



Z O N I N G  
A D J U S T M E N T S  
B O A R D  
S T A F F R E P O R T  
FOR BOARD ACTION  
MAY 11, 2023

# 2049 Shattuck Avenue

**ZP2023-0007 to modify existing Use Permit #08-0000061 to change the type of alcoholic beverage service from beer & wine (Type 41 ABC license) to beer, wine, and distilled spirits (Type 47 ABC license).**

## I. Background

**A. Land Use Designations:**

- General Plan: DT (Downtown)
- Zoning: C-DMU (Downtown Mixed-Use)

**B. Zoning Permits Required:**

- Use Permit, pursuant to Berkeley Municipal Code (BMC) Section 23.310.020, to add the service of distilled spirits under a new Type 47 ABC license.

**C. CEQA Recommendation:** It is staff's recommendation that the project is categorically exempt pursuant to Section 15301 of the CEQA Guidelines ("Existing Facilities"). The determination is made by the ZAB.

**D. Parties Involved:**

- Applicant: Laura Meyer, 424 Wayne Ave., Apt C, Oakland, CA 94606
- Property Owner: Paul Goldstone, 2044 Kala Bagai Way, Berkeley, CA 94704



Figure 2: Site Plan

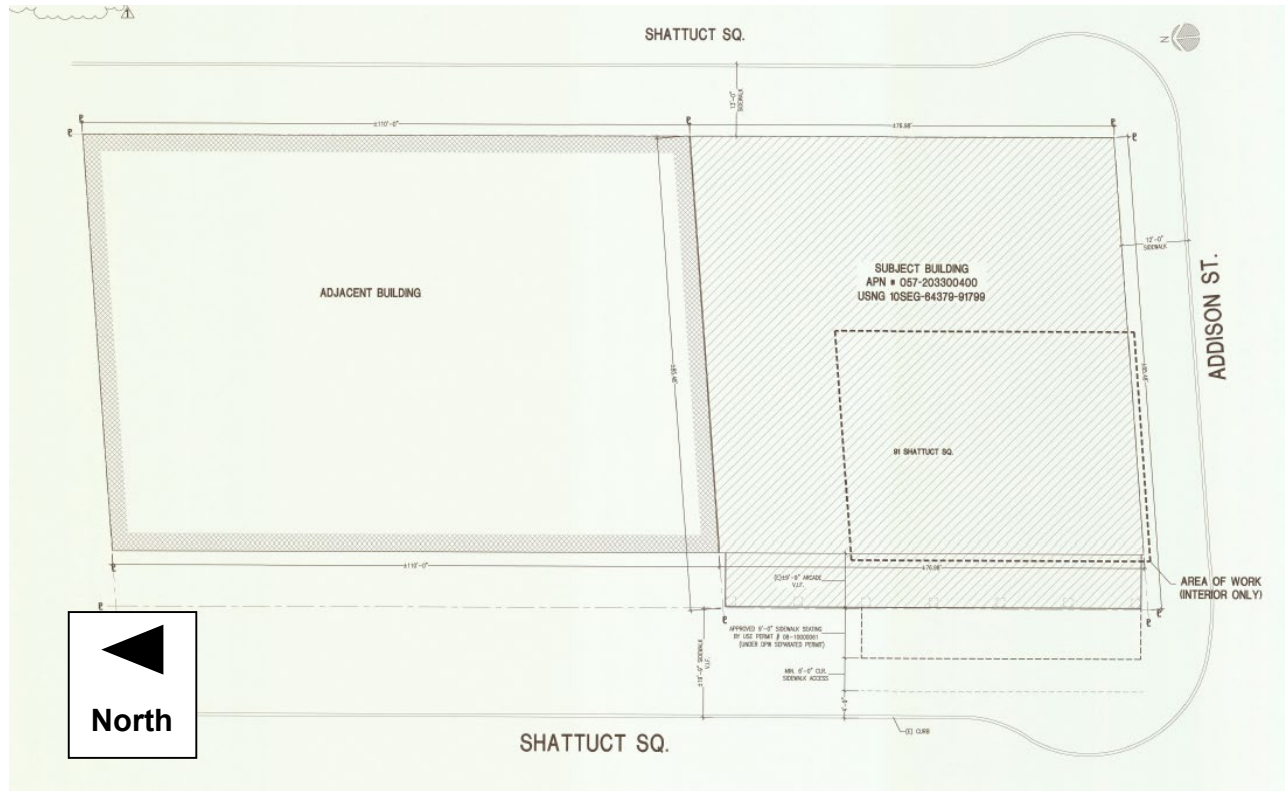


Figure 3: Elevation



**Figure 4: Liquor Licenses within 1,000 feet of the project site**



■	20	Off-site beer and wine
▲	41	On-site beer and wine- eating place
▲	47	On-site beer, wine, and liquor
●	9, 17, 23	Beer & Wine Manufacturers and Wholesalers
★	58, 64	Caterers and Theaters

**Table 1: Land Use Information**

Location		Existing Use	Zoning District	General Plan Designation
Subject Property		Restaurant on first floor with offices above	C-DMU	Downtown Mixed-Use
Surrounding Properties	North	Vacant Commercial		
	South	Restaurant		
	East	Restaurant		
	West	Retail		

**Table 2: Special Characteristics**

Characteristic	Applies to Project?	Explanation
Affordable Child Care or Housing Fee for qualifying non-residential projects (Per Resolutions 66,618-N.S. & 66,617-N.S.))	No	The proposed project does not include new floor area or a new use in a space vacant for more than three years; therefore, this mitigation fee payment does not apply.
Alcohol	Yes	The site currently has approval for on-site incidental service of beer and wine (Type 41 ABC license). The operator has applied to add service of distilled spirits (Type 47 ABC License).
Public Convenience or Necessity		There are nine other Type 47 ABC licenses within 1,000 feet. Therefore, public convenience and necessity findings are required.
Affordable Child Care or Housing Fee for qualifying non-residential projects (Per Resolutions 66,618-N.S. & 66,617-N.S.))	No	The proposed project does not include new floor area or a new use in a space vacant for more than three years; therefore, this mitigation fee payment does not apply.
Creeks	No	No new construction is proposed.
Green Building Score	No	
Historic Resources	No	This is a historic landmark known as Shattuck Square. However, the applicant is not proposing any exterior changes, so a historic resources review is not necessary.
Liquefaction (Seismic Hazards Mapping Act)	No	No new construction is proposed.
Oak Trees	No	
Soil/Groundwater Contamination	No	

**Table 3: Project Chronology**

Date	Action
January 18, 2023	Application submitted
March 2, 2023	Application deemed complete
April 27, 2023	Public hearing notices mailed
May 11, 2023	ZAB hearing

## II. Project Setting

- A. Neighborhood/Area Description:** The project site is located on the north-east corner at the intersection of Shattuck Avenue and Addison Street, within the Downtown Mixed-Use (C-DMU) District. The C-DMU District consists of a wide variety of commercial and residential uses. These include restaurants, bars, night clubs, theaters, retail shops, educational institutions, financial institutions, offices, and multi-family housing. Structures range from 2-story to high rise.
- B. Site Conditions:** The project site is located on 6,580 square-foot parcel which is fully developed with an 18,862 square-foot two-story commercial building. The building includes retail and restaurant spaces on the first floor, with office spaces above, and a basement storage area below. The basement also includes restrooms and the restaurant kitchen area. The subject restaurant is located on the first floor in western side of the building, with a covered outdoor seating area facing Shattuck Avenue.

## III. Project Description

The restaurant, Pizzeria da Laura, is currently permitted to serve beer and wine incidental to food service under a Type 41 ABC license (Use Permit #08-10000061). The applicant proposes to modify this permit, pursuant to BMC 23.404.070, to add the service of distilled spirits under a Type 47 ABC license. While the current proposed hours of operation are 5 p.m. – 9 p.m., Wednesday through Sunday, the existing use permit allows 24-hour operation, seven days per week. Alcoholic beverage sales, however, would be limited by California Alcoholic Beverage Control (ABC) regulations.

## IV. Community Discussion

- A. Neighbor/Community Concerns:** A pre-application poster was installed on the building by the applicant in January 2023. On April 27, 2023, public hearing notices (Attachment 3) were mailed to property owners and occupants within 300 feet of the project site, and to interested neighborhood organizations. The City also posted notices within the neighborhood in three locations. At the time of writing this report, staff has not received any public comment regarding the project.
- B. Committee Review:** While this project is in a historic landmark building, no exterior modifications are proposed. Therefore, this project is not subject to design or landmark review. If exterior changes and/or signage are later proposed as part of the associated tenant improvement(s), they will be evaluated by the applicable land use staff at that time.

**V. Issues and Analysis**

**A. Alcoholic Beverage Service:** The sale and service of distilled spirits incidental to food service is allowed in the C-DMU District if a Use Permit is granted by the Zoning Adjustments Board (ZAB) in accordance with required findings as specified under BMC 23.310.020.

Alcoholic beverage service is also regulated by BMC 23.310.020(D) for Special Use Standards. This section requires the City to make all of the "Public Convenience or Necessity" findings if an existing establishment has an ABC license of the same type, other than beer and wine service incidental to food service, within a 1,000-foot radius of the project site. As shown in Figure 4, there are nine other existing Type 47 ABC licenses within 1,000 feet of the project site. Therefore, the "Public Convenience or Necessity" findings must be made. The current Type 47 license locations are listed in Table 4.

**Table 4: Type 47 ABC licenses within 1,000 feet of the project site.**

Business Name	Address
Aurora Theater Company	2081 Addison Avenue
Berkeley Social Club	2050 University Avenue
Comal	2020 Shattuck Avenue
Eureka!	2068 Center Street
Gather	2200 Oxford Street
Ippuku	2130 Center Street
The Marsh Arts Center	2120 Allston Way
Revival Bar and Kitchen	2102 Shattuck Avenue
Spats	1974 Shattuck Avenue

In order to approve the Use Permit, the Board must affirm all of the "Public Convenience or Necessity" findings under BMC Section 23.310.020(D) as follows:

- 1) *The proposed establishment will promote the City's economic health, contribute to General Plan or area plan policies, or further the district purpose.*

Staff Analysis: The proposed addition of distilled spirits service would mean greater tax revenue for the City of Berkeley, with a greater variety of menu options to attract more people. It would also increase the economic health of the business whose cuisine offers a unique culinary opportunity to the community. The additional service would contribute to the cultural, economic, and social opportunities in the C-DMU District.

- 2) *The economic benefits associated with the establishment could not reasonably be achieved without the proposed alcohol sales.*

Staff Analysis: The addition of distilled spirits to the menu would potentially increase the economic success of the business in a way that would likely not be available with just beer and wine service. Staff notes that the increased business revenue would result in increased tax revenue for the City.

- 3) *If the applicant has operated a licensed establishment that has been the subject of violations regarding alcohol in the State of California, or violations of public safety or nuisance statutes or regulations in the City of Berkeley as verified by the Police Department, the ZAB shall determine whether such violations indicate a high likelihood of further violations and/or detrimental impacts from the proposed establishment. In making this determination, the ZAB may consider the number, frequency, and severity of prior violations, the time elapsed since the last violation, and other relevant factors.*

Staff Analysis: A letter from the Berkeley Police Department (BPD), dated March 16, 2023, (Attachment 4) does not indicate any previous alcohol-related violations associate with this business owner.

- 4) *If the proposed establishment is located within 1,000 feet of any public park or Berkeley Unified School District (BUSD) school, the Board shall take into consideration the effect of the proposed establishment upon such sensitive public uses.*

Staff Analysis: The project site is not located within 1,000 feet from a public park or school.

- 5) *The Police Department has reported that the proposed establishment would not be expected to add to crime in the area.*

Staff Analysis: Staff referred this application to the BPD for review and comment. In a letter dated March 16, 2023, the BPD stated that, "We see no reason to believe this business would increase crime or calls for service in the neighborhood, and see no reason it would have an adverse effect on the health, safety, or morals of the people in the area. We believe it will in fact be a net positive as more businesses open in the neighborhood after the long closures due to the pandemic."

- B. C-DMU District Findings:** To approve a Use Permit in the C-DMU District, the ZAB must make the following permit findings in accordance with the required findings in BMC Section 23.204.130(I):

- 1) *The proposed use is compatible with the purposes of the district; and*
- 2) *The proposed use is compatible with the surrounding uses and buildings.*

Staff Analysis: This project is compatible with the economic goals of the C-DMU district. It is also compatible with the purpose of the Downtown Arts Overlay District, which is to create a core of cultural activities and supportive retail and commercial uses in the C-DMU district. The use is fully compatible with surrounding uses and buildings.

- C. General Non-Detriment Finding:** BMC Section 23.406.040(E) requires that, before the ZAB approves an application for a Use Permit, it must find that the project, under the circumstances of this particular case existing at the time at which the application is granted, would not be detrimental to the health, safety, peace, morals, comfort, and

general welfare of the persons residing or working in the neighborhood of such proposed use and the project must not be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City.

Staff Analysis: The alcohol service would be incidental to food service, and due to the incidental nature of the service, as well as the location of the restaurant, the addition of distilled spirits would not have a detrimental impact on public health, safety, or peace. The permit is subject to the standard conditions for food and alcohol service (alcohol service will remain incidental to food service, will be limited to normal meal hours of operation, off-site sales of alcoholic beverages will be prohibited, all applicable ABC regulations will be in effect, etc.). The outdoor service area is enclosed with an existing six-foot steel fence, which will ensure that alcoholic beverages remain on site. Restaurant operating hours will comply with those allowed in the C-DMU district. These factors will ensure that the restaurant is a good neighbor and positive contribution to the community.

**D. General Plan Consistency:** The 2002 General Plan contains a policy applicable to the project:

1. Policy LU-1 Community Character: Maintain the character of Berkeley as a special, diverse, unique place to live and work.

Staff Analysis: The service and sale of distilled spirits incidental to food service will enhance the customer experience and help the restaurant to promote the character of Berkeley as a special, diverse, and unique place to live and work.

2. Policy LU-16-Downtown Plan: Express and enhance Berkeley's unique social and cultural character in the Downtown; create an appealing and safe Downtown environment, with a comfortable pedestrian orientation; diversity, revitalize, and promote the Downtown economy.

Staff Analysis: The serving of distilled spirits would be consistent with the diversify of economic activities in a District that is well served by transit.

**E. Downtown Plan Consistency:** The Downtown Area Plan, adopted in 2012, also contains policies applicable to the project, including the following:

1. LU Goal 1, Policy LU-1.1: Encourage uses that allow people who live, work and learn in Downtown to meet daily needs on foot.
2. LU Goal 1, Policy LU-1.3: Cultivate synergy between restaurants, shops and other businesses, combined with Downtown's focus on cultural and educational uses, to encourage a thriving and diverse retail environment.

Staff Analysis: Distilled spirit service would enhance a business that will contribute to the goals of a walkable and diverse downtown.

## VI. Recommendation

Because of the project's consistency with the Zoning Ordinance and General Plan, and minimal impact on surrounding properties, staff recommends that the ZAB: **APPROVE** Use Permit #ZP2023-0007 to modify Use Permit #08-0000061 pursuant to Sections 23.406.040 and 23.404.070, subject to the attached Findings and Conditions (see Attachment 1).

### Attachments:

1. Findings and Conditions
2. Project Plans, received January 18, 2023
3. Notice of Public Hearing
4. Berkeley Police Department comment letter dated March 16, 2023

**Staff Planner:** Russell Roe [rroe@cityofberkeley.info](mailto:rroe@cityofberkeley.info), (510) 981-7548

# ATTACHMENT 1

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## FINDINGS AND CONDITIONS

MAY 11, 2023

### 2049 Shattuck Avenue

**ZP2023-0007 to modify existing Use Permit #08-0000061 to change the type of alcoholic beverage service from beer & wine (Type 41 ABC license) to beer, wine, and distilled spirits (Type 47 ABC license).**

#### **PERMITS REQUIRED**

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- Use Permit, pursuant to Berkeley Municipal Code (BMC) Section 23.310.020 to add Alcoholic Beverage Service to include distilled spirits under a new Type 47 ABC license.

#### **I. CEQA FINDINGS**

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- A. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15301 of the CEQA Guidelines (“Existing Facilities”).
- B. Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not affect any historical resource.

#### **II. GENERAL NON-DETRIMENT FINDINGS FOR APPROVAL**

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- A. As required by Section 23.406.040(E) of the BMC, the project, under the circumstances of this particular case existing at the time at which the application is granted, would not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:
1. The project is consistent with all applicable C-DMU District standards, including use and hours of operation;
  2. The addition of distilled spirits alcoholic beverage service in the existing restaurant will not expand the footprint of the existing business. The proposed service will provide an additional option for patrons in the Downtown area;
  3. The alcohol service will be incidental to the overall food service use, and as such, alcohol sales will not have detrimental impact on public health, safety, or peace; and
  4. The permit is subject to the standard conditions for alcohol sales, which will ensure that the restaurant will continue to be a good neighbor.
  5. The outdoor service area is enclosed with an existing six-foot steel fence, which will ensure that alcoholic beverages remain on site.

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### III. OTHER FINDINGS FOR APPROVAL

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- A. As required by Section 23.310.020(D), the Zoning Adjustments Board finds that:
1. The expansion of alcoholic beverage service in an existing restaurant will contribute to the variety of goods and services which serve residents in the area. The expansion of services will contribute to the vitality of the neighborhood. The project will contribute to the City's economic health.
  2. The addition of liquor service to the menu will enable the restaurant to remain competitive with other similar businesses in the neighborhood. Additionally, staff notes the potential increased business revenue would result in increased tax revenue for the City.
  3. The applicant has not operated another establishment that has been the subject of violations regarding alcohol in the State of California.
  4. The project is not located within 1,000 feet of a public park or school.
  5. In a letter dated March 16, 2023, the BPD stated, "We see no reason to believe this business would increase crime or calls for service in the neighborhood, and see no reason it would have an adverse effect on the health, safety, or morals of the people in the area. We believe it will in fact be a net positive as more businesses open in the neighborhood after the long closures due to the pandemic."
- B. As required by Section 23.204.130(I) of the BMC, the Zoning Adjustments Board finds that:
1. This project is consistent with the purposes of the C-DMU District, which allows the service of distilled spirits for purposes of on-site consumption;
  2. The project site is compatible with surrounding uses and buildings;
  3. The project is consistent with the Downtown Berkeley Plan, which has the goals of making downtown a recognized center for culture and the arts, bringing new housing to downtown, and preserving downtown's historic assets; and
  4. The project is consistent with the Berkeley General Plan in that it will help to maintain the character of Berkeley as a special, diverse, unique place to live and work; and it will help to enhance Berkeley's unique social and cultural character in the Downtown, create an appealing and safe Downtown environment with a comfortable pedestrian orientation, and will help to diversify, revitalize, and promote the Downtown economy.
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#### **IV. STANDARD CONDITIONS OF APPROVAL FOR ALL PROJECTS**

The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

##### **1. Conditions Shall be Printed on Plans**

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

##### **2. Compliance Required (BMC Section 23.102.050)**

All land uses and structures in Berkeley must comply with the Zoning Ordinance and all applicable City ordinances and regulations. Compliance with the Zoning Ordinance does not relieve an applicant from requirements to comply with other federal, state, and City regulations that also apply to the property.

##### **3. Approval Limited to Proposed Project and Replacement of Existing Uses (BMC Sections 23.404.060.B.1 and 2)**

- A. This Permit authorizes only the proposed project described in the application. In no way does an approval authorize other uses, structures or activities not included in the project description.
- B. When the City approves a new use that replaces an existing use, any prior approval of the existing use becomes null and void when permits for the new use are exercised (e.g., building permit or business license issued). To reestablish the previously existing use, an applicant must obtain all permits required by the Zoning Ordinance for the use.

##### **4. Conformance to Approved Plans (BMC Section 23.404.060.B.4)**

All work performed under an approved permit shall be in compliance with the approved plans and any conditions of approval.

##### **5. Exercise and Expiration of Permits (BMC Section 23.404.060.C)**

- A. A permit authorizing a land use is exercised when both a valid City business license is issued (if required) and the land use is established on the property.
- B. A permit authorizing construction is exercised when both a valid City building permit (if required) is issued and construction has lawfully begun.
- C. The Zoning Officer may declare a permit lapsed if it is not exercised within one year of its issuance, except if the applicant has applied for a building permit or has made a substantial good faith effort to obtain a building permit and begin construction. The Zoning Officer may declare a permit lapsed only after 14 days written notice to the applicant. A determination that a permit has lapsed may be appealed to the ZAB in accordance with Chapter 23.410 (Appeals and Certification).
- D. A permit declared lapsed shall be void and of no further force and effect. To establish the use or structure authorized by the lapsed permit, an applicant must apply for and receive City approval of a new permit.

**6. Permit Remains Effective for Vacant Property (BMC Section 23.404.060.D)**

Once a Permit for a use is exercised and the use is established, the permit authorizing the use remains effective even if the property becomes vacant. The same use as allowed by the original permit may be re-established without obtaining a new permit, except as set forth in Standard Condition #5 above.

**7. Permit Modifications (BMC Section 23.404.070)**

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Board. The Zoning Officer may approve changes to plans approved by the Board, consistent with the Board's policy adopted on May 24, 1978, which reduce the size of the project.

**8. Permit Revocation (BMC Section 23.404.080)**

The City may revoke or modify a discretionary permit for completed projects due to: 1) violations of permit requirements; 2) Changes to the approved project; and/or 3) Vacancy for one year or more. However, no lawful residential use can lapse, regardless of the length of time of the vacancy. Proceedings to revoke or modify a permit may be initiated by the Zoning Officer, Zoning Adjustments Board (ZAB), or City Council referral.

**9. Indemnification Agreement**

The applicant shall hold harmless, defend, and indemnify the City of Berkeley and its officers, agents, and employees against any and all liability, damages, claims, demands, judgments or other losses (including without limitation, attorney's fees, expert witness and consultant fees and other litigation expenses), referendum or initiative relating to, resulting from or caused by, or alleged to have resulted from, or caused by, any action or approval associated with the project. The indemnity includes without limitation, any legal or administrative challenge, referendum or initiative filed or prosecuted to overturn, set aside, stay or otherwise rescind any or all approvals granted in connection with the Project, any environmental determination made for the project and granting any permit issued in accordance with the project. This indemnity includes, without limitation, payment of all direct and indirect costs associated with any action specified herein. Direct and indirect costs shall include, without limitation, any attorney's fees, expert witness and consultant fees, court costs, and other litigation fees. City shall have the right to select counsel to represent the City at Applicant's expense in the defense of any action specified in this condition of approval. City shall take reasonable steps to promptly notify the Applicant of any claim, demand, or legal actions that may create a claim for indemnification under these conditions of approval.

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**V. ADDITIONAL CONDITIONS IMPOSED BY THE ZONING ADJUSTMENTS BOARD**

Pursuant to BMC 23.404.050(H), the Zoning Adjustments Board attaches the following additional conditions to this Permit:

**ALCOHOLIC BEVERAGE SERVICE CONDITIONS (on-site)**

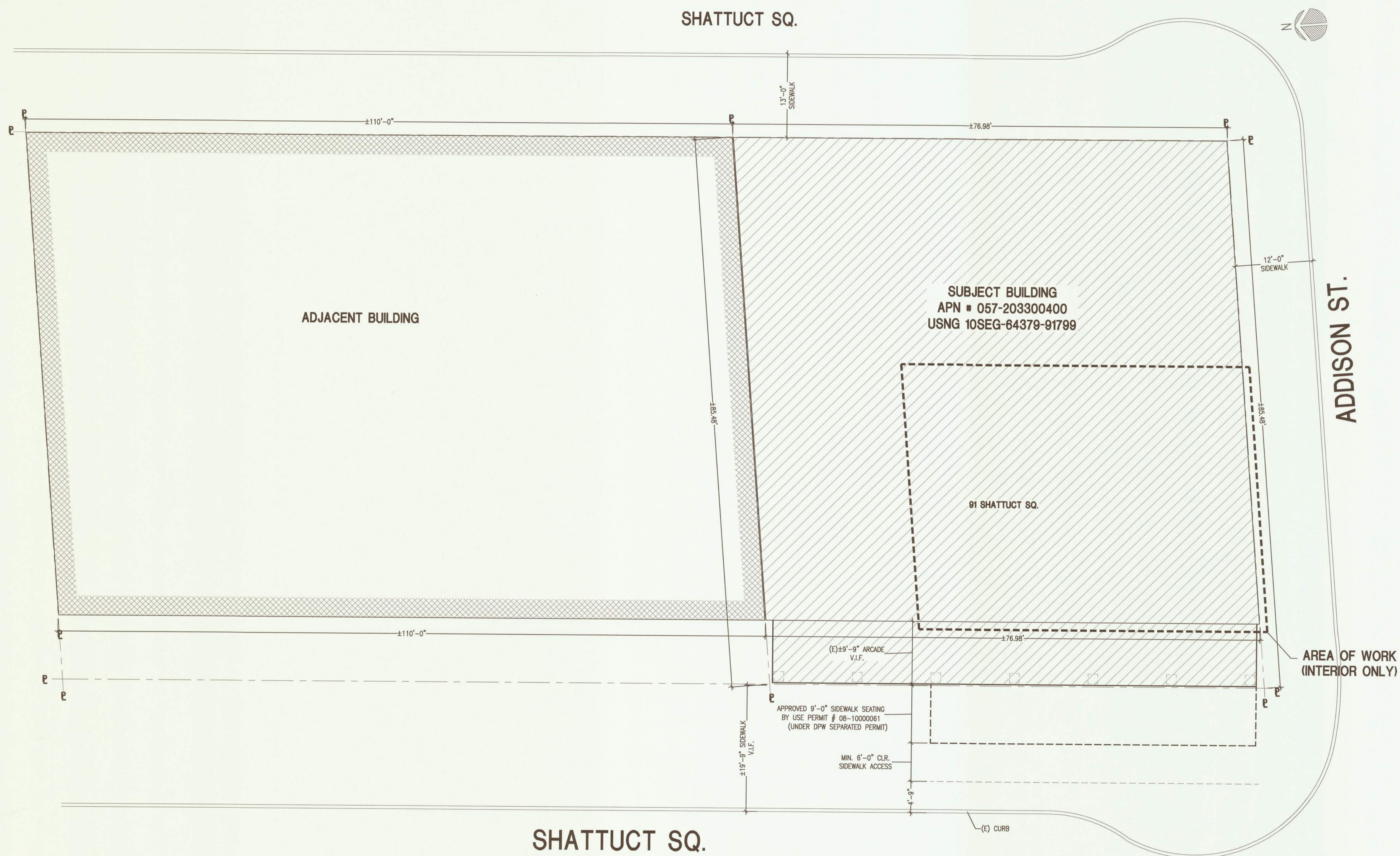
1. The Food Service Establishment shall comply with all applicable regulations of the California Department of Alcoholic Beverage Control (ABC).
2. Alcoholic beverage service shall be "incidental" to the primary food service use, as defined in BMC 23.310.030. An incidental use shall not exceed twenty-five percent (25%) of the floor area of the primary use, and if it consists of the commercial sales of a different line of products or

- services than the primary use, such incidental use may not generate gross receipts in excess of thirty-three percent (33 percent) of the gross receipts generated by the primary use.
3. Alcohol beverage service shall be only be allowed as part of a “bona fide eating place” making “actual and substantial sales of meals,” and stringently enforces this requirement as determined and required by the ABC.
  4. The service of alcohol shall be limited to normal meal hours (per ABC) during the restaurant’s hours of operation. Patrons may only purchase food or finish drinks already purchased within the approved service hours. The Zoning Adjustments Board shall approve any change in the hours of restaurant operations and/or alcohol service (except decreased hours in compliance with applicable ABC regulations). Hours of operation are subject to review and amendment by the Zoning Adjustments Board as necessary to avoid detriment to the neighborhood or to achieve conformance with revised City standards or policies.
  5. During operating hours, 100 percent of the service area shall be designed and used for and must possess the necessary utensils, and condiment dispensers with which to serve meals to the public.
  6. The sale of alcoholic beverages for consumption off the premises is prohibited.
  7. There shall be no service or consumption of alcohol on the public right-of-way, unless authorized by a Public Works sidewalk seating permit.
  8. All alcoholic beverages served to patrons must be served in durable restaurant tableware (i.e. cups or glasses). No beer or wine may be distributed in its original bottle or can, or in any other potentially disposable container.
  9. There shall be no bar or lounge area upon the licensed premises maintained for the sole purpose of sales, service or consumption of alcoholic beverages directly to patrons for consumption.
  10. There shall be no exterior advertising or sign of any kind or type, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages. Neither alcohol-dispensing facilities nor sign(s) advertising alcoholic beverages shall be visible from the public right-of-way. Interior displays of alcoholic beverages or signs which are clearly visible to the exterior shall constitute a violation of this condition.
  11. A Berkeley Police Department Crime Prevention Through Environmental Design (CPTED) survey shall be completed prior to commencing alcohol service.
  12. All employees selling and/or serving alcohol, or directly supervising such sales and/or service, shall complete the Licensee Education on Alcohol and Drugs (LEAD) program, or another equivalent program offered or certified by the California Department of Alcoholic Beverage Control within 6 months of employment at the establishment. Employees who have completed the course within the last five (5) years shall be exempt from this requirement.
  13. Employees shall not serve alcohol to patrons who appear to be inebriated or otherwise unable to behave in an orderly manner upon consuming alcohol.

- 14.** Any operator of the licensed establishment shall not have had a prior licensed establishment that was the subject of verified complaints or violations regarding alcohol, public safety or nuisance statutes or regulations to be confirmed by the Zoning Officer prior to issuance or transfer of a business license at this location.
  - 15.** Fortified alcohol products (e.g., malt liquor), shall not be sold on the premises.
  - 16.** The applicant shall establish cash handling procedures to reduce the likelihood of robberies and theft.
  - 17.** At no time shall the operator rent the restaurant space to a third-party promoter.
  - 18.** The owner or operator of the establishment shall take reasonable measures to prevent disturbances by patrons in the immediate vicinity. Such measures shall include signs reminding patrons of nearby residences and requests not to congregate or loiter near such residences nor operate vehicles in a noisy manner on residential streets. The operator shall give surveillance to public areas near the establishment, keep such areas free of trash and litter, provide lighting, and otherwise attempt to prevent conduct that might disturb the peace and quiet of residences in the vicinity. Furthermore, the operator shall assume reasonable responsibility for ensuring that patrons do not block the entrance or interfere with pedestrian activity on the adjacent public sidewalk.
  - 19.** This Use Permit, including these and all other required conditions, shall be posted in conspicuous location, available for viewing by any interested party.
  - 20.** This permit is subject to review, imposition of additional conditions, or revocation if factual complaint is received by the Zoning Officer that the maintenance or operation of this establishment is violating any of these or other required conditions or is detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the neighborhood or is detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.
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PLOT PLAN SCALE: 1/8"=1'-0"



MAIN OFFICE  
100 Old County Road, Suite 100C  
Brisbane Shopping Center, Brisbane, CA 94005  
Tel 415-656-3528 Fax 415-656-4416

SAN FRANCISCO BRANCH OFFICE  
2010 Ocean Avenue, Suite D  
San Francisco, CA 94127  
Tel 415-452-8676 Fax 415-452-3476

FOR INFORMATION ONLY

**RESTAURANT / BAKERY  
REMODEL,  
OWNER AND TENANT  
IMPROVEMENT**

APPROVED UNDER  
USE PERMIT #08-1000061

91 SHATTUCK SQUARE  
BERKELEY, CA 94704

DATE	REVISION
05/2009	SUBMIT FOR PERMIT
07/07/09	△ REVISION

DATE: 03/2009  
SCALE: AS NOTED  
DRAWN BY: AL  
PROJ. NO.: 209155

DRAWING TITLE

PLOT PLAN

SHEET NO.  
**A-1.4**  
5 OF 16 SHEETS

NOTE: MODIFICATION OF SPRINKLER SYSTEM TO BE UNDER SEPARATE PERMIT.

**Pizzeria Da Laura**  
91 Shattuck Square  
Berkeley, CA 94704



**NOT FOR CONSTRUCTION**

ISSUES AND REVISIONS

No.	Date	Description
	11/30/22	PERMIT SET
	12/13/22	PRICING SET

PROJECT NUMBER  
16010.00

SHEET TITLE  
**GENERAL NOTES AND PROJECT INFORMATION**

SCALE  
1/16" = 1'-0"

SHEET NUMBER

**A0.01**

ABBREVIATIONS			
A.C.	ASPHALTIC CONCRETE	HW.D.	HARDWOOD
ACCD'G	ACCORDING	H.M.	HOLLOW METAL
ACOUS.	ACOUSTICAL	HT.	HEIGHT
A.D.	AREA DRAIN	H.W.	HOT WATER
ADD'L	ADDITIONAL	INSUL.	INSULATION
ADJ.	ADJACENT	JOINT	JOINT
A.F.F.	ABOVE FINISH FLOOR	JT.	LAMINATE
ALUM.	ALUMINUM	L.O.	LINE OF
ANOD.	ANODIZED	MAT.	MATERIAL
BD.	BOARD	MAX.	MAXIMUM
BDL'G	BUILDING	MECH.	MECHANICAL
BLK'G	BLOCKING	MEMB.	MEMBRANE
B.O.	BOTTOM OF	MFR.	MANUFACTURER
B.U.	BUILT UP	MODIFY	MODIFY
CAB.	CABINET	MIN.	MINIMUM
CER.	CERAMIC	MTL.	METAL
CLG.	CEILING	N.I.C.	NOT IN CONTRACT
CLR.	CLEAR	N.T.S.	NOT TO SCALE
C.M.U.	CONCRETE MASONRY UNIT	O.C.	ON CENTER
C.O.	CLEANOUT	O.D.	OVERFLOW DRAIN
COL.	COLUMN	OPP.	OPPOSITE
CONC.	CONCRETE	P.G.	PAINT GRADE
COND.	CONDITION	P.LAS.	PLASTIC
CONTR.	CONTRACTOR	P-LAM.	PLASTIC LAMINATE
CPT.	CARPET	P.LY.	PLYWOOD
C.T.	CERAMIC TILE	POL.	POLISHED
C.W.	COLD WATER	P.T.	PRESSURE TREATED
DET.	DETAIL	PTD.	PAINTED
D.F.	DOUGLAS FIR	PTN.	PARTITION
DIA.	DIAMETER	R.O.	ROUGH OPENING
DIM.	DIMENSION	R.M.	ROOM
D.S.	DOWNSPOUT	R.D.	ROOF DRAIN
DWG.	DRAWING	RREINF.	REINFORCED
EA.	EACH	REQ'D.	REQUIRED
ELEC.	ELECTRICAL OR ELECTRIC	R.O.	ROUGH OPENING
ELEV.	ELEVATOR	S.C.D.	SEE CIVIL DRAWINGS
ENCL.	ENCLOSURE	S.E.D.	SEE ELECTRICAL DRAWINGS
EQ.	EQUAL	S.L.D.	SEE LANDSCAPE DRAWINGS
(E)	EXISTING	S.M.D.	SEE MECHANICAL DRAWINGS
EXH.	EXHAUST	S.P.D.	SEE PLUMBING DRAWINGS
EXT.	EXTERIOR	S.S.D.	SEE STRUCTURAL DRAWINGS
F.A.	FIRE ALARM PULL STATION	SCHED.	SCHEDULE
FDN.	FOUNDATION	S.G.	STAIN GRADE
FIN.	FINISH	S.S.	STAINLESS STEEL
F.D.	FLOOR DRAIN	SIM.	SIMILAR
FLUOR.	FLUORESCENT	SPEC.	SPECIFICATIONS
F.O.	FACE OF	STL.	STEEL
F.O.W.	FACE OF WALL	STRUCT.	STRUCTURAL
F.R.	FIRE RATED	TEMP.	TEMPERED
FRMG.	FRAMING	THK.	THICK
FSNRS.	FASTENERS	TRANS.	TRANSPARENT
FTG.	FOOTING	T.O.	TOP OF
GA.	GAUGE	T.O.P.	TOP OF PLATE
GALV.	GALVANIZED	T.S.	TOP OF STEEL
GDN.	GARDEN	T.W.	TOP OF WALL
GL.	GLASS	TYP.	TYPICAL
G.S.M.	GALVANIZED SHEET METAL	U.O.N.	UNLESS OTHERWISE NOTED
GYP. BD.	GYP. BOARD	V.I.F.	VERIFY IN FIELD
H.C.	HANDICAP	WD.	WOOD
HDR.	HEADER		
HWDR.	HARDWARE		

- GENERAL NOTES**
- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE THE OWNER/CONTRACTOR AGREEMENT, THE DRAWINGS, AND ALL ADDENDA AND MODIFICATIONS ISSUED BY THE ARCHITECT.
  - THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION.
  - IN CASE OF CONFLICT BETWEEN ARCHITECTS AND ENGINEER'S DRAWINGS IN LOCATING MATERIALS AND/OR EQUIPMENT, THE ARCHITECT'S DRAWINGS SHALL GOVERN.
  - "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH SURFACES IN THE SAME PLANE.
  - "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR.
  - "SIMILAR" OR "SIM" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
  - WORK AREAS TO REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH LANDLORD AND TENANT TO ENSURE SECURITY.
  - THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND INSPECTIONS AND COMPLY WITH ALL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL PUBLIC AUTHORITIES (FEDERAL, STATE OR LOCAL) GOVERNING THE WORK. THE MOST STRINGENT SHALL APPLY.
  - ALL WORK NOTED "BY OTHERS" OR "N.I.C." SHALL BE PROVIDED BY THE OWNER OR TENANT UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS FOR THIS "OTHER" WORK IN THE CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE AS REQUIRED TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
  - DO NOT SCALE THE DRAWINGS.
  - CONTRACTOR SHALL REPAIR OR REPLACE ALL LANDSCAPE PLANTING AND IRRIGATION DAMAGED THROUGH THE COURSE OF CONSTRUCTION, REPLACE CONTAMINATED OR COMPACTED SOILS, PROTECT ALL TREES TO REMAIN WITH RIGID METAL FENCING, AND REPAIR ALL DAMAGED PAVING SURFACES IN KIND. CONTRACTOR RESPONSIBLE FOR THE HEALTH AND PROTECTION OF ALL PLANTS WITHIN THE PROJECT FENCE LINE.
  - ALL DIMENSIONS SHALL BE TO THE FACE OF FINISH UNLESS OTHERWISE NOTED.
  - DESIGN OF AUTOMATED SPRINKLER SYSTEM, SMOKE DETECTION SYSTEM, AND FIRE ALARM & COMMUNICATION SYSTEM SHALL BE PER CODE. SEE MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS AND DOCUMENTS.
  - THE BUILDING FIRE SPRINKLER SYSTEM SHALL BE MAINTAINED AND OPERATIONAL AT ALL TIMES DURING CONSTRUCTION ONCE COMPLETED. WHEN RENOVATIONS REQUIRE MODIFICATION OF A PORTION OF A FIRE PROTECTION SYSTEM, THE REMAINDER OF THE SYSTEM SHALL BE KEPT IN SERVICE. WHEN IT IS NECESSARY TO SHUT DOWN THE ENTIRE SYSTEM, A FIRE WATCH SHALL BE KEPT ON SITE UNTIL THE SYSTEM IS RETURNED TO SERVICE IN COMPLIANCE WITH CFC SECTION 3304.5 & NFPA 241 SECTION 10.8.
  - EXIT SIGNS, EMERGENCY LIGHTING, ADDRESS POSTING, FIRE LANE MARKING, FIRE EXTINGUISHERS AND KNOX BOX LOCATION(S) TO BE FIELD VERIFIED BY FIRE INSPECTOR.

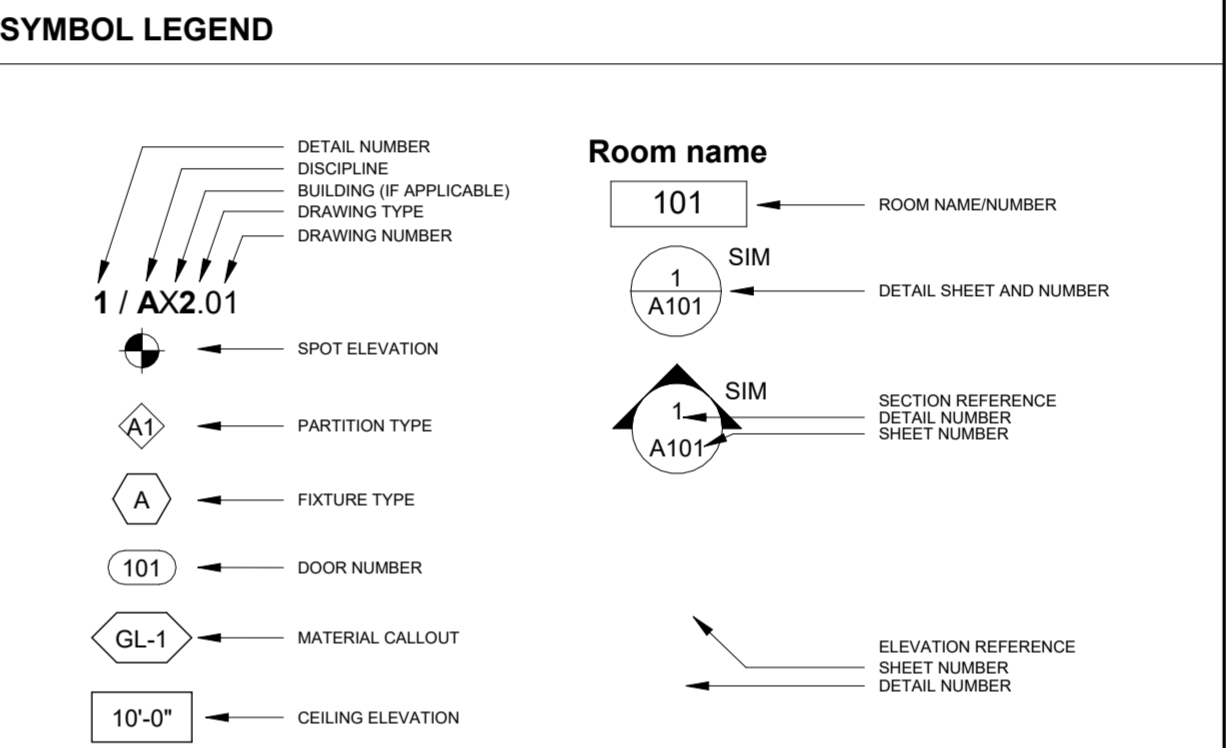
SCOPE OF WORK		
TENANT IMPROVEMENT OF EXISTING RESTAURANT. WORK INCLUDES A NEW BAR WITH BAR SEATING AND ADA SEATING, AND A NEW TO-GO COUNTER. THERE WILL BE NO WORK TO THE EXISTING ELECTRICAL, MECHANICAL, OR PLUMBING SYSTEMS, AND NON OF THE WORK WILL AFFECT THE PRIMARY STRUCTURE. THERE WILL BE NO WORK TO THE EXTERIOR OF THE BUILDING.		
PROJECT/PLANNING INFORMATION		
1. SITE ASSESSOR'S PARCEL NUMBER	057-203300400	
ZONING	C-2 AND ARTS OVERLAY DISTRICT	
FIRE ZONE	FIRE ZONE ONE	
2. BUILDING HEIGHT		
BUILDING HEIGHT	2-STORY + BASEMENT	
3. FLOOR AREA		
BASEMENT		
FIRST FLOOR	5,917 SF	
MEZZANINE	5,660 SF	
	875 SF	

CODE ANALYSIS		
1. CONSTRUCTION TYPE (CBC CH. 6)		TYPE 5A
2. USE AND OCCUPANCY (CBC CH. 3)		A-2 & B
3. FIRE PROTECTION (CBC CH. 9)		
<ul style="list-style-type: none"> <li>THIS BUILDING IS PROVIDED WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH CBC 903.</li> <li>THIS BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER WATERFLOW MONITORING SYSTEM.</li> <li>HORN/STROBE NOTIFICATION DEVIE EXISTS IN THE SPACE OVER FRONT COUNTER</li> <li>PER CFC 901.4 FIRE PROTECTION SYSTEMS SHALL BE EXTENDED, ALTERED, OR AUGMENTED AS NECESSARY TO CONTINUE PROTECTION WHEN THE BUILDING IS ALTERED.</li> </ul>		

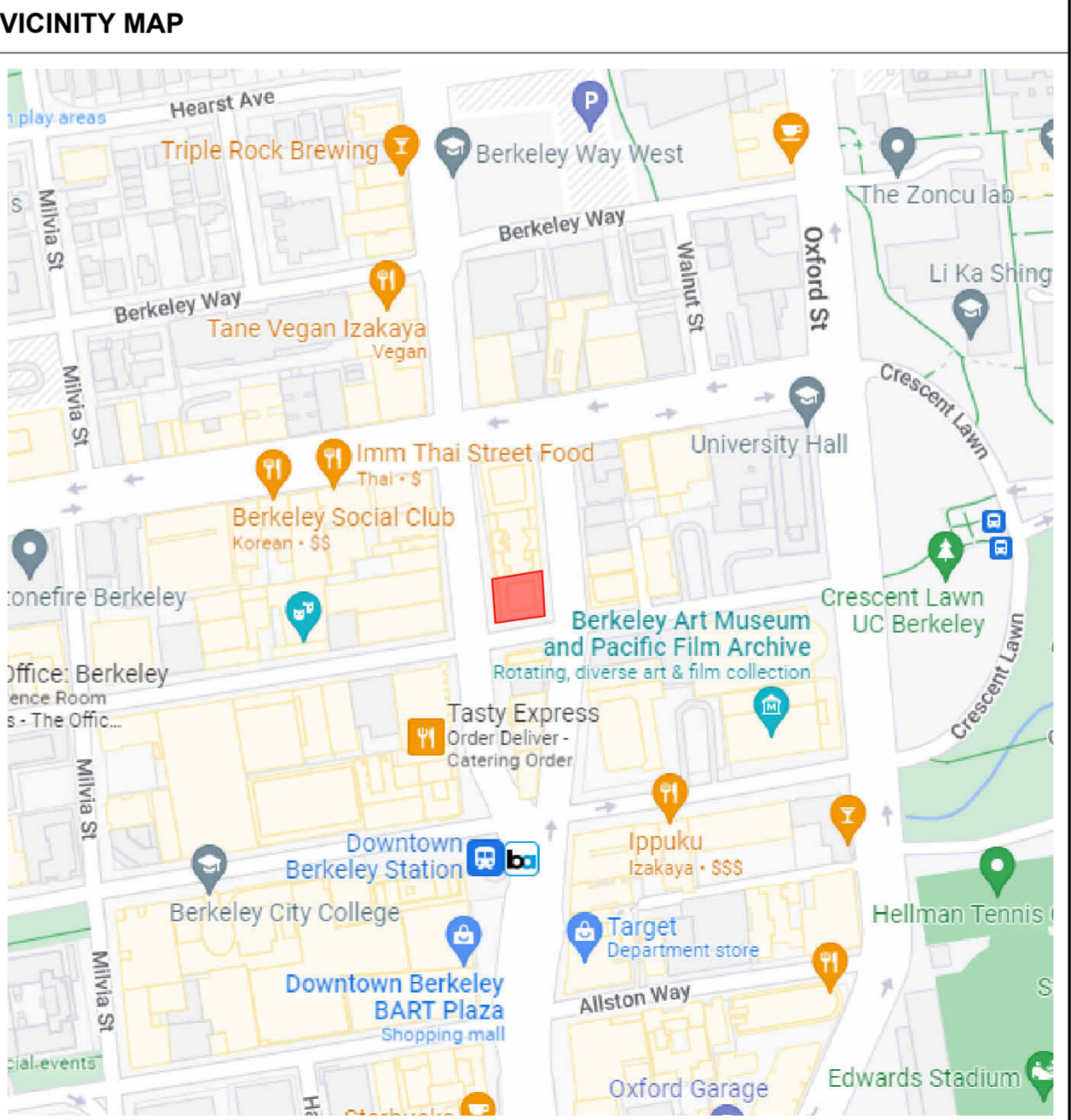
- DEFERRED SUBMITTALS**
- ALL FIRE SPRINKLER SYSTEM MODIFICATIONS WILL BE COMPLETED AS A DEFERRED SUBMITTAL UNDER A SEPERATE FIRE DEPARTMENT PERMIT.

- HEALTH DEPARTMENT NOTES**
- ALL KITCHEN EQUIPMENT SHALL MEET THE STANDARD FOR SUCH EQUIPMENT ESTABLISHED BY THE NATIONAL SANITATION FOUNDATION, (N.S.F.)
  - EQUIPMENT CUSTOM MADE SHALL BE BY N.S.F. APPROVED MANUFACTURERS ONLY. CONTRACTOR SHALL SUBMIT KITCHEN EQUIPMENT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO START OF WORK.
  - ALL CUSTOM-MADE EQUIPMENT SHALL BE APPROVED BY THE HEALTH DEPARTMENT OF THE CITY OF BERKELEY. CONTRACTOR SHALL SUBMIT SPECIFICATION SHEETS OF EQUIPMENT FOR APPROVAL.
  - CONTRACTOR SHALL PROVIDE AN APPROVED THREE (3) COMPARTMENT BAR SINK WITH MINIMUM 10" X 14" X 10" DEEP COMPARTMENTS WITH 18" LONG DUAL, INTEGRALLY INSTALLED STAINLESS STEEL DRAINBOARDS AND "BACKSPASH". THIS SINK MUST HAVE AN INDIRECT CONNECTION TO A FLOOR SINK.
  - CONTRACTOR SHALL PROVIDE HAND SINKS WITH INTEGRAL SOAP AND TOWEL DISPENSERS AT EACH BAR STATION AND AT TO-GO SERVICE AREA.
  - CONTRACTOR SHALL PROVIDE A FOOD PREP SINK WITH A SINGLE DRAINBOARD IN THE TO-GO SERVICE AREA. PREP SINK MUST DRAIN INDIRECTLY ABOVE A FLOOR SINK WITH AT LEAST A 1" AIR GAP.
  - ALL FLOOR SINKS SHALL BE INSTALLED FLASH WITH THE FLOOR SERVICE AND SHALL BE LOCATED SO THAT THEY ARE READILY ACCESSIBLE FOR INSPECTION, CLEANING, AND REPAIR. FLOOR SINKS MUST BE LOCATED WITHIN 15' OF THE DRAIN OPENING OF THE EQUIPMENT SERVED.
  - DRAIN LINES SHALL BE AT LEAST 1/2" FROM THE WALL AND 6" OFF THE FLOOR AND SHALL TERMINATE AT LEAST 1" ABOVE THE FLOOR SINK. DRAIN LINES MAY NOT CROSS ANY AISLE, TRAFFIC AREA, OR DOOR OPENING.
  - ALL SHOW AND DISPLAY CASES, COUNTERS, SHELVES, REFRIGERATION EQUIPMENT, SINKS, AND OTHER EQUIPMENT USED IN CONNECTION WITH THE SERVICE AND DISPLAY OF FOOD SHALL BE MADE OF NONTOXIC MATERIALS AND SO CONSTRUCTED AND INSTALLED AS TO BE EASILY CLEANABLE.
  - ALL EQUIPMENT SHALL BE PLACED ON MINIMUM SIX (6) INCH HIGH, EASILY CLEANABLE LEGS OR ON A FOUR (4) INCH HIGH CONTINUOUSLY COVED CURB, OR ON APPROVED CASTERS, OR CANTILEVERED FROM THE WALL IN AN APPROVED MANNER.
  - FLOOR SURFACES IN ALL AREAS WHERE FOOD IS PREPARED, PACKAGED OR STORED, WHERE JANITORIAL FACILITIES ARE LOCATED, IN ALL TOILET AND HANDWASHING AREAS AND IN EMPLOYEE CHANGE AND STORAGE AREAS, SHALL BE AN APPROVED TYPE THAT CONTINUES UP THE WALL OR TOE-KICKS, AT LEAST FOUR (4) INCHES, IN A SEAMLESS MANNER, WITH A 3/8" MINIMUM RADIUS COVE. AN APPROVED SLIM FOOT CERAMIC, QUARRY OR METAL TOPSET BASE IS GENERALLY ACCEPTABLE.
  - WALLS AND CEILINGS IN ALL ROOMS, EXCEPT AS PROVIDED IN (B) SHALL BE SMOOTH AND NONABSORBENT, WITH A LIGHT COLORED, EASILY CLEANABLE FINISH. (NOTE: LIGHT COLORED IS DEFINED AS HAVING A LIGHT REFLECTANCE VALUE OF 70% OR GREATER.)
  - WALL AND CEILING SURFACE REQUIREMENTS IN AREAS SUCH AS DINING, SALES, EXHIBITION FOOD HANDLING AND CUSTOMER AREAS ARE LESS STRINGENT. ALTERNATIVE FINISH COLORS WILL BE EVALUATED ON A CASE-BY-CASE BASIS.
  - WALL MATERIALS OTHER THAN SMOOTH PLASTER OR PUTTY COAT PLASTER, DRYWALL WITH SEALED AND TAPED JOINTS OR PLYWOOD WITH PROPERLY SEALED JOINTS REQUIRE SUBMISSION OF A SAMPLE. ALL WALL SURFACES SHALL BE SEALED WITH A GLOSS OR SEMI GLOSS ENAMEL, EPOXY, VARNISH, OR OTHER APPROVED SEALER. OTHER WALL AND CEILING SURFACE MATERIALS ARE SUBJECT TO EVALUATION AND COMPLIANCE WITH THE SAME OR SIMILAR REQUIREMENTS PRIOR TO INSTALLATION.
  - PRELIMINARY CONSTRUCTION INSPECTION  
WHEN CONSTRUCTION FINISHED WORK IS APPROXIMATELY 75% TO 80% COMPLETED, WITH PLUMBING, ROUGH VENTILATION, AND ROUGH EQUIPMENT INSTALLED, YOU MUST CALL THE ENVIRONMENTAL HEALTH PLAN CHECKER ASSIGNED TO REVIEW YOUR PLANS FOR A PRELIMINARY CONSTRUCTION INSPECTION. REQUESTS SHOULD BE MADE AT LEAST TWO (2) WORKING DAYS IN ADVANCE. THE PRELIMINARY INSPECTION SHOULD BE SCHEDULED AT LEAST TWO WEEKS PRIOR TO THE PROPOSED OPENING OF THE FOOD FACILITY.
  - FINAL CONSTRUCTION INSPECTION  
UPON COMPLETION OF 100% OF THE CONSTRUCTION, INCLUDING ALL FINISHING WORK, YOU MUST CALL THE ENVIRONMENTAL HEALTH PLAN CHECKER ASSIGNED TO REVIEW YOUR PLANS TO ARRANGE FOR A FINAL CONSTRUCTION INSPECTION. YOU WILL NOT BE ISSUED A HEALTH PERMIT UNTIL THE FACILITY PASSES A FINAL INSPECTION. CONTACT YOUR PLAN CHECKER AT LEAST TWO (2) WORKING DAYS IN ADVANCE FOR AN APPOINTMENT FOR THE FINAL INSPECTION. FINAL CONSTRUCTION MUST BE APPROVED BY THIS AGENCY PRIOR TO OPENING FOR BUSINESS OR USE OF REMODELED AREAS.

SHEET INDEX	
Sheet Index	
Sheet Number	Sheet Name
1-GENERAL	
A0.01	GENERAL NOTES AND PROJECT INFORMATION
A0.02	EGRESS PLANS
A0.03A	GENERAL SITE AND ACCESSIBILITY DETAILS
A0.03B	STAIR & RESTROOM ACCESSIBILITY DETAILS
4-ARCHITECTURE	
A1.01	EXISTING BASEMENT PLAN
A1.02	EXISTING LEVEL 1 PLAN
A1.03	EXISTING MEZZANINE PLAN
A2.01	BASEMENT PLAN
A2.02	LEVEL 1 PLAN
A2.03	MEZZANINE PLAN
A3.01	ENLARGED FLOOR PLANS
A3.02	ENLARGED FLOOR PLANS
A5.01	ELEVATIONS
A5.02	AXONOMETRIC
A6.00	REFLECTED CEILING PLANS
A9.01	DETAILS
A9.02	DETAILS



- APPLICABLE CODES**
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COMPLETING THE CONSTRUCTION REQUIREMENTS OF THIS PROJECT IN ACCORDANCE WITH THE FOLLOWING FEDERAL, STATE AND LOCAL CODES, INCLUDING THEIR MOST RECENT AMENDMENTS AND REVISIONS.
- THE CITY OF "INSERT CITY HERE" ADOPTS THE FOLLOWING CODES, ORDINANCES, RULES AND REGULATIONS (INCLUDING ERRATA AND SUPPLEMENTS OF THE BELOW CODES):
- 2019 CALIFORNIA BUILDING CODE
  - 2019 CALIFORNIA MECHANICAL CODE
  - 2019 CALIFORNIA PLUMBING CODE
  - 2019 CALIFORNIA ELECTRICAL CODE
  - 2019 CALIFORNIA GREEN BUILDING CODE (CALGREEN)
  - 2019 CALIFORNIA FIRE CODE (WITH LOCAL AMENDMENTS)
  - 2019 STATE OF CALIFORNIA TITLE 24 ENERGY REGULATIONS



**Pizzeria Da Laura**  
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	12/13/22	PRICING SET

PROJECT NUMBER  
16010.00

SHEET TITLE  
**EGRESS PLANS**

SCALE  
As indicated

SHEET NUMBER

**A0.02**

**EGRESS LEGEND**

- PATH OF TRAVEL
- - - COMMON PATH OF TRAVEL
- ✳ POINT OF DECISION (END OF COMMON PATH OF TRAVEL)
- FEC FIRE EXTINGUISHER CABINET WITH MINIMUM 4A-40B-C FIRE EXTINGUISHER
- FE FIRE EXTINGUISHER (MINIMUM 4A-40B-C) FIRE INSPECTOR TO VERIFY LOCATION AT TIME OF ROUGH INSPECTION
- M101 34' CLR  
FACTOR 0.2  
CAPACITY 150 Occ  
OCC LOAD 150 Occ
- M102 34' CLR  
FACTOR 0.2  
CAPACITY 150 Occ  
OCC LOAD 150 Occ
- M103 34' CLR  
FACTOR 0.2  
CAPACITY 150 Occ  
OCC LOAD 150 Occ
- MEANS OF EGRESS CAPACITY FACTOR (CBC 1014.1)
- MEANS OF EGRESS CAPACITY FACTOR (CBC 1005.3.2)
- CAPACITY OF DOOR (CBC 1005.3.2)
- PROPOSED OCCUPANT LOAD
- STAIR #1 55' CLR  
FACTOR 0.2  
CAPACITY 300 Occ  
OCC LOAD 300 Occ
- STAIR #2 55' CLR  
FACTOR 0.2  
CAPACITY 300 Occ  
OCC LOAD 300 Occ
- CLEAR WIDTH OF STAIR (CBC 1014.8)
- MEANS OF EGRESS CAPACITY FACTOR (CBC 1005.3.1)
- CAPACITY OF STAIR (CBC 1005.3.1)
- PROPOSED OCCUPANT LOAD
- WOMEN'S B101  
RESTROOM A-3 Occ  
150 SF @ 15 SF / Occ  
150 OCCUPANTS
- ROOM NAME & NUMBER
- OCCUPANCY CLASSIFICATION (CBC 302)
- GFA & FLOOR AREA ALLOWANCE PER OCCUPANT (CBC 1004)
- DESIGN OCCUPANT LOAD

**EGRESS SUMMARY**

**CBC TABLE 1006.3.1 NUMBER OF EXITS PER STORY**

TWO EXITS OR EXIT ACCESS DOORWAYS SHALL BE PROVIDED FROM ANY STORY WITH AN OCCUPANT LOAD GREATER THAN 1 AND LESS THAN 500. THREE EXITS OR EXIT ACCESS DOORWAYS SHALL BE PROVIDED FROM ANY SPACE WITH AN OCCUPANT LOAD GREATER THAN 500 AND LESS THAN 1,000.

**CBC TABLE 1006.2.1 COMMON PATH OF EGRESS TRAVEL**

MAX ALLOWABLE (SPRINKLERED):  
75' FOR GROUP "A-3" AND "M" OCCUPANCIES  
100' FOR GROUP "B" OCCUPANCY  
125' FOR GROUP "R-2" OCCUPANCY  
100' FOR GROUP "S-2" OCCUPANCY

**CBC TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE**

MAX ALLOWABLE (SPRINKLERED):  
250' FOR GROUP "A-3" AND "M" OCCUPANCIES  
300' FOR GROUP "B" OCCUPANCY  
250' FOR GROUP "R-2" OCCUPANCY  
400' FOR GROUP "S-2" OCCUPANCY

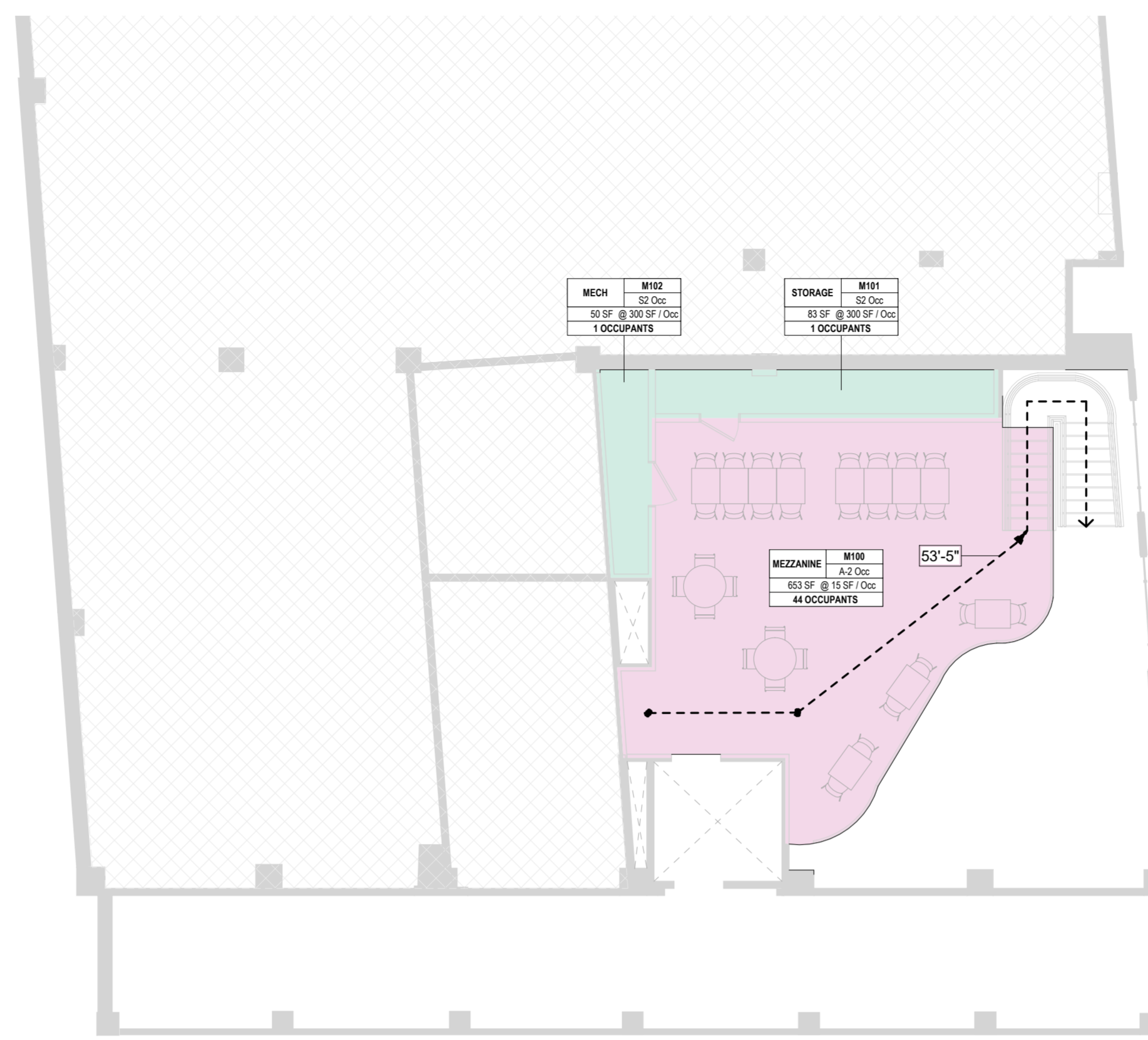
**CBC 1005 MEANS OF EGRESS SIZING**

IN BUILDINGS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM AND AN EMERGENCY VOICE/ALARM COMMUNICATIONS SYSTEM:  
STAIRWAYS: 2" PER OCCUPANT SERVED  
OTHER EGRESS COMPONENTS: .15" PER OCCUPANT SERVED

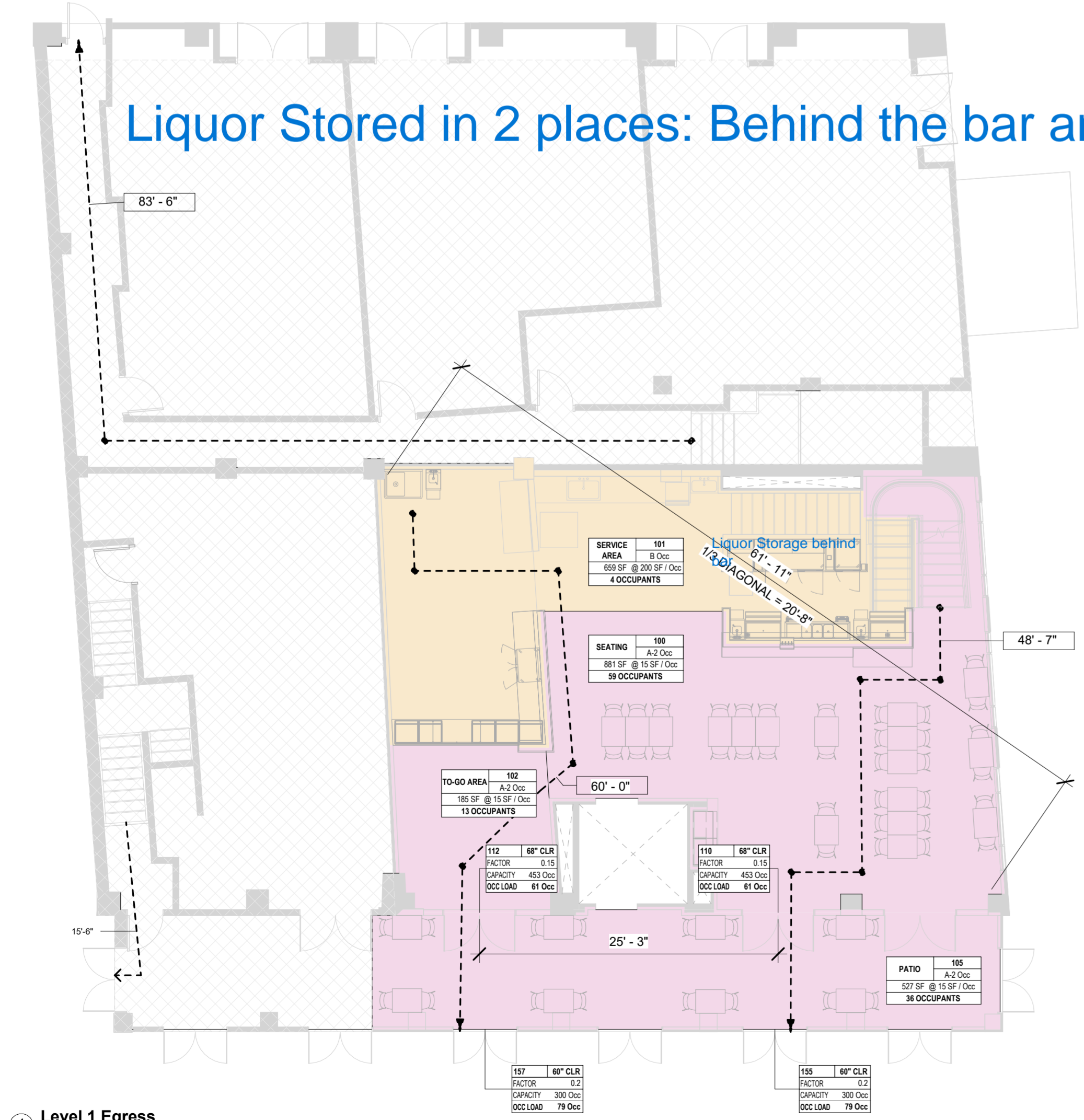
**CBC TABLE 1004.6**

MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

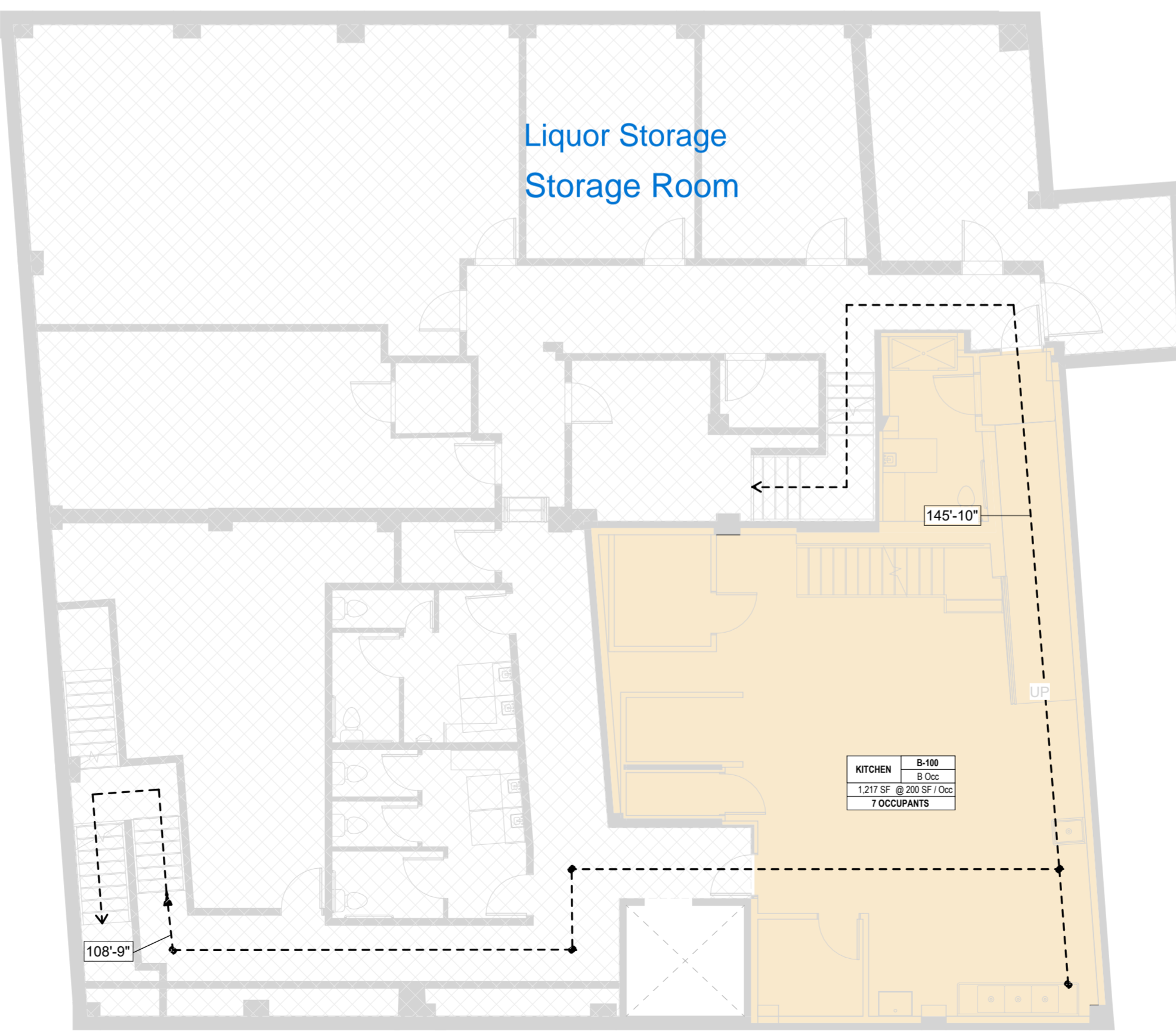
Egress Schedule			
Occupancy	Area	Load Factor	Occupant Load
<b>MEZZ</b>			
A-2	653 SF	15	44
S2	133 SF	300	2
	786 SF		46
<b>LEVEL 1</b>			
A-2	1,593 SF	15	108
B	659 SF	200	4
	2,252 SF		112
<b>BASEMENT</b>			
	185 SF		0
A2	113 SF	200	1
B	1,217 SF	200	7
	1,515 SF		8



③ Mezzanine Egress  
1/8" = 1'-0"



① Level 1 Egress  
1/8" = 1'-0"



② Basement Egress  
1/8" = 1'-0"

Liquor Stored in 2 places: Behind the bar and in the basement storage

Liquor Storage Storage Room

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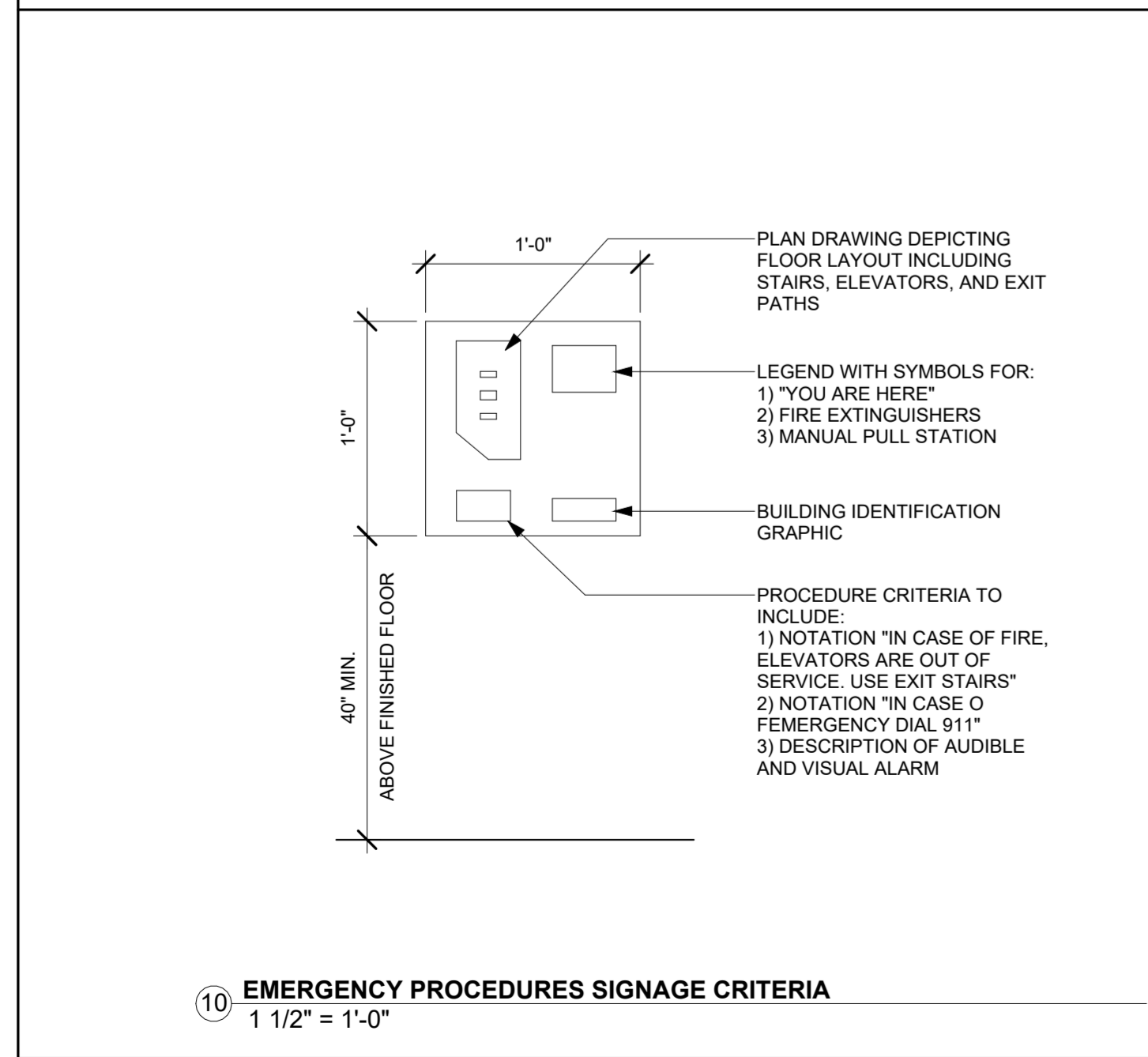
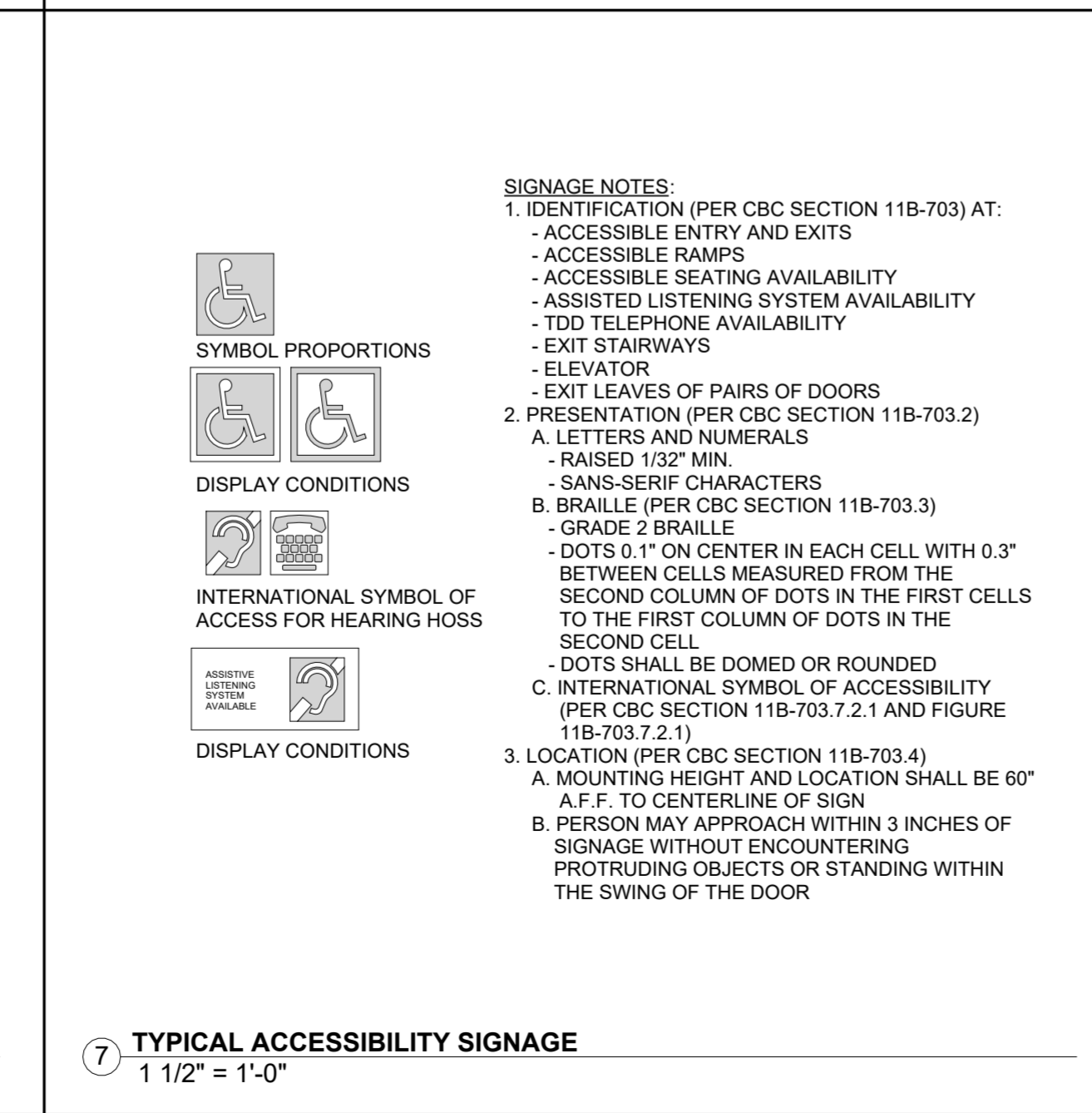
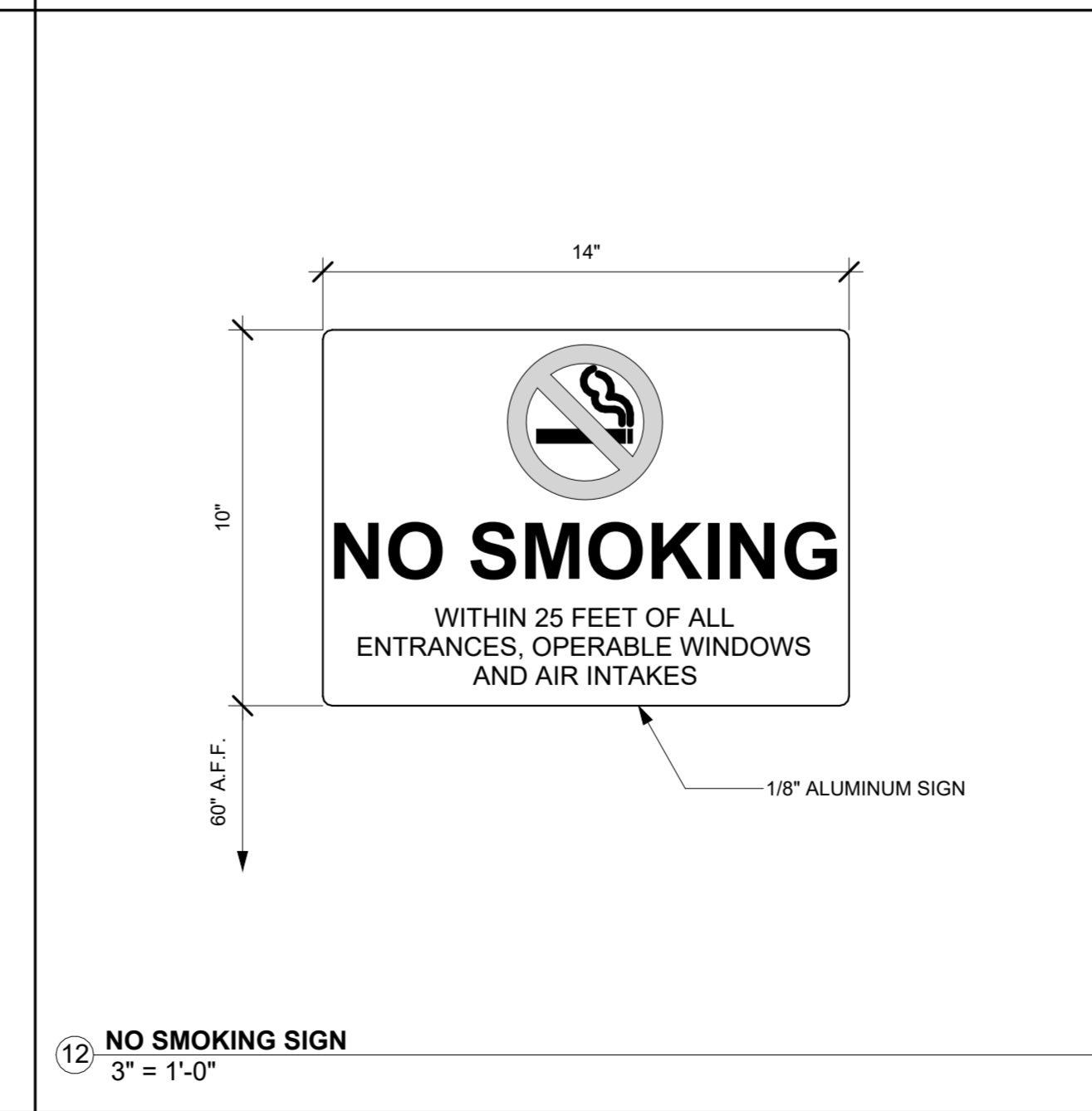
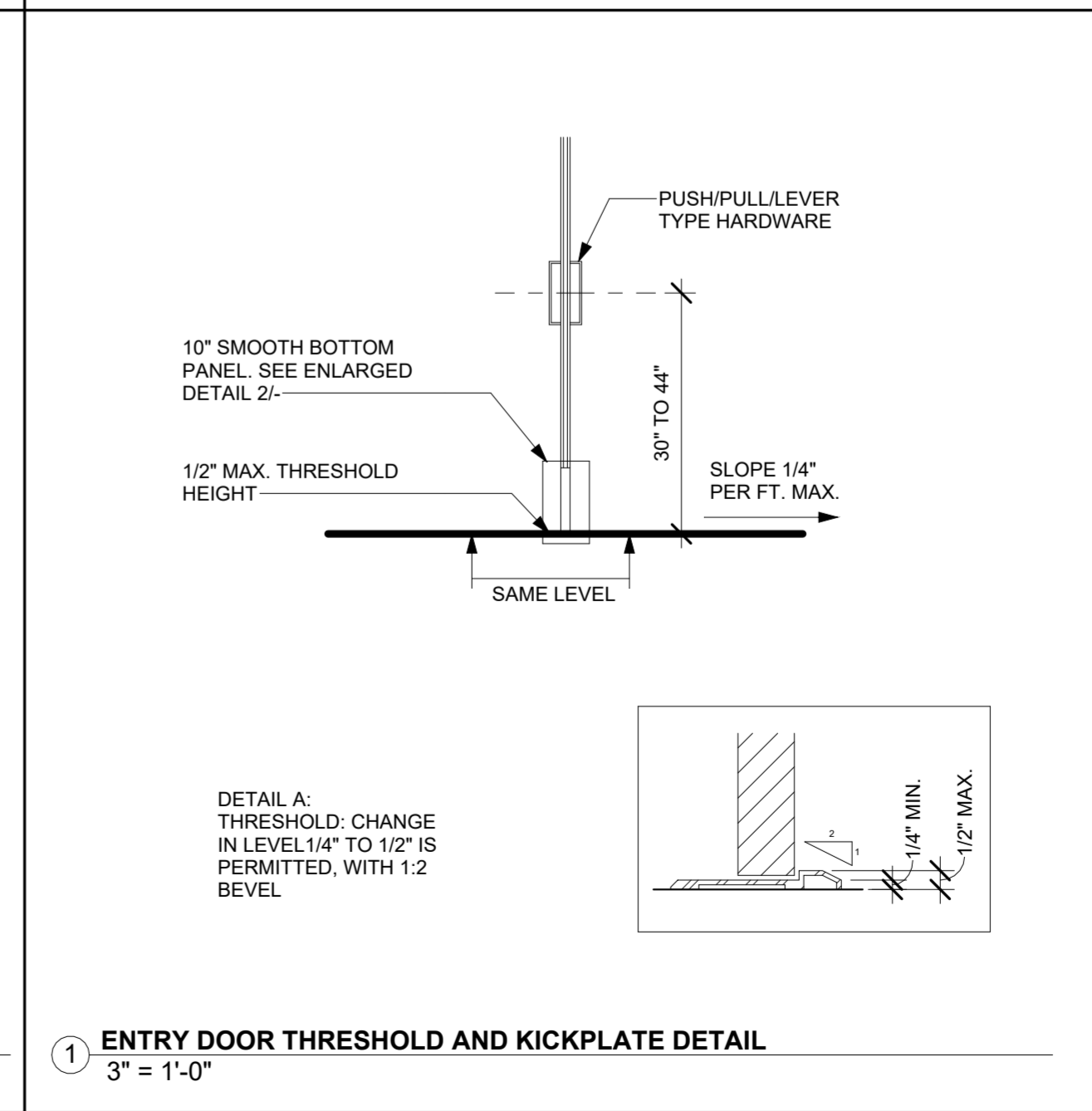
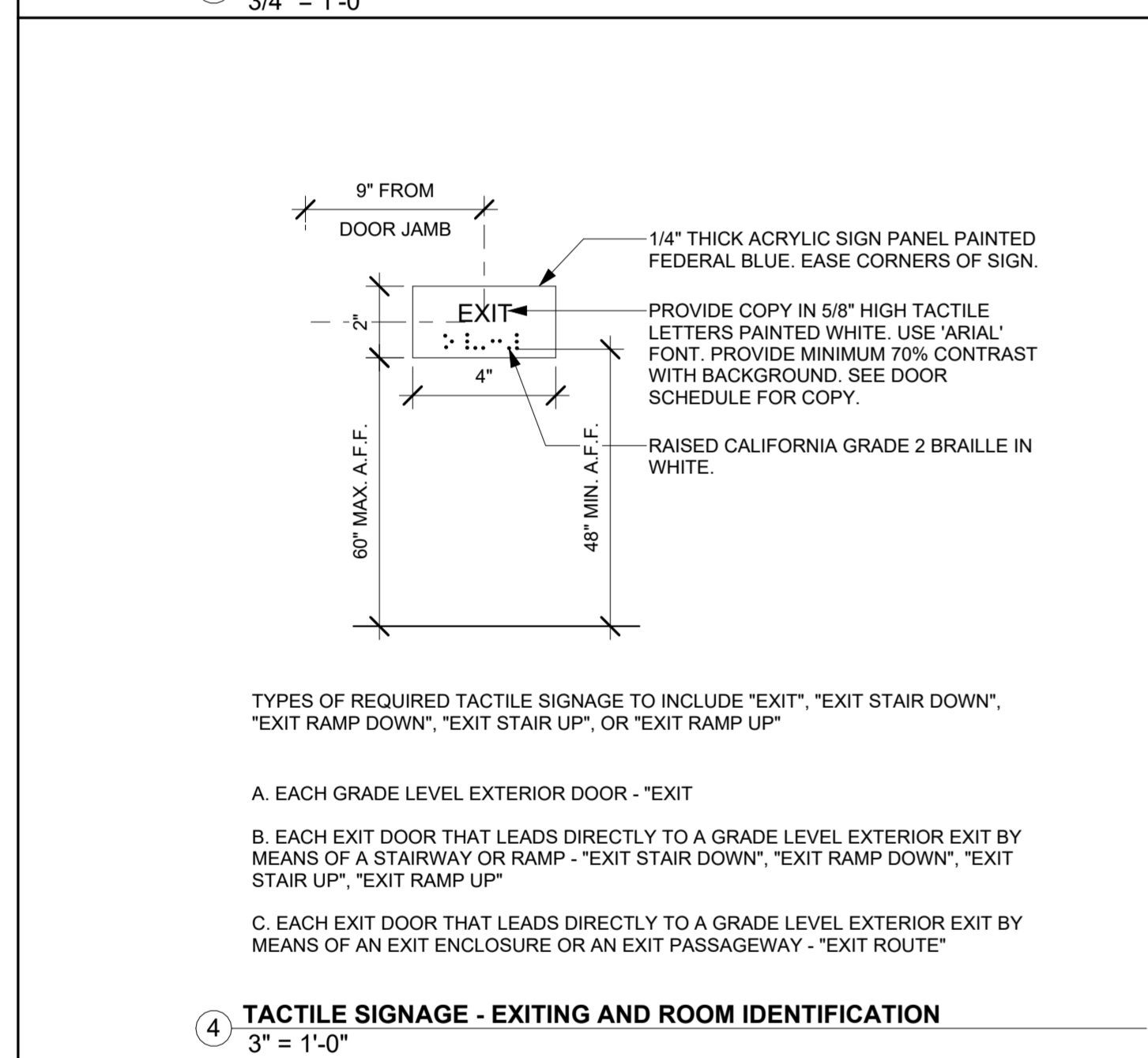
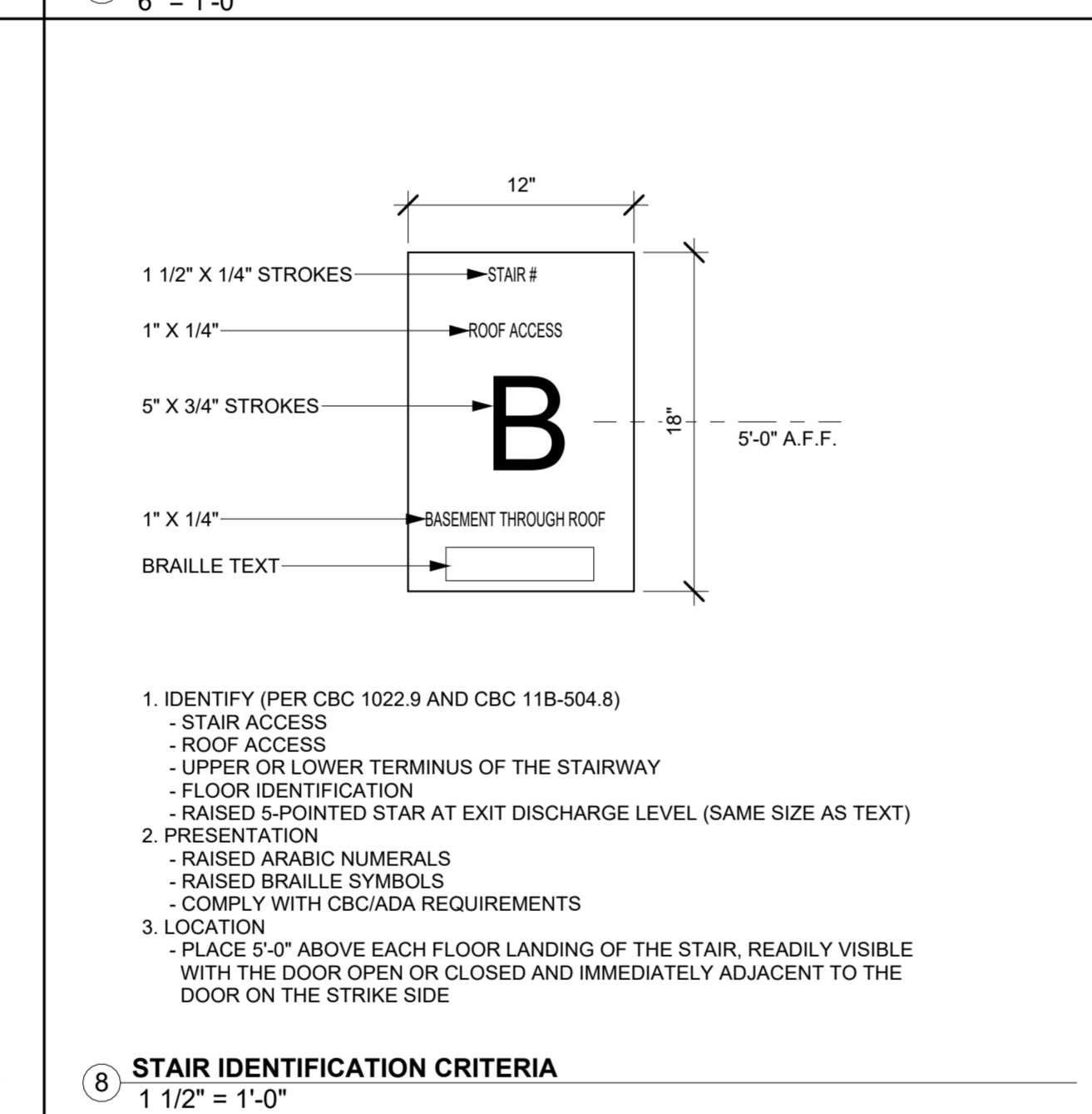
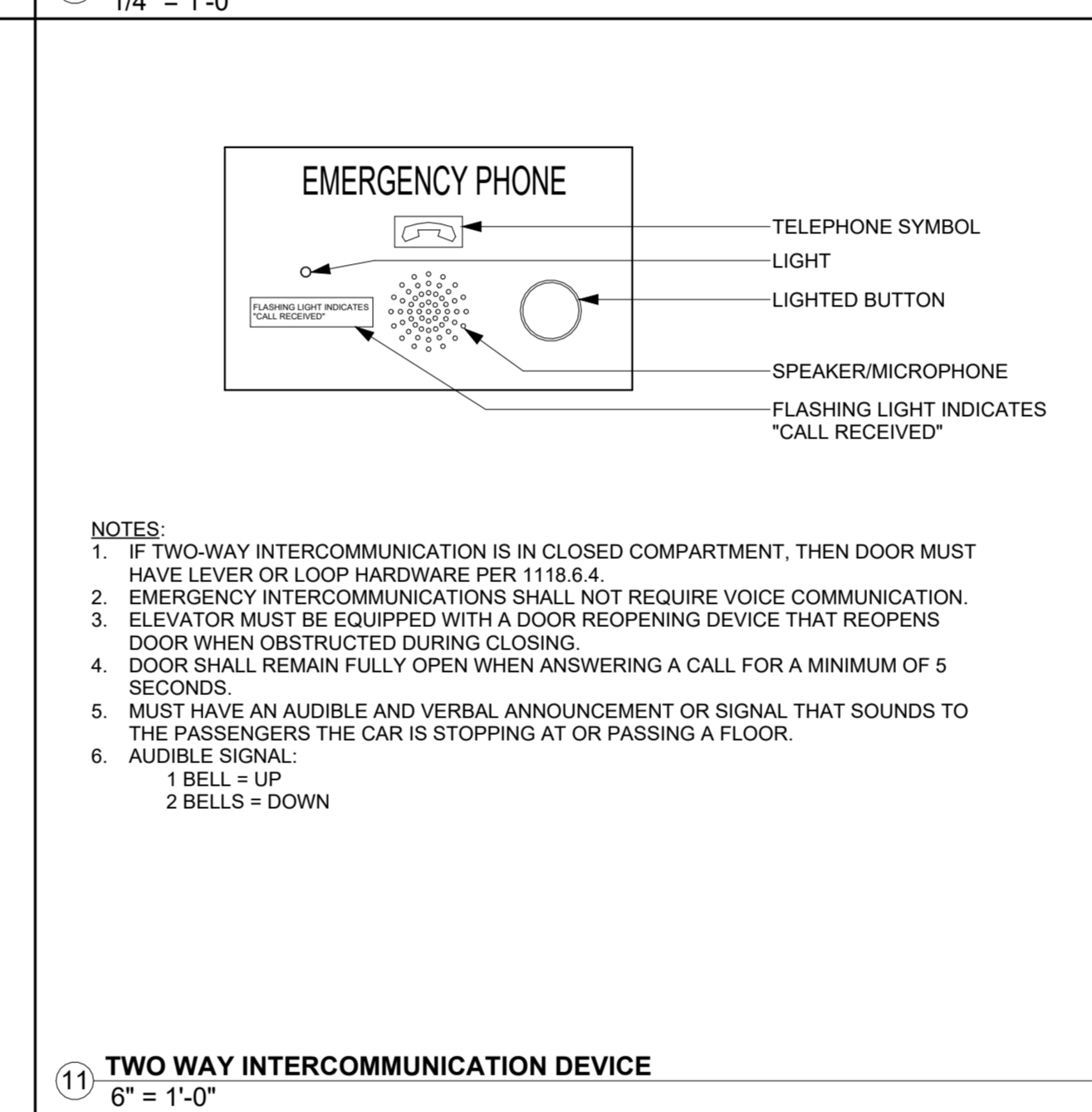
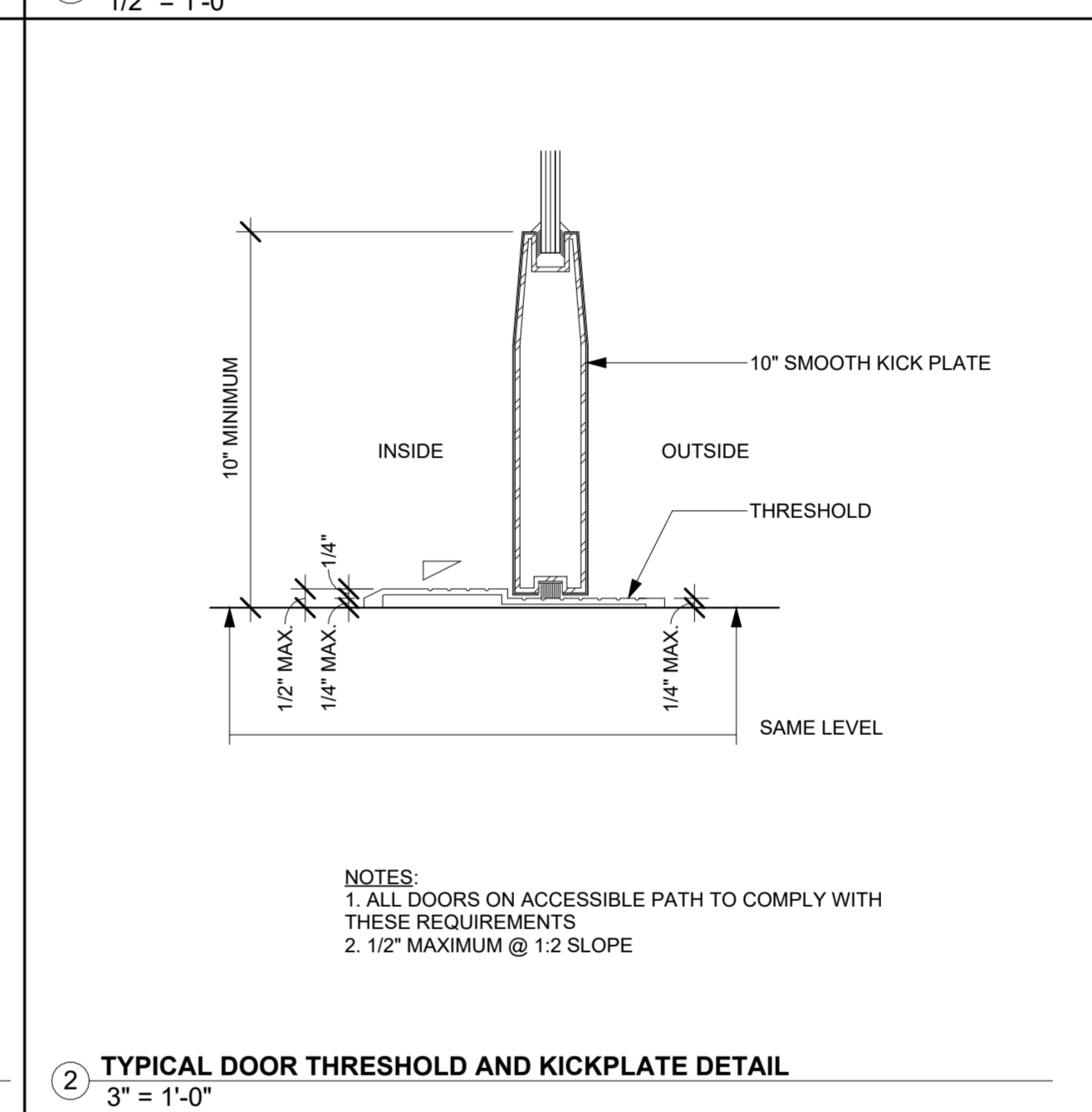
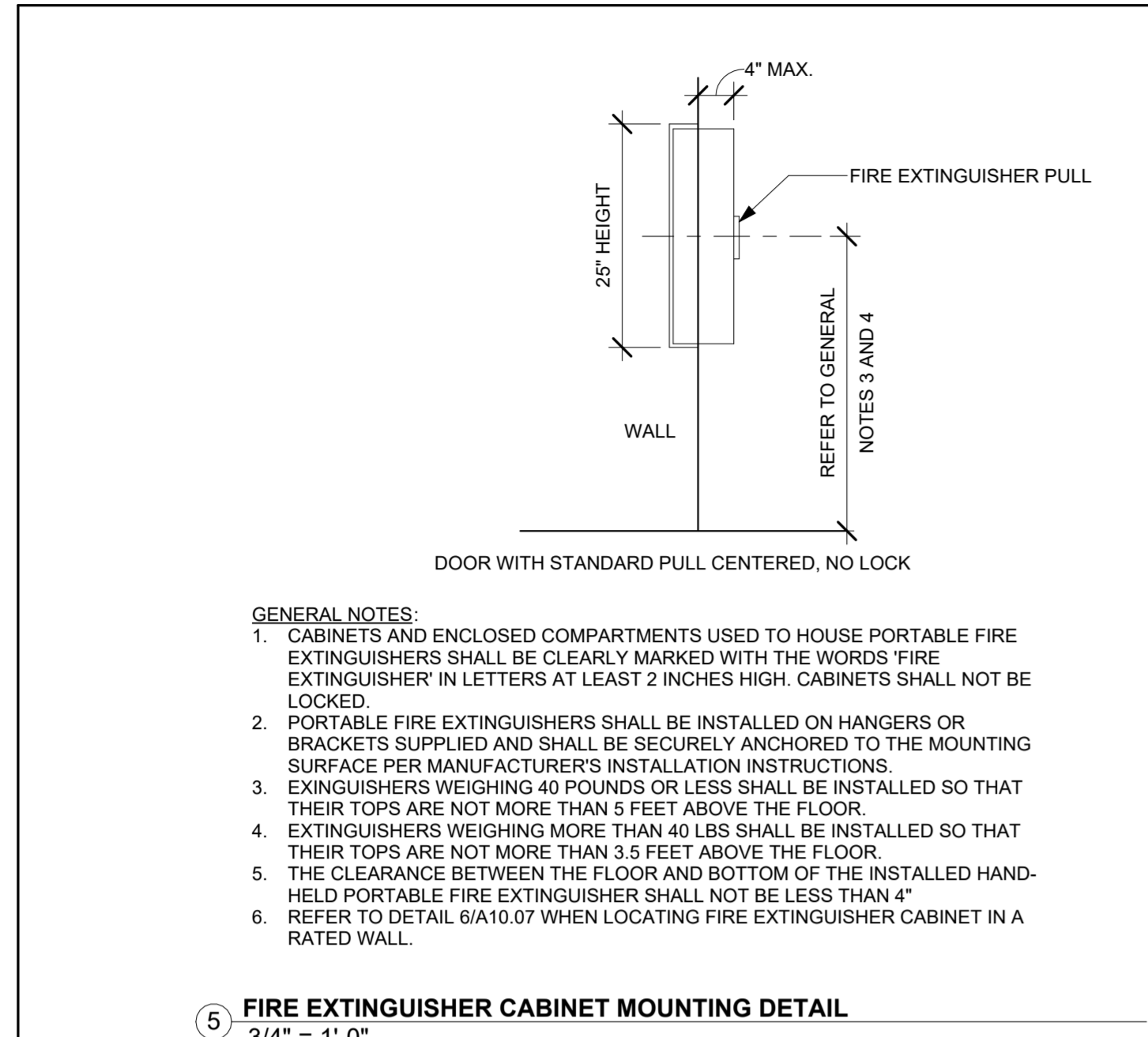
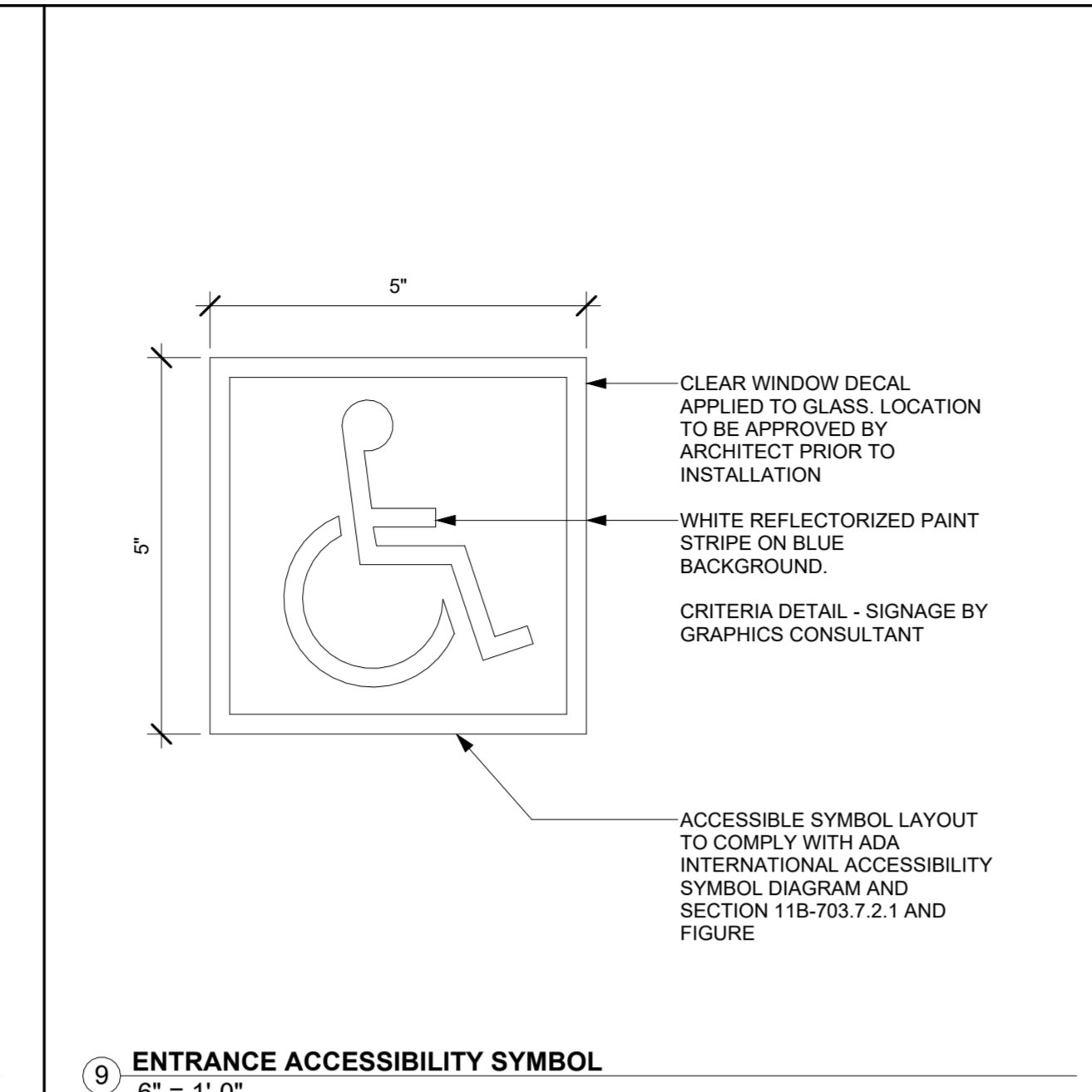
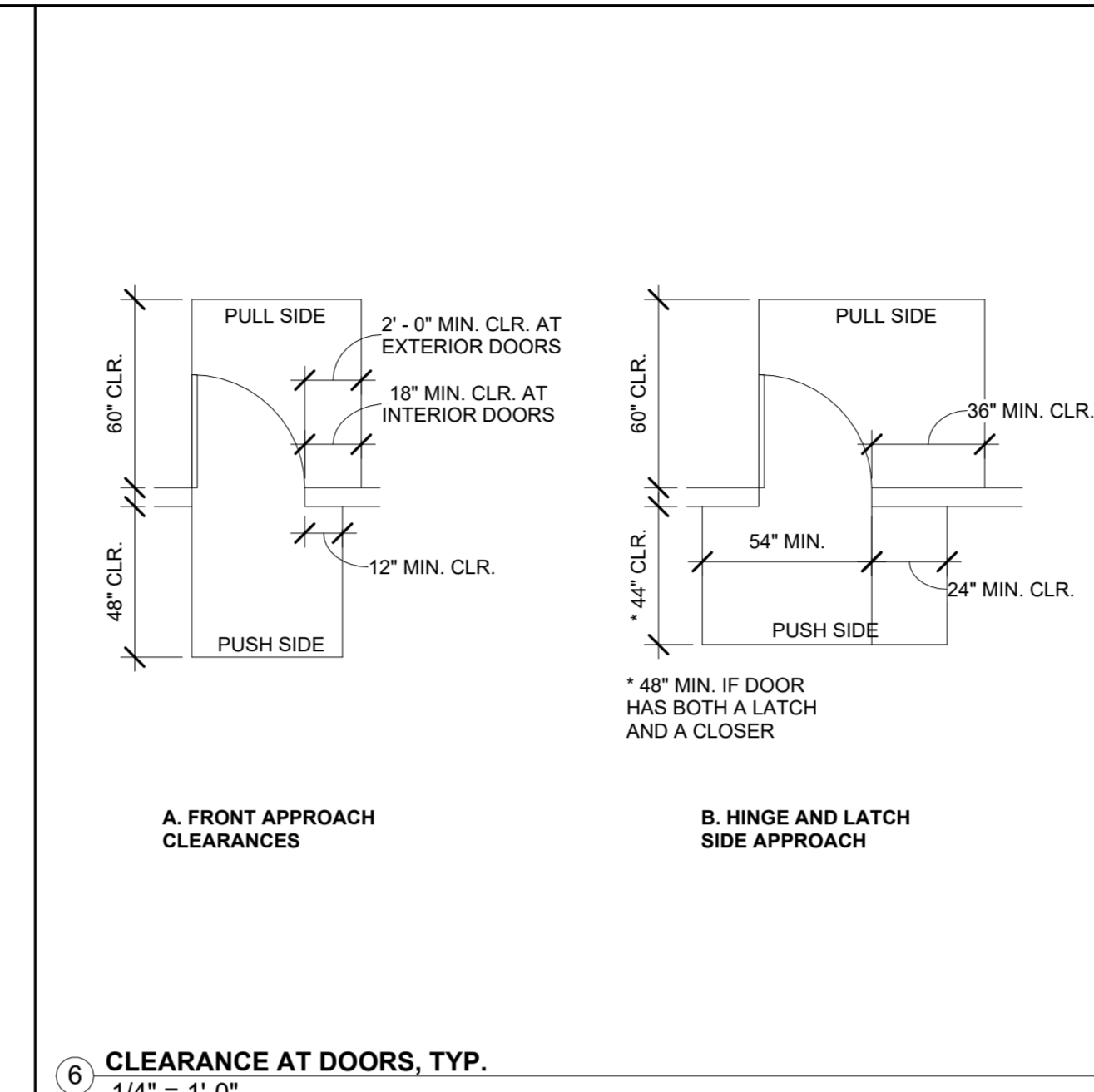
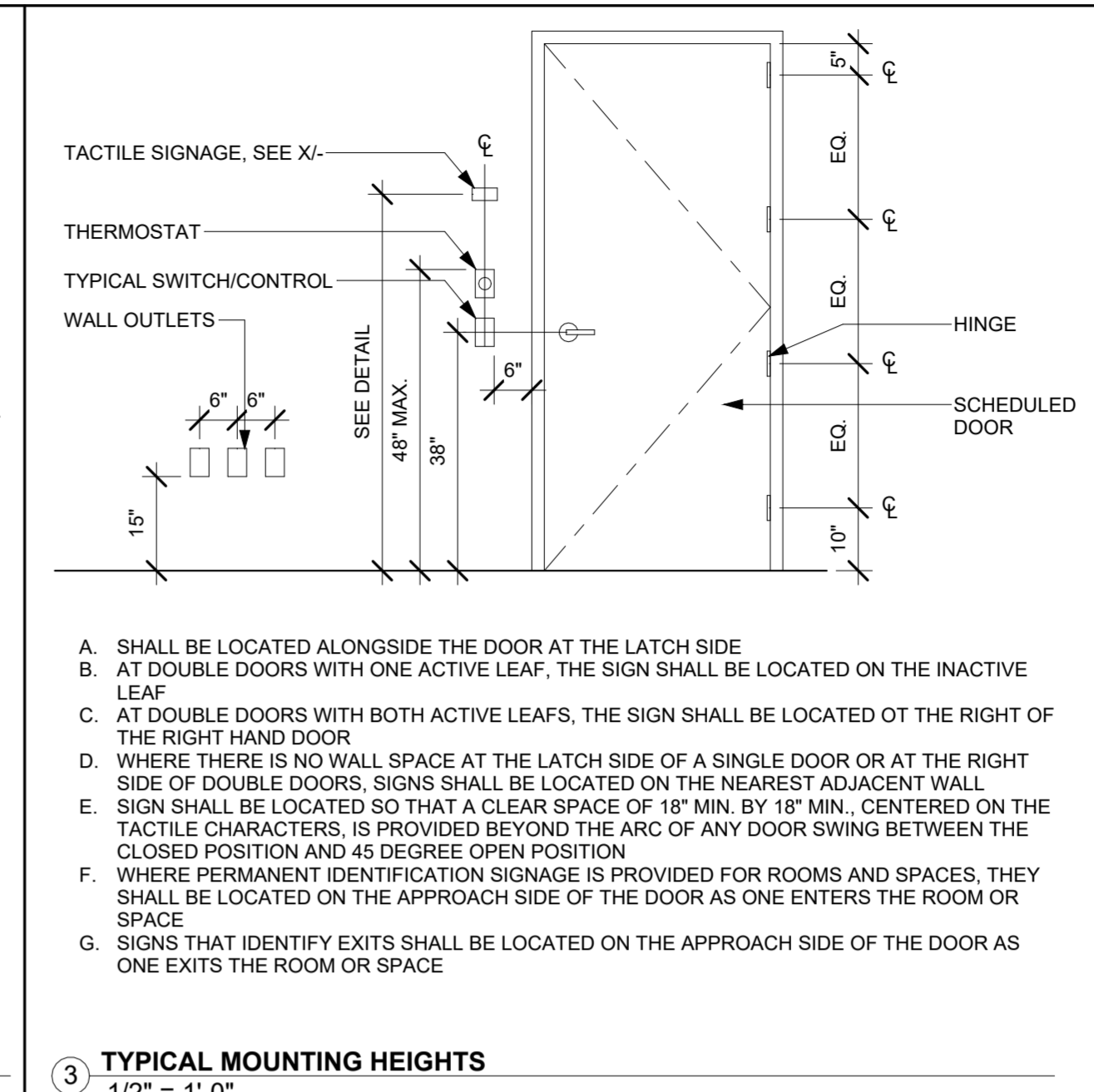
PROJECT NUMBER  
16010.00

SHEET TITLE  
**GENERAL SITE AND ACCESSIBILITY DETAILS**

SCALE  
As indicated

SHEET NUMBER

**A0.03A**



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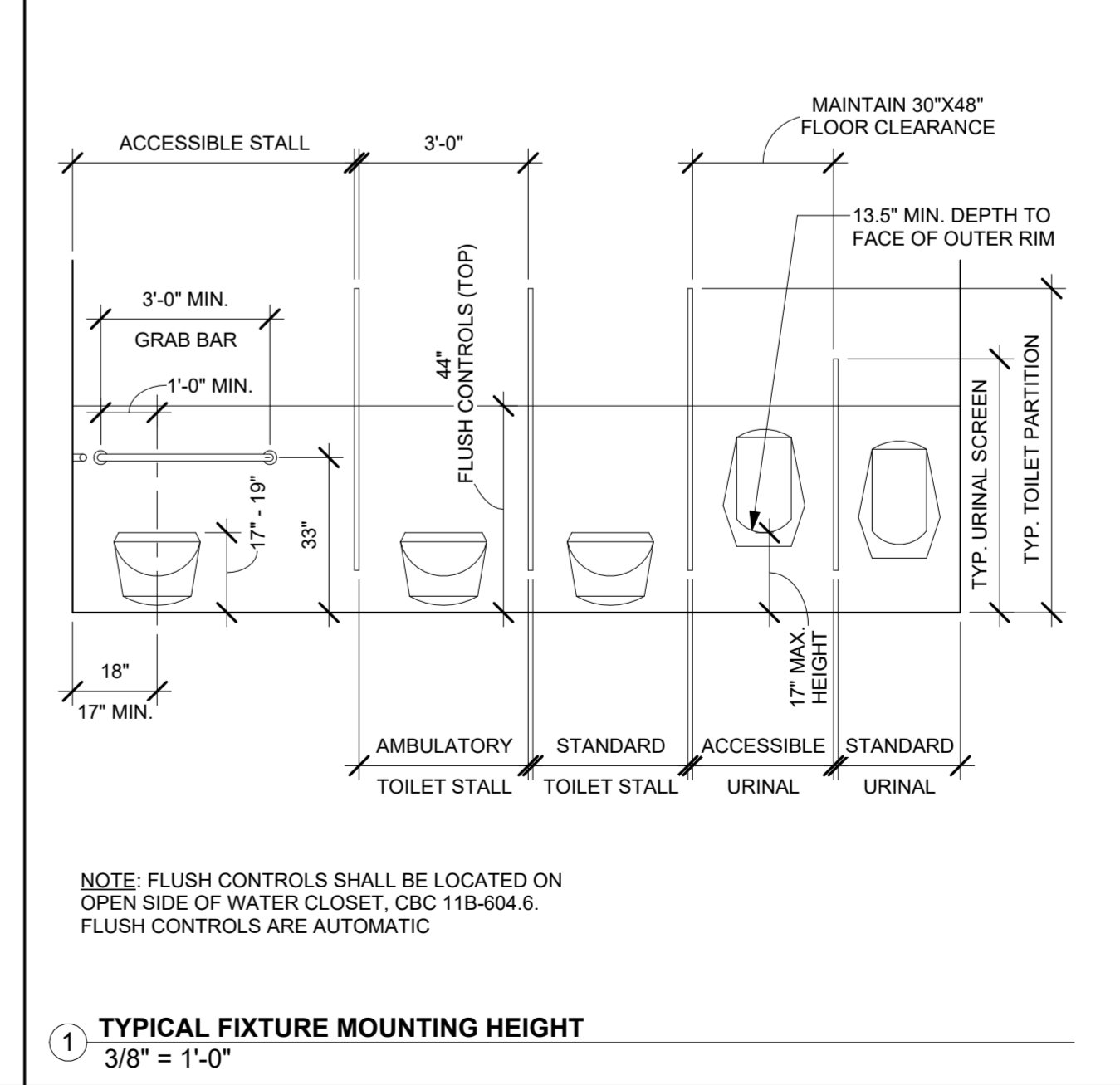
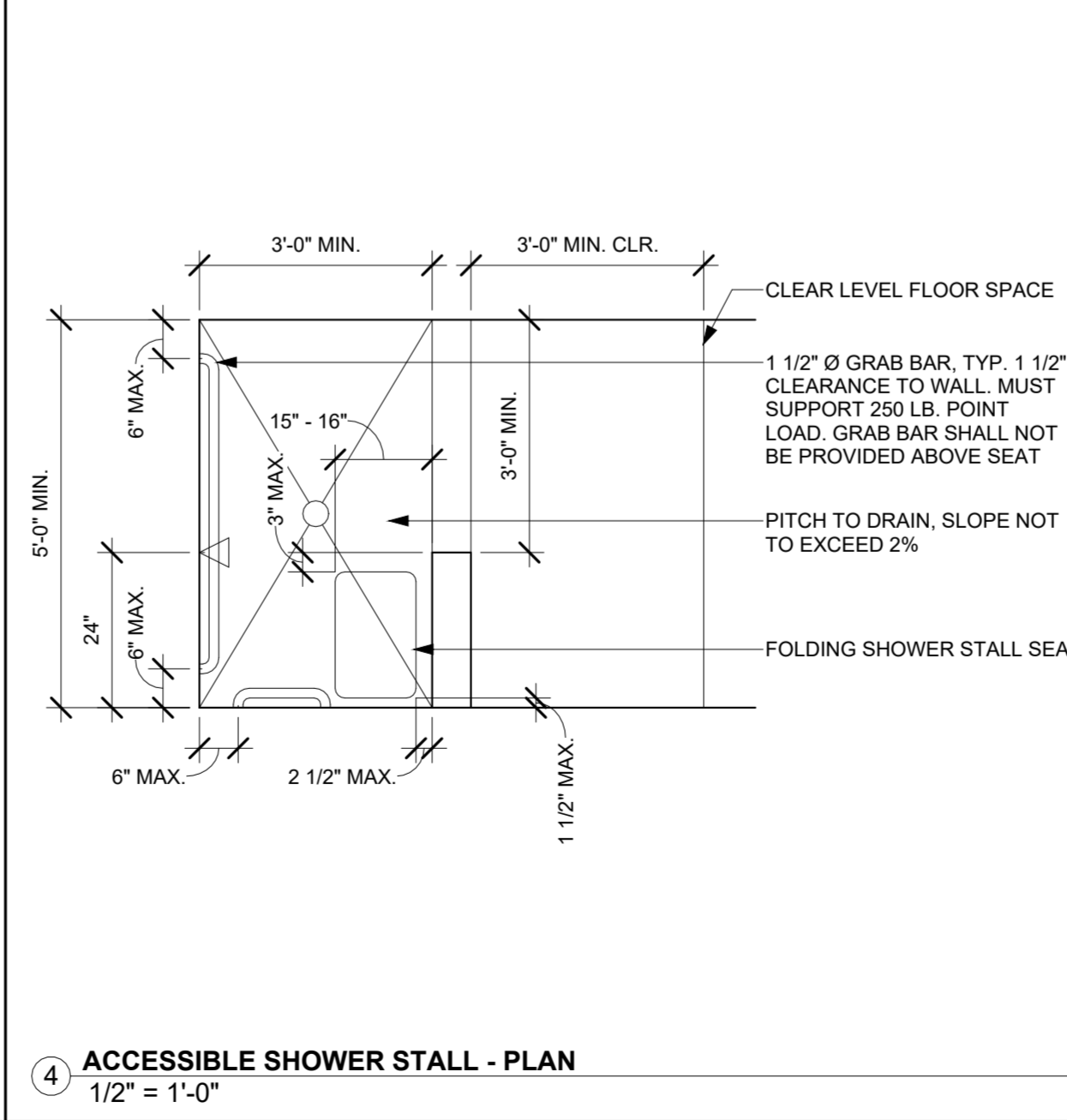
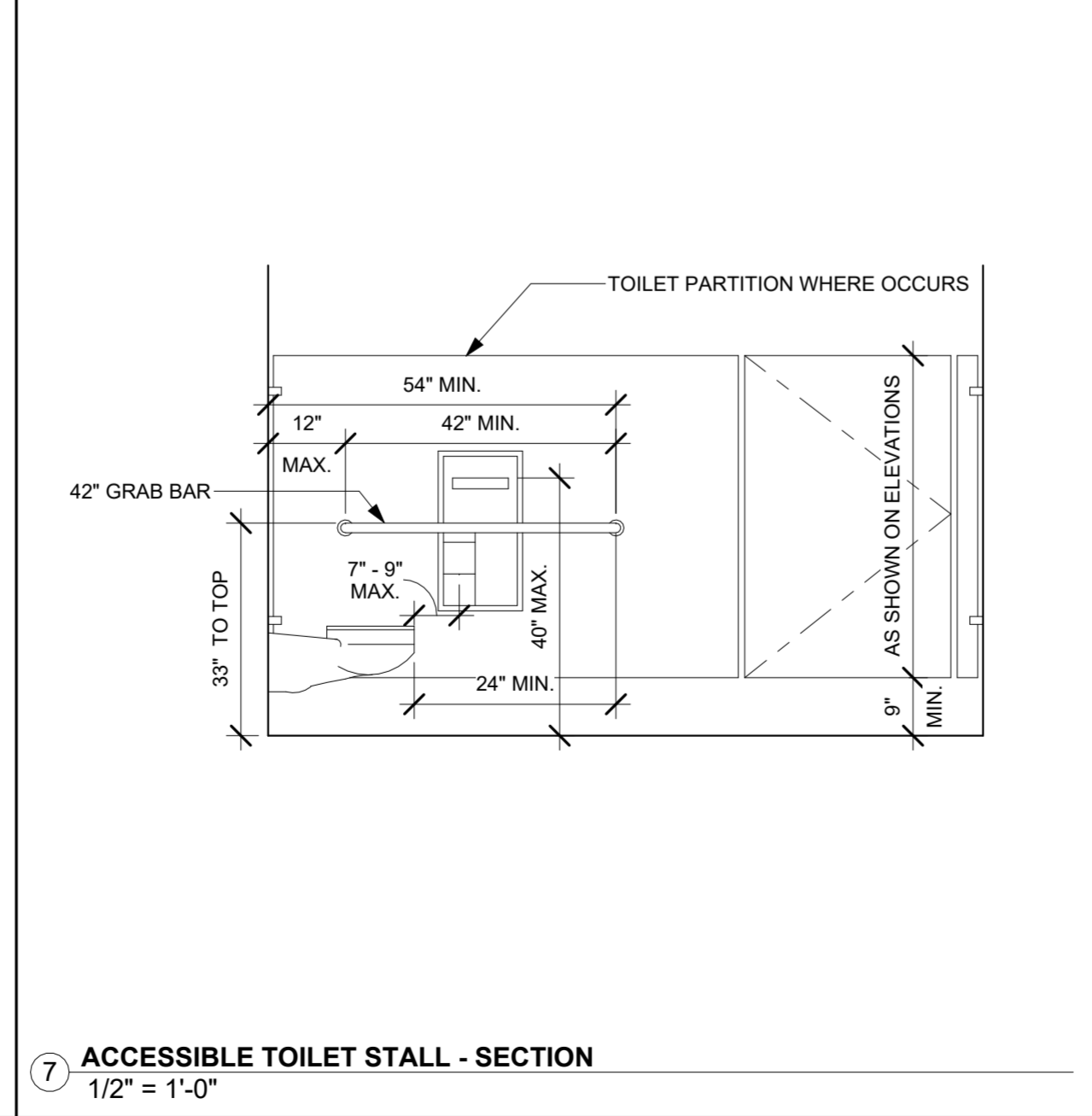
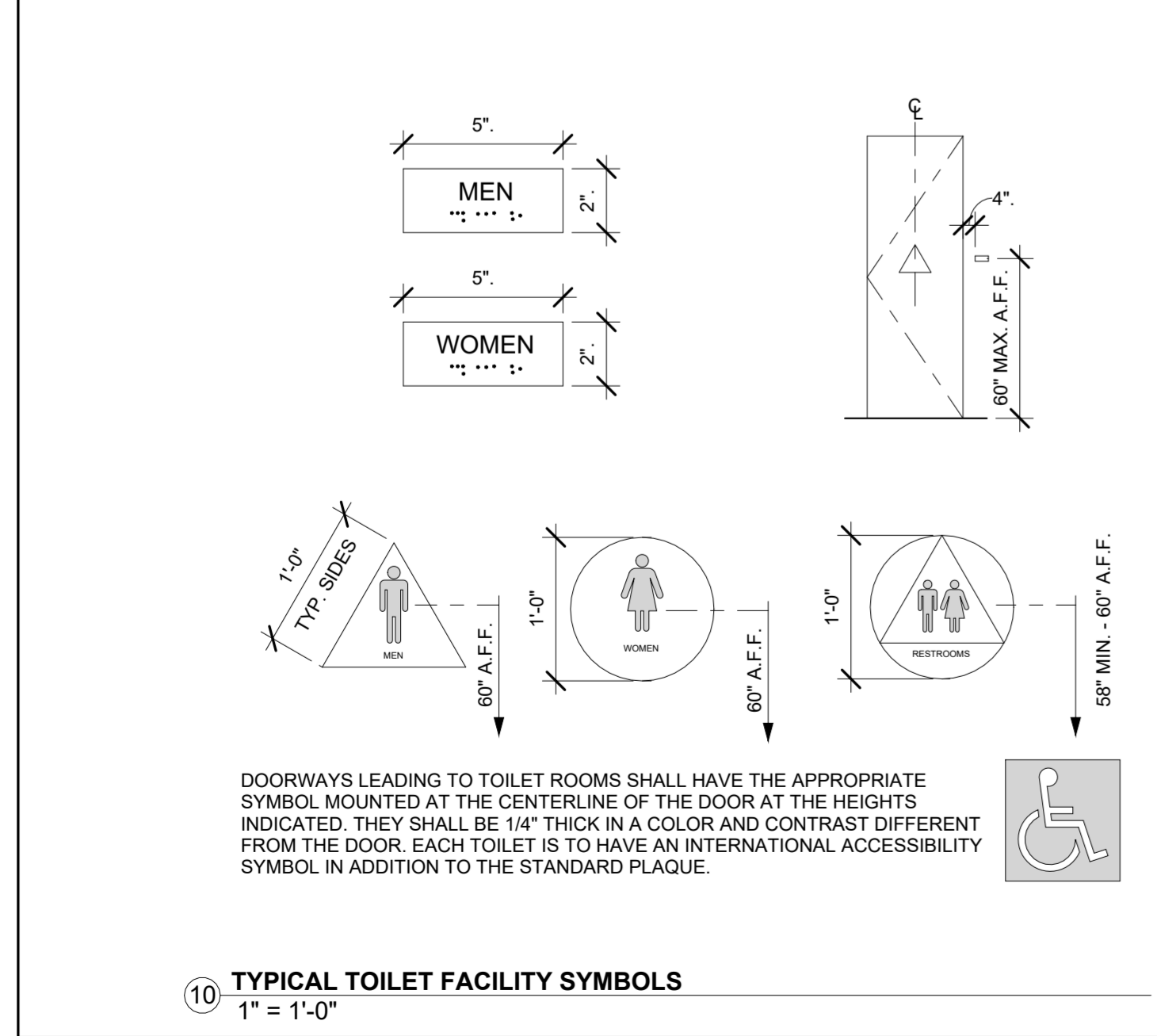
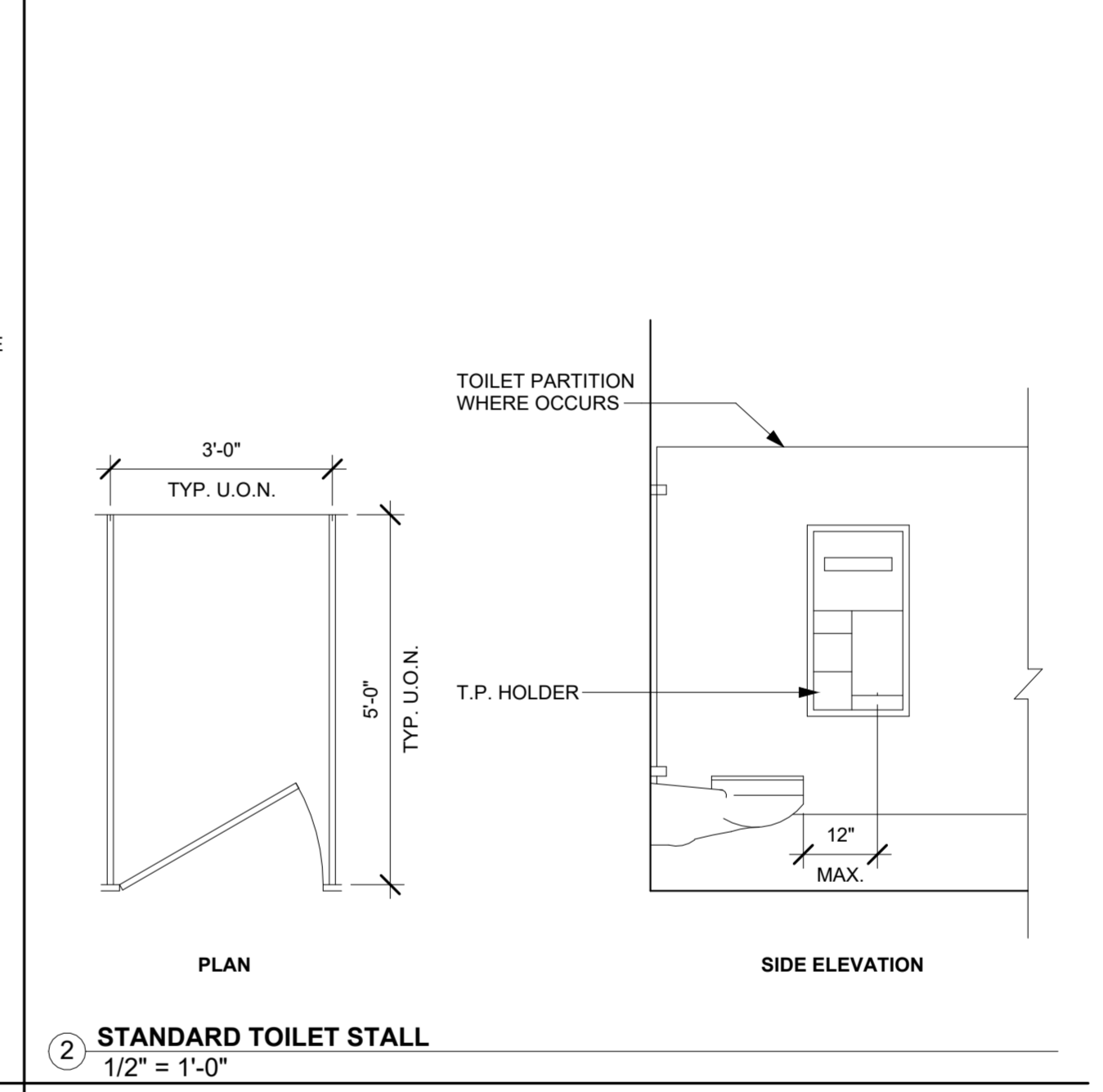
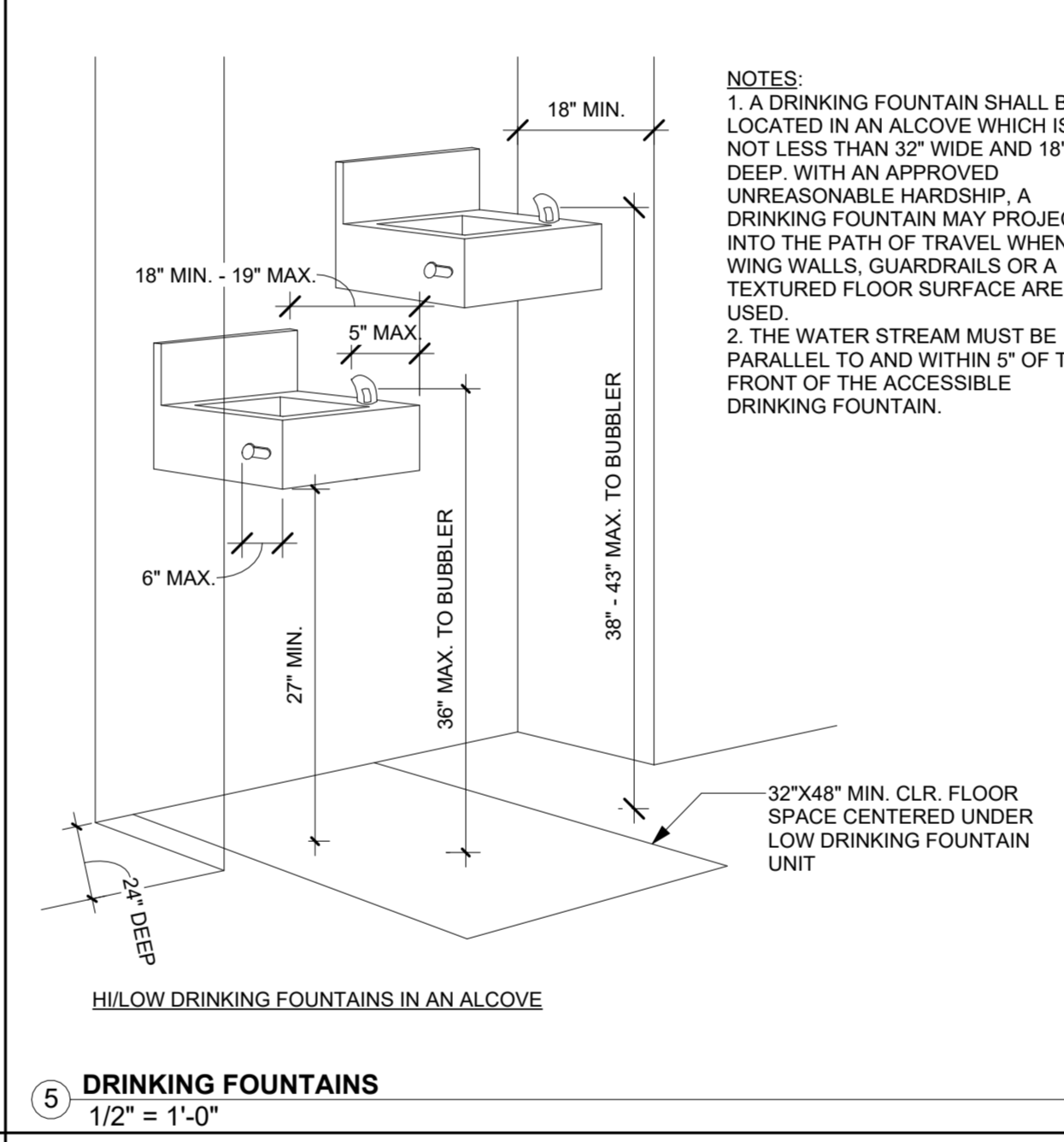
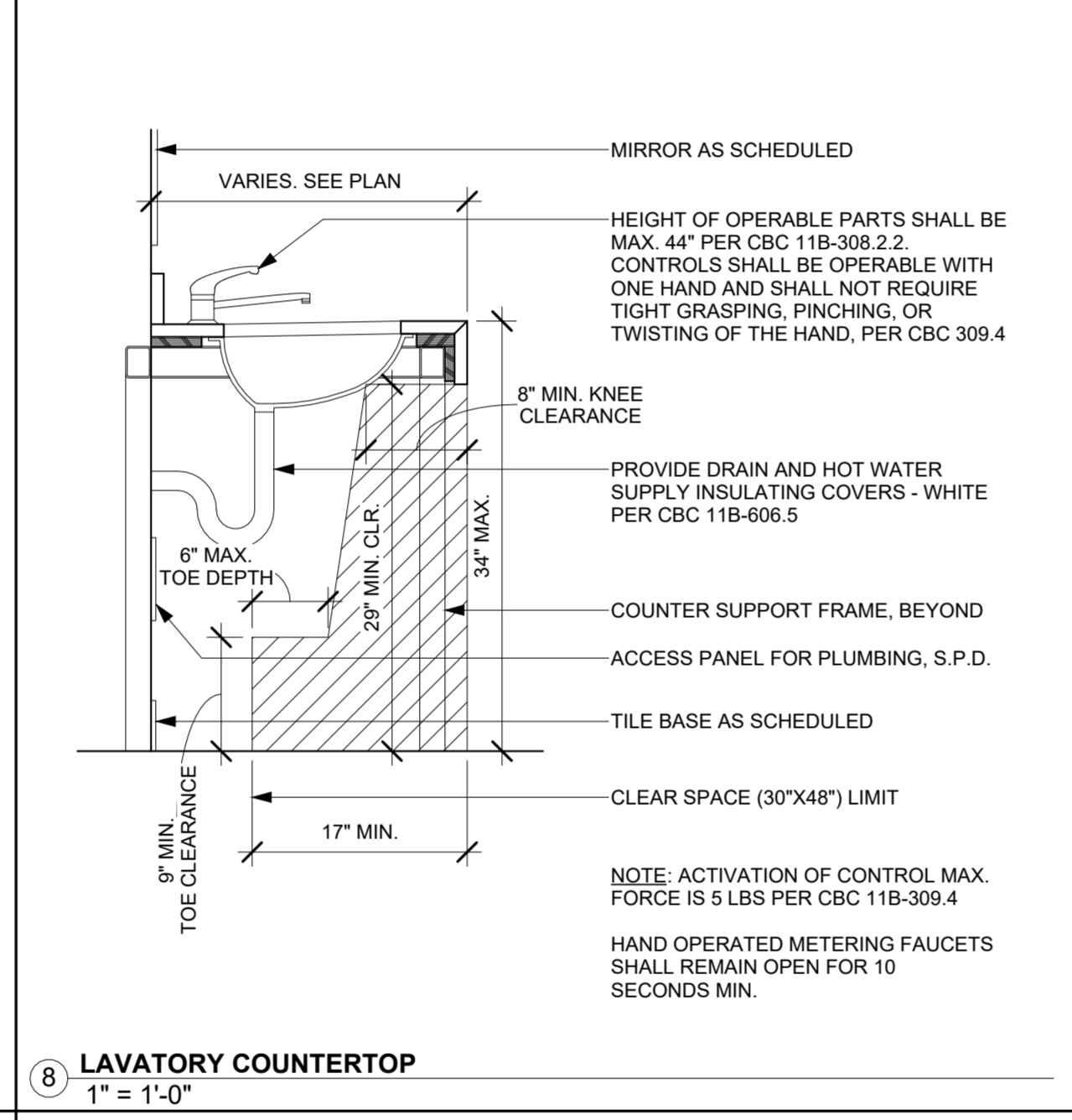
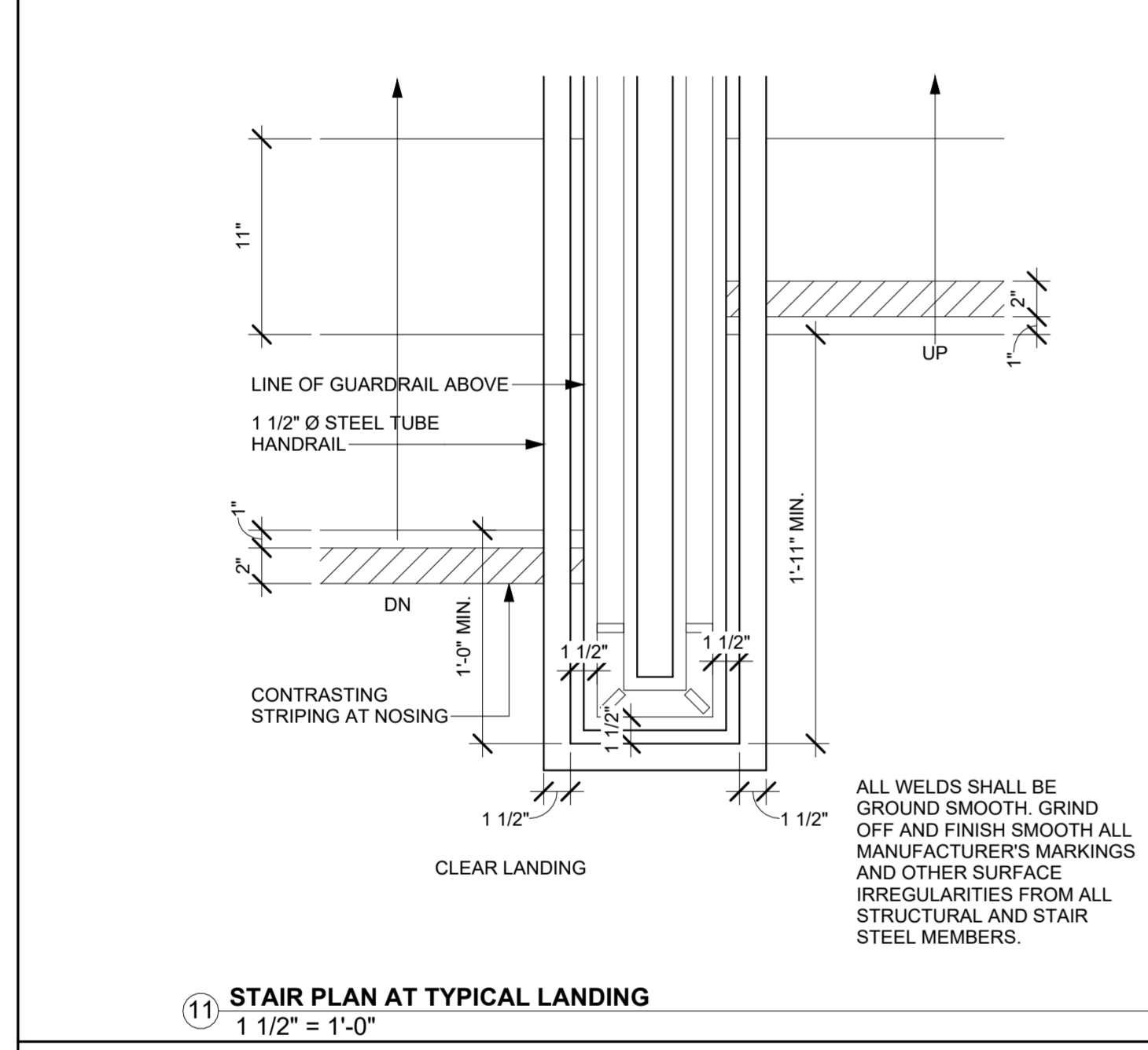
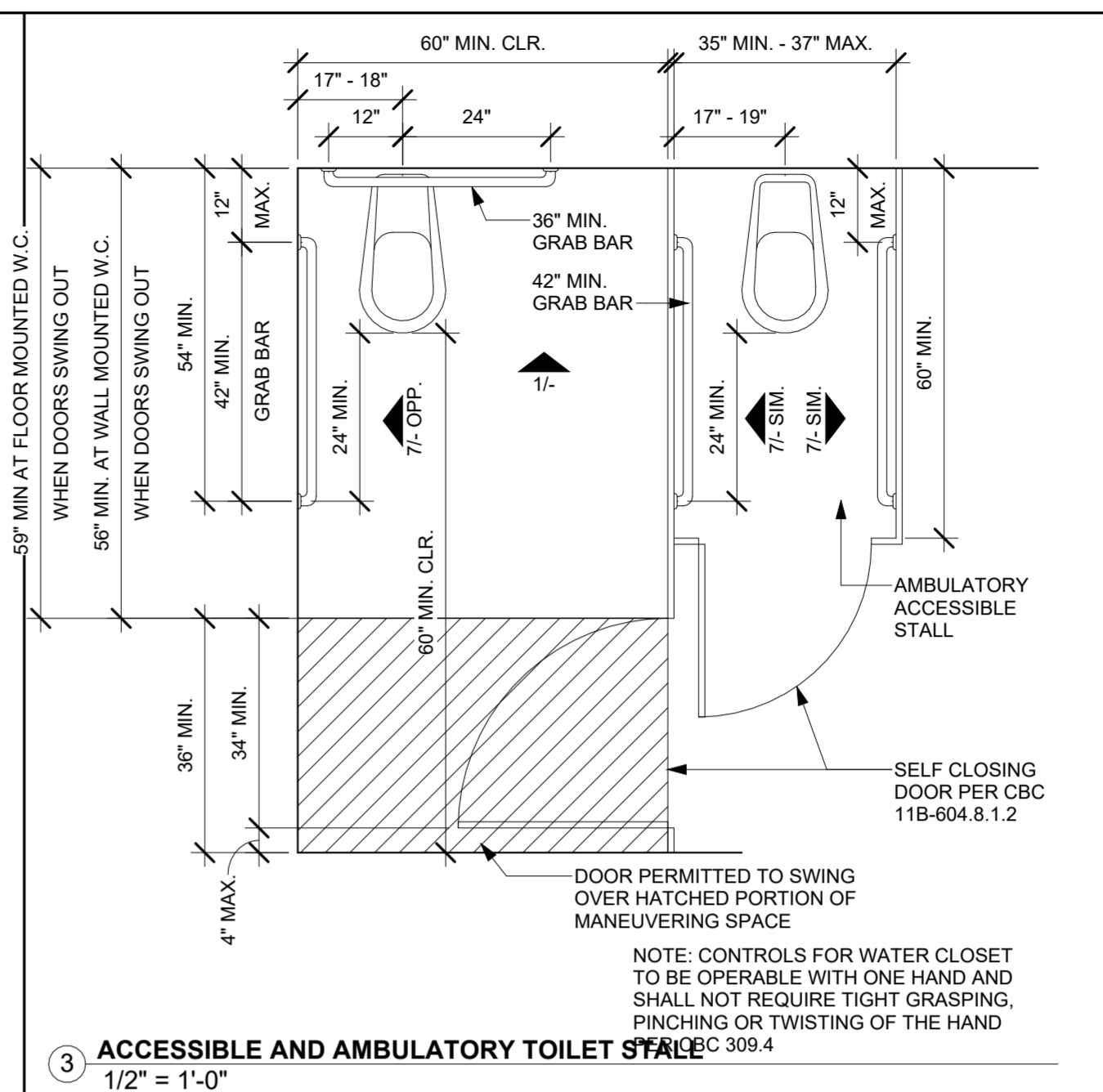
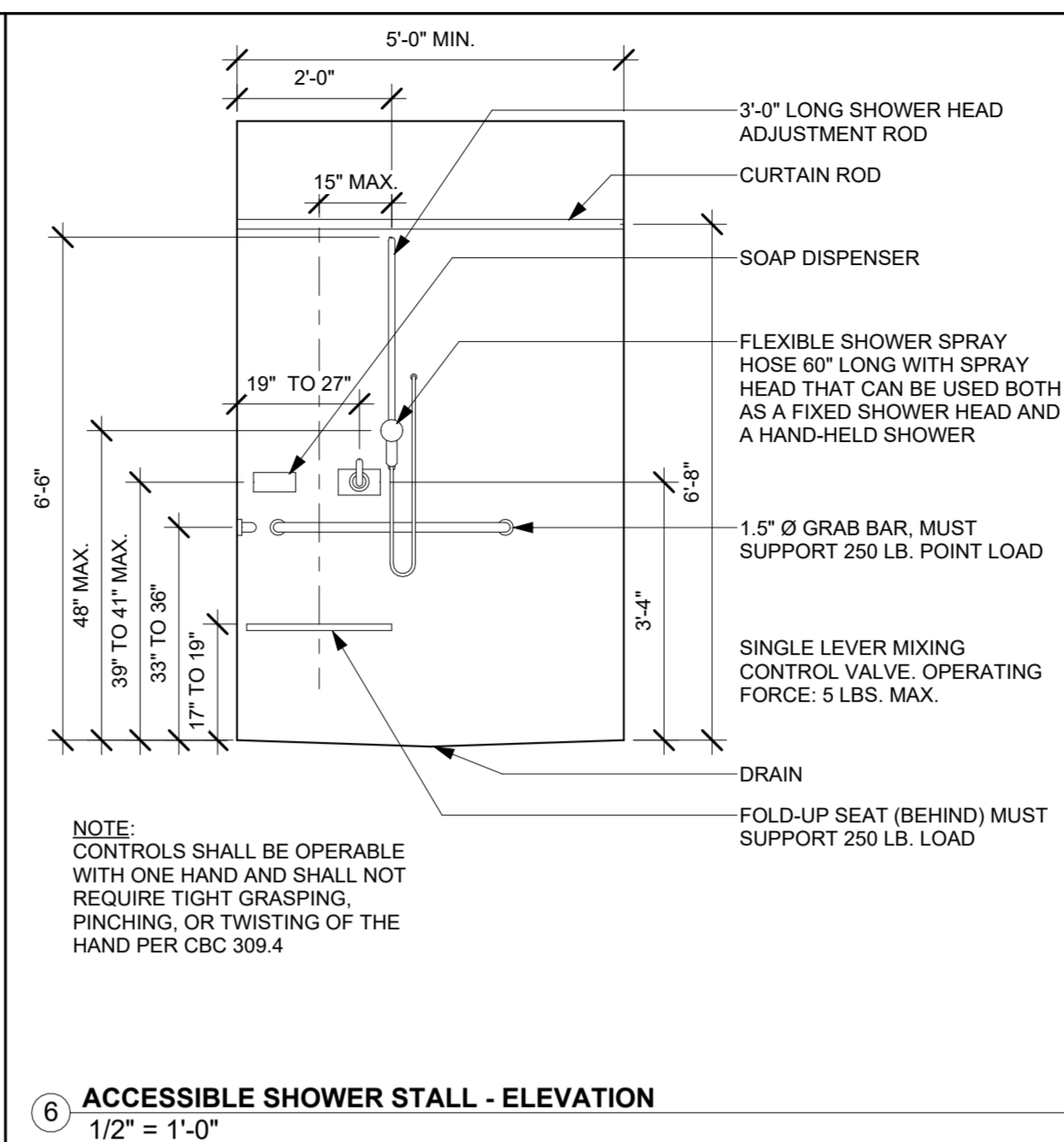
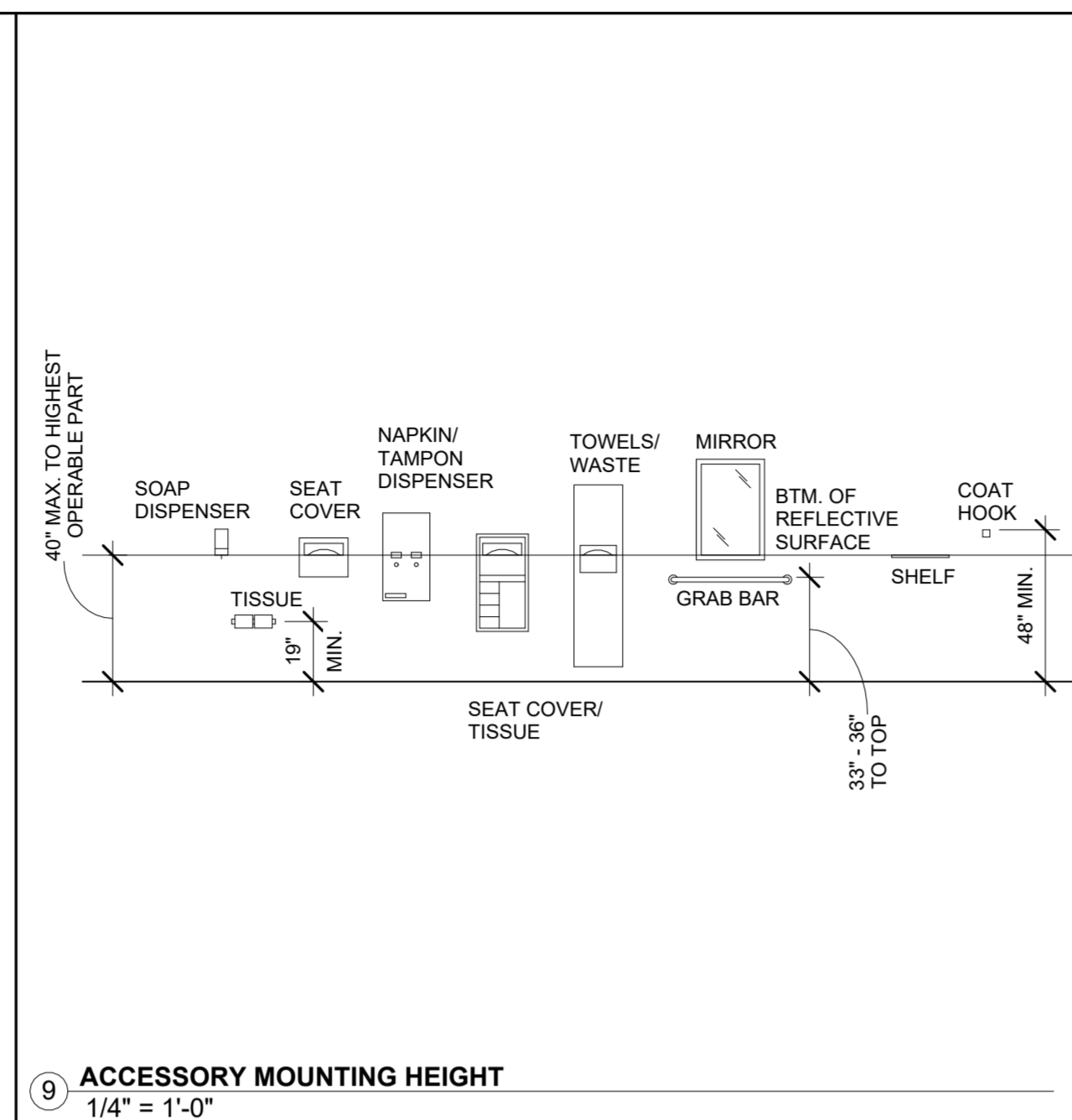
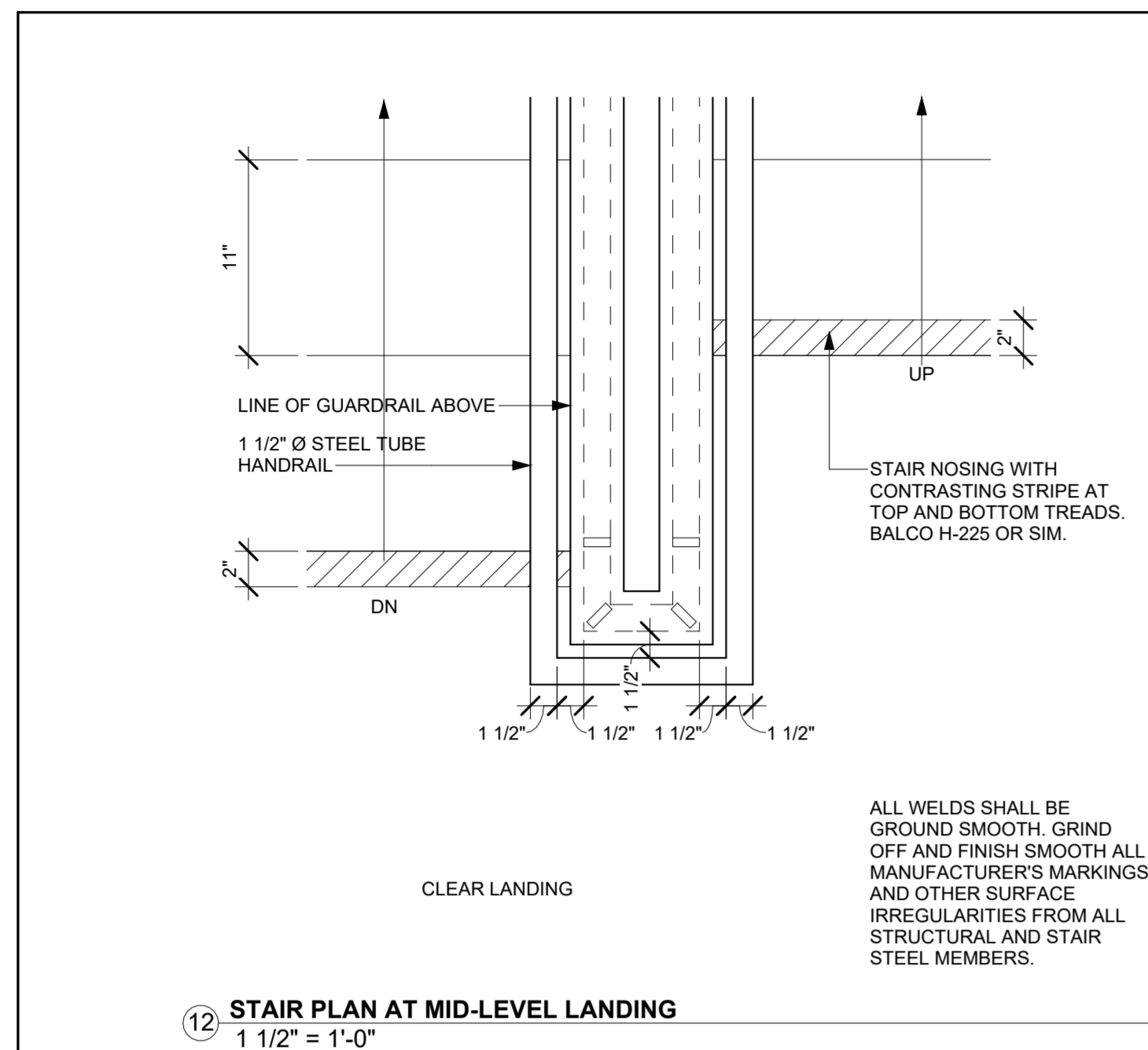
PROJECT NUMBER  
16010.00

SHEET TITLE  
**STAIR & RESTROOM ACCESSIBILITY DETAILS**

SCALE  
As indicated

SHEET NUMBER

**A0.03B**



**Pizzeria Da Laura**  
 91 Shattuck Square  
 Berkeley, CA 94704



**NOT FOR  
 CONSTRUCTION**

ISSUES AND REVISIONS

No.	Date	Description
	11/30/22	PERMIT SET
	12/13/22	PRICING SET

PROJECT NUMBER  
 16010.00

SHEET TITLE  
**EXISTING BASEMENT PLAN**

SCALE  
 As indicated

SHEET NUMBER

**A1.01**

**GENERAL NOTES**

1. ALL BEARING WALLS, SHEAR WALLS, STRUCTURAL COLUMNS, AND BEAMS TO REMAIN.
2. FIRE SPRINKLER MAIN AND BRANCH LINES TO REMAIN.
3. CAP AND IDENTIFY EXPOSED UTILITIES. COORDINATION AND COSTS ASSOCIATED WITH DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION IS THE RESPONSIBILITY OF THE CONTRACTOR. NOTIFY LANDLORD AND OBTAIN APPROVAL BEFORE COMMENCING HIS WORK.
4. PATCH REMAINING PORTION OF WALLS AND FINISHED SURFACES WHERE EXPOSED DUE TO DEMOLITION AS REQUIRED FOR NEW FINISHES.
5. REMOVE FROM SITE AND LEGALLY DISPOSE OF DAILY ALL REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIAL RESULTING FROM DEMOLITION OPERATIONS. COORDINATE EXACT DEBRIS BOX LOCATION WITH THE OWNER AND EXISTING TENANT.
6. EXISTING RESTROOM FINISHES TO REMAIN AND BE PROTECTED THROUGH CONSTRUCTION. SEE PLANS FOR SELECTIVE DEMOLITION.
7. SELECTIVE DEMOLITION OF MECHANICAL DUCTS TO BE DETERMINED BY G.C. AND D.B. MECHANICAL ENGINEER.
8. THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS DISCOVERED DURING DEMOLITION AND CONSTRUCTION. THE CONTRACTOR SHALL ISOLATE ANY AFFECTED AREAS AND CONTACT THE LANDLORD FOR FURTHER INSTRUCTIONS BEFORE PROCEEDING.
9. MAINTAIN BUILDING SECURITY, ALL LIFE SAFETY/FIRE PROTECTION SYSTEMS AND EXIT PASSAGES AT ALL TIMES.
10. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, THE CONTRACTOR SHALL CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT PRIOR TO PROCEEDING.
11. REMOVE ALL EXISTING IRREGULAR MATERIALS WHICH CAUSES RISES OR DEPRESSION IN FLOORING SURFACE SUCH AS FASTENERS, OUTLET CORES, MOUNDED COVER PLATES, RESILIENT FLOORING, CARPET, CARPET PAD, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC. ENSURE FLOOR IS SMOOTH AND LEVEL BEFORE APPLYING FINISH MATERIALS.
12. GENERAL CONTRACTOR TO VERIFY EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT BEFORE START OF DEMOLITION.

**LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- EXISTING COUNTERTOP/CASEWORK TO REMAIN
- EXISTING COUNTERTOP/CASEWORK TO BE REMOVED

**SHEET NOTES**



① Existing Basement Plan  
 1/4" = 1'-0"

**Pizzeria Da Laura**

91 Shattuck Square  
 Berkeley, CA 94704



**NOT FOR  
 CONSTRUCTION**

ISSUES AND REVISIONS

No.	Date	Description
11/30/22		PERMIT SET
12/13/22		PRICING SET

PROJECT NUMBER  
 16010.00

SHEET TITLE  
**EXISTING LEVEL 1 PLAN**

SCALE  
 As indicated

SHEET NUMBER

**A1.02**

**GENERAL NOTES**

1. ALL BEARING WALLS, SHEAR WALLS, STRUCTURAL COLUMNS, AND BEAMS TO REMAIN.
2. FIRE SPRINKLER MAIN AND BRANCH LINES TO REMAIN.
3. CAP AND IDENTIFY EXPOSED UTILITIES. COORDINATION AND COSTS ASSOCIATED WITH DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION IS THE RESPONSIBILITY OF THE CONTRACTOR. NOTIFY LANDLORD AND OBTAIN APPROVAL BEFORE COMMENCING HIS WORK.
4. PATCH REMAINING PORTION OF WALLS AND FINISHED SURFACES WHERE EXPOSED DUE TO DEMOLITION AS REQUIRED FOR NEW FINISHES.
5. REMOVE FROM SITE AND LEGALLY DISPOSE OF DAILY ALL REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIAL RESULTING FROM DEMOLITION OPERATIONS. COORDINATE EXACT DEBRIS BOX LOCATION WITH THE OWNER AND EXISTING TENANT.
6. EXISTING RESTROOM FINISHES TO REMAIN AND BE PROTECTED THROUGH CONSTRUCTION. SEE PLANS FOR SELECTIVE DEMOLITION.
7. SELECTIVE DEMOLITION OF MECHANICAL DUCTS TO BE DETERMINED BY G.C. AND D.B. MECHANICAL ENGINEER.
8. THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS DISCOVERED DURING DEMOLITION AND CONSTRUCTION. THE CONTRACTOR SHALL ISOLATE ANY AFFECTED AREAS AND CONTACT THE LANDLORD FOR FURTHER INSTRUCTIONS BEFORE PROCEEDING.
9. MAINTAIN BUILDING SECURITY, ALL LIFE SAFETY/FIRE PROTECTION SYSTEMS AND EXIT PASSAGES AT ALL TIMES.
10. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, THE CONTRACTOR SHALL CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT PRIOR TO PROCEEDING.
11. REMOVE ALL EXISTING IRREGULAR MATERIALS WHICH CAUSES RISES OR DEPRESSION IN FLOORING SURFACE SUCH AS FASTENERS, OUTLET CORES, MOUNDED COVER PLATES, RESILIENT FLOORING, CARPET, CARPET PAD, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC. ENSURE FLOOR IS SMOOTH AND LEVEL BEFORE APPLYING FINISH MATERIALS.
12. GENERAL CONTRACTOR TO VERIFY EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT BEFORE START OF DEMOLITION.

**LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- EXISTING COUNTERTOP/CASEWORK TO REMAIN
- EXISTING COUNTERTOP/CASEWORK TO BE REMOVED

**SHEET NOTES**

Key Value	Keynote Text
18	DEMO (E) COUNTERTOP AND PONYWALLS
19	DEMO (E) COUNTERTOP
20	DEMO (E) PREP AND HAND WASHING SINKS



1 Existing Level 1  
 1/4" = 1'-0"

**Pizzeria Da Laura**  
 91 Shattuck Square  
 Berkeley, CA 94704



**NOT FOR  
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ISSUES AND REVISIONS

No.	Date	Description
	11/30/22	PERMIT SET
	12/13/22	PRICING SET

PROJECT NUMBER  
 16010.00

SHEET TITLE  
**EXISTING MEZZANINE PLAN**

SCALE  
 As indicated

SHEET NUMBER

**A1.03**

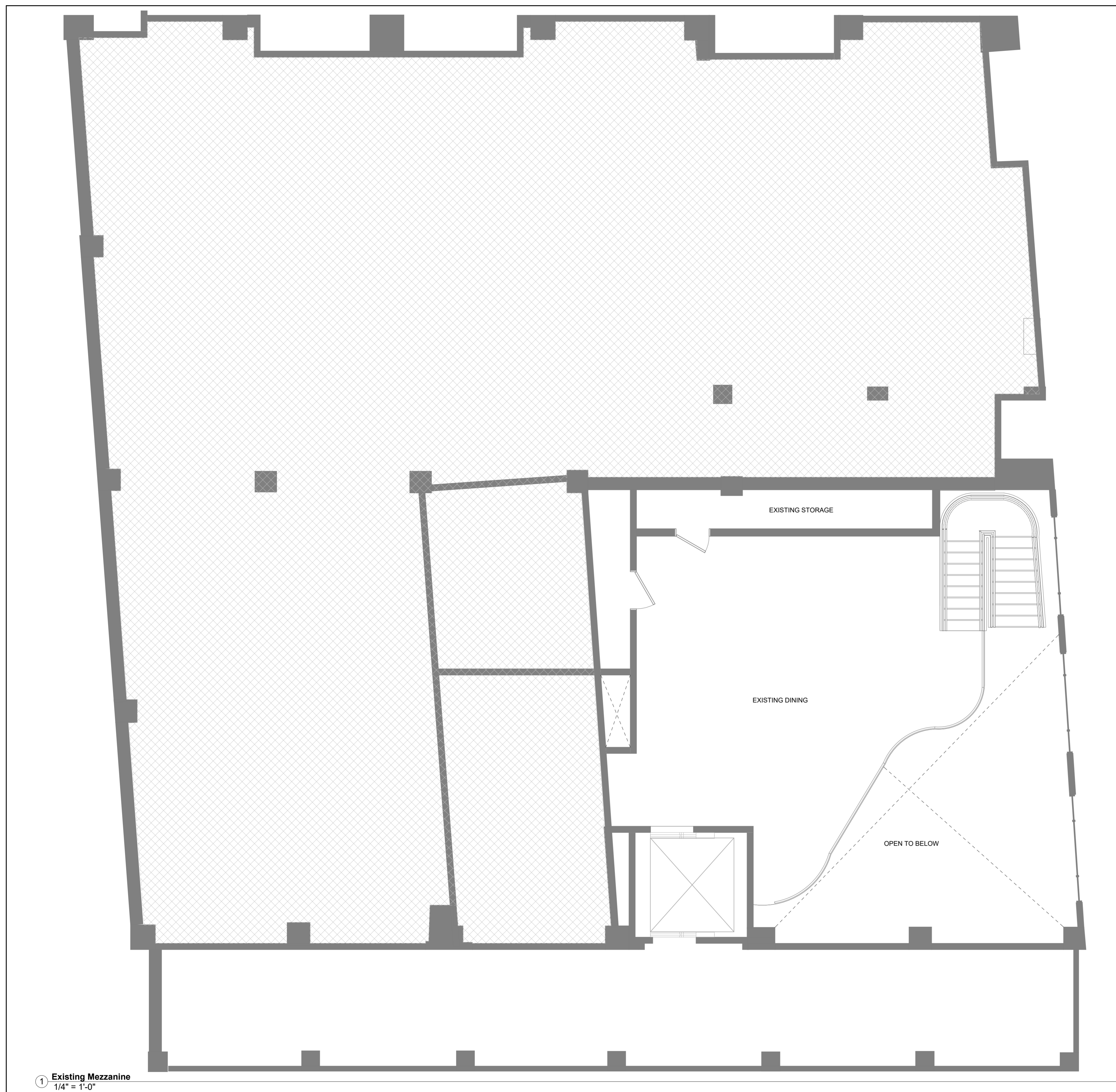
**GENERAL NOTES**

1. ALL BEARING WALLS, SHEAR WALLS, STRUCTURAL COLUMNS, AND BEAMS TO REMAIN.
2. FIRE SPRINKLER MAIN AND BRANCH LINES TO REMAIN.
3. CAP AND IDENTIFY EXPOSED UTILITIES. COORDINATION AND COSTS ASSOCIATED WITH DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION IS THE RESPONSIBILITY OF THE CONTRACTOR. NOTIFY LANDLORD AND OBTAIN APPROVAL BEFORE COMMENCING HIS WORK.
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10. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, THE CONTRACTOR SHALL CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT PRIOR TO PROCEEDING.
11. REMOVE ALL EXISTING IRREGULAR MATERIALS WHICH CAUSES RISES OR DEPRESSION IN FLOORING SURFACE SUCH AS FASTENERS, OUTLET CORES, MOUNDED COVER PLATES, RESILIENT FLOORING, CARPET, CARPET PAD, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC. ENSURE FLOOR IS SMOOTH AND LEVEL BEFORE APPLYING FINISH MATERIALS.
12. GENERAL CONTRACTOR TO VERIFY EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT BEFORE START OF DEMOLITION.

**LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- EXISTING COUNTERTOP/CASEWORK TO REMAIN
- EXISTING COUNTERTOP/CASEWORK TO BE REMOVED

**SHEET NOTES**



① Existing Mezzanine  
 1/4" = 1'-0"

**Pizzeria Da Laura**  
91 Shattuck Square  
Berkeley, CA 94704



**NOT FOR  
CONSTRUCTION**

ISSUES AND REVISIONS

No.	Date	Description
11/30/22	PERMIT SET	
12/13/22	PRICING SET	

PROJECT NUMBER  
16010.00

SHEET TITLE  
**BASEMENT PLAN**

SCALE  
As indicated

SHEET NUMBER

**A2.01**

**GENERAL NOTES**

- GRIDLINES LOCATE CENTERLINE OF STRUCTURAL STEEL COLUMNS.
- DIMENSIONS (EXCEPT GRIDLINES - (SEE NOTE 1 ABOVE) ARE TO:
  - FACE OF MULLION FRAMING (NOT INCLUDING DECORATIVE TRIM CAPS) U.O.N.
  - FACE OF CONCRETE FOR CONC. CURBS AND CONC. EDGE OF SLAB U.O.N.
  - FACE OF WALL ASSEMBLY FOR EXTERIOR WALLS U.O.N.
  - FACE OF PARTITION ASSEMBLY FOR INTERIOR PARTITIONS U.O.N.
- REFER TO SHEET A10.XX FOR ALL SCHEDULED ASSEMBLIES
- REFER TO SHEET A10.01 FOR DOOR SCHEDULE
- ALL THROUGH PENETRATIONS AND MEMBRANE PENETRATIONS OF HORIZONTAL ASSEMBLIES AND FIRE-RESISTANT RATED WALL ASSEMBLIES SHALL BE PROVIDED AS SPECIFIED IN CBC SECTION 712
- LAYOUT OF ALL SCORE LINES, CONTROL JOINTS, ETC. FOR ANY MATERIALS TO REMAIN EXPOSED TO VIEW SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO BEING CONSTRUCTED.
- LIGHTING AND SIGNAGE SHALL COMPLY WITH CBC 1011
- STAIRWAY FLOOR NUMBER SIGNS SHALL BE PROVIDED PER CBC 1022.9
- ELEVATORS SHALL COMPLY WITH ALL ACCESSIBLE REQUIREMENTS SPECIFIED IN CBC 11B-206.6, CFC CHAPTER 6, AND CBC CHAPTER 30
- UTILITY POINTS OF ENTRY ARE TO BE UNDERGROUND U.O.N.
- ALL FASTENERS ATTACHED TO PRESSURE TREATED MATERIAL SHALL BE HOT-DIPPED GALVANIZED (PER ASTM A153) OR STAINLESS STEEL OR SILICON BRONZE OR COPPER MATERIAL [2405.4]
- ALL EXTERIOR WALL AND FOUNDATION ENVELOPE COMPONENTS TO BE COMPLIANT WITH CBC SECTION 1403.2 AND CALIFORNIA ENERGY CODE SECTION 150
- PER CBC 11B-502.4 MAX. PERMITTED SLOPE OF ACCESSIBLE PARKING SPACE AND ACCESS AISLES IS 2% IN ANY DIRECTION
- ALL WALLS AND CEILINGS TO BE PAINTED (EXCEPT FOR NON-PAINTED SURFACES IN KITCHEN AREA)
- STAINED WOOD SURFACES TO BE MATCHED TO EXISTING VENEER ON BACK BAR.

**LEGEND**

- 36" WIDE ACCESSIBLE PATH OF TRAVEL
- LIMIT OF WORK

**SHEET NOTES**

Key Value	Keynote Text
14	(E) 3-COMPARTMENT SINK CONNECTED TO (E) FLOOR SINK
15	(E) HAND SINK WITH SPLASH GUARD, HAND TOWEL AND SOAP DISPENSER CONNECTED TO (E) FLOOR SINK
16	(E) MOP SINK

**FINISH SCHEDULE**

Finish Schedule - Level B					
Room Number	Finishes				
	Floor Finish	Base Finish	Wall Finish	Wall Finish	Ceiling Finish
BASEMENT					
B-100	TL-2 (E)	B-2 (E)	P-3	P-4	
B-101	TL-3 (E)	B-2 (E)	P-3	P-4	

**PAINT**

- P-1: SATIN PAINT FINISH  
MFR: FARROW & BALL  
COLOR: SELVEDGE
- P-2: SATIN PAINT FINISH  
MFR: FARROW & BALL  
COLOR: SELVEDGE
- P-3: SMOOTH ENAMEL PAINT FINISH.  
MFR: BENJAMIN MOORE  
COLOR: WHITE DOVE  
MIN LRV OF 70%
- P-4: SEMI-GLOSS PAINT FINISH.  
MFR: BENJAMIN MOORE  
COLOR: WHITE DOVE  
MIN LRV OF 70%

**TILE FLOOR**

- TL-1: CERAMIC WALL TILE  
MFR: TILEBAR  
TYPE: PARRY TILE, FISHSCALE COLOR: TBD 3"X8"
- TL-2: CERAMIC TILE TO MATCH (E)
- TL-3: STONE TILE TO MATCH (E)

**HARDWOOD FLOOR**

- HW-1: HARDWOOD FLOORING TO MATCH (E)

**BASE**

- B-1: CERAMIC TILE COVERED BASE, 6" TALL WITH 3/8" MIN RADIUS COVE TO MATCH (E)
- B-2: WOOD BASE TO MATCH (E)
- B-3: RUBBER BASE TO MATCH (E)

**STONE**

- ST-1: QUARTZ COUNTERTOP  
MFR: EUROSTONE  
TYPE: STATUARIO NUOCO GREY OR SIM (SLAB SIZE AS RECOMMENDED BY FABRICATOR)

**MILLWORK**

- WD-1: 3/4" STAINED WOOD
- WD-2: 3/4" PAINT-GRADE WOOD PANEL



1 BASEMENT  
1/4" = 1'-0"

**Pizzeria Da Laura**

91 Shattuck Square  
Berkeley, CA 94704



**NOT FOR CONSTRUCTION**

ISSUES AND REVISIONS

No.	Date	Description
11/30/22		PERMIT SET
12/13/22		PRICING SET

PROJECT NUMBER  
16010.00

SHEET TITLE  
**LEVEL 1 PLAN**

SCALE  
As indicated

SHEET NUMBER

**A2.02**

**GENERAL NOTES**

- GRIDLINES LOCATE CENTERLINE OF STRUCTURAL STEEL COLUMNS.
- DIMENSIONS (EXCEPT GRIDLINES - (SEE NOTE 1 ABOVE) ARE TO:
  - FACE OF MULLION FRAMING (NOT INCLUDING DECORATIVE TRIM CAPS) U.O.N.
  - FACE OF CONCRETE FOR CONC. CURBS AND CONC. EDGE OF SLAB U.O.N.
  - FACE OF WALL ASSEMBLY FOR EXTERIOR WALLS U.O.N.
  - FACE OF PARTITION ASSEMBLY FOR INTERIOR PARTITIONS U.O.N.
- REFER TO SHEET A10.XX FOR ALL SCHEDULED ASSEMBLIES
- REFER TO SHEET A10.01 FOR DOOR SCHEDULE
- ALL THROUGH PENETRATIONS AND MEMBRANE PENETRATIONS OF HORIZONTAL ASSEMBLIES AND FIRE-RESISTANT RATED WALL ASSEMBLIES SHALL BE PROVIDED AS SPECIFIED IN CBC SECTION 712
- LAYOUT OF ALL SCORE LINES, CONTROL JOINTS, ETC. FOR ANY MATERIALS TO REMAIN EXPOSED TO VIEW SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO BEING CONSTRUCTED.
- LIGHTING AND SIGNAGE SHALL COMPLY WITH CBC 1011
- STAIRWAY FLOOR NUMBER SIGNS SHALL BE PROVIDED PER CBC 1022.9
- ELEVATORS SHALL COMPLY WITH ALL ACCESSIBLE REQUIREMENTS SPECIFIED IN CBC 11B-206.6, CFC CHAPTER 6, AND CBC CHAPTER 30
- UTILITY POINTS OF ENTRY ARE TO BE UNDERGROUND U.O.N.
- ALL FASTENERS ATTACHED TO PRESSURE TREATED MATERIAL SHALL BE HOT-DIPPED GALVANIZED (PER ASTM A153) OR STAINLESS STEEL OR SILICON BRONZE OR COPPER MATERIAL [2405.4]
- ALL EXTERIOR WALL AND FOUNDATION ENVELOPE COMPONENTS TO BE COMPLIANT WITH CBC SECTION 1403.2 AND CALIFORNIA ENERGY CODE SECTION 150
- PER CBC 11B-502.4 MAX. PERMITTED SLOPE OF ACCESSIBLE PARKING SPACE AND ACCESS AISLES IS 2% IN ANY DIRECTION
- ALL WALLS AND CEILINGS TO BE PAINTED (EXCEPT FOR NON-PAINTED SURFACES IN KITCHEN AREA)
- STAINED WOOD SURFACES TO BE MATCHED TO EXISTING VENEER ON BACK BAR.

**LEGEND**

- 36" WIDE ACCESSIBLE PATH OF TRAVEL
- LIMIT OF WORK

**SHEET NOTES**

Key Value	Keynote Text
7	HAND SINK WITH SPLASH GUARD, HAND TOWEL AND SOAP DISPENSER. CONNECT TO (E) FLOOR SINK.
13	1-COMPARTMENT PREP SINK WITH DRAINBOARD. CONNECT TO (E) FLOOR SINK.
21	CHROME FINISHED HANDRAILS ON STAIRS TO BE SANDED DOWN TO MATTE FINISH, METAL ON STAIR HANDRAILS AND GUARDRAIL TO BE PAINTED, COLOR TBD

**FINISH SCHEDULE**

Room Number	Finish Schedule - Level 1				
	Floor Finish	Base Finish	Wall Finish	Wall Finish	Ceiling Finish
LEVEL 1					
100	HW-1 (E)	B-2 (E)	P-1		P-2
101	TL-2 (E)	B-1 (E)	P-3		P-4
102	HW-1 (E)	B-2 (E)	P-1		P-2

**PAINT**

- P-1: SATIN PAINT FINISH  
MFR: FARROW & BALL  
COLOR: SELVEDGE
- P-2: SATIN PAINT FINISH  
MFR: FARROW & BALL  
COLOR: SELVEDGE
- P-3: SMOOTH ENAMEL PAINT FINISH.  
MFR: BENJAMIN MOORE  
COLOR: WHITE DOVE  
MIN LRV OF 70%
- P-4: SEMI-GLOSS PAINT FINISH.  
MFR: BENJAMIN MOORE  
COLOR: WHITE DOVE  
MIN LRV OF 70%

**TILE FLOOR**

- TL-1: CERAMIC WALL TILE  
MFR: TILEBAR  
TYPE: PARRY TILE, FISHSCALE COLOR: TBD 3"X8"
- TL-2: CERAMIC TILE TO MATCH (E)
- TL-3: STONE TILE TO MATCH (E)

**HARDWOOD FLOOR**

- HW-1: HARDWOOD FLOORING TO MATCH (E)

**BASE**

- B-1: CERAMIC TILE COVERED BASE, 6" TALL WITH 3/8" MIN RADIUS COVE TO MATCH (E)
- B-2: WOOD BASE TO MATCH (E)
- B-3: RUBBER BASE TO MATCH (E)

**STONE**

- ST-1: QUARTZ COUNTERTOP  
MFR: EUROSTONE  
TYPE: STATUARIO NUOCO GREY OR SIM (SLAB SIZE AS RECOMMENDED BY FABRICATOR)

**MILLWORK**

- WD-1: 3/4" STAINED WOOD
- WD-2: 3/4" PAINT-GRADE WOOD PANEL



1 LEVEL 1  
1/4" = 1'-0"

**Pizzeria Da Laura**

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Berkeley, CA 94704



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CONSTRUCTION**

ISSUES AND REVISIONS

No.	Date	Description
11/30/22		PERMIT SET
12/13/22		PRICING SET

PROJECT NUMBER  
16010.00

SHEET TITLE  
**MEZZANINE PLAN**

SCALE  
As indicated

SHEET NUMBER

**A2.03**

**GENERAL NOTES**

- GRIDLINES LOCATE CENTERLINE OF STRUCTURAL STEEL COLUMNS.
- DIMENSIONS (EXCEPT GRIDLINES - (SEE NOTE 1 ABOVE) ARE TO:
  - FACE OF MULLION FRAMING (NOT INCLUDING DECORATIVE TRIM CAPS) U.O.N.
  - FACE OF CONCRETE FOR CONC. CURBS AND CONC. EDGE OF SLAB U.O.N.
  - FACE OF WALL ASSEMBLY FOR EXTERIOR WALLS U.O.N.
  - FACE OF PARTITION ASSEMBLY FOR INTERIOR PARTITIONS U.O.N.
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- REFER TO SHEET A10.01 FOR DOOR SCHEDULE
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- STAINED WOOD SURFACES TO BE MATCHED TO EXISTING VENEER ON BACK BAR.

**LEGEND**

- 36" WIDE ACCESSIBLE PATH OF TRAVEL
- LIMIT OF WORK

**SHEET NOTES**

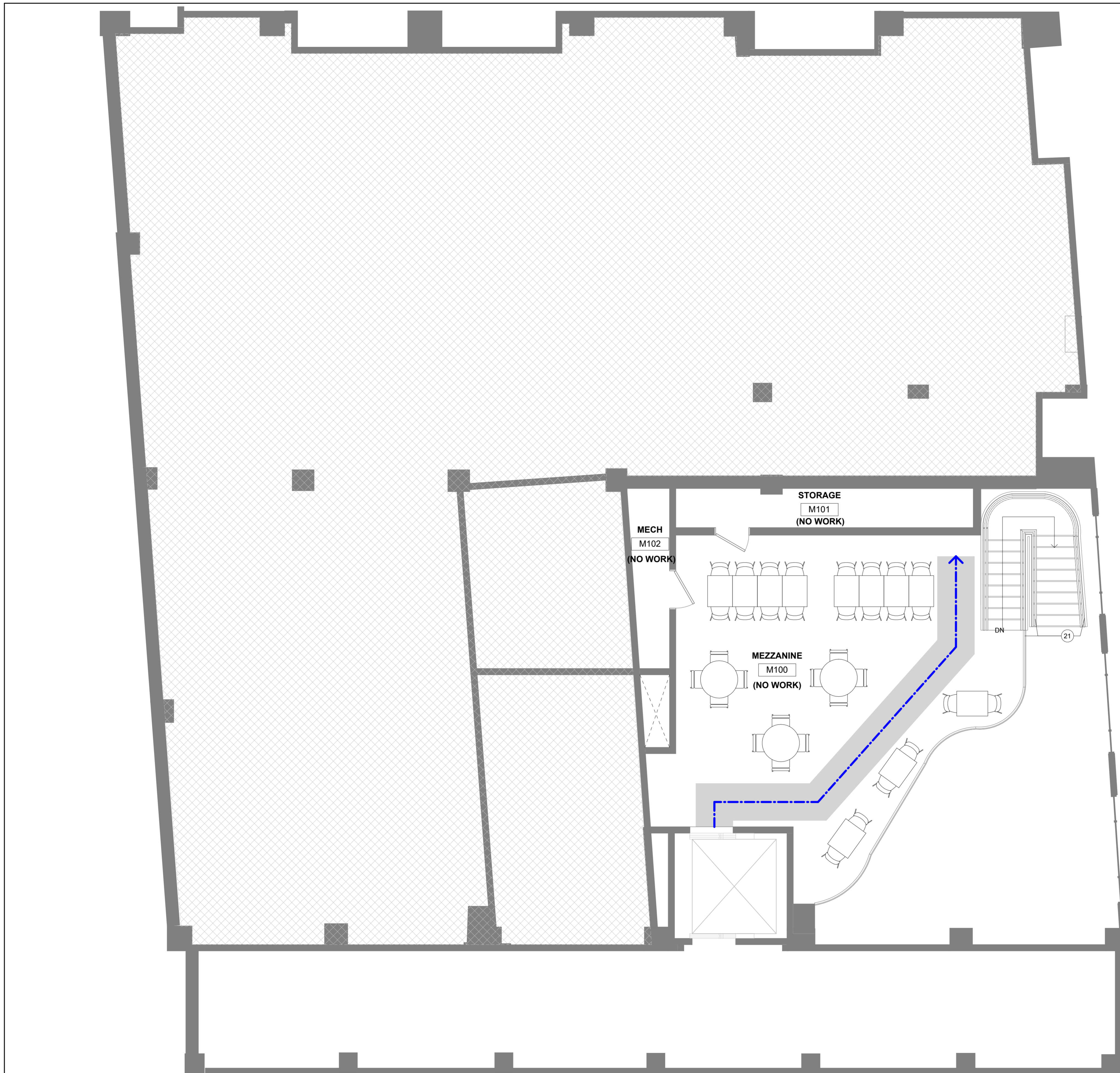
Key Value	Keynote Text
21	CHROME FINISHED HANDRAILS ON STAIRS TO BE SANDED DOWN TO MATTE FINISH, METAL ON STAIR HANDRAILS AND GUARDRAIL TO BE PAINTED, COLOR TBD

**FINISH SCHEDULE**

Finish Schedule - Level M					
Room Number	Finishes				
	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	
MEZZ					
M100	TL-3 (E)	B-3 (E)	P-1	P-2	
M101	TL-3 (E)	B-3 (E)	P-1	P-2	
M102	TL-3 (E)	B-3 (E)	P-1	P-2	

**PAINT**

- P-1: SATIN PAINT FINISH  
MFR: FARROW & BALL  
COLOR: SELVEDGE
- P-2: SATIN PAINT FINISH  
MFR: FARROW & BALL  
COLOR: SELVEDGE
- P-3: SMOOTH ENAMEL PAINT FINISH.  
MFR: BENJAMIN MOORE  
COLOR: WHITE DOVE  
MIN LRV OF 70%
- P-4: SEMI-GLOSS PAINT FINISH.  
MFR: BENJAMIN MOORE  
COLOR: WHITE DOVE  
MIN LRV OF 70%
- TILE FLOOR**
- TL-1: CERAMIC WALL TILE  
MFR: TILEBAR  
TYPE: PARRY TILE, FISHSCALE COLOR: TBD 3"x8"
- TL-2: CERAMIC TILE TO MATCH (E)  
TL-3: STONE TILE TO MATCH (E)
- HARDWOOD FLOOR**
- HW-1: HARDWOOD FLOORING TO MATCH (E)
- BASE**
- B-1: CERAMIC TILE COVED BASE, 6" TALL WITH 3/8" MIN RADIUS COVE TO MATCH (E)  
B-2: WOOD BASE TO MATCH (E)  
B-3: RUBBER BASE TO MATCH (E)
- STONE**
- ST-1: QUARTZ COUNTERTOP  
MFR: EUROSTONE  
TYPE: STATUARIO NUOCO GREY OR SIM (SLAB SIZE AS RECOMMENDED BY FABRICATOR)
- MILLWORK**
- WD-1: 3/4" STAINED WOOD  
WD-2: 3/4" PAINT-GRADE WOOD PANEL



1 MEZZ  
1/4" = 1'-0"

**Pizzeria Da Laura**  
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ISSUES AND REVISIONS

No.	Date	Description
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12/13/22	PRICING SET	

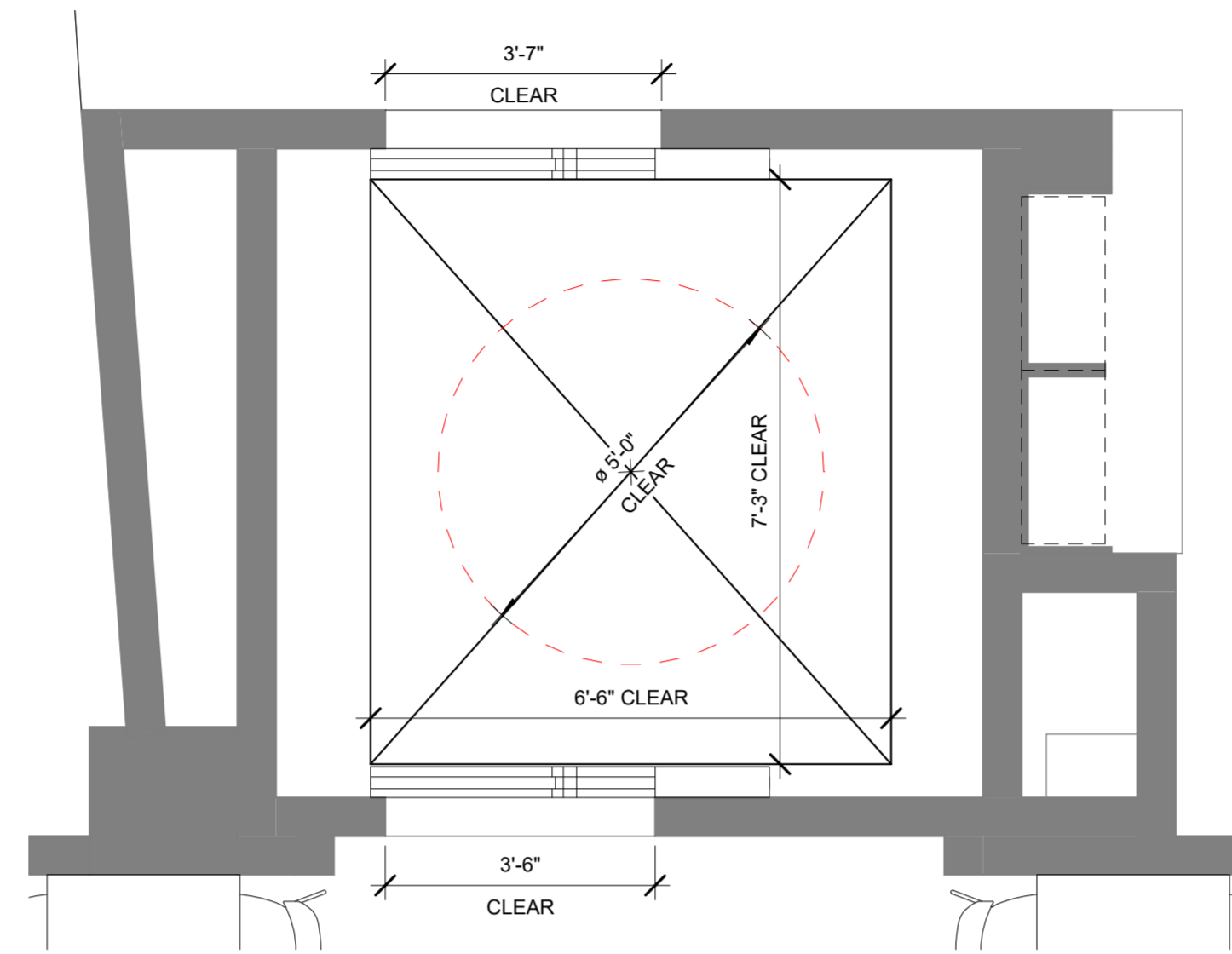
PROJECT NUMBER  
 16010.00

SHEET TITLE  
**ENLARGED FLOOR PLANS**

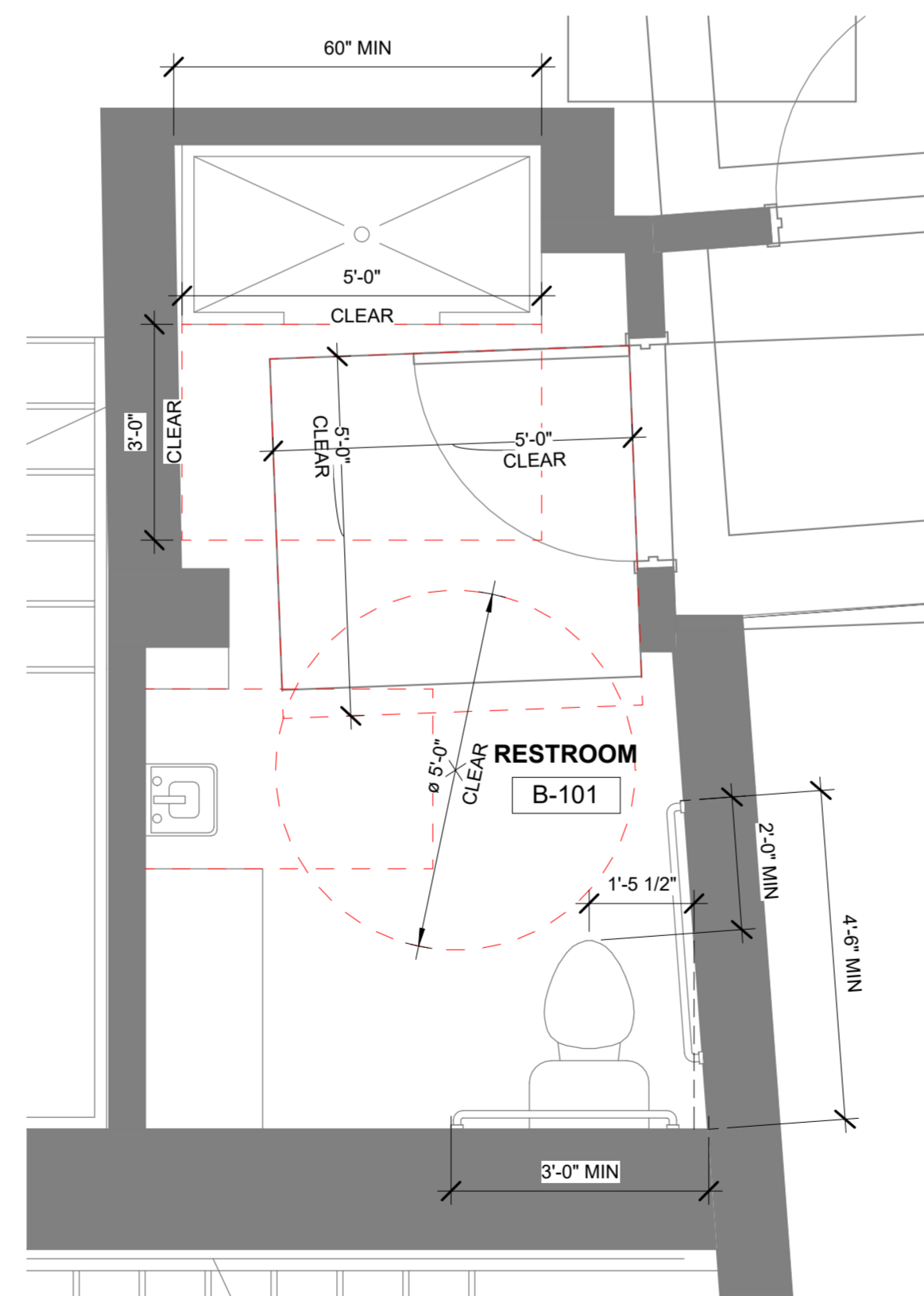
SCALE  
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SHEET NUMBER

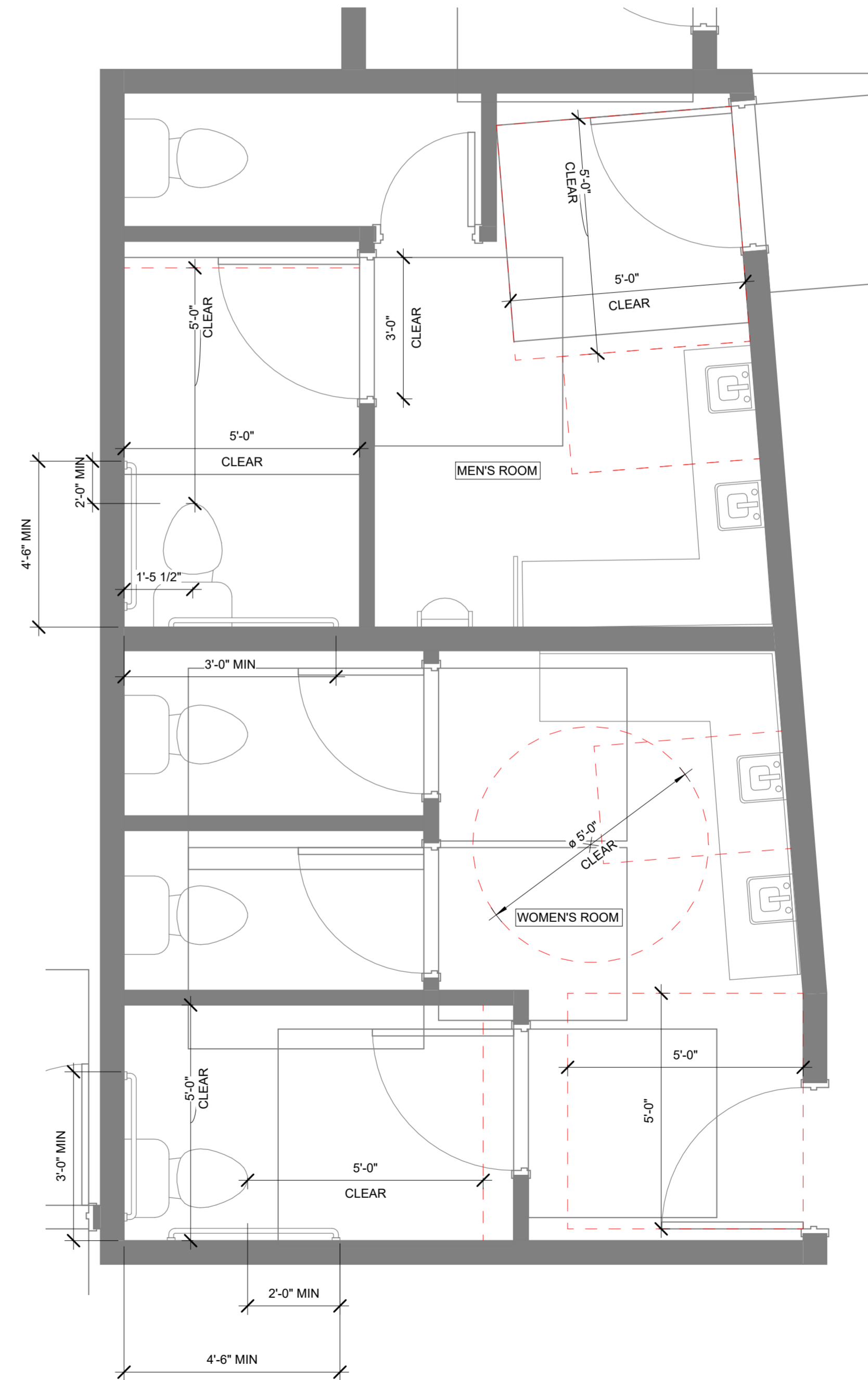
**A3.01**



③ **ENLARGED ELEVATOR PLAN (FOR REFERENCE)**  
 1/2" = 1'-0"



② **ENLARGED RESTROOM PLAN (FOR REFERENCE)**  
 1/2" = 1'-0"



① **ENLARGED M/F RESTROOM PLAN (FOR REFERENCE)**  
 1/2" = 1'-0"

**Pizzeria Da Laura**  
91 Shattuck Square  
Berkeley, CA 94704



**NOT FOR CONSTRUCTION**

ISSUES AND REVISIONS

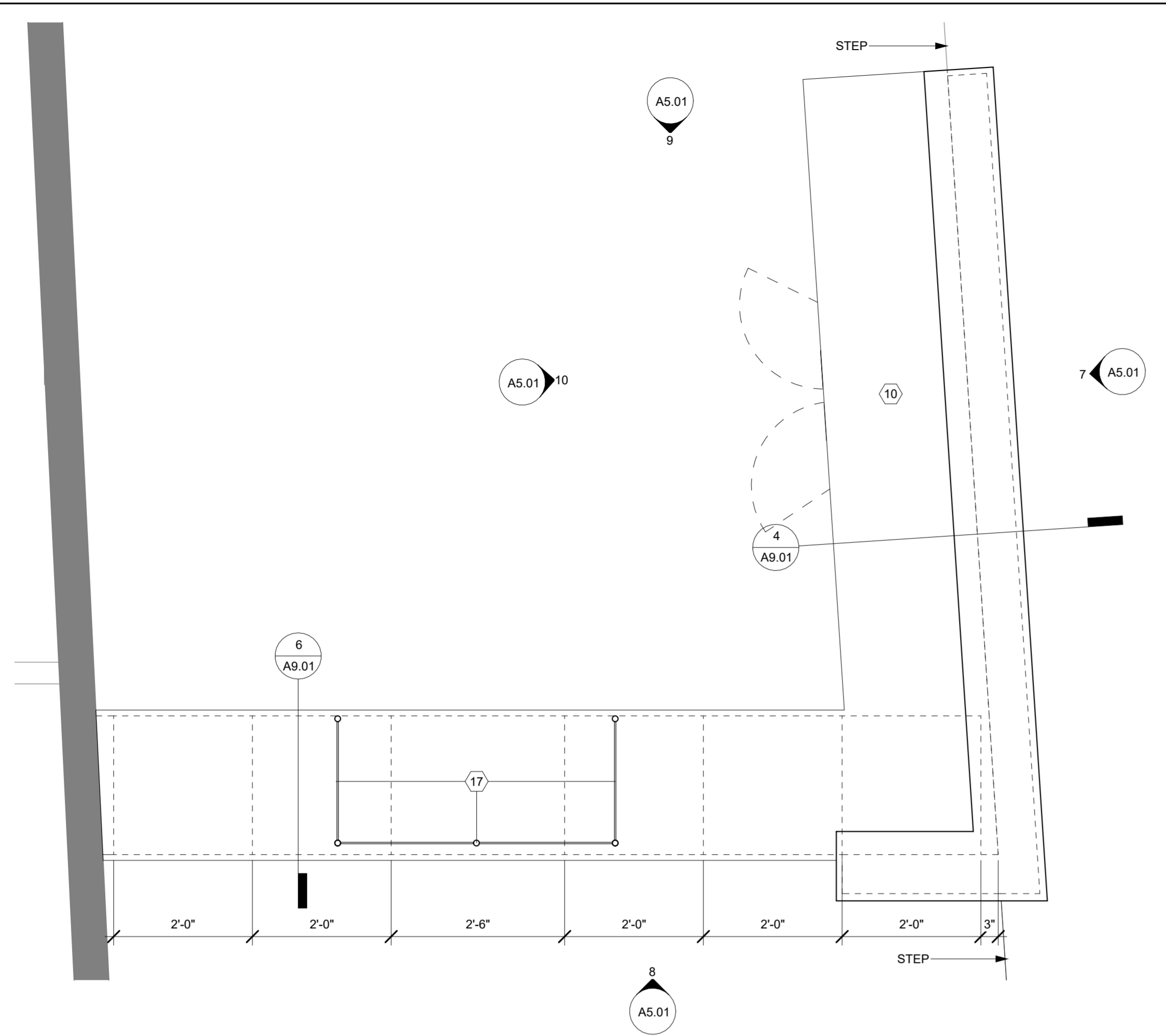
No.	Date	Description
11/30/22	11/30/22	PERMIT SET
12/13/22	12/13/22	PRICING SET

PROJECT NUMBER  
16010.00

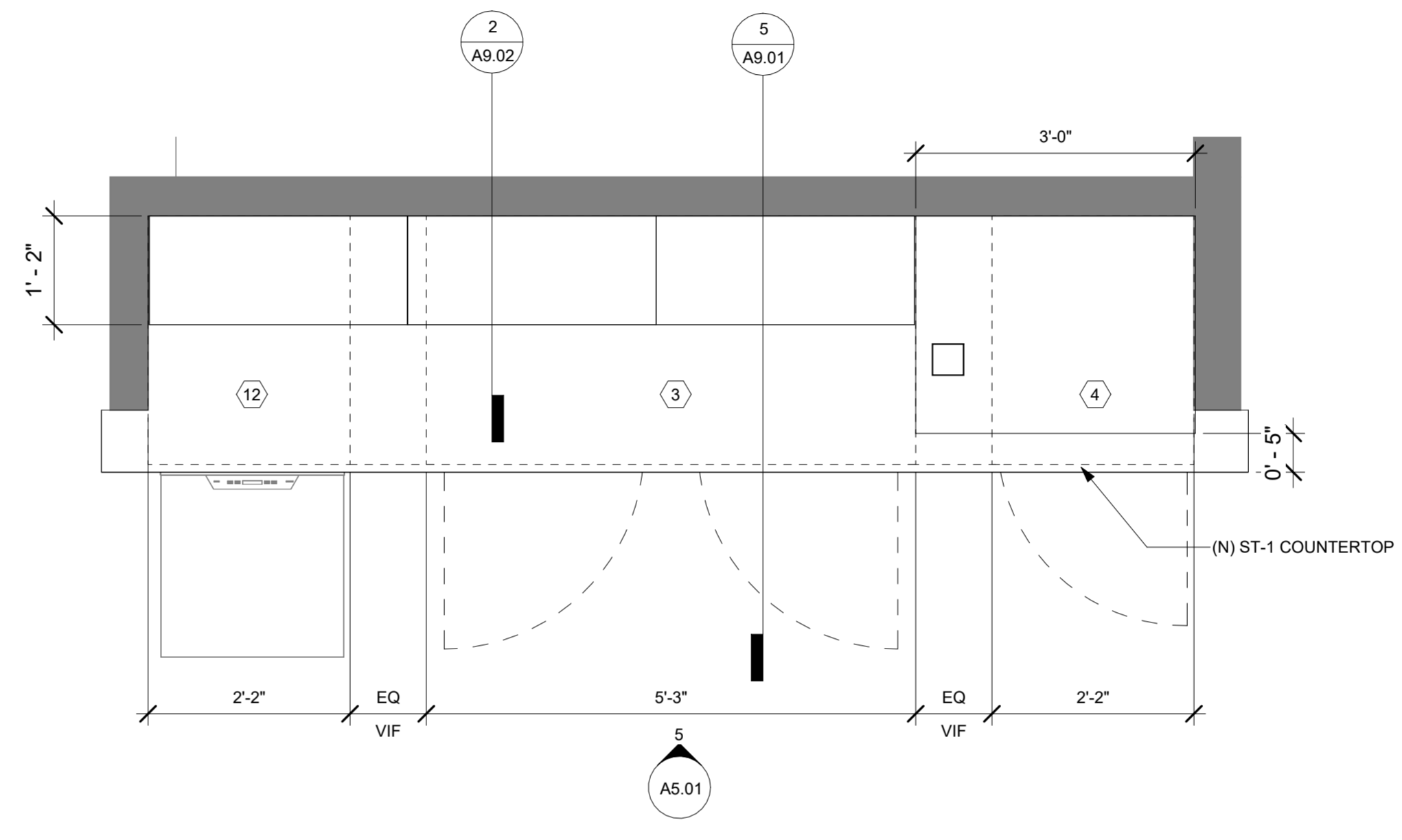
SHEET TITLE  
**ENLARGED FLOOR PLANS**

SCALE  
3/4" = 1'-0"

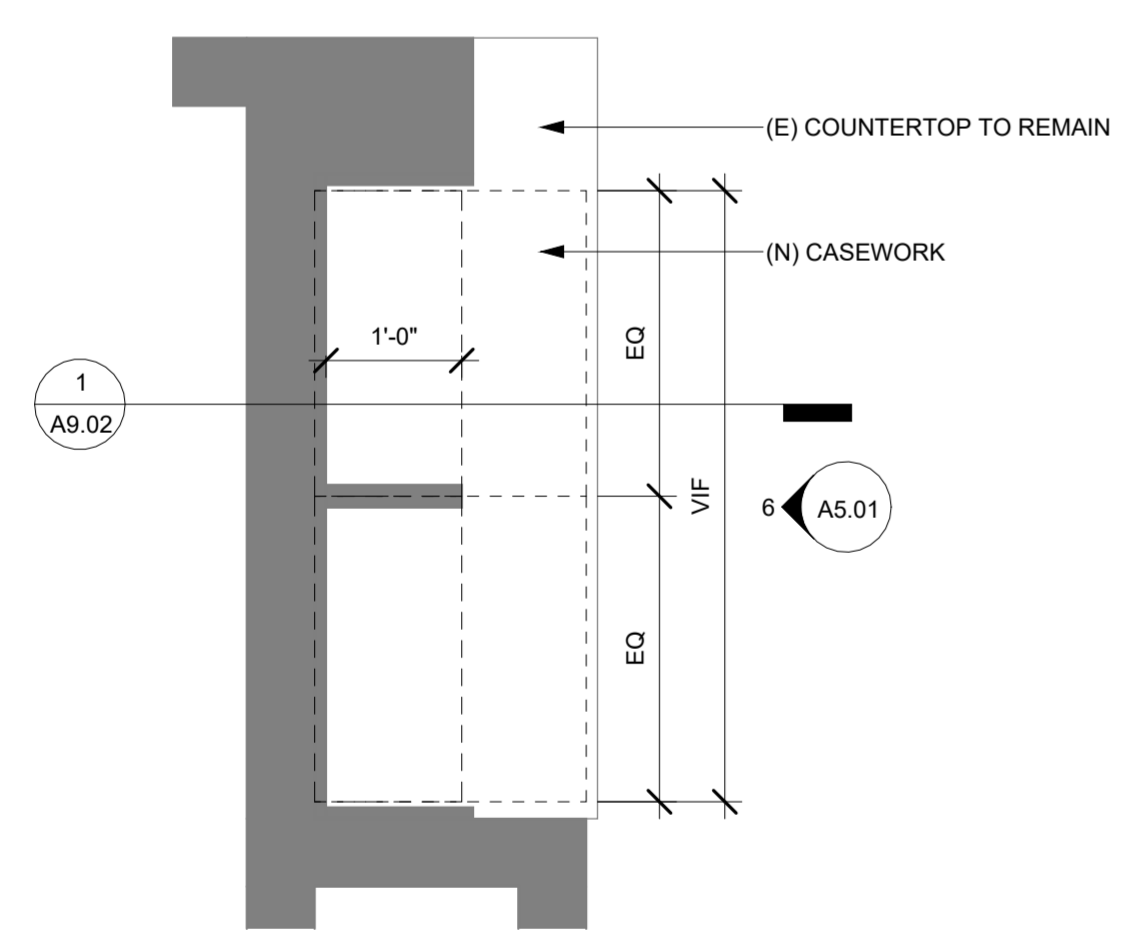
SHEET NUMBER



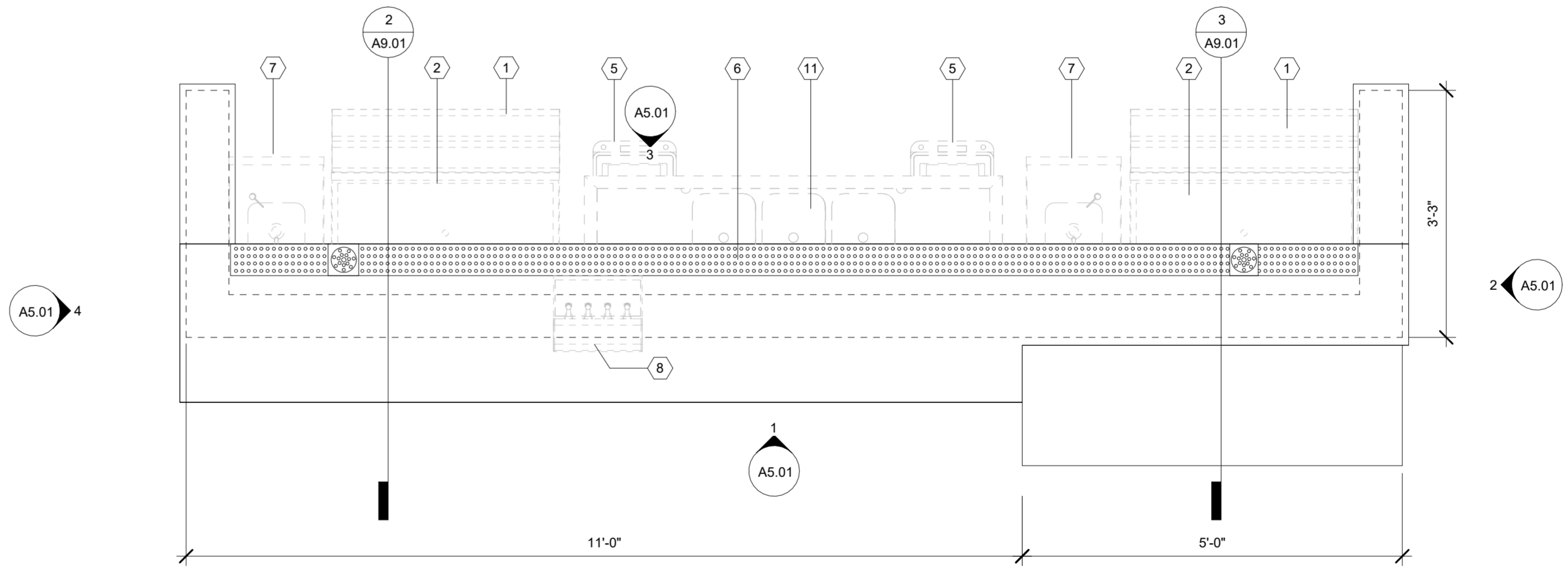
4 ENLARGED TO-GO COUNTER PLAN  
3/4" = 1'-0"



44 ENLARGED BACK BAR PLAN  
3/4" = 1'-0"



2 ENLARGED ENTRANCE COUNTER PLAN  
3/4" = 1'-0"



1 ENLARGED FRONT BAR PLAN  
3/4" = 1'-0"

**SHEET NOTES**

Key Value	Keynote Text	Key Value	Keynote Text
1	DOUBLE SPEED RAIL	7	HAND SINK WITH SPLASH GUARD, HAND TOWEL AND SOAP DISPENSER. CONNECT TO (E) FLOOR SINK.
2	UNDERBAR ICE BIN	8	TAP HANDLES
3	60" REACH-IN REFRIGERATOR	10	34" REACH-IN REFRIGERATOR
4	24" REACH-IN FREEZER	11	3-COMPARTMENT BAR SINK WITH DRAINBOARDS. CONNECT TO (E) FLOOR SINK.
5	TRASH CAN	12	(E) GLASS WASHER TO REMAIN
6	DRIP TRAY WITH GLASS RINSER	17	REUSE (E) SNEEZE GUARD

**A3.02**

**Pizzeria Da Laura**  
91 Shattuck Square  
Berkeley, CA 94704



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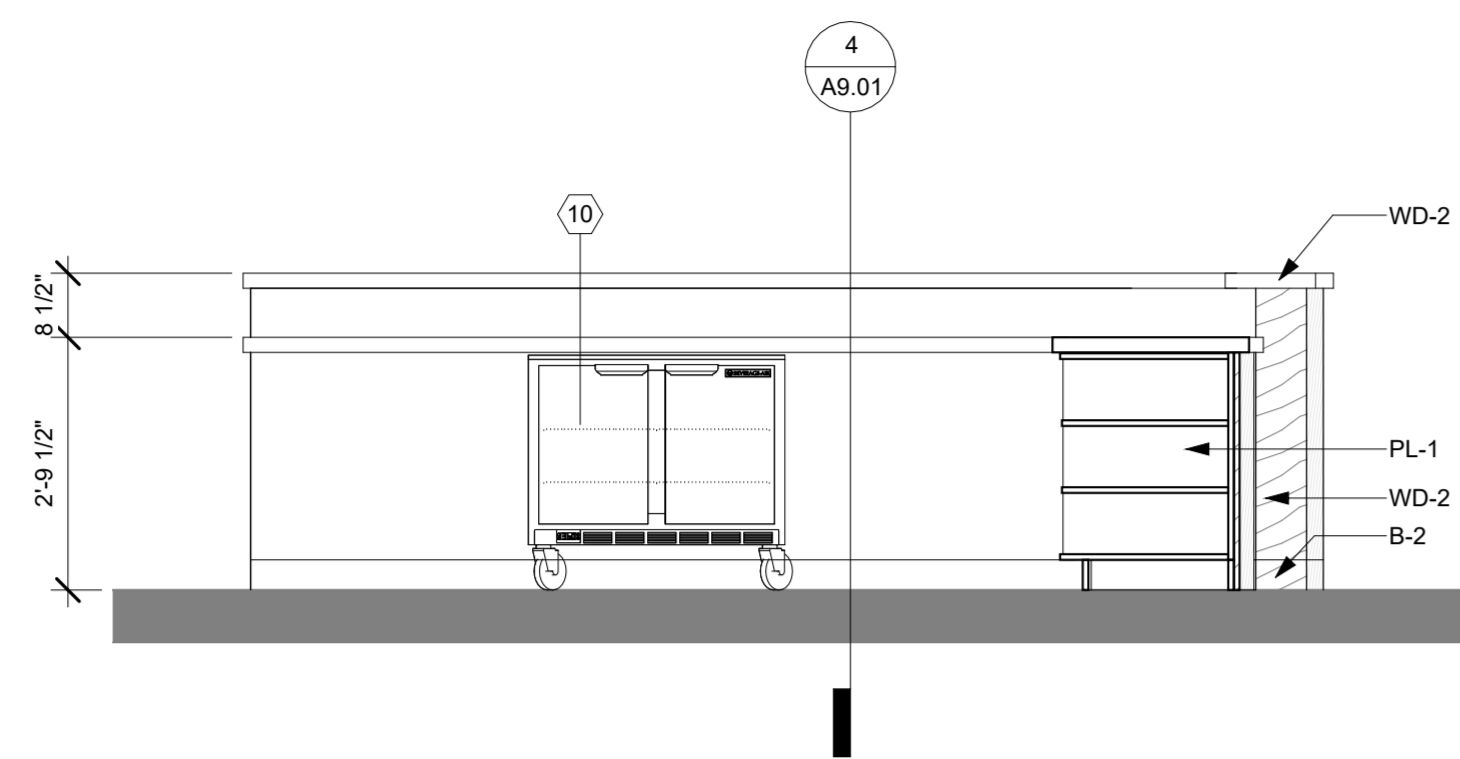
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16010.00

SHEET TITLE  
ELEVATIONS

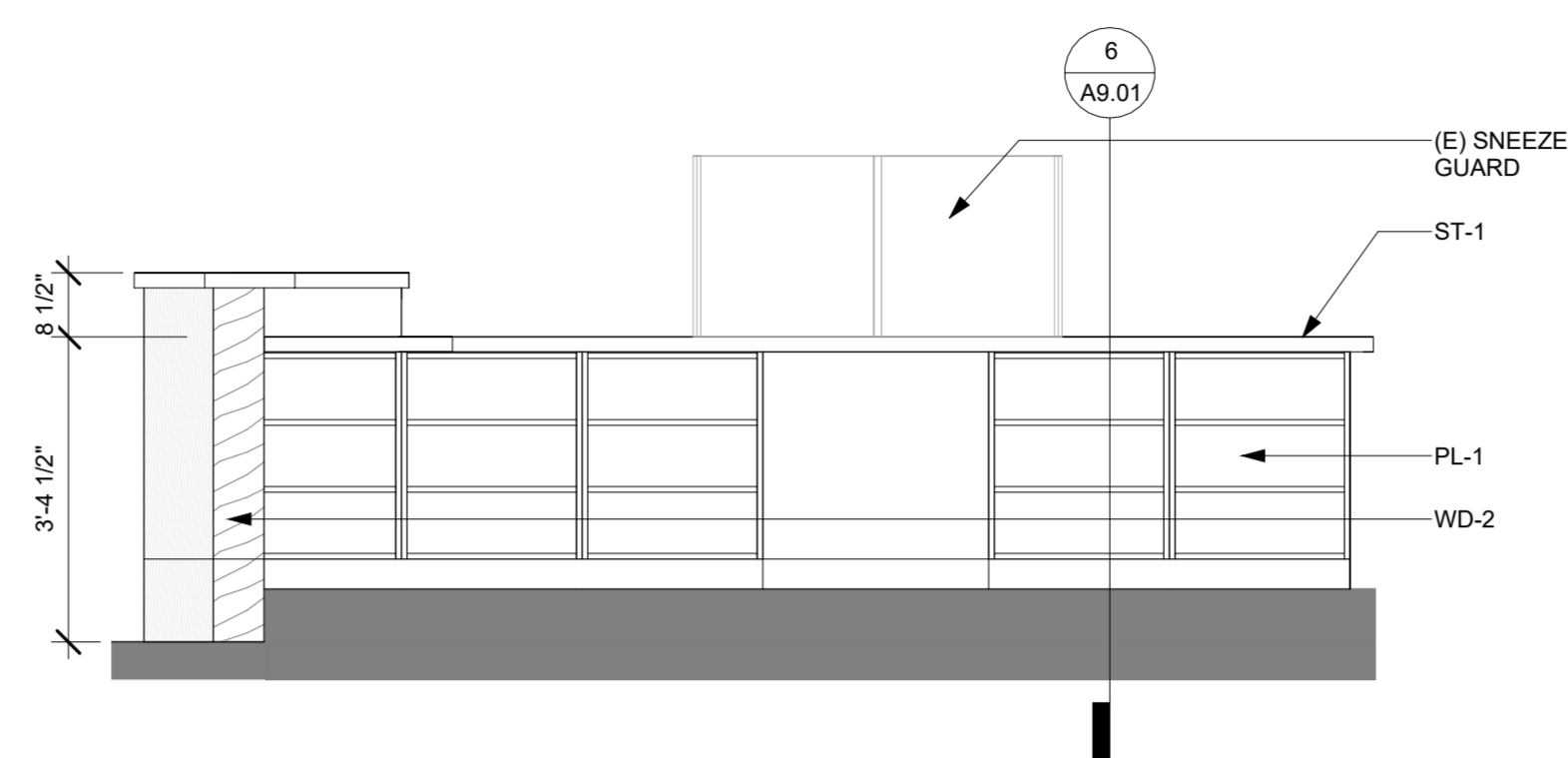
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SHEET NUMBER

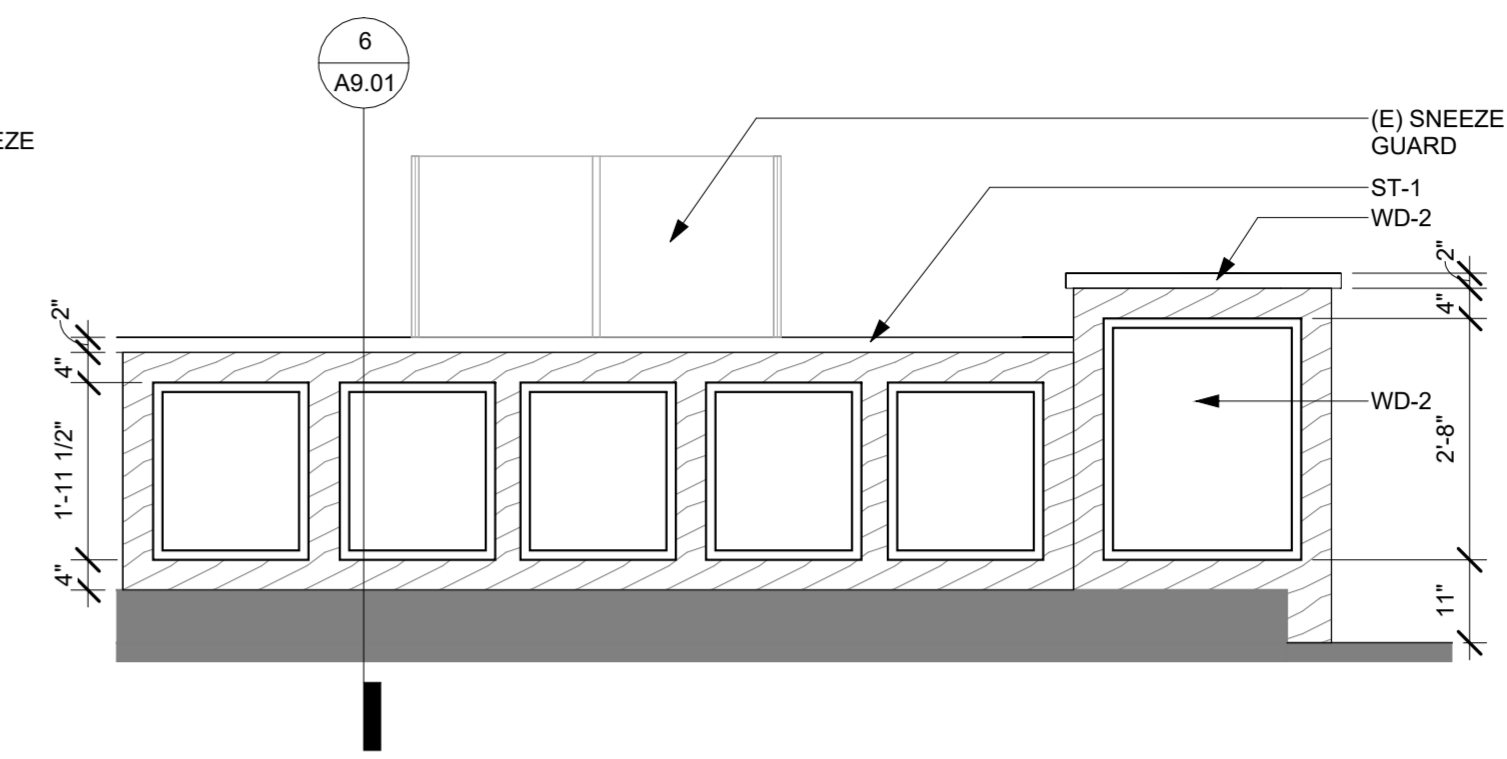
**A5.01**



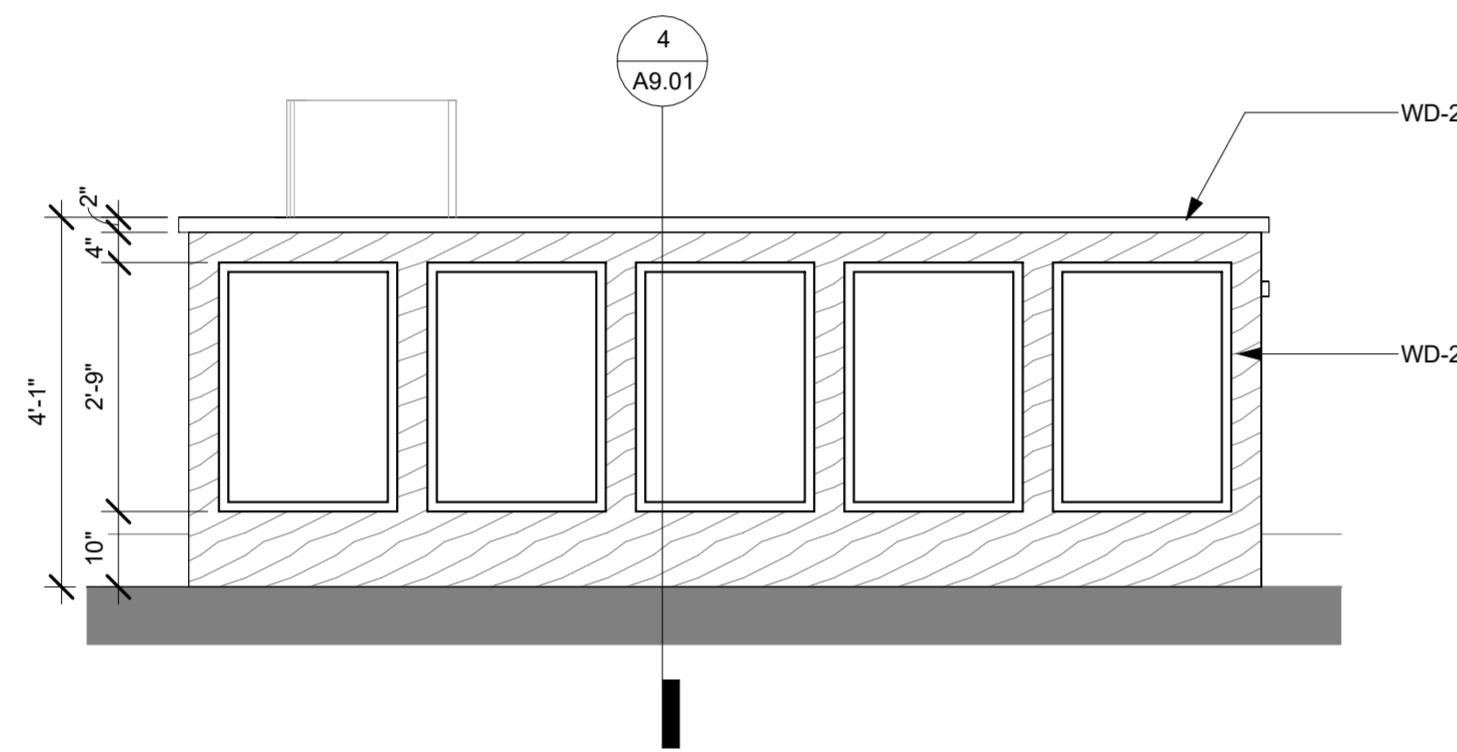
10 TO GO COUNTER 3  
1/2" = 1'-0"



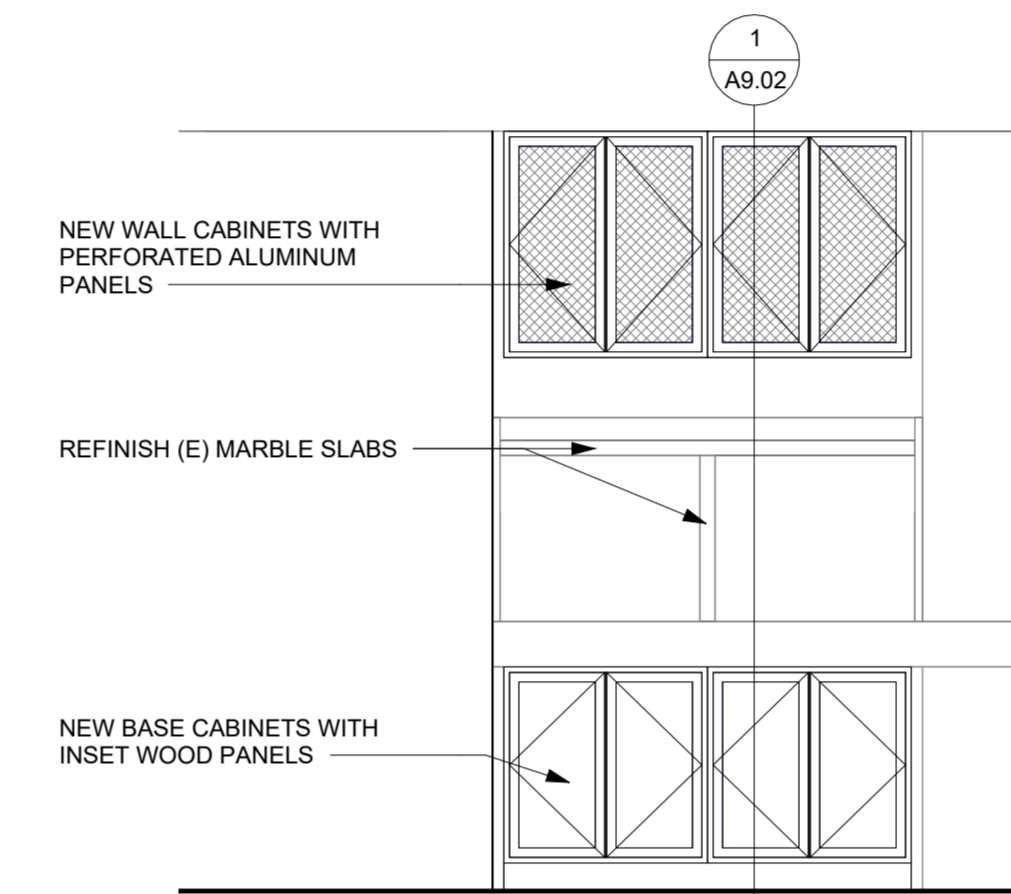
9 TO GO COUNTER 1  
1/2" = 1'-0"



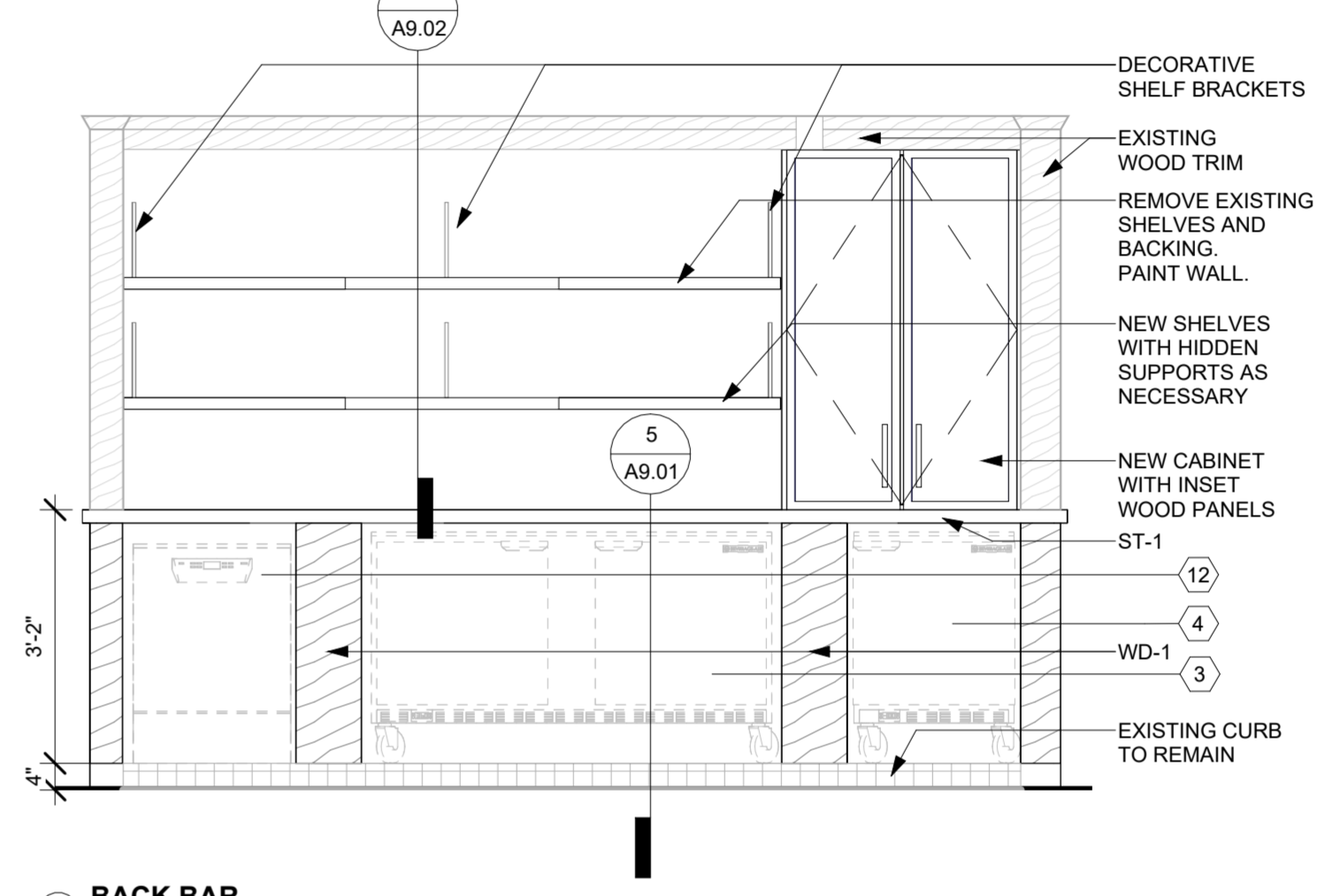
8 TO GO COUNTER 2  
1/2" = 1'-0"



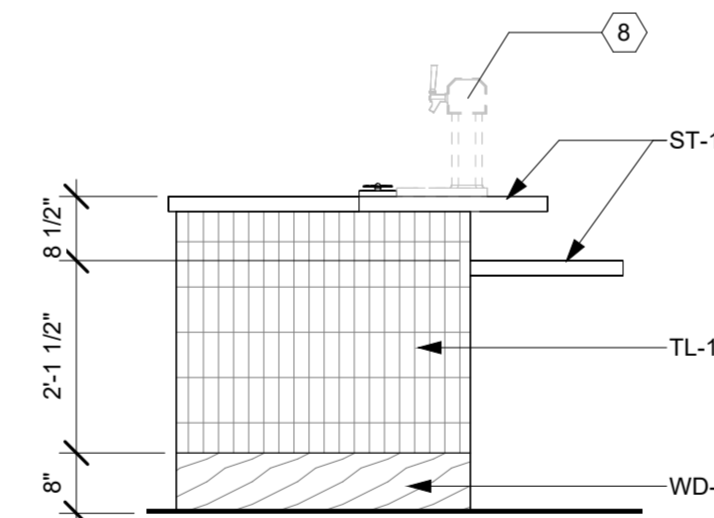
7 TO GO COUNTER 4  
1/2" = 1'-0"



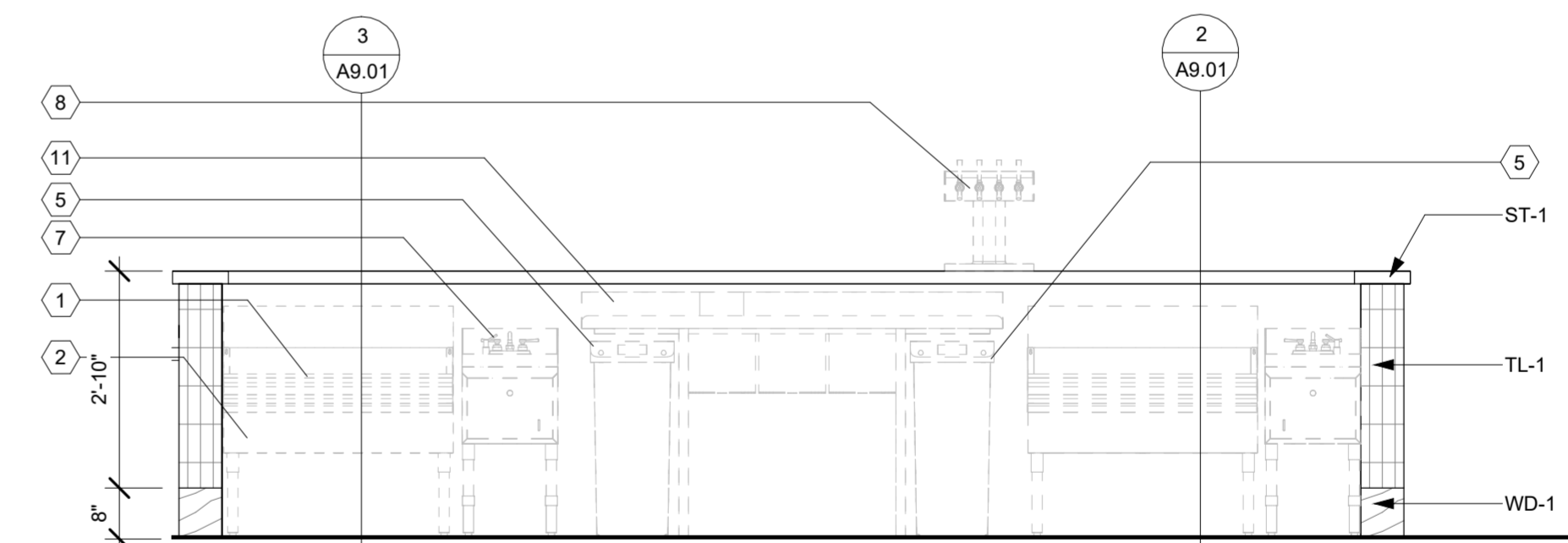
6 Entrance Counter  
1/2" = 1'-0"



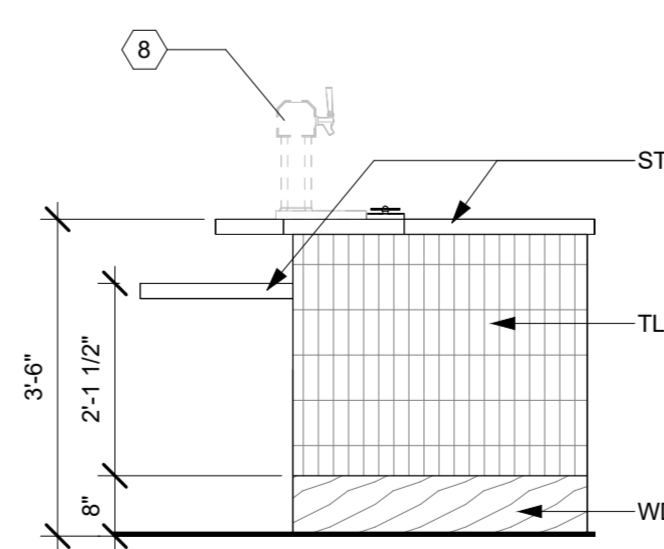
5 BACK BAR  
1/2" = 1'-0"



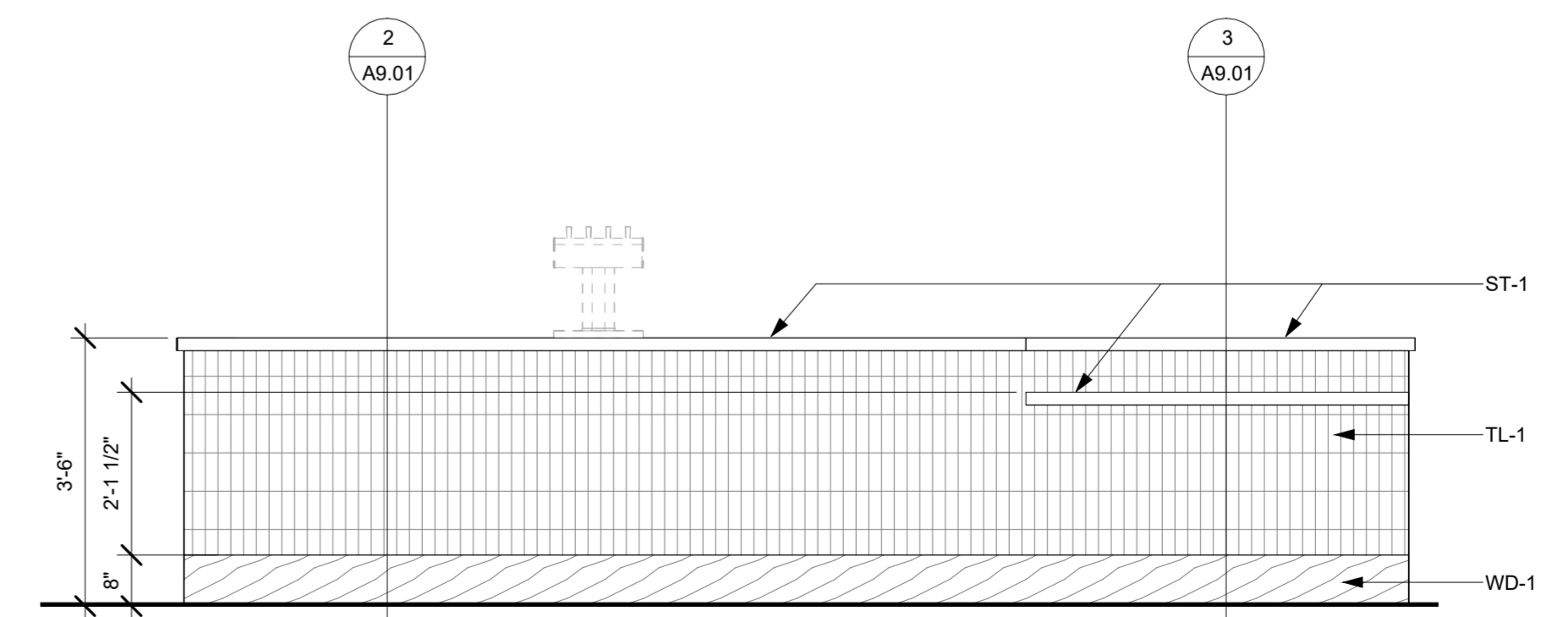
4 FRONT BAR 3  
1/2" = 1'-0"



3 FRONT BAR 4  
1/2" = 1'-0"



2 FRONT BAR 2  
1/2" = 1'-0"



1 FRONT BAR 1  
1/2" = 1'-0"

**FIXTURE SCHEDULE**

#	DESCRIPTION	MANUFACTURER	MODEL #	CONNECTIONS
1	DOUBLE SPEED RAIL	REGENCY	STAINLESS STEEL DOUBLE TIER	NONE
2	UNDERBAR ICE BIN	REGENCY	18"X36" ICE BIN	120V, FLOOR SINK
3	60" REACH-IN REFRIGERATOR	BEVERAGE-AIR	UCR60AHC	120V
4	24" REACH-IN FREEZER	BEVERAGE-AIR	UCF24AHC	120V
5	TRASH CAN	RUBBERMAID	FG354060BLA	NONE
6	DRIP TRAY WITH GLASS RINSER	MICRO MATIC	DP-120D-45GR	1/2" COLD, FLOOR SINK
7	HAND SINK WITH SPLASH GUARD, HAND TOWEL AND SOAP DISPENSER	ADVANCE TABCO	SC-15-TS-S	1/2" COLD, FLOOR SINK
8	TAP HANDLES	BEVERAGE AIR	406-083A	NONE
9	(E) GLASS STORAGE	EXISTING	EXISTING	EXISTING
10	34" REACH-IN REFRIGERATOR	BEVERAGE-AIR	UCR34HC	120V
11	3 COMPARTMENT SINK WITH DRAINBOARDS	EAGLE GROUP	310-10-3-12	1/2" COLD, FLOOR SINK
12	(E) GLASS WASHER TO REMAIN	EXISTING	EXISTING	EXISTING
13	1 COMPARTMENT PREP SINK WITH DRAINBOARD	REGENCY	60S1181818GL	1/2" COLD, FLOOR SINK

**Pizzeria Da Laura**  
91 Shattuck Square  
Berkeley, CA 94704



**NOT FOR  
CONSTRUCTION**

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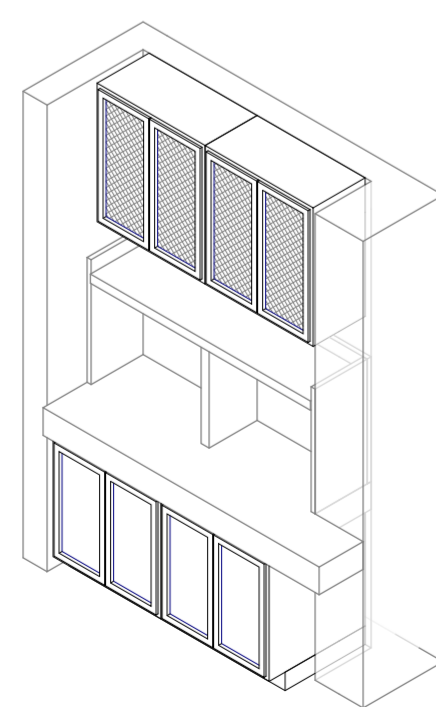
PROJECT NUMBER  
16010.00

SHEET TITLE  
**AXONOMETRIC**

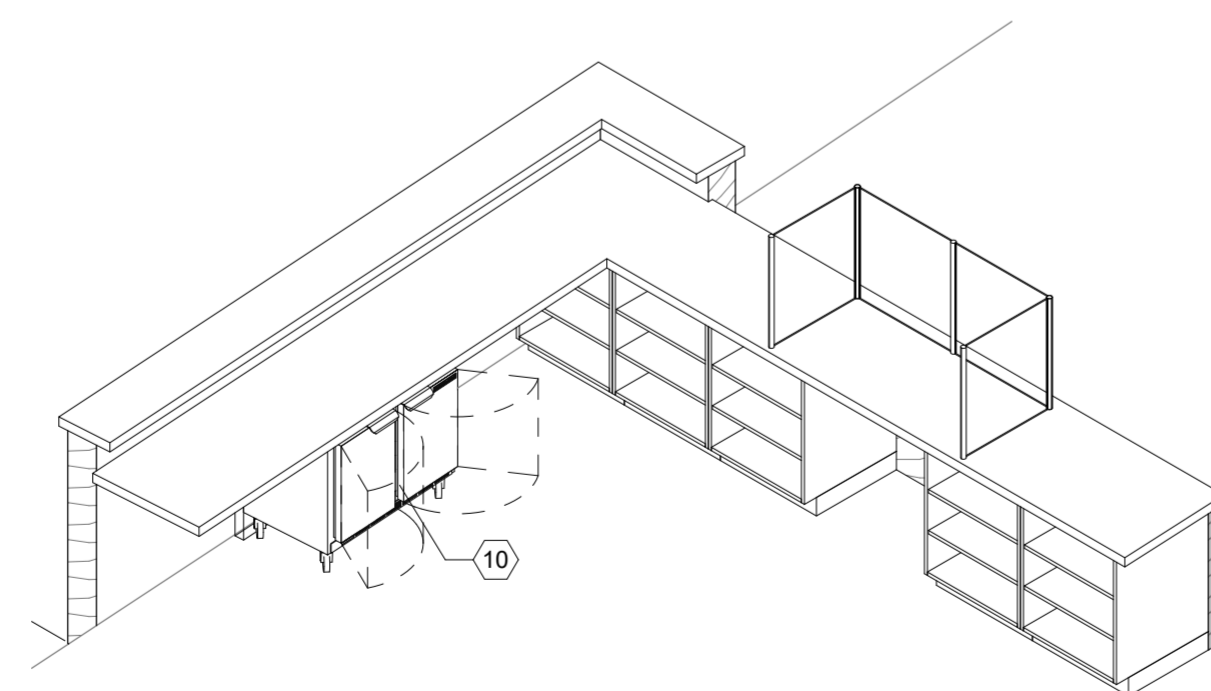
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SHEET NUMBER

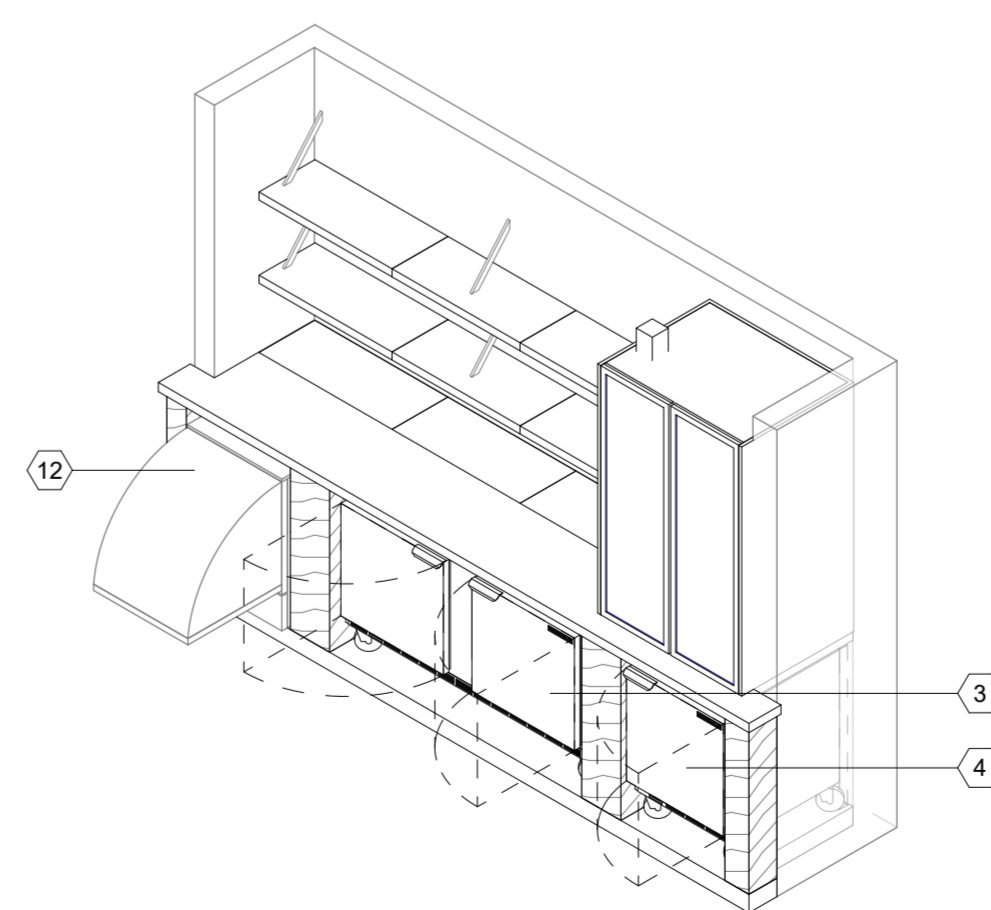
**A5.02**



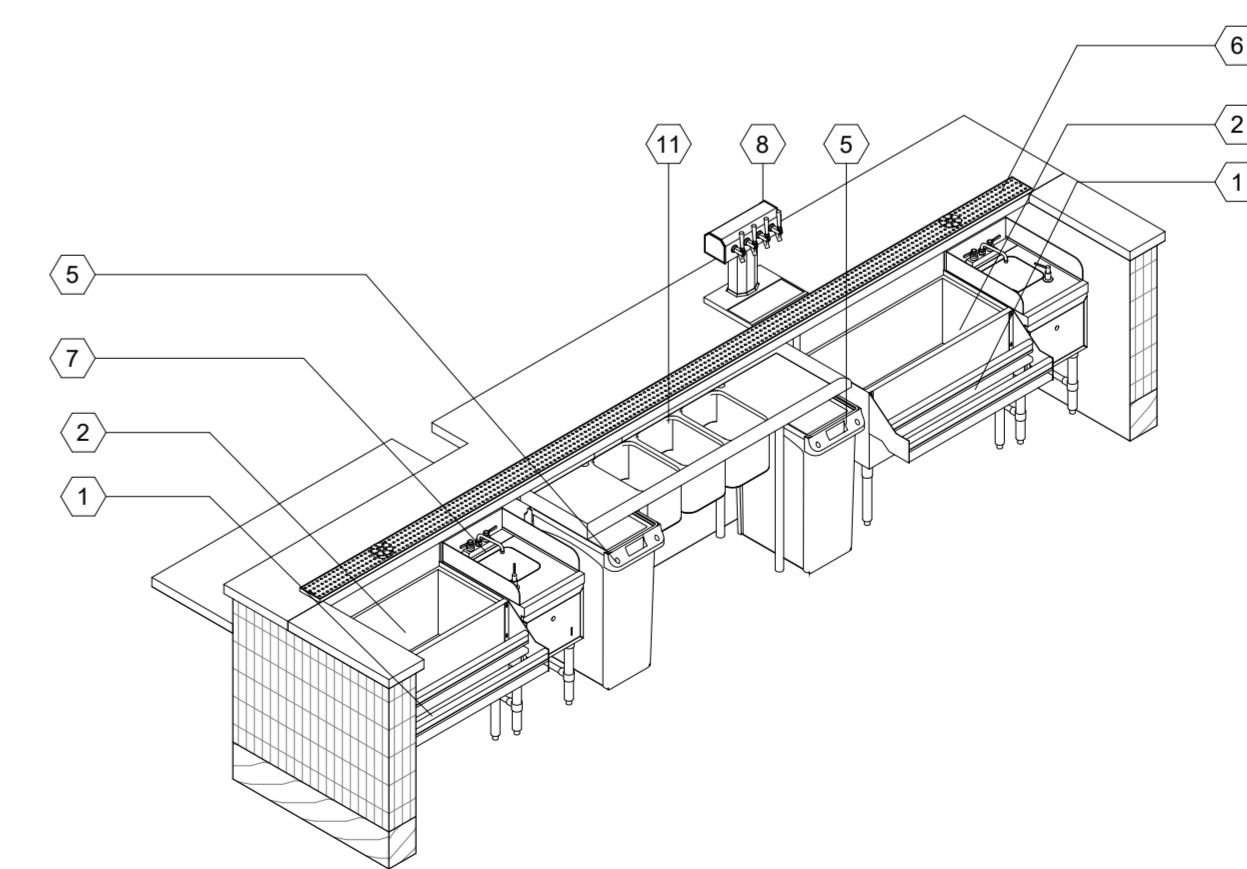
⑤ Front Counter Axonometric



③ To-Go Counter Axonometric



② Back Bar Axonometric



① Front Bar Axonometric

**Pizzeria Da Laura**  
91 Shattuck Square  
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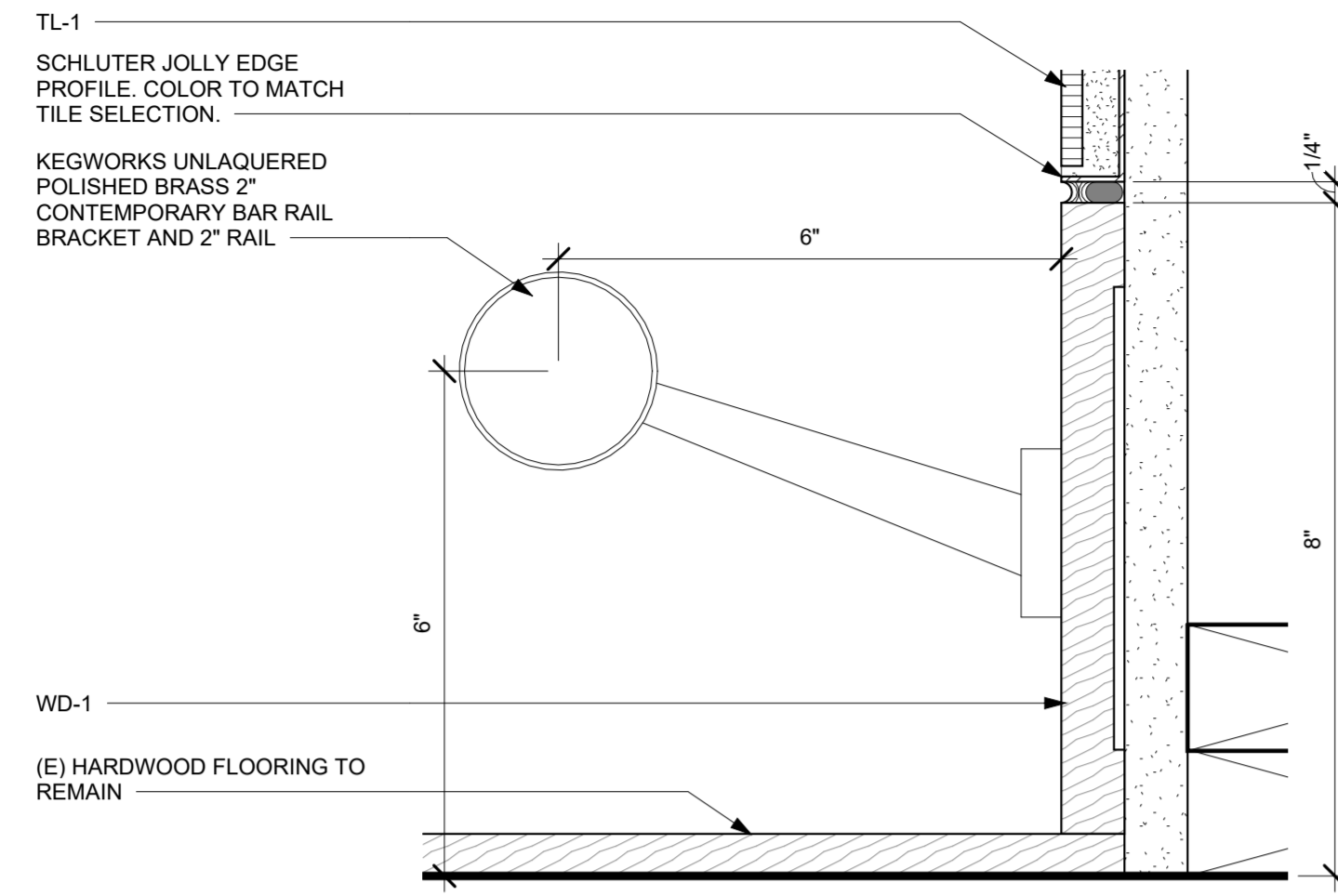
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16010.00

SHEET TITLE  
DETAILS

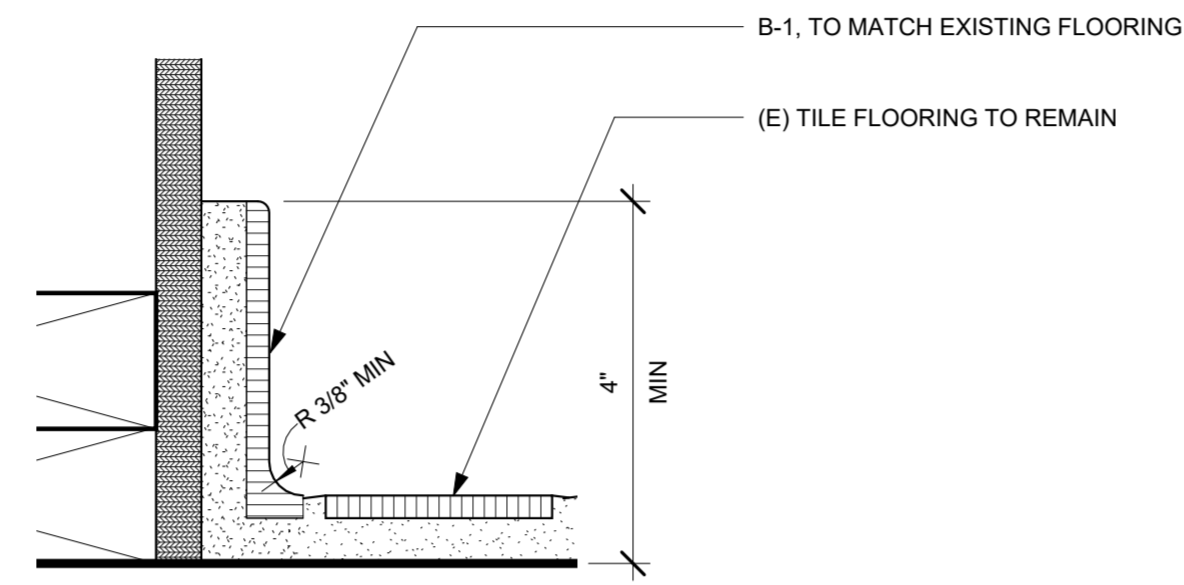
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SHEET NUMBER

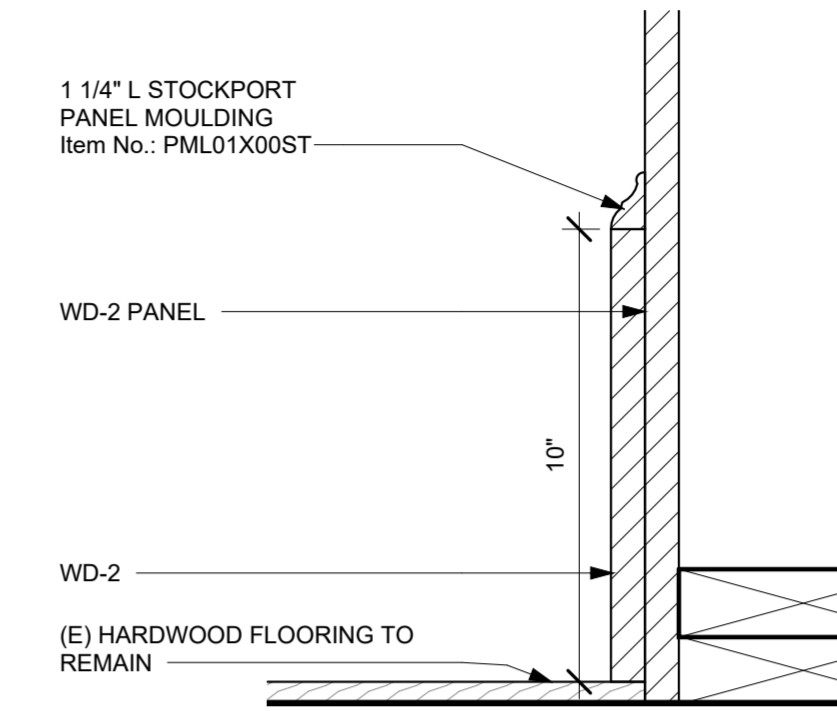
**A9.01**



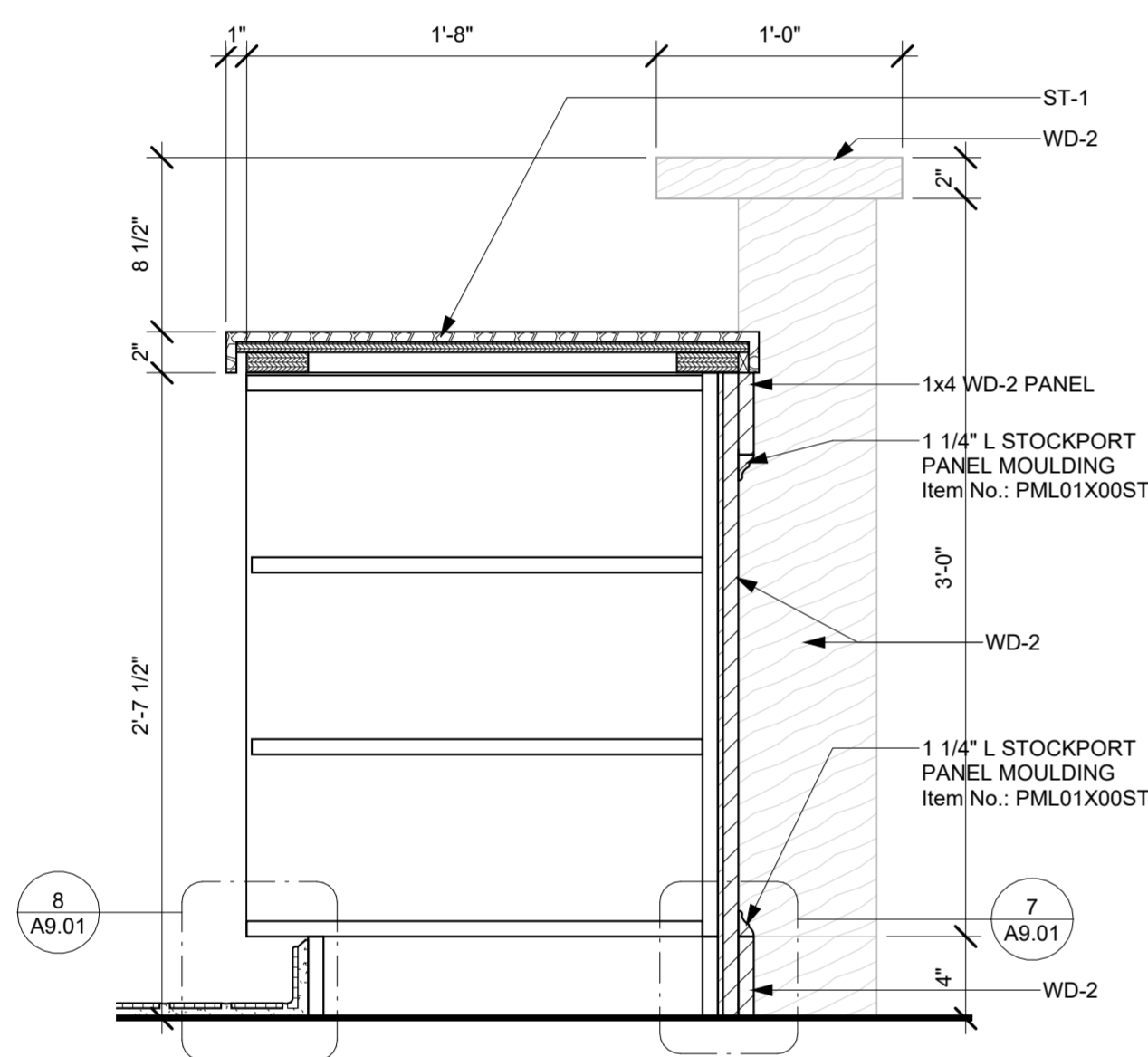
9 WOOD BASE DETAIL @ T-1 WALLS  
6\"/>



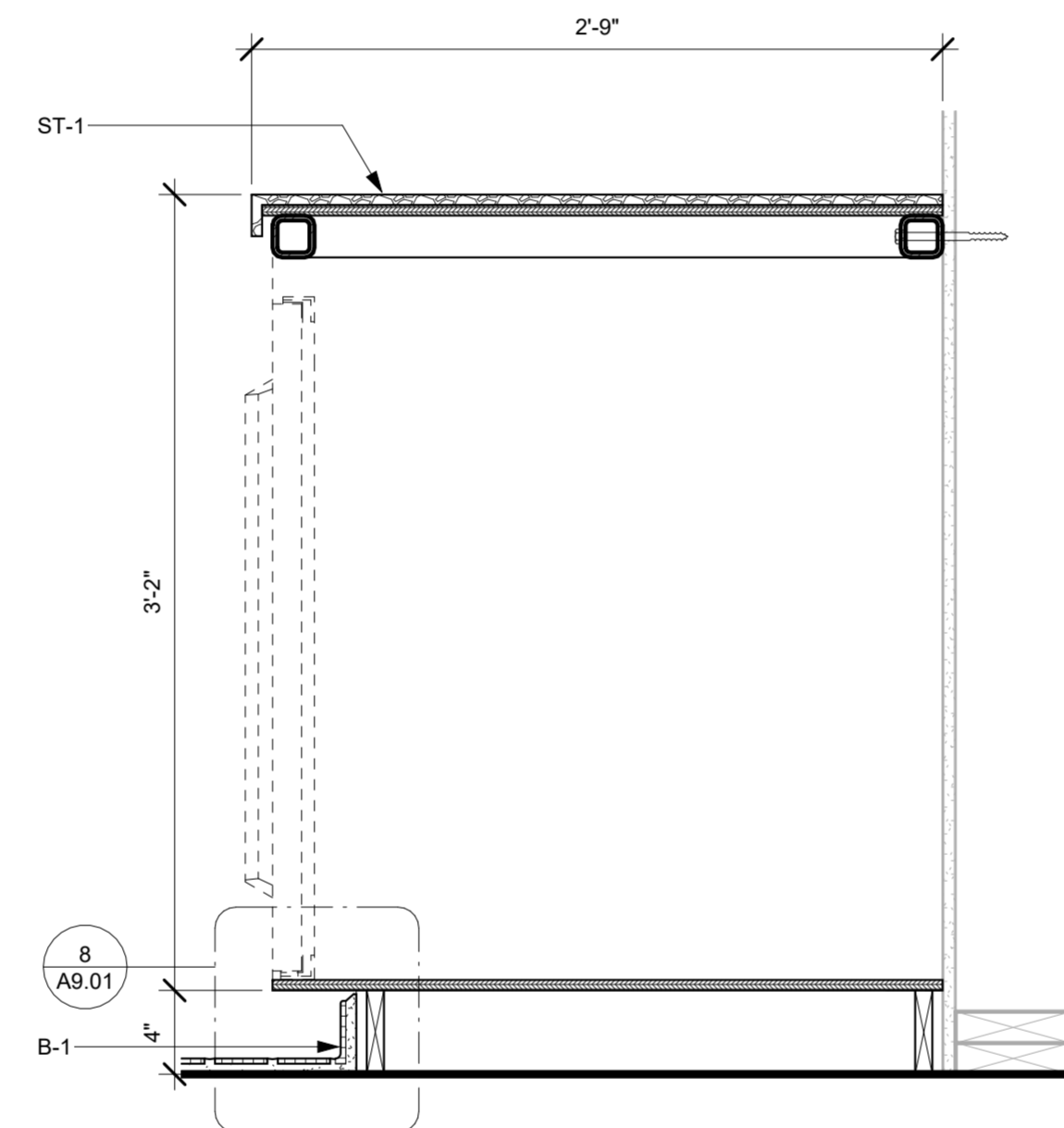
8 TYPICAL COVE TILE BASE  
6\"/>



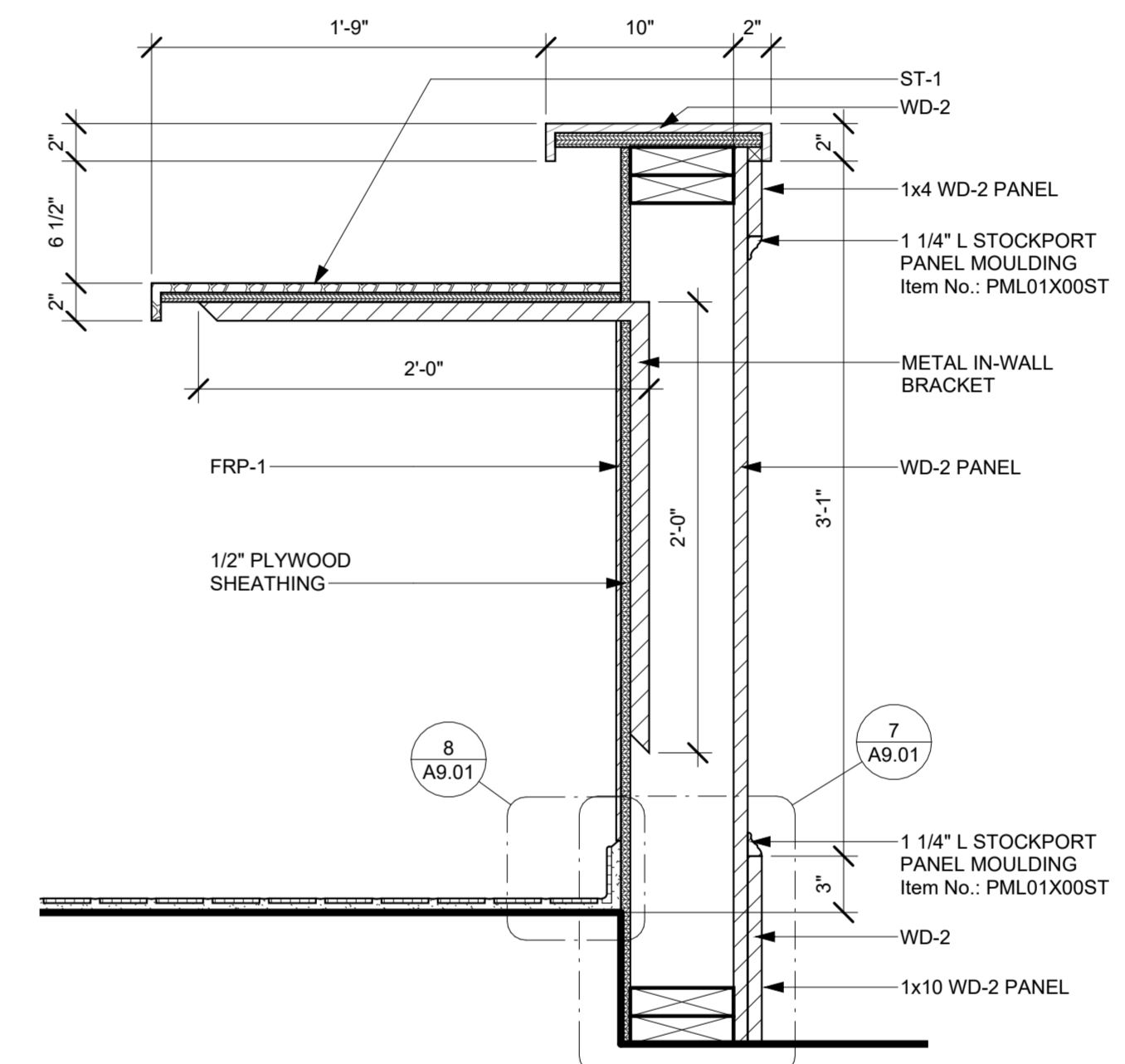
7 WOOD BASE DETAIL @ WD-1 WALLS  
3\"/>



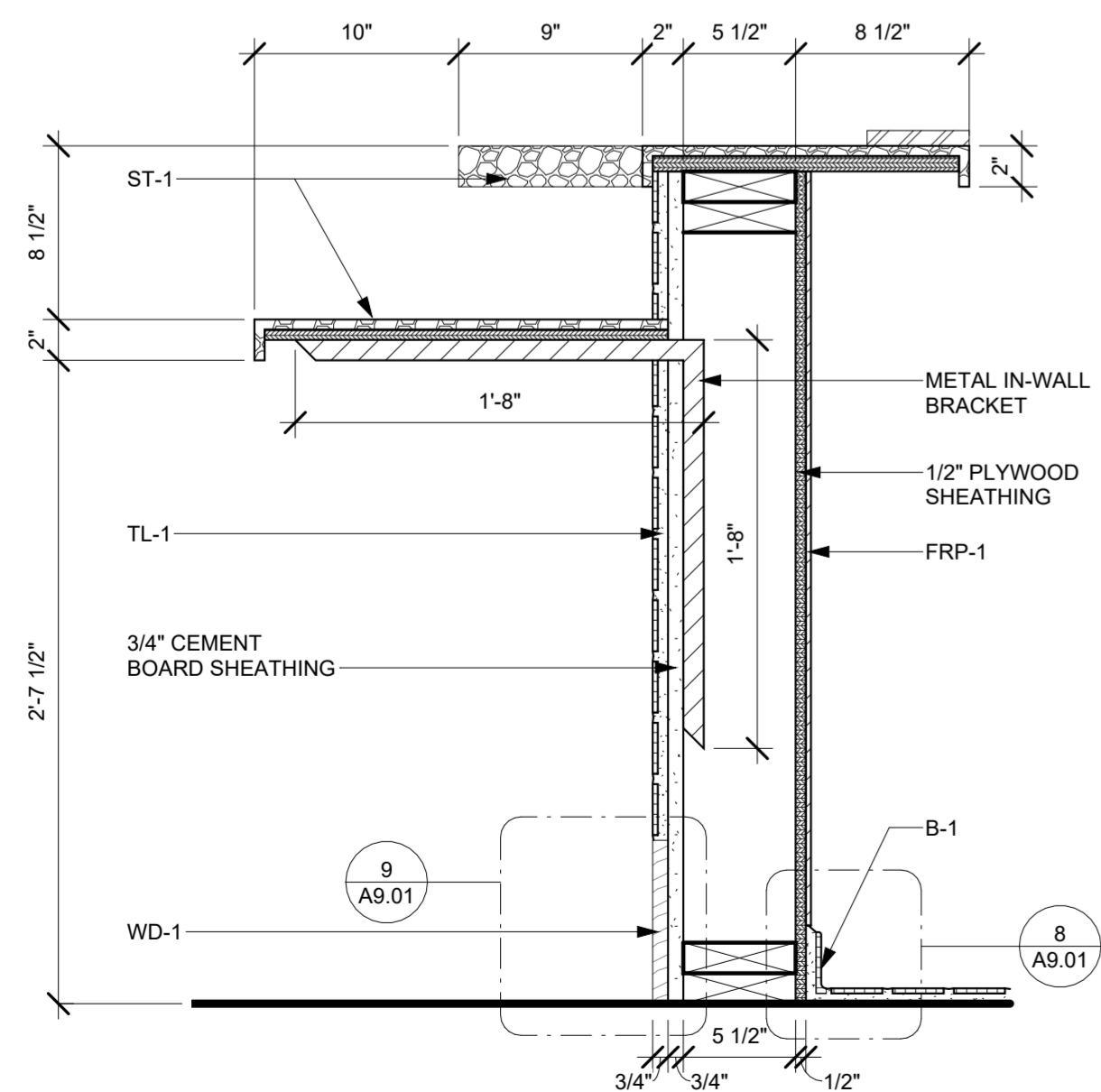
6 SECTION @ TO GO COUNTER 2  
1 1/2\"/>



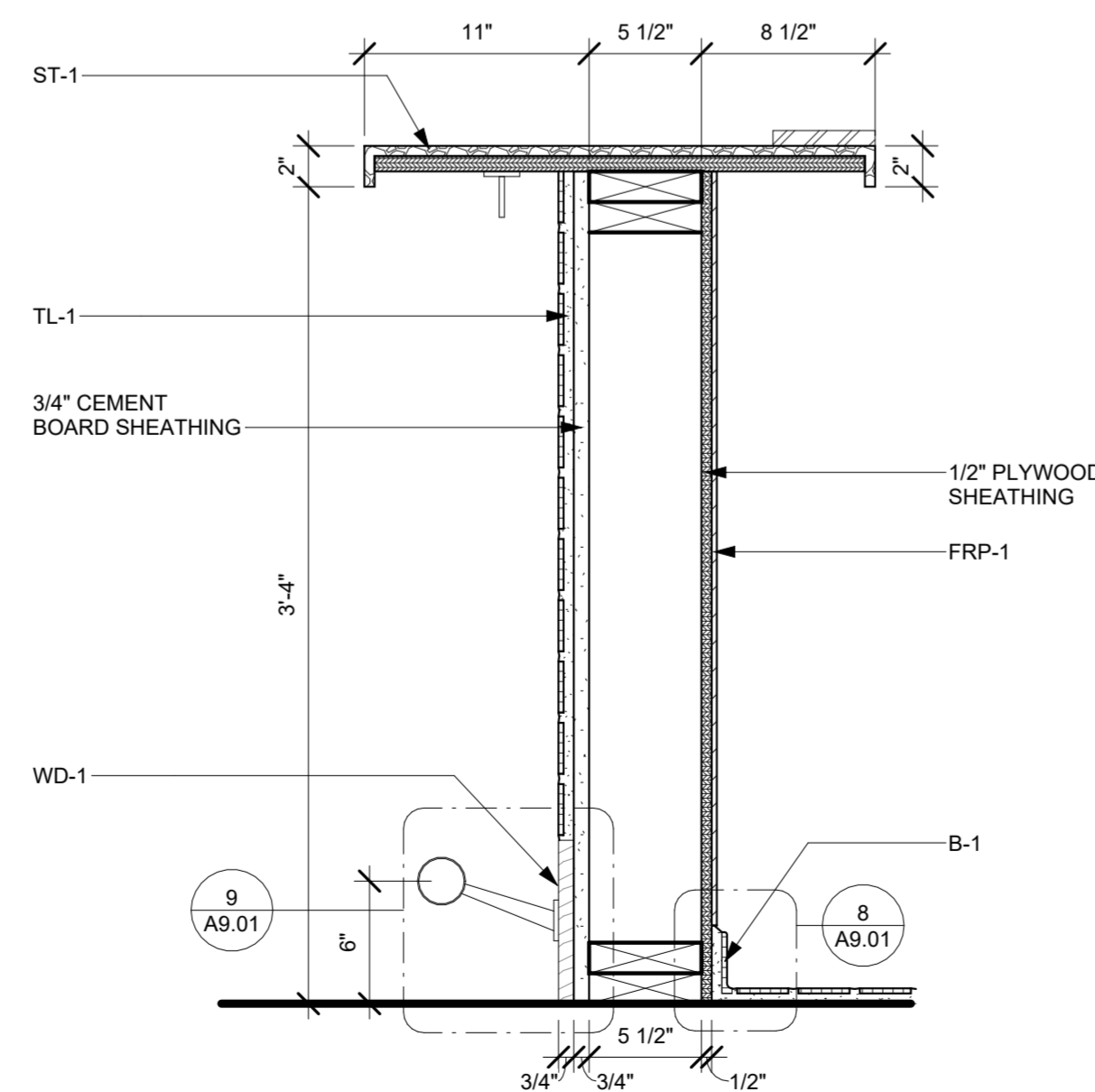
5 SECTION @ BACK BAR REFRIGERATOR/FREEZER  
1 1/2\"/>



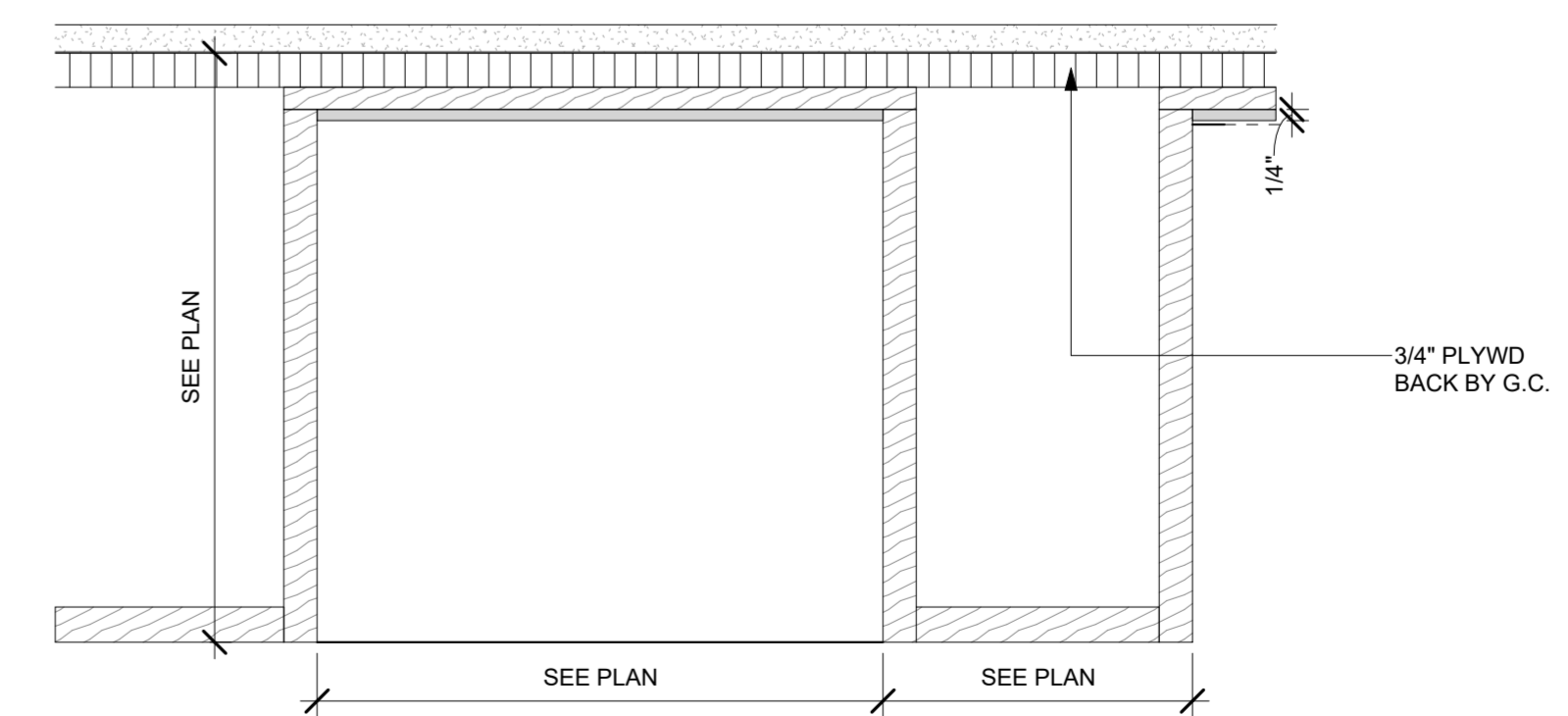
4 SECTION @ TO GO COUNTER  
1 1/2\"/>



3 SECTION @ ADA BAR  
1 1/2\"/>



2 SECTION @ BAR  
1 1/2\"/>



1 PLAN @ BACK BAR PILASTERS  
3\"/>

**Pizzeria Da Laura**  
 91 Shattuck Square  
 Berkeley, CA 94704



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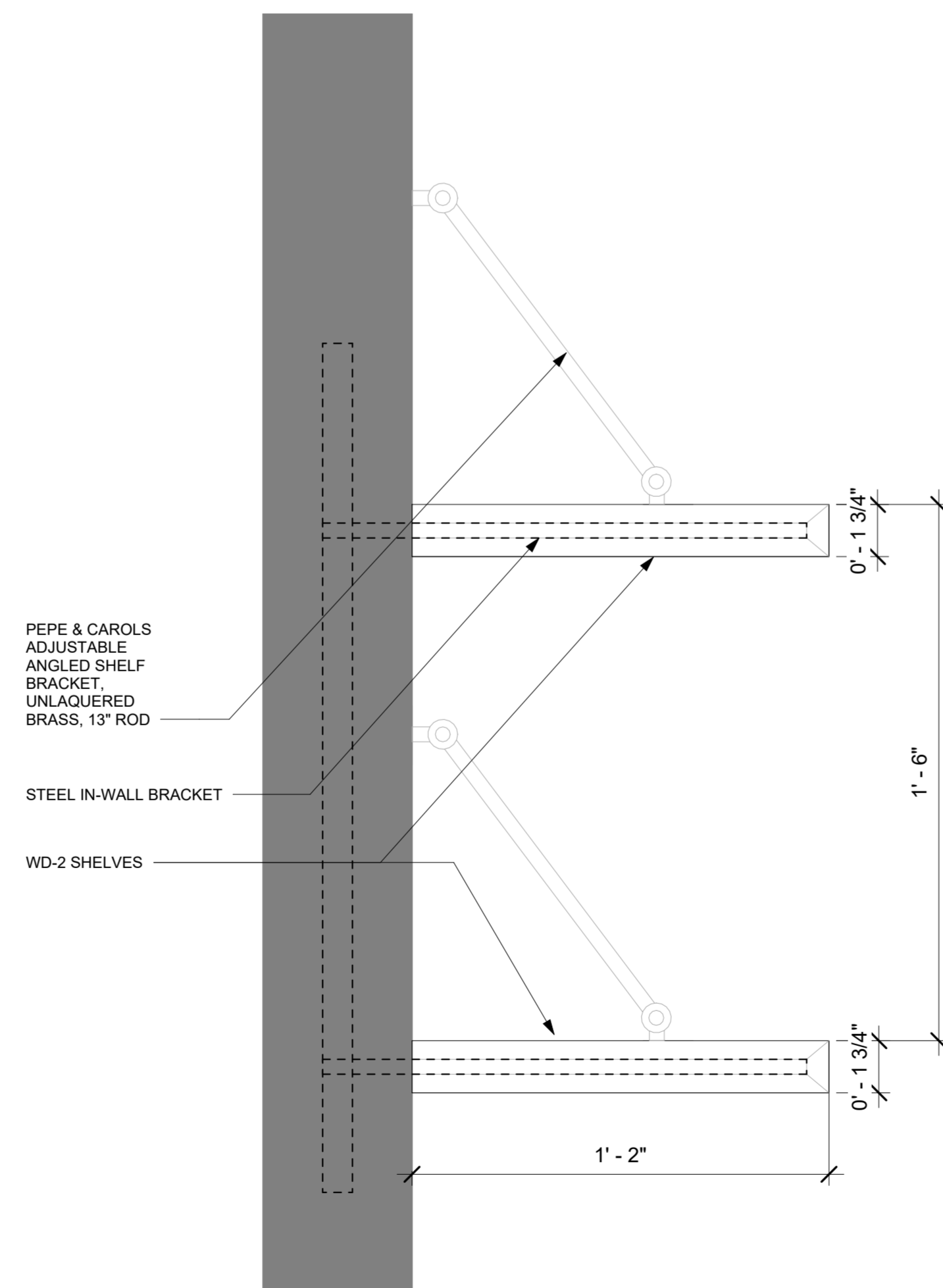
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**DETAILS**

SCALE  
 As indicated

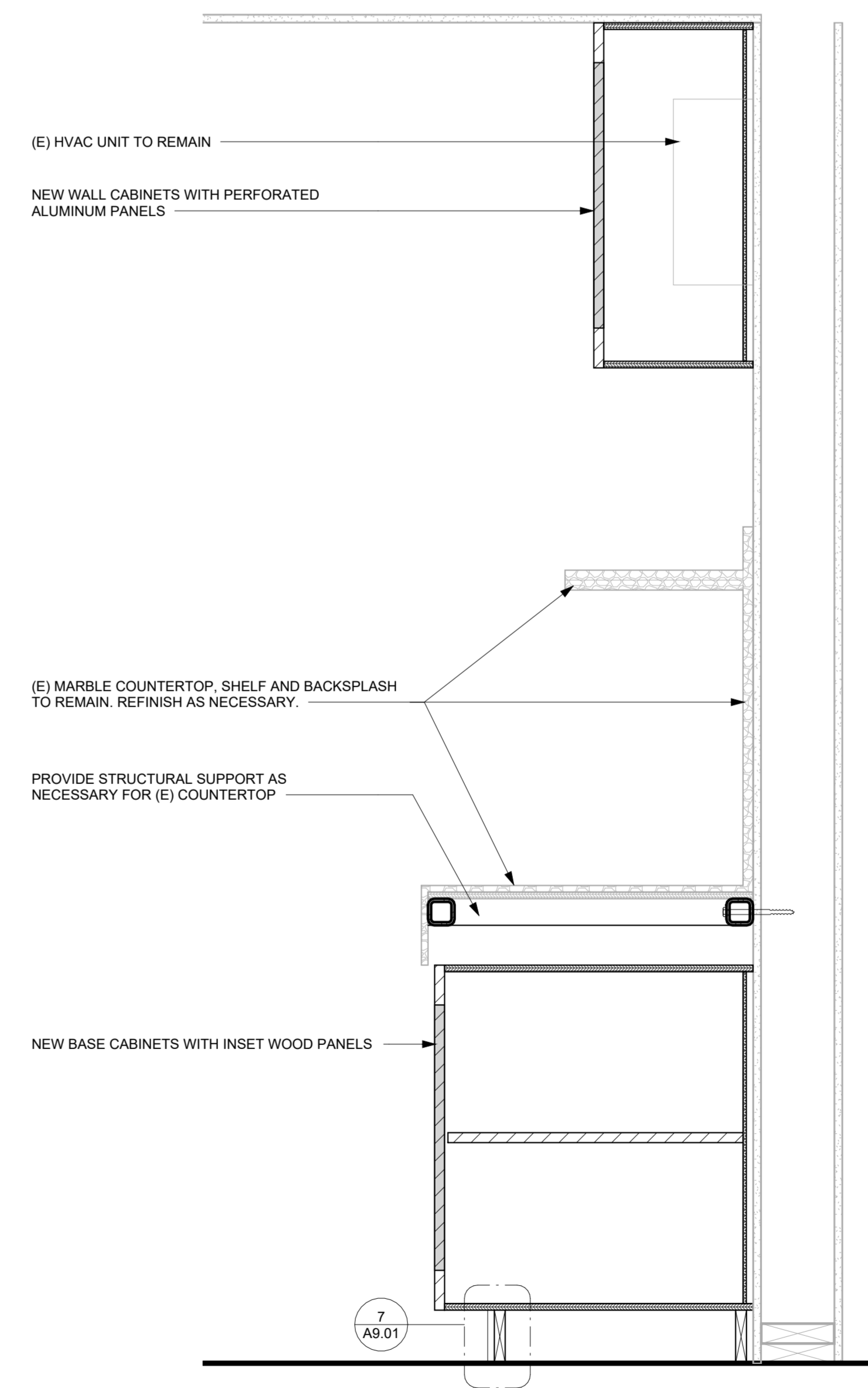
SHEET NUMBER

**A9.02**

② SECTION @ NEW SHELVING  
 3" = 1'-0"



① SECTION @ ENTRANCE COUNTER  
 1 1/2" = 1'-0"





Z O N I N G  
A D J U S T M E N T S  
B O A R D

---

NOTICE OF PUBLIC HEARING

## 2049 Shattuck Avenue

**ZP2023-0007 to modify existing Use Permit #08-0000061 to change the type of alcoholic beverage service from beer & wine (Type 41 ABC license) to beer, wine, and distilled spirits (Type 47 ABC license).**

The Zoning Adjustments Board of the City of Berkeley will hold a public hearing on the above matter, pursuant to Zoning Ordinance Section 23.404.

**When:** Thursday, May 11, 2023, 7:00 pm

**Where:** Berkeley Unified School District meeting room, 1231 Addison Street, (wheelchair accessible) with remote/hybrid option (via Zoom).

Please see the Agenda for details [https://berkeleyca.gov/sites/default/files/legislative-body-meeting-agendas/2023-05-11\\_ZAB\\_Agenda.pdf](https://berkeleyca.gov/sites/default/files/legislative-body-meeting-agendas/2023-05-11_ZAB_Agenda.pdf)

***PUBLIC ADVISORY: THIS MEETING WILL BE CONDUCTED IN A HYBRID MODEL WITH BOTH IN-PERSON ATTENDANCE AND VIRTUAL PARTICIPATION AVAILABLE FOR MEMBERS OF THE PUBLIC.***

*For in-person attendees, face coverings or masks that cover both the nose and mouth are encouraged. If you're feeling sick, please do not attend the meeting in-person as a public health precaution.*

*Currently, there are no physical distancing requirements in place by the State of California or the Local Health Officer for an indoor event similar to a Commission meeting. However, all attendees are requested to be respectful of the personal space of other attendees. An area of the public seating area will be designated as "distanced seating" to accommodate persons that need to distance for personal health reasons.*

• **Land Use Designations:**

- General Plan: DT (Downtown)
- Zoning: C-DMU (Downtown Mixed-Use)

• **Zoning Permits Required:**

- Use Permit, pursuant to BMC Section 23.310.020, to add the service of distilled spirits under a new Type 47 ABC license.

**C. CEQA Recommendation:** Categorically exempt pursuant to Section 15301 of the CEQA Guidelines ("Existing Facilities").

**D. Parties Involved:**

- Applicant                      Laura Meyer, Oakland
- Property Owner                Paul Goldstone, Berkeley

**Further Information:**

All application materials are available online at:  
<https://aca.cityofberkeley.info/CitizenAccess/Welcome.aspx>.

The Zoning Adjustments Board final agenda and staff reports will be available online 6 days prior to this meeting at: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board>.

Questions about the project should be directed to the project planner, Russell Roe, at (510) 981-7548 or [roer@cityofberkeley.info](mailto:roer@cityofberkeley.info).

Written comments or a request for a Notice of Decision should be directed to the Zoning Adjustments Board Secretary at [zab@cityofberkeley.info](mailto:zab@cityofberkeley.info).

**Communication Disclaimer:**

Communications to Berkeley boards, commissions or committees are public record and will become part of the City's electronic records, which are accessible through the City's website. **Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, will become part of the public record.** If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service or in person to the secretary of the relevant board, commission or committee. If you do not want your contact information included in the public record, please do not include that information in your communication. Please contact the secretary to the relevant board, commission or committee for further information.

**Written Comments, Communications, and Reports:**

Written comments must be directed to the ZAB Secretary at the Land Use Planning Division (Attn: ZAB Secretary), or via e-mail to: [zab@cityofberkeley.info](mailto:zab@cityofberkeley.info). All materials will be made available via the Zoning Adjustments Board Agenda page online at this address: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board>

All persons are welcome to attend the hearing and will be given an opportunity to address the Board. Comments may be made verbally at the public hearing and/or in writing before the hearing. The Board may limit the time granted to each speaker.

**Correspondence received by 5:00 PM, eight days before this public hearing, will be provided with the agenda materials provided to the Board.** Note that if you submit a hard copy document of more than 10 pages, or in color, or with photos, you must provide 15 copies. Correspondence received after this deadline will be conveyed to the Board in the following manner:

- **Correspondence received by 5:00 PM two days before** this public hearing, will be conveyed to the Board in a Supplemental Communications and Reports, which is released around noon one day before the public hearing; or
- **Correspondence received after 5:00 PM two days before** this public hearing will be saved in the project administrative record.



**Accessibility Information / ADA Disclaimer:**

To request a disability-related accommodation(s) to participate in the meeting, including auxiliary aids or services, please contact the Disability Services specialist at 981-6342 (V) or 981-6345 (TDD) at least three business days before the meeting date.

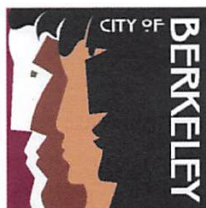
**SB 343 Disclaimer:**

Any writings or documents provided to a majority of the Commission regarding any item on this agenda will be made available to the public. Please contact the Land Use Planning Division (zab@cityofberkeley.info) to request hard-copies or electronic copies.

**Notice Concerning Your Legal Rights:**

If you object to a decision by the Zoning Adjustments Board regarding a land use permit project, the following requirements and restrictions apply:

1. If you challenge the decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice.
  2. You must appeal to the City Council within fourteen (14) days after the Notice of Decision of the action of the Zoning Adjustments Board is mailed. It is your obligation to notify the Land Use Planning Division in writing of your desire to receive a Notice of Decision when it is completed.
  3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than ninety (90) days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that ninety (90) day period will be barred.
  4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
  5. If you believe that this decision or any condition attached to it denies you any reasonable economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a "taking" of property for public use without just compensation under the California or United States Constitutions, the following requirements apply:
    - A. That this belief is a basis of your appeal.
    - B. Why you believe that the decision or condition constitutes a "taking" of property as set forth above.
    - C. All evidence and argument in support of your belief that the decision or condition constitutes a "taking" as set forth above. If you do not do so, you will waive any legal right to claim that your property has been taken, both before the City Council and in court.
-



Police Department

**March 16th, 2023**

**TO:** Russell Roe, Associate Planner  
City of Berkeley, Department of Planning and Development  
1947 Center Street  
Berkeley, CA 94704

**Re: Pizzeria da Laura., 2049 Shattuck Ave.**

Dear Mr. Roe,

This letter is in response to your request to review a proposed change to the above business as outlined in the attached Zoning Project Application. The owner (Laura Meyer) of the new restaurant Pizzeria da Laura is requesting a full liquor license at the location. The applicant/owner indicates they will obtain an Alcohol Beverage Control License Type 47 (On Sale General Eating Place).

Based on the information from the Applicant's statement and research of our records, Berkeley Police Department supports approval of this application.

This is a new restaurant in the neighborhood and we believe this addition will not cause a radical change to the neighborhood. The neighborhood is very active with businesses, other restaurants/bars, nightlife and students. The restaurant/bar will most certainly be a welcome addition to the neighborhood. A records check with ABC shows Pizzeria da Laura is in good standing.

The Pizzeria da Laura restaurant will not significantly alter vehicle or pedestrian traffic in the area. The space is an existing fixture to the northeast corner of the intersection. As stated above this area of Shattuck Ave and Addison St is very active especially since the pandemic is over. The Pizzeria da Laura restaurant at this address seems to easily fit in with the character of this neighborhood.

An analysis of police service data at 2049 Shattuck Ave, reveals 44 calls for service in our current database, over the past year. Of these calls for service, the majority of them seemed to be placed by citizens asking for assistance, for example with issues with petty theft incidents, emotionally disturbed people entering the businesses or causing disturbances.

Based on this information, we believe the proposed new restaurant is not at all likely to increase crime or disorder in the district.

Researching other applications, we have noticed a correlation between businesses having live music and increased calls for service to BPD, often for noise complaints. Pizzeria da Laura will not have live music.

A search of the California ABC public data portal shows there are no alcoholic beverage violations reported against Pizzeria da Laura.

In conclusion, we see no reason to believe this business would increase crime or calls for service in the neighborhood, and see no reason it would have an adverse effect on the health, safety, or morals of the people in the area. We believe it will in fact be a net positive as more businesses open in the neighborhood after the long closures due to the pandemic.

Sincerely,



Jennifer Louis

Interim Chief of Police

JL/gs