6 Units

- Residential Area = 6,647 sf (Included in Base Area)
- Corridor Area = 573 sf (Included in Base Area)
- Stairs/Elevators = 414 sf (Not included in Base Area)

Gross Area 7,634sf  
 Base Area=7,220 sf

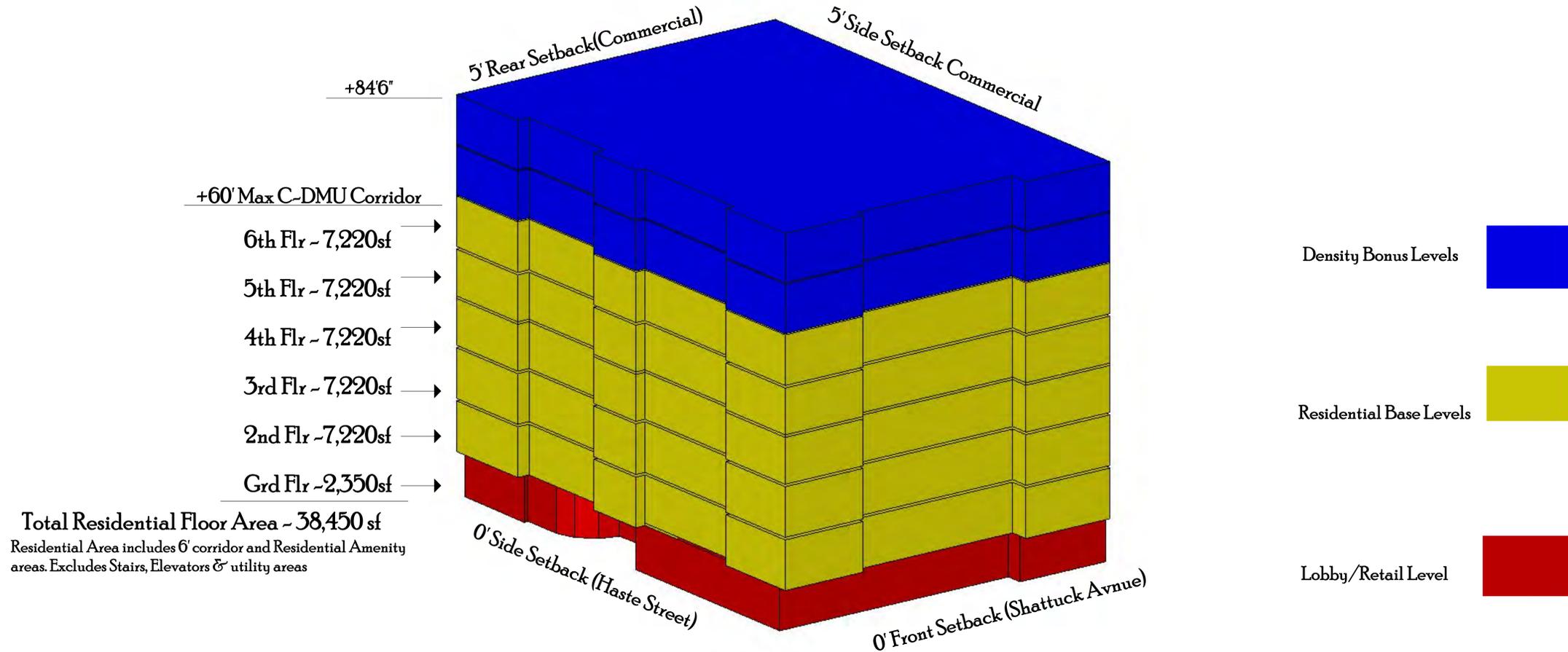


## Ground Level

- Retail Area =2,700 sf (Not included in Base Area)
- Utility Area =834 sf (Not included in Base Area)
- Lobby=1,785 sf (Included in Base Area)
- Stairs/Elevators = 414 sf (Included in Base Area)
- Corridor Area =151 sf (Included in Base Area)

Gross Area = 6,916 sf  
 Base Area=2,350 sf





## Base Plan Model

Base Project	Base # Units	Base # Units	% VLI units	# VLI Units	#VLI Units	Bonus %	# DB Units	# DB Units	Total Units
sq. ft. - see calculation below	base project/avg. unit size	Base Units/Max. Residential Density (rounded up)	VLI = Very Low Income <50 AMI	% VLI x Base # Units			%Bonus x Base # Units (rounded up)	%Bonus x Base # Units (rounded up)	base unit + DB Units (rounded up)
38,450	29.97	30.00	10%	3.00	3.00	32.50%	9.75	10.00	40

Base Project Square Footage (a,b)	Floor	Residential Sq. Footage Proposed (a)	Number of Units Proposed
2,350	first	2,852	0
7,220	second	7,220	6
7,220	third	7,220	6
7,220	fourth	7,220	6
7,220	fifth	7,220	6
7,220	sixth	7,220	6
	seventh	7,220	6
	eighth	5,154	4
<b>38,450</b>	<b>TOTAL</b>	<b>51,326</b>	<b>40</b>

Total Square Footage: **51,326**

Proposed Units: **40**

Average Unit Size: **1,283**

%VLI	%DB
5%	20.0%
6%	22.5%
7%	25.0%
8%	27.5%
9%	30.0%
10%	32.5%
11%	35.0%
12%	38.75%
13%	42.50%
14%	46.25%
15%	50.0%

## Base Plan Calculation

# Lair

## Density Bonus Calculation

# DB2