



D E S I G N
R E V I E W
C O M M I T T E E
S T A F F R E P O R T

For Committee Decision
SEPTEMBER 15, 2022

747 (787) Bancroft Way

FINAL DESIGN REVIEW

Design Review #DRCF2022-0005 to demolish six existing buildings and construct a 159,143 square-foot, three-story building containing 124,539 square feet of research and development space and 34,604 square feet of light manufacturing space, and a surface parking lot containing 76 off-street parking spaces and five loading spaces.

I. Introduction

This project is located on the Northwest corner of Bancroft and Fifth in the MU-LI district of West Berkeley. The project site merges four parcels for the construction of a three-story research and development building.

The demolition of six vacant one-story non-residential structures went before the Landmarks Preservation Commission on March 3, 2022 where the Commission vote to include a Use Permit condition that photo documentation of the site be conducted prior to demolition and those photos be deposited into the established repositories for evidence. The project was before the Zoning Adjustments Board on June 23, 2022 where it was awarded its Use Permit.

The project was last before the Design Review Committee as a Preliminary Design Review on May 19, 2022 where it received a favorable recommendation ZAB. It is returning this month for Final Design Review, where the Committee will discuss the final building details and landscape design.

II. Background

This project proposes a 159,143 square-foot, three-story research and development building and a surface parking lot containing 76 parking spaces, referred to as the West Block (Phase III). The project includes:

- An approximately 6,000 square-foot outdoor plaza at northeast portion of the property.

- Six-foot tall security fence and retaining walls at the northeast, south and west portions of the property.
- Four terraces totaling 2,592 square feet on the second and third floors facing Fourth Street and Bancroft Way.
- Vehicular access through two aisles on Bancroft Way: one for access to two loading spaces and one for access to a surface parking lot with capacity for 76 parking spaces and five loading spaces.
- A total of 88 bicycle parking spaces would be provided: 20 short-term spaces would be located on Fourth Street and 68 long-term spaces would be located in a bicycle room on the first floor, with controlled access from the surface parking lot at the rear of the building.
- 69 new trees would be planted (60 trees in the parking lot and nine in the plaza), as well as 11 street trees: 8 along Fourth Street and 3 along Bancroft.

III. Project Setting

A. Neighborhood/Area Description:

The 3.02-acre project site for all project phases is located in West Berkeley directly east of the City of Berkeley Aquatic Park across the Union Pacific Railroad (UPRR) tracks. Specifically, the site is bisected by Fourth Street and generally bordered by Allston Way to the north, Fifth Street to the east, Bancroft Way to the south, and the UPRR corridor to the west. Land uses in West Berkeley include manufacturing, wholesale, and industrial along with commercial and residential uses. The Project site is located south of the Fourth Street commercial and is surrounded by various industrial and commercial uses. Building heights in West Berkeley consist of one- and two-story residential uses, generally east of Fifth Street, and up to six-story mixed-use residential buildings adjacent to the University Avenue overpass.

B. Site Conditions:

The project site comprises seven parcels and nine existing buildings across two contiguous blocks, referred to as the “East Block” and the “West Block”. The project in this application is located in the “West Block” and consists of four parcels containing six existing vacant one-story buildings totaling 80,234 square feet with addresses at 701, 703, 705, 705A, and 747 Bancroft Way (light manufacturing, warehouse, warehouse-based non-store retail) and 2220 Fourth Street (warehouse-based non-store retail), as well as a surface parking lot containing 26 spaces.

Table 1: Land Use Information

Location		Existing Use	Zoning District	General Plan Designation
Subject Property		Warehouse-based non-store retail (vacant), warehouse and light manufacturing (vacant)	MU-LI	M – Manufacturing
Surrounding Properties	North	Light manufacturing (vacant)		
	South	Light manufacturing		
	East			
West	Research and Development (600 Addison campus, recently approved)			

IV. Summary from May 19, 2022 DRC Meeting

***Preliminary Design Review received a favorable recommendation as presented with the following direction for Final Design Review (FDR).
MOTION: (Kahn, Woo) VOTE (6-0-0-1) Pink – Absent.***

Recommendations

- *Include options for the canopy design at FDR with variation in the intermediate members.*
- *Mid-block crossing option to be reviewed at FDR for recommendation to Public Works.*
- *Confirm Berkeley Sedge is a native.*

ZAB / Public Works Recommendations

- *Recommend ZAB require bird safe glazing that extend to all floors on all elevations, or a review from a qualified professional with their recommendations for bird safety.*
- *Recommend that an amenity space be added adjacent to the North plaza.*
- *Recommend ZAB require gender neutral bathrooms are included.*
- *DRC recommends permeable pavers in the strips between the street trees. Applicant shall report on Public Works approval at FDR.*

V. Issues and Analysis

A. Consistency with Approved Use Permit Design

An 8 ½" x 11" copy of the approved Use Permit drawings is attached for reference. This design submittal is consistent with approved Use Permit design.

B. Current Submittal includes:

- Plans, exterior elevations, building sections;
 - Canopy has been redesigned to address Committee comments.
 - An additional amenity space has been added adjacent to the North plaza.
- Construction details, wall sections, color and material palette; and
 - Bird safe glass is now specified on all facades.
 - Although plan and section details of the east elevation are included in the drawings set, additional exterior details that are in the building permit set will be presented at the meeting.
- Landscape and planting plans, as well as construction details.
 - Permeable pavers have been approved by Public works between the tree wells and the curb on Fourth Street.

C. Issues for Discussion:

- Building Details
- Landscape Plan / Final Plant Palette
- Colors and Materials

VI. Recommendation

Staff recommends that the Committee discuss the issues outlined above and approve Final Design Review with staff follow up as necessary.

Attachments:

1. Project Plans, received August 31, 2022
2. Applicant Response to DRC Comments, received August 31, 2022
3. Approved Use Permit Plans, approved June 23, 2022

Staff Planner: Anne Burns, aburns@ci.berkeley.ca.us, (510) 981-7410



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	USE PERMIT RESUBMITTAL	2021.08.13
	USE PERMIT RESUBMITTAL	2021.09.13
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	ZONING ADJUSTMENT BOARD MEETING	2022.06.23
	FINAL DESIGN REVIEW COMMITTEE	2022.09.15

Key Plan:

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Sheet Name:
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Project No.:	220175	Sheet No.:	GP0.00.00
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Scale:			

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FINAL DESIGN REVIEW COMMITTEE
 SEPTEMBER 15, 2022

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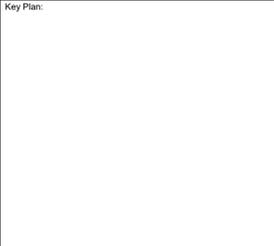
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	100% DESIGN DEVELOPMENT	2021.11.05
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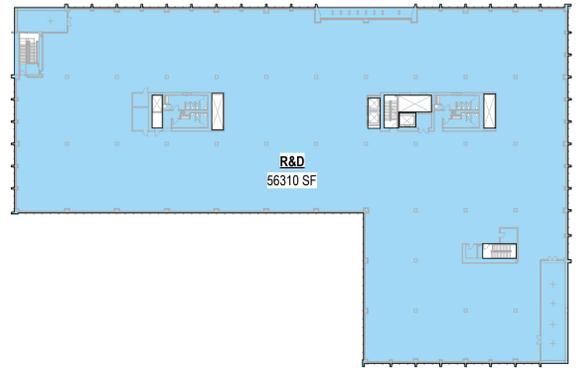


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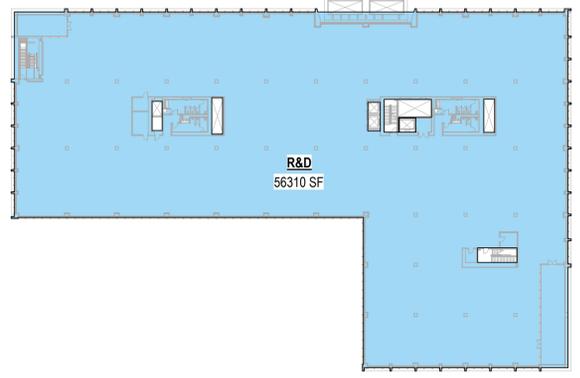
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LAND USE AREAS

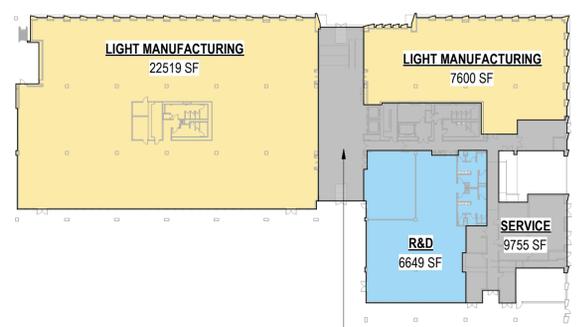
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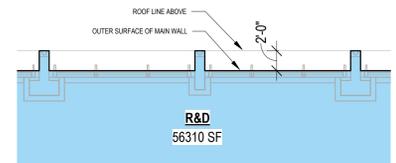
LEVEL 03 LAND USE 3
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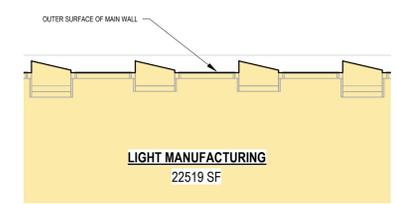
LEVEL 02 LAND USE 2
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LEVEL 01 LAND USE 1
SCALE: 1" = 50'-0"



LEVEL 02-03 AREA BOUNDARY DETAIL 5
SCALE: 1/8" = 1'-0"



LEVEL 01 AREA BOUNDARY DETAIL 4
SCALE: 1/8" = 1'-0"

Land Use Area Summary

ALL LAND USE AREAS ARE CALCULATED AS GROSS FLOOR AREA ACCORDING TO BMC SECTION 23F.04.010

Level	R&D	LM	Service Towards LM	Service Towards R&D	Total Service	Total
Roof						0
Level 03	56,310					56,310
Level 02	56,310					56,310
Level 01	6,649	30,119	4,485	5,270	9,755	46,523
Subtotal	124,539	34,604				159,143
Area Counted Toward FAR:						159,143

- GENERAL NOTE:
- LOCATION OF LIGHT MANUFACTURING AREA WILL BE PLACED AS NEEDED FOR INITIAL LEASE-UP
 - REQUIRED PROTECTED AREA WILL BE MAINTAINED
 - ALL LAND USE AREAS ARE CALCULATED AS GROSS FLOOR AREA ACCORDING TO BMC SECTION 23F.04.010
 - SEE AREA CALCULATION METHODOLOGY DIAGRAMS FOR CALCULATION METHOD



VIEW FROM 4TH AND BANCROFT: EXISTING



VIEW FROM 4TH AND BANCROFT: PROPOSED



VIEW FROM 4TH STREET: EXISTING



VIEW FROM 4TH STREET: PROPOSED



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Key Plan:

Seal & Signature:

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Sheet Name:
PHOTO SIMULATIONS AND VISUALIZATION

Project No.: 220175
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VIEW FROM RAILROAD CROSSING: EXISTING



VIEW FROM RAILROAD CROSSING: PROPOSED



VIEW FROM RAILROAD CROSSING: EXISTING



VIEW FROM WEST: PROPOSED



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VIEW FROM BANCROFT WAY: EXISTING



VIEW FROM BANCROFT WAY: PROPOSED



VIEW FROM 4TH STREET: EXISTING



VIEW FROM 4TH STREET: PROPOSED



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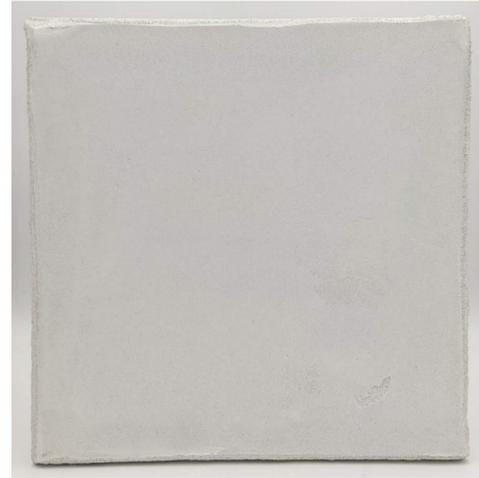
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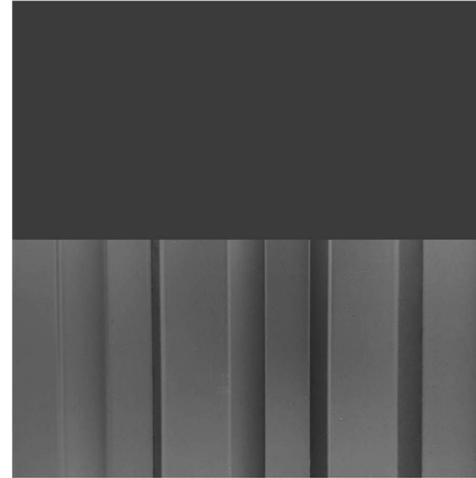
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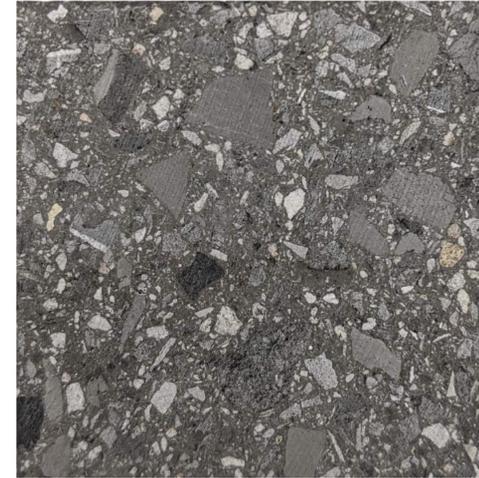
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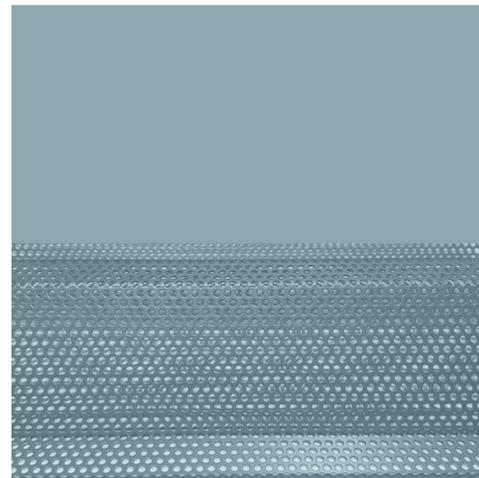
PLA-1
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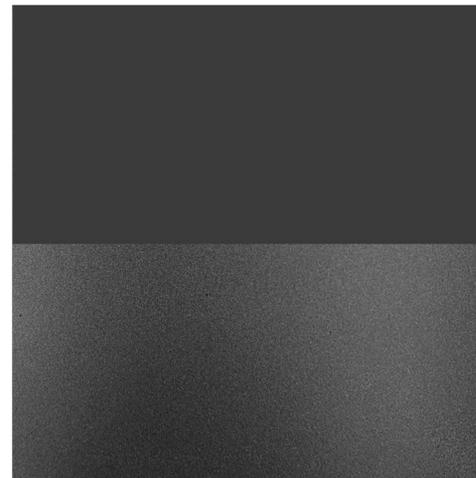
MTL-4 WITH FIN 1
 CORRUGATED METAL PANEL IN CHARCOAL GRAY



CPAV-1
 PRECAST UNIT PAVER



MTL-5 WITH FIN-2
 CORRUGATED AND PERFORATED METAL PANEL IN PATINATED COPPER



MTL-1 WITH FIN-1
 ALUMINUM PANEL IN CHARCOAL GRAY



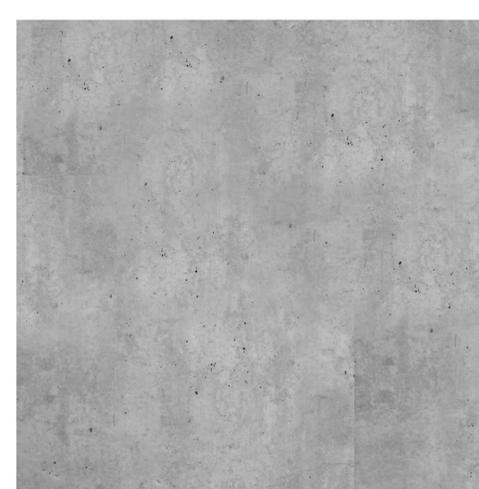
AC-2
 CAST-IN-PLACE CONCRETE WITH BOARD-FORMED FINISH



MTL-1 WITH FIN-2
 ALUMINUM PANEL IN PATINATED COPPER



GL-1
 INSULATED GLASS WITH BIRD-SAFE CERAMIC FRIT



AC-1
 CAST-IN-PLACE CONCRETE WITH SMOOTH FINISH

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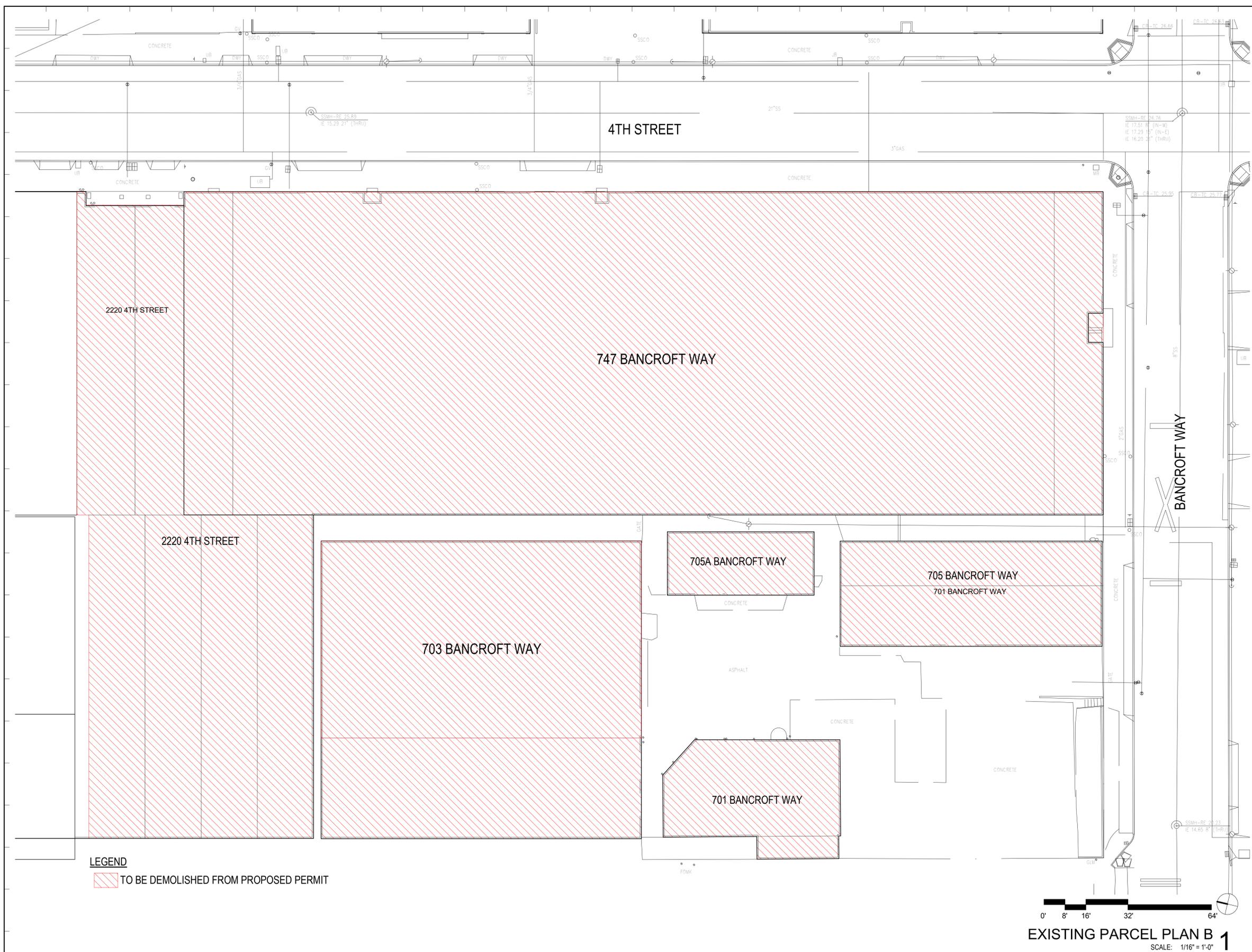
Key Plan:

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Sheet Name:
EXISTING PARCEL DEMOLITION PLAN

Project No.: 220175
 Sheet No.: GP0.02.01
 Drawn By: Author
 Checked By: Checker
 Scale: 1/16" = 1'-0"



LEGEND
 TO BE DEMOLISHED FROM PROPOSED PERMIT

0' 8' 16' 32' 64'
EXISTING PARCEL PLAN B 1
 SCALE: 1/16" = 1'-0"

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SITE PHOTOGRAPHS OF BUILDINGS TO BE DEMOLISHED

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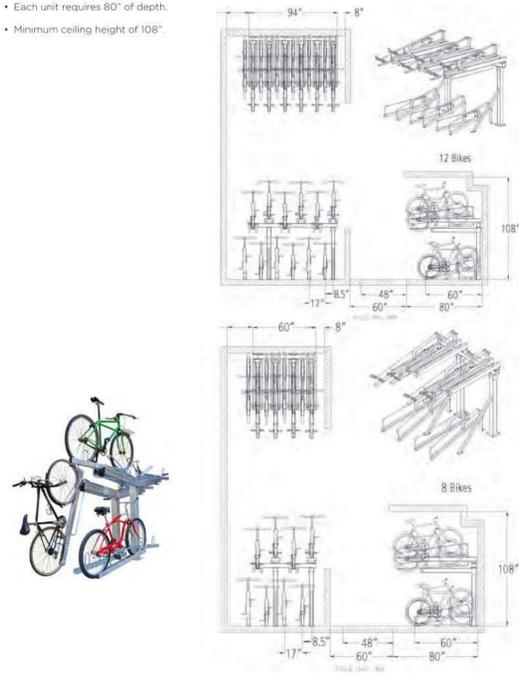
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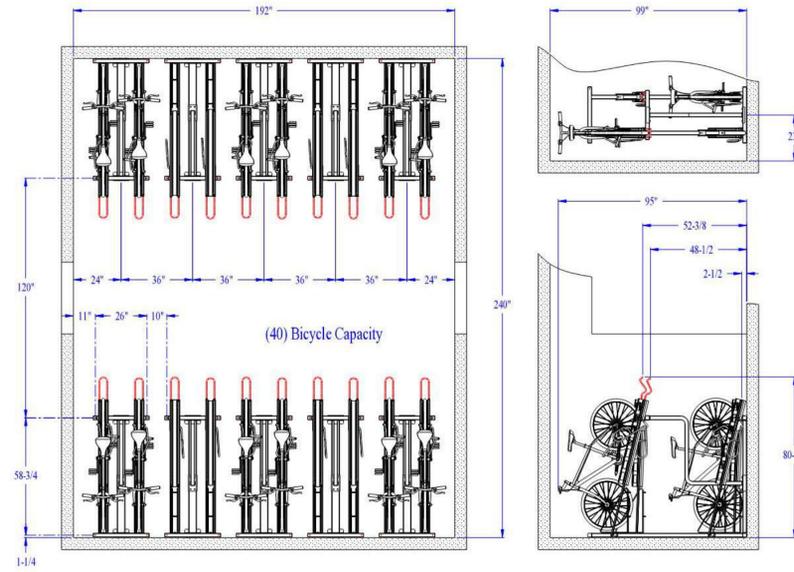
Appendix F: Bike Parking

HORIZONTAL, TWO-TIERED PARKING RACK

- Lift-assist top tray, modular/stacking
- Recommended access aisle of 60"; minimum access aisle of 48".
- Each unit requires 80" of depth.
- Minimum ceiling height of 108".



01 BICYCLE LAYOUT
(EXCERPT FROM BERKELEY BICYCLE PLAN 2017)



02 BICYCLE PARKING SPECIFICATION

9/10/21, 3:53 PM Double Tier Bike Racks - 2-Tier Quad Hi-Density Bike Rack - CycleSafe



Home > Secure Bike Parking > Bike Racks > Quad Hi-Density Bike Rack



Quad Hi-Density Bike Rack

Our Quad Hi-Density Bike Rack™ is a double-tier bike rack offering space-efficient, two-tier bike parking. Easy to load, simply place bike into the innovative wheel guide and roll along the channel to secure the wheel and frame in place. Bicycles can be locked with a U-lock compatible pivot locking bar for added security.

Each double-tier bike rack allows two-tier bike parking to securely store four bicycles. The modular design allows for one- or two-sided capacity with multiple configurations to customize for any location. Quad Hi-Density double-tier bike racks are easy to assemble, and constructed with zinc primer TGIC polyester powder coat finish steel tubing and UV plastic wheel gutters for lasting durability.

With minimal moving parts, our double-tier bike rack design also increase access aisles, with less maintenance or liability concerns associated with movable tray racks. This innovative

<https://cyclesafe.com/bike-parking/bike-racks/hi-density-bike-rack/>

1/4

03 BICYCLE PARKING SPECIFICATION

NOTE: SPECIFICATION CONFORMS WITH LONG TERM BICYCLE PARKING STANDARDS FOUND IN BERKELEY BIKE PLAN 2017, PAGE 119

FIXIT

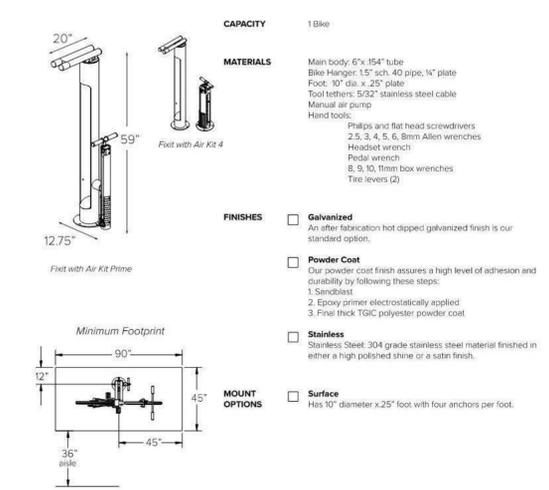


FINISH OPTIONS

Galvanized	Stainless	Powder Coat			
		White	Black	Light Gray RAL 7032	Dark Red RAL 3005
		Orange RAL 2003	Dark Green RAL 6003	Light Blue RAL 5015	Dark Blue RAL 5005
		Light Green RAL 6002	Dark Blue RAL 5007	Yellow RAL 1013	Red RAL 3001
		Dark Purple RAL 5004	Hot Black RAL 9005	White RAL 9006	Black RAL 9005

04 BICYCLE REPAIR STAND SPECIFICATION

FIXIT Submittal Sheet



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	ZONING ADJUSTMENT BOARD MEETING	2022.06.23
	FINAL DESIGN REVIEW COMMITTEE	2022.09.15

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SHEET NAME:
BICYCLE PARKING SPECIFICATIONS

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6	FINAL DESIGN REVIEW COMMITTEE	2022.09.15

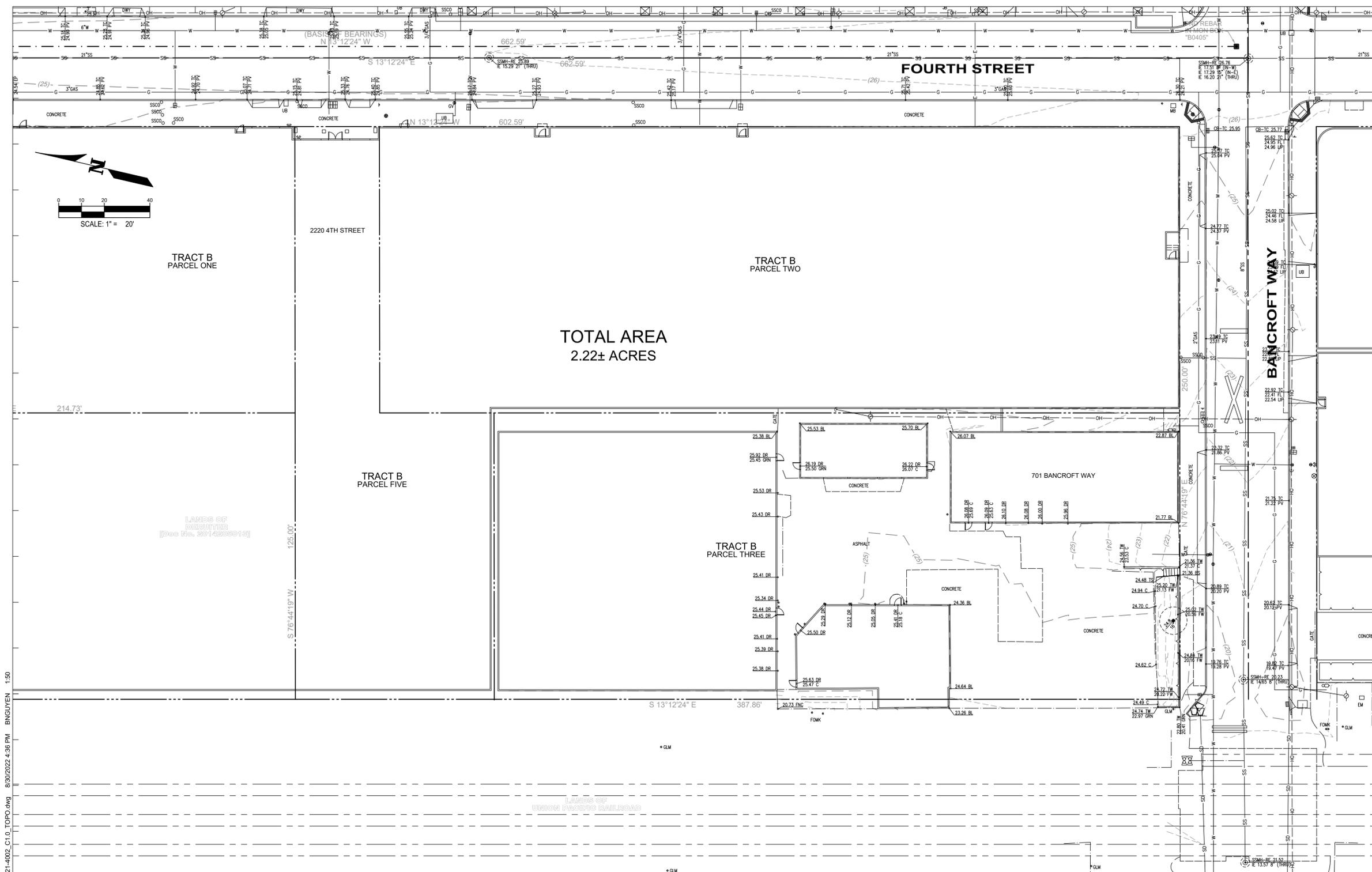
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TOPOGRAPHIC SURVEY

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ABBREVIATIONS

AC	AIR CONDITION	GLM	GAS LINE MARKER
BL	BUILDING	GRN	GROUND
BR	BOTTOM OF RAMP	GV	GAS VALVE
BS	BOTTOM OF STEP	JB	JUNCTION BOX
CB	CATCH BASIN	LIP	LIP OF GUTTER
COL	COLUMN	MB	MAIL BOX
CTV	CABLE TELEVISION	MH	MANHOLE
DI	DROP INLET	PED	PEDESTAL
DR	DOOR	PV	PAVEMENT
DWY	DRIVEWAY	RE	RIM ELEVATION
IE	INVERT ELEVATION	SSCO	SANITARY SEWER CLEAN OUT
EB	ELECTRIC BOX	SSMH	SANITARY SEWER MANHOLE
EM	ELECTRIC METER	TC	TOP OF CURB
EP	EDGE OF PAVEMENT	TS	TOP OF STEP
EW	EDGE OF WALK	UB	UTILITY BOX
FF	FINISH FLOOR	VG	VALLEY GUTTER
FNC	FENCE	WB	WATER BOX

LEGEND

PROPERTY LINE	STORM DRAIN MANHOLE	SIGN	STORM DRAIN
ADJACENT PROPERTY LINE	SANITARY SEWER MANHOLE	TREE W/ SIZE AND ELEVATION	WATER
CENTERLINE	CLEAN OUT	SPOT ELEVATION	GAS
MONUMENT LINE	GAS METER	CONTOUR	UNDERGROUND ELECTRIC
BUILDING LINE W/ DOOR	UTILITY POLE W/ GUY WIRE	INDEX CONTOUR	OVERHEAD
BUILDING OVERHANG	VALVE	CURB	JOINT TRENCH
FOUND MONUMENT AS NOTED	CATCH BASIN / DROP INLET	CURB & GUTTER	
BOLLARD LIGHT	WATER METER	CONCRETE	
LIGHT	FIRE DEPARTMENT CONNECTION	FENCE	
STREET LIGHT	BACK FLOW PREVENTER	RETAINING WALL	
TRANSFORMER	UTILITY BOX (SIZE VARIES)	EDGE OF PAVEMENT	
FIRE HYDRANT	MONITORING WELL	SANITARY SEWER	

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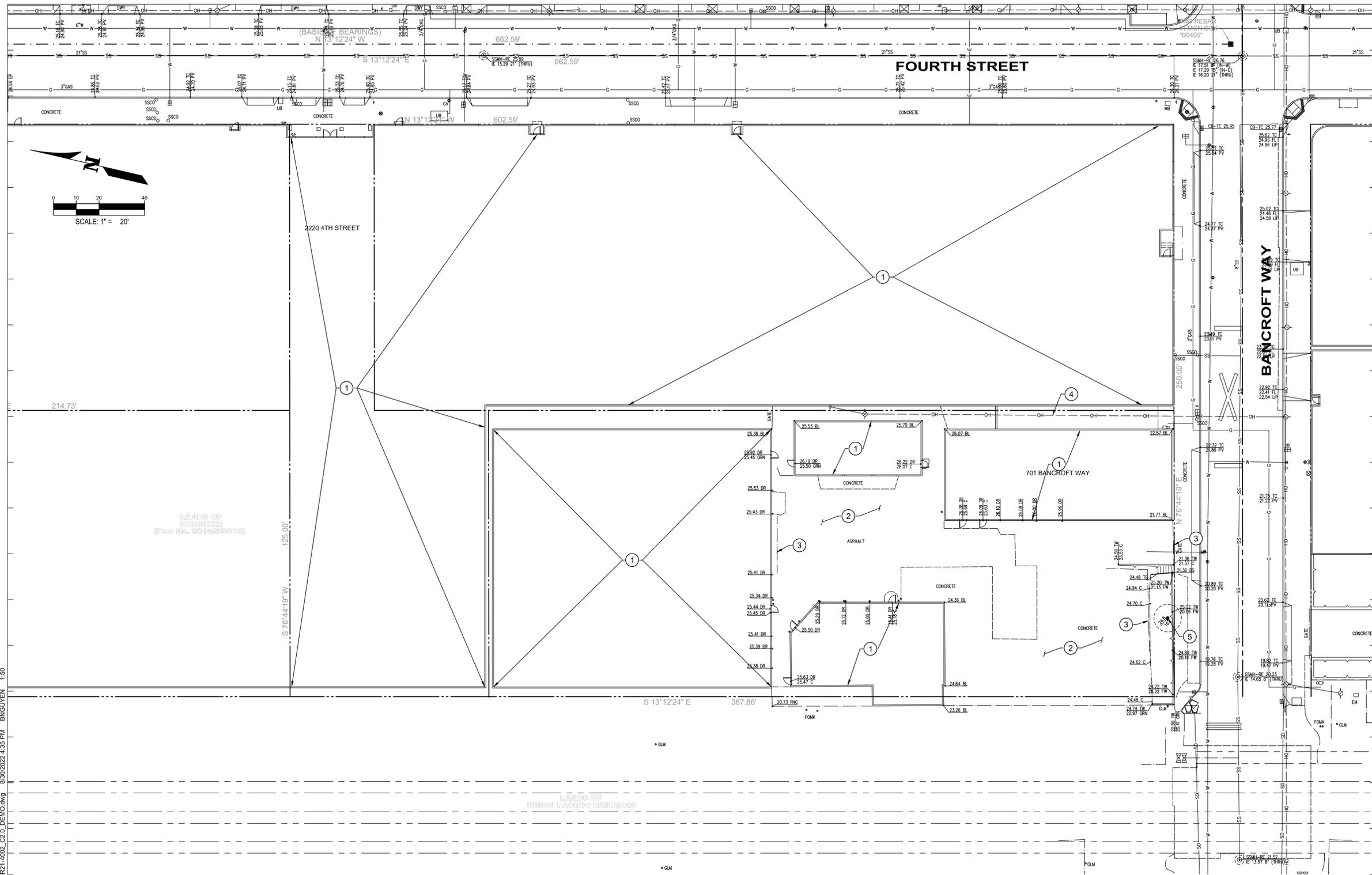
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CONCEPTUAL DEMOLITION PLAN

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KEYNOTES

- ① REMOVE EXISTING BUILDING
- ② REMOVE EXISTING CONCRETE AND/OR ASPHALT
- ③ REMOVE EXISTING FENCE AND/OR GATE
- ④ REMOVE EXISTING OVERHEAD UTILITIES
- ⑤ REMOVE EXISTING TREE
- ⑥ RELOCATE EXISTING STRUCTURE

LEGEND

PROPERTY LINE	--- --	STORM DRAIN MANHOLE	⊙	SIGN	+	STORM DRAIN	SD
ADJACENT PROPERTY LINE	- - - -	SANITARY SEWER MANHOLE	⊙	TREE W/ SIZE AND ELEVATION	● 10' / 100.0' / 32.1'	WATER	W
CENTERLINE	— — — —	CLEAN OUT	○	SPOT ELEVATION	•	GAS	G
MONUMENT LINE	- · - · - ·	GAS METER	⊙	CONTOUR	— — — —	UNDERGROUND ELECTRIC	E
BUILDING LINE W/ DOOR	— — — —	UTILITY POLE W/ GUY WIRE	⊙	INDEX CONTOUR	— — — —	OVERHEAD	OH
BUILDING OVERHANG	- - - -	VALVE	⊙	CURB	— — — —	JOINT TRENCH	JT
FOUND MONUMENT AS NOTED	■	CATCH BASIN / DROP INLET	⊙	CONCRETE & GUTTER	— — — —		
BOLLARD LIGHT	●	WATER METER	⊙	CONCRETE	— — — —		
LIGHT	⊙	FIRE DEPARTMENT CONNECTION	⊙	FENCE	— — — —		
STREET LIGHT	⊙	BACK FLOW PREVENTER	⊙	RETAINING WALL	— — — —		
TRANSFORMER	⊙	UTILITY BOX (SIZE VARIES)	⊙	EDGE OF PAVEMENT	— — — —		
FIRE HYDRANT	⊙	MONITORING WELL	⊙	SANITARY SEWER	SS		

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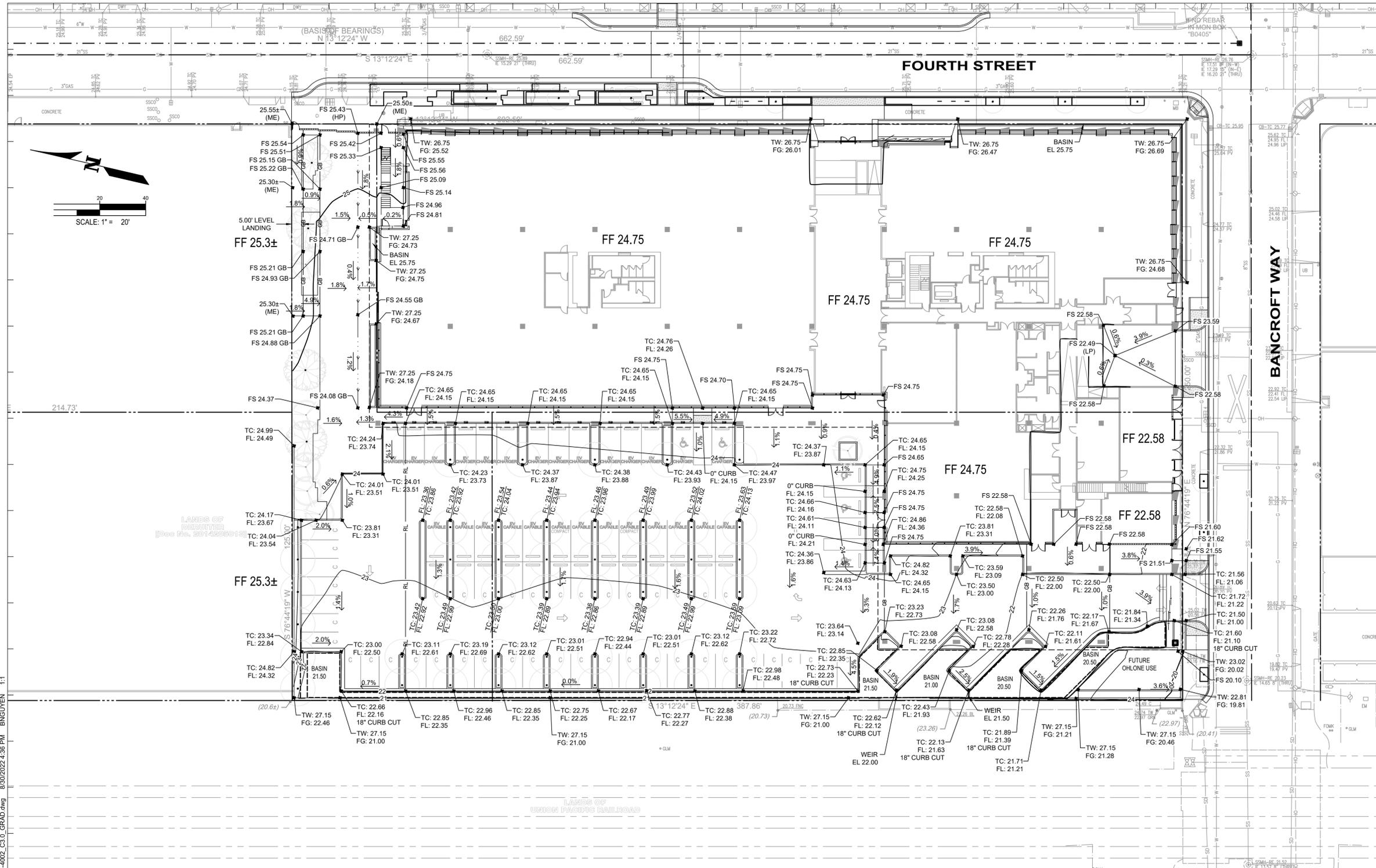
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LEGEND:

	PROPERTY LINE		PROPOSED SWALE		FLOW DIRECTION
	PROPOSED 5' CONTOUR		PROPOSED CURB		HIGH POINT
	PROPOSED 1' CONTOUR		EXISTING CURB		LOW POINT
	EXISTING 5' CONTOUR		EXISTING OVERHEAD ELECTRIC LINE		MATCH EXISTING
	EXISTING 1' CONTOUR		EXISTING NATURAL GAS LINE		GRADE BREAK
	PROPOSED STORM LINE		EXISTING SANITARY LINE		TOP OF WALL
	EXISTING STORM LINE		EXISTING WATER LINE		FINISH GRADE AT WALL
	PROPOSED STORM INLET		PROPOSED SPOT ELEVATION (AT FLOWLINE UNLESS OTHERWISE INDICATED)		
	EXISTING STORM INLET		PROPOSED SLOPE AND DIRECTION		

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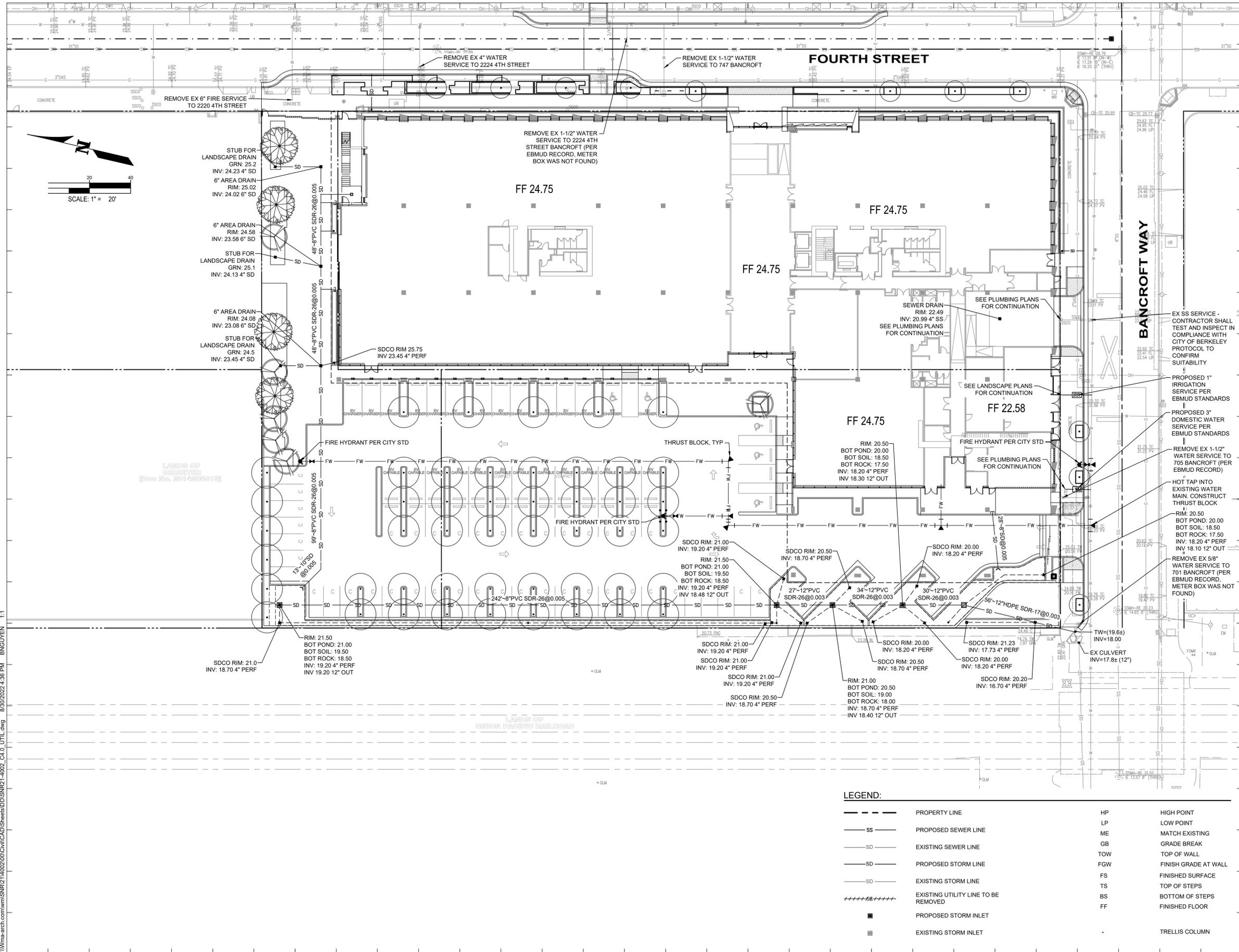
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CONCEPTUAL UTILITY PLAN

Project No.: SNR21-4002-00
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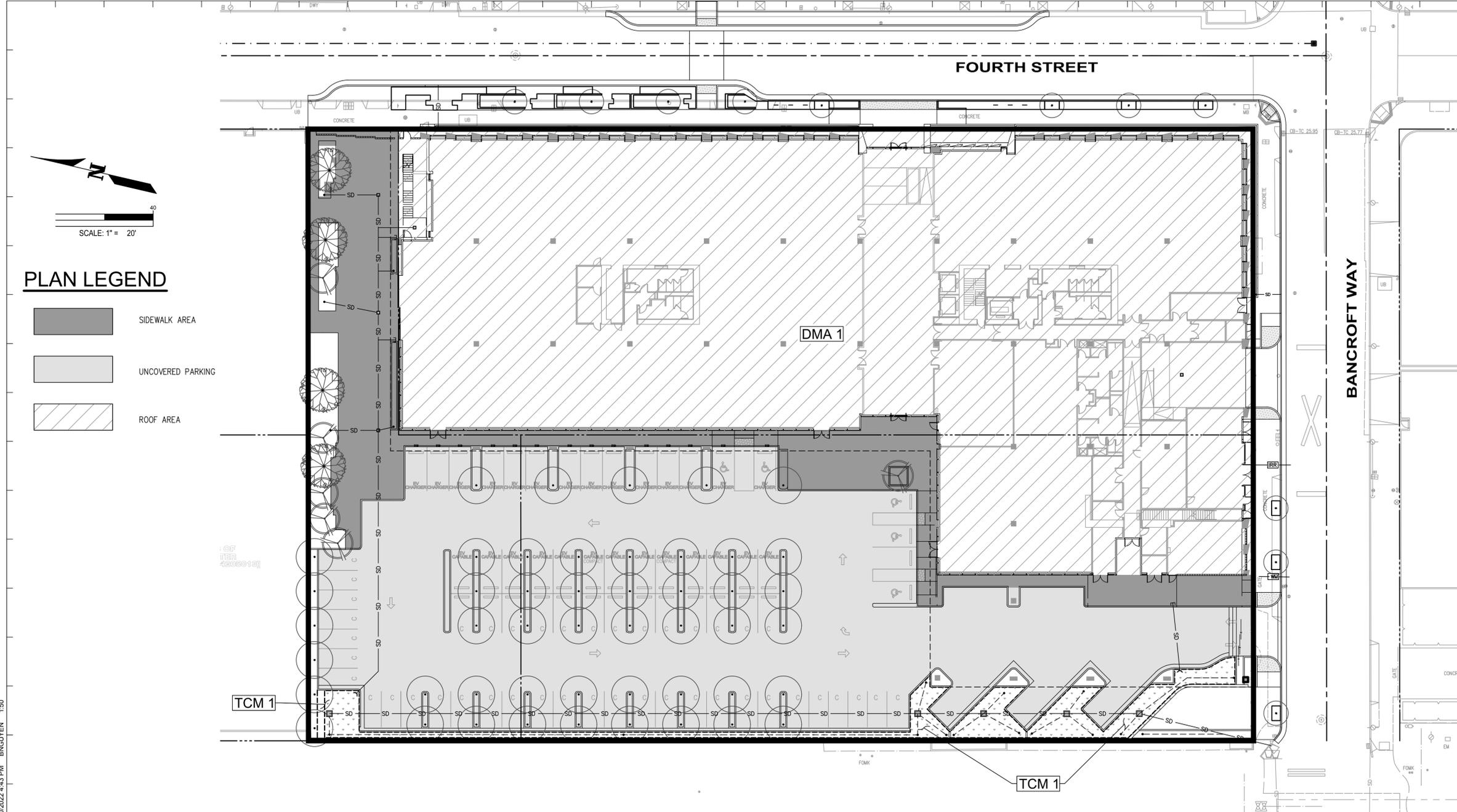
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LEGEND:

- | | | | |
|------|-------------------------------------|-----|----------------------|
| --- | PROPERTY LINE | HP | HIGH POINT |
| SS | PROPOSED SEWER LINE | LP | LOW POINT |
| SD | EXISTING SEWER LINE | ME | MATCH EXISTING |
| SD | PROPOSED STORM LINE | GB | GRADE BREAK |
| SD | EXISTING STORM LINE | TOW | TOP OF WALL |
| ---- | EXISTING UTILITY LINE TO BE REMOVED | FGW | FINISH GRADE AT WALL |
| ■ | PROPOSED STORM INLET | FS | FINISHED SURFACE |
| ■ | EXISTING STORM INLET | TS | TOP OF STEPS |
| | | BS | BOTTOM OF STEPS |
| | | FF | FINISHED FLOOR |
| | | | TRELLIS COLUMN |

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CONCEPTUAL STORMWATER MANAGEMENT PLAN

Project No.: SNR21-4002-00
Sheet No.: CP5.0

PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE

	Project Phase Number:		N/A
	Total Site (acres):	2.230	
Impervious Surfaces	Existing Condition of Site Area Disturbed	Proposed Condition of Site Area Disturbed (square feet)	
		Replaced	New
Roof Area(s)	83,500	48,660	0
Parking	0	0	11,800
Sidewalks, Patios, Paths, etc	13,460	13,460	16,830
Streets (Public)	0	0	0
Streets (Private)	0	0	0
Total Impervious Surfaces	96,960	62,120	28,630
Pervious Surfaces			
Landscaped Areas	0	0	6,210
Pervious Paving	0	0	0
Other Pervious Surfaces (green roof, etc.)	0	0	0
Total Pervious Surfaces:	0	0	6,210
Total Proposed Replaced + New Impervious Surfaces:		90,750	
Total Proposed Replaced + New Pervious Surfaces:		6,210	

TREATMENT CONTROL MEASURE SUMMARY TABLE

DRAINAGE MANAGEMENT AREAS	STORMWATER CONTROL MEASURES	TCM #	TOTAL (Sq.Ft.)	IMPERVIOUS AREA (Sq.Ft.)	PERVIOUS AREA (Sq.Ft.)	TIER 2 BIORETENTION AREA REQUIRED (Sq.Ft.)	BIORETENTION AREA PROVIDED (Sq.Ft.)	BIORETENTION POND LINED OR UNLINED	OVERFLOW RISER HEIGHT (IN.)
DMA 1	BIORETENTION POND*	1	96,960	90,750	6,210	2,250	2,400	UNLINED	12
			96,960	90,750	6,210	2,250	2,400		

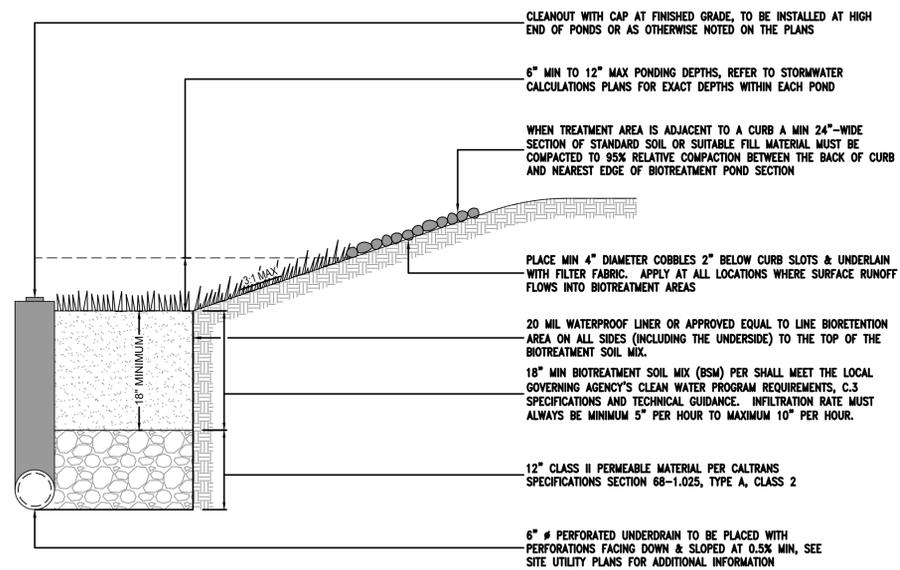
*SIZING FOR BIORETENTION AREA AND VOLUMES REQUIRED CALCULATED USING THE ALAMEDA COUNTY COMBINATION FLOW AND VOLUME WORKSHEET

ABBREVIATIONS

- DMA-01** DRAINAGE MANAGEMENT AREA (BIORETENTION AREA)
- TCM-01** TREATMENT CONTROL MEASURE

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DETAIL 1 - TYPICAL BIORETENTION AREA HALF-SECTION



SOURCE CONTROL

- SD-10: SITE DESIGN & LANDSCAPE PLANNING
- MAXIMIZED TREES AND PLANTING WITHIN HARDSCAPE AND LANDSCAPE AREAS.
 - VEGETATED SLOPES FOR ALL LANDSCAPE SLOPES LESS THAN 1:5 SLOPE.
- SD-11: EFFICIENT IRRIGATION
- RAIN-TRIGGERED SHUTOFF DEVICES TO PREVENT IRRIGATION AFTER PRECIPITATION.
 - SYSTEM DESIGNED TO SITE-SPECIFIC WATER DEMANDS AND PLANTING REQUIREMENTS.
- SD-13: STORM DRAIN SIGNAGE
- ALL CATCH BASINS TO BE STENCILED WITH PROHIBITIVE LANGUAGE PER CITY STANDARDS.

BIOTREATMENT SOIL REQUIREMENTS

- BIOTREATMENT SOIL MIX (BSM) SHALL MEET THE SPECIFICATIONS IN ATTACHMENT "K" OF THE MUNICIPAL REGIONAL PERMIT (MRP), APPROVED BY THE REGIONAL WATER BOARD ON APRIL 18, 2016. THE BSM SHALL BE SUFFICIENTLY PERMEABLE TO INFILTRATE RUNOFF AT A MINIMUM RATE OF 5" PER HOUR DURING THE LIFE OF THE FACILITY, AND HAVE SUFFICIENT MOISTURE RETENTION TO SUPPORT HEALTHY VEGETATION.

SOIL MIX MUST BE CERTIFIED IN ACCORDANCE WITH THE GUIDANCE DOCUMENTS PROVIDED BY THE ALAMEDA COUNTY STORMWATER PROGRAM HANDBOOK TITLED, "C.3 STORMWATER TECHNICAL GUIDANCE", DATED MAY 2, 2016, VERSION 5.1. AVAILABLE AT [HTTP://CLEANWATERPROGRAM.ORG](http://CLEANWATERPROGRAM.ORG)

BIOTREATMENT AREAS SHALL BE CONSTRUCTED UNDER THE OBSERVATION OF THE SOILS ENGINEER.
- PERMEABLE MATERIAL SHALL COMPLY WITH CALTRANS STANDARD SPECIFICATIONS SECTION 68-1.025, TYPE "A", CLASS 2, OR APPROVED EQUAL.
- THE PERFORATED SUB-DRAIN SHOULD BE SET TO MATCH THE SLOPE OF THE ADJACENT CURB AND GUTTER, OR AT A 0.5% MINIMUM SLOPE OTHERWISE.
- SEE LANDSCAPE PLANS FOR PLANTING SPECIFICATIONS. PLANT SPECIES SHALL BE IN COMPLIANCE WITH APPENDIX "C" OF THE C.3. STORMWATER TECHNICAL GUIDANCE HANDBOOK. INSTALL AND MAINTAIN A 2-INCH LAYER OF COMPOSTED OR AGED MULCH BETWEEN PLANTS. ROCK, COBBLES OR LARGE, NON-FLOATING BARK MULCHES MAY ALSO BE USED, SUBJECT TO REVIEW AND APPROVAL.

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BIOTREATMENT AREA MAINTENANCE

INSPECTION ACTIVITIES	SUGGESTED FREQUENCY
<ul style="list-style-type: none"> INSPECT AFTER SEEDING AND AFTER FIRST MAJOR STORMS FOR ANY DAMAGES. 	POST-CONSTRUCTION
<ul style="list-style-type: none"> INSPECT FOR SIGNS OF EROSION, DAMAGE TO VEGETATION, CHANNELIZATION OF FLOW, DEBRIS AND LITTER, AND AREAS OF SEDIMENT ACCUMULATION. PERFORM INSPECTIONS AT THE BEGINNING AND END OF THE WET SEASON. ADDITIONAL INSPECTIONS AFTER PERIODS OF HEAVY RUNOFF ARE DESIRABLE. 	SEMI-ANNUAL
<ul style="list-style-type: none"> INSPECT BASIN ONCE DURING THE WET SEASON AFTER A LARGE RAIN EVENT TO CONFIRM THE FACILITY IS DRAINING WITHIN 72 HOURS. IF FACILITY FAILS TO DRAIN WITHIN TIMEFRAME, REMOVE & REPLACE TOP 2" OF FILTER MEDIA. 	SEMI-ANNUAL
MAINTENANCE ACTIVITIES	SUGGESTED FREQUENCY
<ul style="list-style-type: none"> MOW GRASS TO MAINTAIN A HEIGHT OF 3-4 INCHES, FOR SAFETY, AESTHETIC, OR OTHER PURPOSES. LITTER SHOULD ALWAYS BE REMOVED PRIOR TO MOWING. CLIPPINGS SHOULD BE COMPOSTED. IRRIGATE DURING DRY SEASON (APRIL THROUGH OCTOBER) OR WHEN NECESSARY TO MAINTAIN THE VEGETATION. PROVIDE WEED CONTROL, IF NECESSARY TO CONTROL INVASIVE SPECIES. 	AS NEEDED (FREQUENT, SEASONALLY)
<ul style="list-style-type: none"> REMOVE LITTER, BRANCHES, ROCKS BLOCKAGES AND OTHER DEBRIS AND DISPOSE OF PROPERLY. REPAIR ANY DAMAGED AREAS IDENTIFIED DURING INSPECTIONS. EROSION RILLS OR GULLIES SHOULD BE CORRECTED AS NEEDED. BARE AREAS SHOULD BE REPLANTED AS NECESSARY. 	SEMI-ANNUAL
<ul style="list-style-type: none"> CORRECT EROSION PROBLEMS IN THE SAND/SOIL BED. 	AS NEEDED
<ul style="list-style-type: none"> PLANT AN ALTERNATIVE GRASS SPECIES IF THE ORIGINAL GRASS COVER HAS NOT BEEN SUCCESSFULLY ESTABLISHED. 	ANNUAL (AS NEEDED)
<ul style="list-style-type: none"> RESEED AND APPLY MULCH TO DAMAGED AREAS. APPLY 1" TO 2" OF MULCH PREFERABLE IN JUNE AFTER WEEDING. 	SEMI-ANNUAL
<ul style="list-style-type: none"> REMOVE ALL ACCUMULATED SEDIMENT THAT MAY OBSTRUCT THE PROPER OPERATION OF THE BIO TREATMENT POND. SEDIMENT SHOULD BE REMOVED WHEN IT BUILDS UP TO 3" AT ANY SPOT, OR COVERS VEGETATION, OR ONCE IT HAS ACCUMULATED TO 10% OF THE ORIGINAL DESIGN VOLUME. REPLACE THE GRASS AREAS DAMAGED IN THE PROCESS. 	AS NEEDED (INFREQUENT)
<ul style="list-style-type: none"> ROTOTILL OR CULTIVATE SURFACE OF SAND/SOIL BED OF IF TREATMENT AREA DOESN'T DRAW DOWN WITHIN 48 HOURS. 	AS NEEDED

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	USE PERMIT RESUBMITTAL	2021.05.21
	USE PERMIT RESUBMITTAL	2021.06.11
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	DESIGN REVIEW COMMITTEE MEETING 2	2022.05.19
	FINAL DESIGN REVIEW COMMITTEE	2022.09.15

Key Plan:

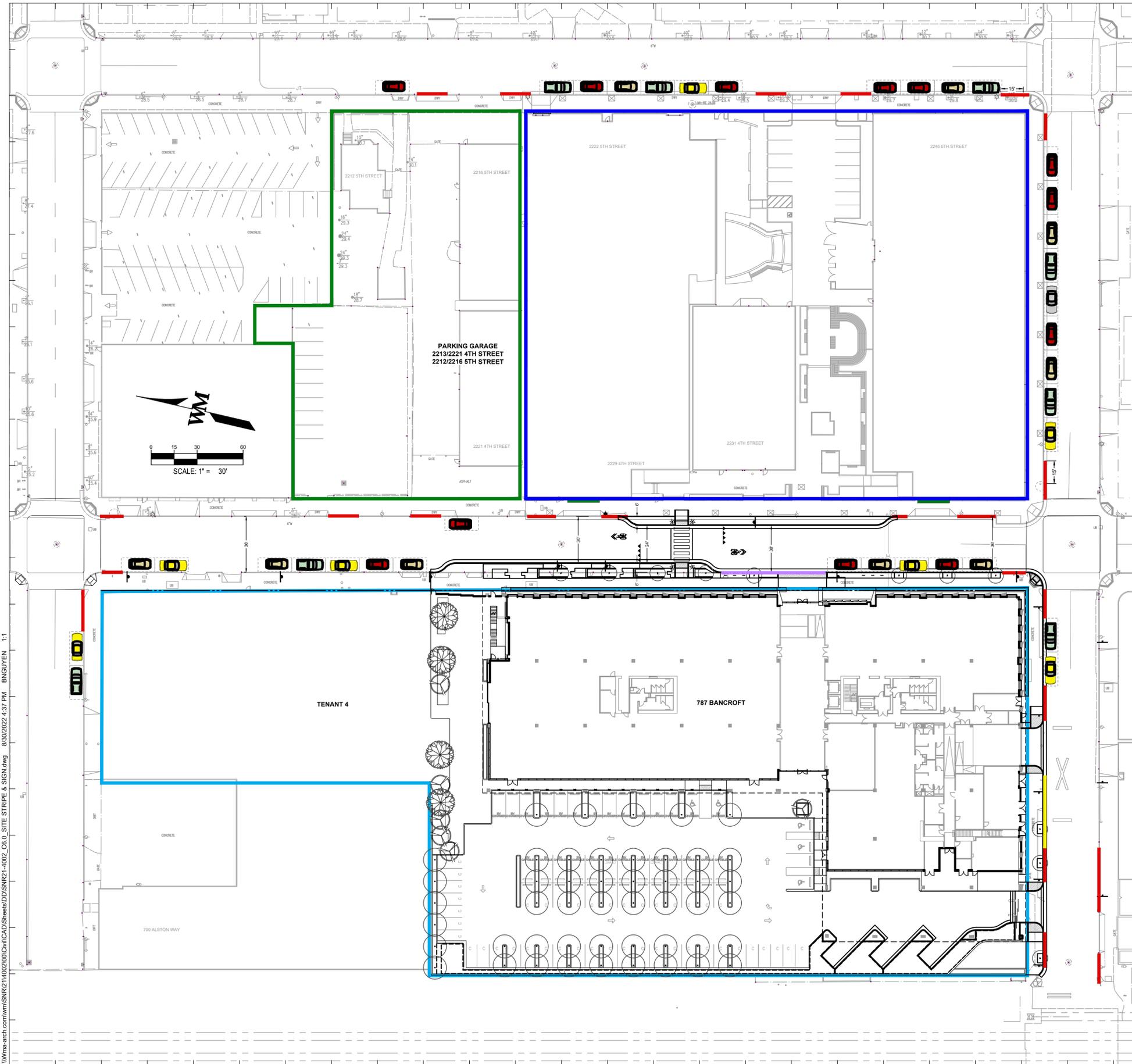
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Sheet Name:
CONCEPTUAL STORMWATER MANAGEMENT PLAN - NOTES AND DETAILS

Project No.: SNR21-4002-00
Drawn By:
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Scale:

CP5.1



LEGEND

- NO PARKING - RED CURB
- LOADING ZONE - YELLOW CURB
- PASSENGER LOADING ZONE - WHITE CURB
- PARKING STALL
- PHASE 1
- PHASE 2
- PHASE 3
- EXISTING FH WITH 3' RADIUS CLEARANCE
- PROPOSED 'NO OVERNIGHT PARKING' SIGN - SEE DETAIL ON THIS SHEET



NO OVERNIGHT PARKING SIGN

NOTES

1. THIS SHEET IS INCLUDED FOR CONSTRUCTION PHASING CONTEXT AND GRAPHICAL PURPOSES ONLY. FOR STRIPING AND SIGNAGE ADJACENT TO 787 BANCROFT ALONG FOURTH STREET AND BANCROFT WAY, SEE PUBLIC STREET IMPROVEMENT PLANS - STRIPING AND SIGNAGE PLAN.

747 BANCROFT
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 4883 CHABOT DRIVE #300
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GEOTECHNICAL ENGINEER
 ROCKRIDGE GEOTECHNICAL
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1	USE PERMIT APPLICATION	2021.04.30
2	USE PERMIT RESUBMITTAL	2021.05.21
3	USE PERMIT RESUBMITTAL	2021.06.11
4	DESIGN REVIEW COMMITTEE MEETING 1	2022.02.07
5	DESIGN REVIEW COMMITTEE MEETING 2	2022.05.19
6	FINAL DESIGN REVIEW COMMITTEE	2022.09.15

Key Plan:

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Sheet Name:
OVERALL SITE PLAN

Project No.: SNR21-4002-00
 Sheet No.:
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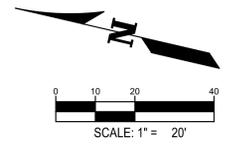
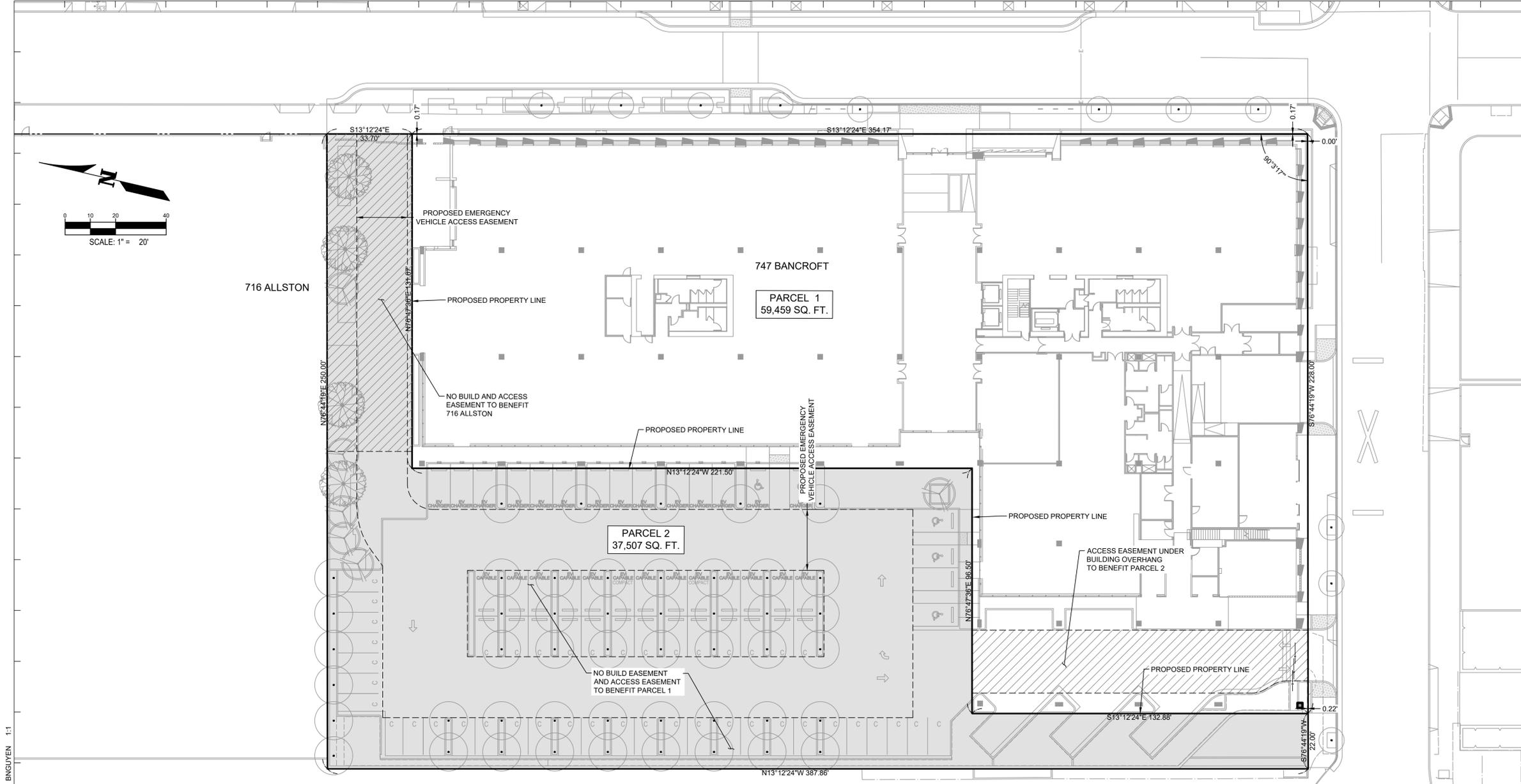
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Sheet Name:
CONCEPTUAL EASEMENTS AND LOT LINE ADJUSTMENT

Project No.: SNR21-4002-00
 Sheet No.:
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	FINAL DESIGN REVIEW COMMITTEE	2022.09.15

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LAB MASTERPLAN

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PROPOSED ROOF LEVEL SITE PLAN 01
 SCALE: 1/32" = 1'-0"

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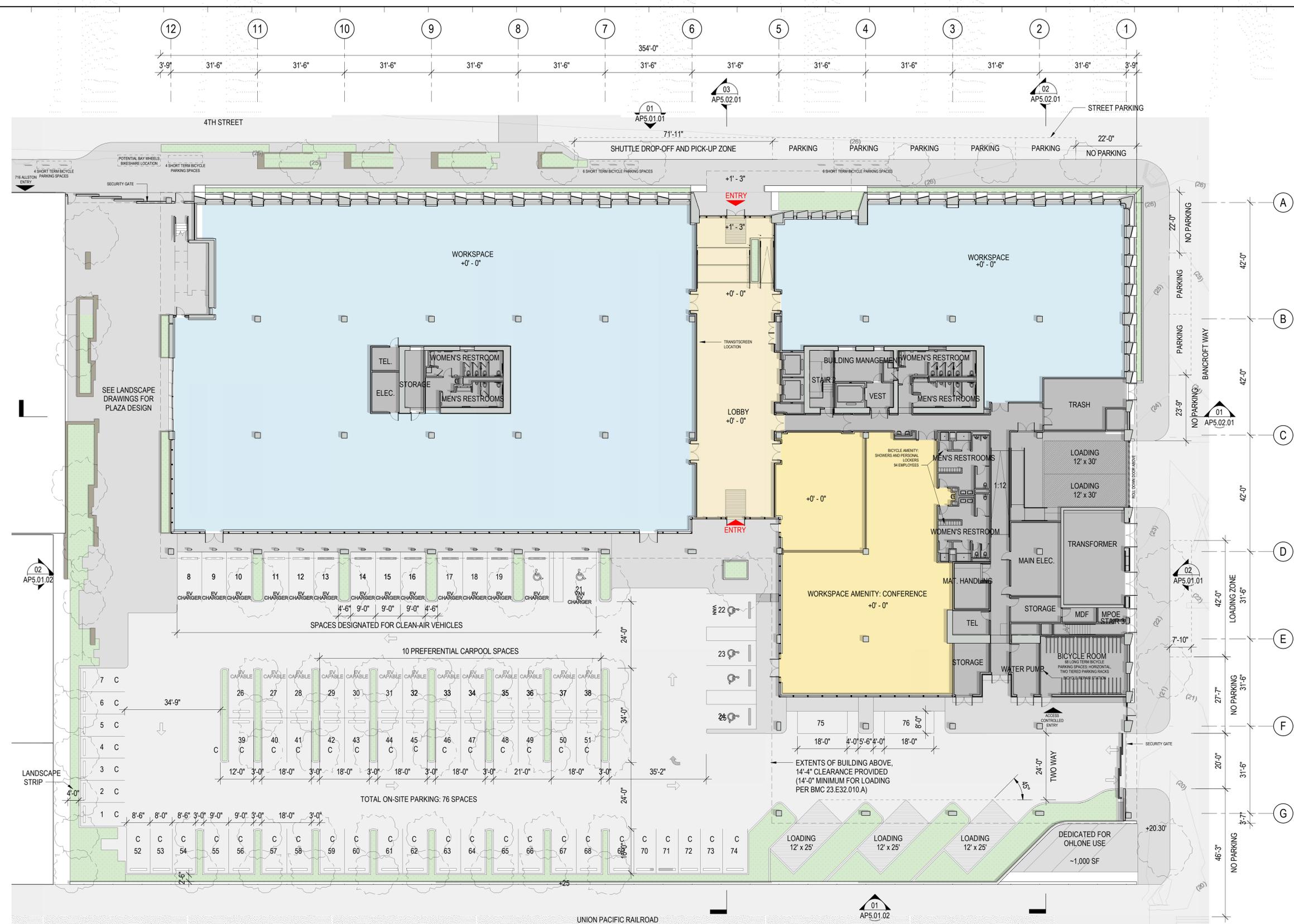
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OVERALL FLOOR PLAN - LEVEL 01

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 Sheet No.: AP2.01.00
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- GENERAL NOTES:**
- ALL SITE ELEVATIONS ARE BASED ON CIVIL ENGINEER'S SURVEY
 - SEE NOTES ON C.01 FOR SURVEY POINT'S RELATIONSHIP TO BERKELEY CITY DATUM
 - "NO PARKING" DESIGNATED BY RED CURB
 - TRUCK ACCESS TO PARKING LOT RESTRICTED TO DL-23 OR SMALLER SIZE TRUCKS
 - SPACES LABELED AS "EV CHARGER" WILL HAVE LEVEL 2 ELECTRIC CHARGING STATIONS INSTALLED ON DAY ONE PER BERKELEY REACH CODE
 - SPACES LABELED AS "EV CAPABLE" WILL BE EQUIPPED WITH EV CONNECTING RACEWAYS

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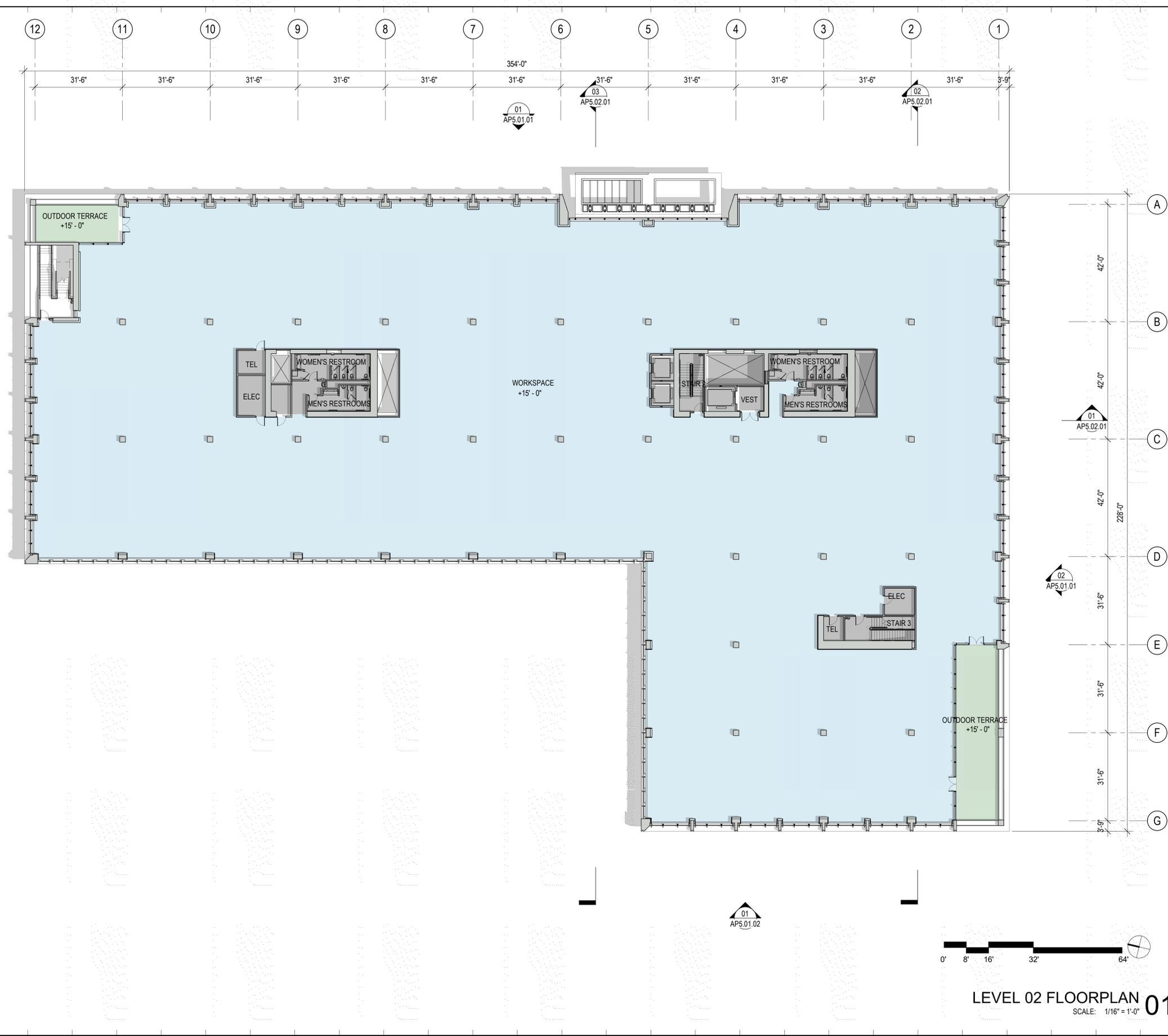
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OVERALL FLOOR PLAN - LEVEL 02

Project No.: 220175
 Sheet No.: **AP2.02.00**
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LEVEL 02 FLOORPLAN 01
 SCALE: 1/16" = 1'-0"

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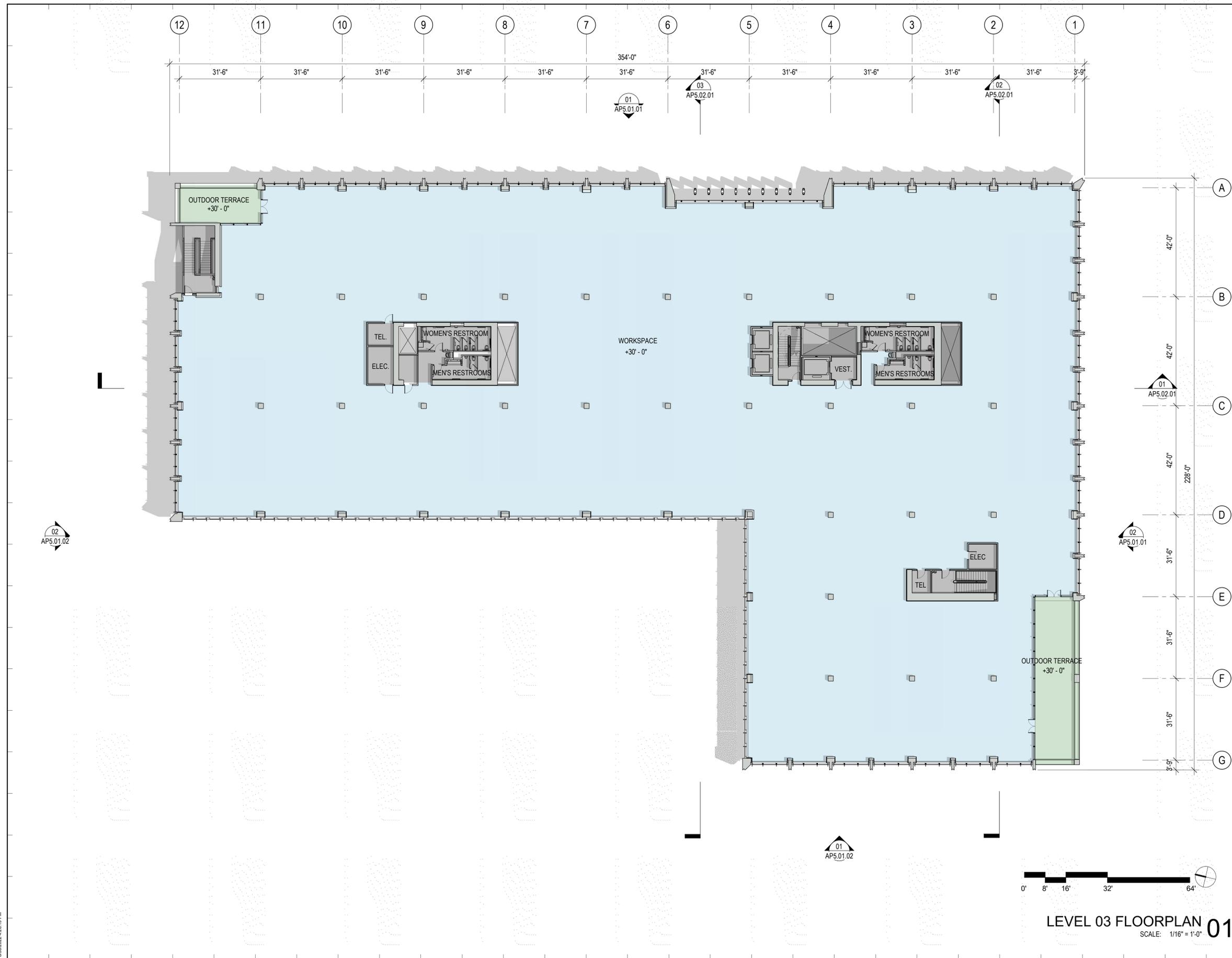
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	FINAL DESIGN REVIEW COMMITTEE	2022.09.15

Key Plan:

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OVERALL FLOOR PLAN - LEVEL 03

Project No.: 220175
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LEVEL 03 FLOORPLAN 01
 SCALE: 1/16" = 1'-0"

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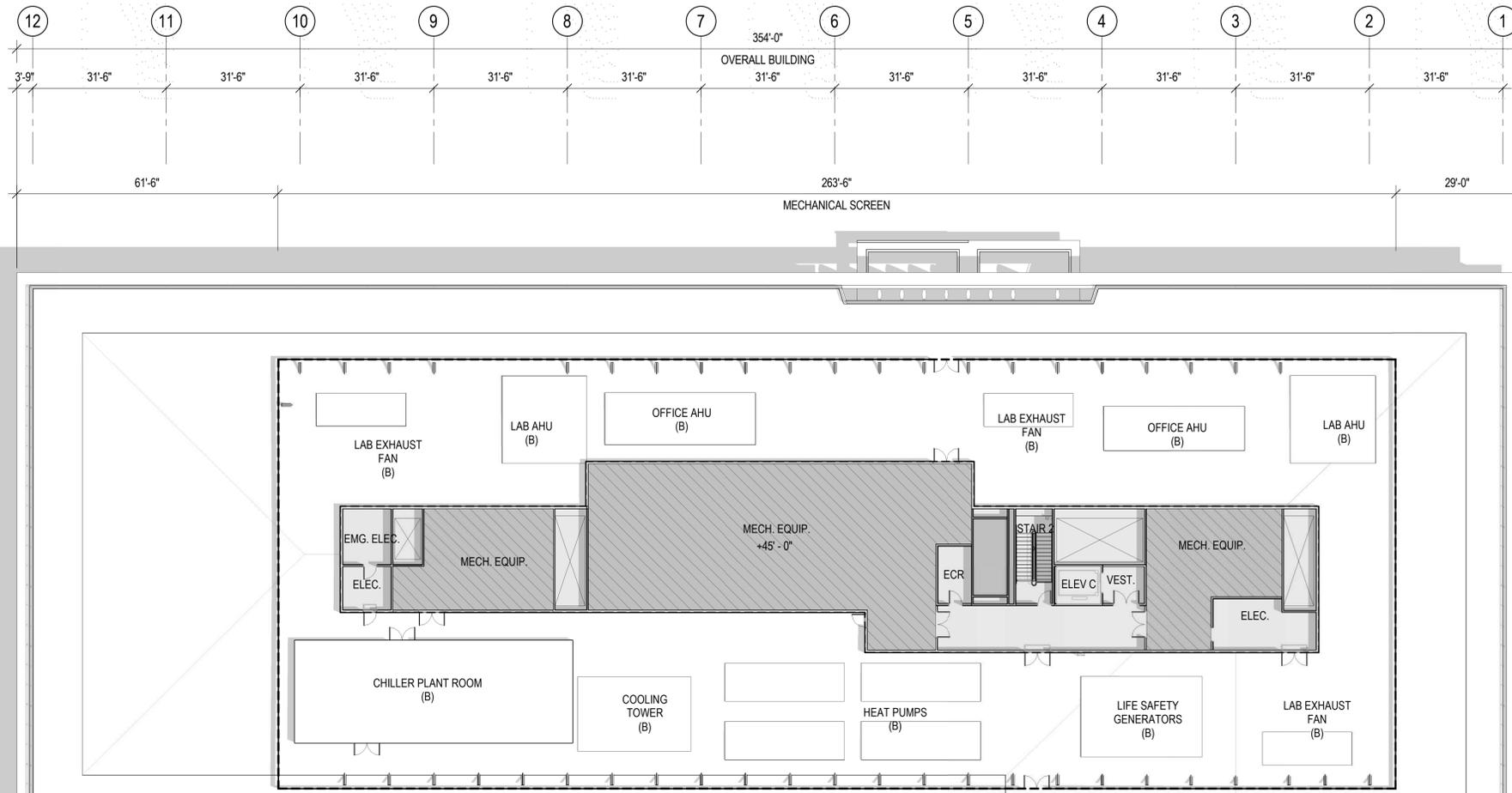
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Sheet Name:
OVERALL FLOOR PLAN - MECHANICAL PENTHOUSE

Project No.: 220175
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AP2.04.00



HEIGHT LIMITATION COMPLIANCE
 PER BERKELEY MUNICIPAL CODE SEC 23E.04.020
 TOTAL FLOOR AREA: 159,143 SQ FT / 3 FLOORS = 53,048 SQ FT AVG FLOOR AREA
 53,048 SQ FT * 15% = 7,957 SQ FT ALLOWABLE IN CATEGORY C

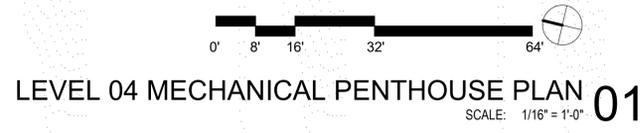
CATEGORY B: EXEMPT FROM 45' HEIGHT LIMIT
 AIR HANDLING UNITS (AHU)
 CHILLER PLANT ROOM
 COOLING TOWER
 HEAT PUMPS
 LAB EXHAUST VENTS
 LIFE SAFETY GENERATOR
 SOLAR EQUIPMENT

CATEGORY C: 7,957 SQ FT EXEMPT FROM 45' HEIGHT LIMIT
 ELEVATOR OVERRUN
 MECHANICAL PENTHOUSE
 MECHANICAL SCREEN FOOTPRINT

COMBINED AREA OF ABOVE: 7,928 SQ FT < 7,957 SQ FT

REQUIRED PV AREA PER BERKELEY REACH CODE
 REQUIRED AREA: 15% OF TOTAL ROOF AREA, 8,926 SF
 PROVIDED AREA: 43% OF TOTAL ROOF AREA, 25,500 SF

REQUIRED PV AREA FOR 747 BANCROFT WILL BE PROVIDED AT 2213 4TH STREET
 (USE PERMIT #ZP2021-0043 AND BUILDING PERMIT #B2022-02604)



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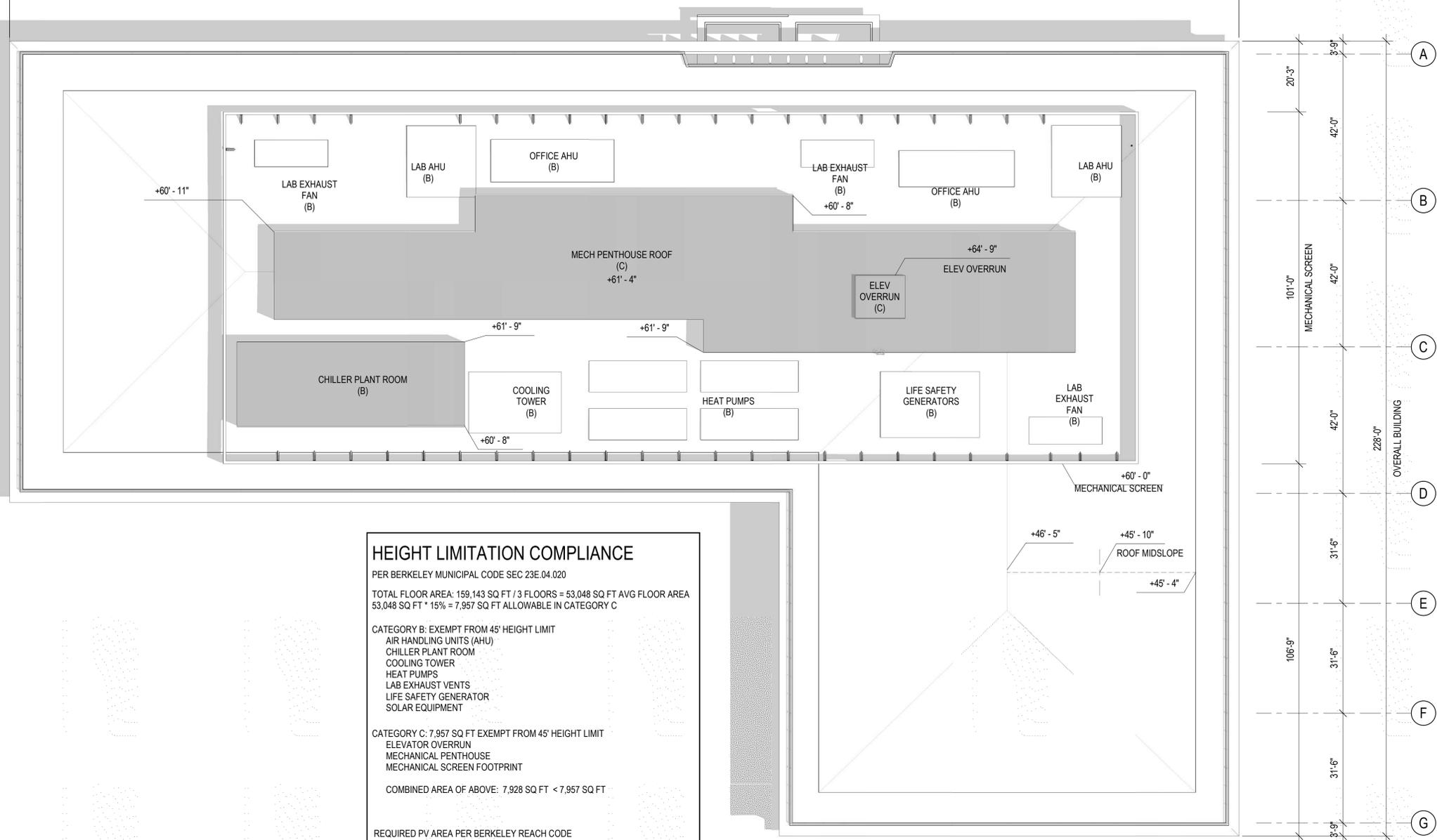
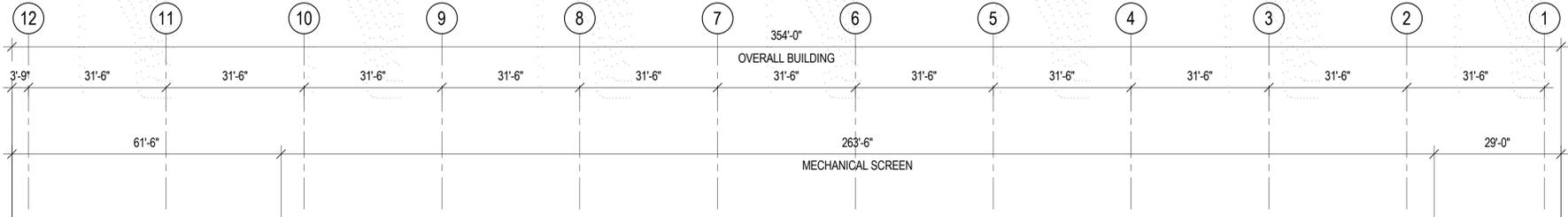
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Sheet Name:
OVERALL FLOOR PLAN - ROOF

Project No.: 220175
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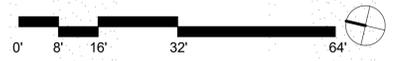
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 SOLAR EQUIPMENT

CATEGORY C: 7,957 SQ FT EXEMPT FROM 45' HEIGHT LIMIT
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 (USE PERMIT #ZP2021-0043 AND BUILDING PERMIT #B2022-02604)



ROOF PLAN 01
 SCALE: 1/16" = 1'-0"

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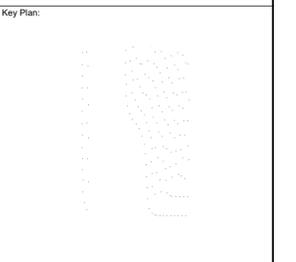
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 443 TEHAMA ST., 1ST FLOOR
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No.	Description	Date
1	USE PERMIT APPLICATION	2021.03.25
2	USE PERMIT RESUBMITTAL	2021.09.13
3	USE PERMIT RESUBMITTAL	2021.12.17
4	DESIGN REVIEW COMMITTEE MEETING 1	2022.02.07
5	DESIGN REVIEW COMMITTEE MEETING 2	2022.05.19
6	ZONING ADJUSTMENT BOARD MEETING	2022.06.23
7	FINAL DESIGN REVIEW COMMITTEE	2022.09.15



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Sheet Name:
EXISTING ELEVATIONS

Project No.: 220175	Sheet No.:
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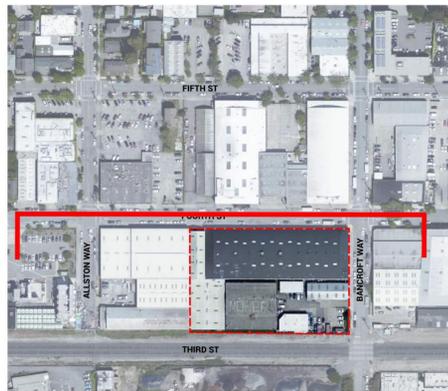
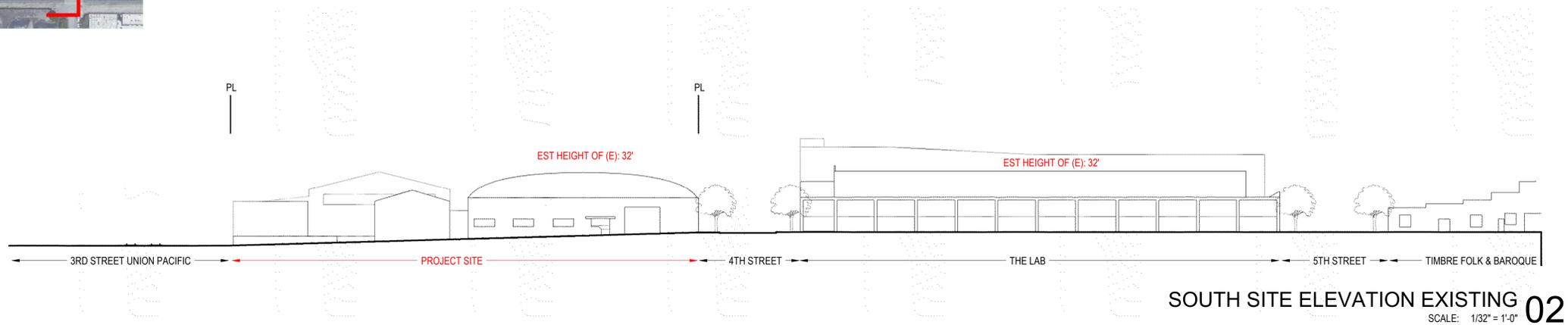
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03 WINE.COM



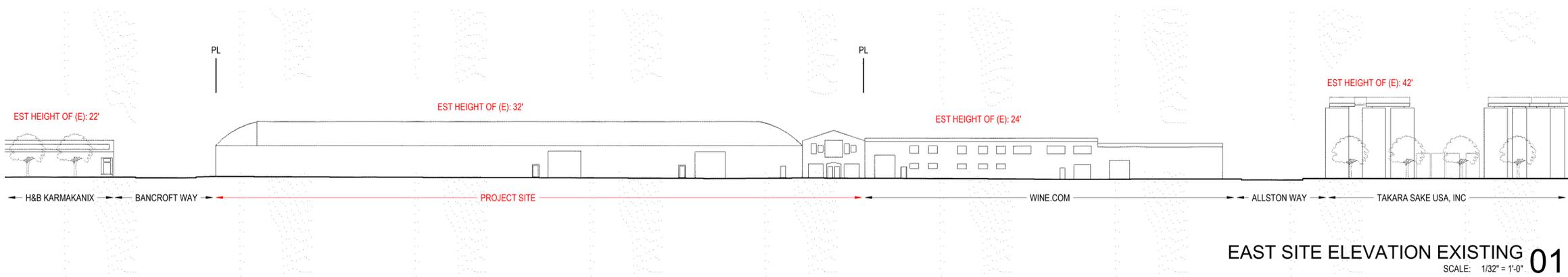
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 4883 CHABOT DRIVE #300
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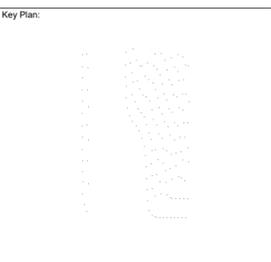
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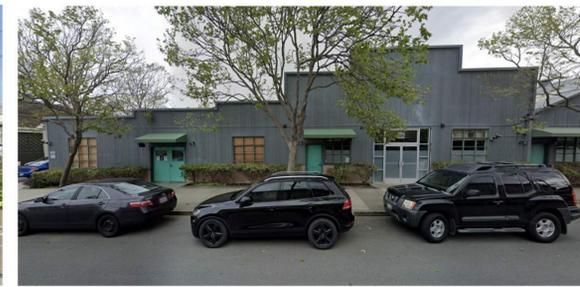
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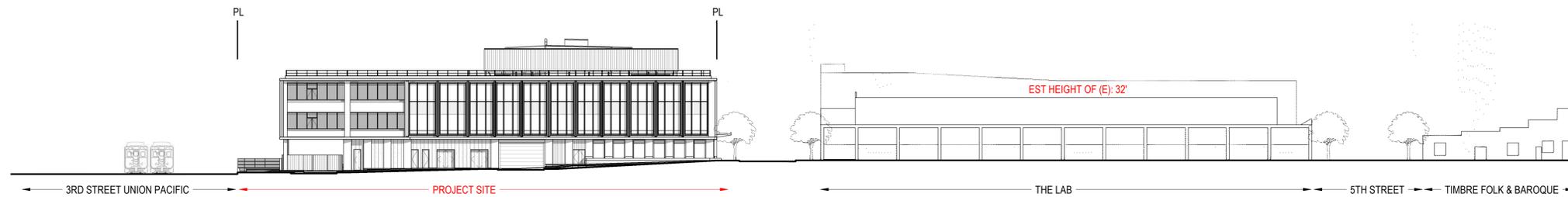
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01 3RD STREET UNION PACIFIC



02 TIMBRE FOLK & BAROQUE



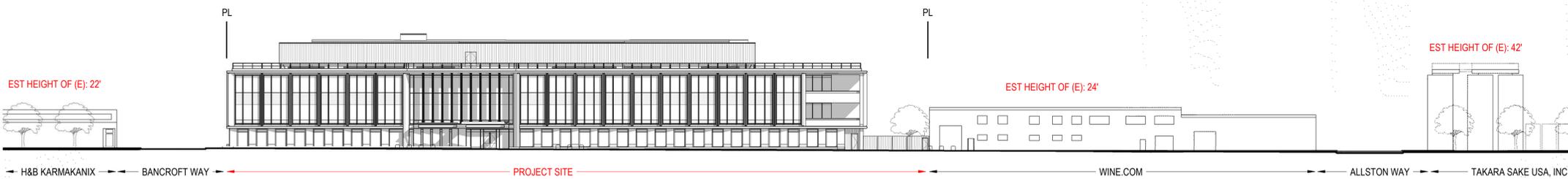
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 SCALE: 1/32" = 1'-0"



01 WINE.COM



02 TAKARA SAKE USA, INC



EAST SITE ELEVATION 01
 SCALE: 1/32" = 1'-0"

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	50% SCHEMATIC DESIGN	2021.04.30
	90% SCHEMATIC DESIGN	2021.05.21
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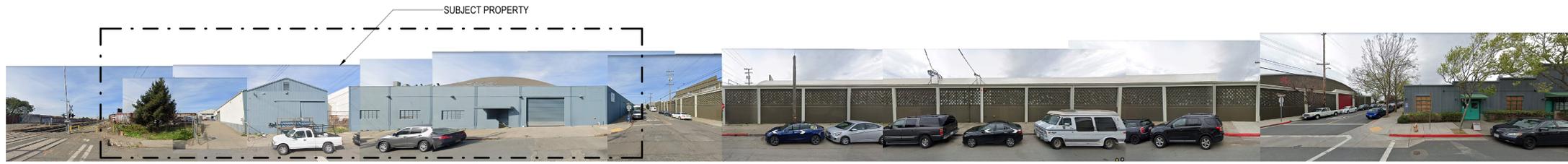
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STREET STRIP ELEVATIONS

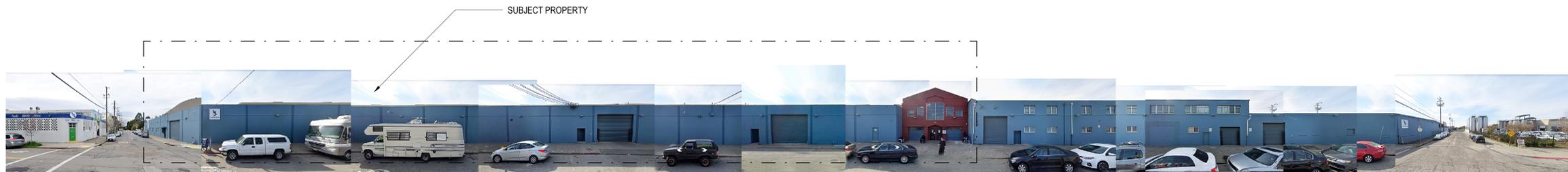
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AP5.00.03



STREET STRIP, BANCROFT WAY, LOOKING NORTH - EXISTING



STREET STRIP, BANCROFT WAY, LOOKING NORTH - PROPOSED



STREET STRIP, 4TH STREET, LOOKING WEST - EXISTING



STREET STRIP, 4TH STREET, LOOKING WEST - PROPOSED

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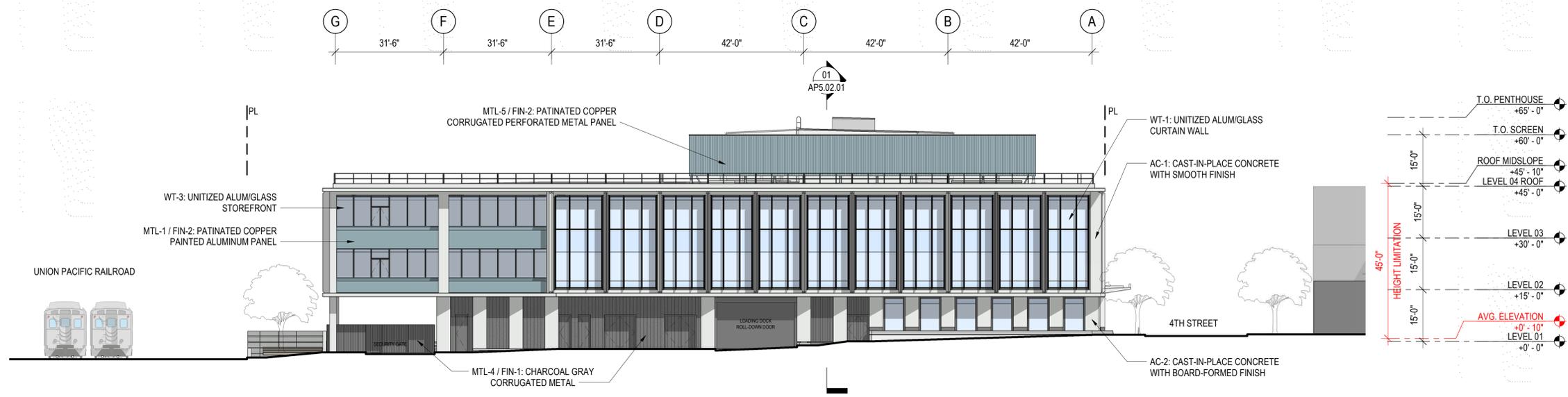
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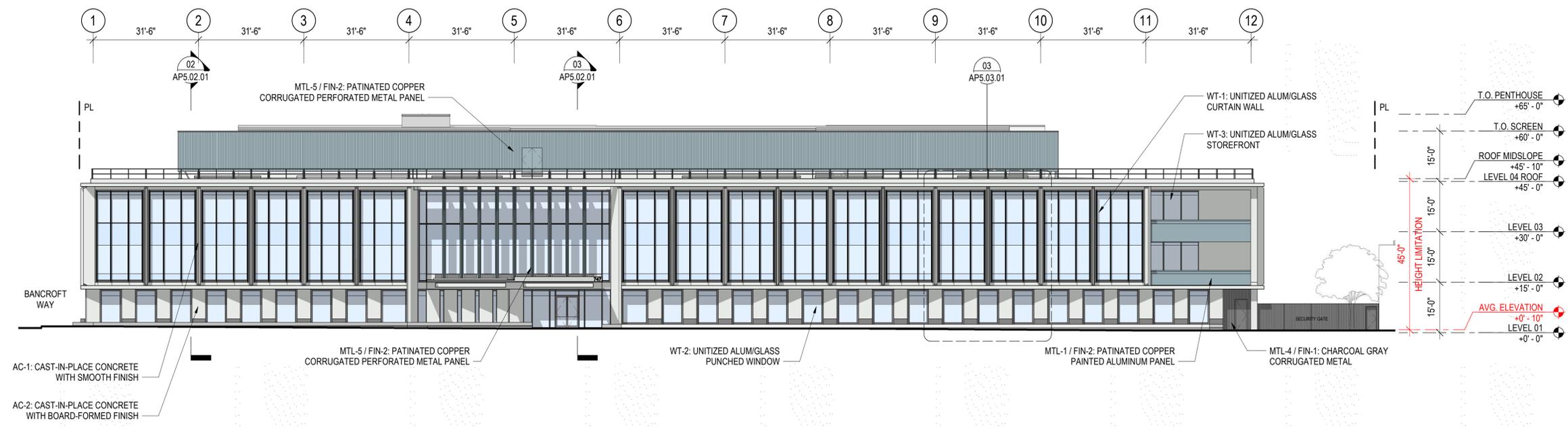
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EAST AND SOUTH ELEVATIONS

Project No.:	220175	Sheet No.:	AP5.01.01
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SOUTH ELEVATION 02
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EAST ELEVATION 01
 SCALE: 1/16" = 1'-0"

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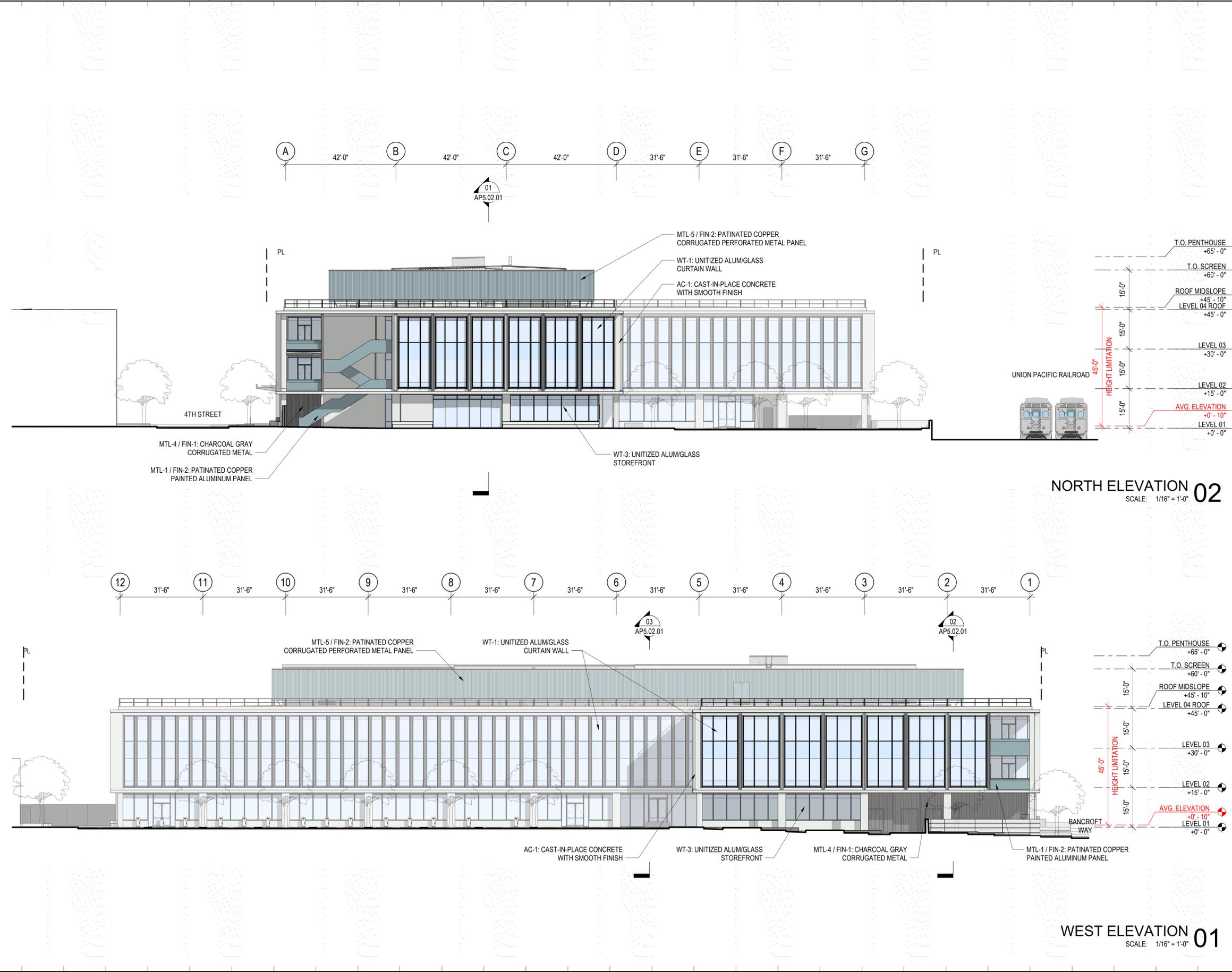
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Project No.:	Sheet No.:
220175	AP5.01.02
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WEST AND NORTH ELEVATIONS



NORTH ELEVATION 02
 SCALE: 1/16" = 1'-0"

WEST ELEVATION 01
 SCALE: 1/16" = 1'-0"

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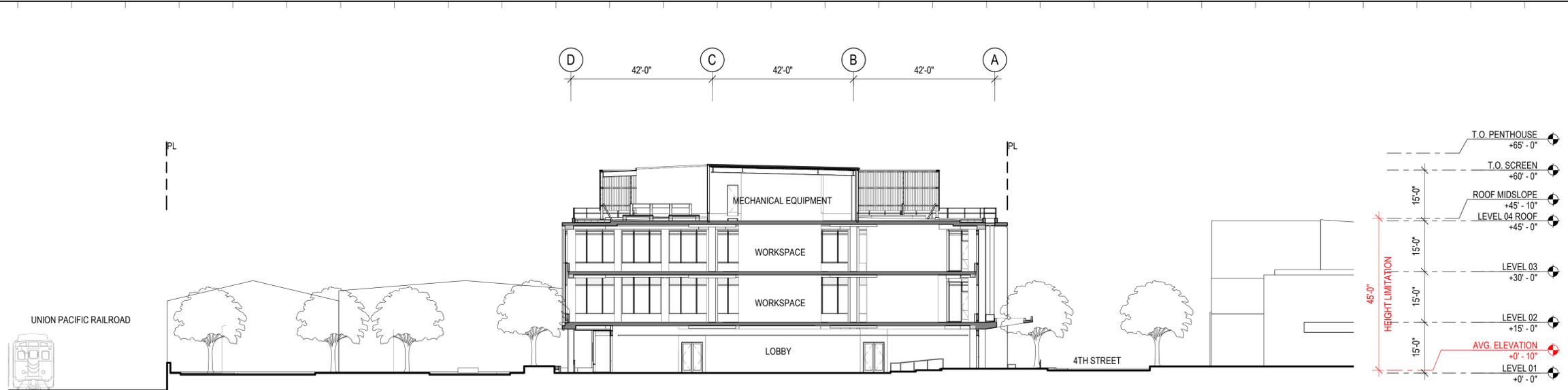
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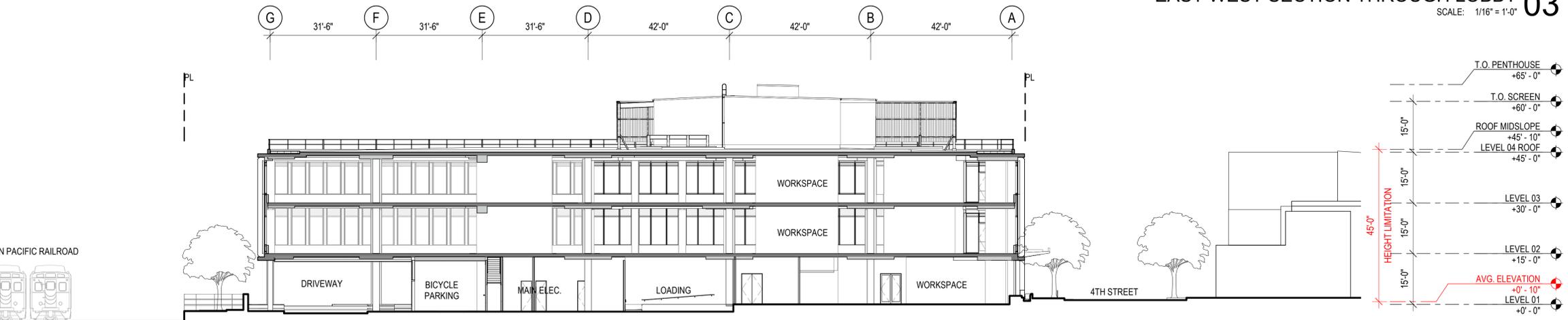
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SECTIONS

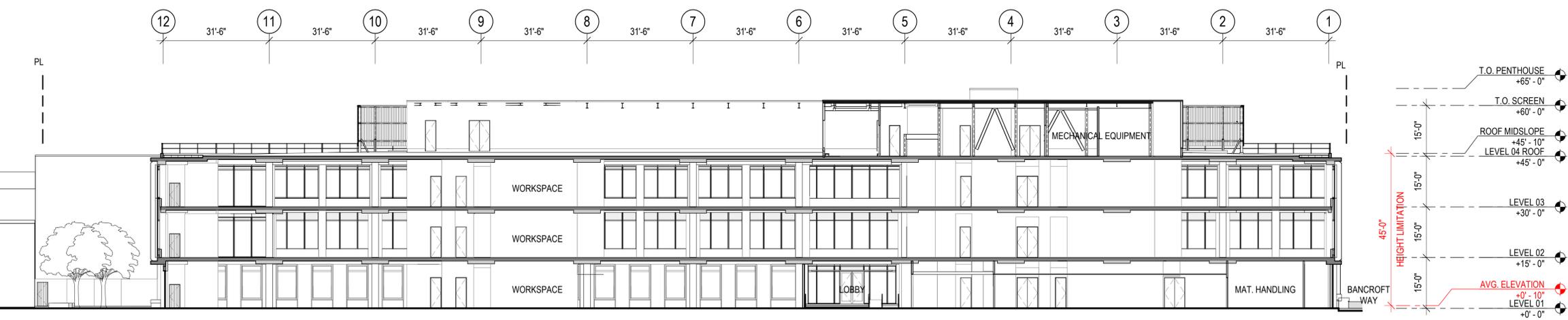
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EAST WEST SECTION THROUGH LOBBY 03
 SCALE: 1/16" = 1'-0"

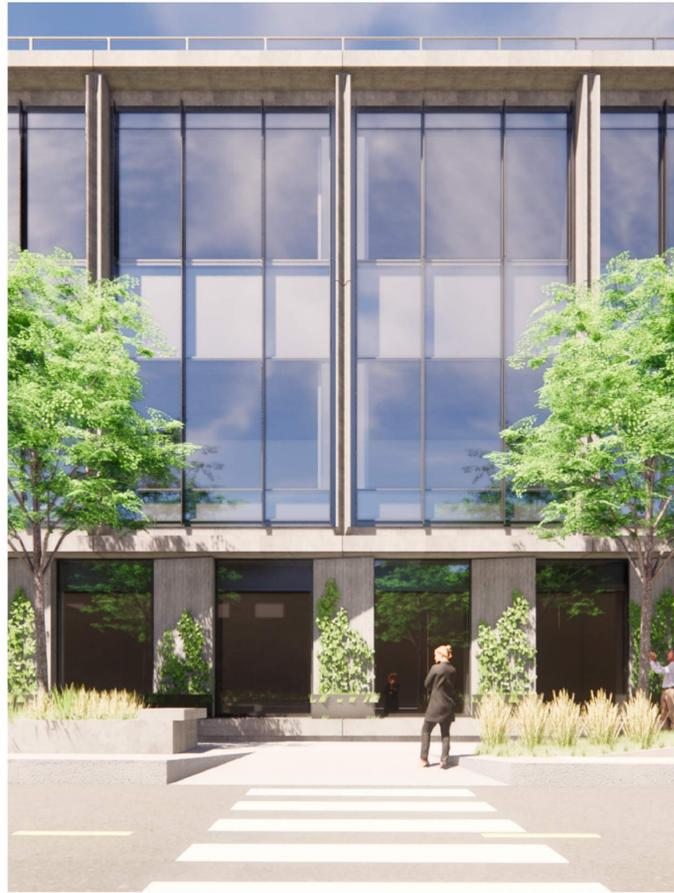


EAST WEST SECTION THROUGH DRIVEWAY 02
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NORTH SOUTH SECTION 1 01
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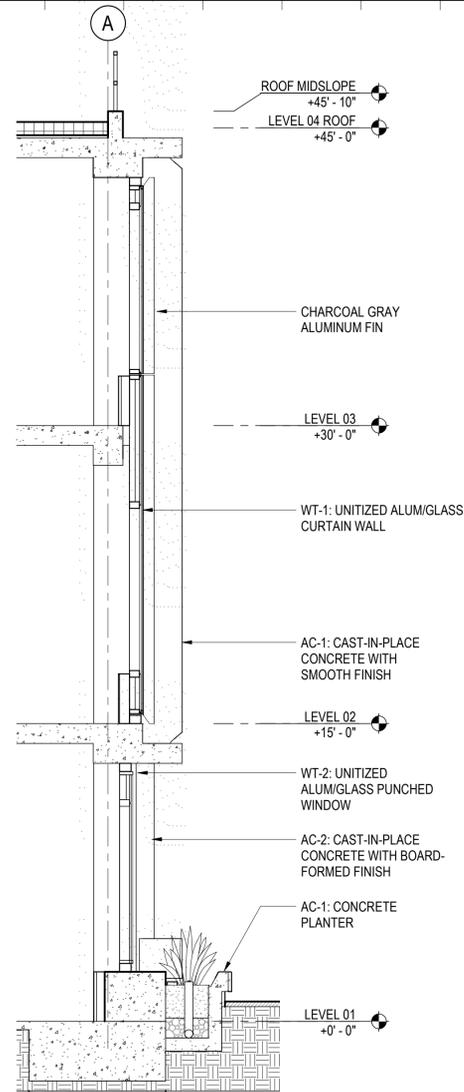
EXTERIOR VIEW AT TYPICAL FACADE (4TH STREET)



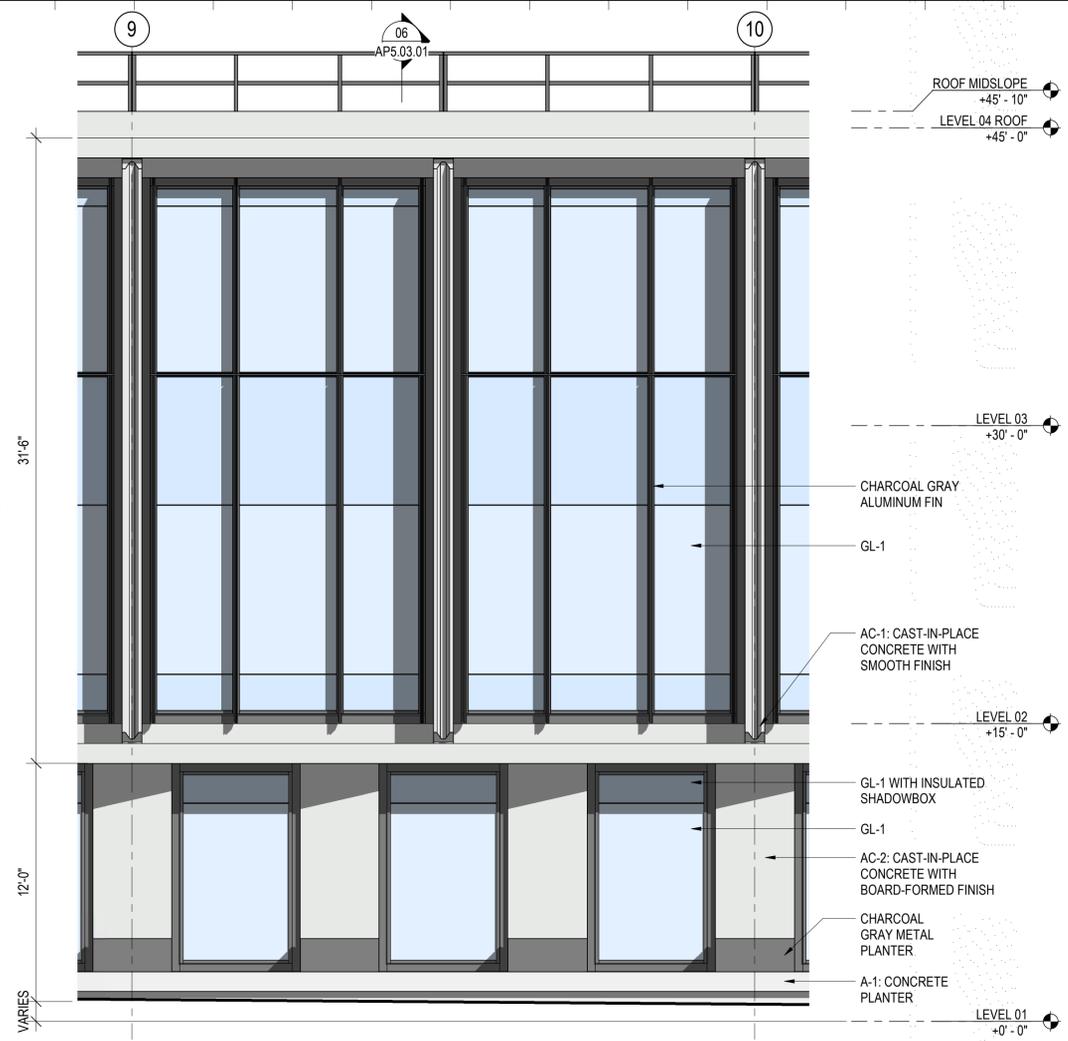
EXTERIOR VIEW AT EAST ENTRY



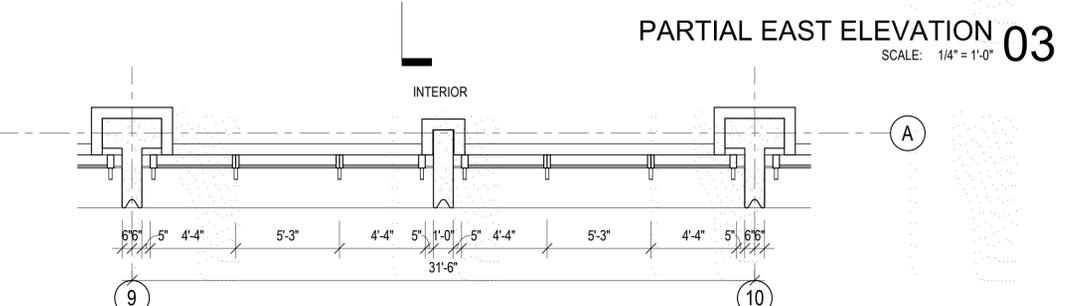
EXTERIOR VIEW ALONG 4TH STREET SIDEWALK



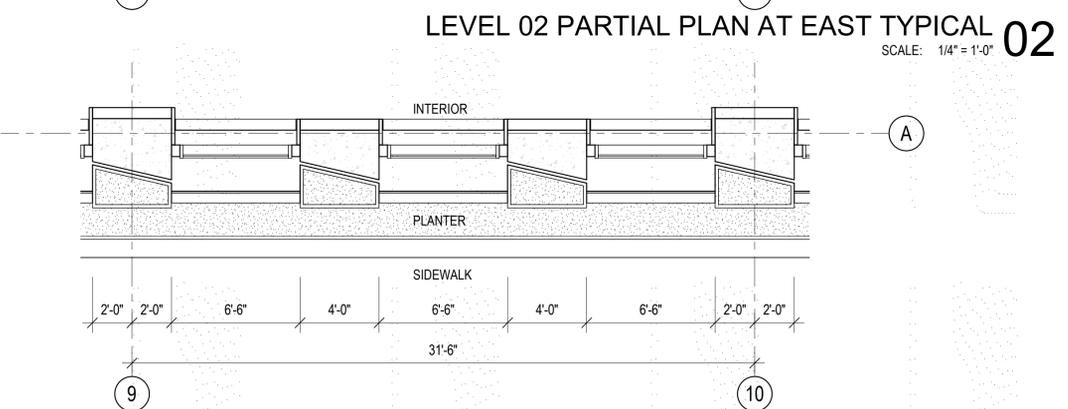
PARTIAL SECTION AT EAST 06
 SCALE: 1/4" = 1'-0"



PARTIAL EAST ELEVATION 03
 SCALE: 1/4" = 1'-0"



LEVEL 02 PARTIAL PLAN AT EAST TYPICAL 02
 SCALE: 1/4" = 1'-0"



LEVEL 01 PARTIAL PLAN AT EAST TYPICAL 01
 SCALE: 1/4" = 1'-0"

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Key Plan:

No.	Description	Date

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EXTERIOR WALL DETAILS

Project No.: 220175
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SHADED PARKING LEGEND

LEGEND	NAME	NOTES
	OPEN AIR PARKING PAVED AREA	ONLY OPEN AIR SURFACE PARKING HAS BEEN INCLUDED IN THIS TREE CANOPY COVERAGE CALCULATION
	TRISTANIA LAURINA 'ELEGANT' SEE PLANTING PLAN	DIAMETER AT FULL MATURITY: 20'
	PARKING AREA SHADED BY TREE CANOPY	DIAMETER AT FULL MATURITY: 20'
	PARKING AREA SHADED BY BUILDING/STRUCTURE	THIS PART IS NOT INCLUDED IN THE CALCULATION

PLANTING LEGEND TREE LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	NATIVE	EVERGREEN / DECIDUOUS	SPACING	NOTES
	ACER RUBRUM 'OCTOBER GLORY'	RED MAPLE	36" BOX	M	N	D	AS SHOWN	STREET TREE
	CERCIS OCCIDENTALIS	CALIFORNIA REDBUD	36" BOX 24" BOX	L	Y	D	AS SHOWN	PLAZA SPECIMEN TREE OHLONE GARDEN SPECIMEN TREE
	CORNUS NUTTALLII	PACIFIC DOGWOOD	48" BOX	M	Y	D	AS SHOWN	PLAZA SPECIMEN TREE
	ACER JAPONICUM	JAPANESE MAPLE	36" BOX	M	N	D	N/A	SPECIMEN TREE
	ULMUS HYBRID 'FRONTIER'	FRONTIER ELM	36" BOX	M	N	D	AS SHOWN	PARKING LOT TREE
	UMBELLULARIA CALIFORNICA	CALIFORNIA LAUREL	36" BOX	M	Y	E	AS SHOWN	PARKING LOT TREE

HARDSCAPE LEGEND

LEGEND	MATERIALS	MODEL / MANUFACTURER	COLOR / SIZE / FINISH	COMMENTS
P1	CONCRETE PAVING / INTEGRAL COLOR	-	NATURAL GRAY MEDIUM / SANDBLAST	SEE DETAILS
P2A	CONCRETE UNIT PAVER A	HANOVER	NATURAL 12"x24"x3"	TUDOR FINISH SEE DETAILS
P2B	CONCRETE UNIT PAVER B	HANOVER	LIMESTONE GRAY 6"x12"x3"	TUDOR FINISH SEE DETAILS
P3A	CONCRETE UNIT PAVER PLANKSTONE A	HANOVER	NATURAL 3"x9"x4"	TUDOR FINISH SEE DETAILS
P3B	CONCRETE UNIT PAVER PLANKSTONE B	HANOVER	LIMESTONE GRAY 3"x9"x4"	TUDOR FINISH SEE DETAILS
P4	CONCRETE CURB	-	-	PER CIVIL
P4A	EDGE RETENTION ANGLE	-	-	SEE DETAILS
P5	SIDEWALK CONCRETE PAVING	-	-	PER CIVIL
P6	CRUSHED GRANITE	LYNGSO GARDEN MATERIALS	MIXED COLOR	3 / 4" CRUSHED ROCK
P7	PERMEABLE INTERLOCKING CONCRETE PAVER	HANOVER	LIMESTONE GRAY 4"x8"x3"	TUDOR FINISH SEE DETAILS
P8	PARKING LOT PAVING	-	-	PER CIVIL
P9	CONCRETE DETECTABLE WARNING PAVER	HANOVER	CHARCOAL GRAY 12"x12"x2"	SEE DETAILS
P10	DECOMPOSED GRANITE WITH RESIN	-	-	SEE DETAILS

PLANTING LEGEND SHRUB/GROUND COVER LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	NATIVE	EVERGREEN	SPREAD	HEIGHT	NOTES
	CAREX PANSA	CALIFORNIA BEACH DUNE	FLATS	L	Y	N	N/A	0.7 - 1.3'	LAWN
	ARCTOSTAPHYLOS 'EMERALD CARPET'	CARPET MANZANITA	FLATS	L	Y	Y	N/A	1'	GROUND COVER
	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	L	Y	Y	4'	4 - 5'	ORNAMENTAL GRASS
	PENNISETUM ALOPECUROIDES	RED FOUNTAIN GRASS	5 GAL	L	N	N	3 - 4'	2 - 4'	ORNAMENTAL GRASS
	LUPINUS ALBIFRONS	SILVER LUPINE	1 GAL	L	Y	N	2 - 3'	3.2 - 5'	PERENNIAL SHURB
	MIMULUS AURANTIACUS	BUSH MONKEY FLOWERS	1 GAL	L	Y	N	5'	4 - 5'	PERENNIAL SHURB
	ASCLEPIAS SPECIOSA	SHOWY MILKWEED	1 GAL	M	Y	N	4'	4 - 6'	PERENNIAL SHURB
	CAREX TUMULICOLA	FOOTHILL SEDGE	1 GAL	L	Y	Y	2'	1 - 1.5'	ORNAMENTAL GRASS
	CAREX BARBAREA	VALLEY SEDGE	1 GAL	L	Y	Y	3'	1.6 - 3.3'	PLANTER
	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL	L	Y	N	2 - 4'	0.6 - 2.6'	PLANTER
	LIGUSTRUM OVALIFOLIUM	CALIFORNIA PRIVET	5 GAL	L	N	Y	-	3' - 6"	HEDGE, NATURALIZED - MAINTAIN 3' - 6" OF HEDGE HEIGHT
	FICUS PUMILA	CLIMBING FIG	15 GAL	L	N	Y	-	-	ENTRY CANOPY TRELIS PLANTER
	GAULTHERIA SHALLOM	SALAL	5 GAL	L	Y	Y	-	-	STREET LEVEL PLANTER
	LAVANDULA PROVENCE	BLUE LAVANDIN	5 GAL	L	N	N	-	-	TERRACE LEVEL PLANTER
	POLYSTICHUM MUNITUM	SWORD FERN	5 GAL	L	Y	Y	-	-	PLANTER

WALL LEGEND

LEGEND	MATERIALS	MODEL / MANUFACTURER	COLOR / FINISH	COMMENTS
W1	CUSTOM PLANTER WALL	-	-	PER ARCHITECTURE
W2	BENCH WOOD TOP	ROBI DECKING	IPE WOOD (ALT-BLACK LOCUST)	ROBI OIL
W3	CAST IN PLACE CUSTOM PLANTER WALL	-	NATURAL GRAY TOPCAST MICHRO-ETCH	MATCH WITH W1
W4	PERIMETER RETAINING WALL	-	-	SEE CIVIL/ ARCHITECTURE DRAWINGS

FURNITURE / GENERAL LEGEND

LEGEND	MATERIALS	MODEL / MANUFACTURER	COLOR / FINISH	COMMENTS
S1	TRASH RECEPTACLES	LANDSCAPEFORMS FGP LITTER	WOOD ALUMINUM POWDERCOAT	
S2	BIKE RACK	-	STAINLESS #4 BRUSH FINISH	PER CITY STANDARD
G1	GATE AT NORTH PLAZA	-	-	SAD FOR DETAILS
G2	GATE AT BANCROFT WAY	-	-	SAD FOR DETAILS
PA	PLANTING AREA MULCH	LYNGSO GARDEN MATERIALS	MOCHA CHIP NATURAL	2" MIN. THICK LAYER

IRRIGATION LEGEND

SYMBOL	DESCRIPTION	MODEL / MANUFACTURER	COVER
	EXISTING IRRIGATION WATER METER	-	-
	R.P. BACKFLOW PREVENTER	-EXISTING 1.5" TO BE DOWNSIZED TO 1" -WILKINS-975-XLU-1"	-
	ELECTRIC CONTROLLER (SMART)	-WEATHER TRAK-WTPRO3-C-12-SPH-OH1-2F	-
	RAIN SENSOR IN ENCLOSURE	-WEATHER TRAK-WRS	-
	PRESSURE REGULATOR	-WILKINS-509-1"	-
	MASTER CONTROL VALVE	-WEATHER TRAK-WT-MV-100G-SND	-
	FLOW SENSOR	-WEATHER TRAK-WT-FS-100-DI	-
	REMOTE CONTROL VALVES	-TORO-P220-26-9x SERIES	-
	DRIP REMOTE CONTROL VALVES	-TORO-P220-27-9x SERIES	-
	QUICK COUPLING VALVES	-RAINBIRD-33DNP	-
	BALL VALVE-ISOLATION VALVE OR STUBOUT	-	-
	DRIP FLUSH VALVE	-SEE DETAIL	-
	12" POP-UP SPRAY HEADS	-TORO-570Z-12P-COM-10F,H,T,Q	-
	12" POP-UP SPRAY HEADS	-TORO-570Z-12P-COM-8F,H,T,Q	-
	TREE IRRIGATION IN PLANTING OF WELLS	-TORO-FB-25-PC (TWO PER TREE)	-
	IRRIGATION DRIP LINE	-RAINBIRD-XFS-06-12	- 3" COVER
	IRRIGATION DRIP HEADER LINE	-1120CLASS 200 PVC PIPE	-12" COVER
	IRRIGATION SPRINKLERLINE	-1120SCHEDULE 40 PVC PIPE	-12" COVER
	IRRIGATION SUPPLYLINE -1 1/4"	-1120SCHEDULE 40 PVC PIPE	-18" COVER
	SLEEVING - SIZE AS INDICATED	-1120SCHEDULE 40 PVC PIPE	-24" COVER
	L.V. ELECTRICAL CONDUIT - SIZE AS INDICATED	-1120SCHEDULE 40 PVC PIPE	-24" COVER
	NOTE: CIRCLED SIZE INDICATES ELECTRICAL CONDUIT OR SLEEVING.		
	CONTROLLER STATION NUMBER		
	GALLONS PER MINUTE THROUGH VALVE		
	CONTROL VALVE SIZE		

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OWNER

STEELWAVE
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PROJECT TEAM

ARCHITECT | STRUCTURAL ENGINEER | LANDSCAPE

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SKIDMORE, OWINGS & MERRILL LLP
ONE MARITIME PLAZA
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BUILDER

LUSARDI CONSTRUCTION COMPANY
6376 CLARK AVE
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CIVIL ENGINEER

WARE MALCOMB
4683 CHABOT DRIVE #300
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MEP ENGINEER

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OAKLAND, CA 94610

SUSTAINABILITY

ATELIER TEN
443 TEHAMA ST, 1ST FLOOR
SAN FRANCISCO, CA 94103

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	ZONING ADJUSTMENT BOARD MEETING	2022.06.23
	FINAL DESIGN REVIEW COMMITTEE	2022.09.15

Key Plan:

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Seal & Signature:

LEGEND/SCHEDULE

Sheet Name:

Project No.: 220175

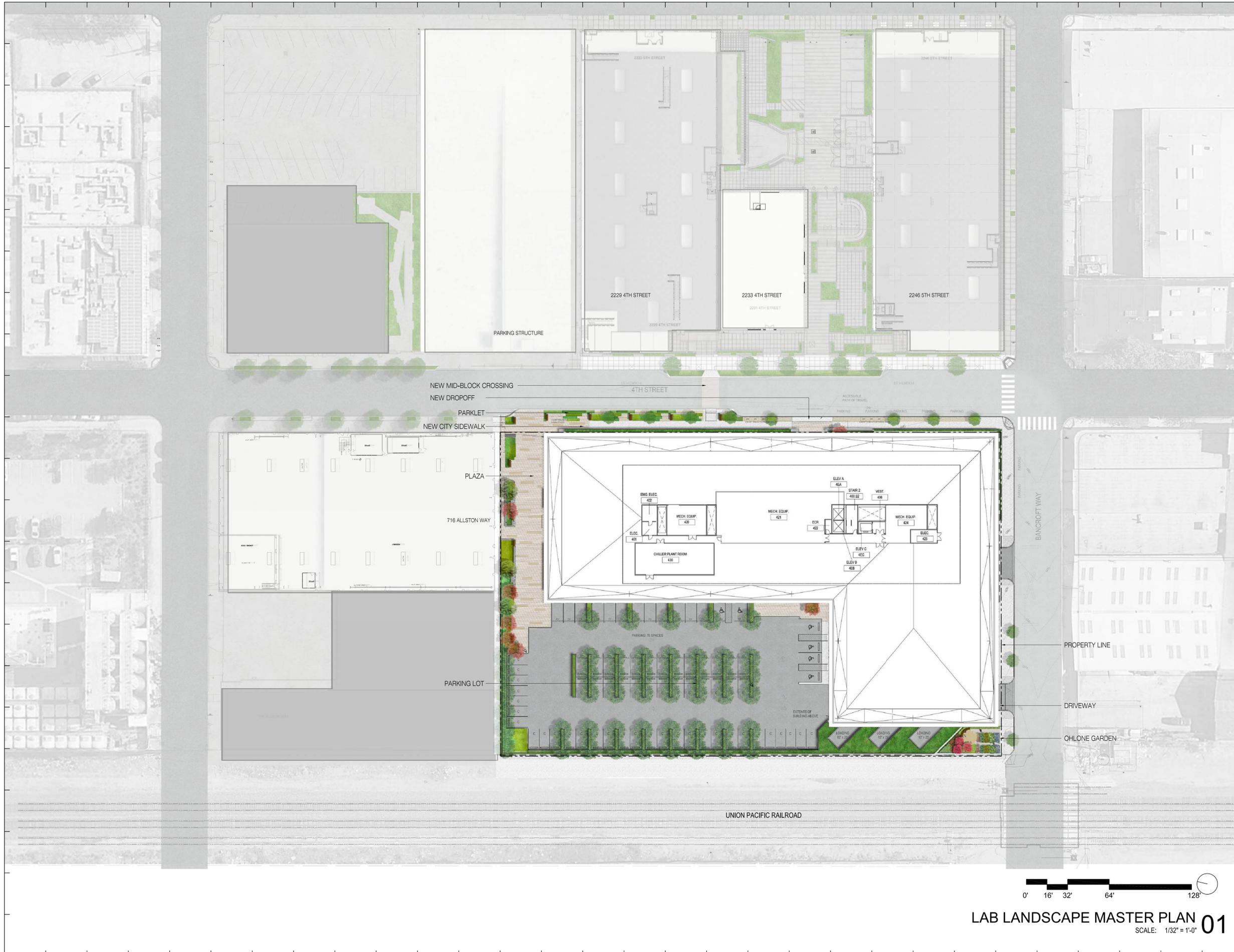
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Key Plan:

PROPERTY LINE

DRIVEWAY

OHLONE GARDEN

Seal & Signature:

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LAB LANDSCAPE MASTER PLAN

Project No.:	220175	Sheet No.:	LP2.00.00
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Scale:	1/32" = 1'-0"		





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LANDSCAPE PLAN

Project No.:	220175	Sheet No.:	LP2.00.01
Drawn By:		Checked By:	
Scale:	1/16" = 1'-0"		

NOTES:
 1. SEE LEGEND ON SHEET LP1.00.00-LEGEND SCHEDULE

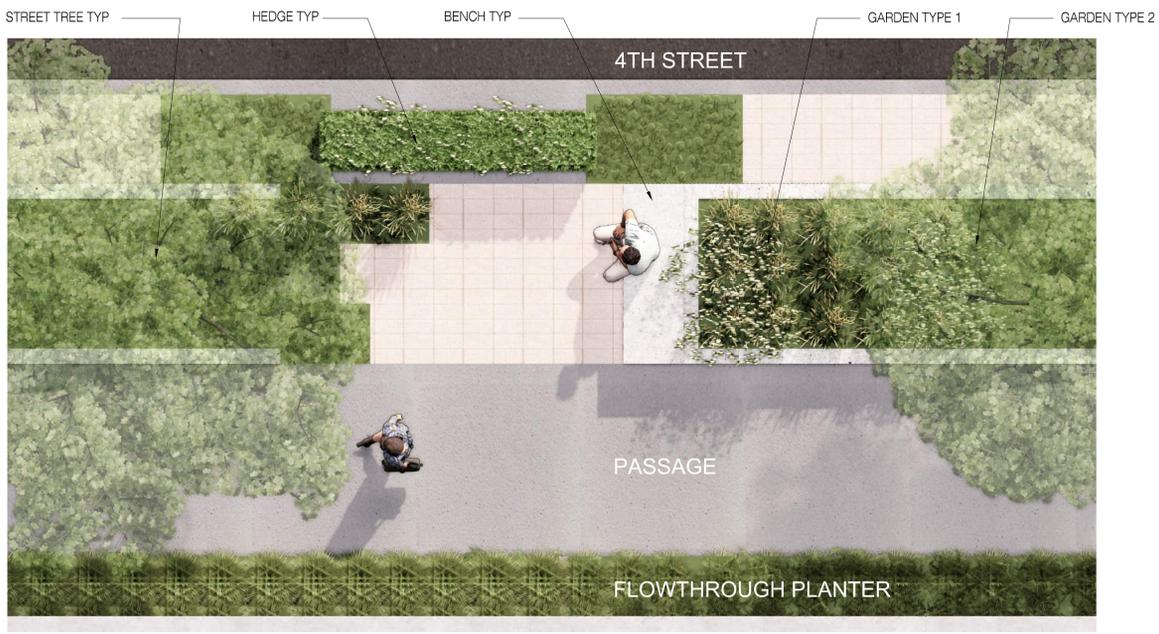
LAB LANDSCAPE MASTER PLAN 01

SCALE: 1/16" = 1'-0"



NOTES:
 1. SEE SHEET LP5.01.00 AND LP5.01.01 FOR PLANTING.

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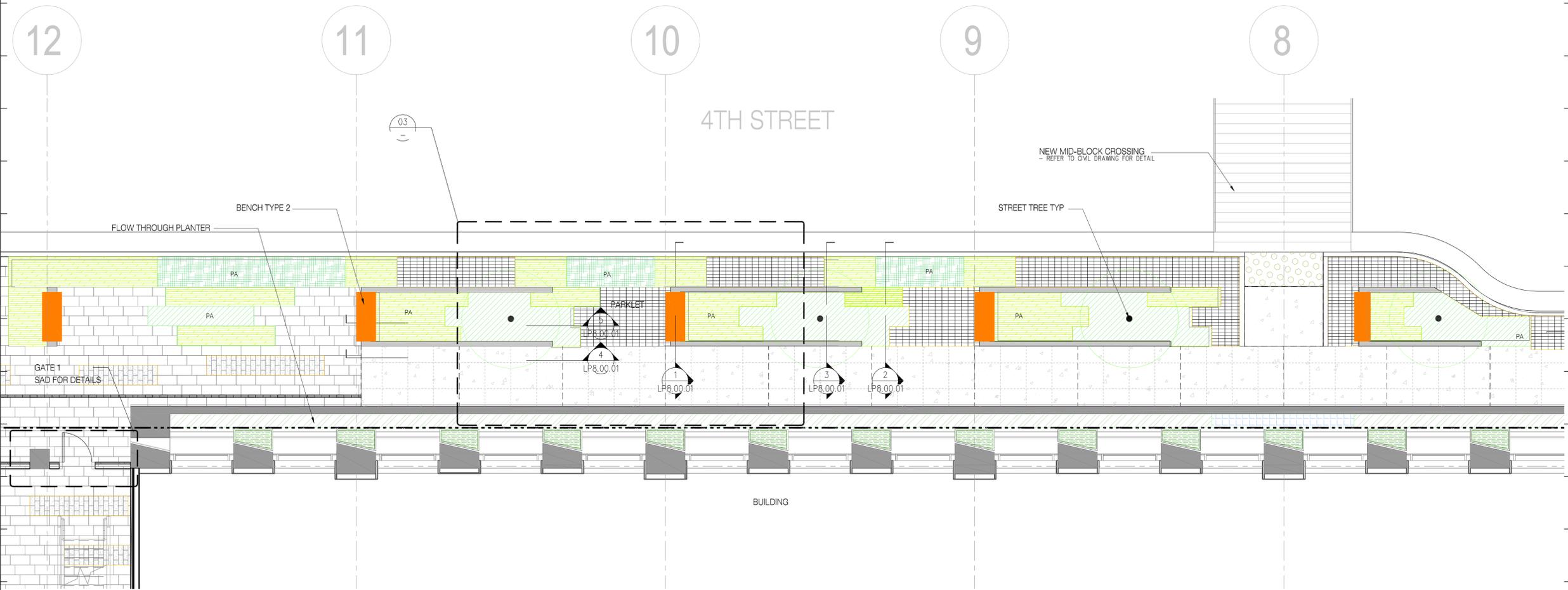
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STREET GARDEN RENDERED PLAN 03
 SCALE: NTS

STREET GARDEN RENDERING 02
 SCALE: NTS



STREET GARDEN ENLARGED PLAN 01
 SCALE: 1/4"=1'-0"

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ENLARGEMENT PLAN

Project No.:	220175	Sheet No.:	LP2.00.11
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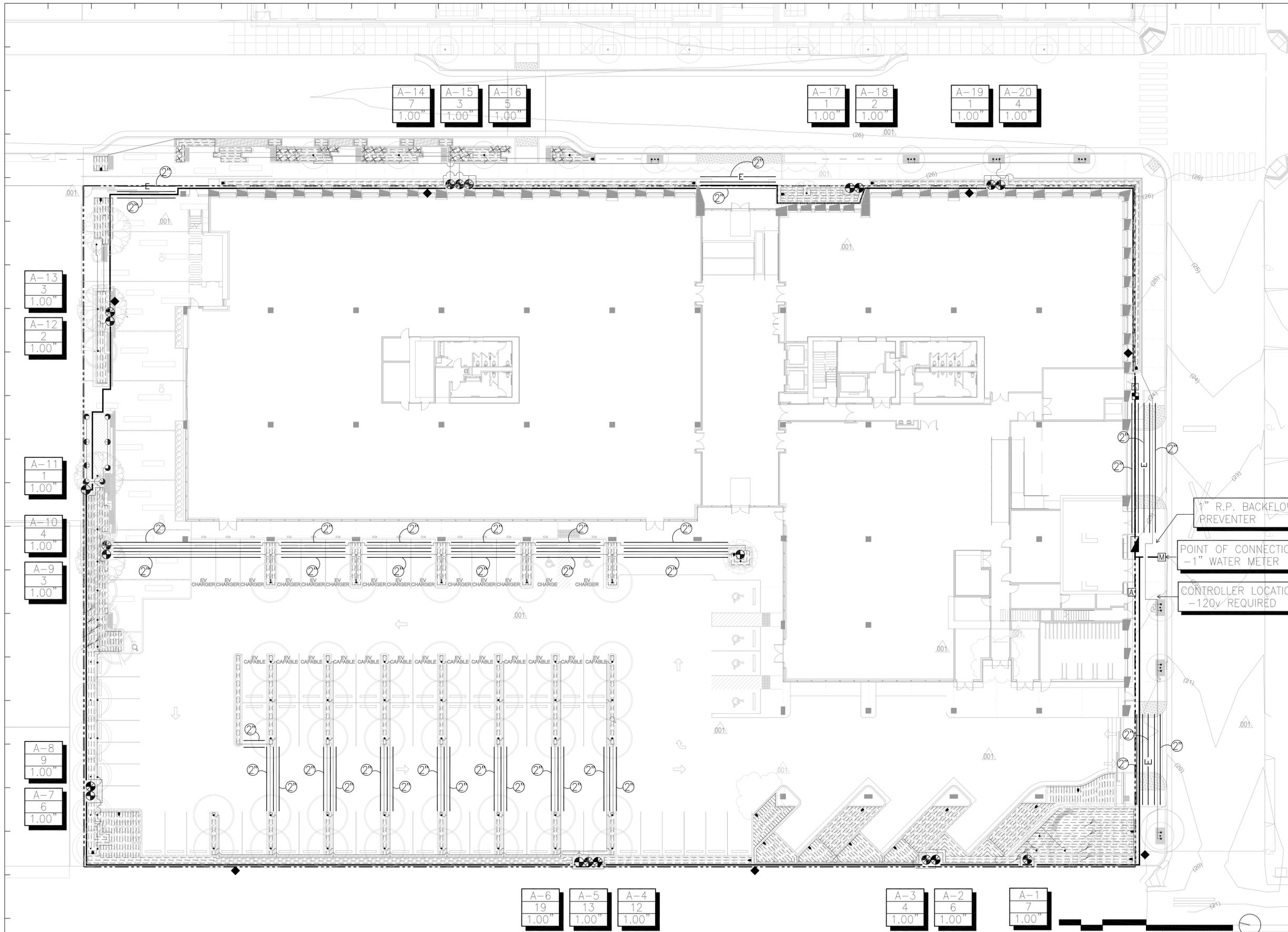
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IRRIGATION CONCEPT PLAN

Project No.:	220175	Sheet No.:	LP4.00.00
Drawn By:		Checked By:	
Scale:	1/16" = 1'-0"		



IRRIGATION CONCEPT PLAN 01
 SCALE: 1/16" = 1'-0"

NOTES:
 1. SEE LEGEND ON SHEET LP1.00.00-LEGEND SCHEDULE
 2. FINAL IRRIGATION PLAN WILL BE IN FUTURE SUBMITTALS AND WILL BE PREPARED BY A CERTIFIED IRRIGATION DESIGNER.

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Sheet Name:

PRECEDENT
 IMAGES

Project No.:

220175

Drawn By:

Checked By:

Scale:

NTS

Sheet No.:

LP5.00.00



PLAZA TREE
 PACIFIC DOGWOOD
 CORNUS NUTTALLII



STREET TREE
 RED MAPLE
 ACER RUBRUM 'OCTOBER GLORY'



PARKING LOT TREE
 FRONTIER ELM
 ULMUS HYBRID 'FRONTIER'



PLAZA TREE
 JAPANESE MAPLE
 ACER JAPONICUM



STREET TREE
 RED MAPLE
 ACER RUBRUM 'OCTOBER GLORY'
 FALL COLOR



PARKING LOT TREE
 FRONTIER ELM
 ULMUS HYBRID 'FRONTIER'
 FALL COLOR



CAREX PANSA



LOMANDRA LONGIFOLIA 'BREEZE'



MUHLENBERGIA RIGENS



PENNISETUM ALOPECUROIDES



ARCTOSTAPHYLOS 'EMERALD CARPET'



CAREX TUMULICOLA



IRIS PACIFIC COAST HYBRID



LIGUSTRUM OVALIFOLIUM

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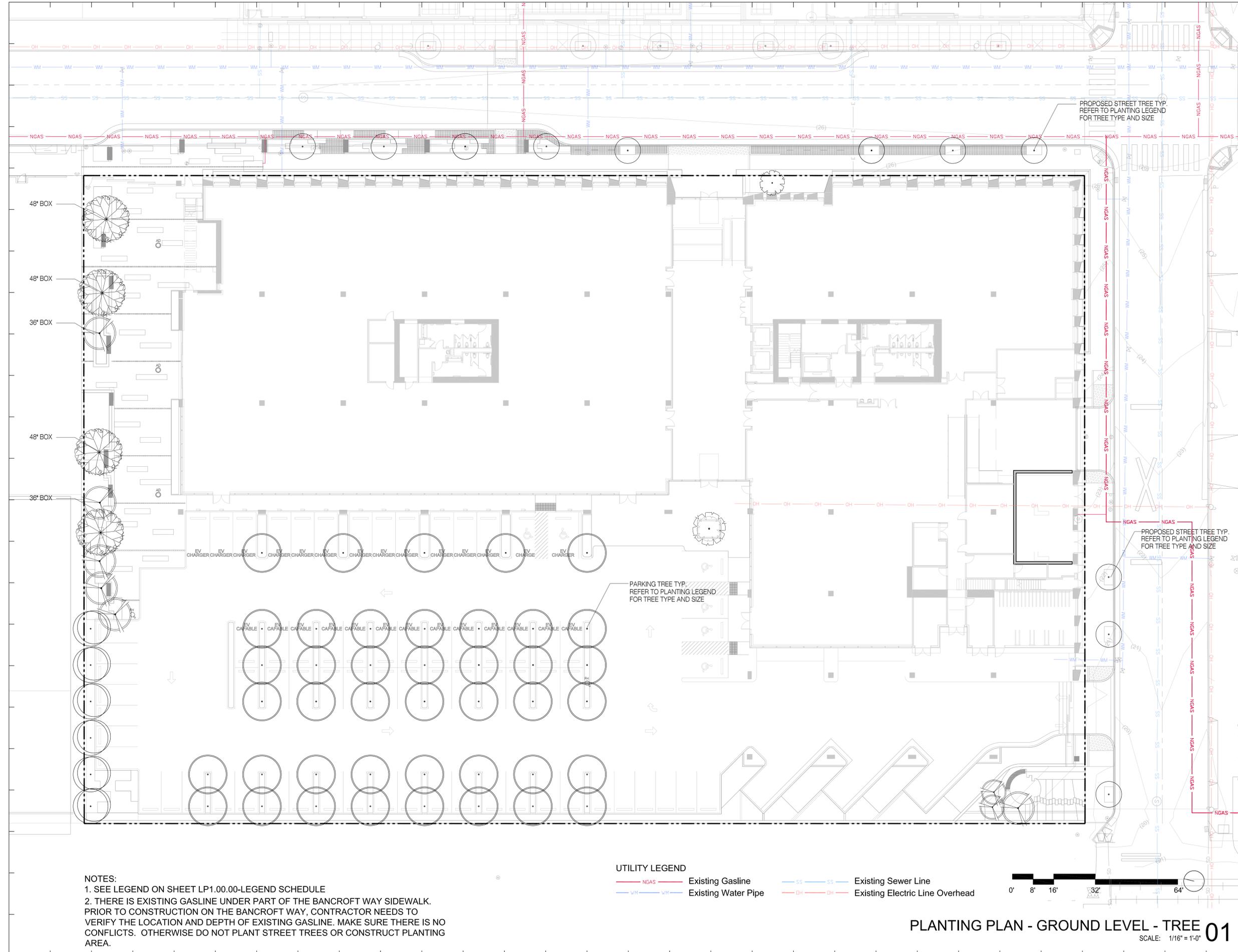
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Sheet Name:

PLANTING PLAN - GROUND LEVEL TREE

Project No.:	Sheet No.:
220175	
Drawn By:	
Checked By:	
Scale:	
1/16" = 1'-0"	

LP5.01.00



NOTES:
 1. SEE LEGEND ON SHEET LP1.00.00-LEGEND SCHEDULE
 2. THERE IS EXISTING GASLINE UNDER PART OF THE BANCROFT WAY SIDEWALK. PRIOR TO CONSTRUCTION ON THE BANCROFT WAY, CONTRACTOR NEEDS TO VERIFY THE LOCATION AND DEPTH OF EXISTING GASLINE. MAKE SURE THERE IS NO CONFLICTS. OTHERWISE DO NOT PLANT STREET TREES OR CONSTRUCT PLANTING AREA.

UTILITY LEGEND

— NGAS —	Existing Gasline	— SS — SS —	Existing Sewer Line
— WM — WM —	Existing Water Pipe	— OH — OH —	Existing Electric Line Overhead



PLANTING PLAN - GROUND LEVEL - TREE 01

SCALE: 1/16" = 1'-0"

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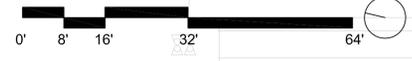
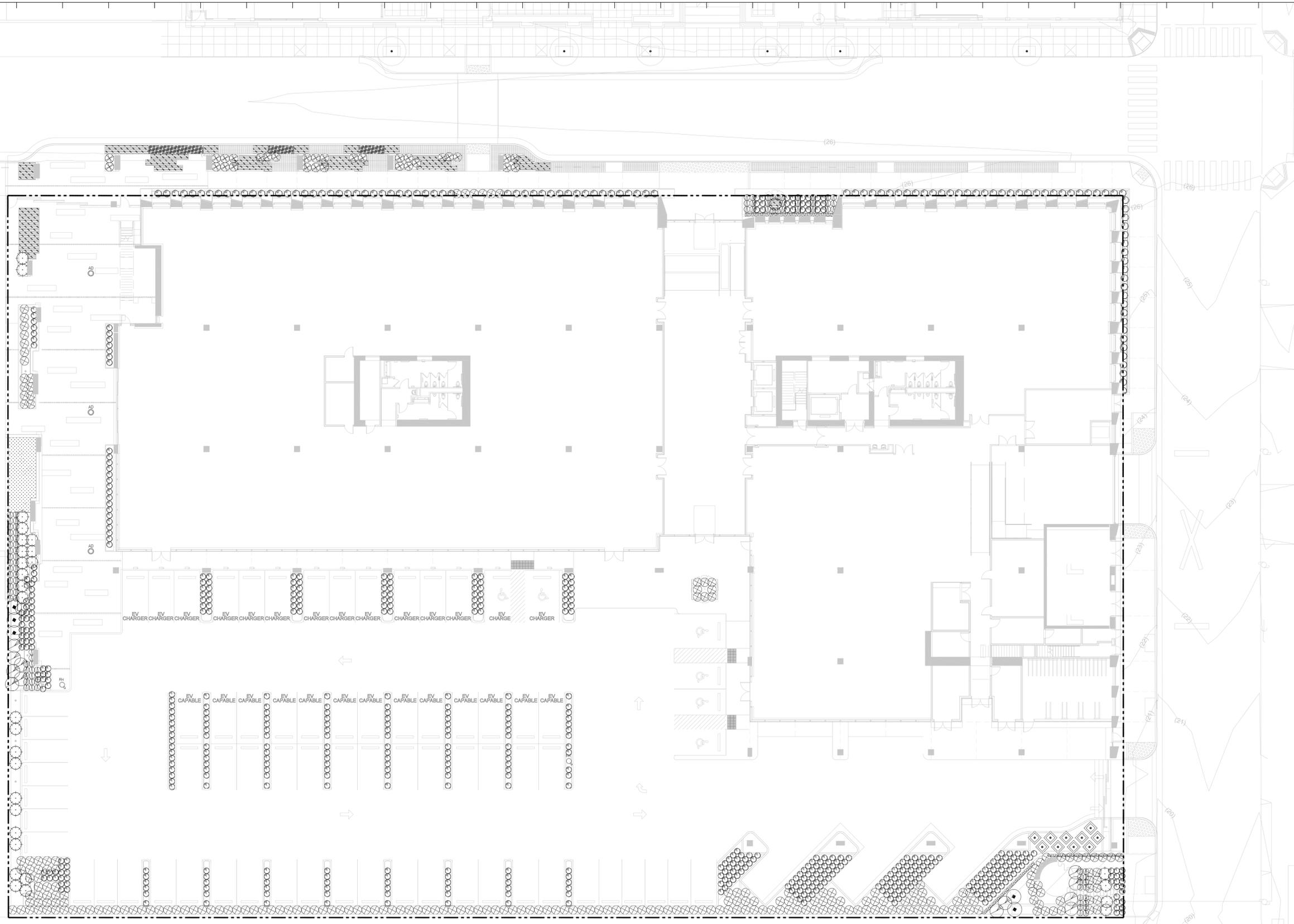
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Sheet Name:
PLANTING PLAN - GROUND LEVEL SHRUB

Project No.:	220175	Sheet No.:	LP5.01.01
Drawn By:		Checked By:	
Scale:	1/16" = 1'-0"		



NOTES:
 1. SEE LEGEND ON SHEET LP1.00.00-LEGEND SCHEDULE

PLANTING PLAN - GROUND LEVEL - SHRUB 01

SCALE: 1/16" = 1'-0"

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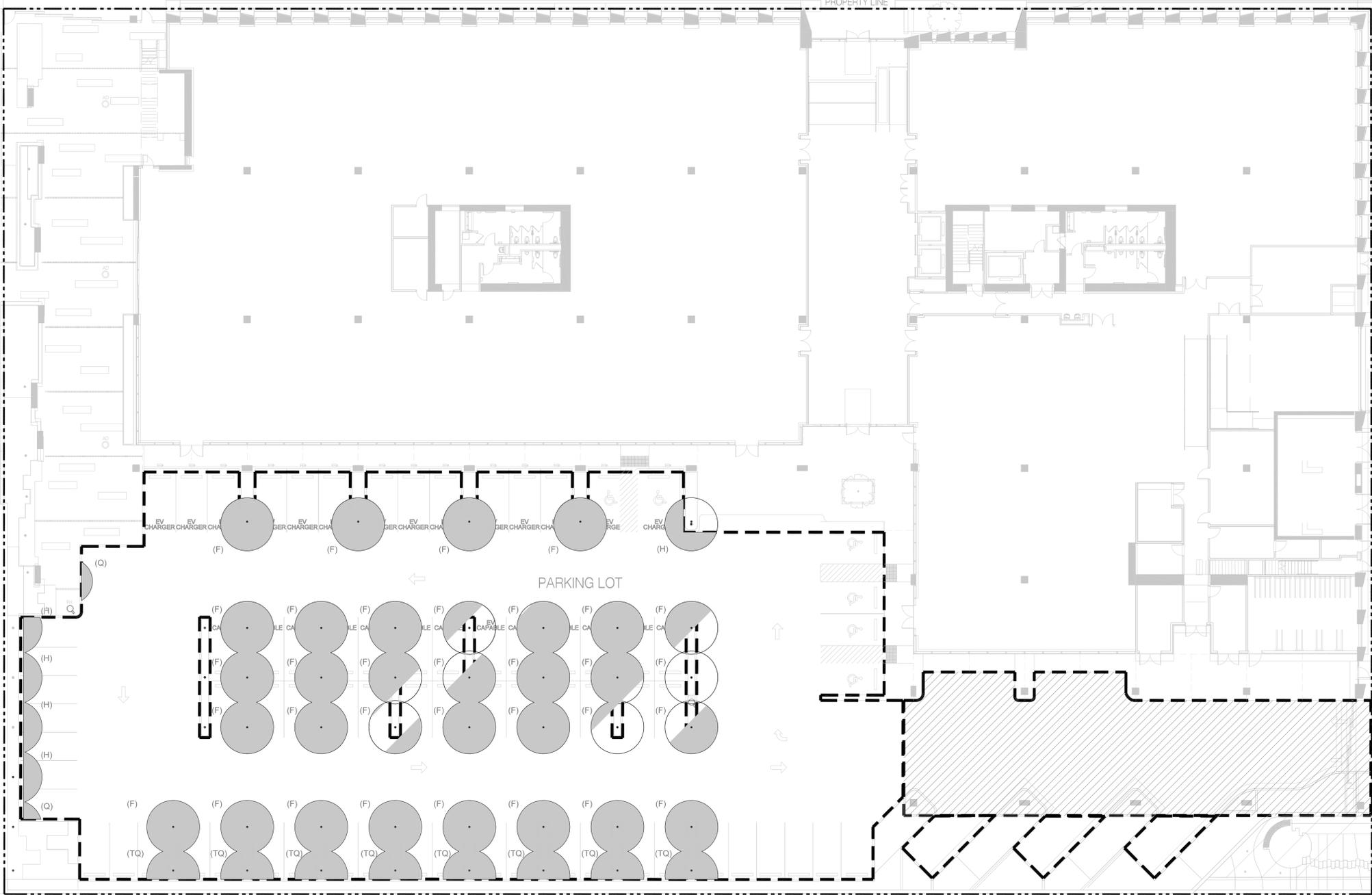
Key Plan:

Seal & Signature:

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Sheet Name:
SHADED PARKING COVERAGE PLAN

Project No.: 220175
 Sheet No.: LP5.03.00
 Drawn By:
 Checked By:
 Scale: 1/16" = 1'-0"

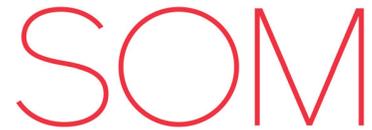


TOTAL OPEN AIR PAVED PARKING AREA	25,082 S.F.	(F) 100% 33 x 100' x 176.7 sqft = 5831.1
TOTAL PARKING AREA SHADED BY TREE	7421.4 S.F.	(TQ) 75% 8 x 75% x 176.7 sqft = 1060.2
TREE CANOPY SHADED PERCENTAGE	29.5%	(H) 50% 5 x 50% x 176.7 sqft = 441.75
		(Q) 25% 2 x 25% x 176.7 sqft = 88.35
		TOTALS 7421.4 sqft

NOTES:
 1. SEE LEGEND ON SHEET LP1.00.00-LEGEND SCHEDULE
 2. BESIDES THE TREE CANOPY SHADED AREA, 4,326.0 S.F. OF PAVED SURFACE PARKING AND DRIVEWAY IS SHADED BY 787 BANCROFT.

SHADED PARKING COVERAGE PLAN 01
 SCALE: 1/16" = 1'-0"

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747 Bancroft | Design Review Committee Response 2

CATEGORY	COMMENT NUMBER	COMMENT/TASK	LOCATION / SHEET #	RESPONSE
Design Review Requirements:				
Preliminary Design Review	1	Recommendations - Include options for the canopy design at FDR with variation in the intermediate members.	GP0.00.00 GP0.01.03	The project team has revised the canopy design to address the DRC's concerns. See renderings in drawing set and presentation for revised canopy design.
	2	Recommendations - Mid-Block crossing option to be reviewed at FDR for recommendation to Public Works	Refer to Civil Drawings	The location of the mid-block crossing has been approved by the city. The Project's Civil team is working with public works and city engineers to design mid-block crossing according to city standards.
	3	Recommendations - Confirm Berkeley Sedge is native.	L1.00.00 L2.04.00	Confirmed. Specified "carex tumulicola" (Berkeley sedge/foothill sedge), which is California native
ZAB / Public Works	1	Recommending ZAB require bird safe glazing on all elevations that extend to all floors, or a review from a qualified professional with their recommendations for bird safety.	GP0.01.04	Our glass selection has been revised to have a bird safe frit on all of the glazing on the glass enclosures. Glenn Phillips from Golden Gate Audobon Society consulted our team on best practices for pattern, color, and application. These were applied the glass enclosure on all sides of the building.
	2	Recommend that an amenity space be added adjacent to the North Plaza	L2.01.00 L3.01.02	Confirmed. Refer to landscape Site Plan Sheets for additional amenity space adjacent to the North plaza.
	3	Recommends ZAB require gender neutral bathrooms.		Our project team is still reviewing this recommendation,
	4	DRC recommends permeable pavers in the strips between the street trees. Applicant shall report on Public Works approval at FDR.	L2.05.00	Confirmed with Vincent(PW) for additional permeable pavers used between street tree wells along 4th Street.
Additional Design Review Comments from Building Permit Plan Check Cycle II	1	Provide the percentage of native and/or wildlife supporting plant materials proposed; any provision for bird-safety glazing in your design; and any night-sky provisions with proposed light fixtures	LSK 005-4	California native understory planting area is over 90%. North plaza trees are 100% California native. Refer to LSK 005-4 diagram. Refer to architecture response for bird-safety glazing and light fixtures. Bird safe glazing is provided per the requirements of ZAB conditions of approval as specified in Specification Section 08 80 00 "Glazing". The final bird safety mitigation measures that are accepted by the FDR will be documented in a future bulletin.
	2	All exterior light fixtures shall be downcast and not cause glare on the Public Right-of-way or adjacent parcels. (Will be a condition of approval.)	Appendix C Lighting Specifications Handbook	All exterior light fixtures meet or exceed required Backlight Uplight Glare (BUG) requirements or are contained / captured by architecture to prevent trespass / spill into the night sky or adjacent properties and Public Right ofway. Refer to Appendix C Lighting Specification Handbook for BUG ratings and supporting information.
	3	All street trees shall have approval from the City Forester and Public Works. (Will be a condition of approval.)	LSK 005-3	Confirmed. Refer to LSK 005-3 for a confirmation email from Dyara, city of Berkeley arborist.
	4	All landscape improvements shall be consistent with the State's Water Efficient Landscape Ordinance (WELO). 40% of common open space shall be landscape area. (Will be a condition of approval.)	L2.01.00 L5.11.00	Confirmed. Except required fire staging area at the north plaza, common open space has 40% of landscape area.
	5	All exterior finishes shall be matte. (Will be a condition of approval.)	GP0.01.04	Confirmed. With the exception of glass, all exterior finishes are matte.

SELECT PAGES FROM LIGHTING SPEC
SHOWING BACKLIGHT UPLIGHT GLARE
(BUG) RATINGS OF LIGHTING FIXTURES

747 BANCROFT

Lighting Specification Handbook

Building Permit Plancheck Response 1 – 07/15/2022

CONTENTS:

LIGHTING FIXTURE SCHEDULE

LIGHTING FIXTURE CUTSHEETS

LIGHTING SKETCHED DETAILS

747 BANCROFT

LOCATION: Berkeley, CA

DATE: July 15, 2022

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GENERAL NOTES

- * All Items noted with (*) to be verified by **Architect/Landscape Architect** prior to purchase. May include: Finish, aesthetic detailing choices, mounting type, etc.
- * All items noted with (**) to be verified by **Contractor** prior to purchase. May include: length, mounting conditions, additional equipment/options/accessories, driver type/load, wire leads/feed locations, mounting clips/equipment, etc.
- * Contractor to provide lighting fixture and lamp submittals created by manufacturer representatives for review by Lighting Designer prior to final order.
- * Contractor to provide broken-out, itemized, unit pricing for each fixture type with materials and labor broken out separately.
- * Contractor to verify all mounting conditions with fixture equipment and provide all parts necessary to comprise a fully functioning system.

FIXTURE REFERENCE NOTES

- 1 Finish to be confirmed by Architect/Interior Designer prior to ordering. Refer to fixture cutsheet for finish options.
- 2 Fixture to be integrated into architecture or millwork. Mounting detail required for proper installation. Contractor to coordinate fixture with lighting plans and details, architectural details, site conditions, and shop drawings prior to purchase.
- 3 Remote driver required in an accessible, well ventilated, and sound dampened location, clearly labeled for service. Contractor to size driver for load / maximum fixture quantity and consider voltage drop requirements when planning driver distance from fixture. **Contractor to power as many luminaires (on the same zone) as possible from one (1) power source to minimize equipment and install cost.**
- 4 Fixture requires non-standard control wiring for dimming control. Contractor to verify wiring requirements with fixture / driver cutsheets and installation instruction prior to electrical rough-in.
- 5 Manufacturer to provide proprietary equipment required for proper installation. Refer to fixture cutsheets and installation instructions prior to electrical rough-in.
- 6 Contractor to verify all mounting conditions with maximum ceiling thickness that the fixture / trim can accommodate prior to purchase. Refer to fixture cutsheet and installation instructions for additional information.
- 7 All suspended fixture mounting heights / locations to be confirmed by Architect / Interior Designer prior to electrical rough-in. Contractor to leave extra slack in wire, neatly coiled in the mounting canopy, for field adjustment as needed.

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LOCATION: Berkeley, CA
DATE: July 15, 2022
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E-TYPES (EXTERIOR)

ALL ITEMS NOTED WITH (*) TO BE VERIFIED BY ARCHITECT/INTERIOR DESIGNER PRIOR TO PURCHASE. MAY INCLUDE: FINISH, AESTHETIC DETAILING CHOICES, MOUNTING TYPE, ETC.

ALL ITEMS NOTED WITH (**) TO BE VERIFIED BY CONTRACTOR PRIOR TO PURCHASE. MAY INCLUDE: LENGTH, MOUNTING CONDITIONS, ADDITIONAL EQUIPMENT/OPTIONS/ACCESSORIES, DRIVER TYPE/LOAD, WIRE LEADS/FEED LOCATIONS, MOUNTING CLIPS/EQUIPMENT, ETC.

TYPE	REV	IMAGE	DESCRIPTION + LOCATION	MOUNTING	MANUFACTURER / MODEL	SOURCE	WATTS	LOAD	VOLTAGE	RATING	DRIVER	ADD. INFO	DETAIL REF.	SEE NOTES
E1	7/15/22		6.3"Ø X 7.09"H. EXTEIOR RATED INGRADE UPLIGHT BUILDING FRAMES	RECESSED IN FAÇADE FRAME	MANUFACTURER: WE-EF, ETC320-FS LED FIXTURE: 185-7690 OPTICS: 146-0419 146-0625 ACCESSORIES/OPTIONS: AS REQ'D	LED 3000K 80 CRI 1378 LM 5" BEAM	15 W	0-10V	120V-277V	IP69K BUG: SEE NOTE 3	INTEGRAL	MOCKUP	LD.12	GENERAL NOTES: #2, #4, #5 1. INSTALL REQUIRES POUR IN PLACE CONDUIT. LINE VOLTAGE CONNECTION TO BE MADE IN FIXTURE HOUSING. 2. MOCKUP REQUIRED TO FINALIZE FIXTURE SPEC AND OFFSET FROM FAÇADE FINIS. 3. LIGHT FROM FIXTURE COMPLETELY CAPTURED BY ARCHITECTURE, REFER TO LD.12 IN CUTSHEET PACKAGE FOR INTENT.
E2	7/15/22		2.4"Ø X 3"H. RECESSED EXTERIOR RATED DOWNLIGHT BUILDING SOFFITS	RECESSED, WITH TRIM IN CONCRETE POUR COMPATIBLE HOUSING	MANUFACTURER: DELTA LIGHT, MINI DEEP RINGO II X FIXTURE: 6 19424 9330 B HOUSING: 6 202 3108 115 31 DRIVER: 6 300 45 ED1	LED 3000K 98+ CRI 717 LM 37° BEAM	10 W	0-10V 1% DIM	120V-277V PRIMARY 24V SECONDARY	IP65 BUG: B1-U0-G0	REMOTE	-	-	GENERAL NOTES: #1, #2, #3, #4, #5, #6 1. E2 AND E2A DOWNLIGHTS TO BE CIRCUITED SEPARATELY FOR INDEPENDENT CONTROL. 2. FIXTURE INTENDED FOR POUR IN PLACE CONCRETE INSTALL AND REQUIRES COMPATIBLE HOUSING. EC TO CONFIRM HOUSING COMPATIBILITY WITH CONCRETE POUR PRIOR TO ORDERING.
E2A	7/15/22		2.4"Ø X 3"H. RECESSED EXTERIOR RATED DOWNLIGHT BUILDING SOFFITS OVER PLANTERS	RECESSED, WITH TRIM IN CONCRETE POUR COMPATIBLE HOUSING	REFER TO E2	LED 3000K 98+ CRI 717 LM 37° BEAM	10 W	0-10V 1% DIM	120V-277V PRIMARY 24V SECONDARY	IP65 BUG: B1-U0-G0	REMOTE	-	-	GENERAL NOTES: #1, #2, #3, #4, #5, #6 1. E2 AND E2A DOWNLIGHTS TO BE CIRCUITED SEPARATELY FOR INDEPENDENT CONTROL. 2. FIXTURE INTENDED FOR POUR IN PLACE CONCRETE INSTALL AND REQUIRES COMPATIBLE HOUSING. EC TO CONFIRM HOUSING COMPATIBILITY WITH CONCRETE POUR PRIOR TO ORDERING.
E2B	7/15/22		2.4"Ø X 3"H. RECESSED EXTERIOR RATED DOWNLIGHT LEVEL 2 TERRACE IN METAL PANEL CEILING	RECESSED, WITH TRIM IN METAL PANEL CEILING	REFER TO E2	LED 3000K 98+ CRI 717 LM 37° BEAM	10 W	0-10V 1% DIM	120V-277V PRIMARY 24V SECONDARY	IP65 BUG: B1-U0-G0	REMOTE	-	-	GENERAL NOTES: #1, #2, #3, #4, #5, #6 1. E2B LIGHTS OVER PLANTERS TO BE ZONED SEPARATELY FOR INDEPENDENT CONTROL.
E3	7/15/22		0.938"W X 0.563"H. LED TAPE IN CHANNEL MAIN ENTRY CANOPY	LINEAR LED STRIP LIGHT IN DETAIL	MANUFACTURER: KELVIX, DIRECT VIEW 700 (OUTDOOR) IN CH-222 CHANNEL CHANNEL: CH-222-(LENGTH**)-WH-CP-EC TAPE: DV30K-WR-24V DRIVER: SIMILAR TO HLV96**	LED 3000K 90+ CRI 680 LM/FT	5.3 W/FT	UNV 1% DIM	120V-277V PRIMARY 24V SECONDARY	IP67 BUG: B0-U1-G0	REMOTE	-	LD.04	GENERAL NOTES: #2, #3, #4, #5 1. LENGTHS PER DRAWINGS. STOP FIXTURES 3" SHORT OF ENDS OF CANOPY. 2. FIXTURE TO BE ORDERED WITH AN EXTRA LONG LEAD TO ALLOW FOR ALL SPLICES AND DRIVERS TO BE ACCESSIBLE IN INTERIOR OF BUILDING. 3. FIXTURE REQUIRES POUR IN PLACE CONDUIT. EC TO ENSURE NO VISIBLE POWER FEEDS, CONDUIT OR J-BOXES.

TYPE	REV	IMAGE	DESCRIPTION + LOCATION	MOUNTING	MANUFACTURER / MODEL	SOURCE	WATTS	LOAD	VOLTAGE	RATING	DRIVER	ADD. INFO	DETAIL REF.	SEE NOTES
E3A	7/15/22		0.75"W X 0.75"H, LED TAPE IN CORNER CHANNEL TERRACE SOFFITS	LINEAR LED STRIP LIGHT IN DETAIL	MANUFACTURER: KELVIX, DIRECT VIEW 200 (OUTDOOR) IN CH-607 CHANNEL CHANNEL: CH-607-(LENGTH**) -WH-CP-EC TAPE: DL30K-WR-24V DRIVER: SIMILAR TO HLV96**	LED 3000K 90+ CRI 195 LM/FT	3 W/FT	UNV 1% DIM	120V-277V PRIMARY 24V SECONDARY	IP97 BUG: SEE NOTE 3	REMOTE	-	LD.05	GENERAL NOTES: #2, #3, #4, #5 1. LENGTHS PER DRAWINGS. STOP FIXTURES 4" SHORT OF ENDS OF POCKET TO PREVENT LIGHT SPILLY. 2. EC TO ENSURE NO VISIBLE POWER FEEDS, CONDUIT OR J-BOXES. 3. LIGHT FROM FIXTURE COMPLETELY CAPTURED BY ARCHITECTURE, REFER TO LD.05 IN CUTSHEET PACKAGE FOR INTENT.
E3B	7/15/22		1.08"W X 1.18"H, LED STRIP LIGHT WITH LOUVER MAIN ENTRY CANOPY	LINEAR LED STRIP LIGHT IN DETAIL	MANUFACTURER: Q-TRAN, VERS-ENCAPSULATED FIXTURE: VERS-06-SW-4.0-30-WET-ENC/TL-L1-BK-S2-(POWER FEEDS**) -BK-(WIRE TYPE AS REQUIRED) -CC-BK-(LENGTH**) DRIVER: SIMILAR TO QZ**	LED 3000K 90+ CRI 273 LM/FT	4 W/FT	UNV 1% DIM	120V-277V PRIMARY 24V SECONDARY	IP67 BUG: BG-UJ-G0	REMOTE	-	LD.03	GENERAL NOTES: #2, #3, #4, #5 1. LENGTHS PER DRAWINGS. 2. FIXTURE TO BE ORDERED WITH AN EXTRA LONG LEAD TO ALLOW FOR ALL SPLICES AND DRIVERS TO BE ACCESSIBLE IN INTERIOR OF BUILDING. 3. EC TO ENSURE NO VISIBLE POWER FEEDS, CONDUIT OR J-BOXES.
E4	7/15/22		0.938"W X 0.563"H, LED STRIP LIGHT SITE UNDER PLANTER WALLS	LINEAR LED STRIP LIGHT IN DETAIL	MANUFACTURER: KELVIX, DIRECT VIEW 400 (OUTDOOR) IN CH-222 CHANNEL CHANNEL: CH-222-(LENGTH**) -WH-CP-EC TAPE: DK30K-WR-24V DRIVER: SIMILAR TO HLV96** DRIVER BURIAL BOX: Q-VAULT-5-BK**-ST**	LED 3000K 92 CRI 380 LM 360° BEAM	3.3 W/FT	UNV 1% DIM	120V-277V PRIMARY 24V SECONDARY	IP67 BUG: BG-UJ-G0	REMOTE	-	LD.06	GENERAL NOTES: #2, #3, #4, #5 1. LENGTHS PER DRAWINGS. STOP FIXTURES 3" SHORT OF ENDS OF RUNS TO PREVENT LIGHT SPILLY. 2. REMOTE DRIVER TO BE LOCATED IN WATER PROOF BURIAL BOX IN ADJACENT PLANTERS. COORDINATE LOCATIONS WITH LANDSCAPE ARCHITECT. 3. EC TO ENSURE NO VISIBLE POWER FEEDS, CONDUIT OR J-BOXES.
E4A	90CD	NOT USED												
E5	90CD	NOT USED												
E6	7/15/22		4.7"Ø X 31.5"H, LED PLANTER LIGHT PLANTERS	GROUND MOUNTED PLANTER	MANUFACTURER: DESIGN PLAN, SOFIA FIXTURE: D9012-1302-(FINISH*)-US DRIVER: PPLT00168-P** ACCESSORIES/OPTIONS: AM-00009 DRIVER BURIAL BOX: Q-VAULT-5-BK**-ST**	LED 3000K 80+ CRI 389 LM 360° BEAM	10 W	0-10V 1% DIM	120V-277V	IP65 BUG: BG-UJ-G0	REMOTE	-	-	GENERAL NOTES: #1, #3, #4, #5 1. REMOTE DRIVER TO BE LOCATED IN WATER PROOF BURIAL BOX IN ADJACENT PLANTERS. COORDINATE LOCATIONS WITH LANDSCAPE ARCHITECT. 2. EC TO ENSURE NO VISIBLE POWER FEEDS, CONDUIT OR J-BOXES.
E7	7/15/22		0.63"Ø SNAP IN HANDRAIL LIGHT WITH CURVED FACE EXTERIOR STAIR HANDRAIL	INTEGRATED IN HANDRAIL 24" O.C.	MANUFACTURER: ALPHABET, ZETA750 SNAP FIXTURE: 750S-30K-VA-BG-CF** DRIVER: SIMILAR TO P70414-500-ECO**	LED 3000K 80 CRI 170 LM ASYMMETRIC	1.5 W	0-10V 1% DIM	120V-277V PRIMARY 3V SECONDARY	IP97 BUG: BG-UJ-G0	REMOTE	-	-	GENERAL NOTES: #1, #2, #3, #4, #5 1. EC TO ENSURE NO VISIBLE POWER FEEDS, CONDUIT OR J-BOXES. 2. INDIVIDUAL SNAP FIXTURES TO BE SPACED 24" ON CENTER. COORDINATE WITH ARCHITECTS FINAL HANDRAIL / GUARDRAIL DETAIL.
E7A	7/15/22		0.63"Ø SNAP IN HANDRAIL LIGHT WITH FLAT FACE TERRACE GUARDRAIL	INTEGRATED IN GUARDRAIL 24" O.C.	MANUFACTURER: ALPHABET, ZETA750 SNAP FIXTURE: 750S-30K-VA-BG-FF** DRIVER: SIMILAR TO P70414-500-ECO**	LED 3000K 80 CRI 170 LM ASYMMETRIC	1.5 W	0-10V 1% DIM	120V-277V PRIMARY 3V SECONDARY	IP97 BUG: BG-UJ-G0	REMOTE	-	-	GENERAL NOTES: #1, #2, #3, #4, #5 1. EC TO ENSURE NO VISIBLE POWER FEEDS, CONDUIT OR J-BOXES. 2. INDIVIDUAL SNAP FIXTURES TO BE SPACED 24" ON CENTER. COORDINATE WITH ARCHITECTS FINAL HANDRAIL / GUARDRAIL DETAIL.

TYPE	REV	IMAGE	DESCRIPTION + LOCATION	MOUNTING	MANUFACTURER / MODEL	SOURCE	WATTS	LOAD	VOLTAGE	RATING	DRIVER	ADD. INFO	DETAIL REF.	SEE NOTES
E8	7/15/22		2.25" DIAMETER LED TREE UPLIGHT TREES	GROUND MOUNTED PLANTER	MANUFACTURER: BK LIGHTING, NITE STAR II FIXTURE: NSII-LED-e65-NSP-A9-(FINISH*)-12-360SL MOUNTING: PP-J18-TRe20-(FINISH*)-B DRIVER: TRe20	LED 3000K 80+ CRI 466 LM	7 W	ELV	120V-277V PRIMARY 24V SECONDARY	IP65 BUG-SEE NOTE 1	REMOTE	-	-	GENERAL NOTES: #1, #3, #5 1. LIGHT FIXTURE IS EXEMPT FROM BUG REQUIREMENTS PER T24 SECTION 140.7(a)-9 AND CAL GREEN CODE SECTION 5.106.8.
E9	4/18/22	NOT USED												
E10	4/18/22	SIGNAGE LIGHT BY SIGNAGE CONSULTANT. PROVIDE 3000K 90CRI LEDS TO MATCH PROJECT STANDARD. P/P TO REVIEW SHOP DRAWINGS FOR TECHNICAL CRITERIA.												

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L-TYPES (ARCHITECTURAL)

ALL ITEMS NOTED WITH (*) TO BE VERIFIED BY ARCHITECT/INTERIOR DESIGNER PRIOR TO PURCHASE. MAY INCLUDE: FINISH, AESTHETIC DETAILING CHOICES, MOUNTING TYPE, ETC.

ALL ITEMS NOTED WITH (**) TO BE VERIFIED BY CONTRACTOR PRIOR TO PURCHASE. MAY INCLUDE: LENGTH, MOUNTING CONDITIONS, ADDITIONAL EQUIPMENT/OPTIONS/ACCESSORIES, DRIVER TYPE/LOAD, WIRE LEADS/FEED LOCATIONS, MOUNTING CLIP/EQUIPMENT, ETC.

TYPE	REV	IMAGE	DESCRIPTION + LOCATION	MOUNTING	MANUFACTURER / MODEL	SOURCE	WATTS	LOAD	VOLTAGE	RATING	DRIVER	ADD. INFO	DETAIL REF.	SEE NOTES
L1	4/18/22		0.94"W X 0.56"H, LED LINEAR UPLIGHT LOBBY	SURFACE MOUNTED TO DETAIL ON TOP OF MESH CEILING SYSTEM	MANUFACTURER: KELVIX, DIRECT VIEW 400 IN CH-222 CHANNEL CHANNEL: CH-222-(LENGTH**)-WH-CP-EC TAPE: DK30K-24V DRIVER: SIMILAR TO ULV-96**	LED 3000K 90 CRI 390 LM/FT	3.3 W/FT	UNV 1% DIM	120V-277V PRIMARY 24V SECONDARY		REMOTE	SHOP DRAWING	LD.01	GENERAL NOTES: #2, #3, #4, #5 1. EC TO ENSURE NO VISIBLE POWER FEEDS, CONDUIT OR J-BOXES.
L2	100DD	NOT USED												
L3	4/18/22		1.96"Ø X 2.83"H ADJUSTABLE TRACK LIGHT LOBBY	ATTACHED TO L3T TRACK	MANUFACTURER: PURE EDGE, RADIANT MEDIUM TRACK HEAD FIXTURE: T24-RADM-FL-30K-WH* ACCESSORIES: LENN-RADM-SP-SW LENN-RADM-NF-SW LENN-RADM-FL-SW LENN-RADM-WF-SW LF-RADM-SF	LED 3000K 93 CRI 730 LM 45 deg	11 W	0-10V 1% DIM	24V		REMOTE		LD.01	GENERAL NOTES: #1, #2, #5, #8 1. PROVIDE FIXTURES WITH ADDITIONAL OPTICS TO BE USED DURING COMMISSIONING FOR FINAL FOCUS.
L3T	4/18/22		0.94" x 0.84" SURFACE MOUNTED TRACK	SURFACE MOUNTED TO DETAIL IN LOBBY CEILING CHANNELS	MANUFACTURER: PURE EDGE, TS24 TRACK SURFACE TRACK: T24-SCO-4FT**--WH* FEED: TS24-EP1-(CANOPY**)-WH* CAP: TS24-1CV-CA-WH* DRIVER: 0-10V DIMMING DRIVER PER EC**			0-10V 1% DIM	120V-277V PRIMARY 24V SECONDARY		REMOTE	SHOP DRAWING	LD.01	GENERAL NOTES: #1, #2, #3, #4, #5
L4	4/18/22		0.75"W X 0.5"H, LED TAPE IN CHANNEL LOBBY/DESK	LINEAR LED STRIP LIGHT IN DETAIL	MANUFACTURER: KELVIX, DIRECT VIEW 200 IN CH-211 CHANNEL CHANNEL: CH-211-(LENGTH**)-WHF-CP-EC TAPE: DL30K-24V DRIVER: SIMILAR TO ULV-96**	LED 3000K 90 CRI 195 LM/FT	3.26 W/FT	UNV 1% DIM	120V-277V PRIMARY 24V SECONDARY		REMOTE	SHOP DRAWING	LD.11	GENERAL NOTES: #2, #3, #4, #5 1. LENGTHS PER DRAWINGS. STOP FIXTURES 4" SHORT OF ENDS OF RUNS TO PREVENT LIGHT SPLAY. 2. EC TO ENSURE NO VISIBLE POWER FEEDS, CONDUIT OR J-BOXES.
L5	4/18/22		0.94"W X 0.56"H, LED LINEAR UPLIGHT LOBBY	RECESSED IN POCKETS AT DOOR PORTALS AND ELEVATORS	MANUFACTURER: KELVIX, DIRECT VIEW 400 IN CH-222 CHANNEL CHANNEL: CH-222-(LENGTH**)-WH-CP-EC TAPE: DK30K-24V DRIVER: SIMILAR TO ULV-96**	LED 3000K 90 CRI 390 LM/FT	3.8 W/FT	UNV 1% DIM	120V-277V PRIMARY 24V SECONDARY		REMOTE	SHOP DRAWING	LD.10	GENERAL NOTES: #2, #3, #4, #5 1. LENGTHS PER DRAWINGS. STOP FIXTURES 4" SHORT OF ENDS OF WALLS TO PREVENT LIGHT SPLAY. 2. EC TO ENSURE NO VISIBLE POWER FEEDS, CONDUIT OR J-BOXES.

TYPE	REV	IMAGE	DESCRIPTION + LOCATION	MOUNTING	MANUFACTURER / MODEL	SOURCE	WATTS	LOAD	VOLTAGE	RATING	DRIVER	ADD. INFO	DETAIL REF.	SEE NOTES
L6 opt1	4/18/22		LINEAR MINIMALIST DECORATIVE PENDANT OVER RECEPTION DESK LOBBY	SUSPENDED OVER RECEPTION DESK	MANUFACTURER: MARSET, AMBROSIA FIXTURE: AMBROSIA 315-3000K POLE: 60CM* DRIVER: POWER SUPPLY 50W-24V-CLASE II-TRIAC**	LED 3000K 90 CRI	43.2 W	TRIAC	120V-277V PRIMARY 24V SECONDARY	*	REMOTE	-	-	GENERAL NOTES: #1, #3, #5, #7
L6 opt2	4/18/22		LINEAR MINIMALIST DECORATIVE PENDANT OVER RECEPTION DESK LOBBY	SUSPENDED OVER RECEPTION DESK	MANUFACTURER: JUNIPER, THIN FIXTURE: THIN SUSPENSION	LED 3000K 95 CRI 2760 LM	28.8 W	ELV	120V-277V PRIMARY 24V SECONDARY	*	REMOTE	SHOP DRAWING	-	GENERAL NOTES: #1, #3, #5, #7
L7	4/18/22		0.75"W X 0.5"H, LED TAPE IN CHANNEL RESTROOM VANITY MIRRORS	LINEAR LED STRIP LIGHT IN DETAIL CONCEALED BEHIND MIRROR	MANUFACTURER: KELVIX, DIRECT VIEW 200 IN CH-211 CHANNEL CHANNEL: CH-211-(LENGTH**)-WHF-CP-EC TAPE: DL30K-24V DRIVER: SIMILAR TO ULV-96**	LED 3000K 90 CRI 195 LM/FT	3.4 W/FT	UNV 1% DIM	120V-277V PRIMARY 24V SECONDARY	*	REMOTE	SHOP DRAWING	LD.09	GENERAL NOTES: #2, #3, #4, #5 1. LENGTHS PER DRAWINGS. STOP FIXTURES 4" SHORT OF ENDS OF RUNS TO PREVENT LIGHT SPLAY. 2. EC TO ENSURE NO VISIBLE POWER FEEDS, CONDUIT OR J-BOXES.
L8	4/18/22		1.15"W X 0.55"H, RECESSED TRIMLESS LED TAPE IN CHANNEL RESTROOMS	RECESSED IN GYP CEILING WITH MUD-IN INSTALL	MANUFACTURER: KELVIX, DIRECT VIEW 400 IN CH-0003 CHANNEL CHANNEL: CH0003-(LENGTH**)-WHC-EC TAPE: DK30K-24V DRIVER: SIMILAR TO ULV-96**	LED 3000K 90 CRI 390 LM/FT	4 W/FT	UNV 1% DIM	120V-277V PRIMARY 24V SECONDARY	*	REMOTE	SHOP DRAWING	-	GENERAL NOTES: #2, #3, #4, #5, #6 1. STANDARD LENGTHS PER DRAWINGS. 2. EC TO ENSURE NO VISIBLE POWER FEEDS, CONDUIT OR J-BOXES.
L9	4/18/22		1.25"Ø X 4-3/16"H, ADJUSTABLE TRIMLESS DOWNLIGHT RESTROOM VANITY	RECESSED IN GYP CEILING	MANUFACTURER: USAI, THE LITTLE ONES MICRO FIXTURE: L-09X1M-30KH-50-M0-BL*-NC-RM DRIVER: RPD-01-09X1M-UNV-D6E*-EM AS REQUIRED ENCLOSURE: RED-SIZE**-QTY**-01-09X1M-UNV-1D6E	LED 3000K 90+ CRI 625 LM 50 deg	9 W	0-10V 1% DIM	120V-277V PRIMARY 24V SECONDARY	*	REMOTE	-	-	GENERAL NOTES: #1, #3, #4, #5, #6
L9A	4/18/22		1.25"Ø X 4-3/16"H, ADJUSTABLE TRIMLESS DOWNLIGHT RESTROOMS	RECESSED IN GYP CEILING	MANUFACTURER: USAI, THE LITTLE ONES MICRO FIXTURE: L-09X1M-30KH-35-M0-BL*-NC-RM DRIVER: RPD-01-09X1M-UNV-D6E*-EM AS REQUIRED ENCLOSURE: RED-SIZE**-QTY**-01-09X1M-UNV-1D6E	LED 3000K 90+ CRI 650 LM 35 deg	9 W	0-10V 1% DIM	120V-277V PRIMARY 24V SECONDARY	*	REMOTE	-	-	GENERAL NOTES: #1, #3, #4, #5, #6

CORRESPONDENCE WITH DARYA
BARAR CONCERNING STREET TREE
SELECTION

Re: 747 Bancroft Landscape Comments - Darya Barar

Su-Jung Park <su-jung.park@som.com>

Re: 747 Bancroft Landscape Comments - Darya Barar

1 message

Darya Barar <dbarar@bartlett.com>

Thu, Apr 7, 2022 at 3:03 PM

To: Su-Jung Park <su-jung.park@som.com>

Cc: "matthew.jefferies@som.com" <matthew.jefferies@som.com>, Paul Cambon <paul.cambon@som.com>, "yuening.pu@som.com" <yuening.pu@som.com>, Michael Murphy <mmurphy@waremalcomb.com>, Harpreet Chohan <hchohan@waremalcomb.com>, Alan Lewis <alan.lewis@som.com>, Bridget Metz <bmetz@steelwavelc.com>

Hi Su-Jung,

Thank you for putting together this thoughtful design. I appreciate it. I don't have any additional comments.

Darya~

DARYA BARAR MANAGING CONSULTING URBAN FORESTER

ISA Certified Arborist No. WE-6757A; ISA Tree Risk Assessment Qualified; Registered Consulting Arborist #693

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On Apr 4, 2022, at 2:12 PM, Su-Jung Park <su-jung.park@som.com> wrote:

External E-mail From Outside Bartlett. Do Not Click On Links And Attachments Unless You Know The Content Is Safe.

Dear Darya,

I'm Su-Jung from SOM and currently working on the 747 Bancroft project for Steelwave that is at 4th and Bancroft in Berkeley. Our project team submitted plans for building permit and have received your landscape comments as shown below in Bridget's email.

For your review, I've attached a pdf of the landscape planting plan and street tree well details (LSK 001 Street Tree Well Details). We've selected *Acer rubrum* 'October Glory' (Red Maple) as the street tree and used 6 x 3.5 foot tree wells. The street trees have been carefully located to avoid conflicts with existing gas and utility lines as shown on the planting plan.

Please feel free to contact me if you need additional information or have any questions.

6/15/22, 3:35 PM

SOM Mail - Re: 747 Bancroft Landscape Comments - Darya Barar

Thank you for your assistance with this matter.

Best regards,

SU-JUNG PARK

ASSOCIATE

SKIDMORE, OWINGS & MERRILL LLP
ONE MARITIME PLAZA
SAN FRANCISCO, CA 94111
T (415) 352-3877
SU-JUNG.PARK@SOM.COM

SOM

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On Wed, Mar 23, 2022 at 1:43 PM Bridget Metz <bmetz@steelwavellc.com> wrote:

SOM team – Darya contacted me regarding the 747 Bancroft plans we provided (see attached email of the plan set provided). She was not clear on the items below.

1. A planting detail with existing & proposed utilities (including Ware Malcomb and SOM)
2. Detail showing tree well dimensions
3. See attachment with planting treatments. Have these standards been incorporated?

Darya would only like to see those plans that pertain to the above and landscape, so we will need to deliver a clean, clear copy of what we are proposing. I think it would be helpful if SOM reached out to Darya directly to review her questions (once you have the plans above ready).

I have also included discussion below she had with the landscape architect for Phase I and 716 Allston (if it would be helpful, as same criteria would apply).

6/15/22, 3:35 PM

SOM Mail - Re: 747 Bancroft Landscape Comments - Darya Barar

Let me know if you have questions and also, please confirm timing to address the above and contacting Darya.

Thanks,

Bridget

Bridget Metz

Director, Project Management

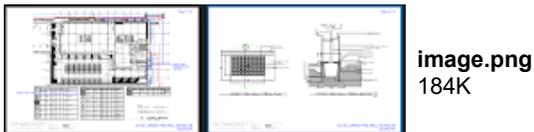
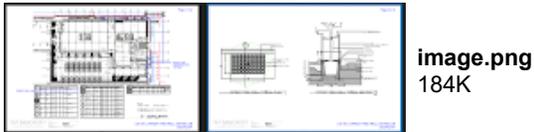
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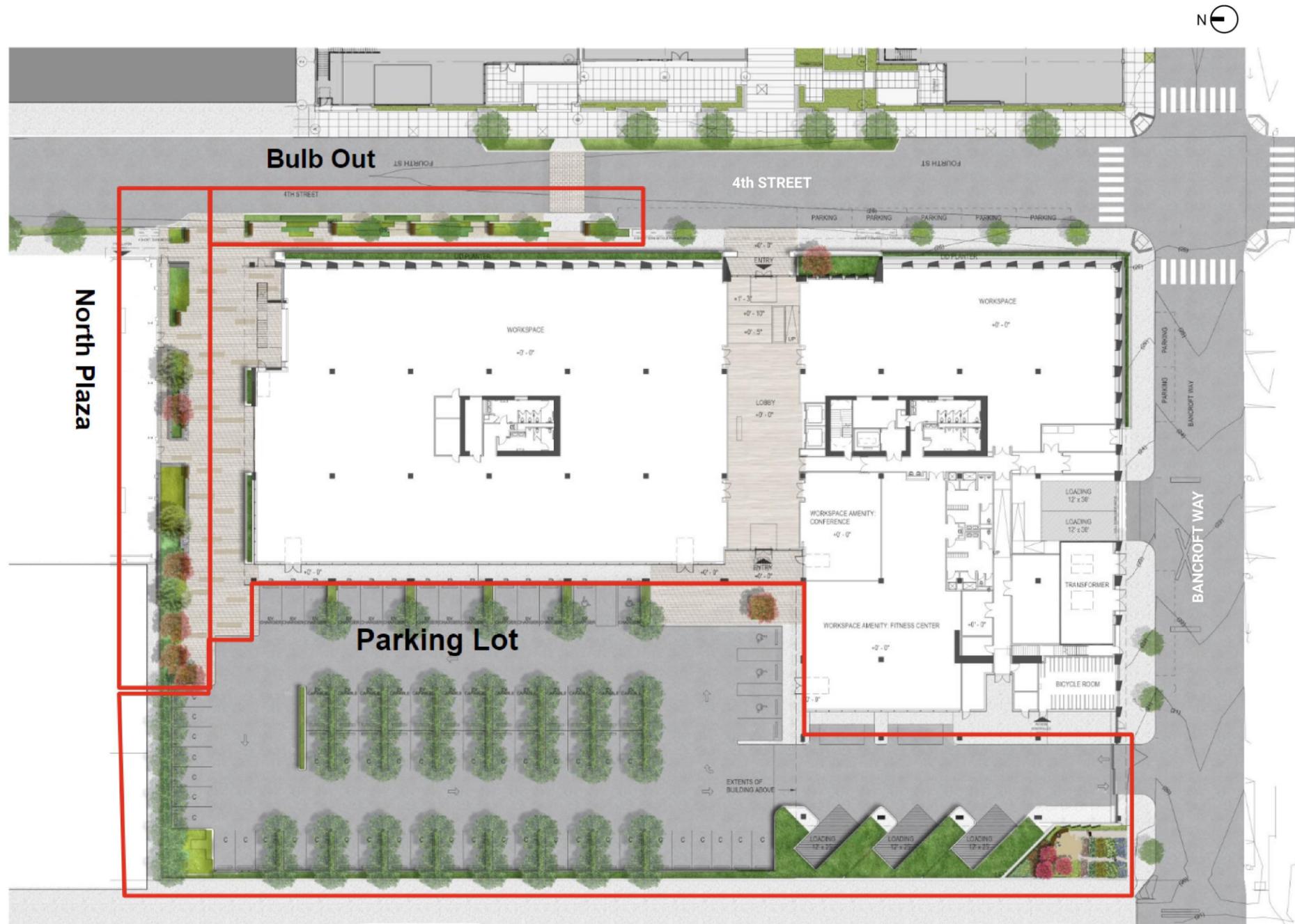
www.steelwavellc.com | E bmetz@steelwavellc.com

101 California St. Suite 800 San Francisco CA 94111

5 attachments



Rich Native Planting Species



NATIVE UNDERSTORY PLANTING AREA

94%

Zone	Area (sf)	Native Understory Area (sf)	Native Understory Percentage
Bulb out	643	367	57%
North Plaza	1110	1110	100%
Parking	4450	4450	100%
Flow through	814	814	100%
Entrance	229	229	100%
Street	147	-	-
Total	7393	6970	94%



PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	NATIVE	EVERGREEN / DECIDIOUS	SPACING	NOTES
	<i>ACER RUBRUM</i> 'OCTOBER GLORY'	RED MAPLE	36" BOX	M	N	D	AS SHOWN	STREET TREE
	<i>CERCIS OCCIDENTALIS</i>	CALIFORNIA REDBUD	36" BOX	L	Y	D	AS SHOWN	PLAZA TREE SPECIMEN TREE
	<i>CORNUS NUTTALLII</i>	PACIFIC DOGWOOD	48" BOX	M	Y	D	AS SHOWN	PLAZA TREE
	<i>ACER JAPONICUM</i>	JAPANESE MAPLE	36" BOX	M	N	D	N/A	SPECIMEN TREE
	<i>ULMUS HYBRID</i> 'FRONTIER'	FRONTIER ELM	36" BOX	M	N	D	AS SHOWN	PARKING LOT TREE
	<i>UMBELLULARIA CALIFORNICA</i>	CALIFORNIA LAUREL	36" BOX	M	Y	E	AS SHOWN	PARKING LOT TREE

Rich Native Planting Species



69 New trees

-  (8) Mixed California native tree
-  (6) Native Evergreen tree
-  (11) Street trees
(8 on Fourth Street + 3 on Bancroft Way)
-  (42) Parking Grove trees
-  (2) Featured tree
-  Tree species recommended by the City of Berkeley Improvement Plan Tree List

PLANTING PALETTE - Shrub and Groundcover



Carex Pansa
 California Beach Dune



Arctostaphylos 'Emerald Carpet'
 Carpet Manzanita



Pennisetum Alopecuroides
 Red Fountain Grass 3-4ft



Carex Tumulicola
 Foothill Sedge 1-1.5ft



Iris Douglasiana
 Douglas Iris 0.6 - 3ft



Ligustrum Ovalifolium
 California Privet



Muhlenbergia Rigens
 Deer Grass 3ft



Lupinus Albifrons
 Silver Lupine 3.2 - 5ft



Mimulus Aurantiacus
 Bush Monkey Flowers 3.9 -5ft



Asclepias Speciosa
 Milkweed 4 - 6ft



-  Native Plants
-  Host Plants for endangered species
-  Evergreen



* 94% of total planting area covered with native plants



PLANS APPROVED BY ZONING ADJUSTMENTS BOARD

[Signature] **June 23, 2022**

SIGNATURE DATE

* Findings and Conditions Attached

747 BANCROFT
747 BANCROFT, BERKELEY, CALIFORNIA

OWNER
STEELWAVE
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101 CALIFORNIA STREET, SUITE 800
SAN FRANCISCO, CA 94111

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SUSTAINABILITY
ATELIER TEN
443 TEHAMA ST., 1ST FLOOR
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No.	Description	Date
	USE PERMIT APPLICATION	2021.03.25
	USE PERMIT RESUBMITTAL	2021.09.13
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	DESIGN REVIEW COMMITTEE MEETING 2	2022.05.19
	ZONING ADJUSTMENT BOARD MEETING	2022.06.23

Key Plan:

Seal & Signature:

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Sheet Name:
COVER SHEET

747 BANCROFT
747 BANCROFT WAY, BERKELEY, CA 94710

ZONING ADJUSTMENT BOARD MEETING
JUNE 23, 2022

Project No.:	220175	Sheet No.:	
Drawn By:	Author	Checked By:	Checker
Scale:			GP0.00.00



VIEW FROM 4TH AND BANCROFT: EXISTING



VIEW FROM 4TH AND BANCROFT: PROPOSED



VIEW FROM 4TH STREET: EXISTING



VIEW FROM 4TH STREET: PROPOSED



6/6/2022 11:30:37 AM

747 BANCROFT

747 BANCROFT, BERKELEY, CALIFORNIA

OWNER



STEELWAVE
 101 CALIFORNIA STREET, SUITE 800
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PROJECT TEAM

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PHOTO
 SIMULATIONS AND
 VISUALIZATION

Project No.:

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VIEW FROM RAILROAD CROSSING: EXISTING



VIEW FROM RAILROAD CROSSING: PROPOSED



VIEW FROM RAILROAD CROSSING: EXISTING



VIEW FROM WEST: PROPOSED



6/6/2022 11:30:47 AM

747 BANCROFT

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OWNER



STEELWAVE
 101 CALIFORNIA STREET, SUITE 800
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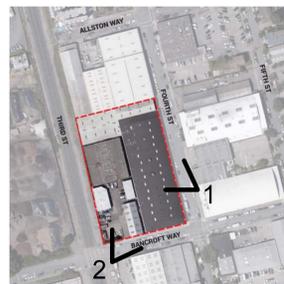
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VIEW FROM 4TH STREET: EXISTING



VIEW FROM 4TH STREET: PROPOSED



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747 BANCROFT

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	DESIGN REVIEW COMMITTEE MEETING 2	2022.05.19
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	ZONING ADJUSTMENT BOARD MEETING	2022.06.23

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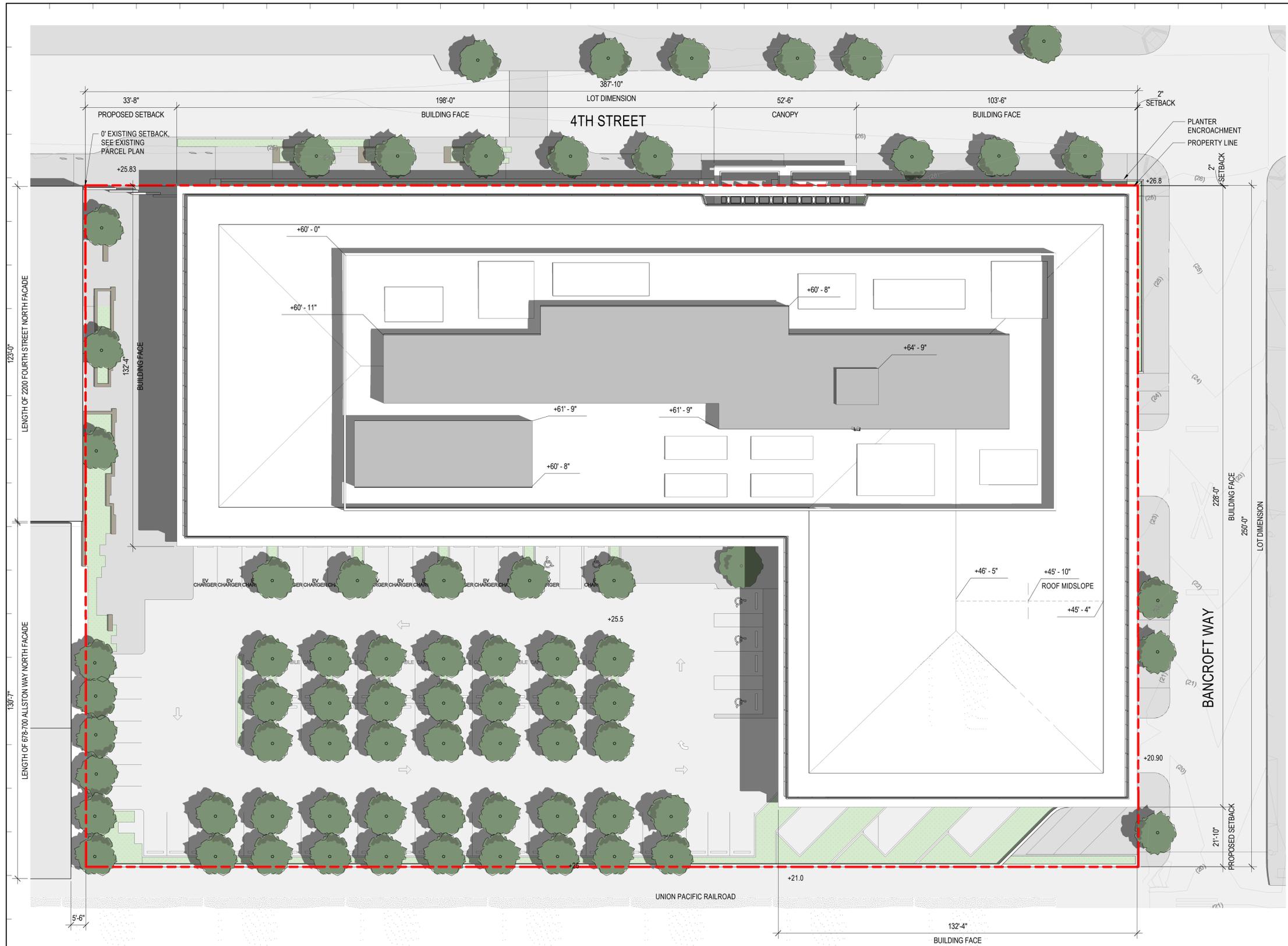
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LAB MASTERPLAN

Project No.: 220175
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Sheet No.:
AP1.01.00

PROPOSED ROOF LEVEL SITE PLAN **01**
 SCALE: 1/32" = 1'-0"

6/6/2022 11:27:10 AM



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747 BANCROFT, BERKELEY, CALIFORNIA

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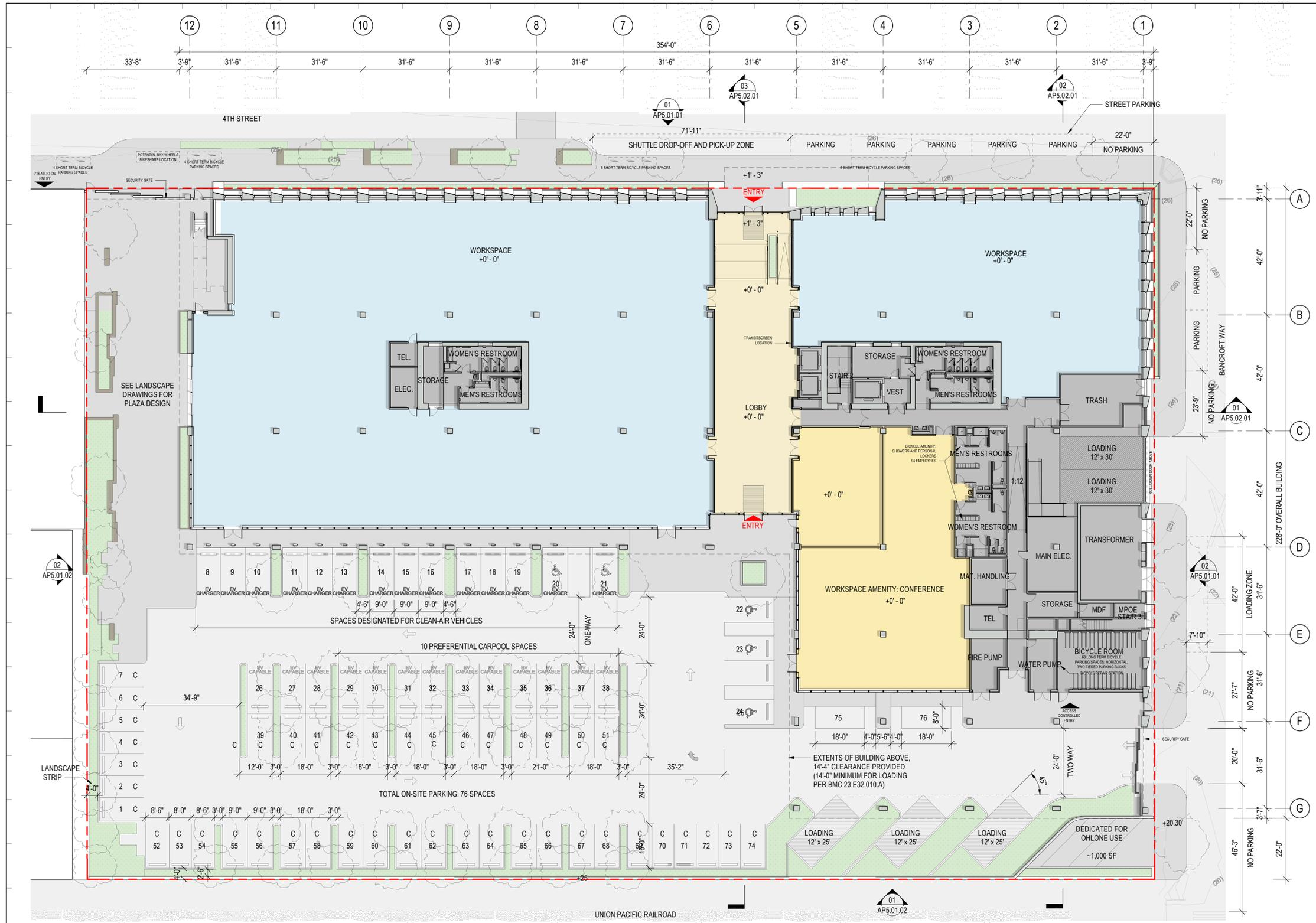
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OVERALL SITE PLAN

Project No.: 220175
 Sheet No.: AP1.01.01
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SITE PLAN 01
 SCALE: 1/16" = 1'-0"

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6	ZONING ADJUSTMENT BOARD MEETING	2022.06.23

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OVERALL FLOOR PLAN - LEVEL 01

Project No.: 220175
 Sheet No.: AP2.01.00
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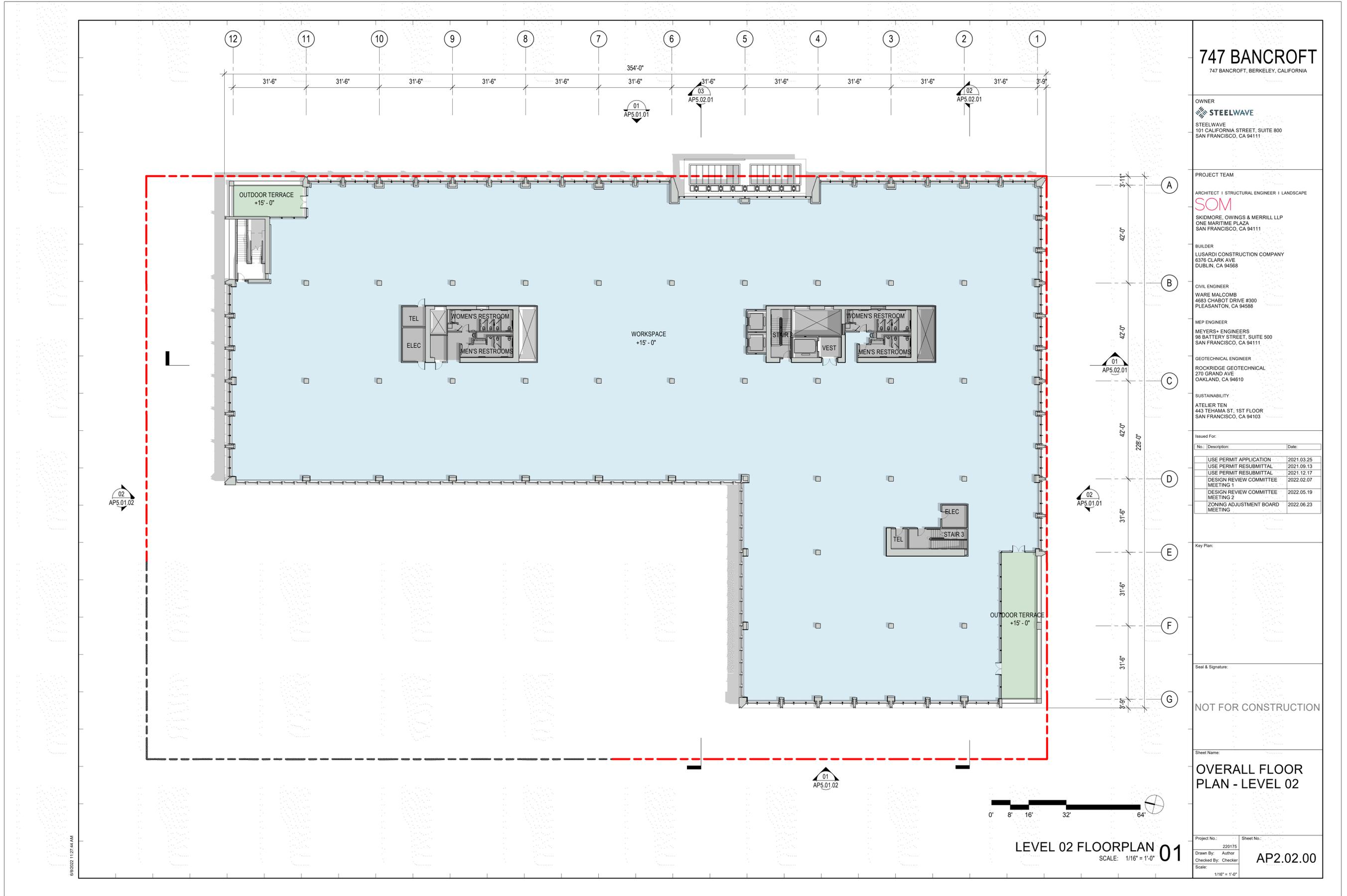
- GENERAL NOTES:
- ALL SITE ELEVATIONS ARE BASED ON CIVIL ENGINEER'S SURVEY
 - SEE NOTES ON C.01 FOR SURVEY POINTS RELATIONSHIP TO BERKELEY CITY DATUM
 - "NO PARKING" DESIGNATED BY RED CURB
 - TRUCK ACCESS TO PARKING LOT RESTRICTED TO DL-23 OR SMALLER SIZE TRUCKS
 - SPACES LABELED AS "EV CHARGER" WILL HAVE LEVEL 2 ELECTRIC CHARGING STATIONS INSTALLED ON DAY ONE PER BERKELEY REACH CODE
 - SPACES LABELED AS "EV CAPABLE" WILL BE EQUIPPED WITH EV CONNECTING RACEWAYS



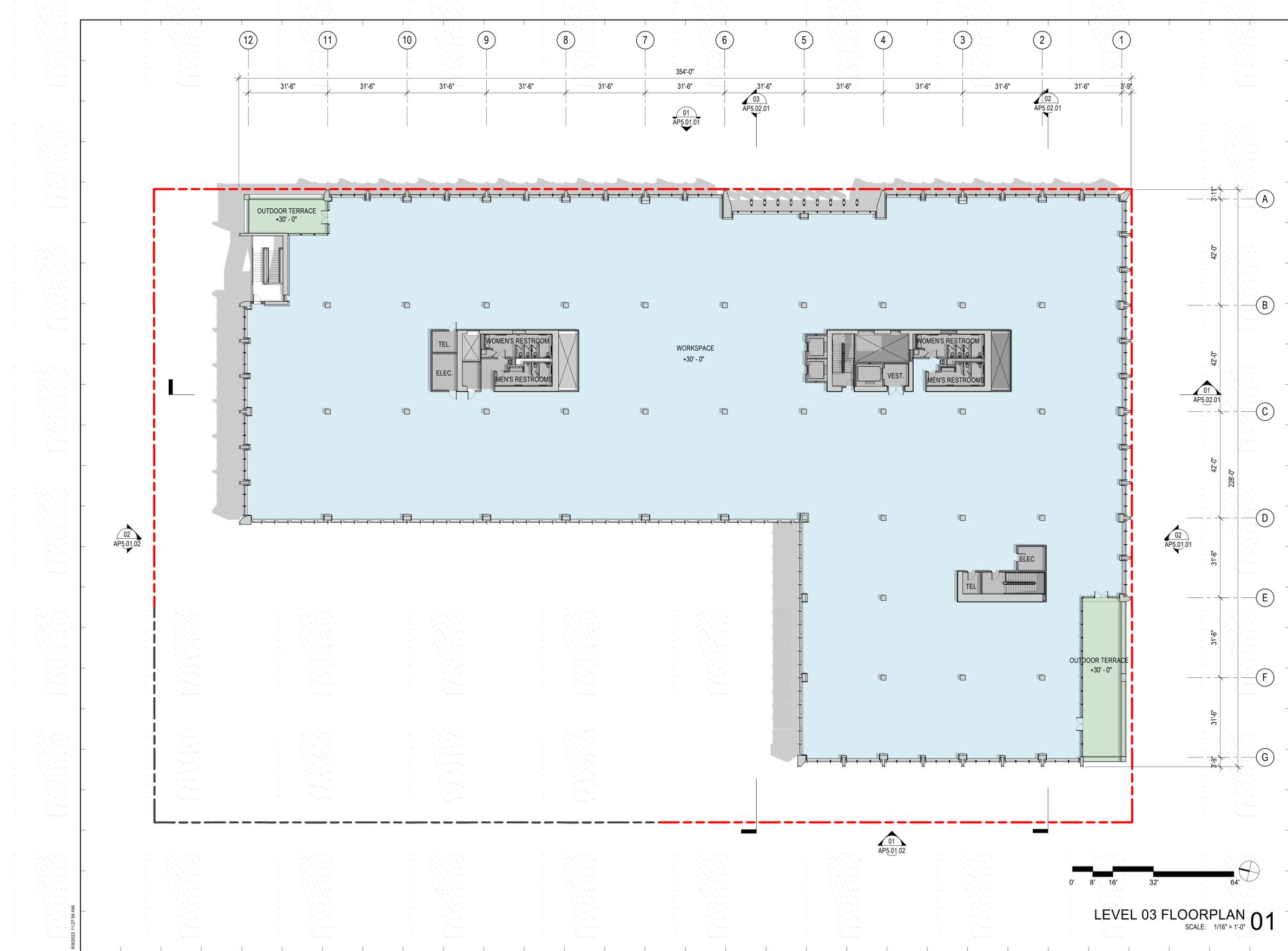
LEVEL 01 FLOORPLAN 01

SCALE: 1/16" = 1'-0"

6/6/2022 11:27:24 AM



6/9/2022 11:27:44 AM



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 747 BANCROFT, BERKELEY, CALIFORNIA

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SUSTAINABILITY
 ATELIER TEN
 443 TEHAMA ST., 1ST FLOOR
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Key Plan:

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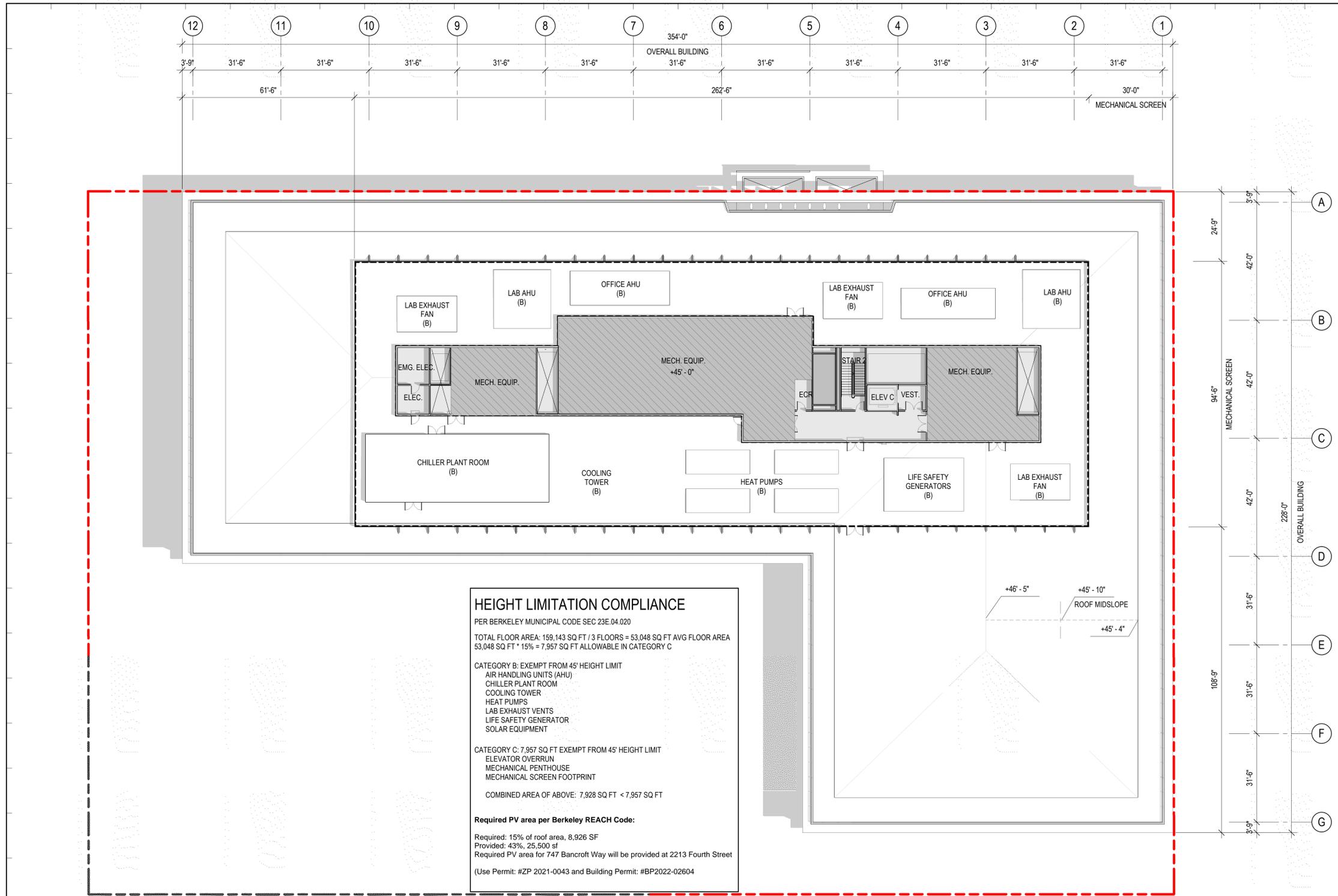
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Sheet Name:
OVERALL FLOOR PLAN - LEVEL 03

Project No.: 220175
 Sheet No.: AP2.03.00
 Drawn By: Author
 Checked By: Checker
 Scale: 1/16" = 1'-0"

LEVEL 03 FLOORPLAN 01
 SCALE: 1/16" = 1'-0"

6/9/2022 11:27:54 AM



HEIGHT LIMITATION COMPLIANCE
 PER BERKELEY MUNICIPAL CODE SEC 23E.04.020
 TOTAL FLOOR AREA: 159,143 SQ FT / 3 FLOORS = 53,048 SQ FT AVG FLOOR AREA
 53,048 SQ FT * 15% = 7,957 SQ FT ALLOWABLE IN CATEGORY C

CATEGORY B: EXEMPT FROM 45' HEIGHT LIMIT
 AIR HANDLING UNITS (AHU)
 CHILLER PLANT ROOM
 COOLING TOWER
 HEAT PUMPS
 LAB EXHAUST VENTS
 LIFE SAFETY GENERATOR
 SOLAR EQUIPMENT

CATEGORY C: 7,957 SQ FT EXEMPT FROM 45' HEIGHT LIMIT
 ELEVATOR OVERRUN
 MECHANICAL PENTHOUSE
 MECHANICAL SCREEN FOOTPRINT

COMBINED AREA OF ABOVE: 7,928 SQ FT < 7,957 SQ FT

Required PV area per Berkeley REACH Code:
 Required: 15% of roof area, 8,926 SF
 Provided: 43%, 25,500 sf
 Required PV area for 747 Bancroft Way will be provided at 2213 Fourth Street
 (Use Permit: #ZP 2021-0043 and Building Permit: #BP2022-02604)

747 BANCROFT
 747 BANCROFT, BERKELEY, CALIFORNIA

OWNER
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PROJECT TEAM
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Key Plan:

Seal & Signature:

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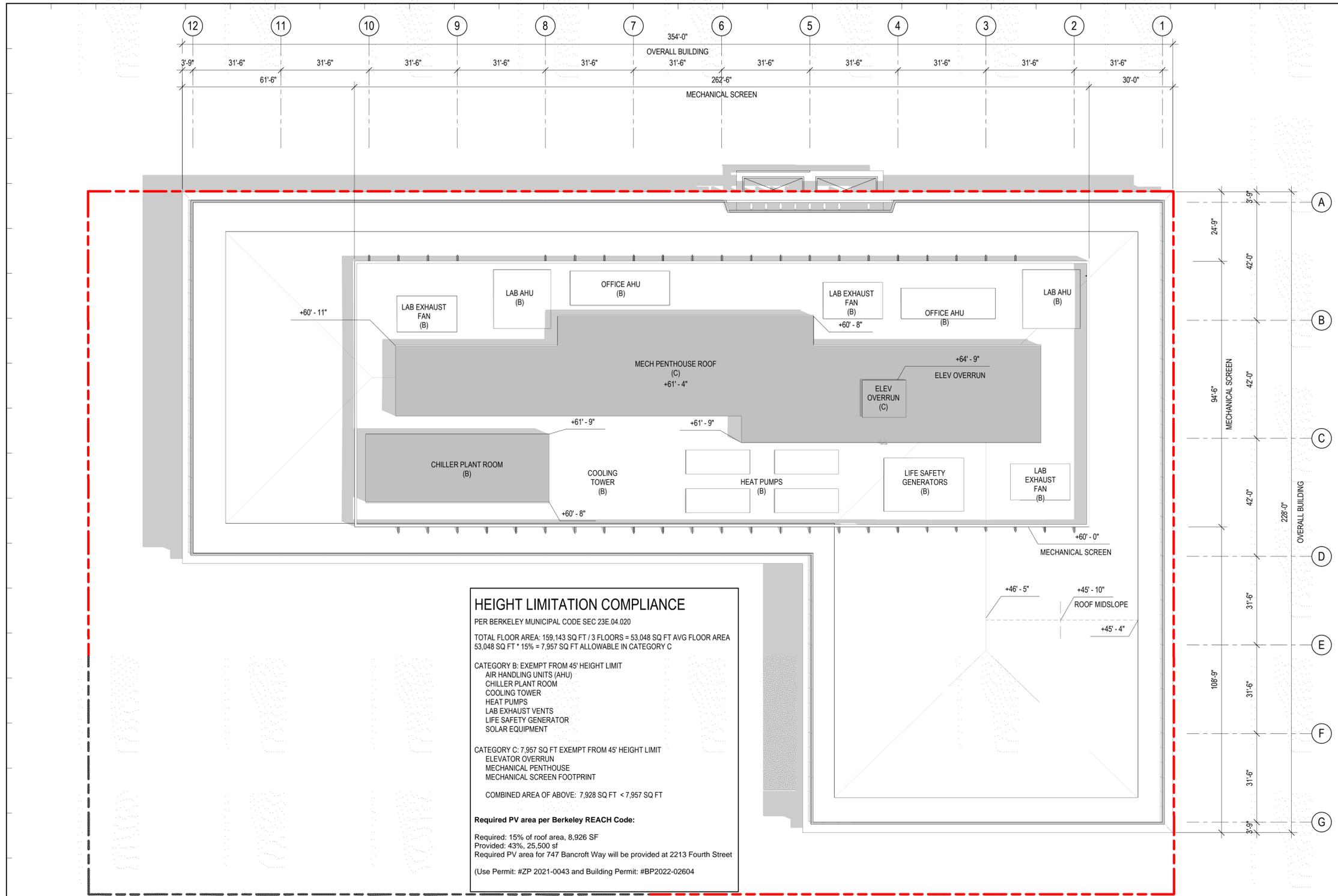
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OVERALL FLOOR PLAN - MECHANICAL PENTHOUSE



LEVEL 04 MECHANICAL PENTHOUSE PLAN 01
 SCALE: 1/16" = 1'-0"

Project No.: 220175	Sheet No.:
Drawn By: Author	AP2.04.00
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Scale: 1/16" = 1'-0"	

6/9/2022 12:21:35 PM



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 AIR HANDLING UNITS (AHU)
 CHILLER PLANT ROOM
 COOLING TOWER
 HEAT PUMPS
 LAB EXHAUST VENTS
 LIFE SAFETY GENERATOR
 SOLAR EQUIPMENT

CATEGORY C: 7,957 SQ FT EXEMPT FROM 45' HEIGHT LIMIT
 ELEVATOR OVERRUN
 MECHANICAL PENTHOUSE
 MECHANICAL SCREEN FOOTPRINT

COMBINED AREA OF ABOVE: 7,928 SQ FT < 7,957 SQ FT

Required PV area per Berkeley REACH Code:
 Required: 15% of roof area, 8,926 SF
 Provided: 43%, 25,500 sf
 Required PV area for 747 Bancroft Way will be provided at 2213 Fourth Street
 (Use Permit: #ZP 2021-0043 and Building Permit: #BP2022-02604)

747 BANCROFT
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OWNER
STEELWAVE
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 101 CALIFORNIA STREET, SUITE 800
 SAN FRANCISCO, CA 94111

PROJECT TEAM
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 ONE MARITIME PLAZA
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 DUBLIN, CA 94568

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 WARE MALCOMB
 4683 CHABOT DRIVE #300
 PLEASANTON, CA 94588

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	USE PERMIT RESUBMITTAL	2021.09.13
	USE PERMIT RESUBMITTAL	2021.12.17
	DESIGN REVIEW COMMITTEE MEETING 1	2022.02.07
	DESIGN REVIEW COMMITTEE MEETING 2	2022.05.19
	ZONING ADJUSTMENT BOARD MEETING	2022.06.23

Key Plan:

Seal & Signature:

NOT FOR CONSTRUCTION

Sheet Name:
OVERALL FLOOR PLAN - ROOF



ROOF PLAN 01
 SCALE: 1/16" = 1'-0"

Project No.: 220175	Sheet No.:
Drawn By: Author	AP2.05.00
Checked By: Checker	
Scale: 1/16" = 1'-0"	

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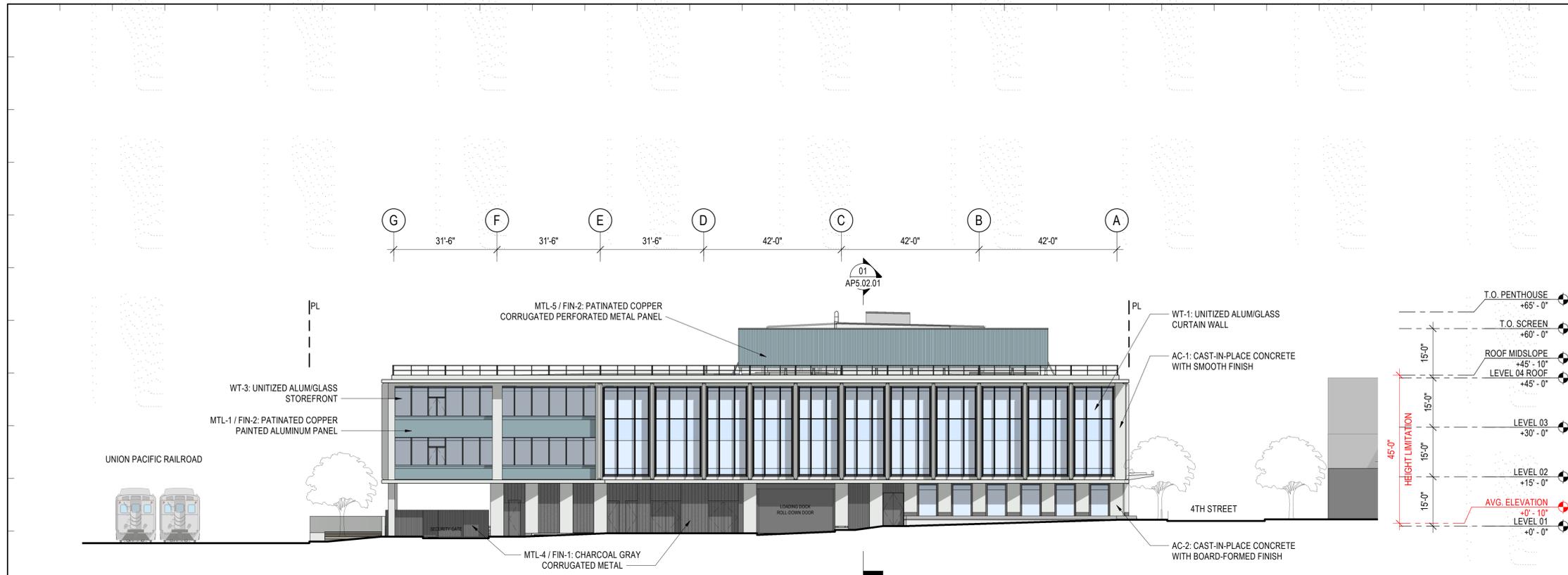
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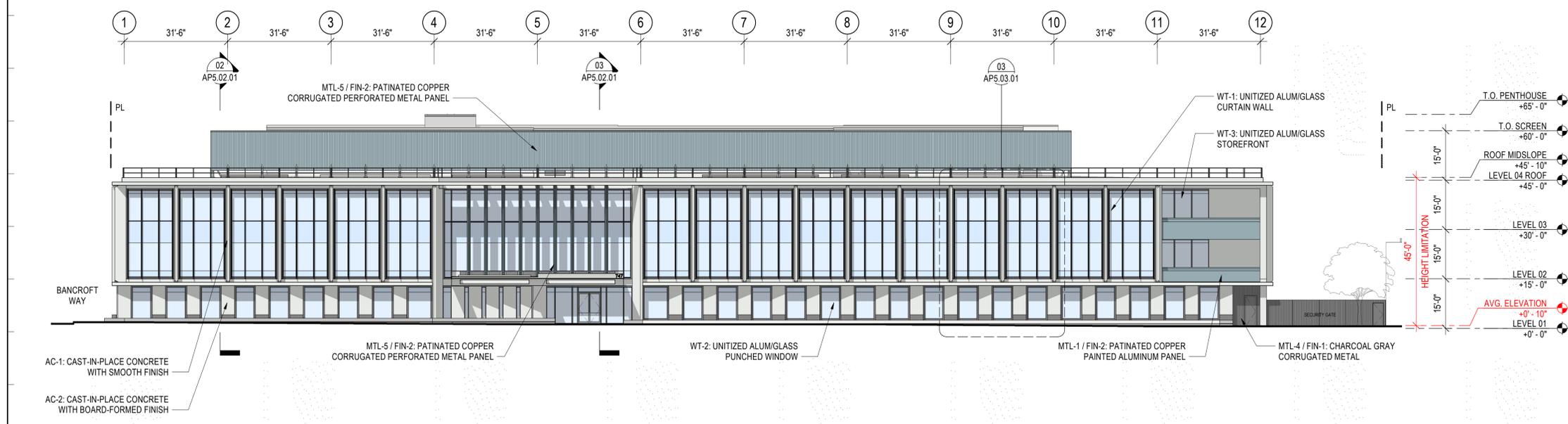
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Sheet Name:
EAST AND SOUTH ELEVATIONS

Project No.: 220175	Sheet No.: AP5.01.01
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Scale: 1/16" = 1'-0"	



SOUTH ELEVATION 02
 SCALE: 1/16" = 1'-0"



EAST ELEVATION 01
 SCALE: 1/16" = 1'-0"

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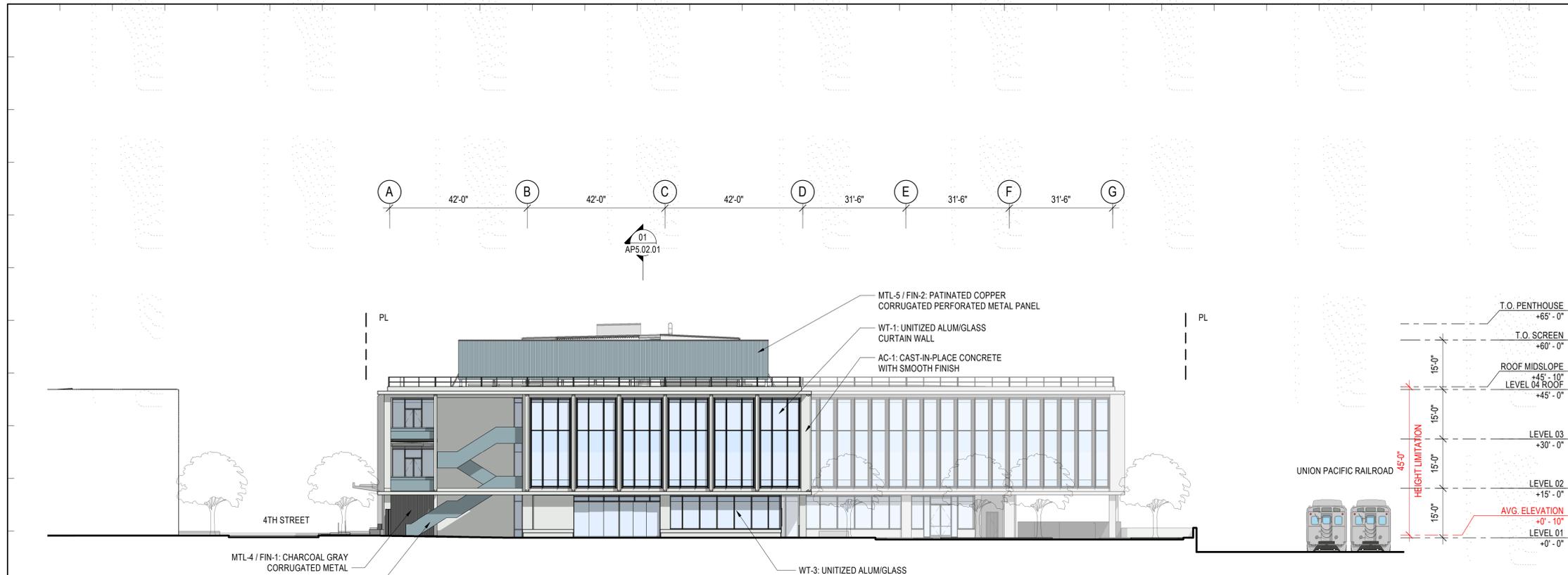
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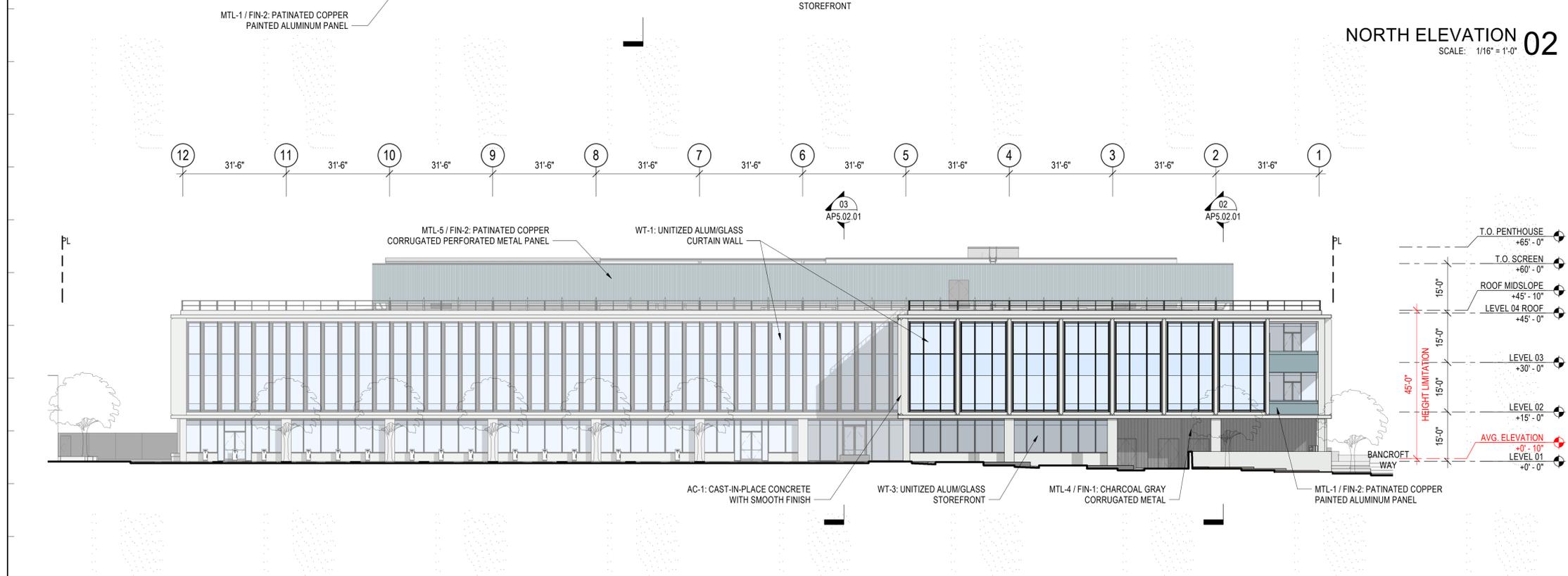
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Sheet Name:
WEST AND NORTH ELEVATIONS

Project No.: 220175
 Sheet No.: AP5.01.02
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 Checked By: Checker
 Scale: 1/16" = 1'-0"



NORTH ELEVATION 02
 SCALE: 1/16" = 1'-0"



WEST ELEVATION 01
 SCALE: 1/16" = 1'-0"

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6	ZONING ADJUSTMENT BOARD MEETING	2022.06.23

Key Plan:

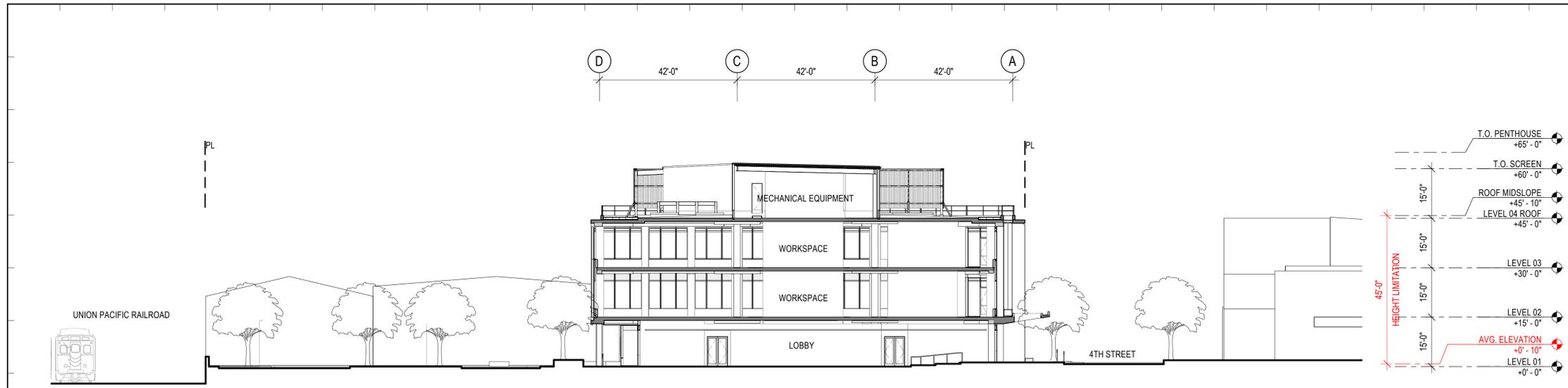
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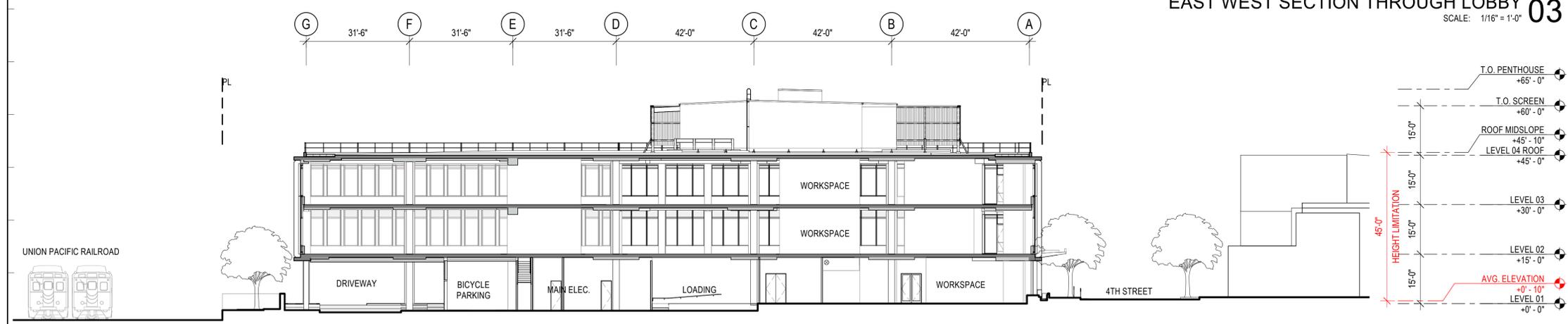
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SECTIONS

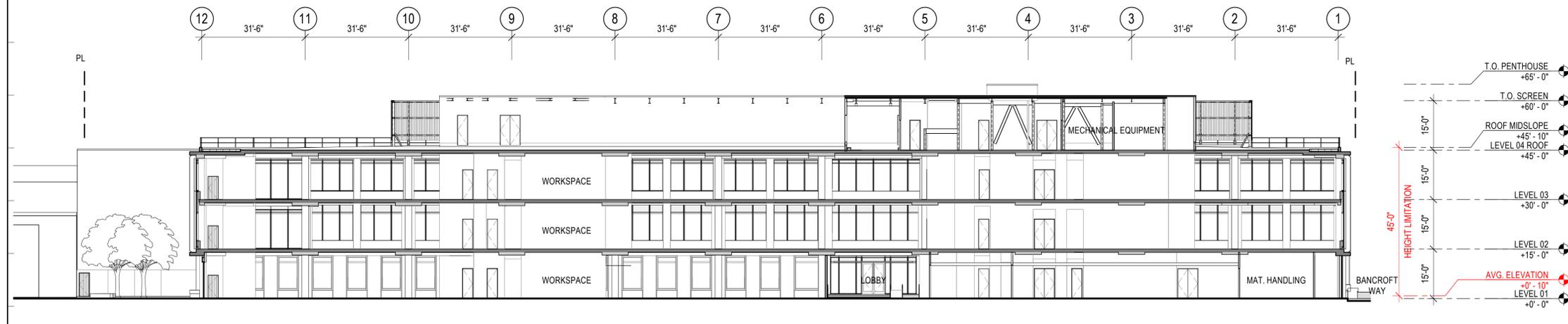
Project No.: 220175
 Sheet No.: AP5.02.01
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 Scale: 1/16" = 1'-0"



EAST WEST SECTION THROUGH LOBBY 03
 SCALE: 1/16" = 1'-0"



EAST WEST SECTION THROUGH DRIVEWAY 02
 SCALE: 1/16" = 1'-0"



NORTH SOUTH SECTION 1 01
 SCALE: 1/16" = 1'-0"

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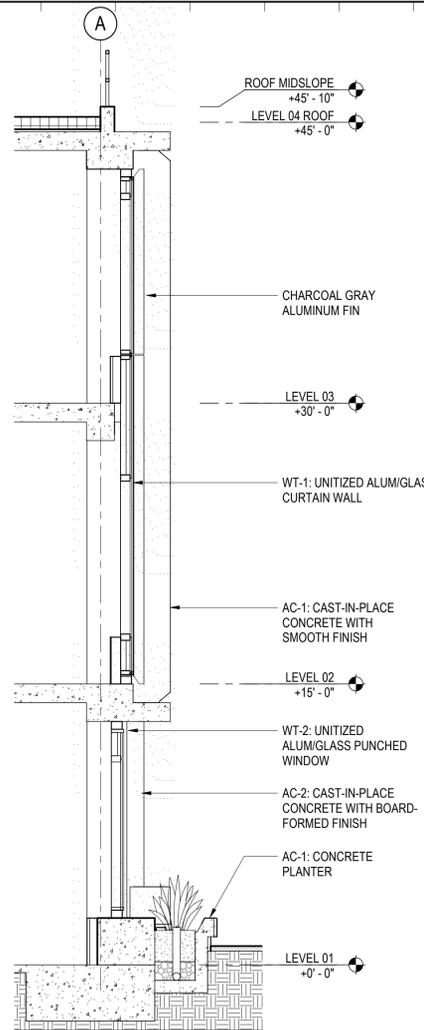
EXTERIOR VIEW AT TYPICAL FACADE (4TH STREET)



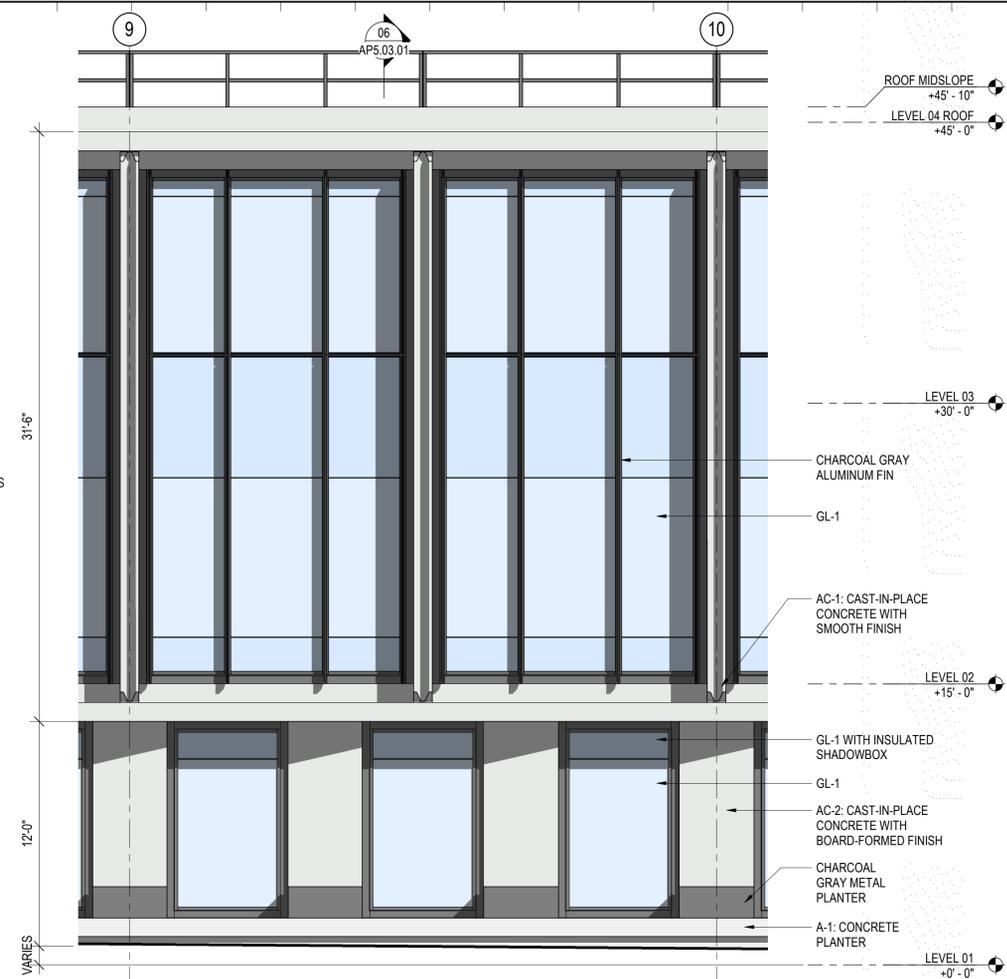
EXTERIOR VIEW AT EAST ENTRY



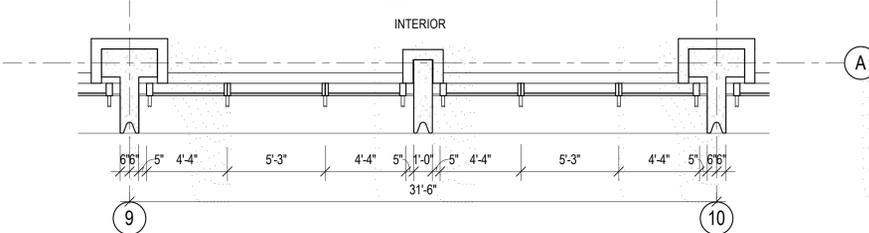
EXTERIOR VIEW ALONG 4TH STREET SIDEWALK



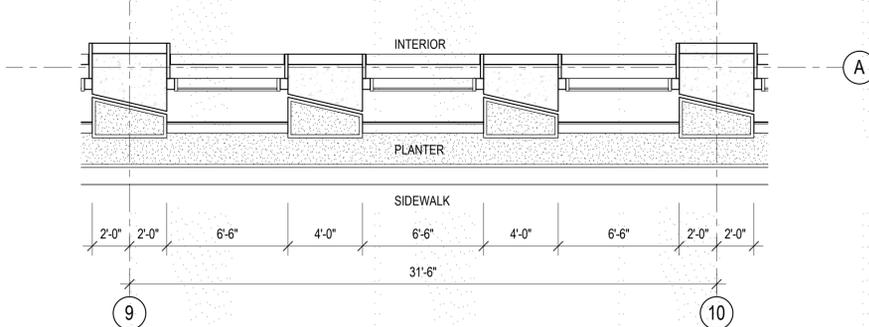
PARTIAL SECTION AT EAST 06
 SCALE: 1/4" = 1'-0"



PARTIAL EAST ELEVATION 03
 SCALE: 1/4" = 1'-0"



LEVEL 02 PARTIAL PLAN AT EAST TYPICAL 02
 SCALE: 1/4" = 1'-0"



LEVEL 01 PARTIAL PLAN AT EAST TYPICAL 01
 SCALE: 1/4" = 1'-0"

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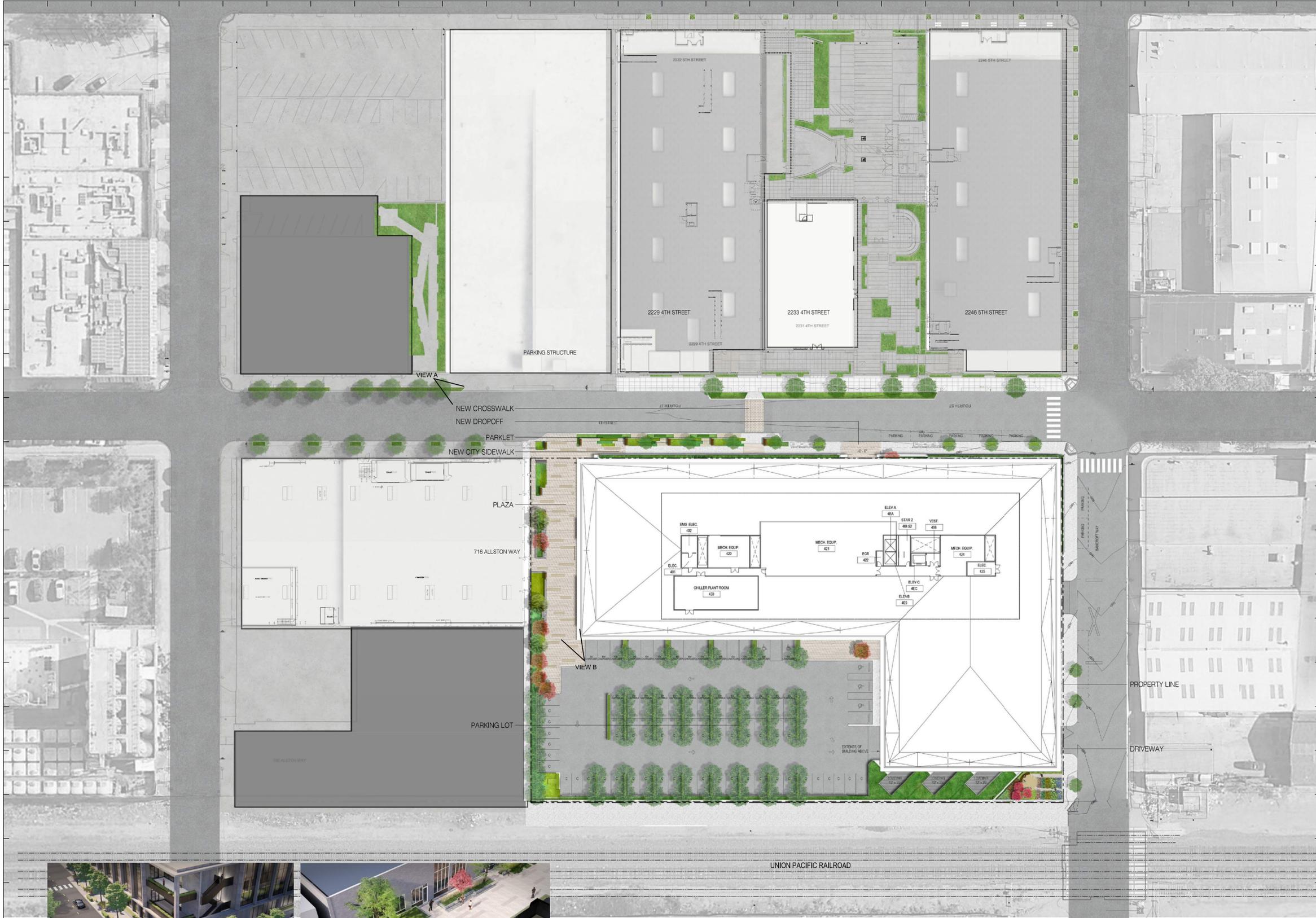
Key Plan:

Seal & Signature:

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Sheet Name:
EXTERIOR WALL DETAILS

Project No.: 220175
 Sheet No.:
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 Scale: 1/4" = 1'-0"
AP5.03.01



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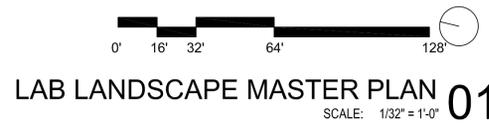
Key Plan:

Seal & Signature:

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Sheet Name:
LAB LANDSCAPE MASTER PLAN

Project No.: 220175	Sheet No.: LP2.00.00
Drawn By:	
Checked By:	
Scale: 1/32" = 1'-0"	





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Key Plan:

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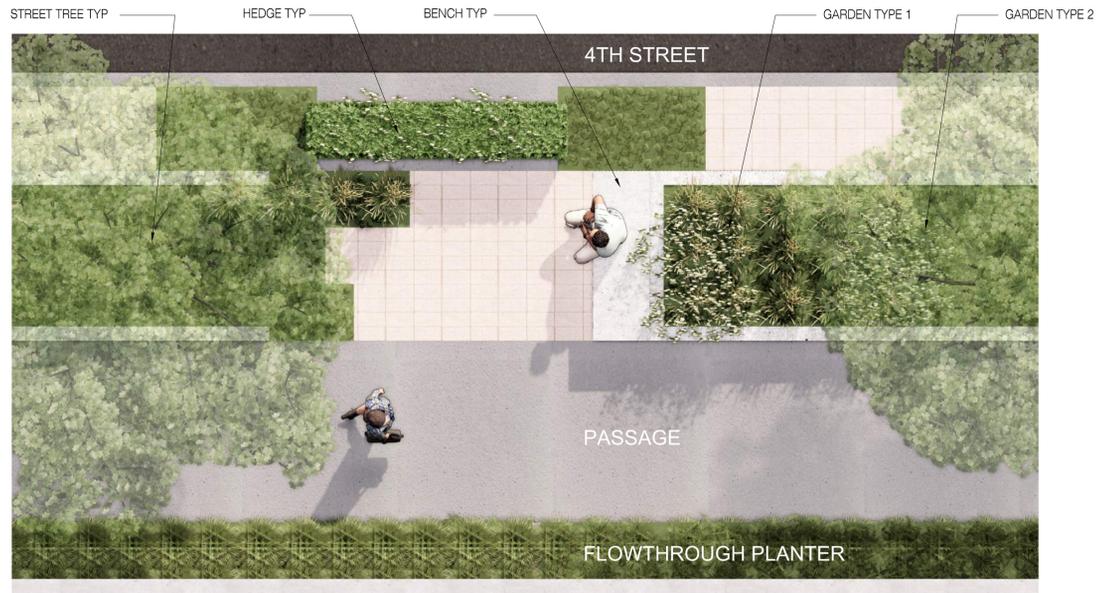
LANDSCAPE PLAN

Project No:	Sheet No:
220175	LP2.00.01
Drawn By:	
Checked By:	
Scale:	1/16" = 1'-0"

NOTES:
 1. SEE LEGEND ON SHEET LP1.00.00-LEGEND SCHEDULE

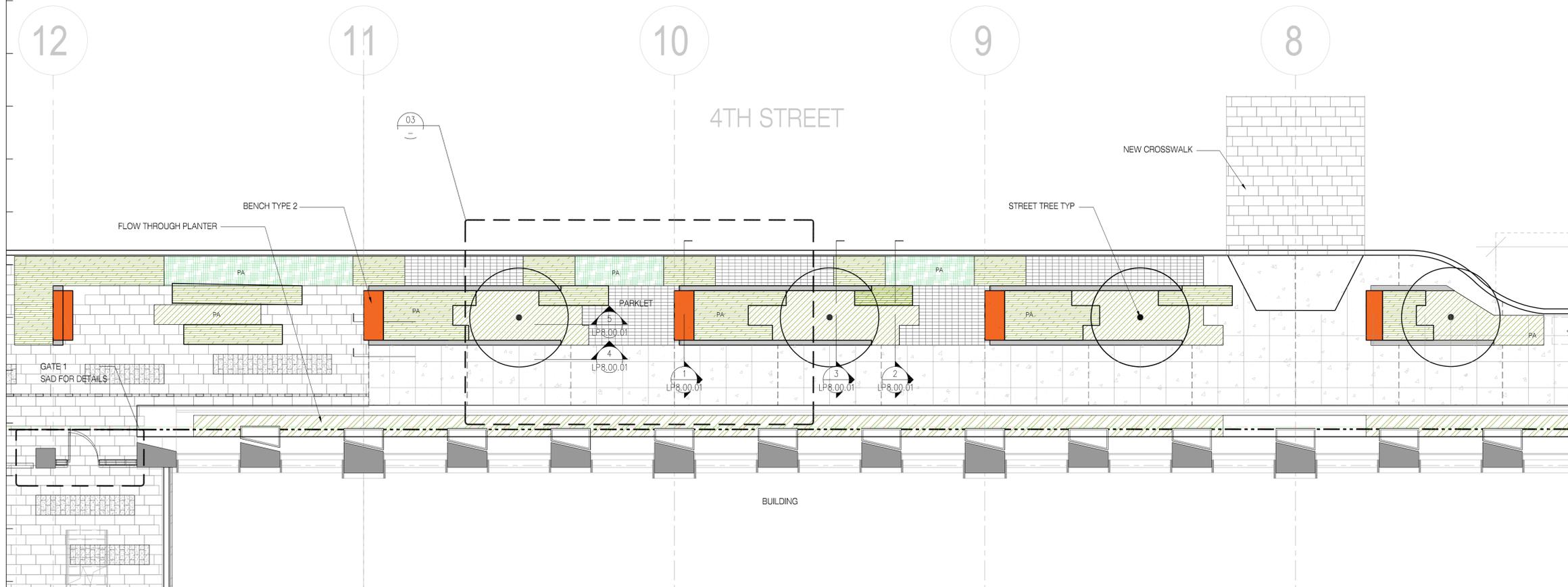
LAB LANDSCAPE MASTER PLAN **01**
 SCALE: 1/16" = 1'-0"

NOTES:
 1. SEE SHEET LP5.01.00 AND LP5.01.01 FOR PLANTING.



STREET GARDEN RENDERED PLAN 03
 SCALE: NTS

STREET GARDEN RENDERING 02
 SCALE: NTS



STREET GARDEN ENLARGED PLAN 01
 SCALE: 1/4"=1'-0"

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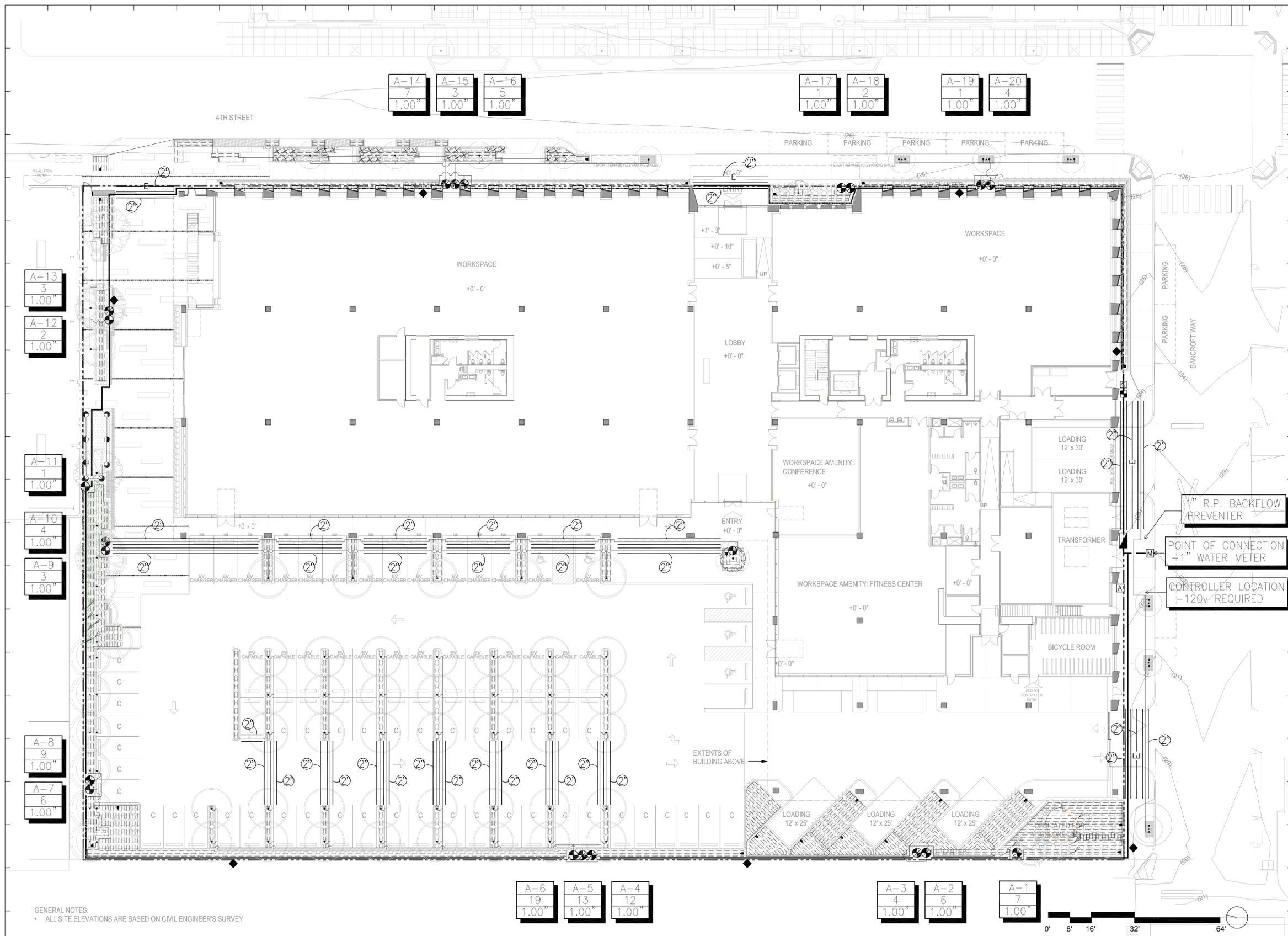
ENLARGEMENT PLAN

Project No:

Drawn By:
 Checked By:
 Scale:
 AS SHOWN

Sheet No:

LP2.00.11



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Key Plan:

Seal & Signature:

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Sheet Name:
IRRIGATION CONCEPT PLAN

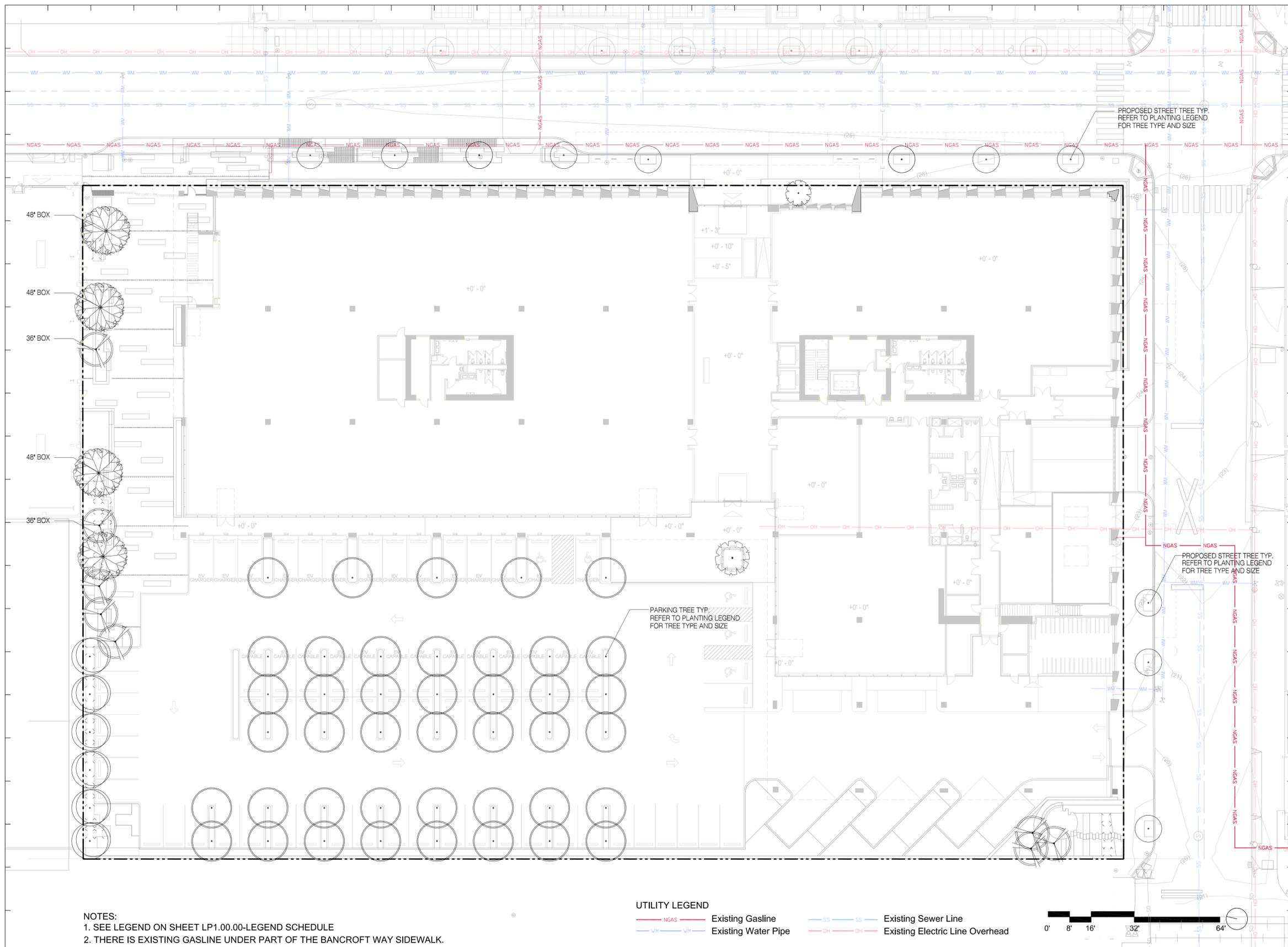
Project No:	Sheet No:
220175	LP4.00.00
Drawn By:	
Checked By:	
Scale:	1/16" = 1'-0"

GENERAL NOTES:
 * ALL SITE ELEVATIONS ARE BASED ON CIVIL ENGINEER'S SURVEY

NOTES:
 1. SEE LEGEND ON SHEET LP1.00.00-LEGEND SCHEDULE
 2. FINAL IRRIGATION PLAN WILL BE IN FUTURE SUBMITTALS AND WILL BE PREPARED BY A CERTIFIED IRRIGATION DESIGNER.

IRRIGATION CONCEPT PLAN 01
 SCALE: 1/16" = 1'-0"





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	DESIGN REVIEW COMMITTEE MEETING 2	2022.05.19

Key Plan:

Seal & Signature:

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Sheet Name:

PLANTING PLAN - GROUND LEVEL TREE

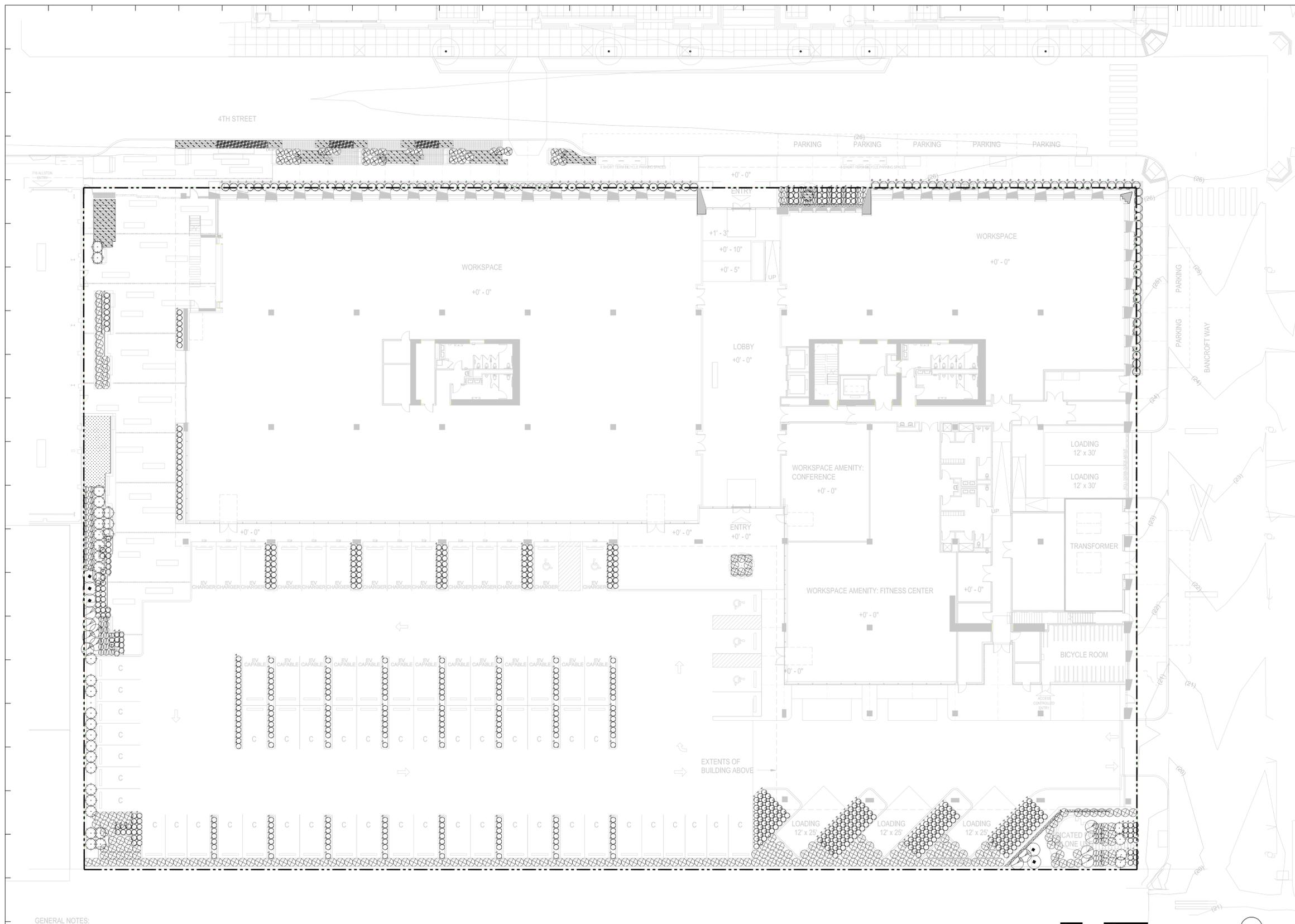
NOTES:
 1. SEE LEGEND ON SHEET LP1.00.00-LEGEND SCHEDULE
 2. THERE IS EXISTING GASLINE UNDER PART OF THE BANCROFT WAY SIDEWALK. PRIOR TO CONSTRUCTION ON THE BANCROFT WAY, CONTRACTOR NEEDS TO VERIFY THE LOCATION AND DEPTH OF EXISTING GASLINE. MAKE SURE THERE IS NO CONFLICTS. OTHERWISE DO NOT PLANT STREET TREES OR CONSTRUCT PLANTING AREA.

UTILITY LEGEND
 NGAS Existing Gasline
 WM Existing Water Pipe
 SS Existing Sewer Line
 OH Existing Electric Line Overhead



PLANTING PLAN - GROUND LEVEL - TREE 01
 SCALE: 1/16" = 1'-0"

Project No.: 220175
 Sheet No.: LP5.01.00
 Drawn By:
 Checked By:
 Scale: 1/16" = 1'-0"



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SUSTAINABILITY
 ATELIER TEN
 443 TEHAMA ST, 1ST FLOOR
 SAN FRANCISCO, CA 94103

Issued For:

No.	Description	Date
1	USE PERMIT APPLICATION	2021.03.25
2	USE PERMIT RESUBMITTAL	2021.09.13
3	USE PERMIT RESUBMITTAL	2021.12.17
4	DESIGN REVIEW COMMITTEE MEETING 1	2022.02.04
5	DESIGN REVIEW COMMITTEE MEETING 2	2022.05.19

Key Plan:

Seal & Signature:

NOT FOR CONSTRUCTION

Sheet Name:

**PLANTING PLAN -
 GROUND LEVEL
 SHRUB**

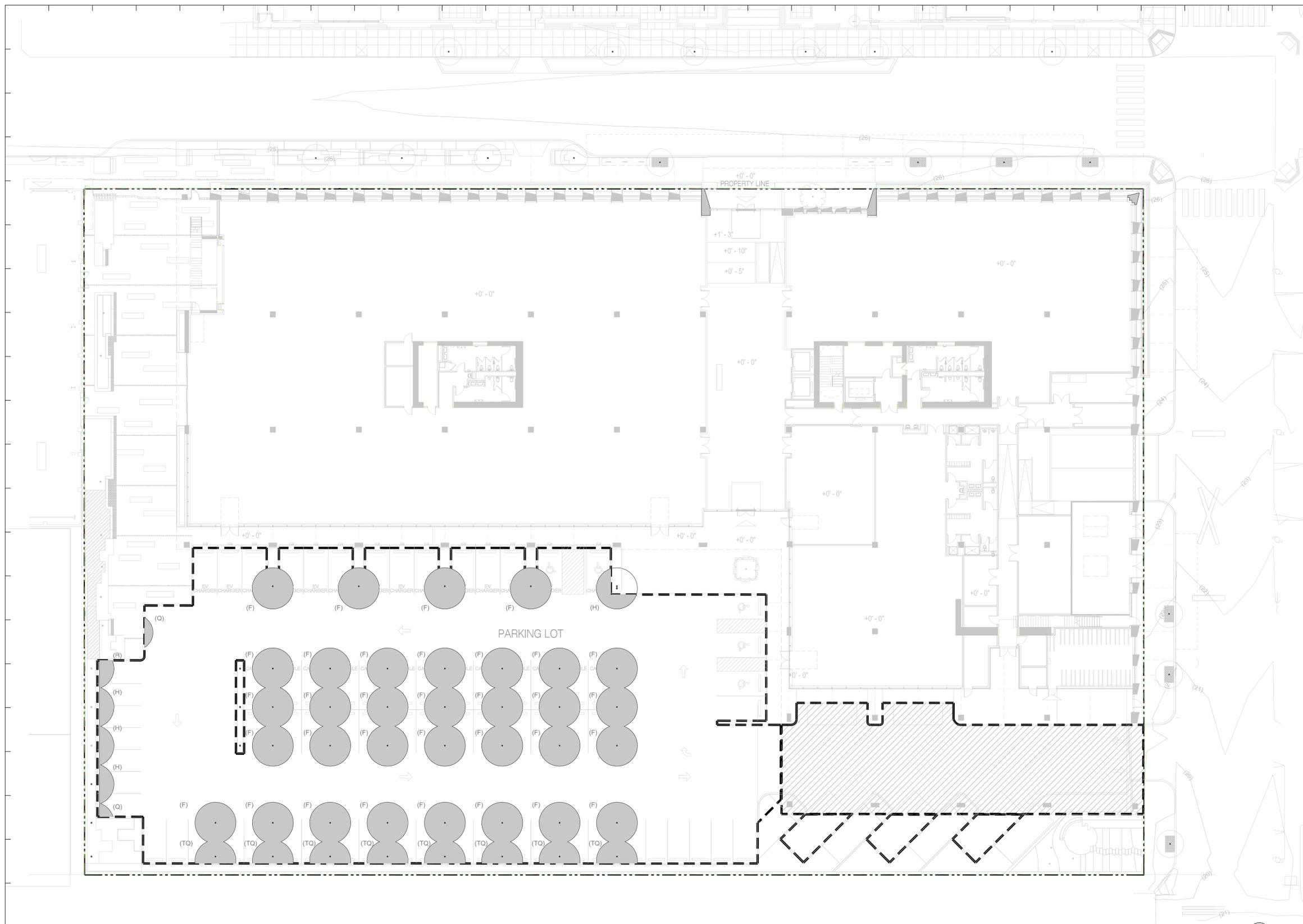
Project No: 220175
 Drawn By:
 Checked By:
 Scale: 1/16" = 1'-0"

Sheet No:
LP5.01.01

GENERAL NOTES:
 * ALL SITE ELEVATIONS ARE BASED ON CIVIL ENGINEER'S SURVEY

NOTES:
 1. SEE LEGEND ON SHEET LP1.00.00-LEGEND SCHEDULE

PLANTING PLAN - GROUND LEVEL - SHRUB 01
 SCALE: 1/16" = 1'-0"



747 BANCROFT
 747 BANCROFT, BERKELEY, CALIFORNIA

OWNER
STEELWAVE
 STEELWAVE
 101 CALIFORNIA STREET, SUITE 800
 SAN FRANCISCO, CA 94111

PROJECT TEAM
 ARCHITECT | STRUCTURAL ENGINEER | LANDSCAPE
SOM
 SKIDMORE, OWINGS & MERRILL LLP
 ONE MARITIME PLAZA
 SAN FRANCISCO, CA 94111

BUILDER
 LUSARDI CONSTRUCTION COMPANY
 6376 CLARK AVE
 DUBLIN, CA 94568

CIVIL ENGINEER
 WARE MALCOMB
 4883 CHABOT DRIVE #300
 PLEASANTON, CA 94588

MEP ENGINEER
 MEYERS+ ENGINEERS
 98 BATTERY STREET, SUITE 500
 SAN FRANCISCO, CA 94111

GEOTECHNICAL ENGINEER
 ROCKRIDGE GEOTECHNICAL
 270 GRAND AVE
 OAKLAND, CA 94610

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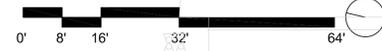
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Sheet Name:
**SHADED PARKING
 COVERAGE PLAN**

TOTAL OPEN AIR PAVED PARKING AREA	25,082 S.F.
TOTAL PARKING AREA SHADED BY TREE	7421.4 S.F.
TREE CANOPY SHADED PERCENTAGE	29.5%

(F)	100%	33 x 100' x 176.7 sqft = 5831.1
(TQ)	75%	8 x 75' x 176.7 sqft = 1060.2
(H)	50%	5 x 50' x 176.7 sqft = 441.75
(Q)	25%	2 x 25' x 176.7 sqft = 88.35
TOTALS 7421.4 sqft		

NOTES:
 1. SEE LEGEND ON SHEET LP1.00.00-LEGEND SCHEDULE
 2. BESIDES THE TREE CANOPY SHADED AREA, 4,326.0 S.F. OF PAVED SURFACE PARKING AND DRIVEWAY IS SHADED BY 747 BANCROFT.



SHADED PARKING COVERAGE PLAN 01
 SCALE: 1/16" = 1'-0"

Project No:	220175	Sheet No.:	LP5.03.00
Drawn By:		Checked By:	
Scale:	1/16" = 1'-0"		