



D E S I G N  
R E V I E W  
C O M M I T T E E  
S T A F F R E P O R T

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**For Majority Recommendation**  
AUGUST 18, 2022

## **2403 San Pablo Avenue**

### **PRELIMINARY DESIGN REVIEW**

**Design Review #DRCP2021-0022** to demolish the existing 8,252 square-foot, one-story commercial building and construct a four-story mixed-use development consisting of a 603 square-foot retail tenant space and 39 dwelling units (condominium), totaling 53,013 square feet, with 24 automobile parking spaces and 39 bicycle parking spaces.

#### **I. Introduction**

This four-story mixed use development is comprised of two parcels in the C-W District in West Berkeley on the East side of San Pablo Avenue just South of Channing.

The demolition proposal was heard by the Landmarks Preservation Commission (LPC) on August 4, 2022 where the Commission took no action. It is scheduled to be heard at a future ZAB meeting.

It is before the Design Review Committee this month for Preliminary Design Review.

#### **II. Background**

The proposed 50 foot tall, four-story mixed use building has a gross floor area of 53,013 square feet, with 39 apartments ranging from 1-bedroom to 3-bedroom units. The project includes private patios and balconies, as well as common open space at the shared ground floor courtyard and open roof deck on the fourth floor. The project includes the demolition of the old Omega Salvage Store and miscellaneous accessory structures.

The project provides a total of 10,199 square feet of open space with a ground floor courtyard adjacent to an indoor, outdoor kitchen and communal space for residents, as well as a covered terrace on the fourth floor, and private patios for 12 of the residential units. The project allows for 24 vehicular parking spaces, 2 of which are intended to serve the commercial space, and 39 bicycle parking spaces.

### III. Project Setting

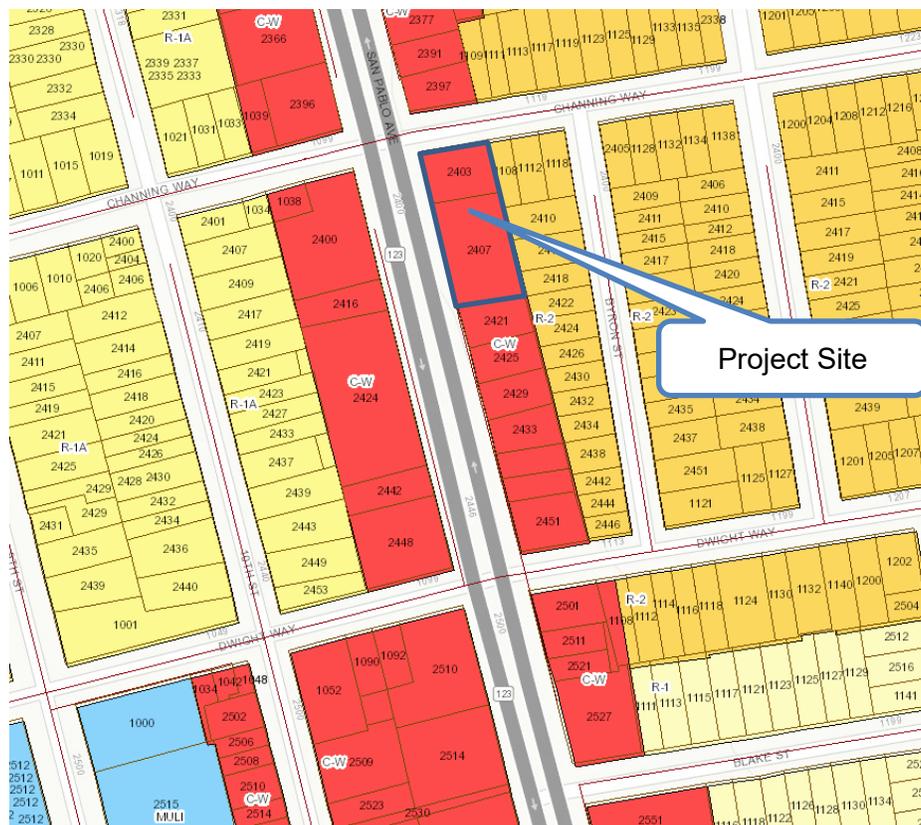
#### A. Neighborhood/Area Description:

The proposed project is located on the Southeast corner of San Pablo and Channing in the C-W West Berkeley District. The adjacent neighborhood to the East is zoned as R-2 Residential. Surrounding building heights on San Pablo are typically one- and two- story commercial structures with some multi-family buildings mixed in. Structures to the East on Channing are mostly single- story residential structures.

#### B. Site Conditions:

The subject parcels are on the east side of San Pablo Avenue, between Channing Way (north), and Dwight Way (south). The northern parcel, 2403 San Pablo Avenue, is 8,000 square-feet in area, and 2407 San Pablo Avenue is 15,210 square-feet in area. There is a one-story commercial building at the northwest corner of 2403 San Pablo, and a storage building at the southeast corner of the lot. There are five small detached buildings at 2407 San Pablo Avenue. Both lots are paved, with a fence along the property lines.

Figure 1: Vicinity Map



**Table 1: Land Use Information**

Location		Existing Use	Zoning District	General Plan Designation
Subject Property		Single story vacant structure and miscellaneous accessory structures	C-W	Avenue Commercial
Surrounding Properties	North	Single story retail building		
	South	Two- story multi-family		
	East	Single story residential	R-2	Low Medium Density Residential
	West	One- and Two story retail	C-W	Avenue Commercial

**Table 2: Development Standards**

Standard BMC Sections 23(click and enter #) .070-080		Existing	Proposed Total	Permitted/ Required
Lot Area (sq. ft.)		23,122 SF	23,122 SF	N/A
Gross Floor Area (sq. ft.)		8,252 SF	53,013 SF	N/A
Floor Area Ratio		0.36	2.29	3
Dwelling Units	Total	0	39	N/A
	Affordable	0	0	N/A
Building Height	Average (ft.)	15'-0"	50'-0"	50'-0"
	Maximum (ft.)	15'-0"	50'-0"	50'-0"
	Stories	1	4	4
Building Setbacks (ft.)	Front	0'-0"	0'-0"	0'-0"
	Rear	10'-0"	10'-0"	10'-0"
	Left Side	0'-0"	0'-0"	0'-0"
	Right Side	5'-0"	3'-0"	0'-0"
Lot Coverage (%)		36%	56%	N/A
Usable Open Space (sq. ft.)		N/A	10,199 SF	1,560 SF
Parking	Automobile	0	24	20 Total - 19 residential, 1 commercial maximum
	Bicycle			27 long term, 2 short term minimum

## IV. Project Description

### A. Requested Use Permits

- Use Permit to demolish a non-residential building, under BMC Section 23.326.070.
- Use Permit to construct a mixed-use development of more than 20,000 square feet, under BMC Section 23.204.140(B)(2)(a).
- Use Permit to construct new gross floor area, under BMC Section 23.204.030(B)(1).
- Administrative Use Permit to provide off-street parking in excess of the maximum, under BMC Section 23.322.070(D).
- Administrative Use Permit for a Reasonable Accommodations Request to provide ADA parking, under BMC Section 23.406.090.

### B. CEQA Determination

It is staff's recommendation that the project is categorically exempt pursuant to Section 15332 of the CEQA Guidelines ("Infill Development"). The determination is made by ZAB.

## V. Design Review Guidelines

The City's Design Guidelines are applicable for this project. Excerpts from the City-wide Design Review Guidelines are included below for your reference:

**Setbacks:** The street façade of commercial streets should be respected, in order to create or maintain the sense of urban space.

**Parking and Driveways:** Conflict with pedestrian circulation should be prevented by the proper location and design of auto entrances.

**Harmony with Surroundings:** The proposed design should be in harmony with its surroundings through the coordination of such design elements as cornice lines, eaves, and setbacks with those of existing neighborhood buildings.

**Articulation:** Street facades in general and the ground floor level in particular should include elements of pedestrian scale and three-dimensional interest.

**Lighting:** Lighting for circulation, security, building/sign identification should be non-obtrusive, except for lighting fixtures which are themselves decorative additions to the streetscape.

**Walls and Fences:** Large, unarticulated expanses of any particular wall material that deaden the pedestrian environment should be avoided. The use of clear windows for ground floor retail projects is encouraged. Walls designed to allow sitting areas for pedestrian or space for landscaping and artwork are encouraged, especially in areas of heavy pedestrian use. Landscaping and/or art work should be maximized if large expanses of wall must be left devoid of openings.

**Landscape and Open Space:** Sidewalk areas should include landscaping that is coordinated with the neighborhood design.

**Building Entrances:** Entrance points should be clearly defined and easily identifiable by pedestrians by appropriate locations and by elements such as awnings, signage, artwork or changes in paving material to define the entry point.

## VI. Issues and Analysis

### A. Design Review Issues:

**Neighborhood Context** The project is located on the corner of San Pablo and Channing in the C-W district and is surrounded by similarly zoned parcels to the North, South, and West. Parcels to the East are zoned as R-2A. Surrounding building heights on San Pablo are typically one- and two- story commercial structures with some multi-family buildings mixed in. Structures to the East on Channing are mostly single- story residential structures.

**Massing/Building Design** This four- story mass fronts onto San Pablo Avenue and is arranged in a U shape around an East facing courtyard that acts as a buffer to the adjacent residential district to the rear of the project. The recessed ground floor serves as a visual base for the project. The project incorporates projecting bays and recessed open spaces at the ground and roof levels on the West façade to break up the massing along San Pablo. The corner at Channing is emphasized with a projecting square volume that wraps and terminates at a band of recessed balconies that carves into the North façade. The Northeast corner steps back at the second floor to allow for private patios and reduced scale adjacent to the single-family homes to the East. Projecting patios are also proposed. Units are accessed via outdoor walkways that overlook the central courtyard. The building is topped by a metal cornice that wraps all sides.

**Ground Floor Design** The main residential lobby is accessed via a recessed entry mid-block on San Pablo Avenue and connects to the mail room, elevator, lounge, and bike storage area. Adjacent to the lobby space is a great room that opens to a covered terrace and central courtyard. A communal kitchen, laundry room, kid's playroom and storage room are also proposed at the ground floor. A 603 square foot retail space is proposed at the corner of Channing. The parking garage is accessed from Channing and includes the trash room and mechanical space. Ground floor residential units are proposed at the South end of the project with a 514 square foot "front yard" landscaped space at the Southwest corner.

**Setbacks** The project meets the property line at the North and South sides with a minimum 3'-0" setback from the South property line and a minimum 11' setback at the East property line. The West façade steps back 3' feet at the residential lobby, the North façade steps back at the parking garage for better vehicular visibility on Channing, and the East setback opens into a courtyard at the center of the massing at the ground level.

**Open Space/ Landscape Design** A majority of the open space for the project is provided by a central courtyard and outdoor terraces at each floor. The courtyard opens to the East and connects to a landscaping strip that extends the length of the property and wraps around the South side of the property to San Pablo Avenue. A 693 square foot roof deck provides additional space, as well as private patios on the second, third and fourth floors, all facing West. A trellis feature is proposed over the roof deck space which aligns with the main entrance at the ground floor. Planters are provided along the retail space on the ground floor at San Pablo. Street trees at San Pablo are to remain. One street tree on Channing is proposed for removal and replacement.

**Colors and Materials** The ground floor is designed to be cement plaster with anodized aluminum storefront and a porcelain exterior grade tile at the main entry. Upper floors are designed to be cement plaster with ceramic siding bays and accents. The corner volume at Channing is proposed as board and batten cement siding. Covered portions of the East façade include wood horizontal lap siding. Projecting balconies are painted galvanized metal.

**B. Issues for Discussion:**

- Neighborhood Context
- Building Design
- Ground Floor design
- Open Space Design
- Landscaping
- Colors and Materials

**VII. Recommendation**

Staff recommends that the Committee discuss the issues outlined above and if comfortable with the proposed design, forward a favorable recommendation on to ZAB with conditions as necessary to address any massing or design concerns and specific direction for Final Design Review.

**Attachments:**

1. Project Plans, received March 11, 2022
2. Applicant Statement, received February 4, 2022

**Staff Planner:** Anne Burns, aburns@ci.berkeley.ca.us, (510) 981-7410

















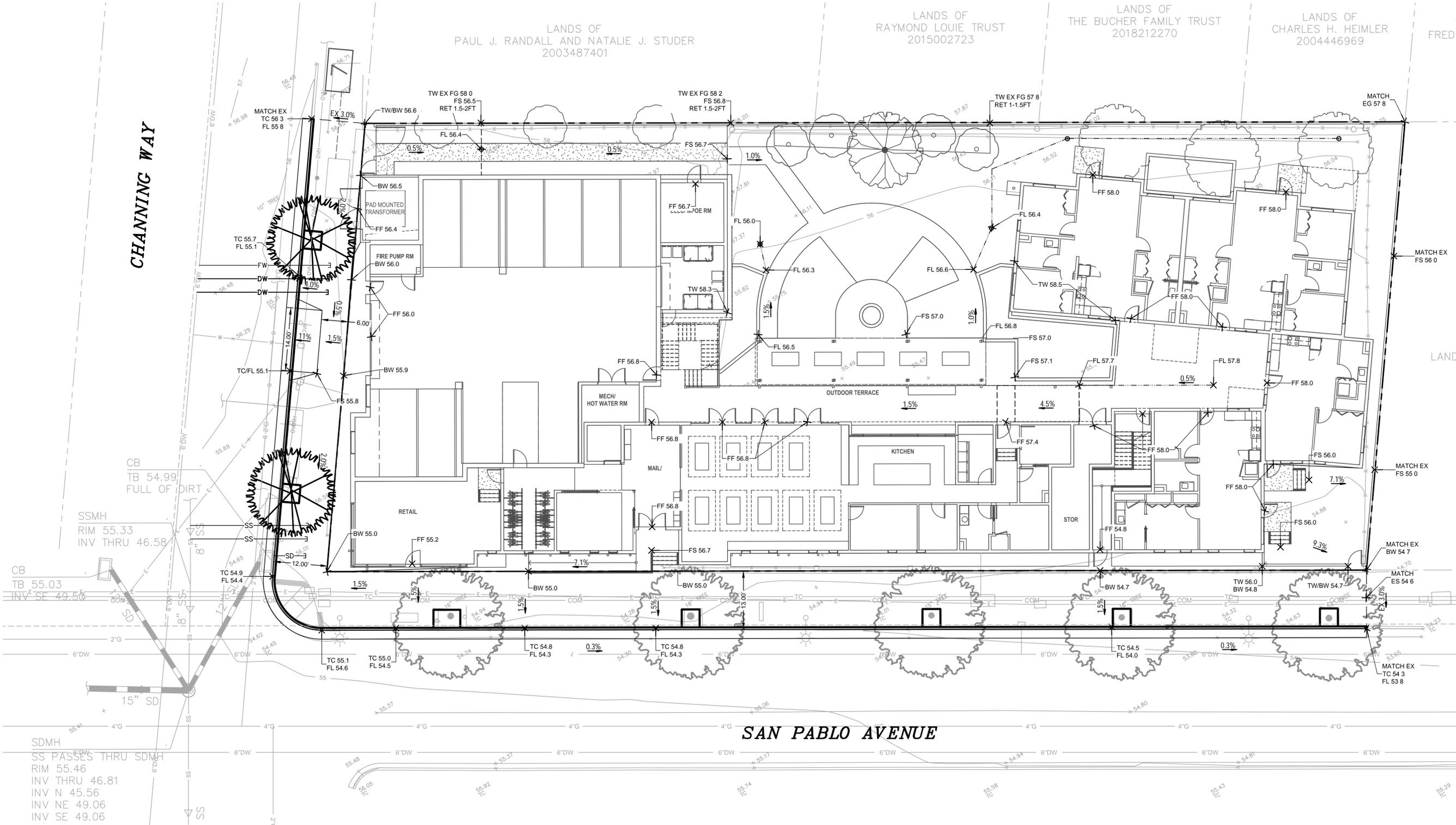
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 ph: 510.841.3555 fax: 510.841.1225  
 studiokda.com

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 BERKELEY, CA

**BKF ENGINEERS**  
 200 4th STREET  
 SUITE 300  
 SANTA ROSA, CA 95401  
 (707) 583-8500  
 www.bkf.com



SCHEMATIC DESIGN/  
 ENTITLEMENTS



**LEGEND**

	PROPERTY LINE
	NEW CONCRETE
	STORM DRAIN LINE
	SANITARY SEWER LINE
	WATER LINE
	GAS LINE
	ELECTRICAL LINE
	OVERHEAD LINE
	FENCE LINE
	ELECTRICAL LINE
	OVERHEAD LINE
	ELECTRICAL LINE
	OVERHEAD LINE

- NOTES**
- THE UTILITIES SHOWN ON THIS PLAN AREA DERIVED FROM RECORD DATA AND/OR SURFACE OBSERVATION AND ARE APPROXIMATE ONLY. ACTUAL LOCATION AND SIZE, TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD PRIOR TO CONSTRUCTION.
  - ALL EXISTING UNDERGROUND IN THE PUBLIC RIGHT OF WAY SHALL BE PROTECTED UNLESS OTHERWISE NOTED.
  - ALL EXISTING UTILITY BOXES, STRUCTURES, MANHOLES AND VALVES WITHIN THE LIMIT OF WORK SHALL BE ADJUSTED TO FINAL GRADE UNLESS OTHERWISE NOTED.
  - GRADING OPERATIONS WILL OCCUR OVER EXISTING UTILITIES. CONTRACTOR SHALL EXERCISE THE NECESSARY CARE TO ENSURE EXISTING UTILITIES ARE NOT DAMAGED OR EXPERIENCE ANY INTERRUPTION IN SERVICE. ANY UTILITIES DAMAGED DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED TO ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR.
  - ORDER OF WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PHASED SUCH THAT CLOSURE OF PUBLIC FACILITIES ARE MINIMIZED.
  - CONTRACTOR SHALL VERIFY EXACT LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF WORK.

- CONTRACTOR TO POTHOLE AND FIELD VERIFY ALL UTILITY CROSSINGS.
- CONTRACTOR TO CONTACT USA AT (800)247-2600 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION, UTILITY REMOVAL OR EXCAVATION.

**ABBREVIATIONS**

AC	ASPHALT CONCRETE	INV	INVERT
BLDG	BUILDING	MH	MANHOLE
BW	BACK OF WALK	OH	OVERHEAD LINES
CC	CONCRETE	SD	STORM DRAIN
CL	CENTERLINE	SL	STREET LIGHT
CO	CLEANOUT	SS	SANITARY SEWER
DI	DRAIN INLET	T	TELEPHONE
E	ELECTRICAL	TC	TOP OF CURB
EL	ELEVATION	TOW	TOP OF WALL
ES	EXISTING SURFACE	TYP	TYPICAL
FL	FLOWLINE	W	WATER
FS	FINISHED SURFACE	WM	WATER METER
G	GAS	WV	WATER VALVE
GB	GRADE BREAK		
GD	GRADE		
GV	GAS VALVE		

**PROJECT ISSUE RECORD**

DATE	DESCRIPTION

DRAWN BY: F.CHI-TAN  
 CHECKED BY: M.THOMAS  
 PROJECT #: MOS01  
 ISSUE DATE: 12/15/2021

**GRADING AND UTILITY PLAN**

Know what's below.  
 Call before you dig.

GRAPHIC SCALE: 1" = 10'

**C2.0**



# 2403 & 2407 SAN PABLO AVE.

BERKELEY, CALIFORNIA  
 NEW BUSINESS

DEVELOPER:  
 UD+P  
 116 NE 6TH AVE. SUITE 400  
 PORTLAND, OR 97232  
 DANNY  
 T: 562-338-2565  
 E: DANNY.MILMAN@UDPLP.COM

PG&E PM#S:  
 ELECTRIC:  
 GAS:

DESIGN CHANGE COMPONENT  
 ANY CHANGES TO THIS DESIGN  
 MUST BE APPROVED BY  
 PG&E GAS ADE PHONE NUMBER

DATE:	
REVISION	
DELTA NO:	
REGISTERED PROFESSIONAL ENGINEER No. 26429 Exp. 03-31-22 CIVIL STATE OF CALIFORNIA DATE OF SIGNATURE	

### WORK RESPONSIBILITY JOINT TRENCH

	PG&E ELECTRIC	PG&E GAS	TELEPHONE	C.A.T.V.	CONTRACTOR
TRENCHING					
EXCAVATE & BACKFILL	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>
GAS MATERIAL					
SUPPLY & INSTALL	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
*ELECTRIC CABLE					
SUPPLY & INSTALL	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
ELECTRIC CONDUIT					
SUPPLY & INSTALL	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>
ELECTRIC BOXES					
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EXCAVATION	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>
ELECTRIC TRANSFORMER PADS					
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EXCAVATION	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
ELECTRIC TRANSFORMER					
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TELEPHONE SPLICE BOXES					
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TELEPHONE S.A.I. PAD					
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EXCAVATION	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
C.A.T.V. CONDUIT					
SUPPLY & INSTALL	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>
C.A.T.V. SPLICE BOXES					
SUPPLY & INSTALL	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>
EXCAVATION	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>
C.L.E.C. FIBER CONDUIT					
SUPPLY & INSTALL	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
EXCAVATION	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
C.L.E.C. FIBER SPLICE BOXES					
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EXCAVATION	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
(OPTIONAL) DIRECTIONAL DRILL / JACK AND BORE					
SUPPLY & INSTALL CONDUIT	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
EXCAVATION	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

● SYMBOL DESIGNATES THE WORK TO BE PERFORMED BY THE RESPECTIVE CONTRACTOR & UTILITY COMPANIES.  
 ○ NOT APPLICABLE UNLESS OTHERWISE SPECIFIED  
 \* PG&E TO PULL CABLE INTO ENERGIZED ENCLOSURES

NOTE:  
 PRIOR TO ENERGIZING THIS PROJECT A PSE/PUE WILL NEED TO BE RECORDED FOR ALL UTILITIES WITHIN THIS PROJECT. INCLUDING THE "WORKING SPACE" REQUIRED AROUND ALL EQUIPMENT.



VICINITY MAP  
 N. T. S.



SUBSTRUCTURE VERIFICATION STAMP  
 DEVELOPER NOTE AND SIGN  
 ALL PG&E ENCLOSURES AND BOXES HAVE BEEN SET TO GRADE ACCORDING TO GRADE STAKES PROVIDED BY DEVELOPER'S ENGINEER. ALL COSTS TO RELOCATE OR RE-ADJUST BOXES AT A LATER DATE WILL BE BILLED TO THE DEVELOPER. PLEASE HAVE YOUR SUPT. VERIFY THE CORRECT GRADE OF ALL ENCLOSURES OR BOXES, AND SIGN AND DATE DRAWING.  
 THANK YOU  
 SIGNED \_\_\_\_\_  
 DATE \_\_\_\_\_

THESE PLANS WERE PREPARED IN CONJUNCTION WITH THE FOLLOWING PLANS:

	RECEIVED	APPROVED
CIVIL IMPROVEMENT PLANS/GRADING PLANS	10-21-2021	PRELIMINARY
ARCHITECTURAL ELECTRONIC FILE	11-02-2021	PRELIMINARY
APPLICANT DESIGN (GAS)		
APPLICANT DESIGN (ELECTRIC)		
TELEPHONE		
C.A.T.V.		
LANDSCAPE		
LIGHT LOCATIONS		
TRAFFIC SIGNAL LOCATIONS		

VIZION UTILITY PARTNERS IS NOT RESPONSIBLE FOR ANY SUBSEQUENT CHANGES OR REVISIONS.  
 OTHER UTILITIES SHOWN ARE APPROXIMATE AND BASED ON FIELD SURVEY AND AVAILABLE UTILITY INFORMATION. IT IS THE CONTRACTORS' RESPONSIBILITY TO VERIFY THE ACTUAL LOCATION AND EXTENT OF UTILITIES PRIOR TO THE COMMENCEMENT OF WORK. PHYSICAL VERIFICATION OF UTILITY LOCATIONS SHALL BE PERFORMED BY CAREFUL PROBING OR HAND DIGGING IN ACCORDANCE WITH ARTICLE 6 OF THE CAL/OSHA CONSTRUCTION SAFETY ORDERS.

UTILITY APPROVALS		
UTILITY	APPROVED BY	DATE
AT&T (PHONE)		
COMCAST (CATV)		
CITY ENGINEER		

SHEET INDEX

JT-1	JOINT TRENCH TITLE SHEET
JT-2	JOINT TRENCH NOTES
JT-3	JOINT TRENCH DETAILS
JT-4	JOINT TRENCH COMPOSITE

JOINT TRENCH TITLE SHEET  
 2403 & 2407 SAN PABLO AVE.  
 NEW BUSINESS  
 UD+P  
 CALIFORNIA  
 BERKELEY

**Vizion Utility Partners**  
 ENGINEERS, CONSULTANTS & STREETLIGHT DESIGN  
 7001 STONERIDGE DRIVE, SUITE 200 PLEASANTON, CA 94588  
 Tel: (925) 882-1114

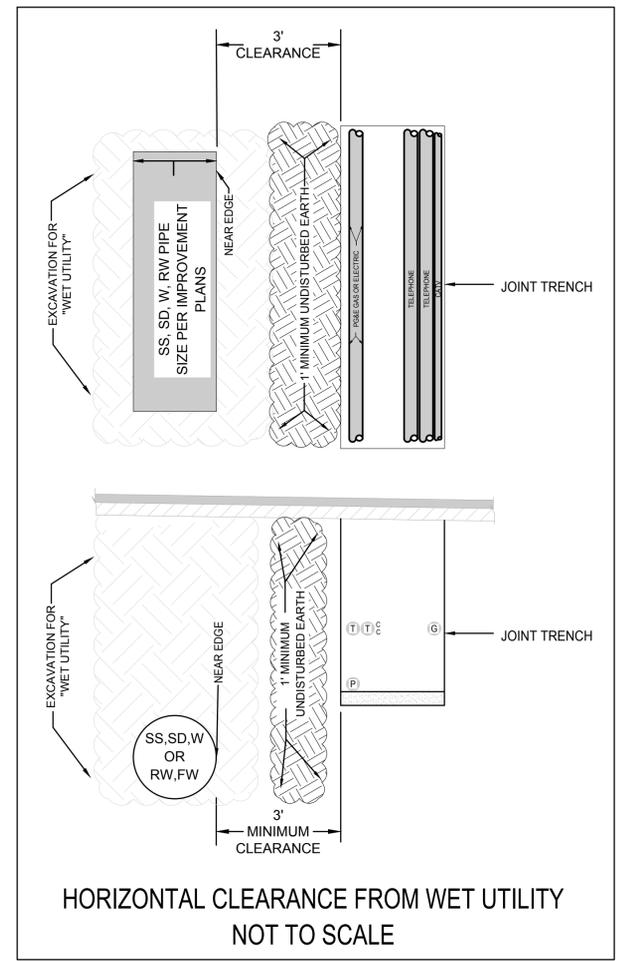
PROJ. NO:	21-162
SCALE:	N.T.S.
PP:	K. ARATA
DRAWN BY:	R. FALCON
PG&E QUALIFIED DESIGNER:	M. WEBB
LAST UPDATED:	11-10-2021
DRAWING NO:	JT-1
SHEET:	1 OF 4

**GENERAL NOTES:**

- THE PREFERRED TRENCH LOCATION IS IN A PUBLIC UTILITY EASEMENT (P.U.E.).
- ALL DEPTHS AND RESULTING COVER REQUIREMENTS ARE MEASURED FROM FINAL GRADE.
- COVER, CLEARANCES, AND SEPARATION SHALL BE AS GREAT AS PRACTICABLE UNDER THE CIRCUMSTANCES, BUT UNDER NO CIRCUMSTANCES SHALL BE LESS THAN THE MINIMUM COVER, CLEARANCE, AND SEPARATION REQUIREMENTS SET FORTH IN GENERAL ORDER 128 AND 49CFR 192.321, 49CFR 192.325, AND 49CFR 192.327. ALL FACILITIES SHALL BE ANCHORED IN PLACE PRIOR TO COMPACTION, OR OTHER MEANS SHALL BE TAKEN TO ENSURE NO MOTION OF THE FACILITIES. DIMENSIONAL REQUIREMENTS FOR SHADING, LEVELING, AND BACKFILLING SHALL BE DETERMINED SUBSEQUENT TO COMPACTION.
- TRENCH DIMENSIONS SHOWN ARE TYPICAL. TRENCH SIZES AND CONFIGURATIONS MAY VARY DEPENDING UPON OCCUPANCY AND/OR FIELD CONDITIONS. TRENCH SIZE AND CONFIGURATION MUST AT ALL TIMES BE CONSTRUCTED IN A MANNER THAT ENSURES PROPER CLEARANCES AND COVER REQUIREMENTS ARE MET. ANY "CHANGE" TO THE TRENCH WIDTH AND CONFIGURATIONS AS SHOWN IN THIS EXHIBIT MUST BE DESIGNED TO ENSURE THIS REQUIREMENT.
- IT IS PREFERRED TO HAVE NON-PG&E OWNED STREETLIGHTS AT A LEVEL OTHER THAN THE GAS OR ELECTRIC LEVEL. NON-PG&E OWNED STREETLIGHTS MAY BE AT THE ELECTRIC LEVEL OF THE TRENCH AS LONG AS MINIMUM CLEARANCES ARE PROVIDED AND COMPLY WITH ALL SPECIAL NOTES FOR A JOINT TRENCH WITH A SECOND ELECTRIC UTILITY.
- NON-UTILITY FACILITIES ARE NOT ALLOWED IN ANY JOINT UTILITY TRENCH, E.G., IRRIGATION CONTROL LINES, BUILDING FIRE ALARM SYSTEMS, PRIVATE TELEPHONE SYSTEMS, OUTDOOR ELECTRICAL CABLE, ETC.
- WHEN COMMUNICATION DUCTS ARE INSTALLED, A MINIMUM OF 12" RADIAL SEPARATION SHALL BE MAINTAINED FROM GAS FACILITIES. EXCEPTION: WITH MUTUAL AGREEMENT, WHEN 4-INCH DIAMETER OR SMALLER GAS PIPE IS INSTALLED, THE SEPARATION MAY BE REDUCED TO NOT LESS THAN 6 INCHES.
- PROVIDE SEPARATION FROM TRENCH WALL AND OTHER FACILITIES SUFFICIENT TO ENSURE PROPER COMPACTION.
- MAINTAIN PROPER SEPARATION BETWEEN PG&E FACILITIES AND "WET" UTILITY LINES AS DESCRIBED IN UO STANDARD S5453. THE MINIMUM ALLOWABLE HORIZONTAL SEPARATION BETWEEN COMPANY FACILITIES AND "WET" FACILITIES IS 3' WITH A MINIMUM 1" OF UNDISTURBED EARTH OR THE INSTALLATION OF A SUITABLE BARRIER BETWEEN THE FACILITIES. IF A 3' HORIZONTAL SEPARATION CANNOT BE ATTAINED BETWEEN "WET" UTILITIES AND COMPANY DRY FACILITIES, A VARIANCE MAY BE APPROVED BY THE LOCAL INSPECTION SUPERVISOR AND SUBMITTED TO THE SERVICE PLANNING SUPPORT PROGRAM MANAGER FOR APPROVAL. SEPARATIONS OF 1' OR LESS ARE NOT PERMISSIBLE AND WILL NOT BE ALLOWED. THE COMPANY MAY AGREE TO WAIVE THE MINIMUM 3' SEPARATION REQUIREMENT AT THE REQUEST OF AN APPLICANT IF WARRANTED AND THE NEED IS JUSTIFIED. THE REQUEST FOR A WAIVER MUST:
  - BE MADE IN WRITING AND SUBMITTED TO THE COMPANY ADE DURING THE PLANNING AND DESIGN PHASE OF THE PROJECT.
  - CLEARLY DESCRIBE THE CONDITIONS NECESSITATING THE WAIVER.
  - INCLUDE A PROPOSED DESIGN, AND INCLUDE A DESIGN FOR A BARRIER BETWEEN THE "WET" UTILITIES AND COMPANY DRY FACILITIES IN THE EVENT 1" OF UNDISTURBED EARTH CANNOT BE MAINTAINED. NOTE: DRAIN LINES CONNECTED TO DOWNSPOUTS ON BUILDINGS ARE CONSIDERED A "WET" UTILITY FOR THE PURPOSES OF THIS STANDARD.
- SEPARATIONS SHALL BE MAINTAINED AT ABOVE GROUND TERMINATION POINTS.
- PROCEDURES FOR APPROVING NATIVE BACKFILL FOR SHADING OF PG&E GAS FACILITIES:
  - RANDOM SOIL SAMPLES SHALL BE TAKEN FROM A MINIMUM OF 3 LOCATIONS PER 1,000' OF TRENCH. 100% OF THE SAMPLE MUST PASS THROUGH A 1/2" SIEVE AND 75% MUST PASS THROUGH A #4 SCREEN. ADDITIONAL SAMPLES MUST BE TAKEN IF EXISTING SOIL CONDITIONS CHANGE AND ARE TO BE TAKEN AT THE DISCRETION OF THE PG&E REPRESENTATIVE ON SITE.
  - THE SOILS MUST NOT CONTAIN ANY ROCKS THAT HAVE SHARP EDGES OR THAT MAY OTHERWISE BE ABRASIVE.
  - THE SOILS MUST NOT CONTAIN CLODS LARGER THAN 1/2" IF TO BE USED AS SHADING, BEDDING, OR LEVELING MATERIALS.
  - COMPACTION REQUIREMENTS MUST MEET ANY APPLICABLE PG&E, FEDERAL, STATE, COUNTY, OR LOCAL REQUIREMENTS.
  - AT NO TIME SHALL THE OVER SATURATION OF NATIVE SOILS BE USED TO ACHIEVE THESE REQUIREMENTS.
  - THE SIEVES AND SCREENS SHALL BE:
    - 1/2" SIEVE: 8" DIAMETER BY 2" DEEP, STAINLESS STEEL MESH SCREEN.
    - #4 SCREEN: 8" DIAMETER BY 2" DEEP, STAINLESS STEEL MESH SCREEN.
- PROCEDURES FOR APPROVING NATIVE BACKFILL FOR SHADING AT PG&E ELECTRIC FACILITIES:
  - RANDOM SOIL SAMPLES SHALL BE TAKEN FROM A MINIMUM OF 3 LOCATIONS PER 1,000' OF TRENCH. ADDITIONAL SAMPLES MUST BE TAKEN IF EXISTING SOIL CONDITIONS CHANGE AND ARE TO BE TAKEN AT THE DISCRETION OF THE PG&E REPRESENTATIVE ON SITE.
  - SHADING MATERIAL CONTAINING LARGE ROCK, PAVING MATERIAL, CINDERS, SHARPLY ANGULAR SUBSTANCES, OR CORROSIVE MATERIAL SHALL NOT BE PLACED IN THE TRENCH WHERE SUCH MATERIAL MAY DAMAGE THE CONDUITS AND/OR PREVENT PROPER COMPACTION OVER OR AROUND THE CONDUITS.
  - NATIVE SOILS CONTAINING CLODS NOT TO EXCEED 6" IN DIAMETER MAY BE INCLUDED IN THE SHADING MATERIAL PROVIDED THE CLODS ARE READILY BREAKABLE BY HAND. NOTE: SOILS CONSISTING PRIMARILY OF ADOBE, HARD COMPACT (DENSE) CLAY, AND BAY MUDDS SHALL NOT BE USED AS SHADING MATERIAL.
  - AT NO TIME SHALL THE OVER SATURATION OF NATIVE SOILS BE USED TO ACHIEVE THESE REQUIREMENTS.
  - REFER TO ENGINEERING DOCUMENT 062288, ITEM 13 ON PAGE 2.
- COMPETENT NATIVE SOILS ARE PREFERRED TO BE USED FOR SHADING, BEDDING, AND BACKFILLING THROUGHOUT THE TRENCH.
  - WHERE NATIVE SOILS EXCEED 1/2" MINUS AND/OR WHERE GAS IS TO BE PLACED AT THE BOTTOM OF A TRENCH IN AREAS THAT EXCEED 1/2" MINUS SOIL CONDITIONS, OR WHERE THE BOTTOM OF A TRENCH IS CONSIDERED TO CONSIST OF HARD PAN, PG&E APPROVED 1/2" MINUS IMPORT MATERIAL SHALL BE USED FOR SHADING AND/OR BEDDING OF GAS FACILITIES.
  - PG&E APPROVED IMPORT MATERIAL IS PER CGT ENGINEERING GUIDELINE 4123.
  - IF A LEVELING COURSE IS REQUIRED FOR GAS FACILITIES, THE USE OF NATIVE SOILS IS PREFERRED, BUT IF 1/2" MINUS CONDITIONS ARE NOT ATTAINABLE WITH THE NATIVE SOILS, THEN THE USE OF PG&E APPROVED IMPORT MATERIALS IS REQUIRED. BEDDING UNDER GAS FACILITIES WILL BE A MINIMUM OF 2" OF COMPACTED 1/2" MINUS NATIVE SOILS OR PG&E APPROVED IMPORT MATERIAL.
  - FOR ELECTRIC FACILITIES, REFER TO NOTE 12. THIS APPLIES TO LEVELING COURSES AS WELL AS SHADING.
  - THE MINIMUM PG&E APPROVED BEDDING MATERIAL MAY BE INCREASED AT THE DISCRETION OF PG&E WHEN WARRANTED BY EXISTING FIELD CONDITIONS (E.G., ROCKY SOILS, HARD PAN, ETC.).
  - THE USE OF ANY IMPORTED MATERIAL FOR BACKFILLING PURPOSES SHALL BE LIMITED TO THOSE SITUATIONS WHEN NATIVE SOILS DO NOT ALLOW FOR REQUIRED COMPACTION.
- THE APPLICANT IS RESPONSIBLE FOR THE REMOVAL OF EXCESS SPOIL AND ASSOCIATED COSTS.
- SEPARATION BETWEEN GAS FACILITIES AND ELECTRIC FACILITIES MAY BE REDUCED TO 6" WHEN CROSSING.
- SERVICE SADDLES ARE THE PREFERRED SERVICE FITTINGS FOR USE THROUGHOUT THE JOINT TRENCH PROJECT. ALL PROJECTS WILL BE DESIGNED AND ESTIMATED USING SERVICE SADDLES. HOWEVER, SERVICE TEES MAY BE USED IF ALL CLEARANCES, SEPARATION, AND COVERAGE REQUIREMENTS ARE MAINTAINED.
- CONTRACTOR TO INCREASE METER SPACING AS NECESSARY WHEN EARTHQUAKE VALVES OR OTHER ADDITIONAL SAFETY EQUIPMENT ARE REQUIRED. EARTHQUAKE VALVES ARE REQUIRED IN SOME AREAS AND ARE NOT PART OF PG&E/VIZION UTILITY PARTNERS SCOPE. THIS INFORMATION CAN BE FOUND ON BUILDING MECHANICAL ENGINEER'S PLANS. PG&E STANDARD METER SPACING REQUIREMENTS DO NOT INCLUDE CLEARANCE FOR EARTHQUAKE VALVES.

**CONSTRUCTION NOTES:**

- ALL TRENCHING, BACKFILLING AND INSTALLATION BY CONTRACTOR MUST COMPLY WITH PG&E UO STANDARD S5453 (EFFECTIVE DATE 7-5-2006).
- ALL WORK MUST COMPLY WITH P.G. & E. TELEPHONE, C.A.T.V., STANDARDS AND PRACTICES. ALL WORK MUST BE INSPECTED AND APPROVED BY RESPECTIVE INSPECTORS. RANDOM SOIL SAMPLES SHALL BE TAKEN FROM A MINIMUM OF THREE LOCATIONS PER 1,000' OF TRENCH. 100% OF THE SAMPLE MUST PASS THROUGH A 1/2" SIEVE AND 75% MUST PASS THROUGH A #4 SCREEN. ADDITIONAL SAMPLES MUST BE TAKEN IF EXISTING SOIL CONDITIONS CHANGE AND IS TO BE AT THE DISCRETION OF THE PG&E REPRESENTATIVE ON SITE. THE SOILS MUST NOT CONTAIN ANY ROCKS THAT HAVE SHARP EDGES OR THAT MAY OTHERWISE BE ABRASIVE. THE SOILS MUST NOT CONTAIN CLODS LARGER THAN 1/2" IF TO BE USED AS SHADING, BEDDING OR LEVELING MATERIALS. COMPACTION REQUIREMENTS MUST MEET ANY APPLICABLE P.G.& E. FEDERAL, STATE, COUNTY OR LOCAL REQUIREMENTS. ANY NATIVE SOILS OR IMPORT MATERIALS USED MUST NOT HINDER THOSE EFFORTS.
- BACKFILL SHALL BE APPROVED BY THE UTILITY COMPANIES AND THE CITY. COMPACTION WILL BE TESTED AND PASSED BY THE SOILS ENGINEER.
- IF SOIL IS NOT ROCK FREE, ADD 4" DEPTH OF TRENCH FOR SAND BEDDING.
- VERIFY SPLICE BOX EXCAVATION SIZES WITH SUPPLIER(S).
- THE TRENCHING CONTRACTOR SHALL COORDINATE THE UTILITY COMPANIES' INSTALLATION. THE TRENCHING CONTRACTOR TO PLACE CONNECTING CONDUIT WITHIN 5' OF BUILDING EXTERIOR WALL.
- CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH THE PROJECT IMPROVEMENT PLANS AND CONDUCT HIS WORK ACCORDINGLY.
- IT IS THE TRENCHING CONTRACTOR'S RESPONSIBILITY TO PROTECT IN PLACE ALL EXISTING FACILITIES. NO EXTRA PAYMENT WILL BE CONSIDERED FOR CROSSING OTHER SYSTEMS.
- VIZION UTILITY PARTNERS ASSUMES NO RESPONSIBILITY FOR THE PROJECT CONDITIONS. THESE DRAWINGS WERE PREPARED USING DATA SUPPLIED BY PG&E, TELEPHONE, C.A.T.V., IMPROVEMENT PLANS AND THE CITY'S VARIOUS "AS BUILT" INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PHYSICALLY REVIEW THE PROJECT PRIOR TO SUBMITTING HIS BID.
- CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A., INDUSTRIAL SAFETY ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING NEAR ENERGIZED OR "HOT" EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER. PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES ARE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL PROTECT CONSTRUCTION STAKING. HE SHALL COORDINATE STAKING WITH THE PROJECT'S CIVIL ENGINEER.
- CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (USA) TWO WORKING DAYS PRIOR TO START OF WORK.
- CONTRACTOR SHALL NOTIFY INSPECTORS OF ANY POTENTIAL CONFLICTS PRIOR TO START OF WORK.
- THIS PLAN IS TO BE USED FOR SOLE PURPOSE OF DIGGING THE JOINT TRENCH. SEE PG&E, AT&T, AND COMCAST PLANS FOR EXACT SIZE AND NUMBER OF CONDUITS INSTALLED IN THE JOINT TRENCH. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE CORRECT NUMBER, SIZE AND TYPES OF CONDUITS ARE INSTALLED PER THE ENGINEERED PLANS BY EACH UTILITY COMPANY.
- NOTE PLANS ISSUED AT THE PRE-CONSTRUCTION MEETING MAY BE SUBJECT TO REVISIONS, IF FINAL PLANS FROM EACH UTILITY COMPANY WERE NOT AVAILABLE AT THE START OF CONSTRUCTION.
- WATER, SEWER, DRAINS, SANITARY WASTE, FUELS (INCLUDING DIESEL AND GASOLINE), OIL, PROPANE AND OTHER VOLATILE HEAVIER THAN AIR GASES, SPRINKLER, IRRIGATION, STEAM AND OTHER "WET" FACILITIES SHALL MAINTAIN A MINIMUM OF THREE FEET FROM THE NEAREST OUTER SURFACE OF PG&E FACILITIES WITH NO LESS THAN ONE FOOT OF EARTH (SOIL BARRIER) BETWEEN THE ADJACENT SIDES OF THE INDIVIDUAL TRENCHES.
- IN THE EXTRAORDINARY CASE THAT THE MINIMUM THREE FOOT HORIZONTAL SEPARATION CANNOT BE ATTAINED BETWEEN "WET" UTILITIES AND COMPANY DRY FACILITIES, A VARIANCE MAY APPROVED BY THE LOCAL INSPECTION SUPERVISOR AND SUBMITTED TO SERVICE PLANNING SUPPORT PROGRAM MANAGER FOR APPROVAL.
- ALL METER PANELS: INDIVIDUAL, RESIDENTIAL, OR NONRESIDENTIAL APPLICANTS WITH A METER PANEL RATING OF ANY SIZE, INSTALLED INSIDE A METER ROOM OR OTHER STRUCTURE, MUST FOLLOW ALL OF THE REQUIREMENTS DESCRIBED BELOW.
  - INSTALL, OWN, AND MAINTAIN A SEPARATE, NOMINAL, 2-INCH DIAMETER CONDUIT WITH PULL TAPE INSIDE. THE CONDUIT AND PULL TAPE MUST EXTEND FROM THE OUTSIDE SURFACE OF THE BUILDING AND TERMINATE OUTSIDE THE METER PANEL OR SWITCHBOARD AT THE TOP OF THE METER SECTION.
  - ENSURE THE 2-INCH DIAMETER CONDUIT AND PULL TAPE EXIT THE OUTSIDE OF THE BUILDING A MINIMUM OF 8 FEET AND A MAXIMUM OF 10 FEET ABOVE GROUND. THE OPEN END OF THE CONDUIT THAT IS EXPOSED TO THE OUTSIDE MUST HAVE A REMOVABLE TEMPORARY CAP OR PLUG.
  - DO NOT USE THE CONDUIT. THE CONDUIT IS FOR PG&E'S METERING EQUIPMENT ONLY.
- THIS JOINT TRENCH PLAN WAS PREPARED BASED ON TOPOGRAPHICAL SURVEY AS PROVIDED BY A CIVIL ENGINEER. THE CONTRACTOR IS CAUTIONED THAT EXPLORATORY WORK IS NECESSARY TO DETERMINE THE ACTUAL LOCATION OF ANY EXISTING UTILITY. V.U.P. STRONGLY RECOMMENDS THAT ALL UTILITIES BE PHYSICALLY LOCATED ON THE SITE BEFORE THE ONSET OF SITE WORK. SUBSTRUCTURE LOCATIONS MAY REQUIRE FIELD ADJUSTMENT TO COMPENSATE FOR ACTUAL EXISTING UTILITY LOCATIONS.
- SUBSTRUCTURE LOCATIONS MUST BE STAKED BY A LICENSED SURVEYOR PRIOR TO CONSTRUCTION. SEE CONSTRUCTION NOTES ON JOINT TRENCH TITLE SHEET (JT-1) REGARDING EXISTING CONDITIONS.



**LEGEND**

TYPICAL	NEW	EXISTING
JOINT TRENCH	AREA DRAIN	(E) JOINT TRENCH
JOINT TRENCH SERVICE	CATCH BASIN	(E) OVERHEAD LINE
STORM DRAIN	FIRE HYDRANT	(E) ELECTRIC LINE
GAS	SS MANHOLE	(E) GAS LINE
SANITARY SEWER	ELECTRIC VAULT	(E) UTILITY VAULT
ELECTRICAL		(E) STREET LIGHT
DOMESTIC WATER		(E) STREET LIGHT BOX
WATER (FIRE)		(E) ELECTRIC VAULT
JOINT TRENCH		(E) JOINT POLE
OVERHEAD		
C.A.T.V.		
STREETLIGHT		
FACE OF CURB, BACK OF CURB		
PROPERTY LINE		
EASEMENT LINE		
FENCELINE		

**ABBREVIATIONS**

AD — AREA DRAIN	FOC — FACE OF CURB	(N) — NORTH	STD — STANDARD
APPROX — APPROXIMATE	FUT — FUTURE	NTS — NOT TO SCALE	STLT — STREET LIGHT
AVE — AVENUE	G — GAS	OH — OVERHEAD	SVC — SERVICES
BNDY — BOUNDARY	GND — GROUND	P — PAD	SW, S/W — SIDEWALK
C — CURB	I.D. — INNER DIAMETER	PKWY — PARKWAY	TC — TOP OF CURB
C/G — CURB & GUTTER	IRR — IRRIGATION	PL — PROPERTY LINE	TEL — TELEPHONE
CL, C/L — CENTER LINE	J.P. — JOINT POLE	PR — PROPOSED	TERM — TERMINATION
DR — DRIVE	LT — LEFT	PUE — PUBLIC UTILITY EASEMENT	THRU — THROUGH
DW/DWY — DRIVEWAY	M — MONUMENT	PVMT — PAVEMENT	TYP — TYPICAL
(E) — EAST	MCI, INC. COMPANY	RT — RIGHT	U.G. — UNDERGROUND
EL — ELEVATION	MH — MAINTENANCE HOLE	R/W — RIGHT OF WAY	VER — VERIZON
ELB — ELBOW	MIN — MINIMUM	S — SANITARY SEWER LATERAL	(W) — WEST
ELEC — ELECTRIC	MID PT — MID POINT	S.I. — SIGNAL INTERCONNECT	W — WATER
ELECT — ELECTROLIER	MPOE — MAIN POINT OF ENTRY	SS — SANITARY SEWERS	WM — WATER METER
EP — EDGE OF PAVEMENT	MSB — MAIN SWITCH BOARD	SSCO — SANITARY SEWER CLEAN OUT	
EX — EXISTING	MSS — MAIN SWITCH SIZE	SSMH — SANITARY SEWER MANHOLE	
FC — FACE OF CURB	MTR — METER		
FH — FIRE HYDRANT			

REVISION	DATE



DATE OF SIGNATURE

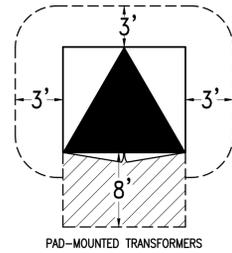
JOINT TRENCH NOTES  
 2403 & 2407 SAN PABLO AVE.  
 NEW BUSINESS  
 UD+P  
 CALIFORNIA  
 BERKELEY



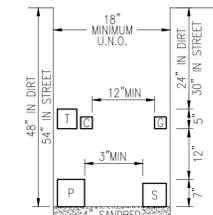
PROJ. NO:	21-162
SCALE:	N.T.S.
PREP:	K. ARATA
DRAWN BY:	R. FALCON
PG&E QUALIFIED DESIGNER:	M. WEBB
LAST UPDATED:	11-10-2021
DRAWING NO:	JT-2
SHEET:	2 OF 4

**WORKSPACE & EASEMENT REQUIREMENTS**

MAINTAIN A CLEAR AND LEVEL WORKSPACE AS SHOWN (N.T.S.), PER PG&E DOCUMENT 051122.  
 MAINTAIN 20' UNOBSTRUCTED OVERHEAD CLEARANCE U.N.O.



PAD-MOUNTED TRANSFORMERS



TYPICAL JOINT TRENCH

PER PG&E STANDARD S5453, EXHIBIT B

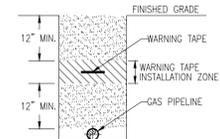
**ELECTRIC CONDUIT MINIMUM BEND RADIUS**

CONDUIT DIAMETER	VERTICAL RADIUS	HORIZONTAL RADIUS
2"	24"	36"
3"	24"	36"
4"	36"	36"
5"	36"	60"

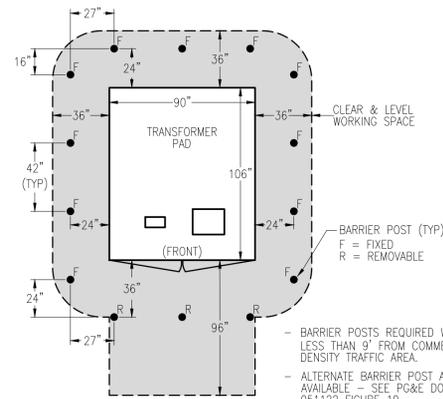
NOTE: 315° MAX BENDS IN ANY SECONDARY CONDUIT RUN 200' OR LESS.  
 300° MAX BENDS IN ANY PRIMARY CONDUIT RUN.

**GAS PIPELINE UNDERGROUND WARNING TAPE NOTES:**

1. A WARNING TAPE IS TO BE INSTALLED IN OPEN TRENCH INSTALLATION OVER GAS PIPELINES IN BOTH TRANSMISSION AND DISTRIBUTION FACILITIES. THIS INCLUDES TRENCHES, BELL HOLES, EXCAVATIONS FOR REPAIR PURPOSES AND RISER REPLACEMENTS. THE WARNING TAPE IS INTENDED FOR EXCAVATOR DIGGING IN THE "TOLERANCE ZONE" TO STRIKE THE WARNING TAPE PRIOR THAN THE PIPELINE. WHEN THE WARNING TAPE IS EXPOSED AND GRABBED WITH EXCAVATING EQUIPMENT, IT STRETCHES WITHOUT BREAKING, THUS ALERTING THE EXCAVATOR OF THE GAS FACILITY BELOW.
2. INSTALL 6" WIDE WARNING TAPE ABOVE THE GAS PIPELINE AT LEAST 12" BELOW GRADE, AND NO CLOSER THAN 12" FROM THE PIPE. INSTALLATION SHOULD PROVIDE THE GREATEST DISTANCE BETWEEN THE PIPELINE AND THE TAPE AS POSSIBLE. INSTALL THE TAPE ALONG THE LENGTH OF THE EXCAVATION. ENSURE THAT THE TAPE OVERLAPS WHEN TWO OR MORE PIECES OF TAPE ARE USED. EXCEPTION: WHEN A JOINT TRENCH DESIGN DOES NOT ALLOW FOR INSTALLMENT OF WARNING TAPE WITHIN THE "WARNING TAPE INSTALLATION ZONE", INSTALL THE WARNING TAPE A MINIMUM OF 6" ABOVE THE GAS PIPELINE, AND BELOW THE FACILITY ABOVE THE PIPE.
3. WARNING TAPE SHALL BE BRIGHTLY COLORED YELLOW AND MARKED "CAUTION: GAS LINE BURIED BELOW" OR MARKED WITH A SIMILAR NOTIFICATION.
4. WARNING TAPE SHALL BE STORED IN SUCH A MANNER THAT LIMITS ULTRAVIOLET (UV) EXPOSURE.

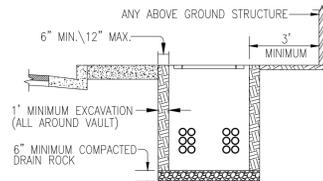


TYPICAL DETAIL  
 GAS PIPELINE UNDERGROUND  
 WARNING TAPE INSTALLATION  
 (N.T.S.)



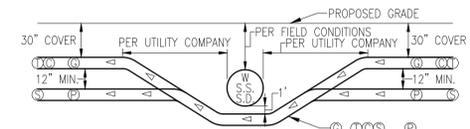
CLEARANCE REQUIREMENTS  
 90' x 106' TRANSFORMER PAD (N.T.S.)  
 PER PG&E DOCUMENT 051122

MAINTAIN 30' UNOBSTRUCTED OVERHEAD CLEARANCE



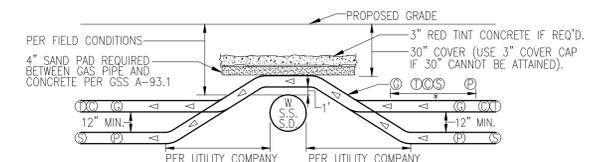
TYPICAL EXCAVATION:

FOR PG&E PRIMARY VAULTS, TRANSFORMERS, U.N.O.



JOINT TRENCH UNDER WATER & S.S. & S.D.

\*WIDTH PER SIZE & NUMBER OF EACH UTILITY. PG&E AND CITY INSPECTOR TO DETERMINE METHOD OF CROSSING.

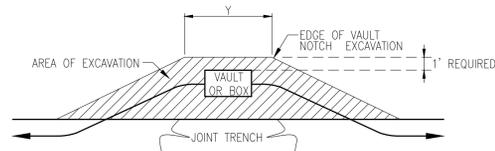


JOINT TRENCH OVER WATER & S.S. & S.D.

\*WIDTH PER SIZE & NUMBER OF EACH UTILITY. PG&E AND CITY INSPECTOR TO DETERMINE METHOD OF CROSSING.

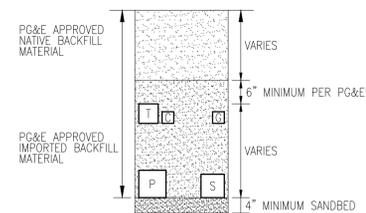
NOTE: TRENCH DEPTH NOT TO EXCEED 5' UNLESS APPROVED BY PG&E INSPECTOR. IN NO CASE SHOULD PLASTIC GAS PIPE BE INSTALLED AT A DEPTH GREATER THAN 10' UNLESS APPROVED BY PG&E SENIOR GAS ENGINEER.

TRENCHING CONTRACTOR SHALL NOT ASSUME THAT EITHER OF THE ABOVE DETAILS WILL BE ACCEPTABLE TO PG&E. YOU ARE REQUIRED TO CONTACT THE LOCAL PG&E ENGINEERING OFFICE WITH ANY ISSUE RELATING TO COVERS LESS THAN MINIMUM OR COVERS REQUIRING SHORING. CONCRETE CAPPING IS ONLY ACCEPTABLE WHERE NO OTHER SOLUTION IS POSSIBLE AND ONLY WHEN CERTAIN CRITERIA ARE MET AND ONLY WITH PG&E APPROVAL.



BOX EXCAVATION		NOTE:
PRIMARY BOX SIZE	"Y"	DISTANCE VARIES PER FIELD CONDITIONS
3' x 5'	7'	
4'-6" x 8'-6"	11'	

TYPICAL PG&E PRIMARY BOX  
 EXCAVATION DETAIL



MINIMUM BACKFILL REQUIREMENTS

\*CHECK WITH LOCAL GOVERNING AGENCIES FOR POSSIBLE VARIATIONS

NOTE:  
 PRIOR TO ENERGIZING THIS PROJECT  
 A PSE/PUE WILL NEED TO BE RECORDED FOR  
 ALL UTILITIES WITHIN THIS PROJECT. INCLUDING  
 THE "WORKING SPACE" REQUIRED AROUND ALL  
 EQUIPMENT.

DATE:	
REVISION:	
DELTA NO.:	

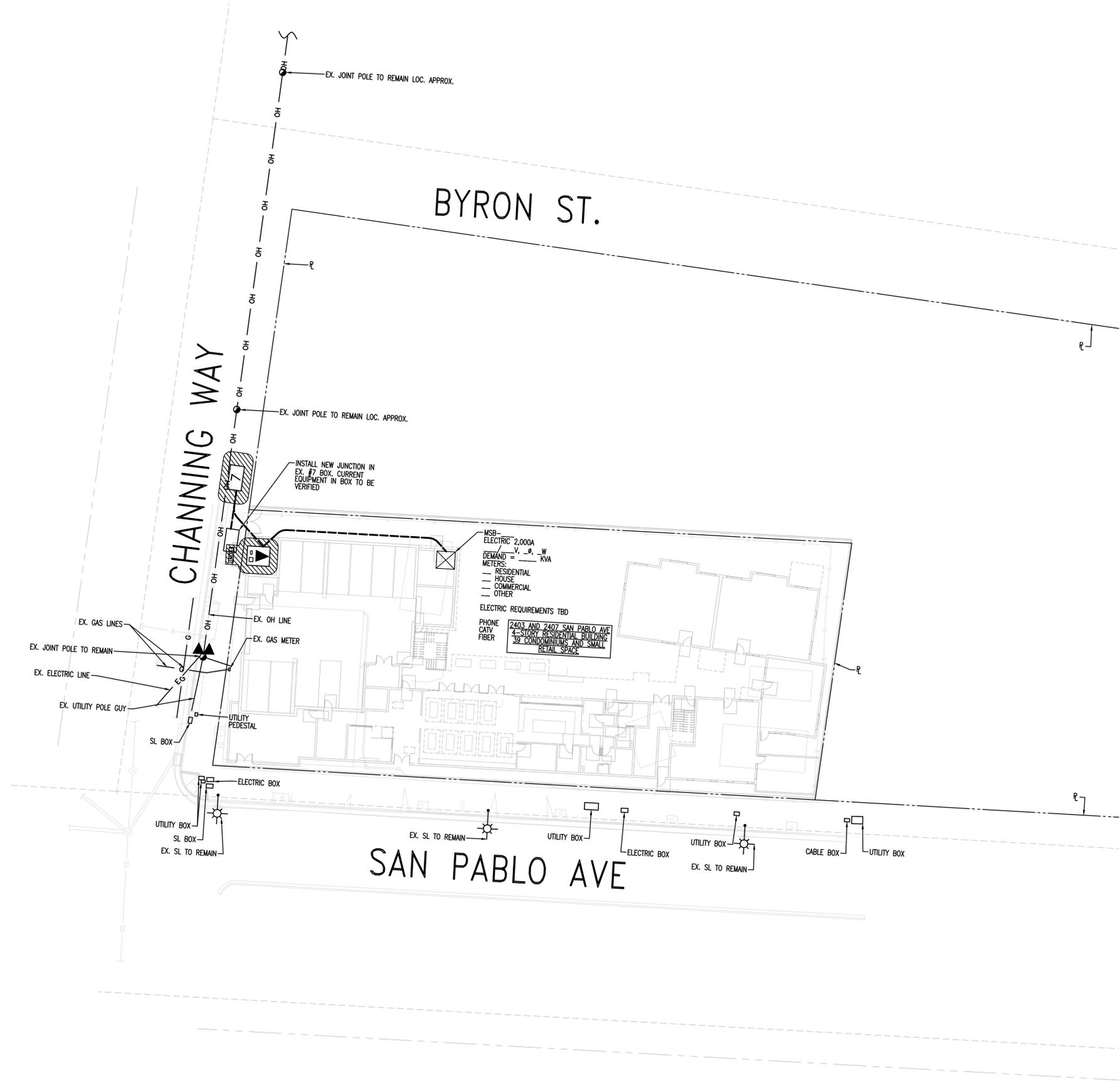


REGISTERED PROFESSIONAL ENGINEER  
 No. 26429  
 Exp. 03-31-22  
 CIVIL  
 STATE OF CALIFORNIA  
 DATE OF SIGNATURE

JOINT TRENCH DETAILS  
 2403 & 2407 SAN PABLO AVE.  
 NEW BUSINESS  
 UD+P  
 CALIFORNIA  
 BERKELEY



PROJ. NO.: 21-162  
 SCALE: N.T.S.  
 PPI: K. ARATA  
 DRAWN BY: R. FALCON  
 PG&E QUALIFIED DESIGNER: M. WEBB  
 LAST UPDATED: 11-10-2021  
 DRAWING NO.: JT-3  
 SHEET: 3 OF 4



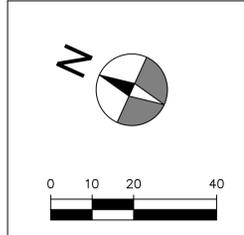
**PRELIMINARY  
 NOT FOR CONSTRUCTION**

**NOTE:**  
 PRIOR TO ENERGIZING THIS PROJECT A PSE/PUE WILL NEED TO BE RECORDED FOR ALL UTILITIES WITHIN THIS PROJECT. INCLUDING THE "WORKING SPACE" REQUIRED AROUND ALL EQUIPMENT. THE AREA MUST ALSO BE LEVEL.

SUBSTRUCTURE LOCATIONS MUST BE STAKED BY A LICENSED SURVEYOR PRIOR TO CONSTRUCTION. SEE CONSTRUCTION NOTES ON JOINT TRENCH NOTES SHEET (JT-2) REGARDING EXISTING CONDITIONS.

**THIS IS NOT A BID DOCUMENT**  
 THIS DRAWING HAS NOT YET BEEN REVIEWED BY UTILITY COMPANIES AND IS SUBJECT TO CHANGE.

**UTILITIES:**  
 PLEASE CONFIRM TIE IN LOCATIONS



DATE:	
REVISION	
DELTA NO:	



DATE OF SIGNATURE

**JOINT TRENCH INTENT  
 2403 & 2407 SAN PABLO AVE.  
 NEW BUSINESS**  
 UD+P  
 CALIFORNIA  
 BERKELEY

**Vizion Utility**  
 P A R T N E R  
 UTILITY ENGINEERS, CONSULTANTS & STREETLIGHT DESIGN  
 7001 STONERIDGE DRIVE, SUITE 200, PLEASANTON, CA 94688  
 Tel: (925) 862-1114

PROJ. NO: 21-162  
 SCALE: 1" = 20'  
 PPI: K. ARATA  
 DRAWN BY: R. FALCON  
 PQR QUALIFIED DESIGNER: M. WEBB  
 LAST UPDATED: 11-10-2021  
 DRAWING NO: JT-4  
 SHEET: 4 OF 4

**PLANT LEGEND - STREET & BUFFER TREES & SHRUBS**

Symbol	Qty	Botanical Name	Common Name	Size	Water Use	Ca. Native	Wildlife value
	1	Arbutus 'Marina'	Marina strawberry tree	24" box	Low	Ca. native	Attracts wildlife
	4	Hymenosporum flavum	Sweetshade	24" box	Medium		Attracts wildlife
	7	Melaleuca quinquinervia	Paper bark tea tree	15-gallon	Low		
		Thymus praecox	Mother-of-thyme	1 gallon	Low		

**PLAN NOTES**

- Proposed street trees shall be planted at grade.
- A certified Arborist will be contracted before the start of construction to review and prune the existing trees, as necessary, in anticipation of the building scaffolding.
- Prior to removing and/or pruning existing trees, appropriate permits will be obtained.



ARBUTUS 'MARINA'



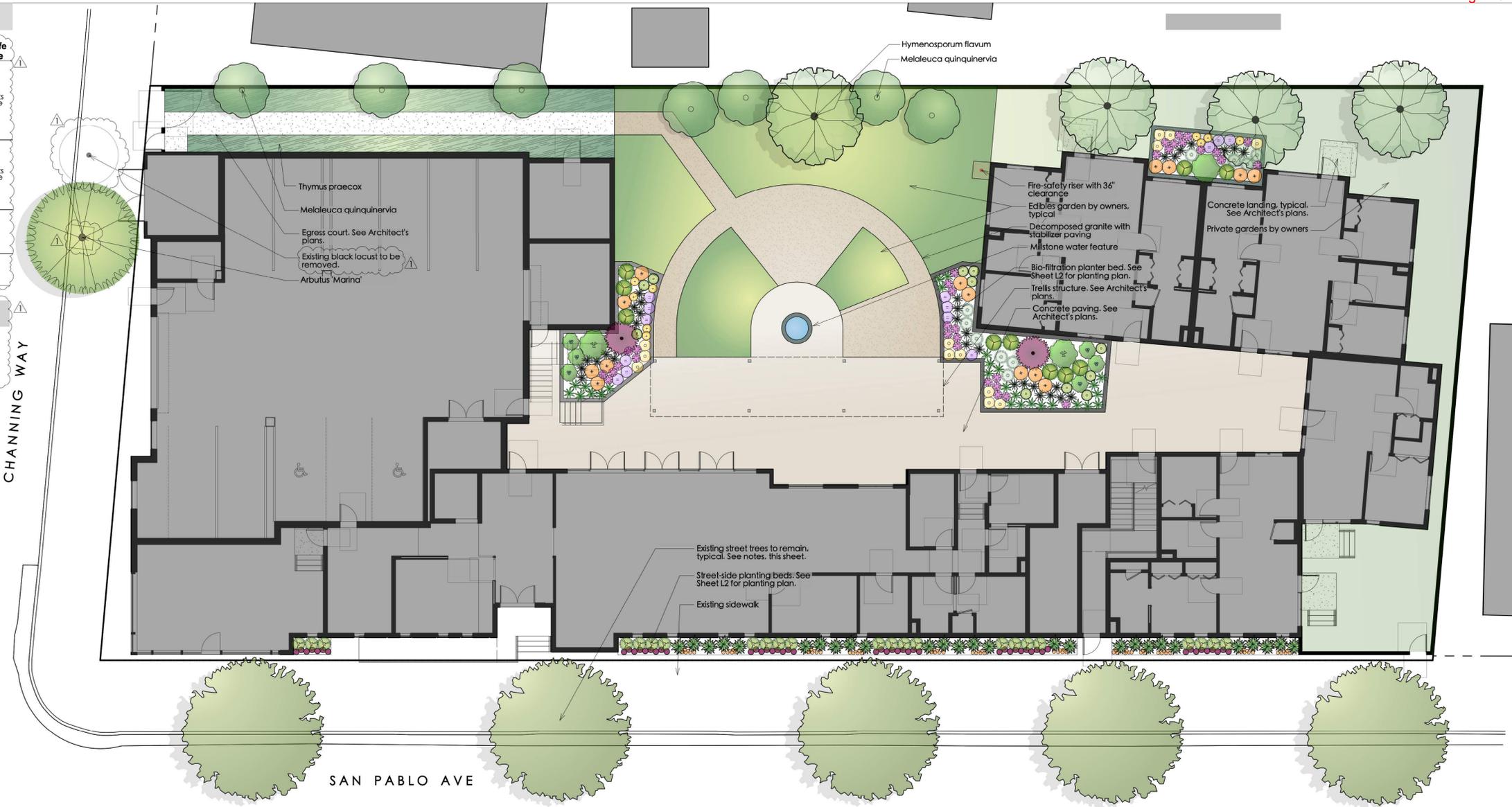
THYMUS PRAECOX



MELALEUCA QUINQUINERVIA



HYMENOSPORUM FLAVUM



**2 PRELIMINARY LANDSCAPE PLAN**  
 Scale: 1" = 10'-0"

**California MWELo Water Budget**

Zone Name / Number	Plant / Feature Type	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq ft)	ETAF x Area	Estimated Total Water Usage (ETWU)
Reference Evapotranspiration (Eto)*: 41.8								
* = For the Eto in your area, consult the California Department of Water Resources' Reference Evapotranspiration Table.								
<b>Regular Landscape Areas</b>								
Biofiltration	Other	0.1	Drip	0.81	0.123	19	2	61
Biofiltration Bed 1	Shrub	0.2	Drip	0.81	0.247	209	52	1,335
Biofiltration Bed 2	Other	0.2	Drip	0.81	0.247	352	87	2,255
Biofiltration Bed 3	Other	0.2	Drip	0.81	0.247	141	35	899
Buffer Planting	Other	0.2	Drip	0.81	0.247	322	79	2,059
Street-side planting	Other	0.1	Drip	0.81	0.123	336	41	1,075
Walkable groundcover	Other	0.2	Drip	0.81	0.247	555	137	3,549
						Totals: 1,933	433	11,233
<b>Special Landscape Areas*</b>								
Edibles gardens by owners	Other					1,604	1,604	41,580
						Totals: 1,604	1,604	41,580
						ETWU Total: 52,812 gal/yr		
						Maximum Applied Water Allowance (MAWA): 76,645 gal/yr		
<b>ETAF Calculations</b>								
<b>Regular Landscape Areas</b>								
Total ETAF x Area:	433							
Total Area:	1,933							
Average ETAF*:	0.22							
<b>All Landscape Areas</b>								
Total ETAF x Area:	2,038							
Total Area:	3,537							
Site-wide ETAF:	0.58							
* = Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.								
This budget is a tool to assist in the completion of the Water Efficient Landscape Worksheet required by the State of California.								

**MATERIALS IMAGES**



DECOMPOSED GRANITE WITH STABILIZER



MILLSTONE WATER FEATURE



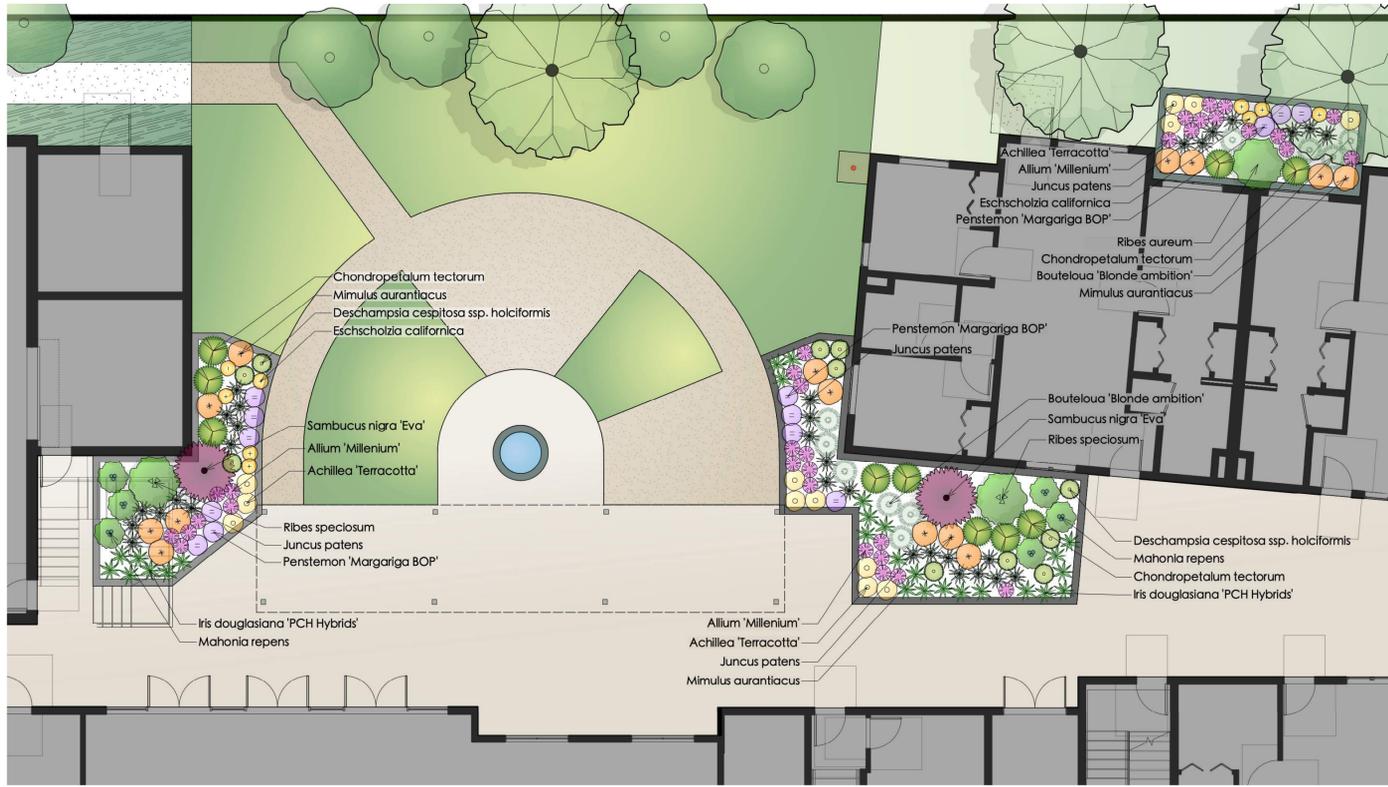
**karin kaufman**  
 LANDSCAPE ARCHITECT  
 www.karinkaufmann.net  
 530-559-3007  
 CALIFORNIA LICENSE # 5446

SUBMITTAL ENTITLEMENT  
 DATE 12/2/21

NO.	REVISIONS DESCRIPTION	DATE
1	PLAN CHECK COMMENTS	2/3/22

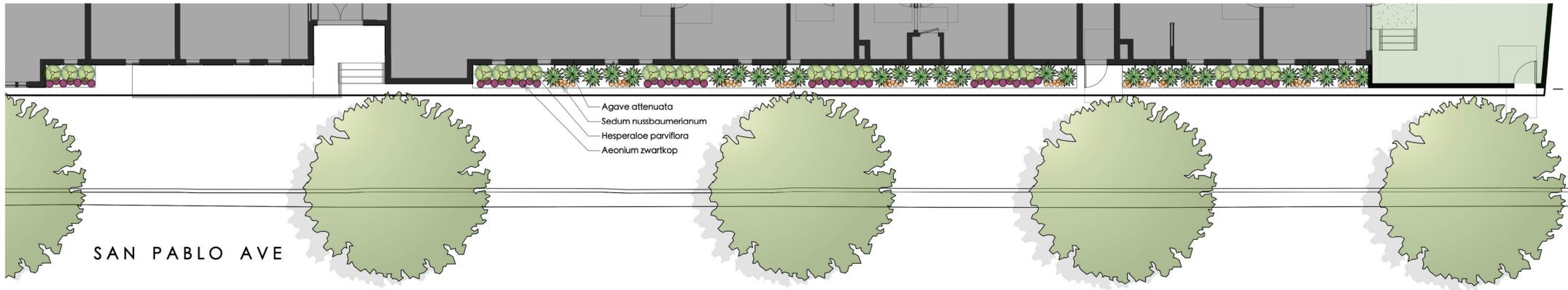
**PRELIMINARY LANDSCAPE PLAN**  
 MOSHAV BERKELEY  
 2403 SAN PABLO ROAD, BERKELEY, CA 95945

**L1**



1 BIO-FILTRATION PLANTERS  
 Scale: 1/8" = 1'-0"

Symbol	Qty	Botanical Name	Common Name	Scheduled Size	Water Use	California native	Wildlife value
	13	Achillea Terracotta'	Yarrow	1-gallon	Low	Ca. native	Attracts wildlife
	33	Allium 'Millenium'	Ornamental onion	1-gallon	Very low		Attracts wildlife
	10	Bouteloua 'Blonde ambition'	Blue grama grass	1-gallon	Low	Ca. native	
	10	Chondropetalum tectorum	Cape rush	1-gallon	Low		
	11	Deschampsia cespitosa ssp. holciformis	Pacific hair grass	1-gallon	Low	Ca. native	
	9	Eschscholzia californica	California poppy	1-gallon	Very low	Ca. native	Attracts wildlife
	27	Iris douglasiana 'PCH Hybrids'	PCH Hybrid iris	1-gallon	Low	Ca. native	
	32	Juncus patens	Blue rush	1-gallon	Low	Ca. native	
	6	Mahonia repens	Creeping Oregon grape	1-gallon	Low	Ca. native	Attracts wildlife
	14	Mimulus aurantiacus	Sticky monkeyflower	1-gallon	Very low	Ca. native	Attracts wildlife
	13	Penstemon 'Margarita BOP'	Beardtongue	1-gallon	Low	Ca. native	Attracts wildlife
	1	Ribes aureum	Black currant	5-gallon	Low	Ca. native	Attracts wildlife
	2	Ribes speciosum	Gooseberry	1-gallon	Low	Ca. native	Attracts wildlife
	2	Sambucus nigra 'Eva'	Black lace elderberry	5-gallon	Low	Ca. native	Attracts wildlife



2 STREET-SIDE PLANTERS  
 Scale: 1/8" = 1'-0"

Symbol	Qty	Botanical Name	Common Name	Scheduled Size	Water Use	Ca. native	Wildlife value
	53	Aeonium zwartkop	Aeonium	1-gallon	Low		Attracts wildlife
	27	Agave attenuata	Fox Tail Agave	1-gallon	Low		
	23	Hesperaloe parviflora	Red yucca	1-gallon	Low		Attracts wildlife
	70	Sedum nussbaumerianum	Stonecrop	1-gallon	Low		



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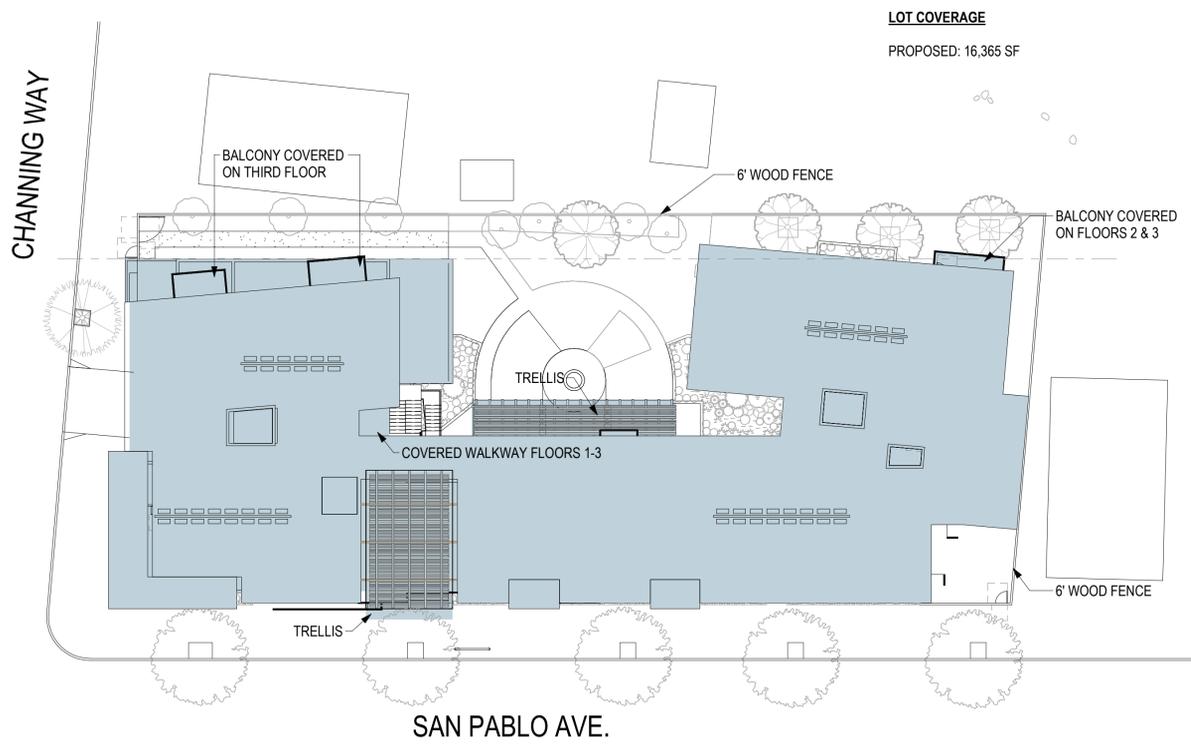
**PRELIMINARY LANDSCAPE PLAN**  
 MOSHAV BERKELEY  
 2403 SAN PABLO ROAD, BERKELEY, CA 95945

**L2**

NEIGHBOR SIGNATURES PRINT						
NAME (PRINTED)	SIGNATURE	ADDRESS	CHECK ONE	HAVE NO OBJECTIONS	HAVE OBJECTIONS (PLEASE STATE BRIEFLY)	HAVE NO COMMENT
			RENTFR			
Olga Pasillas	<i>[Signature]</i>	2400 SAN PABLO AVE	✓	✓	2419 A	
Manuel Nolasco	<i>[Signature]</i>	2400 SAN PABLO AVE	✓	✓	2423 B	
MARIA	<i>[Signature]</i>	2421 SAN PABLO AVE	✓	✓	2421 A	
Amaru	<i>[Signature]</i>	2421 SAN PABLO AVE	✓	✓	2421 B	
		2425 SAN PABLO AVE			2425 A	Should plan to be done but as English didn't sign not home
		2425 SAN PABLO AVE			2425 B	
Amarisil Kaur	<i>[Signature]</i>	2419 B CHANNING WAY	✓	✓	2425 B	
		2419 B CHANNING WAY			2419 B	Not home
		2410 BYRON ST				
		2414 BYRON ST				
		2418 BYRON ST				
		2422 BYRON ST				

NEIGHBOR SIGNATURES PRINT						
NAME (PRINTED)	SIGNATURE	ADDRESS	CHECK ONE	HAVE NO OBJECTIONS	HAVE OBJECTIONS (PLEASE STATE BRIEFLY)	HAVE NO COMMENT
			RENTFR			
Steven Smith	<i>[Signature]</i>	2400 SAN PABLO AVE	✓	✓		
Marlon Schmidt	<i>[Signature]</i>	2416 SAN PABLO AVE	✓	✓		
		2421 SAN PABLO AVE				
		2434 SAN PABLO AVE				
		2396 SAN PABLO AVE	✓	✓		
		2397 SAN PABLO AVE	✓	✓		
		1108 CHANNING WAY	✓	✓		
		1108 CHANNING WAY				
		2410 BYRON ST				
		2414 BYRON ST				
		2418 BYRON ST				
		2422 BYRON ST				
Douglas Smith	<i>[Signature]</i>	2422 BYRON ST	✓	✓		
MART CRUZ	<i>[Signature]</i>	2416 SP	✓	✓		

*Note: Paul Randall at 1108 signed on the wrong line. #108 did not answer the door or was not home. I was mistaken. Paul did sign on the correct line.*



1 LOT COVERAGE  
 A100 3/64" = 1'-0"

07 NEIGHBORHOOD OUTREACH  
 SCALE: NTS  
 ISSUE DATE: 11/19/21

07 NEIGHBORHOOD OUTREACH  
 SCALE: NTS  
 ISSUE DATE: 11/19/21

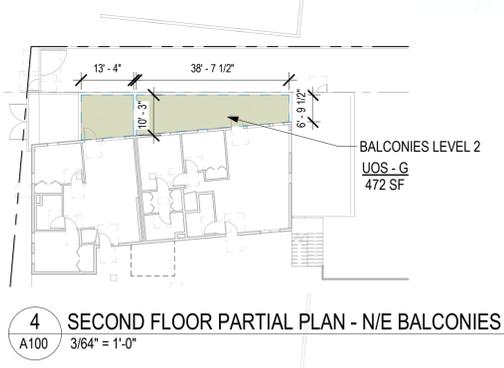
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BERKELEY MOSHAV  
 2403 - 2407 SAN PABLO AVE  
 BERKELEY, CA



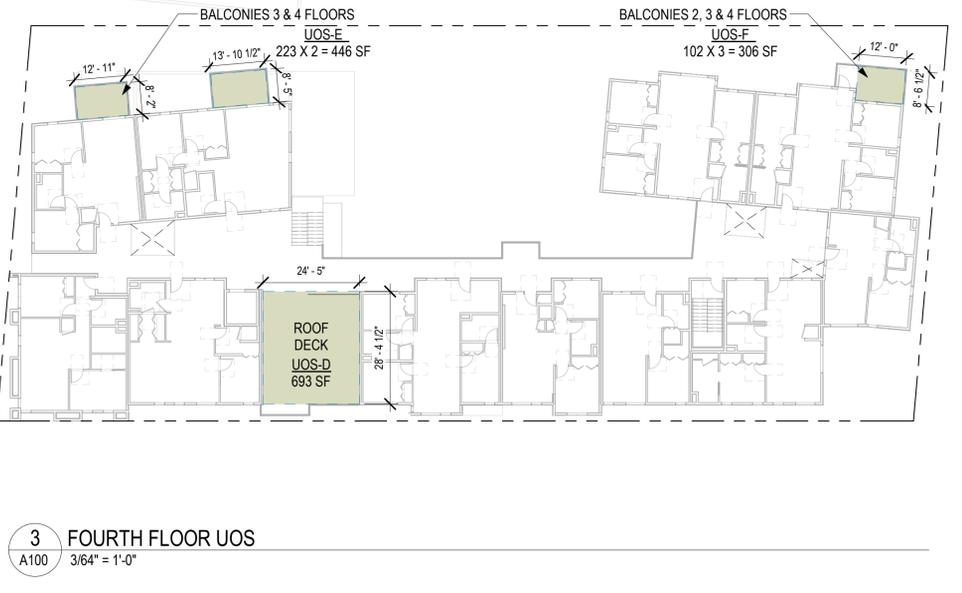
ENTITLEMENT SET



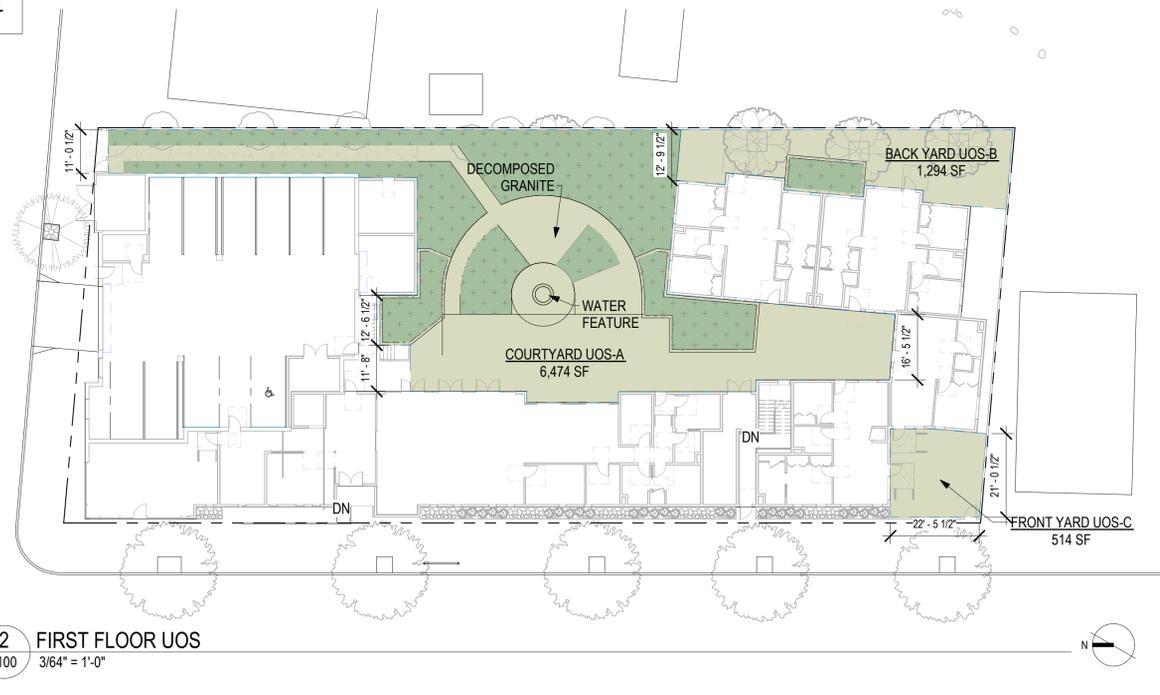
4 SECOND FLOOR PARTIAL PLAN - N/E BALCONIES  
 A100 3/64" = 1'-0"

DEVELOPMENT REQUIREMENTS - USABLE OPEN SPACE			
U.O.S. REQ'D:	40	SF PER DWELLING UNIT	1,560
			<b>TOTAL REQ'D: 1,560</b>
U.O.S. PROVIDED:	(40% MIN.) LANDSCAPED:		624
	LOCATION	DESCRIPTION	SF
	UOS-A	COURTYARD	6,474
	UOS-B	BACK YARD	1,294
	UOS-C	FRONT YARD	514
	UOS-D	ROOF DECK	693
		<b>TOTAL COMMON</b>	<b>8,975</b>
		<b>TOTAL LANDSCAPED</b>	<b>2,738</b>

PRIVATE BALCONIES AND PATIOS SATISFY THE 40SF REQUIREMENT ONLY FOR THE UNITS SHOWN IN THE PLANS BELOW FOR A TOTAL OF 10,199 SF.



3 FOURTH FLOOR UOS  
 A100 3/64" = 1'-0"



2 FIRST FLOOR UOS  
 A100 3/64" = 1'-0"

PROJECT ISSUE RECORD:

NO.	DATE	DESCRIPTION

PROJECT #: MOS01  
 ISSUE DATE: 03/11/22  
 SITE PLAN

A100













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**BERKELEY  
 MOSHAV**  
 2403 - 2407 SAN PABLO AVE  
 BERKELEY, CA



**ENTITLEMENT  
 SET**



**2 SOUTH ELEVATION**  
 A202 1/8" = 1'-0"

**MATERIALS LEGEND:**

- C-01 CERAMIC SIDING, CERACLAD RUSTIC WOOD, COLOR: COFFEE
- C-02 CEMENT SIDING, HARDIE PANEL WITH HARDIE TRIM BATTENS, COLOR: KELLY MOORE KM5156-5 THAI BASIL
- C-03 CEMENT SIDING, HARDIE PANEL, COLOR: BM 2062-20 PATRIOT BLUE
- M-01 STOREFRONT WINDOW SYSTEM, ANODIZED ALUMINUM, COLOR: BLACK
- M-02 PAINTED GALVANIZED MEAL, COLOR: BLACK
- M-03 PAINTED GALVANIZED METAL, COLOR: MB 2020-10 BUMBLE BEE YELLOW
- M-04 PAINTED GALVANIZED METAL, COLOR: BM CW-695 LAMPBLACK
- P-01 CEMENT PLASTER, 16/20 MEDIUM SAND FLOAT FINISH, COLOR: BM OC-19 SEAPEARL
- P-02 CEMENT PLASTER (PARGE COAT), COLOR: DARK COOL GREY BM 1596 NIGHTFALL
- P-03 CEMENT PLASTER (PARGE COAT), COLOR: MEDIUM DARK COOL GREY BM CSP-60 CITY SHADOW
- P-04 CEMENT PLASTER, 16/20 MEDIUM SAND FLOAT FINISH, COLOR: BM 2064-20 PATRIOT BLUE
- P-05 CEMENT PLASTER, 16/20 MEDIUM SAND FLOAT FINISH, COLOR: KELLY MOORE KM5156-5 THAI BASIL
- T-01 PORCELAIN EXTERIOR GRADE TILE
- W-02 WOOD GUARDRAIL, COLOR: NATURAL CLEAR STAIN
- W-02 WOOD HORIZONTAL LAP SIDING, COLOR: NATURAL CLEAR STAIN

**BUILDING ELEVATION**  
 1/8" = 1'-0"



**1 EAST ELEVATION**  
 A202 1/8" = 1'-0"

PROJECT ISSUE RECORD:

NO.	DATE	DESCRIPTION

PROJECT #: MOS01  
 ISSUE DATE: 03/11/22  
 BUILDING ELEVATIONS

**A202**









Berkeley Moshav Co-Housing  
2403- 2407 San Pablo Ave, Applicant Statement  
February 04, 2022

## Project Overview

StudioKDA is happy to present this proposal for a housing and retail development at 2403-07 San Pablo Ave. The proposed project is a 4-story mixed-use building on an existing underdeveloped lot just south of Channing Way. The site is zoned within the West Berkeley Commercial (C-W) district and adheres to all Zoning requirements of stories (4), height (<50'), FAR (3), setbacks, useable open space, parking and permitted uses.

## Project Benefits

The development of this project will help fill the demand for housing in the area, with a 39-unit apartment building of a character more consistent with recent multifamily developments in the surrounding San Pablo area. The project fulfills the goals of the C-W zoning district, which are to encourage appropriately intense development in underutilized portions of commercial streets and to provide opportunities for a pedestrian-oriented neighborhood (23E.64.020.G & H).



The Co-housing community (private apartment homes and extensive shared communal facilities) seeks to provide an environment that fosters interaction and creates a sense of community for the residents. The ground floor activates the street with a resident lobby and a small retail space that faces San Pablo. Car and bike parking access is off of Channing way, preventing overcrowding and traffic on the main Avenue.

With a total of 82 bedrooms, the proposed project will bring new inhabitants to the area, who will contribute to the vitality of the San Pablo shopping and dining district. The new ground floor retail space will also preserve the mixed-use fabric and enhance safety in the area. We believe the project, with its wide range of offerings benefits the community and strengthens the surrounding community area.

## Use Permits Requested

1. **23E.64.030 (UP)** – Mixed Use Development if 20,000 sq. ft. or more floor area
2. **23E.64.030 (UP)** – Dwelling Units

## Administrative Use Permit

1. **23.322.070.d (AUP)** - Provide more than 19 residential Automobile Parking spaces

Berkeley Moshav Co-Housing  
2403- 2407 San Pablo Ave, Applicant Statement  
February 04, 2022

## **Project Description**

The project includes the demolition of the old Omega Salvage Store and misc. out-buildings; which has relocated across the street. The proposed structure will include 4 stories of residential condominiums, ground floor lobby and dining space, a parking garage with 24 automobile parking spaces and a 603 square foot retail space facing San Pablo Avenue. The project includes 39 secure bicycle storage spaces.

The project has a gross floor area of 53,013 square feet, with 39 apartments ranging from 1-bedroom to 3-bedroom units. The proposed structure is 50 feet high and has an FAR of 3. The project includes private patios and balconies, as well as common open space at the shared ground floor courtyard and open roof deck on the fourth floor.

## **Architectural Design & Program**

The west façade along San Pablo includes a prominent pedestrian entrance, a “corner element” that address the urban street corner at Channing and San Pablo and bay windows that provide relief and “rhythm” along the residential façade on the upper floors. The ground floor vertical “rhythm” contrasts with the more horizontal movement above of the residential floors.

The east façade of the building uses open air circulation for access to the individual dwelling units and the building mass surrounds a generous ground floor central courtyard. The future residents are anticipating shared garden and lounge space as part of the future courtyard. A common outdoor terrace on the top floor (4<sup>th</sup>) faces San Pablo Ave., with views of the bay and San Francisco beyond.

The buildings primary façades face East and West taking advantage of the views of hills and views of the bay.

The primary pedestrian building entrance will be from San Pablo Ave, and will open onto a residential lobby with elevator, stairs and mail package lockers. A small retail space for a future commercial tenant, (to be determined) is located on the prominent north-west corner of the site.

The parking garage will be accessed from a driveway entering via Channing Way. There will be 24 parking spaces, including 1 accessible space and 2 designated commercial spaces. The garage does not include any turns or ramps of significant slope, and therefore lends itself well for use of cars and bicycles.

The remainder of the ground floor includes a secure bike parking room with spaces for 39 bicycles. An indoor and outdoor kitchen with access to a lounge and dining room that sits up to 72 people comfortably. Twelve (12) of the residential units will have a private outdoor patio or balcony.

The 39 unit project will offer (7) one-bedroom, (21) two-bedroom and (11) three-bedroom units. All dwelling units are open to a central hallway that overlooks an open air courtyard. Common usable open space also includes a west-facing shared rooftop terrace, with views of San Francisco to the west.

Berkeley Moshav Co-Housing  
2403- 2407 San Pablo Ave, Applicant Statement  
February 04, 2022

### Required Use Permit Findings

**Findings to Authorize Approval of Use Permits – Section 23B.32.040.** This section authorizes the approval of Use Permits upon finding that the establishment, maintenance or operation of the use, or construction of a building, will not be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the area or neighborhood or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood or to the general welfare of the City. Approval of a Use Permit also requires making the findings of the District.

**Response:** The construction, establishment, maintenance, and operation of the proposed project will not be detrimental to the health, safety, peace, morals, comfort, or general welfare of the neighborhood or the City as a whole. The proposed project replaces one underdeveloped building in disrepair to provide housing close to transit areas. New residents from the project will shop and use services along San Pablo Ave and the greater Westside neighborhood, supporting the economic vitality of existing local businesses. Furthermore, the proposed retail as well as raised planters will help create a buffer between the building and streetscape improving the pedestrian environment along San Pablo Ave.

**Findings to demolish an existing non-residential building - Section 23.326.070.D:** 1. The demolition will not be materially detrimental to the commercial needs and public interest of any affected neighborhood or the City of Berkeley; and 2. The demolition: (a) Is required to allow a proposed new building or other proposed new use; (b) Will remove a building which is unusable for activities which are compatible with the purposes of the district in which it is located or which is infeasible to modify for such uses; (c) Will remove a structure which represents an inhabitable attractive nuisance to the public; or (d) Is required for the furtherance of specific plans or projects sponsored by the City of Berkeley or other local district or authority upon a demonstration that it is infeasible to obtain prior or concurrent approval for the new construction or new use which is contemplated by such specific plans or projects and that adhering to such a requirement would threaten the viability of the plan or project. (Ord. 7787-NS § 2 (Exh. A), 2021)

**Response:**

1. The demolition will not be materially detrimental to the commercial needs and public interest of any affected neighborhood or the City of Berkeley. The existing buildings being demolished are of no historical importance and are not currently being used for their intended commercial use. The proposed project will replace the currently empty office spaces with a new retail space at the corner of San Pablo Ave and Channing Way.
2. The demolition is required to allow a proposed new building. This project develops an underutilized site with much needed housing and commercial opportunities.

**Findings for a project in the CW district & new floor area in the CW district- Section 23.204.140.F:** To approve an AUP or Use Permit for a project in the C-W district, the review authority must make the findings in Section 23.406.040 (Use Permits) and find that the proposed use or structure: 1. Is consistent with the purposes of the district; 2. Is compatible with the surrounding uses and buildings; 3. Complies with the adopted West Berkeley Plan; 4. Supports an increase in the continuity of retail and service

Berkeley Moshav Co-Housing  
2403- 2407 San Pablo Ave, Applicant Statement  
February 04, 2022

facilities at the ground level to the degree feasible; 5. Does not substantially degrade the existing urban fabric of the street and area; 6. If the project includes the construction of new floor area, provides an intensity of development which does not underutilize the property; 7. Meets any applicable performance standards for off-site impacts; and 8. Does not exceed the amount and intensity of use that can be served by available traffic capacity and potential parking supply. (Ord. 7787-NS § 2 (Exh. A), 2021)

**Response:** The proposed project is consistent with the purpose of the district, CW is meant to increase the opportunities for development of housing in commercial areas to support local retailing and use of transit lines and opportunities for mixed use projects combining pedestrian-oriented neighborhood-serving uses with mixed income housing in locations abutting residential districts. The proposed project will add density to an under-utilized site to create much-needed housing opportunities. Additionally, the project design was developed specifically and intentionally to align with its existing surrounding buildings and new housing developments proposed on San Pablo Ave. Designed and proposed by existing residents, the proposed project adds to the street fabric and provides numerous accessible open spaces for the tenants. Additionally provides more parking spaces than required and will not congest street parking on San Pablo Ave. Therefore the project will not be in any way detrimental to the area or neighborhood or the city as a whole.

#### **Required Administrative Use Permit findings**

**Findings to authorize excess off-street parking – Section 23.322.070.D:** (a) Trips to the use or uses to be served, and the apparent demand for additional parking, cannot be satisfied by the amount of parking permitted by this section, by transit service which exists or is likely to be provided in the foreseeable future, or by more efficient use of existing on-street and off-street parking available in the area; (b) The anticipated residents of the proposed project have special needs or require reasonable accommodation that relate to disability, health or safety that require the provision of additional off-street residential parking. (Ord. 7787-NS § 2 (Exh. A), 2021)

**Response to (b):** Existing and future planned Co-housing populations tend to include a disproportionate number of elderly seniors, with special needs necessary to maintain an independent lifestyle. Typically these condominium co-housing seniors require automotive use at a higher rate than conventional tenants. With limited alternative means (they typically don't bike or scooter as much for example) they are more dependent on private vehicles. Our opinion is a modest 4 parking space addition to the maximum parking allowed is a reasonable adjustment considering their special needs.

The real estate parking standards for condos are typically listed as at least one space per condominium. While the recent council actions on reducing parking are commendable, the council votes were based on rentals, not condominiums (given the almost complete lack of built condos over the last 10 years).

Berkeley Moshav Co-Housing  
2403- 2407 San Pablo Ave, Applicant Statement  
February 04, 2022

## **CEQA**

The proposed project is likely categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code Section 21000, et seq. and California Code of Regulations, Section 15000, et seq.) pursuant to Section 15332 of the CEQA Guidelines (“In-Fill Development Projects”).

## **Neighborhood Meeting and Community Outreach**

A neighborhood meeting was held on Monday December 6 , 2021 at the project site located at 2403 San Pablo Ave. at 4:30 PM. Invitations were sent to all property owners and residents within 300 feet of the project site. The meeting was well attended and the neighbors were, almost to a person, excited to see the proposed building as planned and understood that this site, with a state density bonus, could support a 6 story structure with up to 82 units of housing that would fill almost the entire site. Neighbors were also pleased that this was not a speculative development, but was assembled by a core group of potential future residents.