



Z O N I N G
A D J U S T M E N T S
B O A R D
S T A F F R E P O R T

FOR BOARD ACTION
JUNE 8, 2023

1608 Beverly Place

Use Permit #ZP2022-0167 to construct a second-story, 291 square foot residential addition to a single-family dwelling unit on a lot that is over lot coverage.

I. Background

A. Land Use Designations:

- General Plan: Low Density Residential (LDR)
- Zoning: Low Density Residential (R-1)

B. Zoning Permits Required:

- **Use Permit**, under Berkeley Municipal Code (BMC) Section 23.324.050(D)(3)(a) for an addition of a structure that exceeds the maximum allowed lot coverage; and
- **Administrative Use Permit**, under BMC Section 23.202.050(D)(2) to construct a residential addition over 14 feet in average height

C. CEQA Recommendation: It is staff's recommendation that the project is categorically exempt pursuant to Section 15301 of the CEQA Guidelines ("Existing Facilities"). The determination is made by ZAB.

D. Parties Involved:

- Applicant Stacey Eisenmann (Eisenmann Architecture), Berkeley, CA
- Property Owner Amy and Ben Chen, Berkeley, CA

Figure 1: Vicinity Map



**Map not to scale.*

Map Key

- R-1: Single-Family Residential
- R-2: Restricted Two-Family Residential
- R-2A: Restricted Multiple-Family Residential
- R-4: Multi-Family Residential
- C-N: Neighborhood Commercial

Figure 2: Site Plan – Proposed

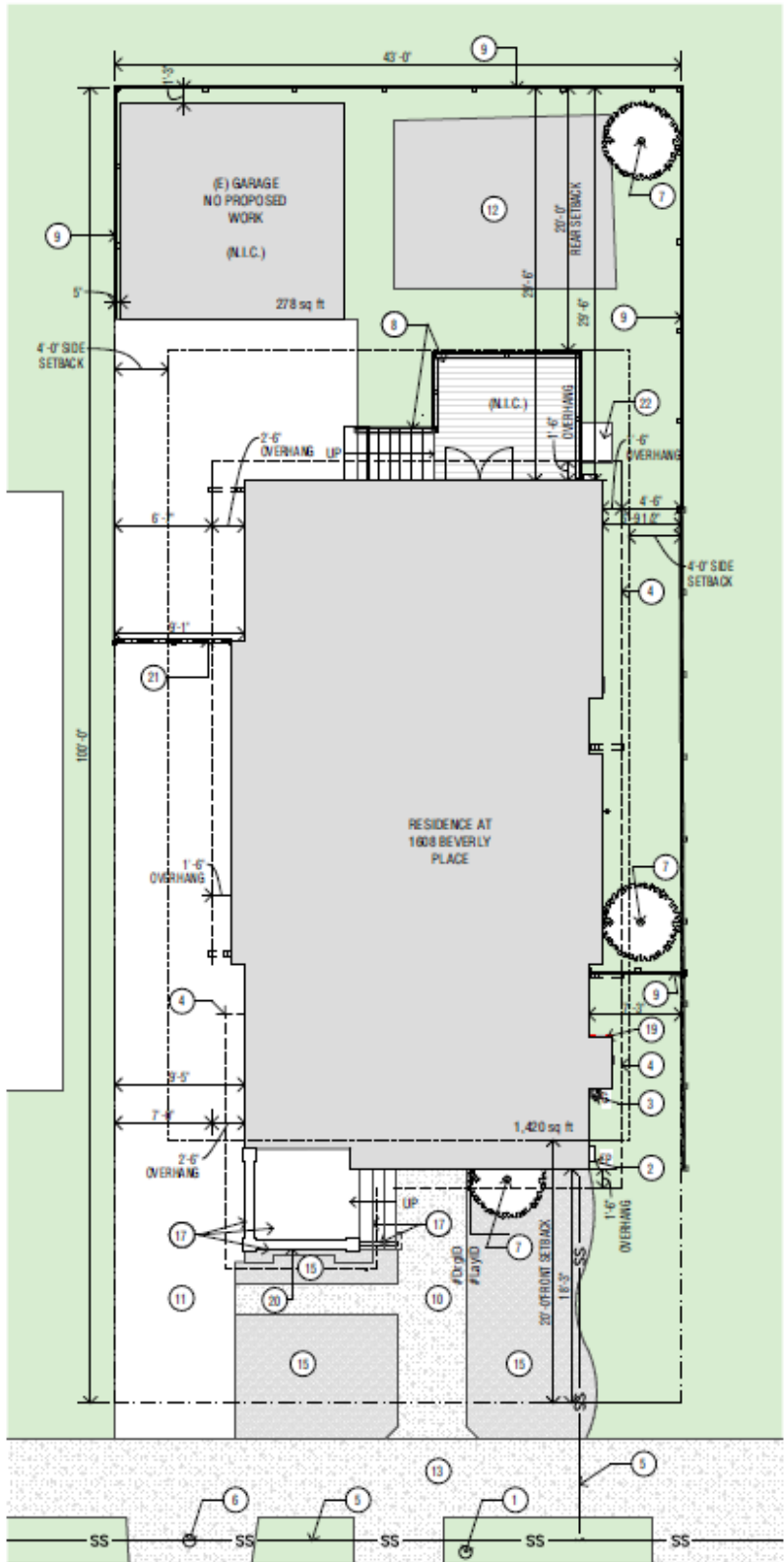


Table 1: Land Use Information

Location		Existing Use	Zoning District	General Plan Designation
Subject Property		Single-Family Dwelling	R-1	Low Density Residential
Surrounding Properties	North			
	South			
	East			
	West			

Table 2: Special Characteristics

Characteristic	Applies to Project?	Explanation
Affordable Child Care Fee for qualifying non-residential projects (Per Resolution 66,618-N.S.)	No	This fee applies to net new nonresidential floor area over 7,500 square feet. The proposed project proposes additional residential floor area and is not subject to this requirement.
Affordable Housing Fee for qualifying non-residential projects (Per Resolution 66,617-N.S.)		
Affordable / Inclusionary Housing Requirements (BMC 23.328)	No	The project is a housing development project, as defined in BMC 23.328.020 ¹ , and involves a residential unit existing as of April 1, 2023 that is being expanded, renovated, or rehabilitated, and is exempt from the provisions of BMC 23.328.
Affordable Housing Mitigations for rental housing projects (Per BMC 22.20.065)	No	This fee applies to projects that propose 5 or more rental dwelling units. This project does not propose rental units.
Alcohol Sales/Service	No	The project is a residential project
Creeks	No	The project is not located within the creek buffer.
Density Bonus	No	The project is not a density bonus project.
Natural Gas Prohibition (Per BMC 12.80.020)	No	This project would not result in the construction of a new building and is therefore not subject to the natural gas prohibition.
Historic Resources	N/A	The project site is not designated as a Landmark by the City, nor is the application proposing to demolish the existing structure.
Housing Accountability Act (Gov't Code Section 65589.5(j))	No	The project does not propose a new residential or mixed-use development consisting of residential and non-residential uses or transitional housing or supportive housing, and is therefore not subject to the Housing Accountability Act.
Housing Crisis Act of 2019 (SB330)	No	The project modifies an existing residential unit and does not proposes additional dwelling units.
Oak Trees	No	There are no oak trees on the property

¹ BMC 23.328.020(E) defines a "Housing Development Project" for purposes of inclusionary housing requirements as "a development project, including a Mixed-Use Residential project involving the new construction of at least one Residential Unit. Projects with one or more buildings or projects including multiple contiguous parcels under common ownership or control shall be considered as a sole Housing Development Project and not as individual projects.

Rent Controlled Units	No	There are no rent controlled units on the property.
Residential Preferred Parking (RPP)	No	The property is not located in an RPP eligible zone.
Seismic Hazards Map Area (SHMA)	No	The property is not located in a SHMA.
Soil/Groundwater Contamination	No	The project site is not listed on the Cortese List (an annually updated list of hazardous materials sites pursuant to Government Code Section 65962.5). Standard Conditions of Approval related to hazardous materials would apply.
Transit	Yes	The project site is within a half-mile of public transportation services. The intersection of Beverly Place and Hopkins Street is served by The Alameda-Contra Costa Transit District (AC Transit) Line 12. The intersection of Hopkins Street and The Alameda is served by AC Transit Lines 12 and 79. The site is three lots east of Monterey Avenue – a locally designated Bike Boulevard.

Table 3: Project Chronology

Date	Action
November 22, 2022	Application submitted
December 20, 2022	Application deemed incomplete
January 17, 2023	Application resubmitted
February 21, 2023	Application deemed complete
May 25, 2023	Public hearing notices mailed/posted
June 8, 2023	ZAB hearing

Table 4: Development Standards

Standard		Existing	Proposed Total	Permitted/ Required
BMC Sections 23.202.050				
Lot Area (sq. ft.)		4,300	No change	5,000 min
Gross Floor Area (sq. ft.)		2,319	2,610	N/A
Dwelling Units	Total	1	No change	N/A
	Affordable	0	No change	N/A
Building Height	Average (ft.)	26'-5"	No change	28 max
	Maximum (ft.)	29'-6 1/2"	No change	N/A
	Stories	2	No change	3 max
Building Setbacks (ft.)	Front	18'-3"	No change	20 min
	Rear	29'-6"	No change	20 min
	Left Side	9'	No change	4 min
	Right Side	7'-5"	No change	4 min

Bedrooms		5	No change	N/A
Lot Coverage (%)		41.6	No change	40 max
Usable Open Space (sq. ft.)		845	No change	400 min
Parking	Automobile	1	No change	N/A
	Bicycle	0	No change	N/A

II. Project Setting

A. Neighborhood/Area Description: The project site is located in North Berkeley, south of Marin Avenue, and a block east of the Albany-Berkeley border. The site is mid-block along Beverly Place, between Monterey Avenue and Colusa Avenue residential district composed of primarily single-family dwelling units, ranging from one to two stories.

B. Site Conditions: The project site is an interior, rectangular lot that is substandard in size for a R-1 zoned lot, as the minimum size requirement is 5,000 square feet. The substandard nature of the lot is typical for lots located within the vicinity. The 4,300 square foot lot has about 43 feet of frontage along Beverly Place. The site is currently developed with a two-story single-family dwelling and 278 square foot garage located at the rear, and is accessed by a curb cut along Beverly Place. The lot maintains nonconforming front setback and is over lot coverage by 1.6 percent.

III. Project Description

The project involves the remodeling of an existing 2,319 square foot single-family dwelling, including the construction of an approximately 291-square-foot second story addition towards the front of the residence, within the existing building foot print. The addition accommodates the reconfiguration of the second floor that will result in an expanded primary bedroom suite, an office (bedroom), and larger secondary bedrooms. The remodel results in a reduction of bedrooms on the ground floor, and the overall number of bedrooms in the dwelling. The addition will not exacerbate any existing nonconformities is compatible with characteristics with other two-story dwelling units in the surrounding neighborhood.

IV. Community Discussion

A. Neighbor/Community Concerns: A pre-application poster was erected by the applicant in November 2022. On June 1, the City mailed public hearing notices to property owners and occupants within 300 feet of the project site, and to interested neighborhood organizations and the City posted notices within the neighborhood in three locations. At the time of this writing, staff has not received any communications regarding the project.

B. Committee Review: The project is not subject to review by either the Landmarks Preservation Committee or the Design Review Commission.

V. Issues and Analysis

A. Nonconforming Lot Coverage: Per BMC Section 23.324.050(D)(3) a Use Permit is required for an addition to a structure that exceeds the maximum lot coverage. The Zoning Adjustments Board (ZAB) may approve the Use Permit only if the project does not increase the nonconformity or exceed the height limit. The existing lot maintains a lot coverage of 41.6 percent where the requirement is 40 percent. The proposed project is a second-story addition within the existing building footprint and will not increase lot coverage. To match the existing structure, the proposed addition maintains an average height of 26 feet, 5 inches, which is consistent with the underlying development standards for additions in a residential district.

A. General Non-Detriment: As required by BMC Section 23.406.040(E) and 23.202.050(D)(2), the ZAB must find that the proposed structure will not be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons and adjacent properties for any Use Permit in the R-1 district.

- 1) Views: The project does not obstruct any significant view corridors as defined in BMC Section 23.502.020(V)(12)².
- 2) Shadows: According to the shadow studies submitted for the project (see Attachment 1) new shadows shall be cast on 1604 Beverly Place, primarily during the summer months in the morning. This change in sunlight pattern are found to be reasonable given the orientation of these properties in relation to the subject building and their close proximity given the urban residential environment. These affects are not found to be detrimental because limited in duration and will not persist for extended periods throughout the year.

Shadow impact on adjacent dwellings are to be expected, because the subject site is located in the R-1 district, which allows heights of up to 28 feet. Staff believes that shadow impacts from the project would be reasonable for a second-story addition and are not detrimental.

- 3) Privacy: The project may result in potential impacts to privacy given that the project proposes an expansion of the existing second story. Perceived impacts to privacy are subjective.
- 4) Also, the project is subject to the City's standard conditions of approval regarding construction noise and air quality, waste diversion, toxics, and stormwater requirements, thereby ensuring the project would not be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the area or neighborhood of such proposed use or be detrimental or injurious

² View Corridor - A significant view of the Berkeley Hills, San Francisco Bay, Mt. Tamalpais, or a significant landmark such as the Campanile, Golden Gate Bridge, and Alcatraz Island or any other significant vista that substantially enhances the value and enjoyment of real property.

to property and improvements of the adjacent properties, the surrounding area or neighborhood or to the general welfare of the City.

B. General Plan Consistency: The 2002 General Plan contains several policies applicable to the project, including the following:

1. Policy LU-7–Neighborhood Quality of Life, Action A: Require that new development be consistent with zoning standards and compatible with the scale, historic character, and surrounding uses in the area.
2. Policy UD-16–Context: The design and scale of new or remodeled buildings should respect the built environment in the area, particularly where the character of the built environment is largely defined by an aggregation of historically and architecturally significant buildings.

Staff Analysis: The proposed project is consistent with the above general plan policies as it is residential addition to an existing single-family dwelling unit that meets the development standards of the underlying zoning district and is compatible with the existing built environment.

VI. Recommendation

Because of the project's consistency with the Zoning Ordinance and General Plan, and minimal impact on surrounding properties, staff recommends that the Zoning Adjustments Board:

APPROVE Use Permit #ZP2022-0167 pursuant to Section 23.406.040(D) and subject to the attached Findings and Conditions (see Attachment 1).

Attachments:

1. Findings and Conditions
2. Project Plans, received January 17, 2023
3. Notice of Public Hearing

Staff Planner: Katrina Lapira, klapira@berkeleyca.gov, (510) 981-7488

ATTACHMENT 1

FINDINGS AND CONDITIONS

JUNE 8, 2023

1608 Beverly Place

Use Permit #ZP2022-0167 to construct a second-story, 291 square foot residential addition to a single-family dwelling unit on a lot that is over lot coverage.

PERMITS REQUIRED

- Use Permit, under Berkeley Municipal Code (BMC) Section 23.324.050(D)(3)(a) for an addition of a structure that exceeds the maximum allowed lot coverage; and
- Administrative Use Permit, under BMC Section 23.202.050(D)(2) to construct a residential addition over 14 feet in average height

I. CEQA FINDINGS

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15301 of the CEQA Guidelines (“Existing Facilities”).
2. Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not affect any historical resource.

II. FINDINGS FOR APPROVAL

1. As required by Section 23.406.040(E)(1) of the BMC, the project, under the circumstances of this particular case existing at the time at which the application is granted, would not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:
 - A. The project will construct a second-story addition to an existing two-story single-family dwelling, of which there are several examples in the surrounding neighborhood;
 - B. The project is consistent with R-1 objective development standards and does not exacerbate or increase any non-conformities; and
 - C. The project approval is subject to the City’s standard conditions of approval regarding construction noise and air quality, waste diversion, toxics, and stormwater requirements, thereby ensuring the project will not be detrimental.

III. OTHER FINDINGS FOR APPROVAL

2. As required by Section 23.324.050(D)(3) of the BMC, the Zoning Adjustments Board may approve a Use Permit for an addition to a structure that exceeds the maximum lot coverage provided that the use is conforming and the project does not increase or exacerbate the non-conformity or exceed the height limit. The proposed project is a second-story addition within the existing building footprint and will not increase lot coverage. To match the existing

structure, the proposed addition maintains an average height of 26 feet, 5 inches, which is consistent with the underlying development standards for additions in a residential district.

IV. STANDARD CONDITIONS OF APPROVAL FOR ALL PROJECTS

The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions.' *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Compliance Required (BMC Section 23.102.050)

All land uses and structures in Berkeley must comply with the Zoning Ordinance and all applicable City ordinances and regulations. Compliance with the Zoning Ordinance does not relieve an applicant from requirements to comply with other federal, state, and City regulations that also apply to the property.

3. Approval Limited to Proposed Project and Replacement of Existing Uses (BMC Sections 23.404.060.B.1 and 2)

- A. This Permit authorizes only the proposed project described in the application. In no way does an approval authorize other uses, structures or activities not included in the project description.
- B. When the City approves a new use that replaces an existing use, any prior approval of the existing use becomes null and void when permits for the new use are exercised (e.g., building permit or business license issued). To reestablish the previously existing use, an applicant must obtain all permits required by the Zoning Ordinance for the use.

4. Conformance to Approved Plans (BMC Section 23.404.060.B.4)

All work performed under an approved permit shall be in compliance with the approved plans and any conditions of approval.

5. Exercise and Expiration of Permits (BMC Section 23.404.060.C)

- A. A permit authorizing a land use is exercised when both a valid City business license is issued (if required) and the land use is established on the property.
- B. A permit authorizing construction is exercised when both a valid City building permit (if required) is issued and construction has lawfully begun.
- C. The Zoning Officer may declare a permit lapsed if it is not exercised within one year of its issuance, except if the applicant has applied for a building permit or has made a substantial good faith effort to obtain a building permit and begin construction. The Zoning Officer may declare a permit lapsed only after 14 days written notice to the applicant. A determination that a permit has lapsed may be appealed to the ZAB in accordance with Chapter 23.410 (Appeals and Certification).
- D. A permit declared lapsed shall be void and of no further force and effect. To establish the use or structure authorized by the lapsed permit, an applicant must apply for and receive City approval of a new permit.

6. Permit Remains Effective for Vacant Property (BMC Section 23.404.060.D)

Once a Permit for a use is exercised and the use is established, the permit authorizing the use remains effective even if the property becomes vacant. The same use as allowed by the original permit may be re-established without obtaining a new permit, except as set forth in Standard Condition #5 above.

7. Permit Modifications (BMC Section 23.404.070)

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Board. The Zoning Officer may approve changes to plans approved by the Board, consistent with the Board's policy adopted on May 24, 1978, which reduce the size of the project.

8. Permit Revocation (BMC Section 23.404.080)

The City may revoke or modify a discretionary permit for completed projects due to: 1) violations of permit requirements; 2) Changes to the approved project; and/or 3) Vacancy for one year or more. However, no lawful residential use can lapse, regardless of the length of time of the vacancy. Proceedings to revoke or modify a permit may be initiated by the Zoning Officer, Zoning Adjustments Board (ZAB), or City Council referral.

9. Indemnification Agreement

The applicant shall hold harmless, defend, and indemnify the City of Berkeley and its officers, agents, and employees against any and all liability, damages, claims, demands, judgments or other losses (including without limitation, attorney's fees, expert witness and consultant fees and other litigation expenses), referendum or initiative relating to, resulting from or caused by, or alleged to have resulted from, or caused by, any action or approval associated with the project. The indemnity includes without limitation, any legal or administrative challenge, referendum or initiative filed or prosecuted to overturn, set aside, stay or otherwise rescind any or all approvals granted in connection with the Project, any environmental determination made for the project and granting any permit issued in accordance with the project. This indemnity includes, without limitation, payment of all direct and indirect costs associated with any action specified herein. Direct and indirect costs shall include, without limitation, any attorney's fees, expert witness and consultant fees, court costs, and other litigation fees. City shall have the right to select counsel to represent the City at Applicant's expense in the defense of any action specified in this condition of approval. City shall take reasonable steps to promptly notify the Applicant of any claim, demand, or legal actions that may create a claim for indemnification under these conditions of approval.

V. ADDITIONAL CONDITIONS IMPOSED BY THE ZONING ADJUSTMENTS BOARD

Pursuant to BMC 23.404.050(H), the Zoning Adjustments Board attaches the following additional conditions to this Permit:

Prior to Submittal of Any Building Permit:

10. Project Liaison. The applicant shall include in all building permit plans and post onsite the name and telephone number of an individual empowered to manage construction-related complaints generated from the project. The individual's name, telephone number, and responsibility for the project shall be posted at the project site for the duration of the project in a location easily visible to the public. The individual shall record all complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis. **Please designate the name of this individual below:**

Project Liaison _____
Name Phone #

Prior to Issuance of Any Building & Safety Permit (Demolition or Construction)

11. Construction and Demolition Diversion. Applicant shall submit a [Construction Waste Management Plan](#) that meets the requirements of BMC Chapter 19.37 including 100% diversion of asphalt, concrete, excavated soil and land-clearing debris and a minimum of 65% diversion of other nonhazardous construction and demolition waste.

12. Toxics. The applicant shall contact the Toxics Management Division (TMD) at 1947 Center Street or (510) 981-7470 to determine which of the following documents are required and timing for their submittal:

A. Environmental Site Assessments:

- 1) Phase I & Phase II Environmental Site Assessments (latest ASTM 1527-13). A recent Phase I ESA (less than 2 years old*) shall be submitted to TMD for developments for:
 - All new commercial, industrial and mixed use developments and all large improvement projects.
 - All new residential buildings with 5 or more dwelling units located in the Environmental Management Area (or EMA).
 - EMA is available online at: http://www.cityofberkeley.info/uploadedFiles/IT/Level_3_-_General/ema.pdf
- 2) Phase II ESA is required to evaluate Recognized Environmental Conditions (REC) identified in the Phase I or other RECs identified by TMD staff. The TMD may require a third party toxicologist to review human or ecological health risks that may be identified. The applicant may apply to the appropriate state, regional or county cleanup agency to evaluate the risks.
- 3) If the Phase I is over 2 years old, it will require a new site reconnaissance and interviews. If the facility was subject to regulation under Title 15 of the Berkeley Municipal Code since the last Phase I was conducted, a new records review must be performed.

B. Soil and Groundwater Management Plan:

- 1) A Soil and Groundwater Management Plan (SGMP) shall be submitted to TMD for all non-residential projects, and residential or mixed-use projects with five or more dwelling units, that: (1) are in the Environmental Management Area (EMA) and (2) propose any excavations deeper than 5 feet below grade. The SGMP shall be site specific and identify procedures for soil and groundwater management including identification of pollutants and disposal methods. The SGMP will identify permits required and comply with all applicable local, state and regional requirements.

- 2) The SGMP shall require notification to TMD of any hazardous materials found in soils and groundwater during development. The SGMP will provide guidance on managing odors during excavation. The SGMP will provide the name and phone number of the individual responsible for implementing the SGMP and post the name and phone number for the person responding to community questions and complaints.
 - 3) TMD may impose additional conditions as deemed necessary. All requirements of the approved SGMP shall be deemed conditions of approval of this Use Permit.
- C. Building Materials Survey:
- 1) Prior to approving any permit for partial or complete demolition and renovation activities involving the removal of 20 square or lineal feet of interior or exterior walls, a building materials survey shall be conducted by a qualified professional. The survey shall include, but not be limited to, identification of any lead-based paint, asbestos, polychlorinated biphenyl (PBC) containing equipment, hydraulic fluids in elevators or lifts, refrigeration systems, treated wood and mercury containing devices (including fluorescent light bulbs and mercury switches). The Survey shall include plans on hazardous waste or hazardous materials removal, reuse or disposal procedures to be implemented that fully comply state hazardous waste generator requirements (22 California Code of Regulations 66260 et seq). The Survey becomes a condition of any building or demolition permit for the project. Documentation evidencing disposal of hazardous waste in compliance with the survey shall be submitted to TMD within 30 days of the completion of the demolition. If asbestos is identified, Bay Area Air Quality Management District Regulation 11-2-401.3 a notification must be made and the J number must be made available to the City of Berkeley Permit Service Center.
- D. Hazardous Materials Business Plan:
- 1) A Hazardous Materials Business Plan (HMBP) in compliance with BMC Section 15.12.040 shall be submitted electronically at <http://cers.calepa.ca.gov/> within 30 days if on-site hazardous materials exceed BMC 15.20.040. HMBP requirement can be found at <http://ci.berkeley.ca.us/hmr/>

Prior to Issuance of Any Building (Construction) Permit

13. **HVAC Noise Reduction.** Prior to the issuance of building permits, the project applicant shall submit plans that show the location, type, and design of proposed heating, ventilation, and cooling (HVAC) equipment. In addition, the applicant shall provide product specification sheets or a report from a qualified acoustical consultant showing that operation of the proposed HVAC equipment will meet the City's exterior noise requirements in BMC Section 13.40.050. The City's Planning and Development Department shall review the submitted plans, including the selected HVAC equipment, to verify compliance with exterior noise standards.
14. **Recycling and Organics Collection.** Applicant shall provide recycling and organics collection areas for occupants, clearly marked on site plans, which comply with the Alameda County Mandatory Recycling Ordinance (ACWMA Ordinance 2012-01).
15. **Public Works ADA.** Plans submitted for building permit shall include replacement of sidewalk, curb, gutter, and other streetscape improvements, as necessary to comply with current City of Berkeley standards for accessibility.

During Construction:

16. Construction Hours. Construction activity shall be limited to between the hours of 8:00 AM and 6:00 PM on Monday through Friday, and between 9:00 AM and Noon on Saturday. No construction-related activity shall occur on Sunday or any Federal Holiday.
17. Construction and Demolition Diversion. Divert debris according to your plan and collect required documentation. Get construction debris receipts from sorting facilities in order to verify diversion requirements. Upload recycling and disposal receipts if using [Green Halo](#) and submit online for City review and approval prior to final inspection. Alternatively, complete the second page of the original [Construction Waste Management Plan](#) and present it, along with your construction debris receipts, to the Building Inspector by the final inspection to demonstrate diversion rate compliance. The Zoning Officer may request summary reports at more frequent intervals, as necessary to ensure compliance with this requirement.
18. Low-Carbon Concrete. The project shall maintain compliance with the Berkeley Green Code (BMC Chapter 19.37) including use of concrete mix design with a cement reduction of at least 25%. Documentation on concrete mix design shall be available at all times at the construction site for review by City Staff.
19. Transportation Construction Plan. The applicant and all persons associated with the project are hereby notified that a Transportation Construction Plan (TCP) is required for all phases of construction, particularly for the following activities:
 - Alterations, closures, or blockages to sidewalks, pedestrian paths or vehicle travel lanes (including bicycle lanes);
 - Storage of building materials, dumpsters, debris anywhere in the public ROW;
 - Provision of exclusive contractor parking on-street; or
 - Significant truck activity.

The applicant shall secure the City Traffic Engineer's approval of a TCP. Please contact the Office of Transportation at 981-7010, or 1947 Center Street, and ask to speak to a traffic engineer. In addition to other requirements of the Traffic Engineer, this plan shall include the locations of material and equipment storage, trailers, worker parking, a schedule of site operations that may block traffic, and provisions for traffic control. The TCP shall be consistent with any other requirements of the construction phase.

Contact the Permit Service Center (PSC) at 1947 Center Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Please note that the Zoning Officer and/or Traffic Engineer may limit off-site parking of construction-related vehicles if necessary to protect the health, safety or convenience of the surrounding neighborhood. A current copy of this Plan shall be available at all times at the construction site for review by City Staff.

20. Avoid Disturbance of Nesting Birds. Initial site disturbance activities, including vegetation and concrete removal, shall be prohibited during the general avian nesting season (February 1 to August 30), if feasible. If nesting season avoidance is not feasible, the applicant shall retain a qualified biologist to conduct a preconstruction nesting bird survey to determine the presence/absence, location, and activity status of any active nests on or adjacent to the project site. The extent of the survey buffer area surrounding the site shall be established by the qualified biologist to ensure that direct and indirect effects to nesting birds are avoided. To avoid the

destruction of active nests and to protect the reproductive success of birds protected by the MBTA and CFGC, nesting bird surveys shall be performed not more than 14 days prior to scheduled vegetation and concrete removal. In the event that active nests are discovered, a suitable buffer (typically a minimum buffer of 50 feet for passerines and a minimum buffer of 250 feet for raptors) shall be established around such active nests and no construction shall be allowed inside the buffer areas until a qualified biologist has determined that the nest is no longer active (e.g., the nestlings have fledged and are no longer reliant on the nest). No ground-disturbing activities shall occur within this buffer until the qualified biologist has confirmed that breeding/nesting is completed and the young have fledged the nest. Nesting bird surveys are not required for construction activities occurring between August 31 and January 31.

21. Archaeological Resources (Ongoing throughout demolition, grading, and/or construction). Pursuant to CEQA Guidelines section 15064.5(f), "provisions for historical or unique archaeological resources accidentally discovered during construction" should be instituted. Therefore:

- A. In the event that any prehistoric or historic subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant and/or lead agency shall consult with a qualified archaeologist, historian or paleontologist to assess the significance of the find.
- B. If any find is determined to be significant, representatives of the project proponent and/or lead agency and the qualified professional would meet to determine the appropriate avoidance measures or other appropriate measure, with the ultimate determination to be made by the City of Berkeley. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by the qualified professional according to current professional standards.
- C. In considering any suggested measure proposed by the qualified professional, the project applicant shall determine whether avoidance is necessary or feasible in light of factors such as the uniqueness of the find, project design, costs, and other considerations.
- D. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery) shall be instituted. Work may proceed on other parts of the project site while mitigation measures for cultural resources is carried out.
- E. If significant materials are recovered, the qualified professional shall prepare a report on the findings for submittal to the Northwest Information Center.

22. Human Remains (Ongoing throughout demolition, grading, and/or construction). In the event that human skeletal remains are uncovered at the project site during ground-disturbing activities, all work shall immediately halt and the Alameda County Coroner shall be contacted to evaluate the remains, and following the procedures and protocols pursuant to Section 15064.5 (e)(1) of the CEQA Guidelines. If the County Coroner determines that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to subdivision (c) of Section 7050.5 of the Health and Safety Code, and all excavation and site preparation activities shall cease within a 50-foot radius of the find until appropriate arrangements are made. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance and avoidance measures (if applicable) shall be completed expeditiously.

- 23. Paleontological Resources (Ongoing throughout demolition, grading, and/or construction).** In the event of an unanticipated discovery of a paleontological resource during construction, excavations within 50 feet of the find shall be temporarily halted or diverted until the discovery is examined by a qualified paleontologist (per Society of Vertebrate Paleontology standards [SVP 1995,1996]). The qualified paleontologist shall document the discovery as needed, evaluate the potential resource, and assess the significance of the find. The paleontologist shall notify the appropriate agencies to determine procedures that would be followed before construction is allowed to resume at the location of the find. If the City determines that avoidance is not feasible, the paleontologist shall prepare an excavation plan for mitigating the effect of the project on the qualities that make the resource important, and such plan shall be implemented. The plan shall be submitted to the City for review and approval.
- 24. Halt Work/Unanticipated Discovery of Tribal Cultural Resources.** In the event that cultural resources of Native American origin are identified during construction, all work within 50 feet of the discovery shall be redirected. The project applicant and project construction contractor shall notify the City Planning Department within 24 hours. The City will again contact any tribes who have requested consultation under AB 52, as well as contact a qualified archaeologist, to evaluate the resources and situation and provide recommendations. If it is determined that the resource is a tribal cultural resource and thus significant under CEQA, a mitigation plan shall be prepared and implemented in accordance with State guidelines and in consultation with Native American groups. If the resource cannot be avoided, additional measures to avoid or reduce impacts to the resource and to address tribal concerns may be required.
- 25. Stormwater Requirements.** The applicant shall demonstrate compliance with the requirements of the City's National Pollution Discharge Elimination System (NPDES) permit as described in BMC Section 17.20. The following conditions apply:
- A. The project plans shall identify and show site-specific Best Management Practices (BMPs) appropriate to activities conducted on-site to limit to the maximum extent practicable the discharge of pollutants to the City's storm drainage system, regardless of season or weather conditions.
 - B. Trash enclosures and/or recycling area(s) shall be covered; no other area shall drain onto this area. Drains in any wash or process area shall not discharge to the storm drain system; these drains should connect to the sanitary sewer. Applicant shall contact the City of Berkeley and EBMUD for specific connection and discharge requirements. Discharges to the sanitary sewer are subject to the review, approval and conditions of the City of Berkeley and EBMUD.
 - C. Landscaping shall be designed with efficient irrigation to reduce runoff, promote surface infiltration and minimize the use of fertilizers and pesticides that contribute to stormwater pollution. Where feasible, landscaping should be designed and operated to treat runoff. When and where possible, xeriscape and drought tolerant plants shall be incorporated into new development plans.
 - D. Design, location and maintenance requirements and schedules for any stormwater quality treatment structural controls shall be submitted to the Department of Public Works for review with respect to reasonable adequacy of the controls. The review does not relieve the property owner of the responsibility for complying with BMC Chapter 17.20 and future revisions to the City's overall stormwater quality ordinances. This review shall be shall be conducted prior to the issuance of a Building Permit.

- E. All paved outdoor storage areas must be designed to reduce/limit the potential for runoff to contact pollutants.
 - F. All on-site storm drain inlets/catch basins must be cleaned at least once a year immediately prior to the rainy season. The property owner shall be responsible for all costs associated with proper operation and maintenance of all storm drainage facilities (pipelines, inlets, catch basins, outlets, etc.) associated with the project, unless the City accepts such facilities by Council action. Additional cleaning may be required by City of Berkeley Public Works Engineering Dept.
 - G. Most washing and/or steam cleaning must be done at an appropriately equipped facility that drains to the sanitary sewer. Any outdoor washing or pressure washing must be managed in such a way that there is no discharge or soaps or other pollutants to the storm drain. Sanitary connections are subject to the review, approval and conditions of the sanitary district with jurisdiction for receiving the discharge.
 - H. All loading areas must be designated to minimize “run-on” or runoff from the area. Accumulated waste water that may contribute to the pollution of stormwater must be drained to the sanitary sewer or intercepted and pretreated prior to discharge to the storm drain system. The property owner shall ensure that BMPs are implemented to prevent potential stormwater pollution. These BMPs shall include, but are not limited to, a regular program of sweeping, litter control and spill cleanup.
 - I. Sidewalks and parking lots shall be swept regularly to prevent the accumulation of litter and debris. If pressure washed, debris must be trapped and collected to prevent entry to the storm drain system. If any cleaning agent or degreaser is used, wash water shall not discharge to the storm drains; wash waters should be collected and discharged to the sanitary sewer. Discharges to the sanitary sewer are subject to the review, approval and conditions of the sanitary district with jurisdiction for receiving the discharge.
 - J. The applicant is responsible for ensuring that all contractors and sub-contractors are aware of and implement all stormwater quality control measures. Failure to comply with the approved construction BMPs shall result in the issuance of correction notices, citations, or a project stop work order.
- 26. Public Works.** All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter thick and secured to the ground.
- 27. Public Works.** The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.
- 28. Public Works.** The project sponsor shall maintain sandbags or other devices around the site perimeter during the rainy season to prevent on-site soils from being washed off-site and into the storm drain system. The project sponsor shall comply with all City ordinances regarding construction and grading.
- 29. Public Works.** Prior to any excavation, grading, clearing, or other activities involving soil disturbance during the rainy season the applicant shall obtain approval of an erosion prevention plan by the Building and Safety Division and the Public Works Department. The applicant shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.

30. Public Works. The removal or obstruction of any fire hydrant shall require the submission of a plan to the City's Public Works Department for the relocation of the fire hydrant during construction.
31. Public Works. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.

Prior to Final Inspection or Issuance of Occupancy Permit:

32. Compliance with Conditions. The project shall conform to the plans and statements in the Use Permit. The developer is responsible for providing sufficient evidence to demonstrate compliance with the requirements throughout the implementation of this Use Permit.
33. Compliance with Approved Plan. The project shall conform to the plans and statements in the Use Permit. All landscape, site and architectural improvements shall be completed per the attached approved drawings received January 17, 2023, except as modified by conditions of approval.

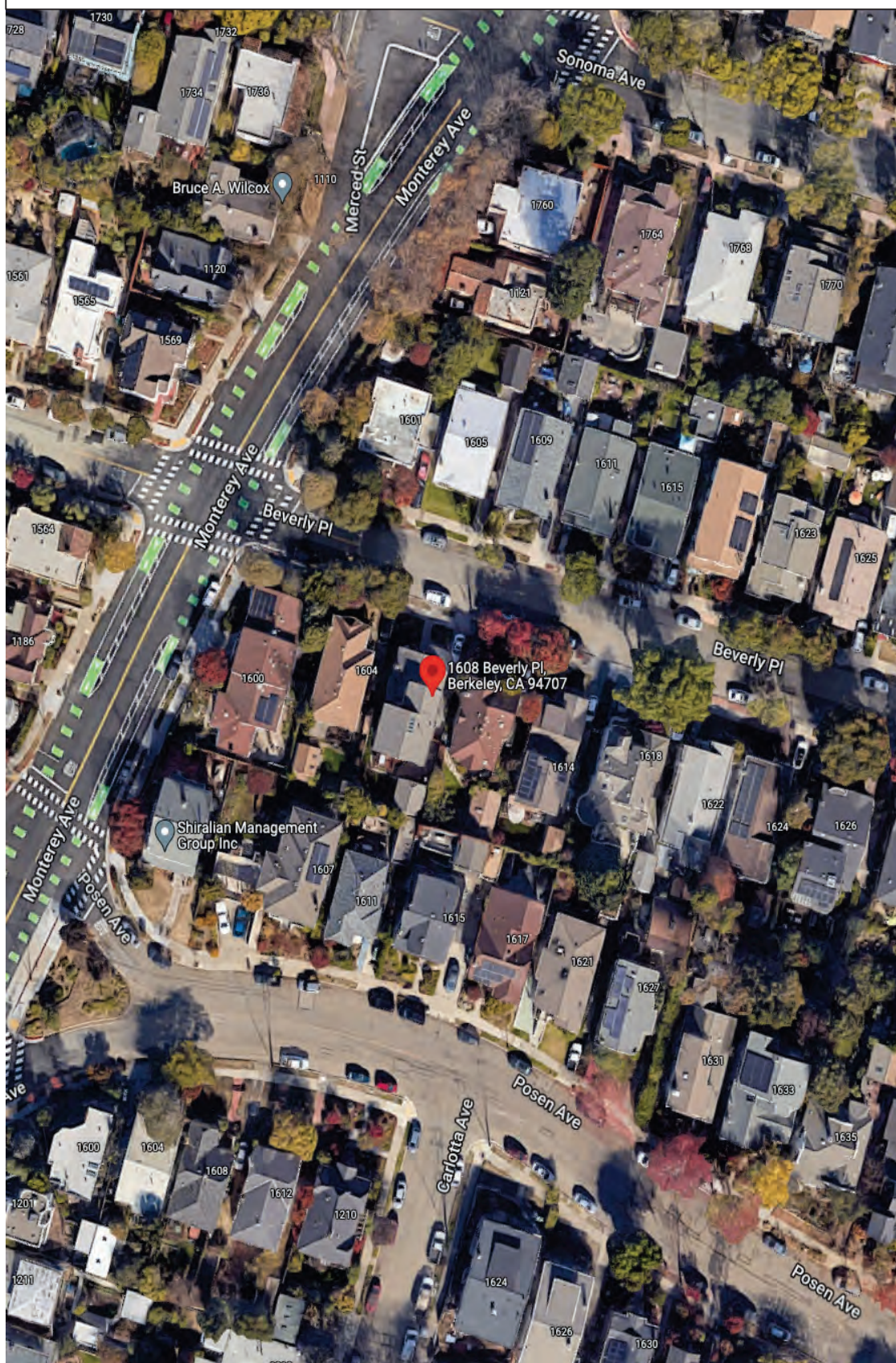
At All Times:

34. Exterior Lighting. All exterior lighting shall be energy efficient where feasible; and shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
35. Rooftop Projections. No additional rooftop or elevator equipment shall be added to exceed the approved maximum roof height without submission of an application for a Use Permit Modification, subject to Board review and approval.
36. Drainage Patterns. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.
37. Loading. All loading/unloading activities associated with deliveries to all uses shall be restricted to the hours of 7:00 a.m. to 10:00 p.m. daily.

PHOTOS



VICINITY MAP



PROJECT INFORMATION

PROJECT ADDRESS	1608 BEVERLY PLACE, BERKELEY, CA 94707
ASSESSOR'S PARCEL	061-2607-003
OCCUPANCY	R3
ZONING DISTRICT	R1
GENERAL PLAN AREA	LDR
CONSTRUCTION TYPE	V8
SPRINKLER & FIRE ALARM SYSTEM	NO
LIQUIFRACTION ZONE	NO
LANDMARKS OR STRUCTURE OF MERIT	NO
EARTHQUAKE FAULT RUPTURE ZONE	NO
LANDSLIDE	NO
HAZARDOUS WASTE ZONE	NO
FIRE ZONE	1
FLOOD ZONE	NO
NUMBER OF STORES	2
BUILDING AREA	2,610 SF
PROJECT DESCRIPTION	Remove (E) masonry chimney. Install (N) gas fireplace in (E) location. Replace (E) bedroom at second floor with (N) Main bath. Expand (E) second floor footprint for 4th bedroom and (N) Office/Bedroom. (N) exterior finishes, windows and exterior doors. Area of proposed addition is 291 square feet.

DRAWING INDEX

	SUBMISSION # DATE	PLANNING #1 11.14.22	PLANNING #2 01.13.23	PLANNING #3 05.18.23				
ARCHITECTURAL								
A0.0	COVER SHEET	X	X	X				
A0.1	GENERAL NOTES	X	X	X				
A0.2	SHADOW STUDY - SUMMER SOLSTICE		X	X				
A0.3	SHADOW STUDY - WINTER SOLSTICE		X	X				
A0.4	PERSPECTIVE SHADOW STUDIES & NEIGHBORS ELEVATIONS		X	X				
A0.5	PERSPECTIVE SHADOW STUDIES		X	X				
PROPERTY SURVEY								
A1.1	SITE PLANS	X	X	X				
A2.0	DEMOLITION FLOOR PLANS	X	X	X				
A2.1	DEMOLITION FLOOR PLANS CONT'D		X	X				
A2.2	PROPOSED FLOOR PLANS	X	X	X				
A2.3	PROPOSED FLOOR PLANS CONT'D		X	X				
A3.0	DEMOLITION EXTERIOR ELEVATIONS		X	X				
A3.1	PROPOSED EXTERIOR ELEVATIONS	X	X	X				
A3.2	DEMOLITION & PROPOSED BUILDING SECTIONS	X	X	X				
A3.3	EXISTING EXTERIOR SITE PHOTOS	X	X	X				

architect

EISENMANN
Architecture

contact STACY EISENMANN
address 1331 7TH STREET SUITE G
BERKELEY CA 94710

phone 510 558 8442
email team@eisenmannarchitecture.com

stamp

All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used or disclosed without written consent of Eisenmann Architecture.

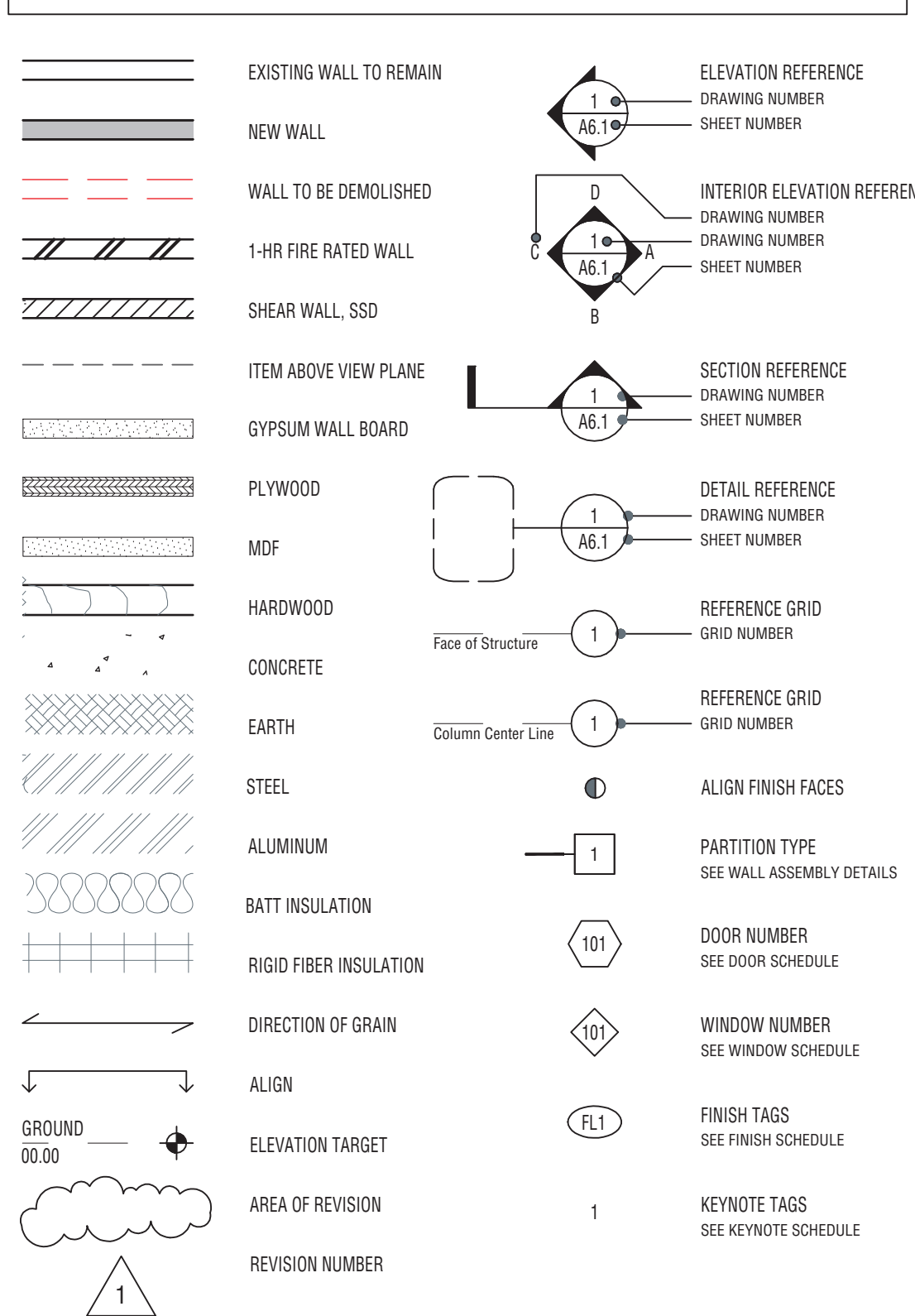
project
CHEN RESIDENCE

contacts AMY & BEN CHEN
address 1608 BEVERLY PLACE
BERKELEY, CA, 94706
phone 510.725.2419
310.560.9495
email afujimotochen@gmail.com
benchen975@gmail.com

ABBREVIATIONS

& #	AND AT POUND OR NUMBER	FT	FOOT	PEN	PLYWOOD EDGE NAILING
AB	ANCHOR BOLT	FTG	FOOTING	PL	PROPERTY LINE
ACOUS	ACOUSTIC	FURR	FURRING	PLAM	PLASTIC LAMINATE
ADD	ADDITION	GALV	GALVANIZED	PLWD	PLYWOOD
ADJ	ADJUSTABLE	GC	GENERAL CONTRACTOR	PNT	PAINTED
AFF	ABOVE FINISH FLOOR	GEC	GROUNDING ELECTRODE CONDUCTOR	PR	PAIR
ALT	ALTERNATE	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	PTR	PRESSURE TREATED
ALUM	ALUMINUM	GFI	GROUNDING INTERRUPTER	QTY	QUANTITY
BD	BOARD	GL	GLASS	R	RISER
BLDG	BUILDING	GLB	GLUE LAM BEAM	RAD	RADIUS
BLK	BLOCK	GR	GRADE	RDWD	REDWOOD
BLKG	BLOCKING	GR	GROSS SQUARE FEET	REF	REFRIGERATOR
BOT	BOTTOM OF TRUSS	GSM	GALVANIZED SHEET METAL	REIN	REINFORCED
BOW	BOTTOM OF WALL	GV	GAS VENT	REQD	REQUIRED
BSMT	BASEMENT	GWB	GYPSUM WALL BOARD	RESIL	RESILIENT
C	CENTERLINE	H	HEIGHT	REV	REVISION
CEM	CEMENT	HB	HOSE BIB	RFG	ROOFING
CJ	CONTROL JOINT	HDR	HANDRAIL	RM	ROOM
CLKG	CAULKING	HDWD	HARDWOOD	RWD	RAINWATER DRAINAGE
CLNG	CEILING	HGT	HEIGHT	RWL	RAINWATER LEADER
CLR	CLEAR	HORIZ	HORIZONTAL	SCHED	SCHEDULE
CMU	CONCRETE MASONRY UNIT	HC	HOLLOW CORE	SECT	SECTION
COL	COLUMN	HR	HOUR	SF	SQUARE FOOT/ FEET
CONC	CONCRETE	HW	HOT WATER	SHT MTL	SHEET METAL
CONSTR	CONSTRUCTION	IN	INCH	SIM	SIMILAR
CONT	CONTINUOUS	INCL	INCLUDING	SKL	SKYLIGHT
COORD	COORDINATE	INSUL	INSULATION	SL	SEAL
CT	CERAMIC TILE	INT	INTERIOR	SLD	SEE LANDSCAPE
CTSK	COUNTERSUNK	INTM	INTERMEDIATE	DR	DRAWINGS
d	DEMO	INTM	INTERMEDIATE	SPEC	SPECIFICATIONS
D	DEPTH	JT	JOINT	SO	SQUARE
DET	DETAIL	JST	JOIST	SSD	SEE STRUCTURAL DRAWINGS
DBL	DOUBLE	KD	KILN DRIED	SSTL	STAINLESS STEEL
DF	DOUGLAS FIR	STD	STANDARD	STD	STANDARD
DIA	DIAMETER	STL	STEEL	STL	STEEL
DIM	DIMENSION	STOR	STORAGE	STRUC	STRUCTURAL
DN	DOWN	SYM	SYMBOL	SYS	SYSTEM
DS	DOWNSPOUT	MAX	MAXIMUM	T	TREAD
DW	DISHWASHER	MB	MACHINE BOLT	T&G	TONGUE AND GROOVE
DWG	DRAWING	MDF	MEDIUM DENSITY FIBERBOARD	TEL	TELEPHONE
E	EAST	MECH	MECHANICAL	THK	THICK
(E)	EXISTING	MEMB	MEMBRANE	TO	TOP OF
EA	EACH	MFR	MANUFACTURER	TOS	TOP OF STRUCTURE
EL	ELEVATION	MIN	MINIMUM	TOT	TOP OF TRUSS
ELEC	ELECTRICAL	MISC	MISCELLANEOUS	TOW	TOP OF WALL
ELEC	ELECTRICAL	MTD	MOUNTED	TYP	TYPICAL
EP	ELECTRICAL PANEL	MTL	METAL	UON	UNLESS OTHERWISE NOTED
EXP-JT	EXPANSION JOINT	MUL	MULLION	VERT	VERTICAL
EQ	EQUAL	N	NORTH	NIC	NOT IN CONTRACT
EXT	EXTERIOR	(N)	NEW	NO	NUMBER
FD	FLOOR DRAIN	NIC	NOT IN CONTRACT	NSF	NET SQUARE FEET
FDN	FOUNDATION	NS	NOT TO SCALE	NTS	NOT TO SCALE
FE	FIRE EXTINGUISHER	OC	ON CENTER	W	WIDTH
FF	FINISH FLOOR	OFCD	OWNER FURNISHED / CONTRACTOR INSTALLED	W	WITH
FIN	FINISH	OPNG	OPENING	WC	WATER CLOSET
FL	FLOOR	OSB	ORIENTED STRAND BOARD	WD	WOOD
FOC	FACE OF CONCRETE			W/D	WASHER / DRYER
FOF	FACE OF FINISH			WDW	WINDOW
FOS	FACE OF STUD			WP	WATER PROOFING
FOSH	FACE OF SHEATHING			WRC	WESTERN RED CEDAR
FRMG	FRAMING				

LEGEND

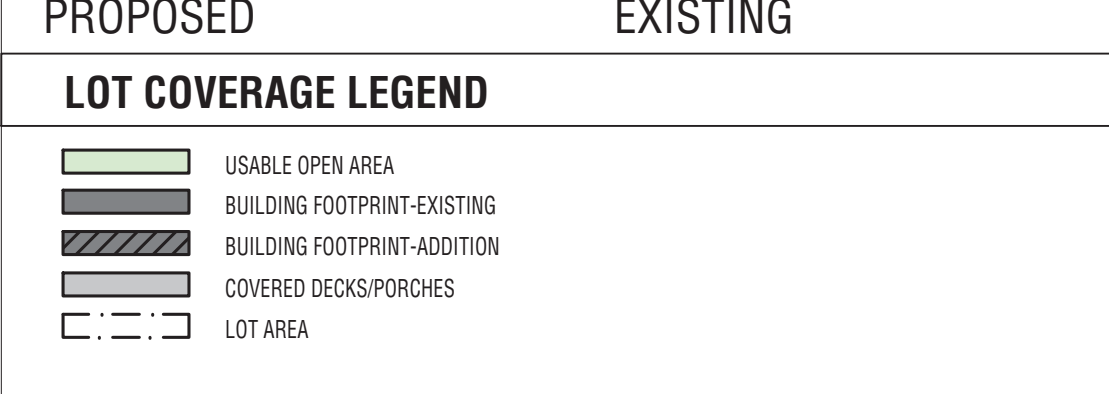
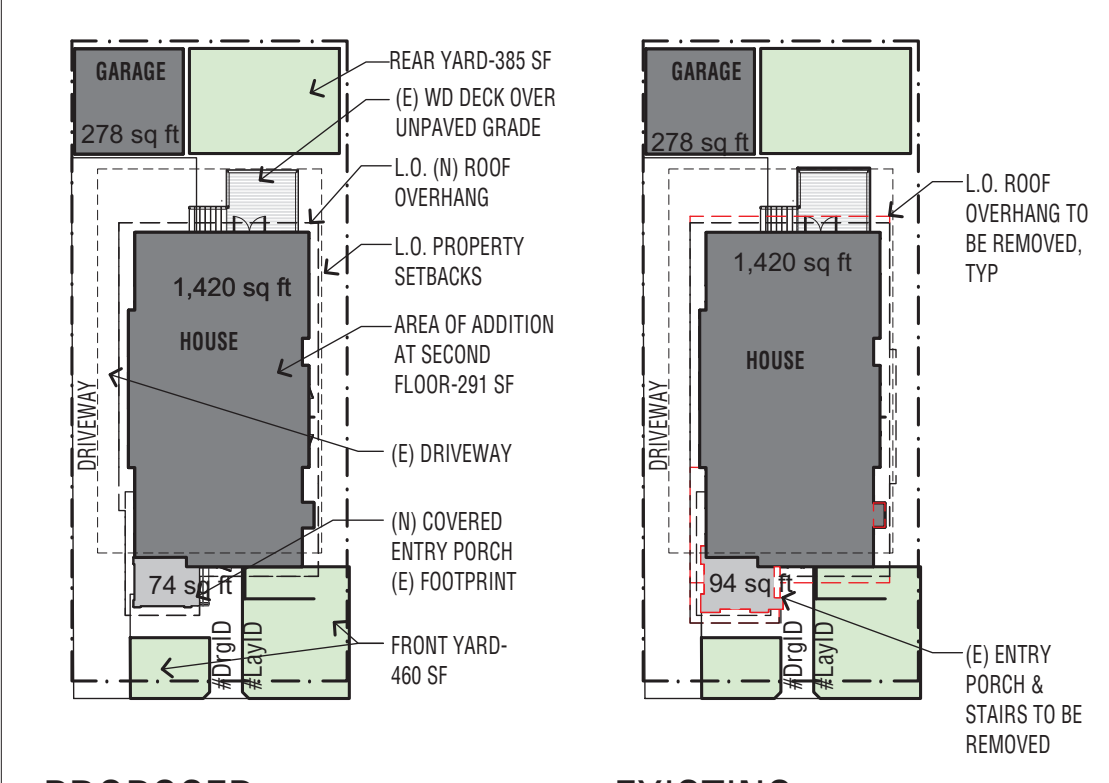


FLOOR AREA RATIO DIAGRAMS & CALCULATIONS

PROPOSED LOT COVERAGE (MAX 41.2% OR 1,772 sq. ft.)
LOT SIZE 4,300 SF

FOOTPRINT-GARAGE 278 SF
FOOTPRINT-MAIN HOUSE 1,420 SF
FOOTPRINT-COVERED ENTRANCE 74 SF
TOTAL 1,772 SF (41.2%)

* ALLOWABLE LOT COVERAGE 41.6% (1APPROVED PER ZAB DECISION 11/14/2013 -USE PERMIT # 2013-0038



TABULATION FORM

UNITS, PARKING SPACES, BEDROOMS	EXISTING	PROPOSED	REQUIRED/PERMITTED
NUMBER OF DWELLINGS	1	1	1
NUMBER OF PARKING SPACES	1	1	1
NUMBER OF BEDROOMS	5	5	5
YARD SETBACKS			
FRONT	18'-3"	18'-3"	20'-0"
SIDE (FACING PROPERTY); LEFT	9'-0"	9'-0"	4'-0"
SIDE (FACING PROPERTY); RIGHT	7'-5"	7'-5"	4'-0"
REAR	29'-6"	29'-6"	20'-0"
BUILDING HEIGHT			
NUMBER OF STORIES	2	2	3
AVERAGE BLDG. HEIGHT	26'-5"	26'-5"	28'-0"
MAXIMUM BLDG. HEIGHT	29'-6 1/2"	29'-6 1/2"	(14'-0" WITH NO AUP)
AREAS			
LOT AREA	4,300 SF	4,300 SF	5,000 SF
SOFTENED AREA	4,300 SF	4,300 SF	4,300 SF
BUILDING FOOTPRINT	1,772 SF	1,772 SF	1,772 SF
LOT COVERAGE	41.2%	41.2%	41.2%
USABLE OPEN SPACE #	845 SF	845 SF	400 SF

* ALLOWABLE LOT COVERAGE PER ZAB DECISION 11/14/2013 -USE PERMIT #2013-0038

(E) EXTERIOR WALL TO BE DEMOLISHED: 19% < 25%
(E) ROOF FRAMING TO BE DEMOLISHED: 23% < 25%

PROJECT DIRECTORY

OWNER	AMY & BEN CHEN 1608 BEVERLY PLACE BERKELEY, CA. 94706 510.725.2419 AFUJIMOTOCHEN@GMAIL.COM
ARCHITECT	EISENMANN ARCHITECTURE 1331 7TH ST., SUITE G BERKELEY, CA 94710 510.558.8442 TEAM@EISENMANNARCHITECTURE.COM

ISSUE

PLANNING	11.14.22
PLANNING #2 (REV 1)	01.13.23
PLANNING #3 (REV 2)	05.18.23

**PRELIMINARY
NOT FOR
CONSTRUCTION**

job number	drawn by
22-123-2	ST

scale

date

05.18.23

title sheet number

COVER SHEET

A0.0

PUBLIC WORKS & ENGINEERING | CITY OF BERKELEY

1. AN ENGINEERING PERMIT WILL BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO CONSTRUCTION STAGING, RESERVED CONSTRUCTION PARKING, SIDEWALK, DRAINAGE, OR SEWER WORK. APPROVAL OF THIS BUILDING PERMIT DOES NOT AUTHORIZE WORK IN THE PUBLIC RIGHT-OF-WAY

GREEN BUILDING NOTES

- PROJECT TO CONFORM TO THE RESIDENTIAL CALGREEN STANDARDS.
- PROJECT TO ACHIEVE VOLUNTARY GREEN BUILDING MEASURES WHEREVER FEASIBLE.
- ALL WORK TO COMPLY WITH CALIFORNIA ENERGY CODE (TITLE 24/ PART 6), PROJECT ALSO TO COMPLY WITH MUNICIPAL GREEN BUILDING STANDARDS WHERE APPLICABLE.
- FINISH MATERIALS SHALL COMPLY WITH THE FOLLOWING:
 - ADHESIVES, SEALANTS, AND CAULKS SHALL COMPLY WITH THE FOLLOWING STANDARDS UNLESS MORE STRINGENT LOCAL LIMITS APPLY: CALGREEN TABLE 4.504.1 OR 4.504. FOR VOC LIMITS, AND RULE 1168 STATEWIDE VOC STANDARDS OF THE CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 17, COMMENCING WITH SECTION 94507.
 - PAINTS AND COATINGS SHALL COMPLY WITH THE VOC LIMITS IN CALGREEN TABLE 4.504.3.
 - AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT WEIGHTED MIR LIMITS FOR ROC IN THE CCR, TITLE 17, OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.
- HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD (MDF) COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS AS SPECIFIED IN THE AIR RESOURCES BOARD'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD (17 CCR 93120 ET. SEQ.), AS SHOWN IN TABLE 4.504.5. DOCUMENTATION IS REQ'D PER SECTION 4.504.5.1. COMPOSITE WOOD PRODUCTS DO NOT INCLUDE HARDBOARD, STRUCTURAL PLYWOOD, STRUCTURAL PANELS, STRUCTURAL COMPOSITE LUMBER, ORIENTED STRAND BOARD, GLUED LAMINATED TIMBER, PREFABRICATED WOOD I-JOISTS, OR FINGER-JOINTED POPLAR, AS SPECIFIED IN CCR TITLE 17, SECTION 93120.1 (A).
- MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL BE CHECKED BEFORE ENCLOSURE.
- ALL EXTERIOR WALL/FLOOR/ROOF FRAMING EXPOSED DURING THE COURSE OF CONSTRUCTION IS TO BE INSULATED WITH A MINIMUM OF:
 - R-15 (WALL)
 - R-19 (FLOOR- BETWEEN FIRST FLOOR AND BASEMENT OR CRAWL SPACE)
 - R-30 (ROOF) INSULATION, RESPECTIVELY. (CBES SEC.110.0 THROUGH 110.9, 150.0(A) THROUGH (G) AND 150.2)
- THE ENERGY COMPONENTS REQUIRED BY ENERGY CALCULATIONS SUCH AS WINDOW SPECIFICATIONS AND U-FACTORS, THERMAL INSULATION R-VALUES, EQUIPMENT TYPES AND AFUE RATINGS, LIGHTING TYPES AND CONTROLS AND OTHER SPECIFICS REQUIRED BY THE ENERGY CALCULATIONS. (CAC SEC. 10-103(A)(2B)).
- ALL EXTERIOR WALL/FLOOR/ROOF FRAMING SPACES OPENED UP DURING THE COURSE OF REMODEL SHALL BE INSULATED WITH A MINIMUM OF R-15 (2X4 WALL), R-19 (2X6 WALL), R-19 (FLOOR), R-30 (ATTIC/ROOF) INSULATION, AND R-19 (CATHEDRAL CEILING) INSULATION. (CENC 150.0 (A)(C)(D)). CONFIRM WITH ENERGY CALCULATIONS.
- ALL (W) WINDOWS TO HAVE MIN. U-VALUE: 0.32, SHGC: 0.5. CONFIRM WITH ENERGY CALCULATIONS.

ATTIC VENTILATION CALCULATIONS

- ATTIC VENT LOCATIONS ARE SHOW ON ELEVATION SHT/ A3.1.
 - VENTILATION OF ATTICS AND ENCLOSED RAFTER SPACES SHALL COMPLY WITH (CRC SR806): SIZE AND NUMBER OF ATTIC AND RAFTER SPACE VENTS AS REQUIRED TO PROVIDE A NET FREE CROSS-VENTILATION AREA EQUIVALENT TO 1/150 OF AREA VENTILATED.
 - IF CONTINUOUS SPRAY FOAM, CELLULOSE, AND/OR RIGID INSULATION IS USED AT THE ROOF JOIST BAYS, NO VENTILATION OF THE JOISTS BAYS IS REQUIRED. IF BATTEN INSULATION IS USED AT THE JOIST BAYS, EACH JOIST SPACE WILL BE VENTED VIA A 2" HOLE (2 PER BAY) AND RIDGE VENT. INSTALL ALUMINUM LOUVERED VENTS WITH INSECT SCREEN IN EACH HOLE.
 - ATTIC AND GABLE VENTS TO BE COVERED WITH CORROSION RESISTANCE NONCOMBUSTIBLE MESH WITH OPENINGS NOT EXCEEDING 1/8". EAVE AND CORNICHE VENTS TO BE PROTECTED WITH BAFFLES BACKED BY CORROSION RESISTANT NONCOMBUSTIBLE MESH WITH OPENINGS NOT EXCEEDING 1/16"
- ATTIC AREA : 1,399SF
1,399 SF/ 150 = 9.3 SF MIN NFA (NET FREE AREA REQUIRED)
9.3 /2 = 4.7 SF (NFA NEEDED EQUALLY FOR EXHAUST & INTAKE)
- | | | | |
|-------------------------|-----------------|------------------------|-----------------|
| NORTH ELEVATION VENT/S | = 0 SF (INTAKE) | SOUTH ELEVATION VENT/S | = 2 SF (INTAKE) |
| EAST ELEVATION VENT/S | = 2 SF (INTAKE) | WEST ELEVATION VENT/S | = 2 SF (INTAKE) |
| ROOF SOLAR POWER VENT/S | = NA | RIDGE VENT | = 6 SF(EXHAUST) |
- TOTAL VENTILATION = 6 SF INTAKE + 6 SF EXHAUST = 12 SF > 9.3 SF NFA

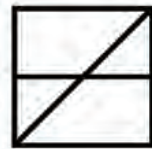
CRAWLSPACE VENTILATION CALCULATIONS

- CRAWLSPACE VENT LOCATIONS ARE SHOW ON ELEVATION SHT/ A3.1.
 - (1) VENT MIN TO BE LOCATED WITHIN 3' OF BLDG CORNERS.
 - VERIFY SIZE AND NFA (NET FREE AREA) WITH MANUFACTURE TO MEET REQUIRED CRAWLSPACE VENTILATION NEEDS PER (CRC R408.1). REQUIRED NFA: 1 SF PER 150 OF CRAWLSPACE AREA. WHERE A CLASS 1 VAPOR RETARDER MATERIAL COVERS THE GROUND SURFACE, REQUIRED NFA IS 1 SF PER EACH 1500 SF OF CRAWL SPACE AREA.
 - VENT OPENINGS TO BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH OPENING NOT EXCEEDING 1/8"
- CRAWLSPACE AREA : 1,395 SF
1,395 SF/ 1500 = 0.93 SF MIN NFA (NET FREE AREA REQUIRED)
- | | | | |
|------------------------|--------------------|------------------------|--------------------|
| NORTH ELEVATION VENT/S | = 0 SF (INTAKE) | SOUTH ELEVATION VENT/S | = 0 SF (INTAKE) |
| EAST ELEVATION VENT/S | = 0.86 SF (INTAKE) | WEST ELEVATION VENT/S | = 1.29 SF (INTAKE) |
- TOTAL VENTILATION = 2.15 SF > 0.93 SF NFA

GENERAL NOTES

- WORK SHALL BE IN CONFORMANCE WITH THE 2019 CALIFORNIA CODE OF REGULATIONS, INCLUDING:
 - 2019 CALIFORNIA BUILDING CODE (CBC)
 - 2019 CALIFORNIA PLUMBING CODE (CPC)
 - 2019 CALIFORNIA MECHANICAL CODE (CMC)
 - 2019 CALIFORNIA ELECTRICAL CODE (CEC)
 - 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
 - 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC)
 - 2019 CALIFORNIA FIRE CODE (FC)
 - 2019 CALIFORNIA ENERGY CODE (2019 CALIFORNIA TITLE 24 PART 6)
- IN THE EVENT OF CONFLICTS IN CODE REGULATIONS, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER, IN WRITING, OF ANY DISCREPANCY BETWEEN THE APPLICABLE CODES AND THESE DOCUMENTS.
- THESE DOCUMENTS DESCRIBE DESIGN INTENT. CONTRACTOR SHALL PROVIDE ALL ASSOCIATED WORK, INCLUDING BUT NOT LIMITED TO, PARTIAL DEMOLITION, SITE WORK, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FINISH WORK REQUIRED FOR A COMPLETE, OPERATIONAL, AND WATER TIGHT PROJECT. NO CLAIMS FOR ADDITIONAL WORK WILL BE AWARDED FOR WORK DESCRIBED IN THESE DOCUMENTS OR REASONABLY INFERRED FROM THEM.
- CONTRACTOR IS RESPONSIBLE FOR THOROUGH COORDINATION OF TRADES. NO CLAIMS FOR ADDITIONAL WORK WILL BE AWARDED FOR WORK RELATED TO SUCH COORDINATION.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH UTILITIES TO DETERMINE LOCATION, INCLUDING BUT NOT LIMITED TO GAS, WATER, POWER, SEWER, TELEPHONE AND CABLE TELEVISION. NO CLAIMS FOR ADDITIONAL WORK WILL BE AWARDED FOR WORK RELATED TO SUCH COORDINATION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS OF THE SITE AND ALL DIMENSIONS AND DETAILS OF THE PROJECT COMPONENTS. CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCY IN PLANS AND SPECIFICATIONS IMMEDIATELY. WORK SHALL NOT PROCEED WITHOUT ARCHITECT'S AUTHORIZATION.
- ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK. ANY CHANGES OR INTERPRETATIONS OF THESE DOCUMENTS MADE WITHOUT CONSULTING THE ARCHITECT, AND ANY UNFORESEEN CONDITIONS RESULTING THEREFROM, SHALL NOT BE THE RESPONSIBILITY OF THE ARCHITECT.
- DO NOT SCALE FROM DRAWINGS, CONTACT ARCHITECT WHERE CLARIFICATION IS REQUIRED.
- ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
- DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS SHALL APPLY IN SIMILAR LOCATIONS AND CONDITIONS.
- 'TYPICAL' OR 'TYP' SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED.
- ALL WORK SHALL BE INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE, AND IN PROPER ALIGNMENT.
- 'ALIGN' SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- CONTRACTOR SHALL CONTINUOUSLY PROTECT EXISTING TREES, UTILITIES AND ADJACENT PROPERTIES FROM DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL REPLACE OR RESTORE DAMAGED PROPERTY, MATERIALS AND FINISHES AT NO ADDITIONAL COST TO OWNER. RESTORATION SHALL BE EQUAL TO THE ORIGINAL WORK AND FINISHES SHALL MATCH THE APPEARANCE OF EXISTING WORK.
- CONTRACTOR SHALL CONTINUOUSLY PROTECT THE PROJECT FROM, INCLUDING BUT NOT LIMITED TO, WATER DAMAGE AND DAMAGE IN THE COURSE OF THE WORK. CONTRACTOR SHALL REPLACE OR RESTORE DAMAGED PROPERTY, MATERIALS AND FINISHES AT NO ADDITIONAL COST TO OWNER. RESTORATION SHALL BE EQUAL TO THE ORIGINAL WORK AND FINISHES SHALL MATCH THE APPEARANCE OF EXISTING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SITE CONDITIONS, INCLUDING SAFETY OF PERSONS AND SECURITY OF PROPERTY, AND FOR SECURITY OF STORED MATERIALS AND EQUIPMENT, NOT LIMITED TO NORMAL HOURS OF WORK. CONTRACTOR SHALL MAINTAIN APPROPRIATE INSURANCE TO PROTECT THE OWNER, ARCHITECT AND CONTRACTOR.
- CONTRACTOR SHALL BROOM SWEEP THE PREMISES NIGHTLY. AT THE COMPLETION OF WORK, CONTRACTOR SHALL REMOVE ALL DEBRIS AND TRASH CAUSED FROM THE WORK, SURPLUS MATERIALS, TOOLS, AND CONSTRUCTION EQUIPMENT, AND WILL LEAVE THE PROJECT IN CLEAN CONDITION.
- ALL MATERIALS, EQUIPMENT, AND ARTICLES INCORPORATED INTO THE WORK SHALL BE NEW, FIRST GRADE, AND FREE OF DEFECTS UNLESS OTHERWISE NOTED. THE OWNER SHALL HAVE THE RIGHT TO REJECT DEFECTIVE OR SUBSTANDARD WORKMANSHIP, AND THE CONTRACTOR SHALL IMMEDIATELY CORRECT UNACCEPTABLE WORK AT NO EXPENSE TO THE OWNER.
- CONTRACTOR SHALL WARRANT THE ENTIRE WORK AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR ONE YEAR FROM THE DATE OF ACCEPTANCE. SUB-CONTRACTORS SHALL WARRANT THEIR WORK AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR, EXCEPT FOR THE ROOFING SUB-CONTRACTOR WHO SHALL WARRANT HIS/HER WORK AGAINST DEFECTS FOR A PERIOD OF THREE YEARS FROM THE DATE OF ACCEPTANCE. CONTRACTORS AND SUB-CONTRACTORS SHALL SUBMIT THEIR WARRANTIES IN WRITING TO THE OWNER.
- REQUIRED SUBMITTALS INCLUDE SHOP DRAWINGS OF ALL METALWORK, ALL MILLWORK, AND SAMPLES OF ALL FINISH MATERIALS AND TRIM, WITH SPECIFIED FINISH APPLIED AND IN QUANTITIES SUFFICIENT TO DEMONSTRATE VARIATION WITHIN THE MATERIAL. PRIOR TO RECEIPT BY THE ARCHITECT, THE SUBMITTALS SHALL BE SIGNED BY THE CONTRACTOR, SIGNIFYING THE CONTRACTOR'S REVIEW, APPROVAL, VERIFICATION OF FIELD DIMENSIONS, AND COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL ALLOW FIVE WORKING DAYS MINIMUM FOR ARCHITECT TO PROCESS SUBMITTALS.
- MECHANICAL, ELECTRICAL, AND PLUMBING WORK TO BE DESIGN/BUILD PER CMC, CEC AND CPC. SEE AS SERIES FOR MECHANICAL, ELECTRICAL & PLUMBING NOTES.
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- COVER NEW OR EXISTING DUCT OPENINGS AND PROTECT MECHANICAL EQUIPMENT DURING CONSTRUCTION. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE BY THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST & DEBRIS WHICH MAY ENTER THE NEW OR EXISTING SYSTEM.
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING: (1) MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR CONTACT-TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS FOUND IN SECTION 101.8 OF THIS CODE. (2) MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 TO 4 FEET FROM THE GRADE STAMPED END OF EACH PIECE TO BE VERIFIED. (3) AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUFACTURERS' DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.
- WHEN REQ'D BY THE ENFORCING AGENCY, INDEPENDENT SPECIAL INSPECTORS SHALL BE EMPLOYED TO PROVIDE INSPECTIONS OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL HAVE A CERTIFICATION RECOGNIZED BY THE ENFORCING AGENCY AND CLOSELY RELATED TO THE PRIMARY JOB FUNCTION, AS DETERMINED BY THE ENFORCING AGENCY. DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE MAY BE IN THE FORM OF DRAWINGS, SPECIFICATIONS, CONSTRUCTION DOCUMENTS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE. WHEN SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IS NECESSARY TO VERIFY COMPLIANCE, THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPRIATE SECTION OR IDENTIFIED IN THE APPLICATION CHECKLIST.

architect



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Architecture

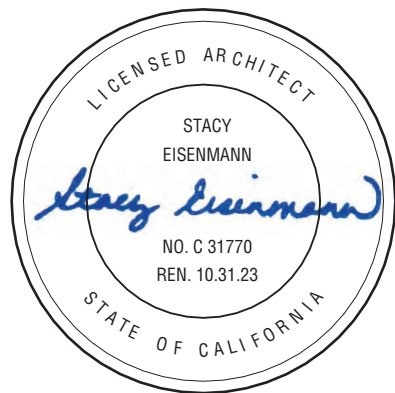
contact **STACY EISENMANN**

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BERKELEY CA 94710**

phone **510 558 8442**

email **team@eisenmannarchitecture.com**

stamp



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phone **510.725.2419
310.560.9495**

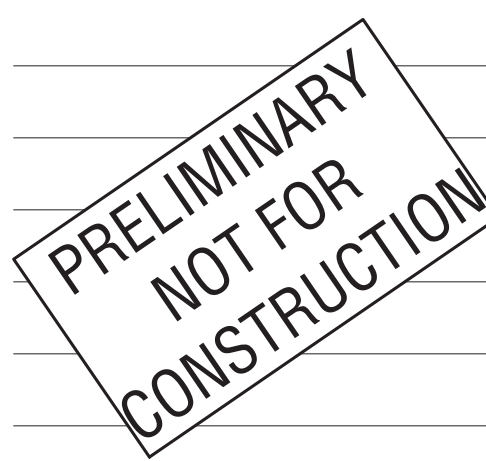
email **afujimotochen@gmail.com
benchen975@gmail.com**

issue

PLANNING 11.14.22

1 PLANNING #2 (REV 1) 01.13.23

2 PLANNING #3 (REV 2) 05.18.23



job number **22-123-2** drawn by **ST**

scale

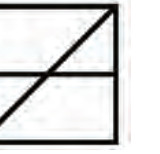
date **05.18.23**

title **GENERAL NOTES** sheet number

GENERAL NOTES

A0.1

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▲ PLANNING #2 (REV 1)	01.13.23
▲ PLANNING #3 (REV 2)	05.18.23

**PRELIMINARY
NOT FOR
CONSTRUCTION**

job number 22-123-2
drawn by ST

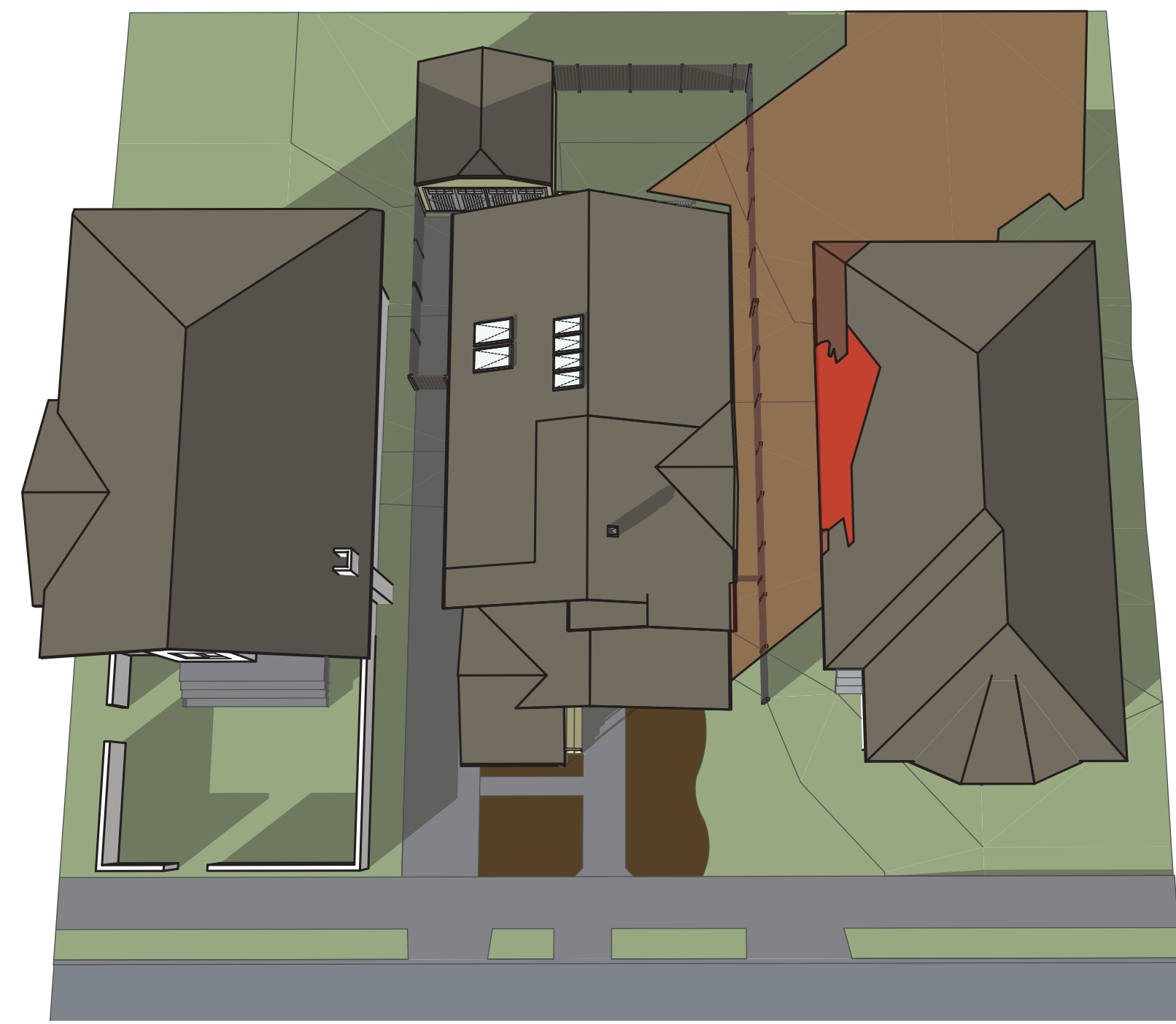
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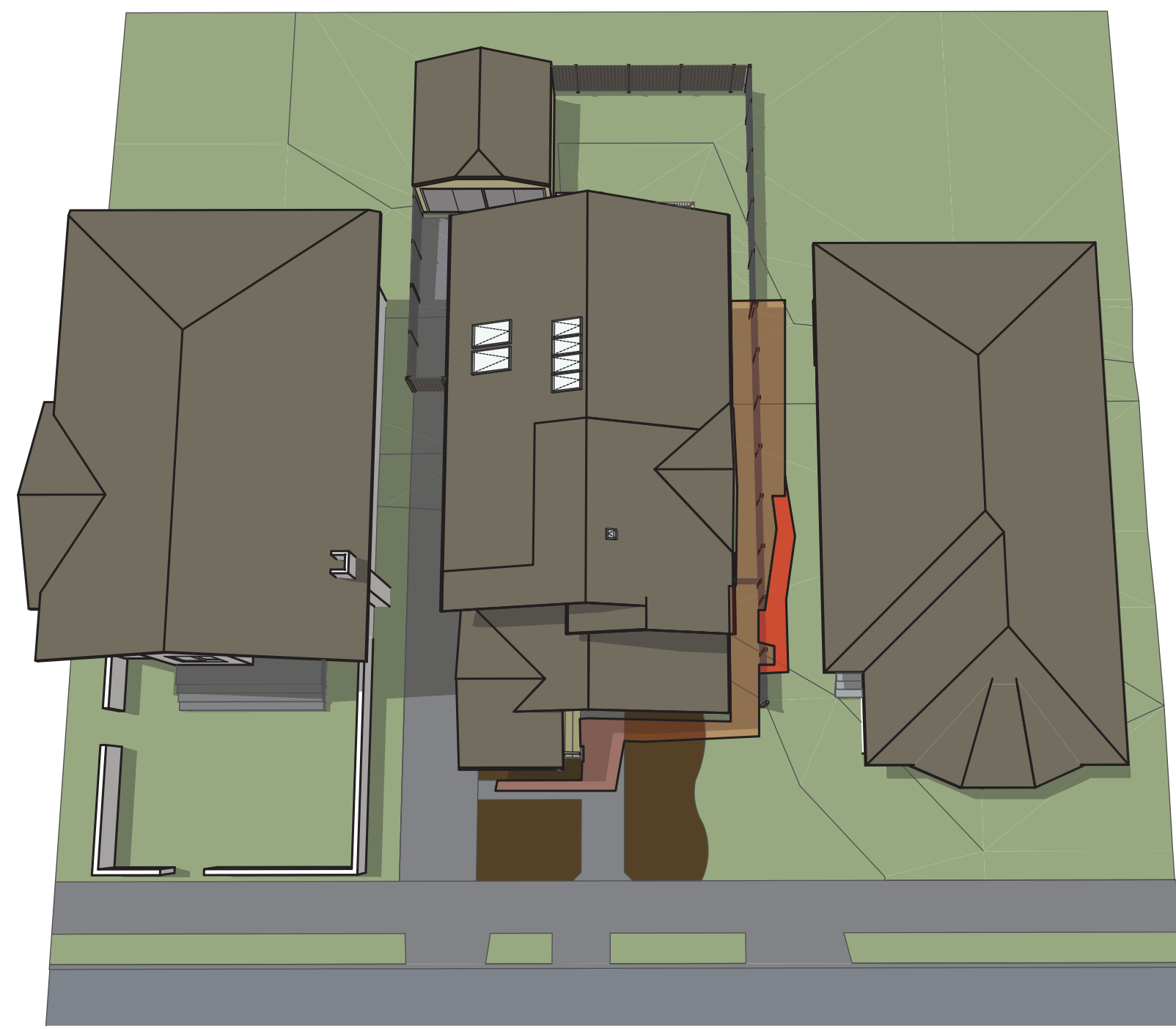
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SHADOW STUDY - SUMMER SOLSTICE

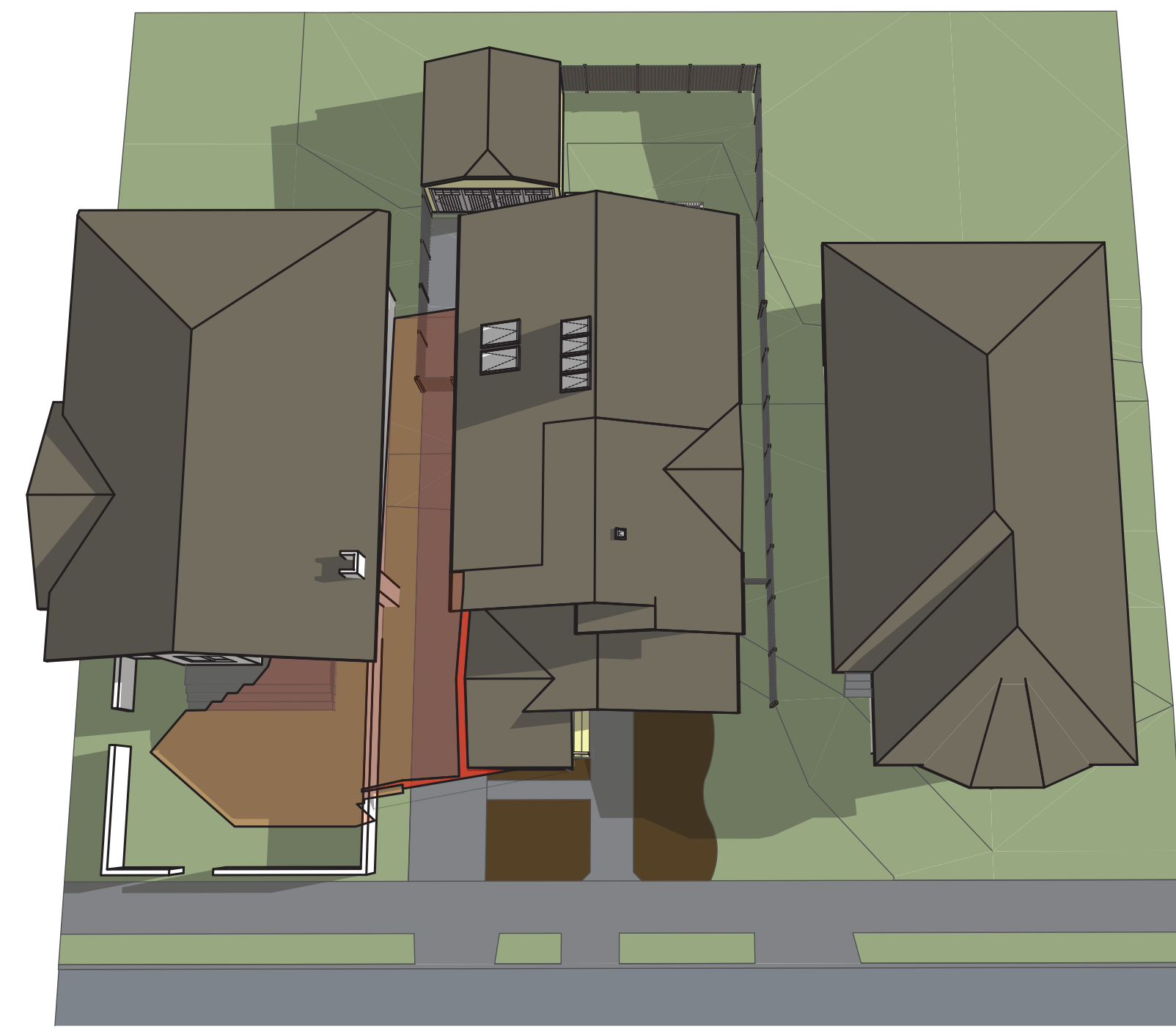
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6 SUMMER SOLSTICE (6/21) 2 HR AFTER SUNRISE (7:45 AM)
PROPOSED BUILDING SHADOW STUDY



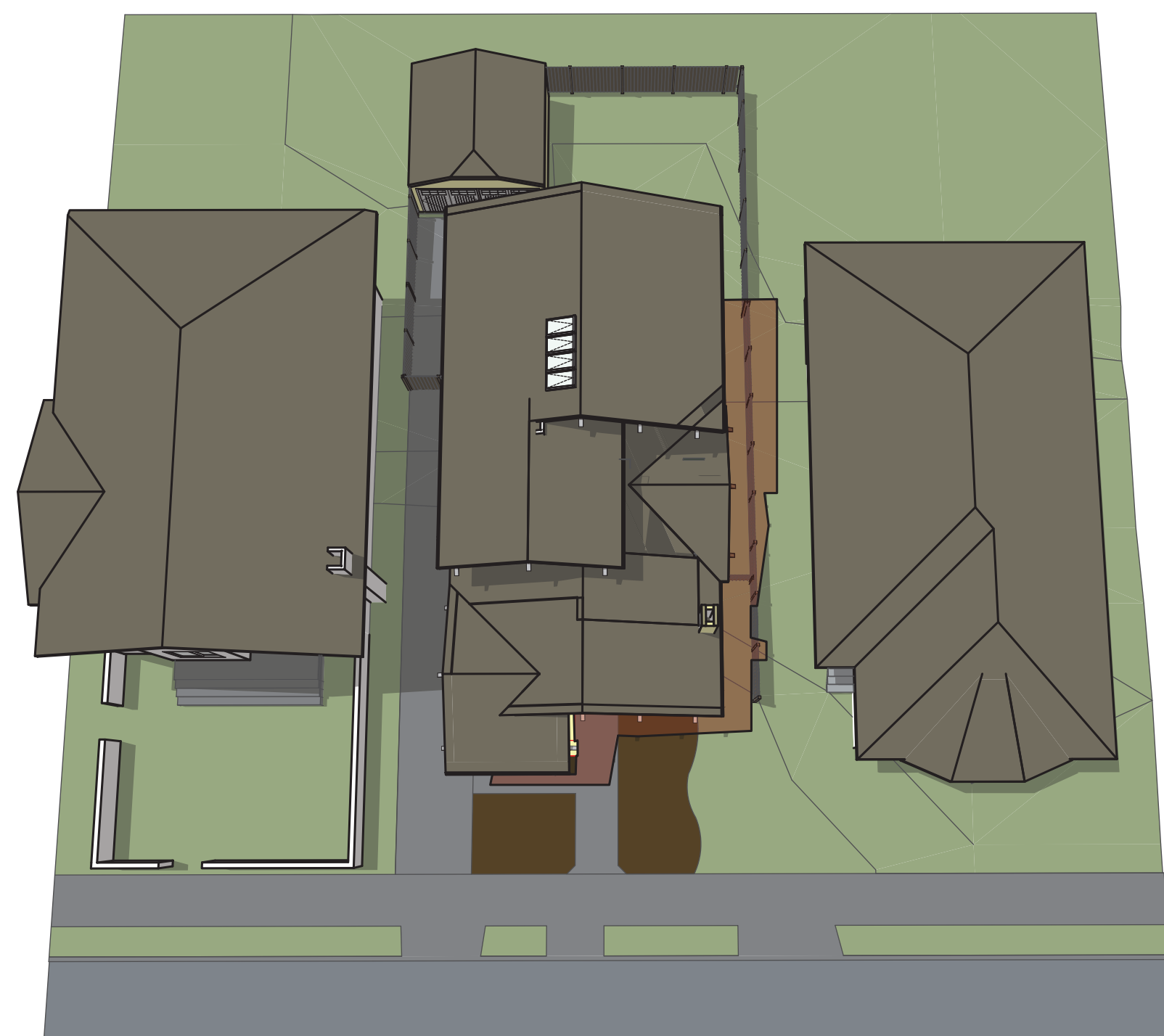
4 SUMMER SOLSTICE (6/21) AT NOON
PROPOSED BUILDING SHADOW STUDY



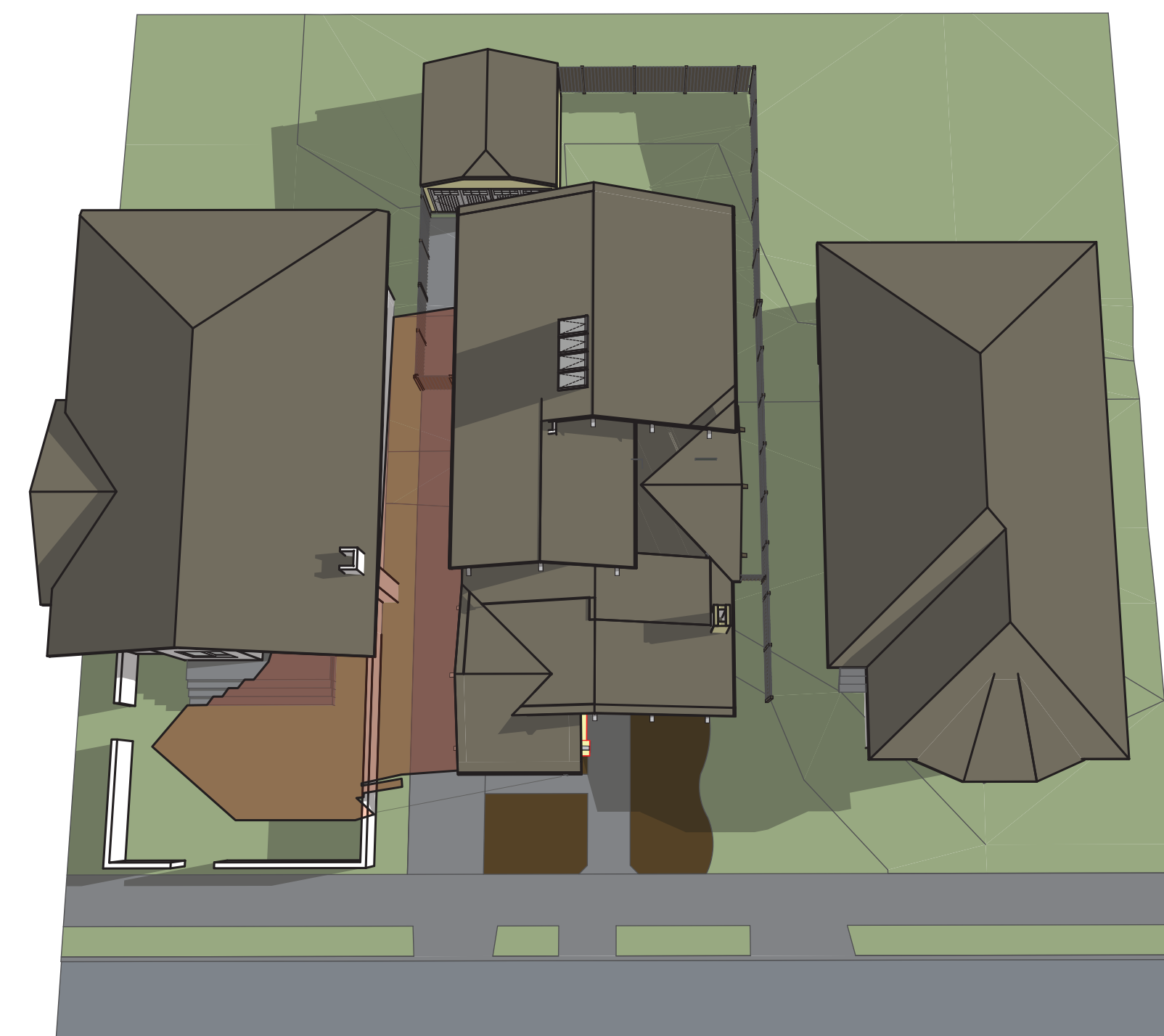
2 SUMMER SOLSTICE (6/21) 2 HR BEFORE SUNSET (6:30 PM)
PROPOSED BUILDING SHADOW STUDY



5 SUMMER SOLSTICE (6/21) 2 HR AFTER SUNRISE (7:45 AM)
EXISTING BUILDING SHADOW STUDY



3 SUMMER SOLSTICE (6/21) AT NOON
EXISTING BUILDING SHADOW STUDY



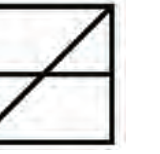
1 SUMMER SOLSTICE (6/21) 2 HR BEFORE SUNSET (6:30 PM)
EXISTING BUILDING SHADOW STUDY

NOTE: DURING SUMMER SOLSTICE, PROJECT ONLY AFFECTS NEIGHBOR TO THE WEST

Legend for shadows:

- Light orange square: SHADOW OF EXISTING PROJECT AT 1608 BEVERLY PLACE.
- Dark orange square: SHADOW OF PROPOSED PROJECT AT 1608 BEVERLY PLACE.

architect



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PLANNING #3 (REV 2)	05.18.23

**PRELIMINARY
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job number 22-123-2
drawn by ST

scale

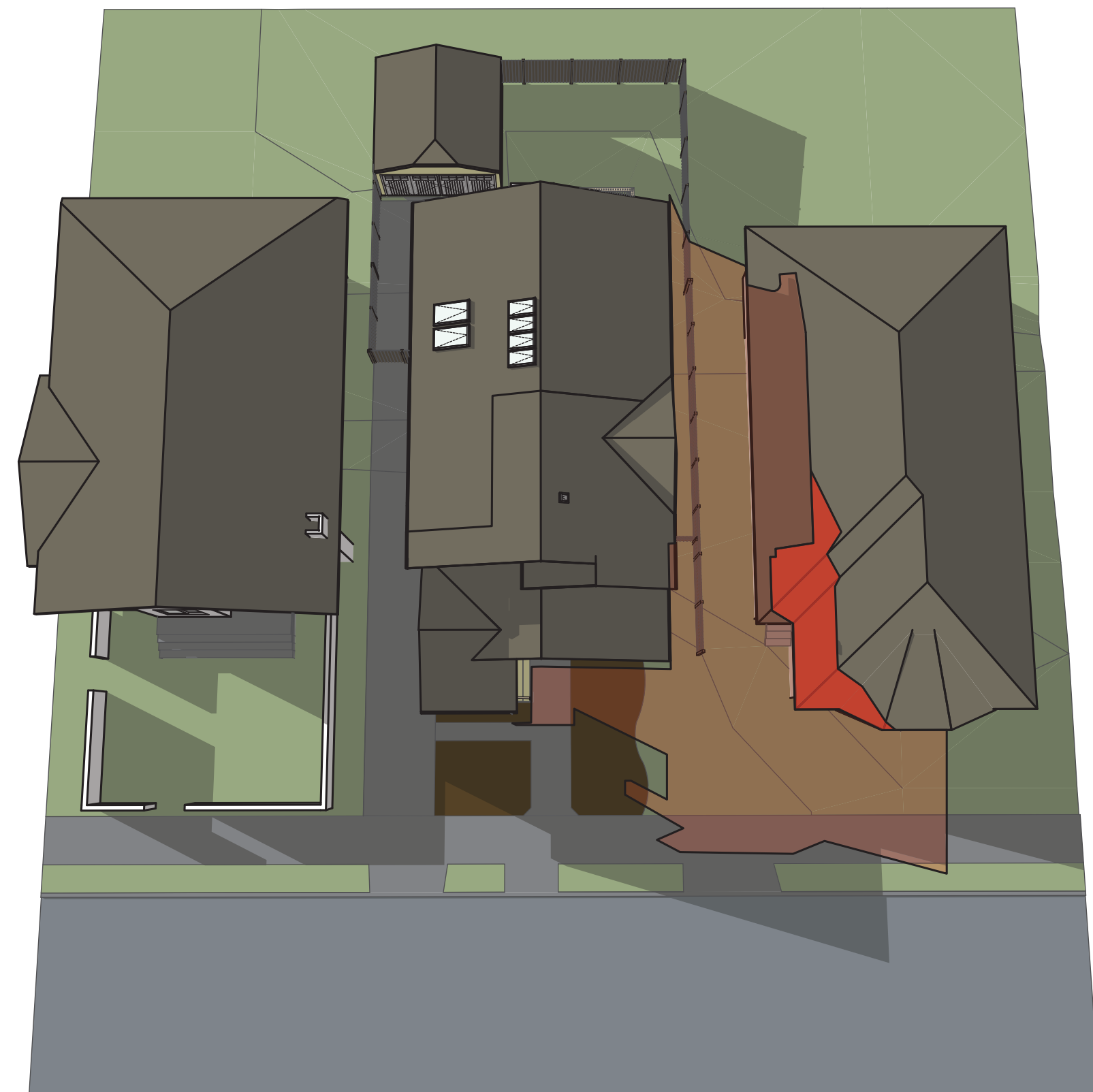
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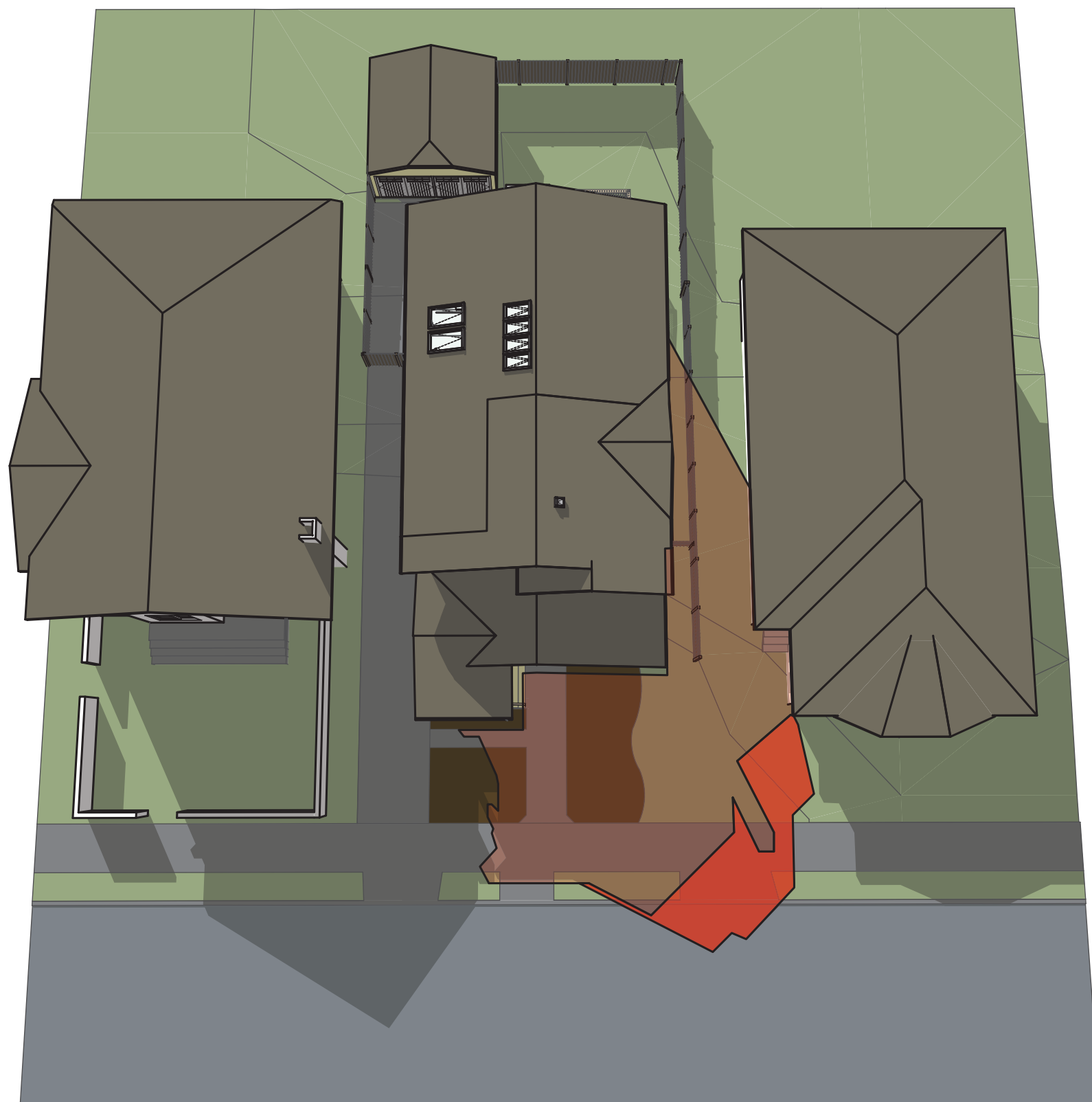
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SHADOW STUDY - WINTER SOLSTICE

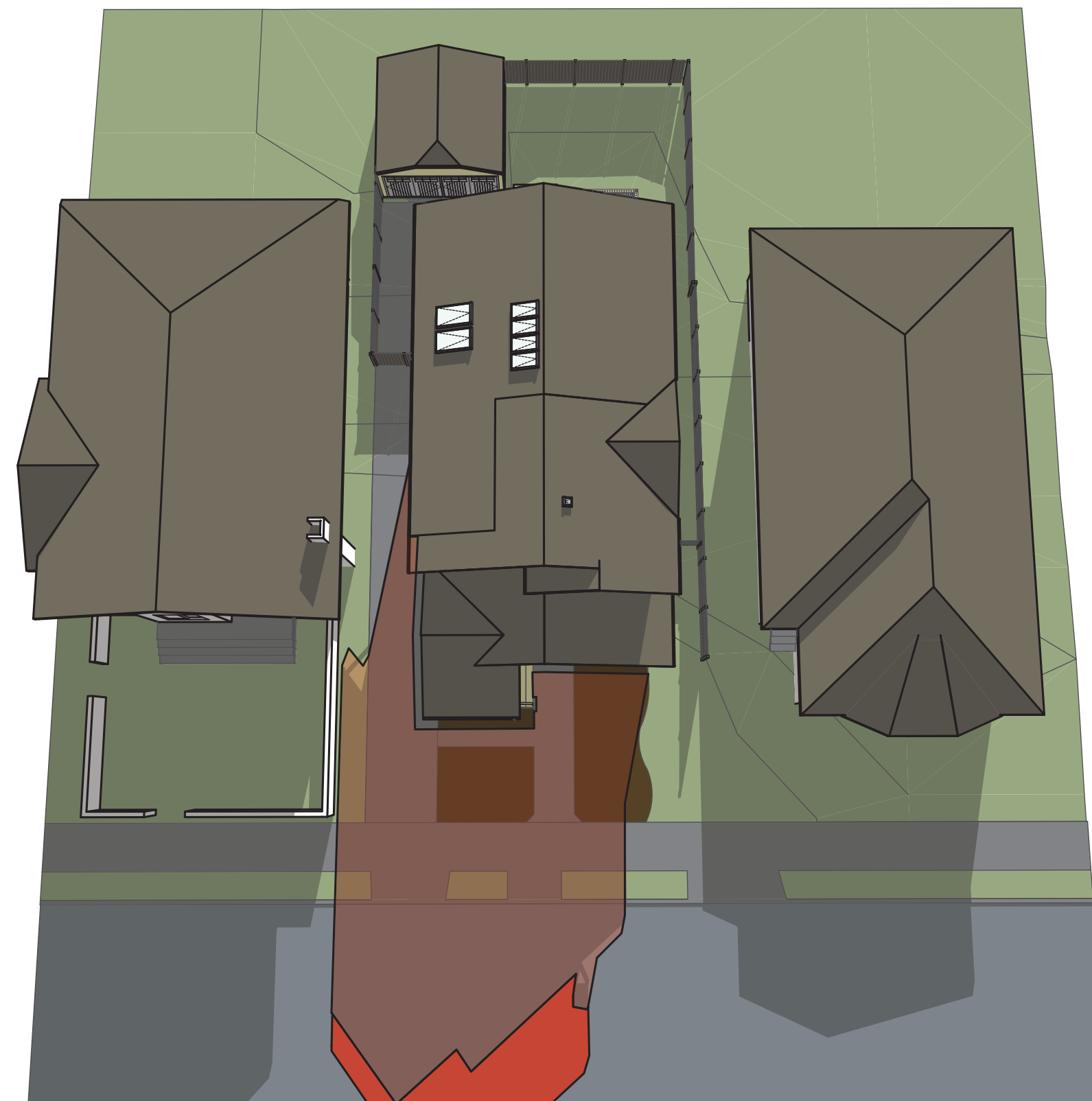
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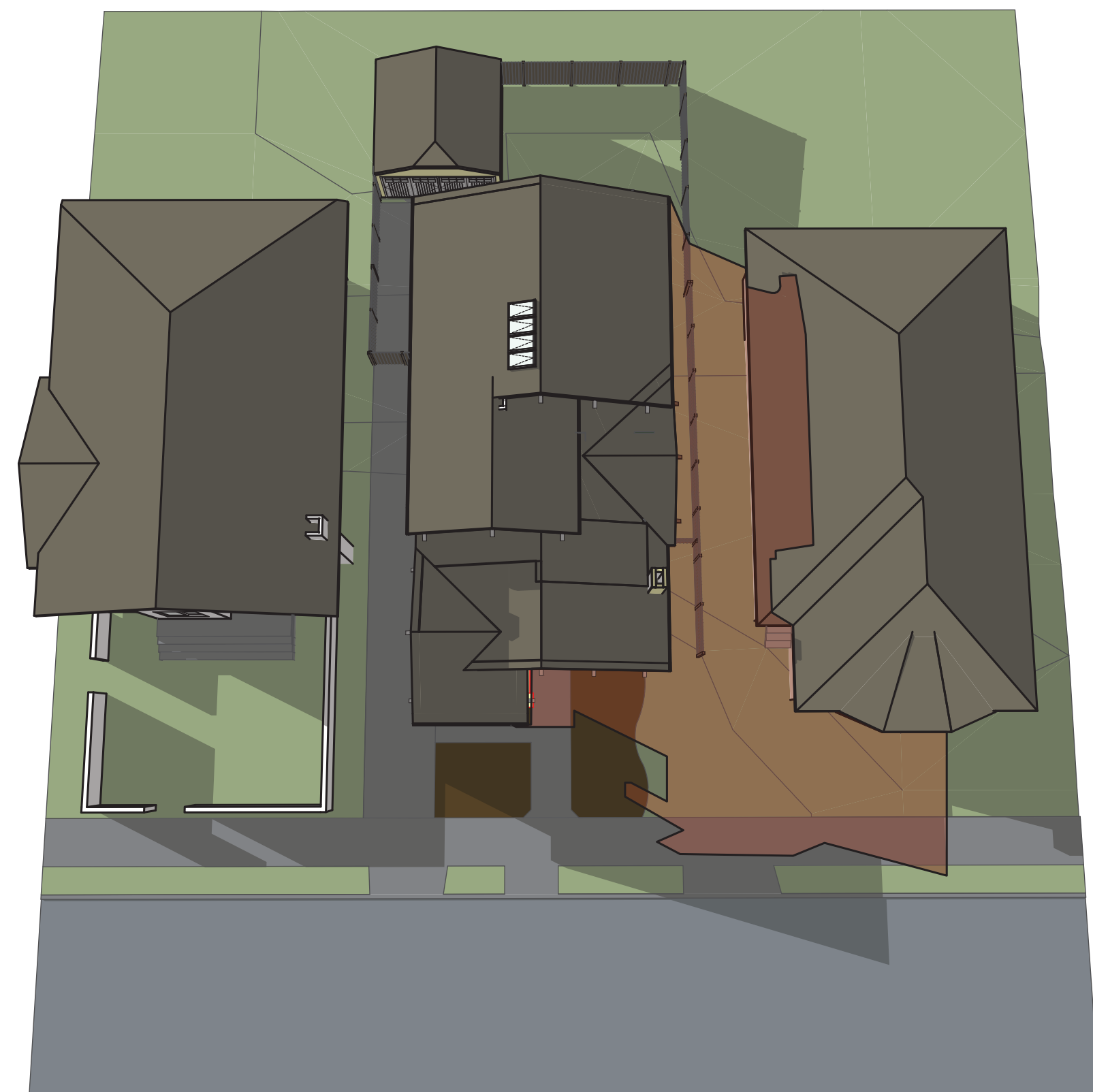
6 WINTER SOLSTICE (12/21) 2 HR AFTER SUNRISE (9:20 AM)
PROPOSED BUILDING SHADOW STUDY



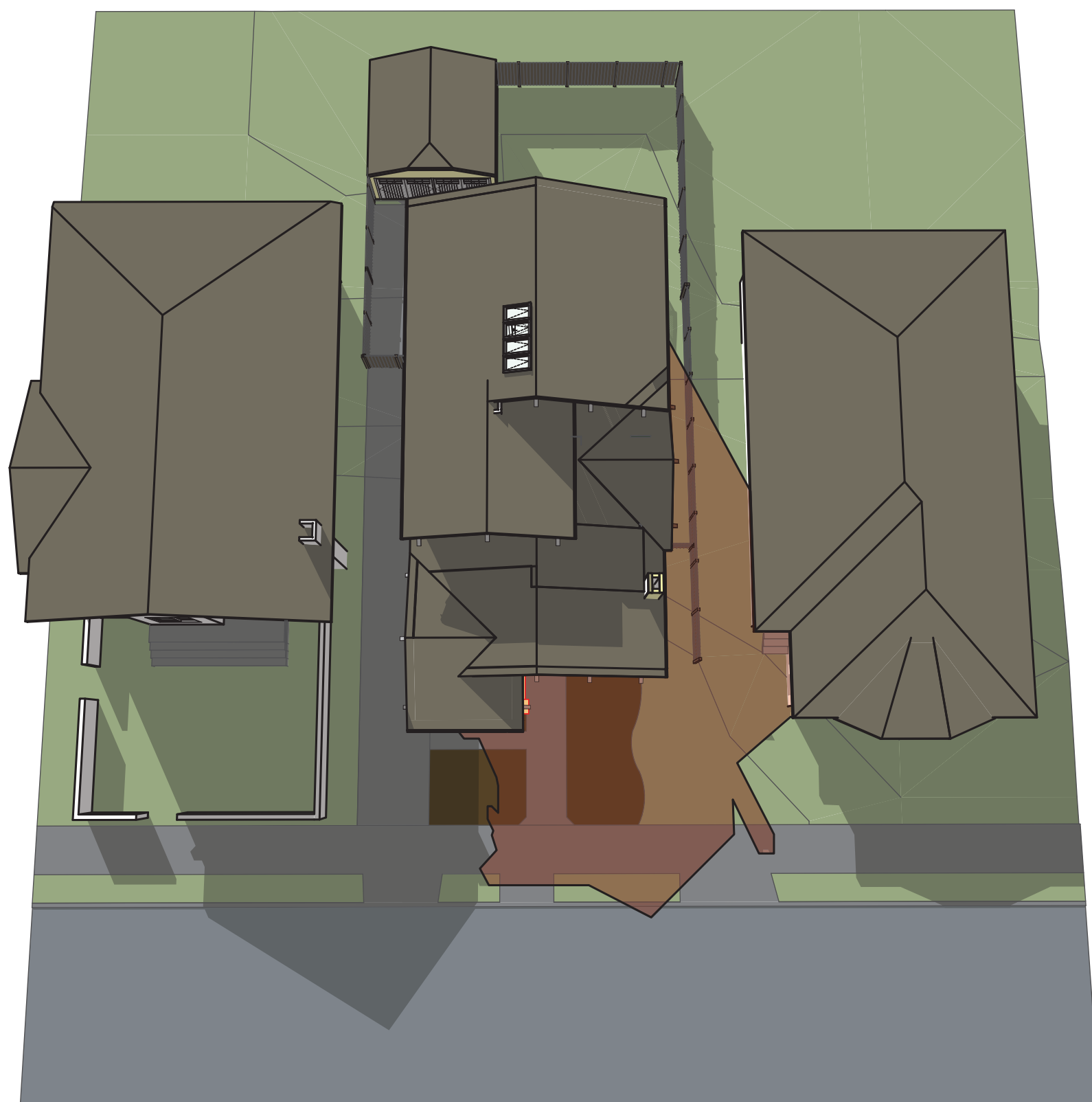
4 WINTER SOLSTICE (12/21) AT NOON
PROPOSED BUILDING SHADOW STUDY



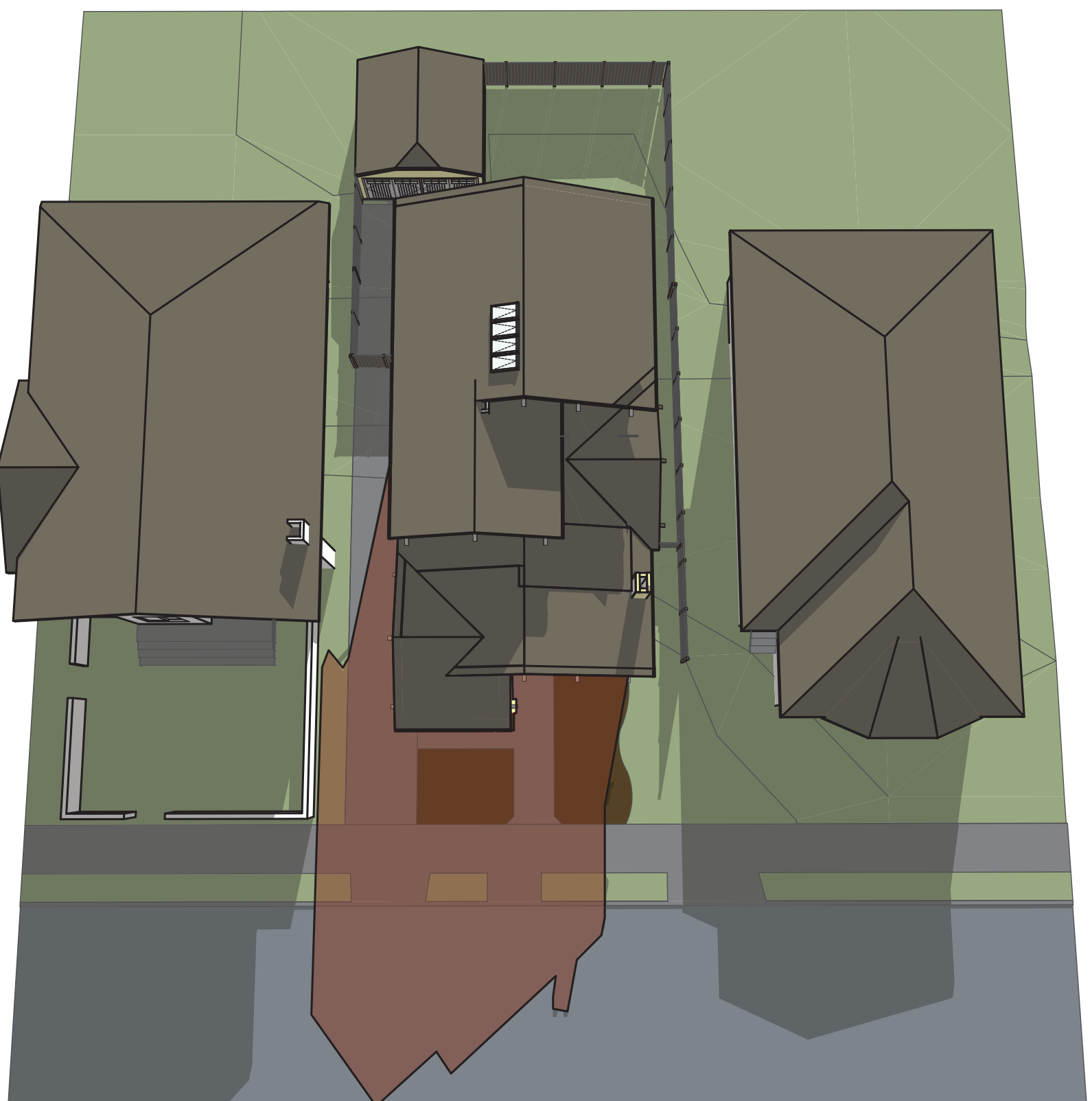
2 WINTER SOLSTICE (12/21) 2 HR BEFORE SUNSET (2:30 PM)
PROPOSED BUILDING SHADOW STUDY



5 WINTER SOLSTICE (12/21) 2 HR AFTER SUNRISE (9:20 AM)
EXISTING BUILDING SHADOW STUDY



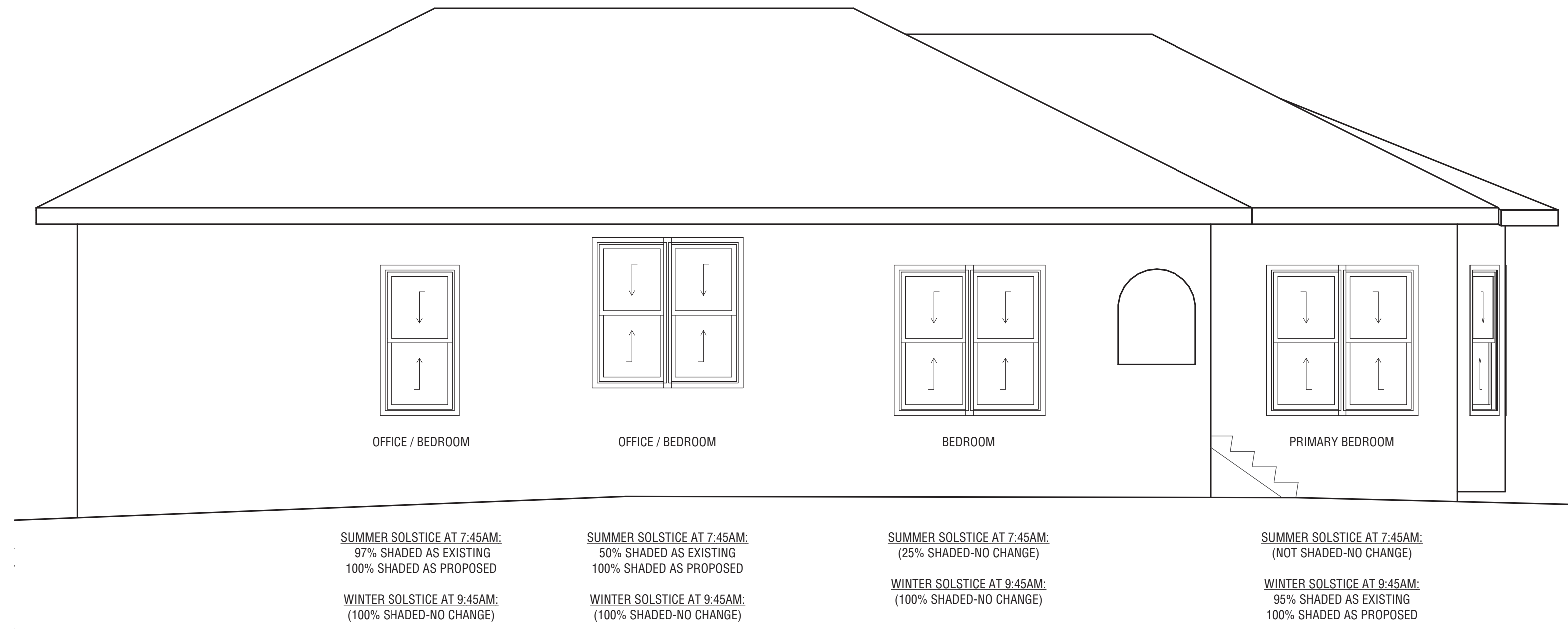
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EXISTING BUILDING SHADOW STUDY



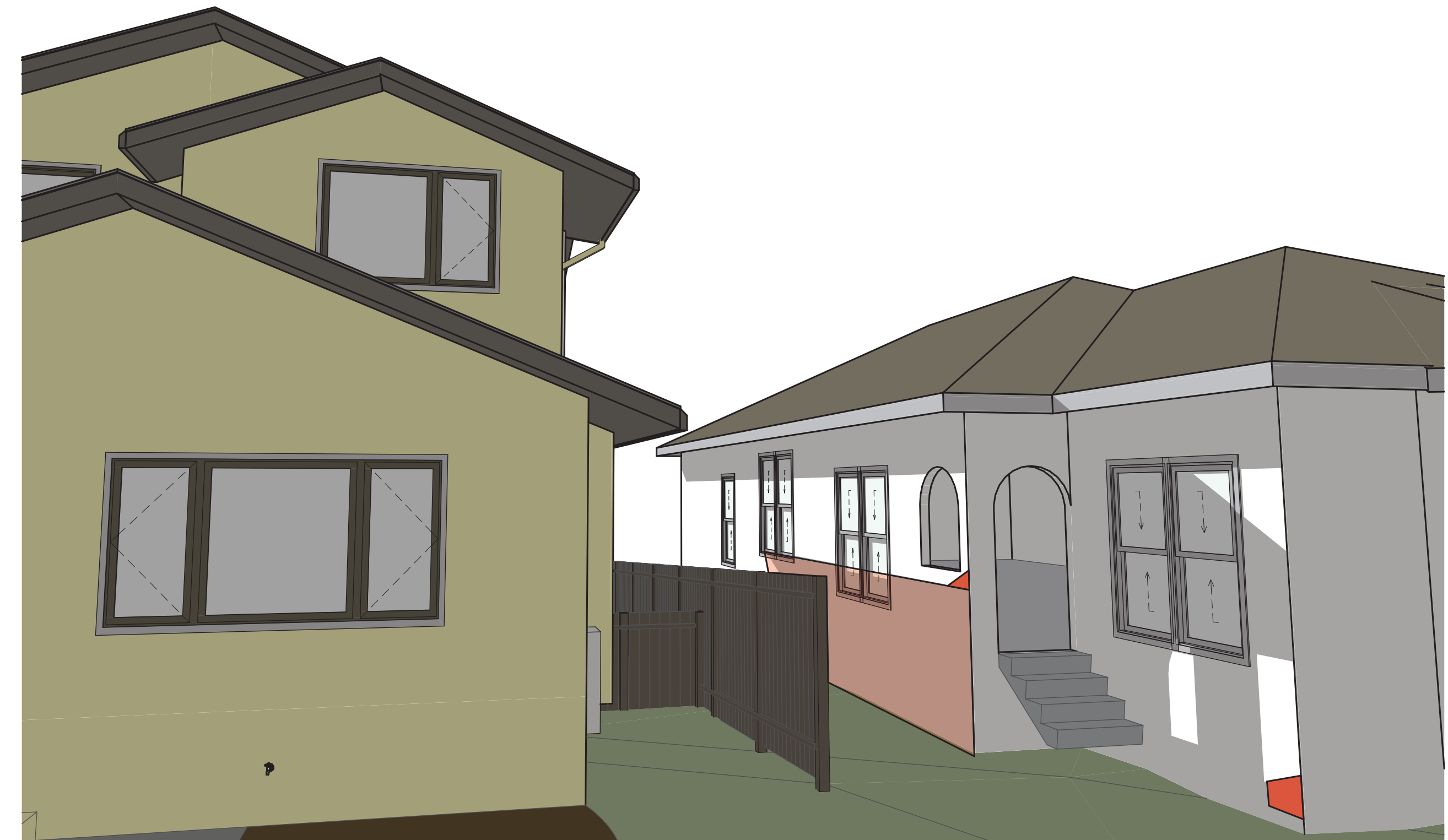
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EXISTING BUILDING SHADOW STUDY

NOTE: DURING WINTER SOLSTICE, PROJECT ONLY AFFECTS NEIGHBOR TO THE WEST

- SHADOW OF EXISTING PROJECT AT 1608 BEVERLY PLACE.
- SHADOW OF PROPOSED PROJECT AT 1608 BEVERLY PLACE.



4 EAST ELEVATION OF 1604 BEVERLY PL. - WINDOW COVERAGE BY SHADOW CAST
SCALE: 1/4" = 1'-0"



2 WINTER SOLSTICE (12/21) AT NOON - 1604 BEVERLY PL.
PROPOSED BUILDING SHADOW STUDY

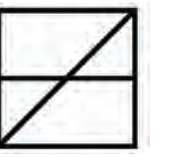


3 WINTER (12/28) AT NOON - 1604 BEVERLY PL. (PHOTOGRAPH)
EXISTING BUILDING



1 WINTER SOLSTICE (12/21) AT NOON - 1604 BEVERLY PL.
EXISTING BUILDING SHADOW STUDY

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stamp



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issue

PLANNING 11.14.22
PLANNING #2 (REV 1) 01.13.23
PLANNING #3 (REV 2) 05.18.23

PRELIMINARY
NOT FOR
CONSTRUCTION

job number 22-123-2
drawn by ST

scale

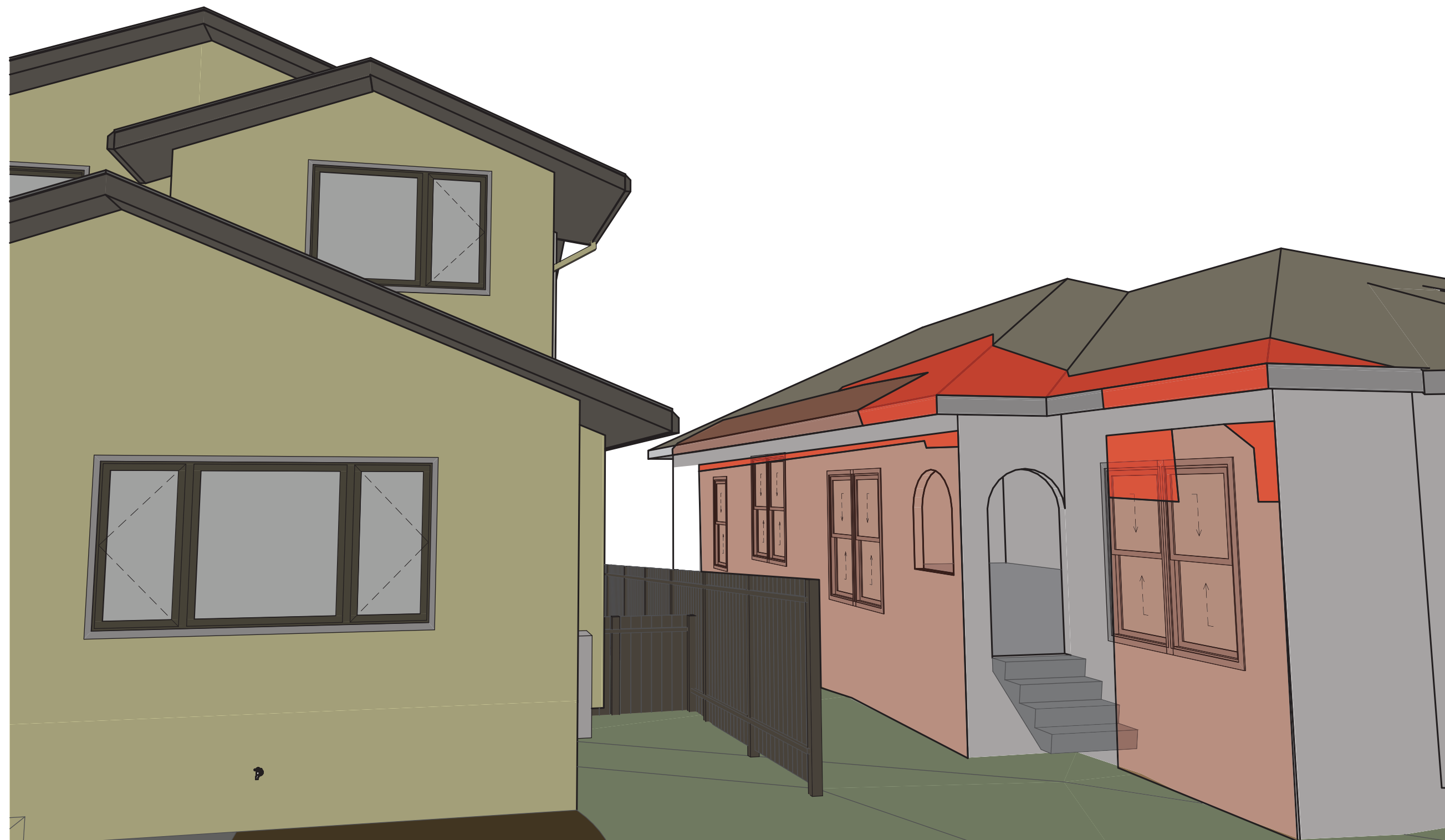
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05.18.23

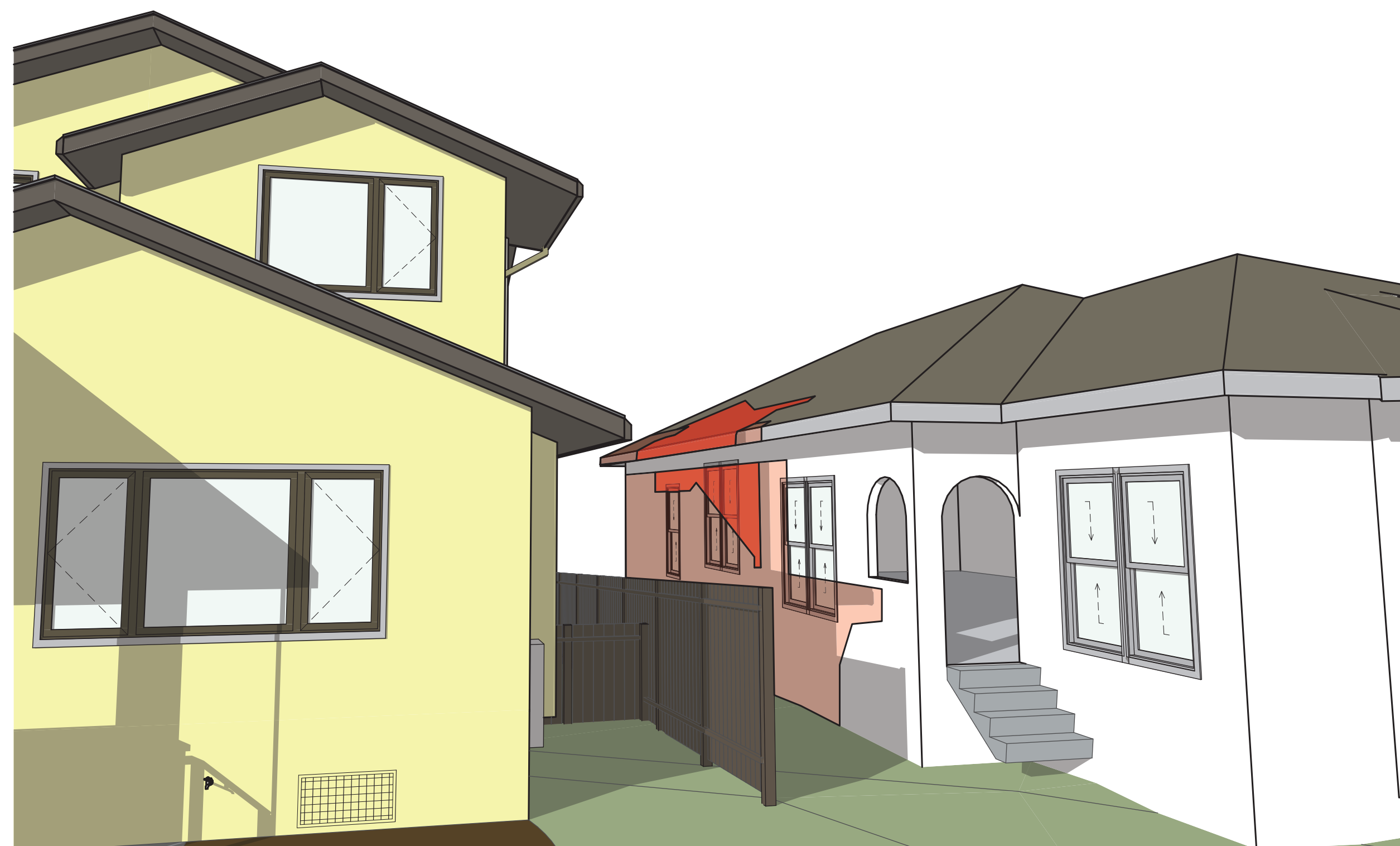
title PERPECTIVE SHADOW STUDIES
& NEIGHBORS ELEVATIONS

sheet number
A0.4





4 WINTER SOLSTICE (12/21) AT 9:45 - 1604 BEVERLY PL.
PROPOSED BUILDING SHADOW STUDY



2 SUMMER SOLSTICE (6/21) AT 7:45 AM - 1604 BEVERLY PL.
PROPOSED BUILDING SHADOW STUDY



3 WINTER SOLSTICE (12/21) AT 9:45 - 1604 BEVERLY PL.
EXISTING BUILDING SHADOW STUDY



1 SUMMER SOLSTICE (6/21) AT 7:45 AM - 1604 BEVERLY PL.
EXISTING BUILDING SHADOW STUDY

SHADOW OF EXISTING PROJECT AT 1608 BEVERLY PLACE.

SHADOW OF PROPOSED PROJECT AT 1608 BEVERLY PLACE.

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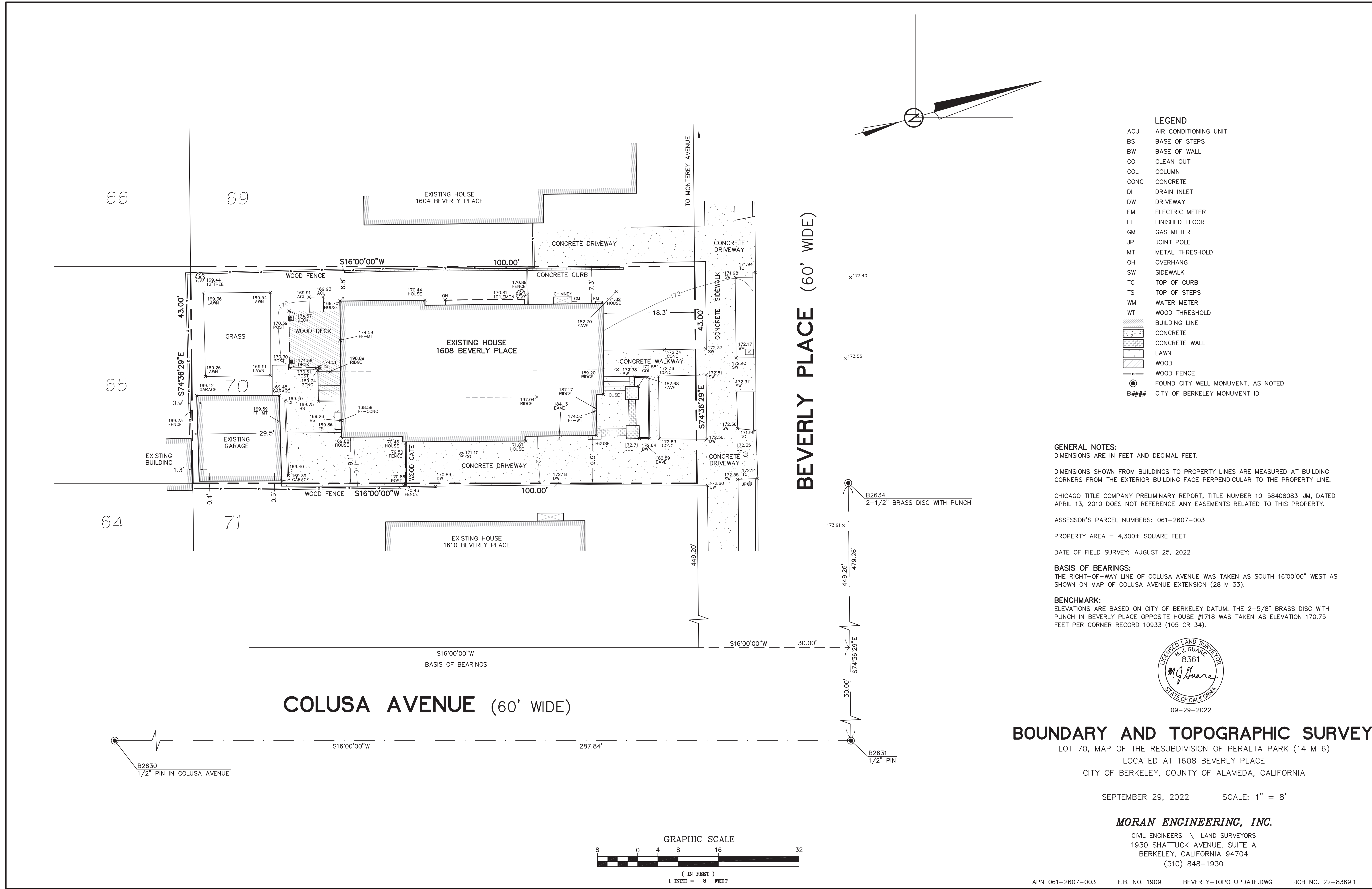
job number 22-123-2
drawn by ST

scale

date 05.18.23

title PERSPECTIVE SHADOW STUDIES
sheet number

A0.5



LEGEND

- ACU AIR CONDITIONING UNIT
- BS BASE OF STEPS
- BW BASE OF WALL
- CO CLEAN OUT
- COL COLUMN
- CONC CONCRETE
- DI DRAIN INLET
- DW DRIVEWAY
- EM ELECTRIC METER
- FF FINISHED FLOOR
- GM GAS METER
- JP JOINT POLE
- MT METAL THRESHOLD
- OH OVERHANG
- SW SIDEWALK
- TC TOP OF CURB
- TS TOP OF STEPS
- WM WATER METER
- WT WOOD THRESHOLD
- BUILDING LINE
- CONCRETE
- CONCRETE WALL
- LAWN
- WOOD
- WOOD FENCE
- FOUND CITY WELL MONUMENT, AS NOTED
- B#### CITY OF BERKELEY MONUMENT ID

GENERAL NOTES:
DIMENSIONS ARE IN FEET AND DECIMAL FEET.

DIMENSIONS SHOWN FROM BUILDINGS TO PROPERTY LINES ARE MEASURED AT BUILDING CORNERS FROM THE EXTERIOR BUILDING FACE PERPENDICULAR TO THE PROPERTY LINE.

CHICAGO TITLE COMPANY PRELIMINARY REPORT, TITLE NUMBER 10-58408083-JM, DATED APRIL 13, 2010 DOES NOT REFERENCE ANY EASEMENTS RELATED TO THIS PROPERTY.

ASSESSOR'S PARCEL NUMBERS: 061-2607-003

PROPERTY AREA = 4,300± SQUARE FEET

DATE OF FIELD SURVEY: AUGUST 25, 2022

BASIS OF BEARINGS:
THE RIGHT-OF-WAY LINE OF COLUSA AVENUE WAS TAKEN AS SOUTH 16°00'00" WEST AS SHOWN ON MAP OF COLUSA AVENUE EXTENSION (28 M 33).

BENCHMARK:
ELEVATIONS ARE BASED ON CITY OF BERKELEY DATUM. THE 2-5/8" BRASS DISC WITH PUNCH IN BEVERLY PLACE OPPOSITE HOUSE #1718 WAS TAKEN AS ELEVATION 170.75 FEET PER CORNER RECORD 10933 (105 CR 34).



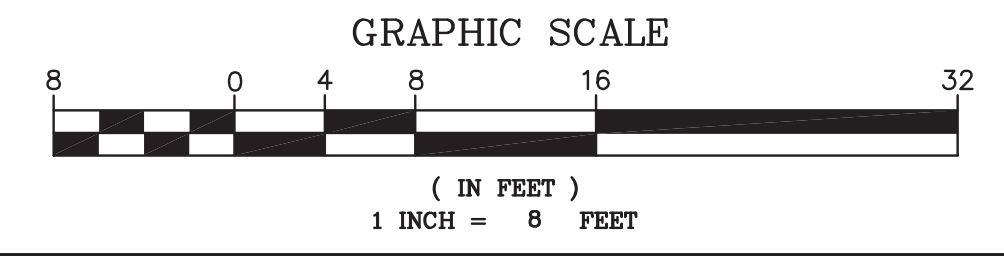
BOUNDARY AND TOPOGRAPHIC SURVEY

LOT 70, MAP OF THE RESUBDIVISION OF PERALTA PARK (14 M 6)
LOCATED AT 1608 BEVERLY PLACE
CITY OF BERKELEY, COUNTY OF ALAMEDA, CALIFORNIA

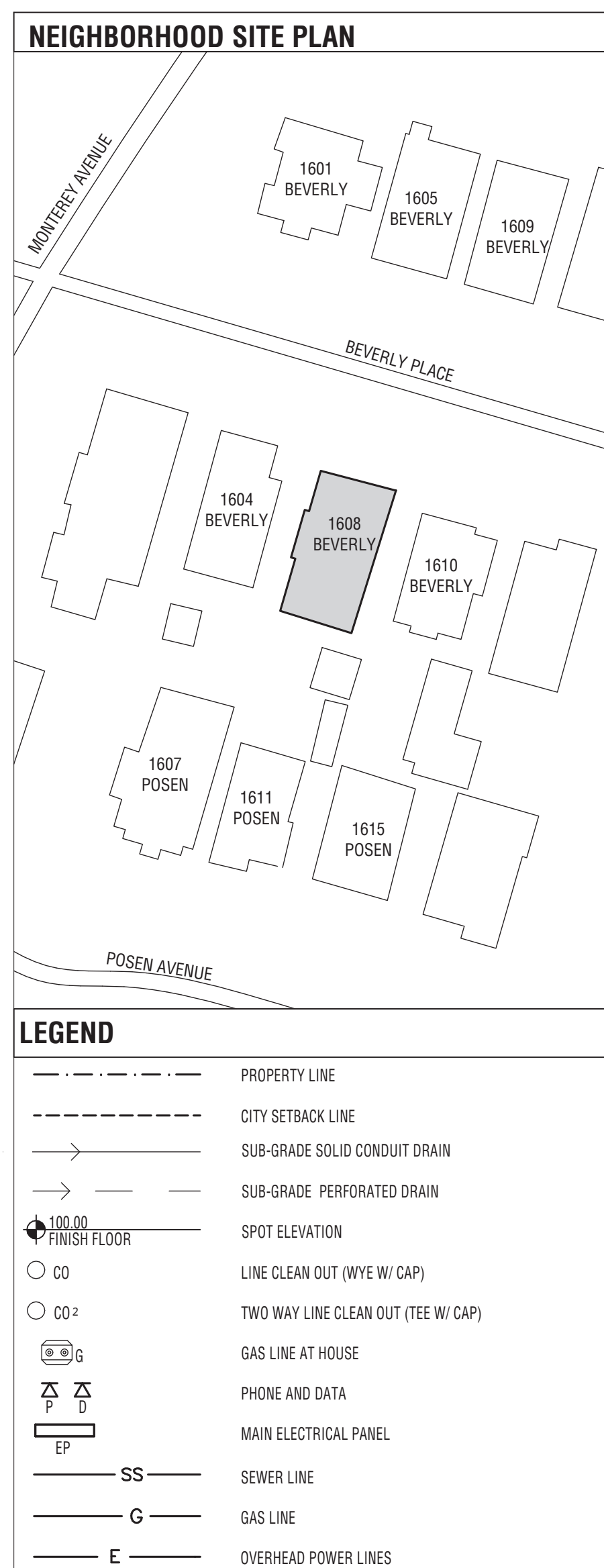
SEPTEMBER 29, 2022 SCALE: 1" = 8'

MORAN ENGINEERING, INC.

CIVIL ENGINEERS \ LAND SURVEYORS
1930 SHATTUCK AVENUE, SUITE A
BERKELEY, CALIFORNIA 94704
(510) 848-1930

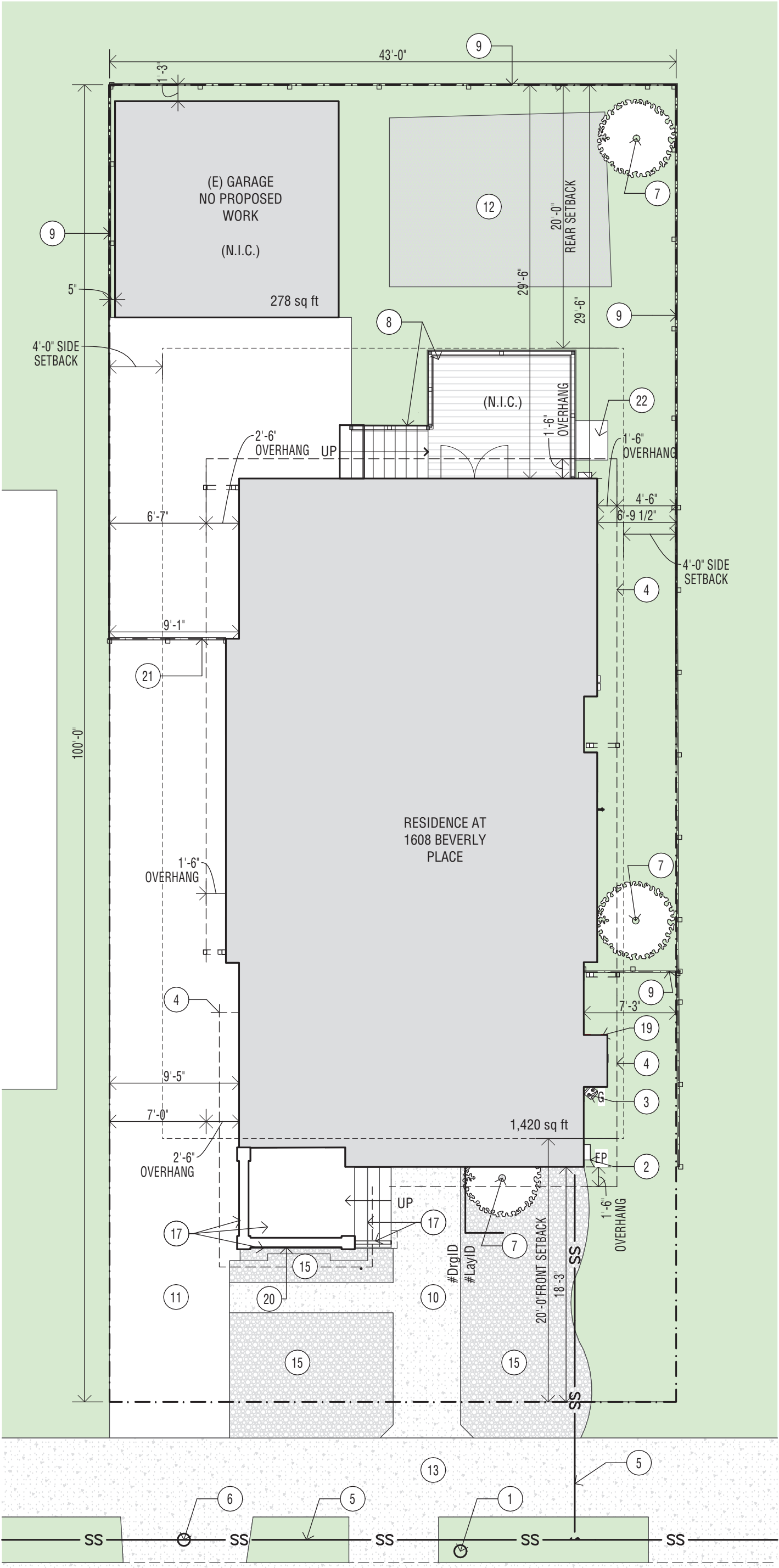


NAME (PRINTED)	SIGNATURE	ADDRESS	OWNER OR RENTER	NO OBJECTION	HAVE OBJECTIONS (BRIEFLY STATE)	HAVE NO COMMENT
		1601 BEVERLY				
Patry Hamper	<i>[Signature]</i>	1604 BEVERLY	owner	no obj		
Sen. Qwert	<i>[Signature]</i>	1605 BEVERLY	owner	no obj		
Ann Fitzgerald	<i>[Signature]</i>	1607 POSEN	owner	no obj		
		1609 BEVERLY				
Gregg King	<i>[Signature]</i>	1610 BEVERLY	owner	no obj		
Lay Boon Chang	<i>[Signature]</i>	1611 POSEN	owner	no obj		
Jennifer Altman	<i>[Signature]</i>	1615 POSEN	owner	no obj		
Shirada Shra	<i>[Signature]</i>	1611 POSEN	owner	no obj		
Ann	<i>[Signature]</i>	1609 Beverly	owner	no obj		

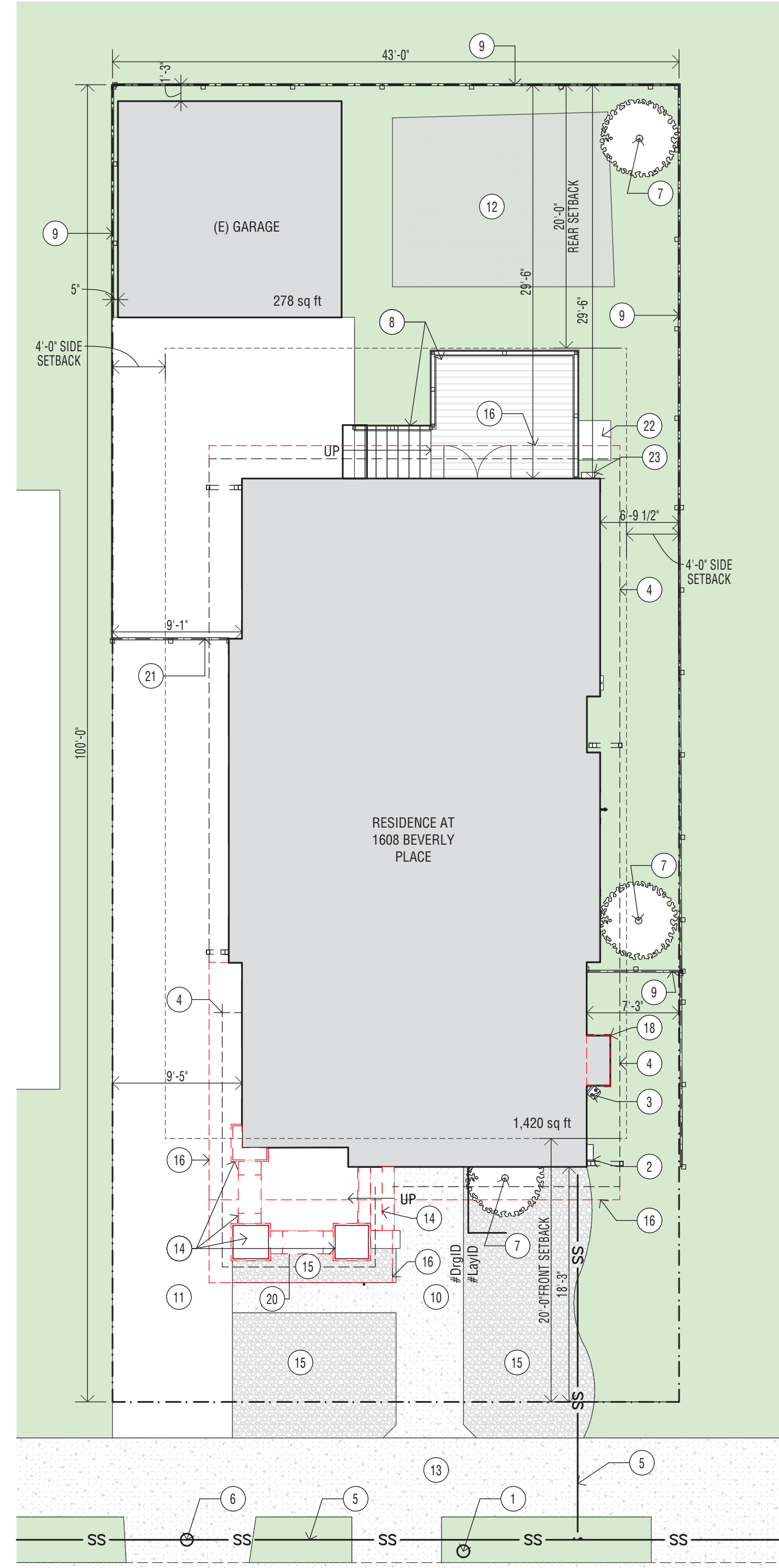


SITE GENERAL NOTES

- REFER TO SITE SURVEY FOR BUILDING LOCATION ON SITE & PROXIMITY TO NEIGHBORING STRUCTURES.
- PRIOR TO FOUNDATION INSPECTION AND POURING OF CONCRETE, PROVIDE A LETTER PREPARED BY A CALIFORNIA LICENSED LAND SURVEYOR STATING THAT ... THE NEW STRUCTURE IS LOCATED IN ACCORDANCE WITH THE APPROVED PLANS. (CRC R108.2)
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING REQUIRED ENCROACHMENT PERMITS PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO CONSTRUCTION STAGING, CONSTRUCTION PARKING, SIDEWALK SHORING, DRAINAGE, AND/OR SEWER WORK. THE ENGINEERING PERMIT CAN BE ISSUED AFTER THE BUILDING PERMIT IS APPROVED AND ISSUED. APPROVAL OF THIS BUILDING PERMIT DOES NOT AUTHORIZE WORK IN THE PUBLIC RIGHT-OF-WAY.
- IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PAVING, UTILITIES, AND CONDUIT LINES THAT CROSS UNDER CITY SIDEWALK, SHALL BE RECONSTRUCTED IN ACCORDANCE WITH APPROVED CITY STANDARDS.
- NO SURFACE DRAINAGE SHALL OCCUR ACROSS PUBLIC SIDEWALKS.
- STORM WATER RUNOFF FROM ROOF TO BE COLLECTED THROUGH DOWNSPOUTS INTO A CLOSED SUB-GRADE CONDUIT SYSTEM FOR STORM WATER & DIRECTED AS INDICATED TO STREET. SYSTEM SHALL BE:
 - SOLID PVC CONDUIT - SCH 40
 - SLOPE 1/4" PER FOOT, MIN. SLOPE SHALL BE FIELD VERIFIED FOR PROPER DRAINAGE BY THE BUILDING INSPECTOR.
 - PROVIDE A CLEANOUT AT EACH CHANGE OF DIRECTION FOR SOLID AND PERFORATED CONDUIT SYSTEMS. FITTINGS TO BE LOCATED 1' MAX FROM BUILDING AND CONTAIN A REMOVABLE CAP FOR SERVICING OF THE SYSTEM. WHERE MULTIPLE CLEANOUTS OCCUR, GANG TOGETHER NEATLY.
- DOWNSPOUTS & GUTTER TO BE SIZED PER SMACNA ARCHITECTURAL SHEET METAL MANUAL, 7TH EDITION:
 - NET HOUSE ROOF AREA = 2,102 SF / 100YR RAINFALL INTENSITY = 1 SI / 330 SF=6.4 SI
 - NOT USED
 - 2" x 3" GALVANIZED DOWNSPOUTS.
 - GUTTERS TBD
- IF A (N) SEWER LATERAL IS INCLUDED IN THE SCOPE PROVIDE:
 - A TWO-WAY CURBSIDE CLEANOUT WITH A LOOSE CAP
 - A BUILDING CLEANOUT WITH A BACKWATER PREVENTION DEVICE PER CITY STANDARDS.
- PROTECT STREET TREES AND/OR OTHER KEY PLANTS ADJACENT TO THE CONSTRUCTION PER CITY STANDARDS. MAINTAIN THROUGHOUT THE CONSTRUCTION PROCESS.
- THE OWNER AND BUILDER SHALL COMPLY WITH CITY REQUIREMENTS REGARDING WATER POLLUTION PREVENTION, NOISE CONTROL, CONSTRUCTION WORK HOURS, AND ARCHEOLOGICAL DISCOVERIES.



2 SITE PLAN PROPOSED
SCALE: 1/8" = 1'-0"



1 SITE PLAN EXISTING
SCALE: 1/8" = 1'-0"

FINISH NOTES

(E) CONCRETE	(N) SHEETROCK, LEVEL 5 FINISH, PRIME + 2 COATS PAINT	(MW2) MILLWORK, PT GRADE W/ CONVERSION VARNISH FINISH, COLOR TBD
COUNTERTOP, ENGINEERED STONE W/ MITRED EDGES AND CORNERS, COLOR TBD	(N) CEMENTITIOUS BACKING BOARD AS REQ'D FOR WET LOCATIONS	(MW3) MILLWORK, PT GRADE W/ CONVERSION VARNISH FINISH, COLOR TBD
COUNTERTOP, ENGINEERED STONE W/ MITRED EDGES AND CORNERS, COLOR TBD	(N) DIAMOND-FUSION	(R1) ROOF SHINGLES
ALUM DOWNSPOUT, PAINT, COLOR TBD, (TYP.)	(A) ALUMINUM FASCIA GUTTER, PAINT TO MATCH EXTERIOR TRIM COLOR, TYP.	(R2) ROOF SHINGLES
FLOOR FINISH	(M) MECHANICAL AIR SUPPLY LINEAR DIFFUSER	(S1) EXTERIOR STUCCO
FLOOR FINISH	(M) MILLWORK, WD VENEER W/ CLEAR CONVERSION VARNISH, COORD GRAIN DIRECTION W/ ARCH.	(S2) EXTERIOR CEMENT BOARD SIDING
		(S3) EXTERIOR STUCCO
		(T) TILE

SHEET NOTES

(1) (E) WATER METER	(9) (E) FENCE TO REMAIN	(16) (E) ROOF EAVE TO BE REMOVED, SEE PROPOSED ROOF PLAN FOR SCOPE	(21) (E) WOOD GATE (CAR AND PEDESTRIAN)
(2) (E) ELECTRIC METER	(10) (E) WALKWAY	(17) (E) STAIR, HANDRAIL AND ENTRY ENCLOSURE, SEE EXTERIOR ELEVATIONS	(22) (E) CONDENSING UNIT
(3) (E) GAS METER	(11) (E) DRIVEWAY	(18) (E) BRICK CHIMNEY TO BE REMOVED	(23) (E) SOLAR PV SYSTEM PANEL
(4) DASHED LINE INDICATES ROOF EAVE ABOVE	(12) (E) LAWN	(19) (N) WOOD FRAME BAY PROJECTION, SEE EXTERIOR ELEVATIONS	(24) (E) WOOD GATE (CAR AND PEDESTRIAN)
(5) (E) SEWER LINE TO CITY	(13) (E) SIDEWALK	(20) (E) HOUSE NUMBER	(25) (E) CONDENSING UNIT
(6) (E) SEWER LINE CLEAN OUT	(14) (E) ENTRY ENCLOSURE TO BE REMOVED, SEE EXTERIOR ELEVATIONS FOR SCOPE		(26) (E) SOLAR PV SYSTEM PANEL
(7) (E) TREE TO REMAIN	(15) (E) PLANTING AREA TO REMAIN		(27) (E) CONDENSING UNIT
(8) (E) RAILING, DECK AND STAIRS TO REMAIN			(28) (E) CONDENSING UNIT

HATCH LEGEND

(---) EXISTING WALL TO REMAIN
(---) NEW WALL, SEE ASSEMBLY TYPE ON A7.1
(---) WALL TO BE DEMOLISHED
(---) 1-HR FIRE RATED WALL, COMPLY WITH CBC 70302.4.2 FOR PENETRATIONS OF FIRE-RESISTANCE RATED ASSEMBLIES.
(---) SHEAR WALL, SSD

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issue

PLANNING	11.14.22
PLANNING #2 (REV 1)	01.13.23
PLANNING #3 (REV 2)	05.18.23

**PRELIMINARY
NOT FOR
CONSTRUCTION**

job number 22-123-2
drawn by ST
scale
date 05.18.23
title sheet number

SITE PLANS
A1.1

DEMOLITION GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND NOTIFY OWNER OF ANY DISCREPANCIES. ALL DIMENSIONS FOR EXISTING CONSTRUCTION ARE APPROXIMATE AND MUST BE FIELD VERIFIED.
- CONTRACTOR SHALL CHECK THE STABILITY OF ALL ELEMENTS OF THE BUILDING BEFORE DOING ANY WORK ON OR DEMOLISHING THE EXISTING STRUCTURE. THE CONTRACTOR SHALL BRACE OR STRENGTHEN ANY PORTIONS OF THE STRUCTURE THAT MAY BE WEAKENED BY DEMOLITION OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY AND PRESERVATION OF EXISTING CONSTRUCTION NOT SLATED FOR DEMOLITION.
- CONTRACTOR SHALL VERIFY WITH OWNER ANY ITEM TO BE SALVAGED AND REUSED. DAMAGE TO ANY SUCH ITEM WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- REMOVAL OF WALL FINISHES, FLOOR FINISHES, AND CEILING FINISHES SHALL INCLUDE ALL MATERIAL DOWN TO FRAMING, EXTERIOR SHEATHING OR SUB FLOOR.
- REMOVE (E) FINISHES, HARDWARE, EQUIPMENT, CONDUIT, PLUMBING & FRAMING NECESSARY TO ACCOMMODATE ALL (N) WORK.
- DEMOLITION AND REMOVAL WORK SHALL CONFORM TO APPLICABLE CODES AND REGULATIONS, INCLUDING 3.6.0, CHAPTER 44 AND A.N.S.I. A10.6-1983. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR IDENTIFYING, TESTING AND DISPOSING OF ANY HAZARDOUS MATERIALS ENCOUNTERED IN THE DEMOLITION PROCESS IN ACCORDANCE W/ APPLICABLE CODES, ORDINANCES & REGULATIONS.
- DOCUMENTATION HEREIN DOES NOT AUTHORIZE, DESCRIBE, REQUIRE OR INCLUDE THE REMOVAL OF ANY HAZARDOUS MATERIALS OR ELEMENT, INCLUDING ASBESTOS AND PCB'S. GENERAL CONTRACTOR SHALL COMPLY WITH APPLICABLE LAWS, REGULATIONS, ORDINANCES AND RULES RELATING TO ANY HAZARDOUS OR TOXIC MATERIALS. IF GENERAL CONTRACTOR DISCOVERS ANY SUCH MATERIALS ON THE PROPERTY, GENERAL CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER. ANY REMOVAL OF HAZARDOUS MATERIALS SHALL BE DOCUMENTED SEPARATELY, AND SHALL OCCUR AS REQUIRED BY CODE & REGULATORY REQUIREMENTS.

CONSTRUCTION GENERAL NOTES

- INTERIOR**
- SEE WALL PARTITION TYPES FOR ALL (N) WALL ASSEMBLY.
 - ALL DIMS ARE TO FACE OF FINISH, CENTERLINE OF OPENING, OR EDGE OF JAMB FRAME, U.O.N.
 - ALL DOORS AND WINDOWS NOT TAGGED ARE EXISTING TO REMAIN U.O.N.
 - SHEETROCK TO BE LEVEL 5 FINISH, PRIME + 2 COATS PAINT. COORD COLOR W/ OWNER & ARCH.
 - WHERE SHEAR PANELING ENDS MID ROOM, FUR OUT WALL FOR CONTINUOUS FINISH.
 - PROVIDE BLOCKING WHERE NECESSARY FOR WALL MOUNTED CABINETRY, SHELVING, AND TOILET ROOM ACCESSORIES.
 - BATHROOM NOTES:
 - ALL TOILETS TO HAVE A MINIMUM CLEARANCE OF 24" IN FRONT AND 15" FROM CENTERLINE OF THE TOILET TO EACH SIDE.
 - SHOWER AND TUB/SHOWER WALLS SHALL BE PROVIDED WITH A MOISTURE RESISTANT UNDERLAYMENT (E.G. FIBER-CEMENT BACKER BOARD, FIBER-REINFORCED GYPSUM PANEL, GLASS MAT GYPSUM BACKING PANEL, OR FIBER MAT REINFORCED CEMENTITIOUS BACKER UNITS) TO A MINIMUM HEIGHT OF 72 INCHES ABOVE THE FLOOR. (CRC SEC. R307.2, R702.4).
 - STAIRS AND STAIR COMPONENTS, CRC §R311.7.
 - 36" MINIMUM WIDTH AT STAIRWAY.
 - 36" MINIMUM LANDINGS. LANDINGS OR A FLOOR IS REQUIRED AT THE BOTTOM AND TOP OF EACH STAIRWAY. CRC §R311.3.
 - HANDRAILS SHALL COMPLY WITH THE FOLLOWING (REQUIRED AT ALL STAIRS WITH 4 OR MORE RISERS):
 - HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCH BETWEEN THE WALL AND HANDRAILS.
 - MOUNTING HEIGHT 34" TO 38" ABOVE THE TREAD NOSING.
 - HANDRAIL ENDS TO BE RETURNED TO WALL, GUARD, OR WALKING SURFACE. (STARTING OR VOLUTE NEWEL MAY BE USED AT FIRST TREAD.)
 - HANDRAIL ASSEMBLIES AND GUARDS SHALL BE MOUNTED SO THAT THE COMPLETED RAIL AND SUPPORTING STRUCTURE ARE CAPABLE OF WITHSTANDING A CONCENTRATED LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP. CRC §R301.5
 - INSTALL 5/8" GYP BOARD AT WALLS AND SOFFIT OF ENCLOSED USABLE SPACE UNDER STAIRS. CRC §R302.7.
 - STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSING, U.O.N (CBC 1006.5).
 - PROVIDE 22"x30" ATTIC ACCESS, OR SIZE OF LARGEST PIECE OF ATTIC EQUIPMENT. (CRC R807.1 AND CMC 904.11.1).
 - NATURAL ATTIC VENTILATION AND ENCLOSED RAFTER SPACES TO MEET CRC R806. NET FREE CROSS-VENTILATION AREA EQUIVALENT TO 1/150 OF AREA VENTILATED.

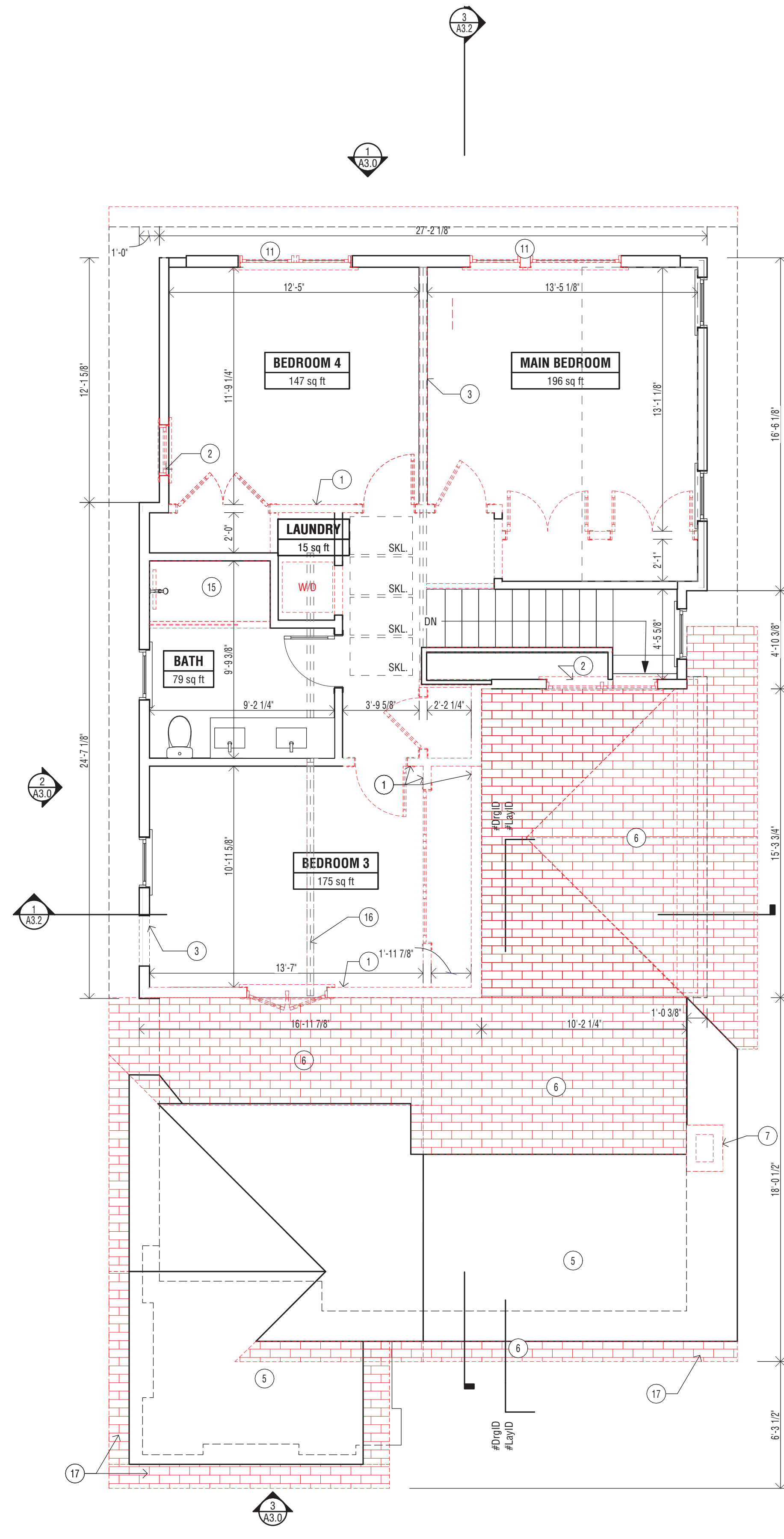
- EXTERIOR**
- PROVIDE HOUSE ADDRESS NUMBERS PER CRC §R319.
 - NUMBERS TO BE CLEARLY VISIBLE FROM THE ACCESS STREET OR ROAD.
 - NUMBERS MIN. 4" HIGH WITH MIN. 0.5" STROKE ON CONTRASTING BACKGROUND.
 - WHERE STUCCO EXTERIOR FINISH IS PROPOSED OVER WOOD FRAMING (CRC §R703.7):
 - PROVIDE THREE COATS OF STUCCO OR PLASTER OVER METAL OR WIRE FABRIC LATH OVER TWO LAYERS OF GRADE D PAPER OR EQUIVALENT.
 - PROVIDE MINIMUM 26-GAUGE GALVANIZED WEEP SCREED AT OR BELOW THE FOUNDATION PLATE LINE, AND 4" MIN. ABOVE EARTH OR 2" ABOVE PAVEMENT.
 - WOOD LOCATED NEARER THAN 6" TO EARTH SHALL BE PRESSURE TREATED.

FIRE PROTECTION NOTES

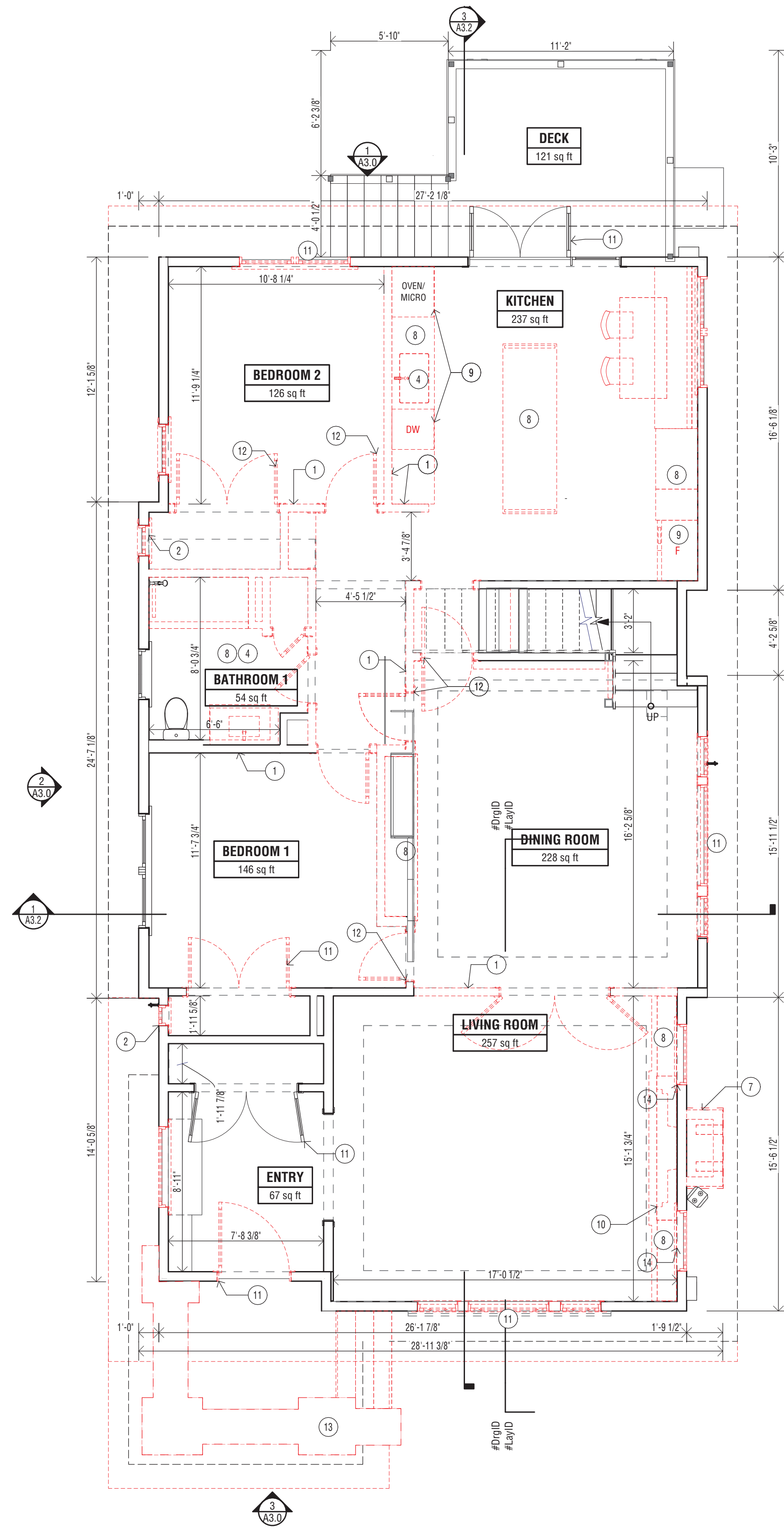
- FOR NEW BUILDING WALLS LOCATED WHERE FSD (FIRE SEPARATION DISTANCE AS DEFINED IN CRC TABLE R302.1(1)) IS LESS THAN 5'
 - PROVIDE 1-HOUR FIRE-RESISTANCE RATING FOR WALL DUE TO PROXIMITY TO PROPERTY LINE. CRC R302.1 & TABLE R302.1(1)OR 2).
 - UNPROTECTED OPENINGS (DOORS, WINDOWS, VENTS FOR ATTIC, CRAWLSPACE, APPLIANCE, ETC.) ARE NOT ALLOWED WHERE FSD IS 3' OR LESS. TABLE R302.1(1)OR 2).
 - PROTECTED OPENINGS ARE ALLOWED WHERE FSD IS GREATER THAN 3' BUT MAY NOT EXCEED 25% OF WALL AREA. (*AND UNPROTECTED OPENINGS IN SPRINKLERED BUILDINGS ONLY.) CRC TABLE R302.1(1)OR 2).
- FOR THROUGH & MEMBRANE PENETRATIONS IN FIRE-RATED ASSEMBLIES, SEE DET SHTS.

FINISH NOTES

(E) CONCRETE	(N) SHEETROCK, LEVEL 5 FINISH, PRIME + 2 COATS PAINT	(MW2) MILLWORK, PT GRADE W/ CONVERSION VARNISH FINISH, COLOR TBD	(TL2) TILE
(CT1) COUNTERTOP, ENGINEERED STONE W/ MITRED EDGES AND CORNERS, COLOR TBD	(N) CEMENTITIOUS BACKING BOARD AS REQ'D FOR NET LOCATIONS	(MW3) MILLWORK, PT GRADE W/ CONVERSION VARNISH FINISH, COLOR TBD	(TL3) TILE
(CT2) COUNTERTOP, ENGINEERED STONE W/ MITRED EDGES AND CORNERS, COLOR TBD	(SCH) SCHICKER FRAMELESS SHOWER DR. CHROME HARDWARE, CRYSTAL CLEAR, DIAMON-FUSION.	(RF1) (E) ROOF SHINGLES	(TR1) (N) WOOD BASEBOARDS, PRIME + 2 COATS PT. COLOR TBD.
(DS1) ALUM DOWNSPOUT, PAINT, COLOR TBD, (TYP.)	(GL1) ALUMINUM FASCIA GUTTER, PAINT TO MATCH EXTERIOR TRIM COLOR, TYP.	(RF2) (N) ROOF SHINGLES	(TR2) (N) DOOR TRIM
(FL1) FLOOR FINISH	(MC1) MECHANICAL AIR SUPPLY LINEAR DIFFUSER	(SD1) (E) EXTERIOR STUCCO	(TR3) (N) WINDOW TRIM
(FL2) FLOOR FINISH	(MW1) MILLWORK, WD VENEER W/ CLEAR CONVERSION VARNISH, COORD GRAIN DIRECTION W/ ARCH.	(SD2) EXTERIOR CEMENT BOARD SIDING	(WD1) IPE DECKING
		(SD3) (N) EXTERIOR STUCCO	(WD2) PAINTED DECORATIVE ROOF BRACKETS (TYP.)
		(TL1) TILE	(MT1) EXTERIOR RAILING



2 SECOND FLOOR EXISTING & DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR EXISTING & DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

SHEET NOTES

- WALL TO BE REMOVED (TYP.)
- REMOVE (E) WINDOW OR DOOR AND BUILD OUT WALL
- PORTION OF (E) WALL TO BE REMOVED FOR (N) WINDOW OR DOOR
- REMOVE AND DONATE (E) PLUMBING FIXTURES
- (E) SHINGLE ROOFING TO REMAIN
- HATCH INDICATES EXTENTS OF (E) ROOF TO BE REMOVED
- (E) CHIMNEY TO BE REMOVED
- REMOVE (E) CASEWORK, CLIENT TO STORE/SELL
- REMOVE & DONATE (E) APPLIANCES
- REMOVE (E) FIREPLACE MANTEL/SURROUND - CLIENT TO STORE/SELL
- REMOVE (E) WINDOW OR DOOR & REPLACE WITH (N) IN (E) OPENING. SAVE (E) FOR OWNER TO SELL. (E) CASING TO BE SAVED FOR RE-USE.
- REMOVE (E) DOOR, SAVE FOR CLIENT TO STORE/SELL (TYP.)
- DEMO ENTIRE ENTRANCE FRONT PORCH/PATIO
- REMOVE (E) DETAILED TRIM AT WINDOWS
- REMOVE (E) SHOWER TILE, GLASS & FIXTURES
- REMOVE (E) BEAM
- DEMO PORTION OF EAVE & FACIA ONLY

HATCH LEGEND

(Solid line)	EXISTING WALL TO REMAIN
(Dashed line)	NEW WALL, SEE ASSEMBLY TYPE ON A7.1
(Red dashed line)	WALL TO BE DEMOLISHED
(Hatched pattern)	1-HR FIRE RATED WALL, COMPLY WITH CBC R302.2.2 FOR PENETRATIONS OF FIRE-RESISTANCE RATED ASSEMBLIES.
(Diagonal hatched pattern)	SHEAR WALL, SSD

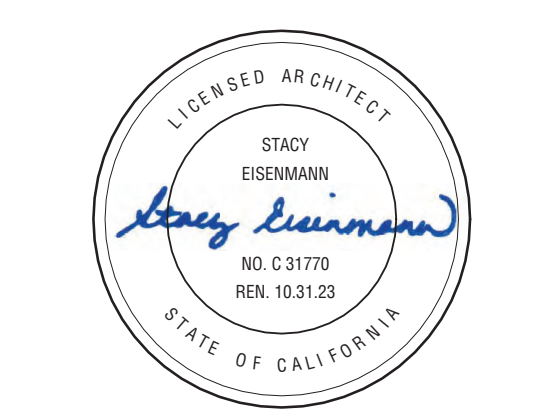
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issue

PLANNING	11.14.22
PLANNING #2 (REV 1)	01.13.23
PLANNING #3 (REV 2)	05.18.23

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CONSTRUCTION**

job number 22-123-2 drawn by ST

scale

date 05.18.23

title sheet number

DEMOLITION FLOOR PLANS

A2.0

DEMOLITION GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND NOTIFY OWNER OF ANY DISCREPANCIES. ALL DIMENSIONS FOR EXISTING CONSTRUCTION ARE APPROXIMATE AND MUST BE FIELD VERIFIED.
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- REMOVE (E) FINISHES, HARDWARE, EQUIPMENT, CONDUIT, PLUMBING & FRAMING NECESSARY TO ACCOMMODATE ALL (N) WORK.
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CONSTRUCTION GENERAL NOTES

INTERIOR

- SEE WALL PARTITION TYPES FOR ALL (N) WALL ASSEMBLY.
- ALL DIMS ARE TO FACE OF FINISH, CENTERLINE OF OPENING, OR EDGE OF JAMB FRAME, U.O.N.
- ALL DOORS AND WINDOWS NOT TAGGED ARE EXISTING TO REMAIN U.O.N.
- SHEETROCK TO BE LEVEL 5 FINISH. PRIME + 2 COATS PAINT. COORD COLOR W/ OWNER & ARCH.
- WHERE SHEAR PANELING ENDS MID ROOM, FUR OUT WALL FOR CONTINUOUS FINISH.
- PROVIDE BLOCKING WHERE NECESSARY FOR WALL MOUNTED CABINETS, SHELVING, AND TOILET ROOM ACCESSORIES.
- BATHROOM NOTES:
 - ALL TOILETS TO HAVE A MINIMUM CLEARANCE OF 24" IN FRONT AND 15" FROM CENTERLINE OF THE TOILET TO EACH SIDE.
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 - MOUNTING HEIGHT 34" TO 38" ABOVE THE TREAD NOSING.
 - HANDRAIL ENDS TO BE RETURNED TO WALL, GUARD, OR WALKING SURFACE. (STARTING OR VOLUTE NEWEL MAY BE USED AT FIRST TREAD.)
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 - INSTALL 5/8" GYP BOARD AT WALLS AND SOFFIT OF ENCLOSED USABLE SPACE UNDER STAIRS. CRC§R302.7.
 - STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSING, U.O.N (CBC 1009.5).
- PROVIDE 22"x30" ATTIC ACCESS, OR SIZE OF LARGEST PIECE OF ATTIC EQUIPMENT. (CRC R807.1 AND CMC 904.11.1).
- NATURAL ATTIC VENTILATION AND ENCLOSED RAFTER SPACES TO MEET CRC R806. NET FREE CROSS-VENTILATION AREA EQUIVALENT TO 1/150 OF AREA VENTILATED.

EXTERIOR

- PROVIDE HOUSE ADDRESS NUMBERS PER CRC §R319.
 - NUMBERS TO BE CLEARLY VISIBLE FROM THE ACCESS STREET OR ROAD.
 - NUMBERS MIN. 4" HIGH WITH MIN. 0.5" STROKE ON CONTRASTING BACKGROUND.
- WHERE STUCCO EXTERIOR FINISH IS PROPOSED OVER WOOD FRAMING (CRC §R703.7):
 - PROVIDE THREE COATS OF STUCCO OR PLASTER OVER METAL OR WIRE FABRIC LATH OVER TWO LAYERS OF GRADE D PAPER OR EQUIVALENT.
 - PROVIDE MINIMUM 26-GAUGE GALVANIZED WEEP SCREED AT OR BELOW THE FOUNDATION PLATE LINE, AND 4" MIN. ABOVE EARTH OR 2" ABOVE PAVEMENT.
- WOOD LOCATED NEARER THAN 6" TO EARTH SHALL BE PRESURE TREATED.

FIRE PROTECTION NOTES

- FOR NEW BUILDING WALLS LOCATED WHERE FSD (FIRE SEPARATION DISTANCE AS DEFINED IN CRC TABLE R302.1(1)) IS LESS THAN 5':
 - PROVIDE 1-HOUR FIRE-RESISTANCE RATING FOR WALL DUE TO PROXIMITY TO PROPERTY LINE. CRC R302.1 & TABLE R302.1(1)OR 2).
 - UNPROTECTED OPENINGS (DOORS, WINDOWS, VENTS FOR ATTIC, CRAWLSPACE, APPLIANCE, ETC.) ARE NOT ALLOWED WHERE FSD IS 3' OR LESS. TABLE R302.1(1)OR 2).
 - PROTECTED OPENINGS* ARE ALLOWED WHERE FSD IS GREATER THAN 3' BUT MAY NOT EXCEED 25% OF WALL AREA. (*AND UNPROTECTED OPENINGS IN SPRINKLERED BUILDINGS ONLY.) CRC TABLE R302.1(1)OR 2).
- FOR THROUGH & MEMBRANE PENETRATIONS IN FIRE-RATED ASSEMBLIES, SEE DET SHTS.

FINISH NOTES

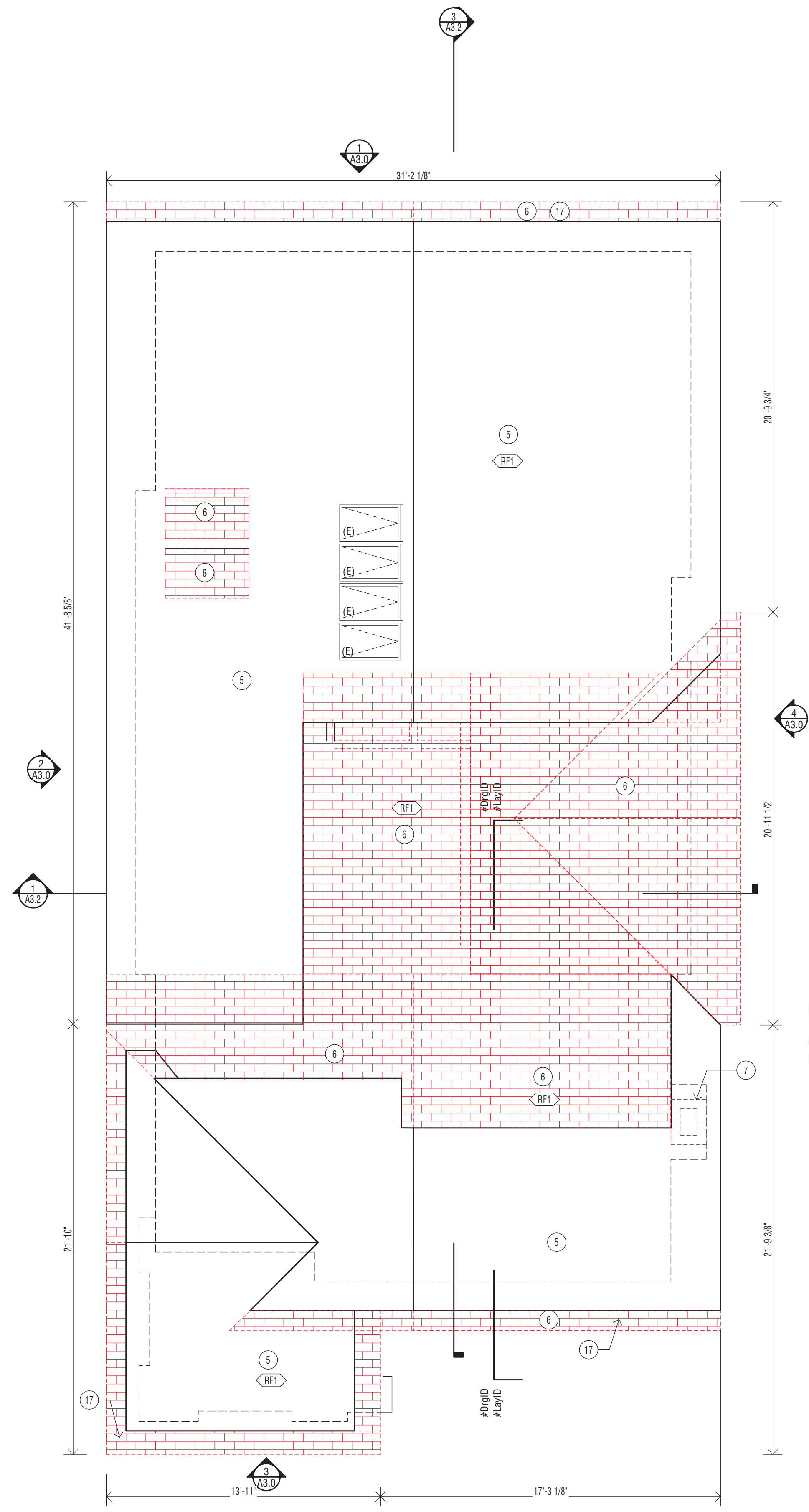
CD1	(E) CONCRETE	GBT	(N) SHEETROCK, LEVEL 5 FINISH. PRIME + 2 COATS PAINT	MW2	MILLWORK, PT GRADE W/ CONVERSION VARNISH FINISH, COLOR TBD	TL2	TILE
CT1	COUNTERTOP, ENGINEERED STONE W/ MITRED EDGES AND CORNERS, COLOR TBD	GB2	(N) CEMENTITIOUS BACKING BOARD AS REQ'D FOR WET LOCATIONS	MW3	LMILLWORK, PT GRADE W/ CONVERSION VARNISH FINISH, COLOR TBD	TL3	TILE
CT2	COUNTERTOP, ENGINEERED STONE W/ MITRED EDGES AND CORNERS, COLOR TBD	GL1	SCHICKER FRAMELESS SHOWER DR. CHROME HARDWARE. CRYSTAL CLEAR. DIAMOND-FUSION.	RF1	(E) ROOF SHINGLES	TR1	(N) WOOD BASEBOARDS. PRIME + 2 COATS PT. COLOR TBD.
DS1	ALUM DOWNSPOUT. PAINT, COLOR TBD. (TYP.)	GUT	ALUMINUM FASCIA GUTTER, PAINT TO MATCH EXTERIOR TRIM COLOR. TYP.	RF2	(N) ROOF SHINGLES	TR2	(N) DOOR TRIM
FL1	FLOOR FINISH	MCI	MECHANICAL AIR SUPPLY LINEAR DIFFUSER	SD1	(E) EXTERIOR STUCCO	TR3	(N) WINDOW TRIM
FL2	FLOOR FINISH	MW1	MILLWORK, WD VENEER W/ CLEAR CONVERSION VARNISH, COORD GRAIN DIRECTION W/ ARCH.	SD2	EXTERIOR CEMENT BOARD SIDING	WD1	IPE DECKING
				SD3	(N) EXTERIOR STUCCO	WD2	PAINTED DECORATIVE ROOF BRACKETS (TYP.)
				TL1	TILE	MT1	EXTERIOR RAILING

SHEET NOTES

- WALL TO BE REMOVED (TYP.)
- REMOVE (E) WINDOW OR DOOR AND BUILD OUT WALL
- PORTION OF (E) WALL TO BE REMOVED FOR (N) WINDOW OR DOOR
- REMOVE AND DONATE (E) PLUMBING FIXTURES
- SHINGLE ROOFING TO REMAIN
- HATCH INDICATES EXTENTS OF (E) ROOF TO BE REMOVED
- (E) CHIMNEY TO BE REMOVED
- REMOVE (E) CASEWORK, CLIENT TO STORE/SELL
- REMOVE & DONATE (E) APPLIANCES
- REMOVE (E) FIREPLACE MANTEL/SURROUND - CLIENT TO STORE/SELL
- REMOVE (E) WINDOW OR DOOR & REPLACE WITH (N) IN (E) OPENING. SAVE (E) FOR OWNER TO SELL. (E) CASING TO BE SAVED FOR RE-USE.
- REMOVE (E) DOOR, SAVE FOR CLIENT TO STORE/SELL (TYP.)
- DEMO ENTIRE ENTRANCE FRONT PORCH/PATIO
- REMOVE (E) DETAILED TRIM AT WINDOWS
- REMOVE (E) SHOWER TILE, GLASS & FIXTURES
- REMOVE (E) BEAM
- DEMO PORTION OF EAVE & FACIA ONLY

HATCH LEGEND

	EXISTING WALL TO REMAIN
	NEW WALL, SEE ASSEMBLY TYPE ON A7.1
	WALL TO BE DEMOLISHED
	1-HR FIRE RATED WALL, COMPLY WITH CRC R302.4.2 FOR PENETRATIONS OF FIRE-RESISTANCE RATED ASSEMBLIES.
	SHEAR WALL, SSD



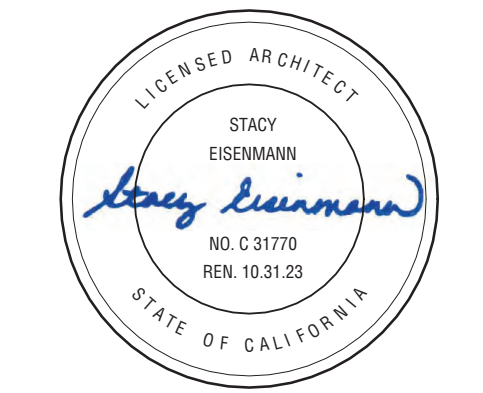
1 ROOF EXISTING & DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

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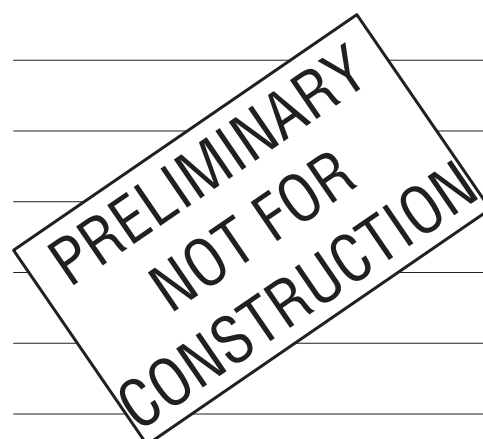
project

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issue

PLANNING	11.14.22
PLANNING #2 (REV 1)	01.13.23
PLANNING #3 (REV 2)	05.18.23



job number

22-123-2

scale

date

05.18.23

sheet number

DEMOLITION FLOOR PLANS
CONT'D

A2.1

date

DEMOLITION GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND NOTIFY OWNER OF ANY DISCREPANCIES. ALL DIMENSIONS FOR EXISTING CONSTRUCTION ARE APPROXIMATE AND MUST BE FIELD VERIFIED.
- CONTRACTOR SHALL CHECK THE STABILITY OF ALL ELEMENTS OF THE BUILDING BEFORE DOING ANY WORK ON OR DEMOLISHING THE EXISTING STRUCTURE. THE CONTRACTOR SHALL BRACE OR STRENGTHEN ANY PORTIONS OF THE STRUCTURE THAT MAY BE WEAKENED BY DEMOLITION OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY AND PRESERVATION OF EXISTING CONSTRUCTION NOT SLATED FOR DEMOLITION.
- CONTRACTOR SHALL VERIFY WITH OWNER ANY ITEM TO BE SALVAGED AND REUSED. DAMAGE TO ANY SUCH ITEM WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- REMOVAL OF WALL FINISHES, FLOOR FINISHES, AND CEILING FINISHES SHALL INCLUDE ALL MATERIAL DOWN TO FRAMING, EXTERIOR SHEATHING OR SUB FLOOR.
- REMOVE (E) FINISHES, HARDWARE, EQUIPMENT, CONDUIT, PLUMBING & FRAMING NECESSARY TO ACCOMMODATE ALL (N) WORK.
- DEMOLITION AND REMOVAL WORK SHALL CONFORM TO APPLICABLE CODES AND REGULATIONS, INCLUDING 3.6.0, CHAPTER 44 AND A.N.S.I. A10.6-1983 THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR IDENTIFYING, TESTING AND DISPOSING OF ANY HAZARDOUS MATERIALS ENCOUNTERED IN THE DEMOLITION PROCESS IN ACCORDANCE W/ APPLICABLE CODES, ORDINANCES & REGULATIONS.
- DOCUMENTATION HEREIN DOES NOT AUTHORIZE, DESCRIBE, REQUIRE OR INCLUDE THE REMOVAL OF ANY HAZARDOUS MATERIALS OR ELEMENT, INCLUDING ASBESTOS AND PCB'S/ GENERAL CONTRACTOR SHALL COMPLY WITH APPLICABLE LAWS, REGULATIONS, ORDINANCES AND RULES RELATING TO ANY HAZARDOUS OR TOXIC MATERIALS. IF GENERAL CONTRACTOR DISCOVERS ANY SUCH MATERIALS ON THE PROPERTY, GENERAL CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER. ANY REMOVAL OF HAZARDOUS MATERIALS SHALL BE DOCUMENTED SEPARATELY, AND SHALL OCCUR AS REQUIRED BY CODE & REGULATORY REQUIREMENTS.

CONSTRUCTION GENERAL NOTES

INTERIOR

- SEE WALL PARTITION TYPES FOR ALL (N) WALL ASSEMBLY.
- ALL DIMS ARE TO FACE OF FINISH, CENTERLINE OF OPENING, OR EDGE OF JAMB FRAME, U.O.N.
- ALL DOORS AND WINDOWS NOT TAGGED ARE EXISTING TO REMAIN U.O.N.
- SHEETROCK TO BE LEVEL 5 FINISH, PRIME + 2 COATS PAINT. COORD COLOR W/ OWNER & ARCH.
- WHERE SHEAR PANELING ENDS MID ROOM, FUR OUT WALL FOR CONTINUOUS FINISH.
- PROVIDE BLOCKING WHERE NECESSARY FOR WALL MOUNTED CABINETRY, SHELVING, AND TOILET ROOM ACCESSORIES.
- BATHROOM NOTES:
 - ALL TOILETS TO HAVE A MINIMUM CLEARANCE OF 24" IN FRONT AND 15" FROM CENTERLINE OF THE TOILET TO EACH SIDE.
 - SHOWER AND TUB/SHOWER WALLS SHALL BE PROVIDED WITH A MOISTURE RESISTANT UNDERLAYMENT (E.G. FIBER-CEMENT BACKER BOARD, FIBER-REINFORCED GYPSUM PANEL, GLASS MAT GYPSUM BACKING PANEL, OR FIBER MAT REINFORCED CEMENTITIOUS BACKER UNITS) TO A MINIMUM HEIGHT OF 72 INCHES ABOVE THE FLOOR. (CRC SEC. R307.2, R702.4).
- STAIRS AND STAIR COMPONENTS, CRC §R311.7.
 - 36" MINIMUM WIDTH AT STAIRWAY.
 - 36" MINIMUM LANDINGS. LANDINGS OR A FLOOR IS REQUIRED AT THE BOTTOM AND TOP OF EACH STAIRWAY. CRC §R311.3.
 - HANDRAILS SHALL COMPLY WITH THE FOLLOWING (REQUIRED AT ALL STAIRS WITH 4 OR MORE RISERS):
 - HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCH BETWEEN THE WALL AND HANDRAILS.
 - MOUNTING HEIGHT 34" TO 38" ABOVE THE TREAD NOSING.
 - HANDRAIL ENDS TO BE RETURNED TO WALL, GUARD, OR WALKING SURFACE. (STARTING OR VOLUTE NEWEL MAY BE USED AT FIRST TREAD.)
 - HANDRAIL ASSEMBLIES AND GUARDS SHALL BE MOUNTED SO THAT THE COMPLETED RAIL AND SUPPORTING STRUCTURE ARE CAPABLE OF WITHSTANDING A CONCENTRATED LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP. CRC §R301.5.
 - INSTALL 5/8" GYP BOARD AT WALLS AND SOFFIT OF ENCLOSED USABLE SPACE UNDER STAIRS. CRC §R302.7.
 - STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSING, U.O.N (CBC 1006.5).
- PROVIDE 22"x30" ATTIC ACCESS, OR SIZE OF LARGEST PIECE OF ATTIC EQUIPMENT. (CRC R807.1 AND CMC 904.11.1).
- NATURAL ATTIC VENTILATION AND ENCLOSED RAFTER SPACES TO MEET CRC R806. NET FREE CROSS-VENTILATION AREA EQUIVALENT TO 1/150 OF AREA VENTILATED.

EXTERIOR

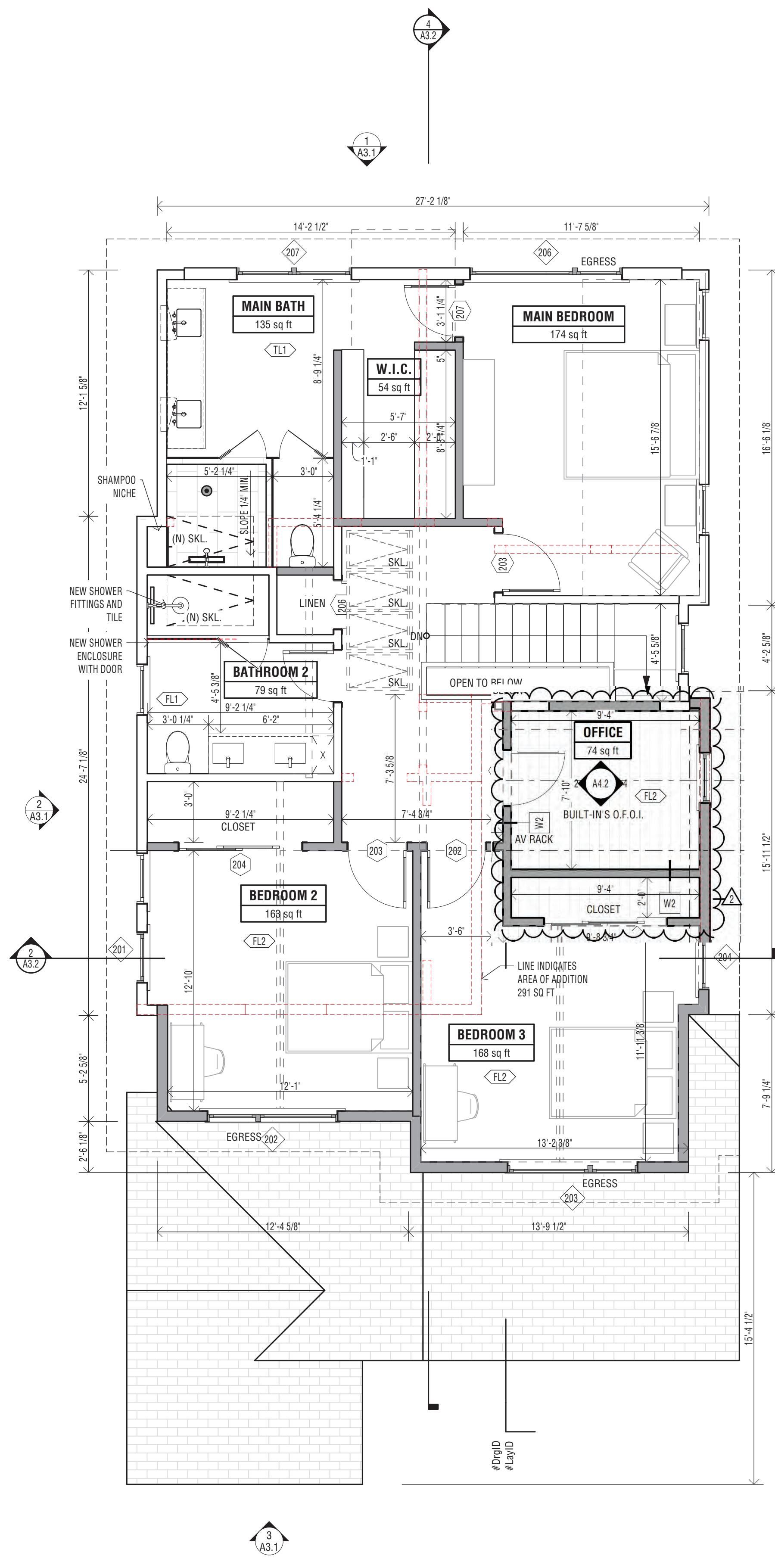
- PROVIDE HOUSE ADDRESS NUMBERS PER CRC §R319.
 - NUMBERS TO BE CLEARLY VISIBLE FROM THE ACCESS STREET OR ROAD.
 - NUMBERS MIN. 4" HIGH WITH MIN. 0.5" STROKE ON CONTRASTING BACKGROUND.
- WHERE STUCCO EXTERIOR FINISH IS PROPOSED OVER WOOD FRAMING (CRC §R703.7):
 - PROVIDE THREE COATS OF STUCCO OR PLASTER OVER METAL OR WIRE FABRIC LATH OVER TWO LAYERS OF GRADE D PAPER OR EQUIVALENT.
 - PROVIDE MINIMUM 26-GAUGE GALVANIZED WEEP SCREED AT OR BELOW THE FOUNDATION PLATE LINE, AND 4" MIN. ABOVE EARTH OR 2" ABOVE PAVEMENT.
- WOOD LOCATED NEARER THAN 6" TO EARTH SHALL BE PRESSURE TREATED.

FIRE PROTECTION NOTES

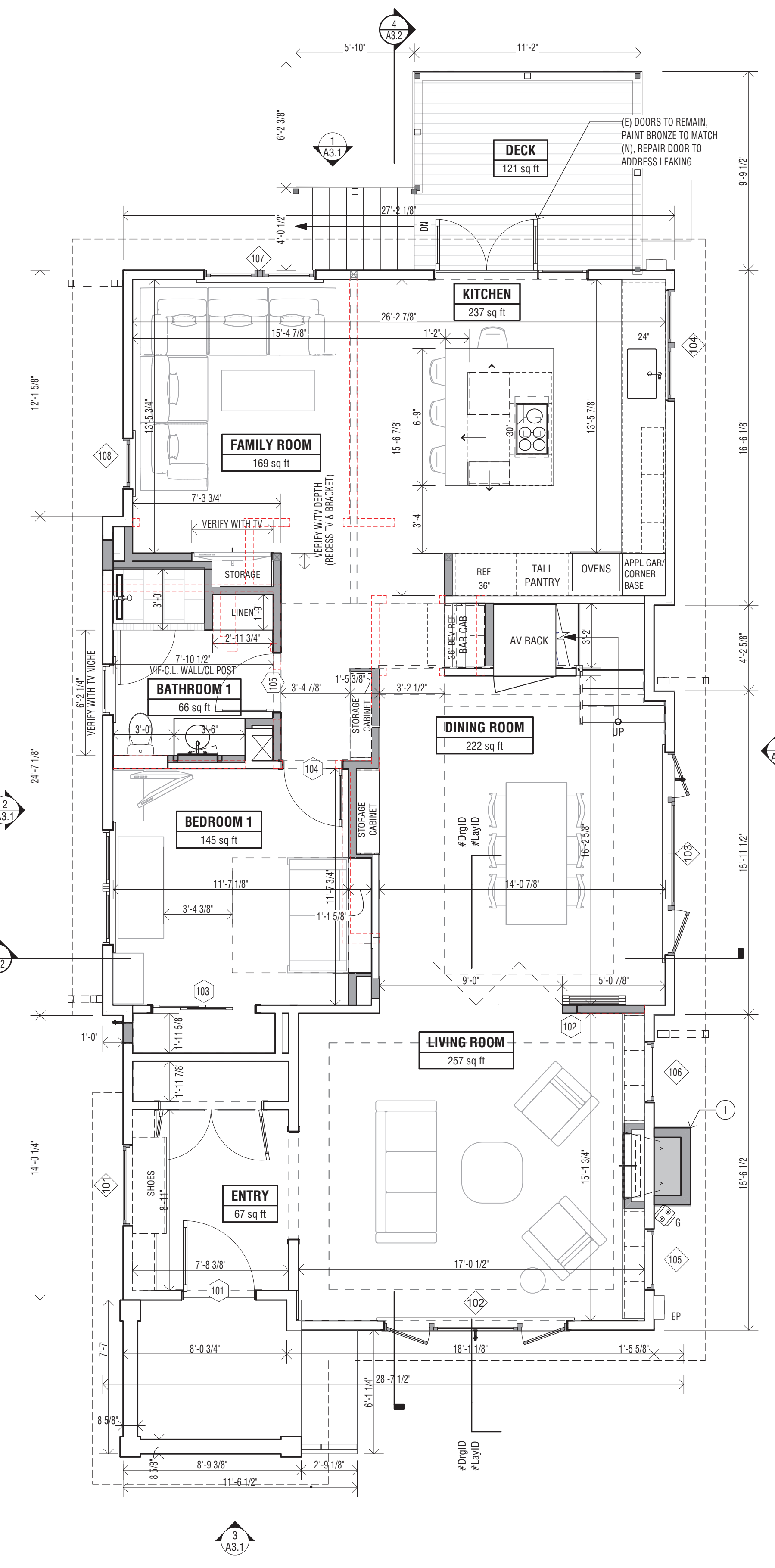
- FOR NEW BUILDING WALLS LOCATED WHERE FSD (FIRE SEPARATION DISTANCE AS DEFINED IN CRC TABLE R302.1(1)) IS LESS THAN 5'
 - PROVIDE 1-HOUR FIRE-RESISTANCE RATING FOR WALL DUE TO PROXIMITY TO PROPERTY LINE. CRC R302.1 & TABLE R302.1(1)OR 2).
 - UNPROTECTED OPENINGS (DOORS, WINDOWS, VENTS FOR ATTIC, CRAWLSPACE, APPLIANCE, ETC.) ARE NOT ALLOWED WHERE FSD IS 3' OR LESS. TABLE R302.1(1)OR 2).
 - PROTECTED OPENINGS ARE ALLOWED WHERE FSD IS GREATER THAN 3' BUT MAY NOT EXCEED 25% OF WALL AREA. (1" AND UNPROTECTED OPENINGS IN SPRINKLERED BUILDINGS ONLY.) CRC TABLE R302.1(1)OR 2).
- FOR THROUGH & MEMBRANE PENETRATIONS IN FIRE-RATED ASSEMBLIES, SEE DET SHTS.

FINISH NOTES

(E) CONCRETE	(N) SHEETROCK, LEVEL 5 FINISH, PRIME + 2 COATS PAINT	(MW2) MILLWORK, PT GRADE W/ CONVERSION VARNISH FINISH, COLOR TBD	(TL2) TILE
(CT1) COUNTERTOP, ENGINEERED STONE W/ MITRED EDGES AND CORNERS, COLOR TBD	(GR2) (N) CEMENTITIOUS BACKER BOARD AS REQ'D FOR NET LOCATIONS	(MW3) LMILLWORK, PT GRADE W/ CONVERSION VARNISH FINISH, COLOR TBD	(TL3) TILE
(CT2) COUNTERTOP, ENGINEERED STONE W/ MITRED EDGES AND CORNERS, COLOR TBD	(GL1) SCHICKER FRAMELESS SHOWER DR. CHROME HARDWARE, CRYSTAL CLEAR, DIAMON-FUSION.	(RF1) (E) ROOF SHINGLES	(TR1) (N) WOOD BASEBOARDS, PRIME + 2 COATS PT. COLOR TBD.
(DS1) ALUM DOWNSPOUT, PAINT, COLOR TBD, (TYP.)	(GU1) ALUMINUM FASCIA GUTTER, PAINT TO MATCH EXTERIOR TRIM COLOR, TYP.	(RF2) (N) ROOF SHINGLES	(TR2) (N) DOOR TRIM
(FL1) FLOOR FINISH	(MC1) MECHANICAL AIR SUPPLY LINEAR DIFFUSER	(SD1) (E) EXTERIOR STUCCO	(TR3) (N) WINDOW TRIM
(FL2) FLOOR FINISH	(MW1) MILLWORK, WD VENEER W/ CLEAR CONVERSION VARNISH, COORD GRAIN DIRECTION W/ ARCH.	(SD2) EXTERIOR CEMENT BOARD SIDING	(WD1) IPE DECKING
		(SD3) (N) EXTERIOR STUCCO	(WD2) PAINTED DECORATIVE ROOF BRACKETS (TYP.)
		(TL1) TILE	(MT1) EXTERIOR RAILING



2 SECOND FLOOR PROPOSED PLAN
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PROPOSED PLAN
SCALE: 1/4" = 1'-0"

SHEET NOTES

- (N) WALLS IN (E) CHIMNEY LOCATION
-
-
-
-
-
-
-

HATCH LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL, SEE ASSEMBLY TYPE ON A7.1
- WALL TO BE DEMOLISHED
- 1-HR FIRE RATED WALL, COMPLY WITH CBC R302.4.2 FOR PENETRATIONS OF FIRE-RESISTANCE RATED ASSEMBLIES.
- SHEAR WALL, SSD

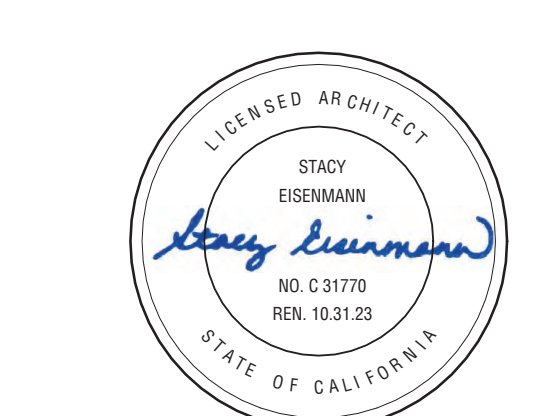
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issue

PLANNING	11.14.22
PLANNING #2 (REV 1)	01.13.23
PLANNING #3 (REV 2)	05.18.23

**PRELIMINARY
NOT FOR
CONSTRUCTION**

job number 22-123-2
drawn by ST

scale

date

05.18.23

title sheet number

PROPOSED FLOOR PLANS

A2.2

DEMOLITION GENERAL NOTES

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- WHERE SHEAR PANELING ENDS MID ROOM, FLUR OUT WALL FOR CONTINUOUS FINISH.
- PROVIDE BLOCKING WHERE NECESSARY FOR WALL MOUNTED CABINETS, SHELVING, AND TOILET ROOM ACCESSORIES.
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EXTERIOR

- PROVIDE HOUSE ADDRESS NUMBERS PER CRC §R319.
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 - PROVIDE MINIMUM 26-GAUGE GALVANIZED WEEP SCREED AT OR BELOW THE FOUNDATION PLATE LINE, AND 4" MIN. ABOVE EARTH OR 2" ABOVE PAVEMENT.
- WOOD LOCATED NEARER THAN 6" TO EARTH SHALL BE PRESSURE TREATED.

FIRE PROTECTION NOTES

- FOR NEW BUILDING WALLS LOCATED WHERE FSD (FIRE SEPARATION DISTANCE AS DEFINED IN CRC TABLE R302.1(1)) IS LESS THAN 5':
 - PROVIDE 1-HOUR FIRE-RESISTANCE RATING FOR WALL DUE TO PROXIMITY TO PROPERTY LINE. CRC R302.1 & TABLE R302.1(1)OR 2).
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FINISH NOTES

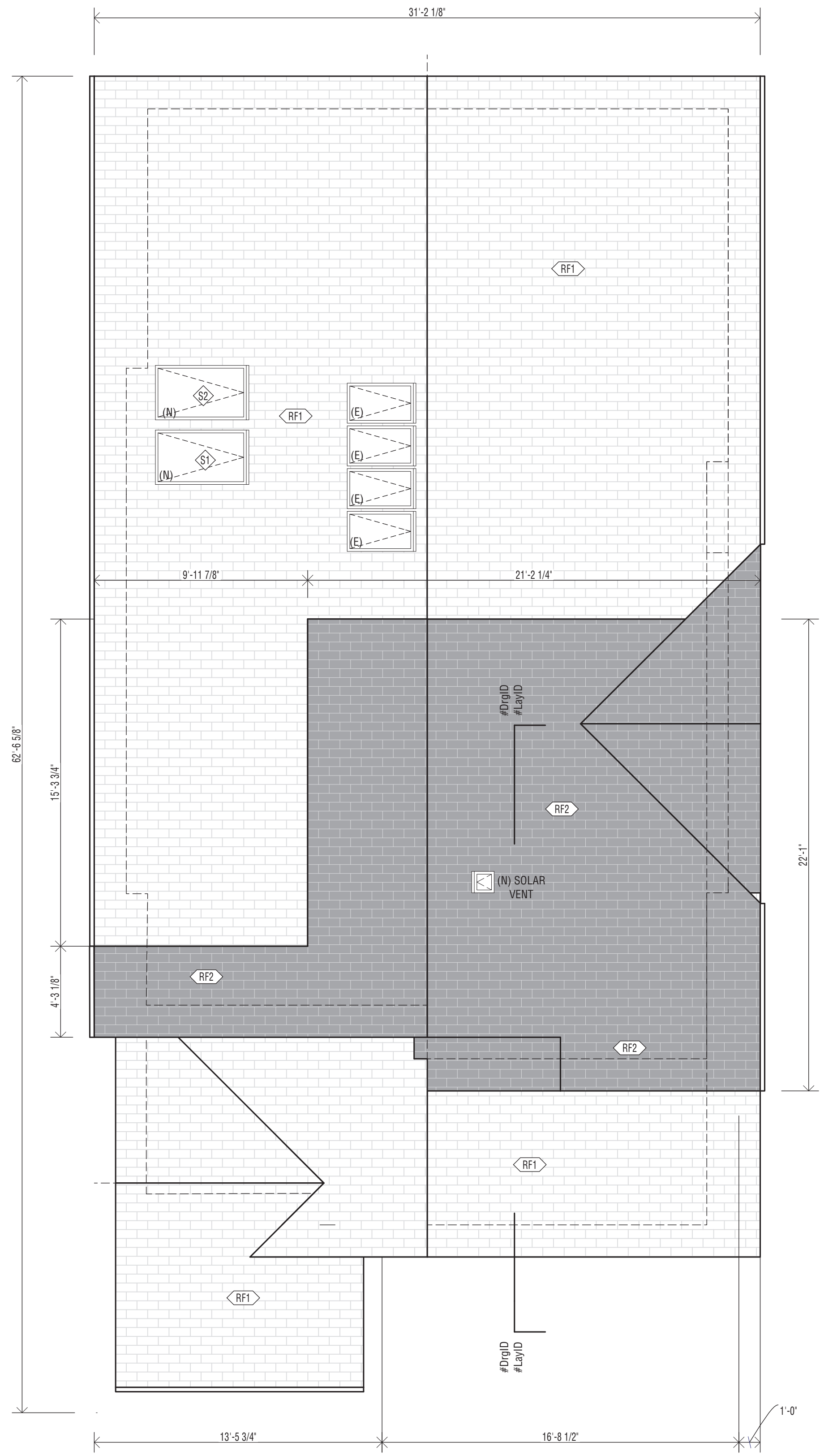
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CT1	COUNTERTOP, ENGINEERED STONE W/ MITRED EDGES AND CORNERS, COLOR TBD	GB2	(N) CEMENTITIOUS BACKING BOARD AS REQ'D FOR WET LOCATIONS	MW3	LMILLWORK, PT GRADE W/ CONVERSION VARNISH FINISH, COLOR TBD	TL3	TILE
CT2	COUNTERTOP, ENGINEERED STONE W/ MITRED EDGES AND CORNERS, COLOR TBD	GL1	SCHICKER FRAMELESS SHOWER DR. CHROME HARDWARE, CRYSTAL CLEAR, DIAMON-FUSION.	RF1	(E) ROOF SHINGLES	TR1	(N) WOOD BASEBOARDS, PRIME + 2 COATS PT. COLOR TBD.
DS1	ALUM DOWNSPOUT, PAINT, COLOR TBD, (TYP.)	GL2	ALUMINUM FASCIA GUTTER, PAINT TO MATCH EXTERIOR TRIM COLOR, TYP.	RF2	(N) ROOF SHINGLES	TR2	(N) DOOR TRIM
FL1	FLOOR FINISH	MC1	MECHANICAL AIR SUPPLY LINEAR DIFFUSER	SD1	(E) EXTERIOR STUCCO	TR3	(N) WINDOW TRIM
FL2	FLOOR FINISH	MW1	MILLWORK, WD VENEER W/ CLEAR CONVERSION VARNISH, COORD GRAIN DIRECTION W/ ARCH.	SD2	EXTERIOR CEMENT BOARD SIDING	WD1	IFE DECKING
				SD3	(N) EXTERIOR STUCCO	WD2	PAINTED DECORATIVE ROOF BRACKETS (TYP.)
				TL1	TILE	MT1	EXTERIOR RAILING

SHEET NOTES

1	(N) WALLS IN (E) CHIMNEY LOCATION	17	
2		18	
3		19	
4		20	
5			
6			
7			
8			

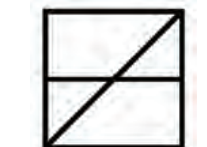
HATCH LEGEND

	EXISTING WALL TO REMAIN
	NEW WALL, SEE ASSEMBLY TYPE ON A7.1
	WALL TO BE DEMOLISHED
	1-HR FIRE RATED WALL, COMPLY WITH CBC R302.4.2 FOR PENETRATIONS OF FIRE-RESISTANCE RATED ASSEMBLIES.
	SHEAR WALL, SSD



1 ROOF PROPOSED PLAN
SCALE: 1/4" = 1'-0"

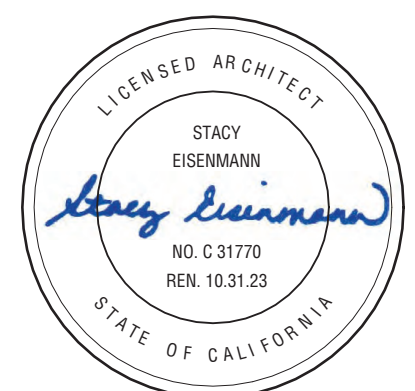
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issue

PLANNING	11.14.22
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PLANNING #3 (REV 2)	05.18.23



job number drawn by

22-123-2 ST

scale

date

05.18.23

title sheet number

PROPOSED FLOOR PLANS CONT'D

A2.3

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project
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phone 510.725.2419
310.560.9495
email afujimotochen@gmail.com
benchen975@gmail.com

ISSUE	DATE
PLANNING	11.14.22
▲ PLANNING #2 (REV 1)	01.13.23
▲ PLANNING #3 (REV 2)	05.18.23

**PRELIMINARY
NOT FOR
CONSTRUCTION**

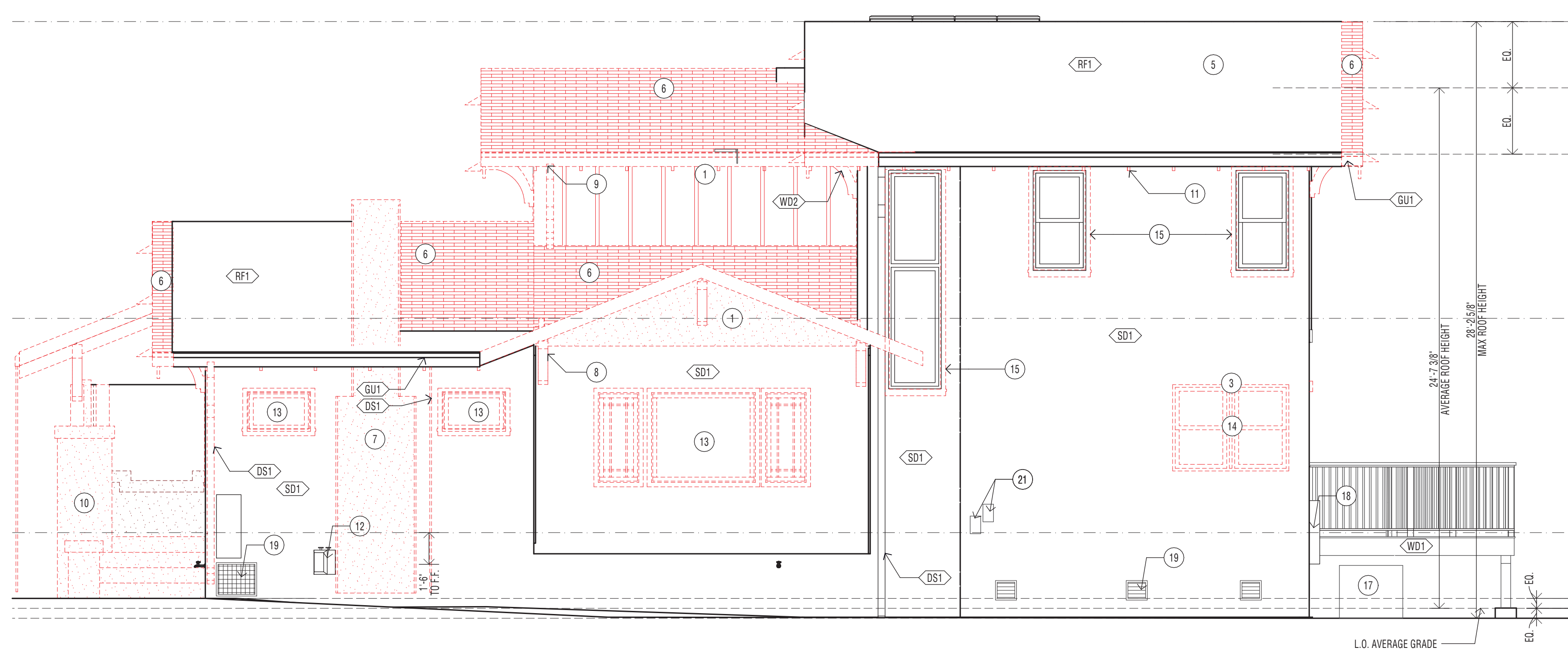
job number 22-123-2
drawn by ST

date 05.18.23

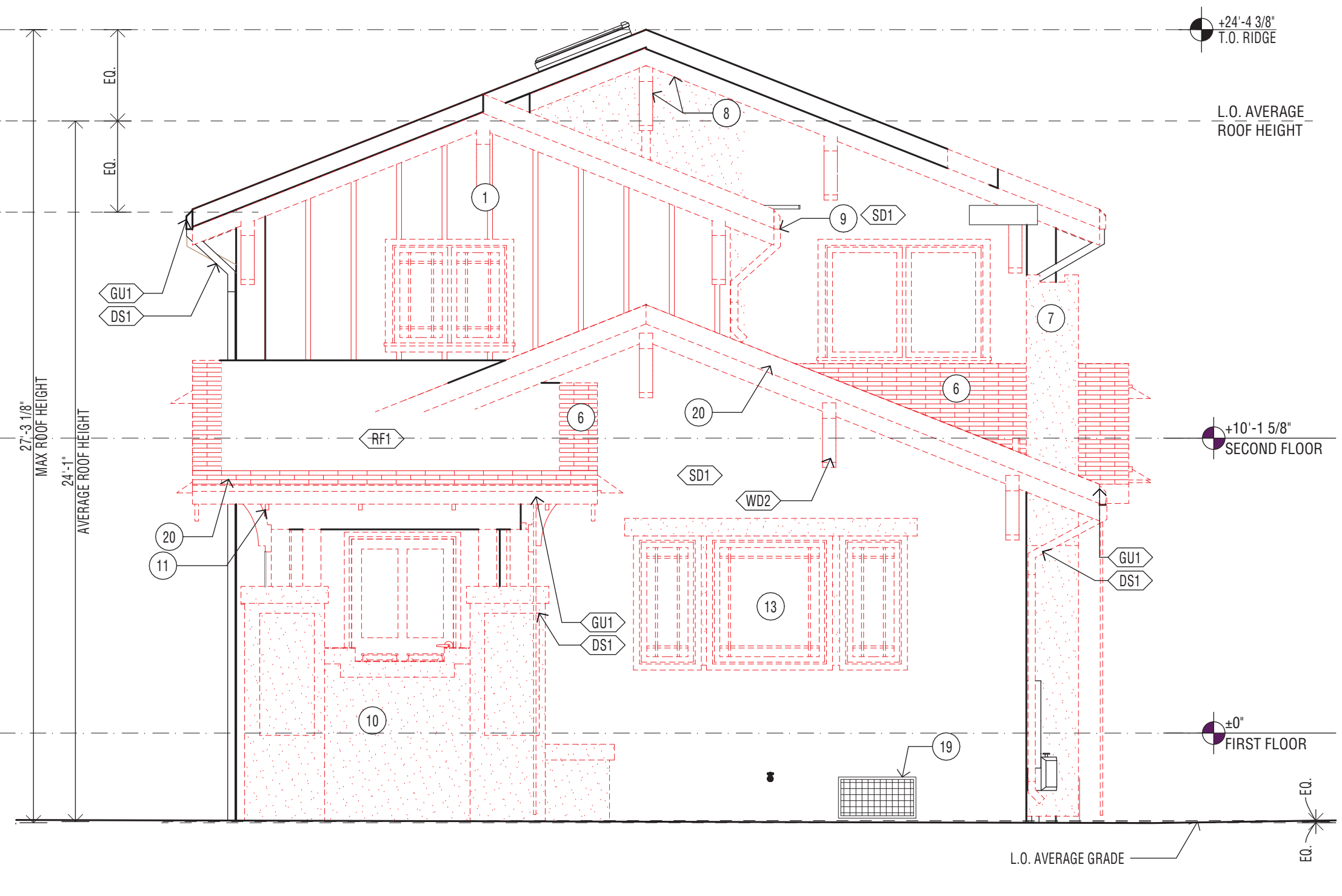
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DEMOLITION EXTERIOR ELEVATIONS

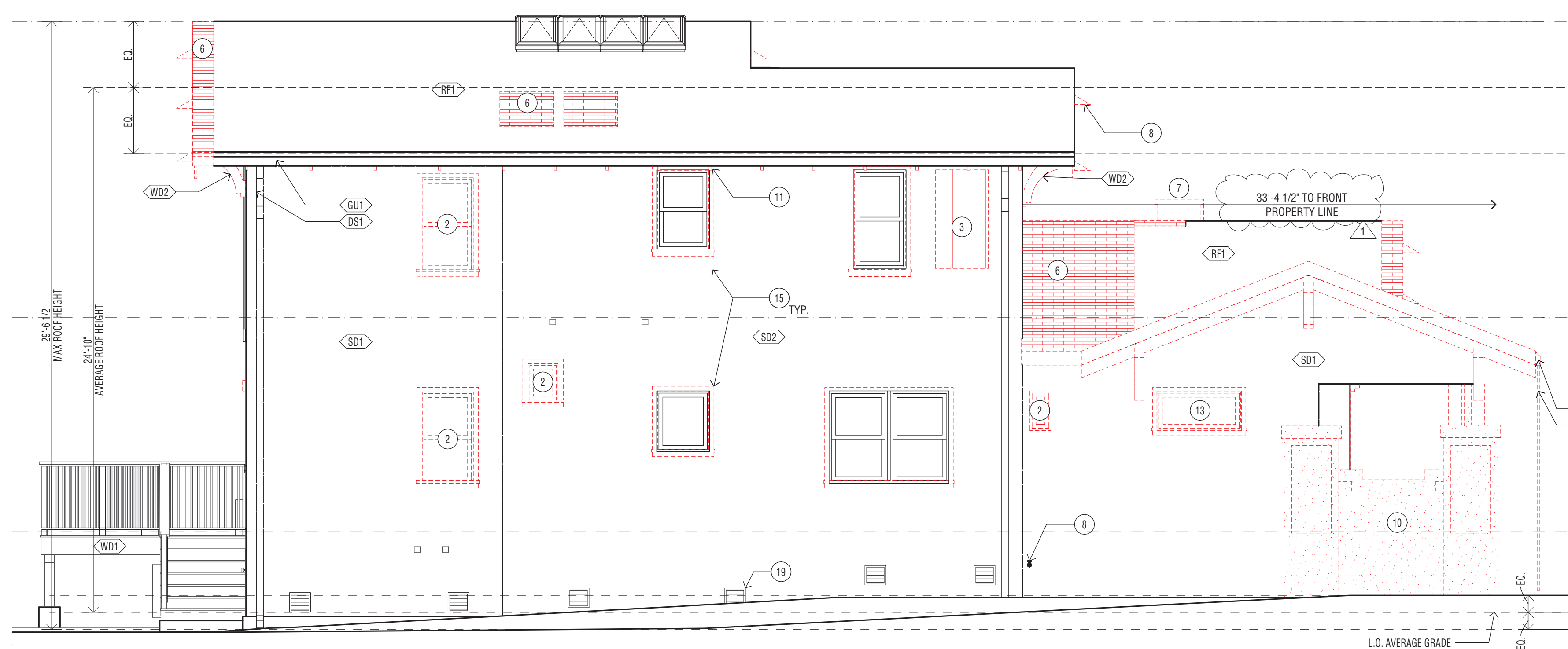
A3.0



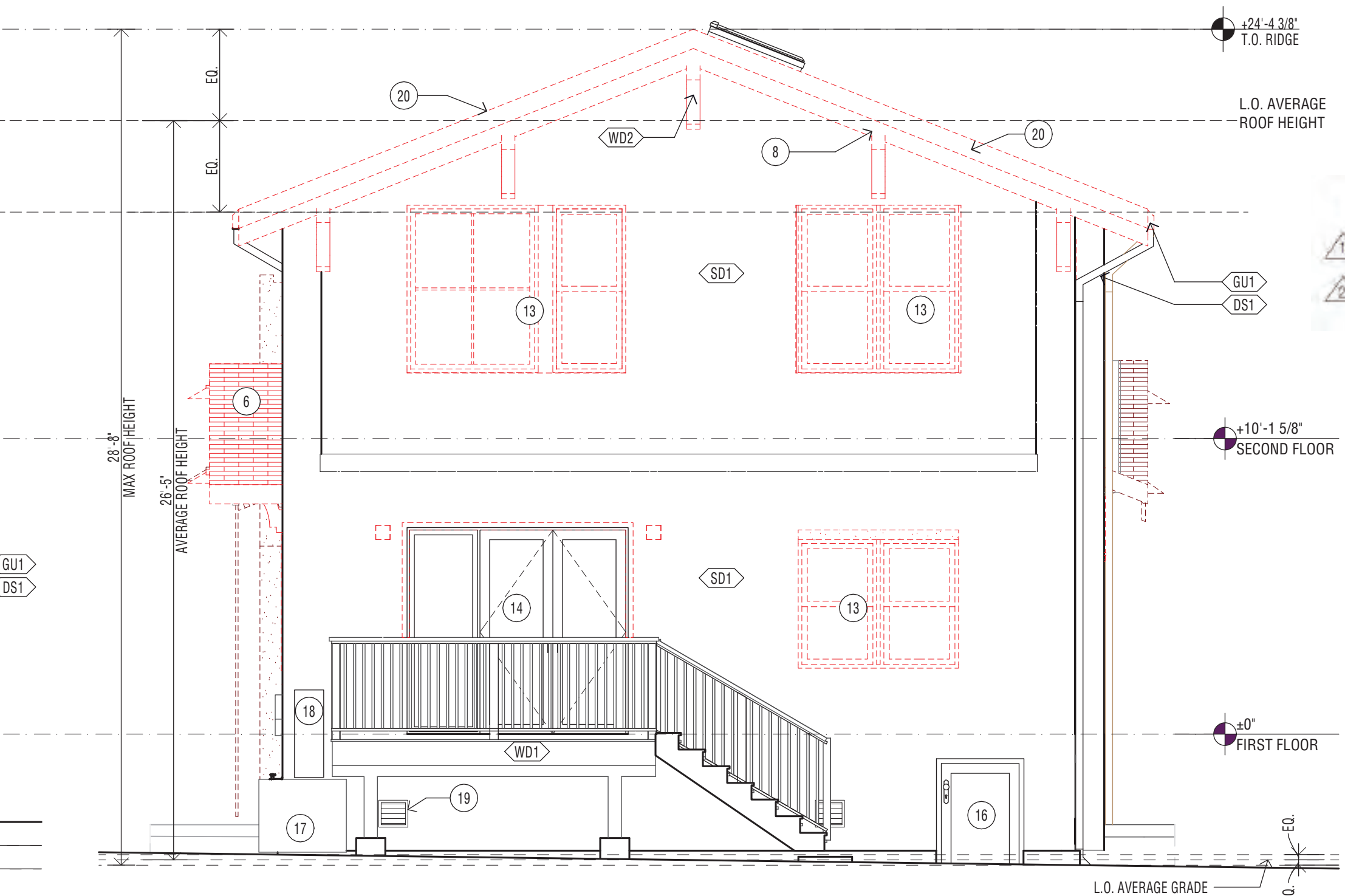
4 EXISTING & DEMO WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING & DEMO NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING & DEMO EAST ELEVATION
SCALE: 1/4" = 1'-0"



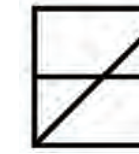
1 EXISTING & DEMO SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

FINISH NOTES		
(C01) (E) CONCRETE	(GBT) (N) SHEETROCK, LEVEL 5 FINISH, PRIME + 2 COATS PAINT	(MW2) MILLWORK, PT GRADE W/ CONVERSION VARNISH FINISH, COLOR TBD
(CT) COUNTERTOP, ENGINEERED STONE W/ MITRED EDGES AND CORNERS, COLOR TBD	(GB2) (N) CEMENTITIOUS BACKING BOARD AS REQ'D FOR WET LOCATIONS	(MW3) LMILLWORK, PT GRADE W/ CONVERSION VARNISH FINISH, COLOR TBD
(CT2) COUNTERTOP, ENGINEERED STONE W/ MITRED EDGES AND CORNERS, COLOR TBD	(GLI) (E) ROOF SHINGLES	(RF1) (E) ROOF SHINGLES
(DS1) ALUM DOWNSPOUT, PAINT, COLOR TBD, (TYP.)	(RF2) (N) ROOF SHINGLES	(RF2) (N) ROOF SHINGLES
(FL) FLOOR FINISH	(GUT) ALUMINUM FASCIA GUTTER, PAINT TO MATCH EXTERIOR TRIM COLOR, TYP.	(SD1) (E) EXTERIOR STUCCO
(FL2) FLOOR FINISH	(MCI) MECHANICAL AIR SUPPLY LINEAR DIFFUSER	(SD2) EXTERIOR CEMENT BOARD SIDING
	(MW1) MILLWORK, WD VENEER W/ CLEAR CONVERSION VARNISH, COORD GRAIN DIRECTION W/ ARCH.	(SD3) (N) EXTERIOR STUCCO
		(TL1) TILE
		(TL2) TILE
		(TL3) TILE
		(TR1) (N) WOOD BASEBOARDS, PRIME + 2 COATS PT. COLOR TBD.
		(TR2) (N) DOOR TRIM
		(TR3) (N) WINDOW TRIM
		(WD1) IPE DECKING
		(WD2) PAINTED DECORATIVE ROOF BRACKETS (TYP.)
		(MT1) EXTERIOR RAILING

SHEET NOTES		
1 WALL TO BE REMOVED	8 (E) ROOF BRACKET & TRIM TO BE REMOVED. (TYP.)	16 WINDOWS TO REMAIN, NEW PAINT TO MATCH COLOR OF NEW WINDOW UNITS
2 REMOVE (E) WINDOW OR DOOR AND BUILD OUT WALL	9 GUTTER AND DOWNSPOUT TO BE REMOVED	17 (E) CRAWL SPACE ACCESS
3 PORTION OF (E) WALL TO BE REMOVED FOR (N) WDW/DOOR	10 DEMO ENTIRE ENTRANCE FRONT PORCH/PATIO	18 (E) CONDENSING UNIT
4 ADJUST (E) WINDOW OR (E) DOOR OPENINGS TO (N) WINDOW /DOOR, SEE WINDOW AND DOOR SCHEDULE FOR SIZES	11 REMOVE ALL ROOF RAFTER TAILS (TYP.)	19 (E) SOLAR PV SYSTEM UTILITY BOX WITH CBC #302-A-2 FOR PENETRATIONS OF FIRE-RESISTANCE RATED ASSEMBLIES.
5 (E) SHINGLE ROOFING TO REMAIN	12 (E) GAS METER	20 DEMO PORTION OF EAVE & FASCIA ONLY
6 HATCH INDICATES EXTENTS OF (E) ROOF TO BE REMOVED	13 REMOVE (E) WINDOW AND REPLACE	21 (E) MISC UTILITY BOX
7 (E) CHIMNEY TO BE REMOVED	14 REMOVE (E) DOOR/WINDOW	
	15 REMOVE (E) TRIM AND INFILL WALL FINISH AT ALL (E)	

HATCH LEGEND	
	EXISTING WALL TO REMAIN
	NEW WALL, SEE ASSEMBLY TYPE ON A7.1
	WALL TO BE DEMOLISHED
	1-HR FIRE RATED WALL, COMPLY WITH CBC #302-A-2 FOR PENETRATIONS OF FIRE-RESISTANCE RATED ASSEMBLIES.
	SHEAR WALL, SSD

architect



EISENMANN
Architecture

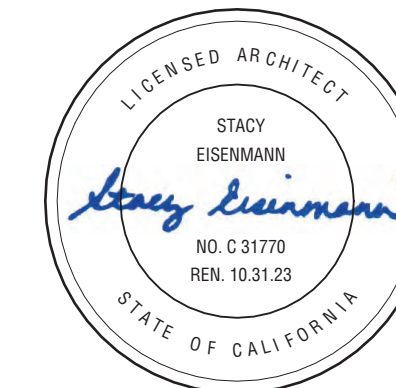
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issue

PLANNING 11.14.22

PLANNING #2 (REV 1) 01.13.23

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**PRELIMINARY
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job number drawn by

22-123-2 ST

scale

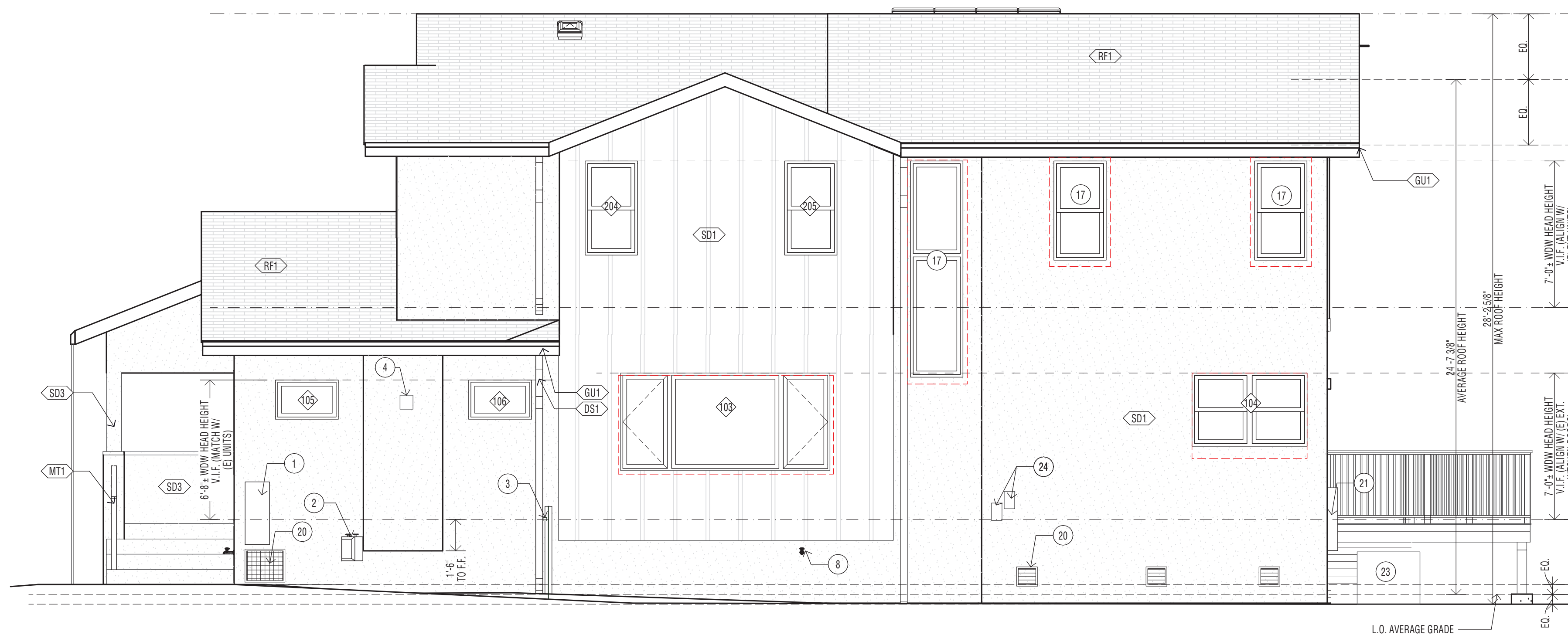
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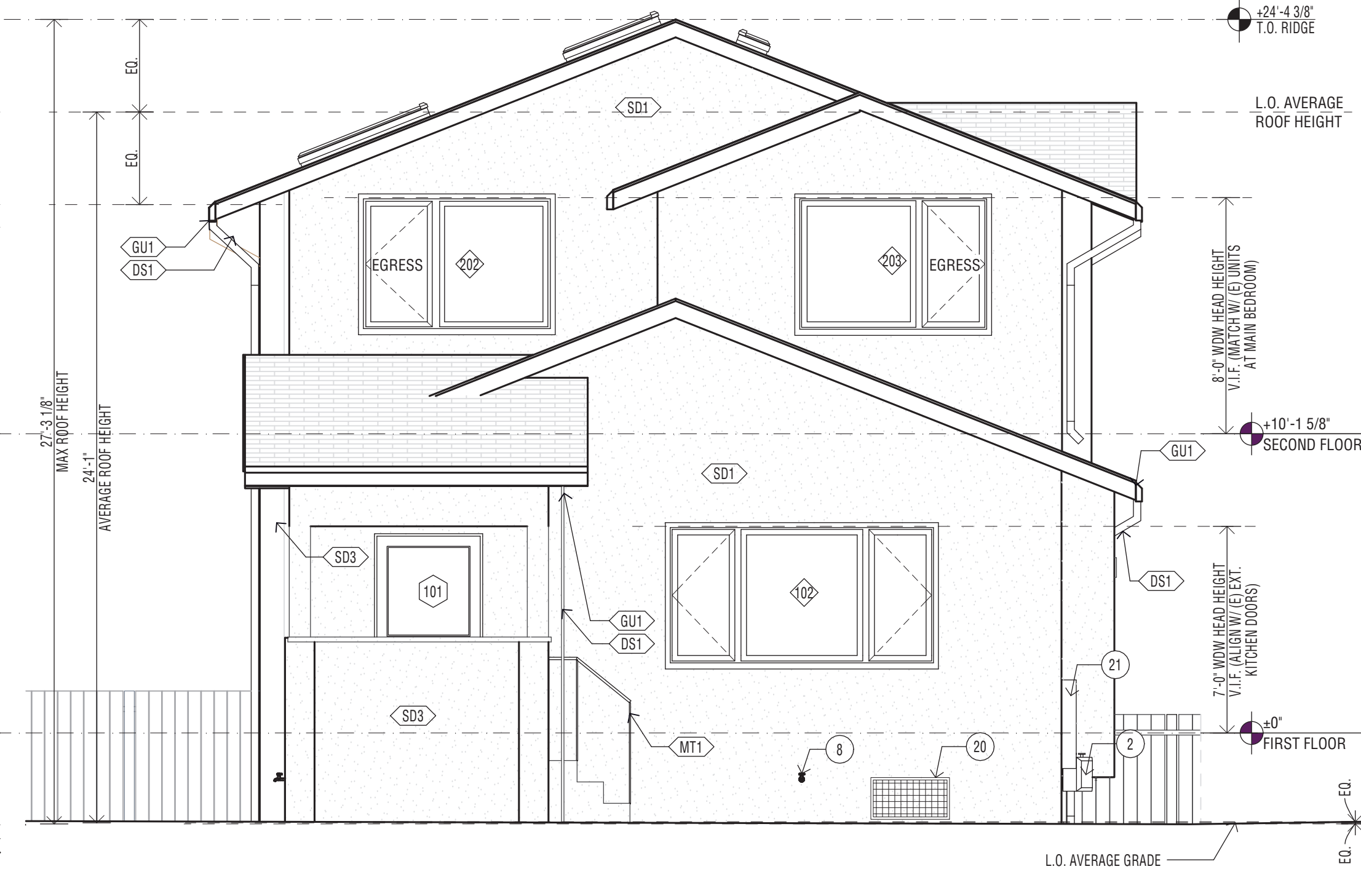
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PROPOSED EXTERIOR ELEVATIONS

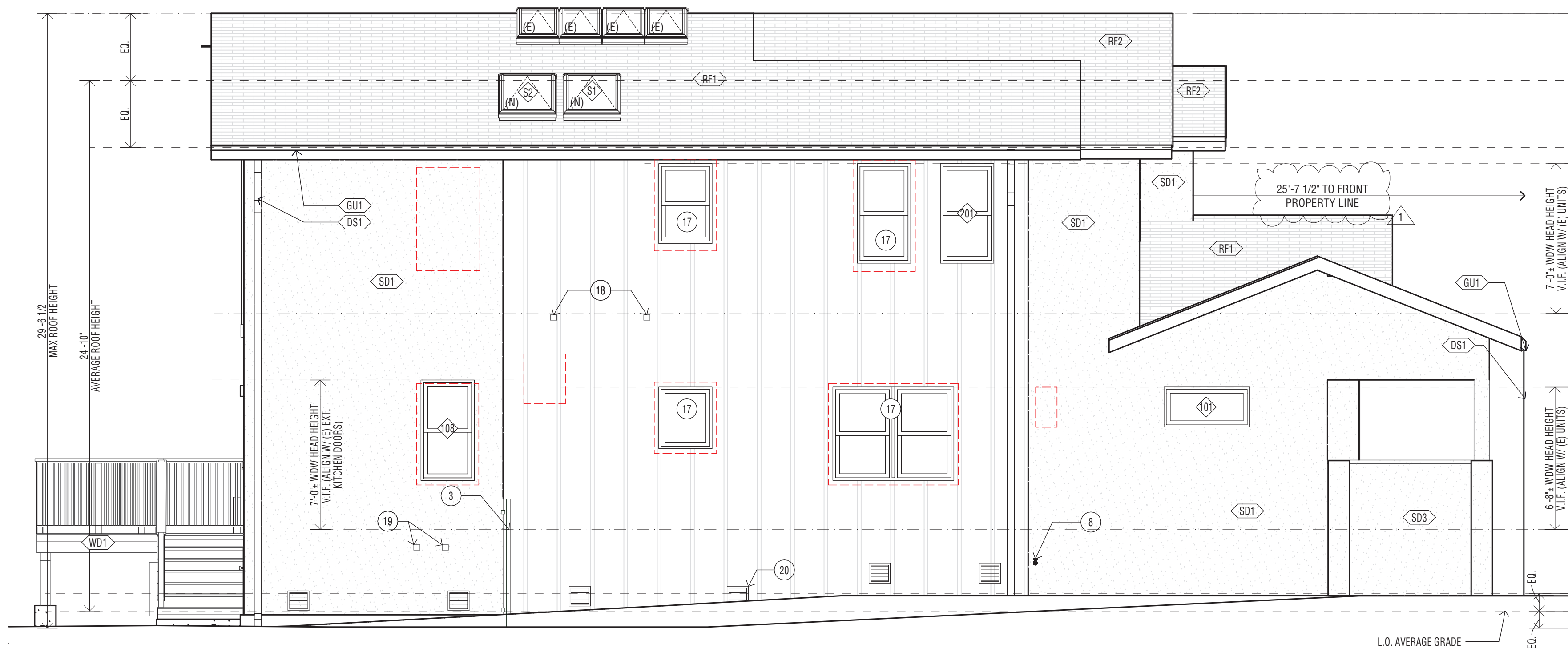
A3.1



4 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

FINISH NOTES

- CD1 (E) CONCRETE
- CT1 COUNTERTOP, ENGINEERED STONE W/ MITRED EDGES AND CORNERS, COLOR TBD
- CT2 COUNTERTOP, ENGINEERED STONE W/ MITRED EDGES AND CORNERS, COLOR TBD
- DS1 ALUM DOWNSPOUT, PAINT, COLOR TBD, (TYP.)
- FL1 FLOOR FINISH
- FL2 FLOOR FINISH
- GB1 (N) SHEETROCK, LEVEL 5 FINISH, PRIME + 2 COATS PAINT
- GB2 (N) CEMENTITIOUS BACKING BOARD AS REQ'D FOR WET LOCATIONS
- GL1 SCHICKER FRAMELESS SHOWER DR. CHROME HARDWARE, CRYSTAL CLEAR, DIAMON-FUSION.
- GU1 ALUMINUM FASCIA GUTTER, PAINT TO MATCH EXTERIOR TRIM COLOR, TYP.
- MCI MECHANICAL AIR SUPPLY LINEAR DIFFUSER
- MW1 MILLWORK, WD VENEER W/ CLEAR CONVERSION VARNISH, COORD GRAIN DIRECTION W/ ARCH.

- MW2 MILLWORK, PT GRADE W/ CONVERSION VARNISH FINISH, COLOR TBD
- MW3 LMILLWORK, PT GRADE W/ CONVERSION VARNISH FINISH, COLOR TBD
- RF1 (E) ROOF SHINGLES
- RF2 (N) ROOF SHINGLES
- SD1 (E) EXTERIOR STUCCO
- SD2 EXTERIOR CEMENT BOARD SIDING
- SD3 (N) EXTERIOR STUCCO
- TL1 TILE

- TL2 TILE
- TL3 TILE
- TR1 (N) WOOD BASEBOARDS, PRIME + 2 COATS PT. COLOR TBD.
- TR2 (N) DOOR TRIM
- TR3 (N) WINDOW TRIM
- WD1 IPE DECKING
- WD2 PAINTED DECORATIVE ROOF BRACKETS (TYP.)
- MT1 EXTERIOR RAILING

- 9 (N) WALL SCOSNE SEE SPECS SHEET A5.0
- 10 (N) EXT. RATED OUTLET SEE SPECS SHEET A5.0
- 11 THE ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND, AND EACH CHARACTER SHALL BE NOT LESS THAN 4-INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5-INCH. (CRC 9319.1)
- 12 (N) BATHROOM FAN EXHAUST VENT
- 13 (N) KITCHEN HOOD EXHAUST VENT
- 14 (N) EGRESS WINDOW
- 15 (N) EGRESS WINDOW
- 16 (N) EXT. RATED OUTLET SEE SPECS SHEET A5.0
- 17 PAINT ALL (E) WINDOWS TO REMAIN, TO MATCH (N) WINDOWS
- 18 REUSE (E) EXHAUST FAN OUTLETS FOR NEW BATH FANS
- 19 (E) EXHAUST OUTLETS TO REMAIN. REUSE (E) EXHAUST OUTLETS FOR NEW KITCHEN VENTILATION HOOD
- 20 (E) CRAWL SPACE VENT, (TYP.)
- 21 (E) SOLAR PV SYSTEM UTILITY BOX
- 22 (E) CRAWL SPACE ACCESS
- 23 (E) CONDENSING UNIT

SHEET NOTES

- 1 (E) ELECTRIC METER
- 2 (E) GAS METER
- 3 (E) FENCE TO REMAIN
- 4 (N) FIREPLACE VENT
- 5 (N) KITCHEN HOOD EXHAUST VENT
- 6 (N) BATHROOM FAN EXHAUST VENT
- 7 (N) FURNACE EXHAUST VENT
- 8 (N) HOSE BIBB

- 9 (N) WALL SCOSNE SEE SPECS SHEET A5.0
- 10 (N) EXT. RATED OUTLET SEE SPECS SHEET A5.0
- 11 THE ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND, AND EACH CHARACTER SHALL BE NOT LESS THAN 4-INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5-INCH. (CRC 9319.1)
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- 15 (N) EGRESS WINDOW
- 16 (N) EXT. RATED OUTLET SEE SPECS SHEET A5.0

- 17 PAINT ALL (E) WINDOWS TO REMAIN, TO MATCH (N) WINDOWS
- 18 REUSE (E) EXHAUST FAN OUTLETS FOR NEW BATH FANS
- 19 (E) EXHAUST OUTLETS TO REMAIN. REUSE (E) EXHAUST OUTLETS FOR NEW KITCHEN VENTILATION HOOD
- 20 (E) CRAWL SPACE VENT, (TYP.)
- 21 (E) SOLAR PV SYSTEM UTILITY BOX
- 22 (E) CRAWL SPACE ACCESS
- 23 (E) CONDENSING UNIT

HATCH LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL, SEE ASSEMBLY TYPE ON A7.1
- WALL TO BE DEMOLISHED
- 1-HR FIRE RATED WALL, COMPLY WITH CRC 9302.4.2 FOR PENETRATIONS OF FIRE-RESISTANCE RATED ASSEMBLIES.
- SHEAR WALL, SSD



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issue

PLANNING	11.14.22
▲ PLANNING #2 (REV 1)	01.13.23
▲ PLANNING #3 (REV 2)	05.18.23



job number

22-123-2

scale

date

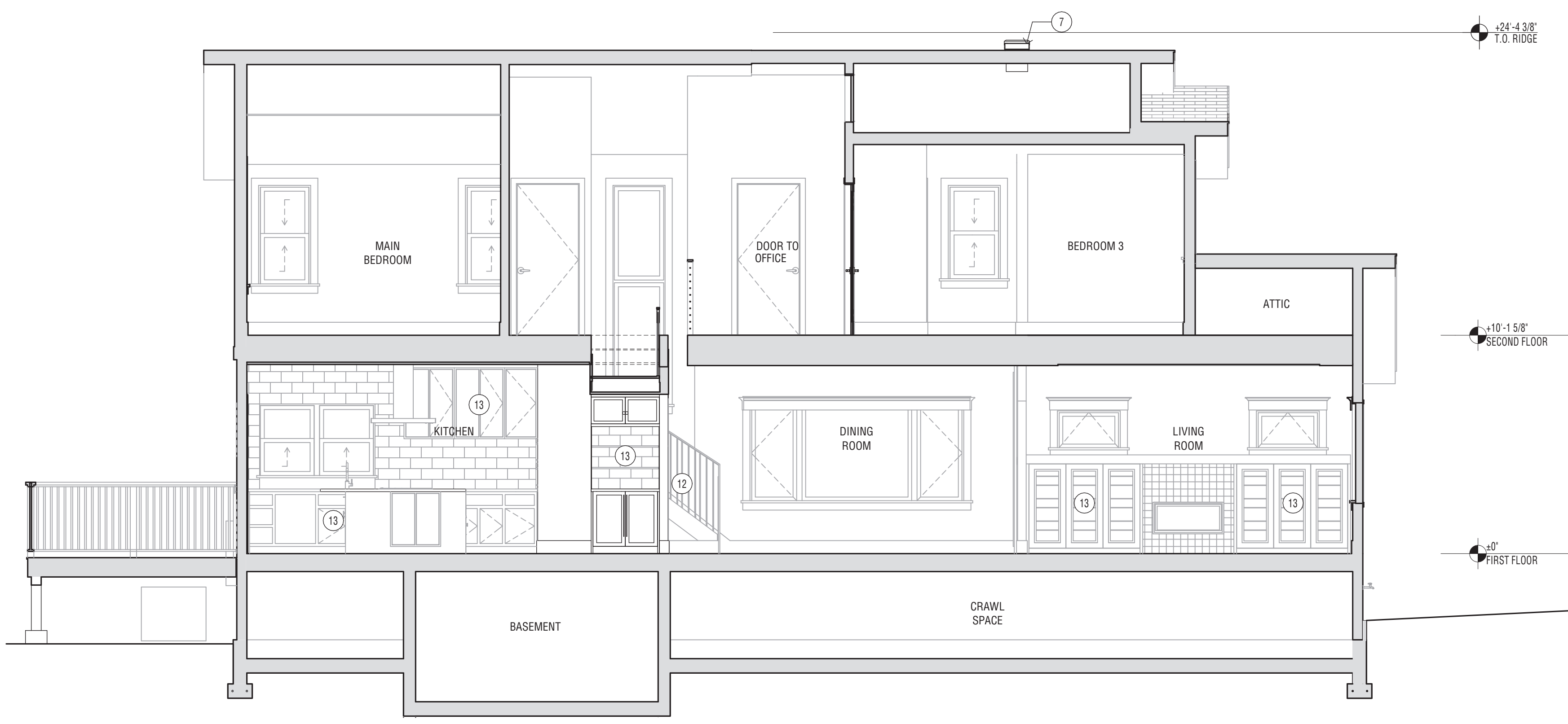
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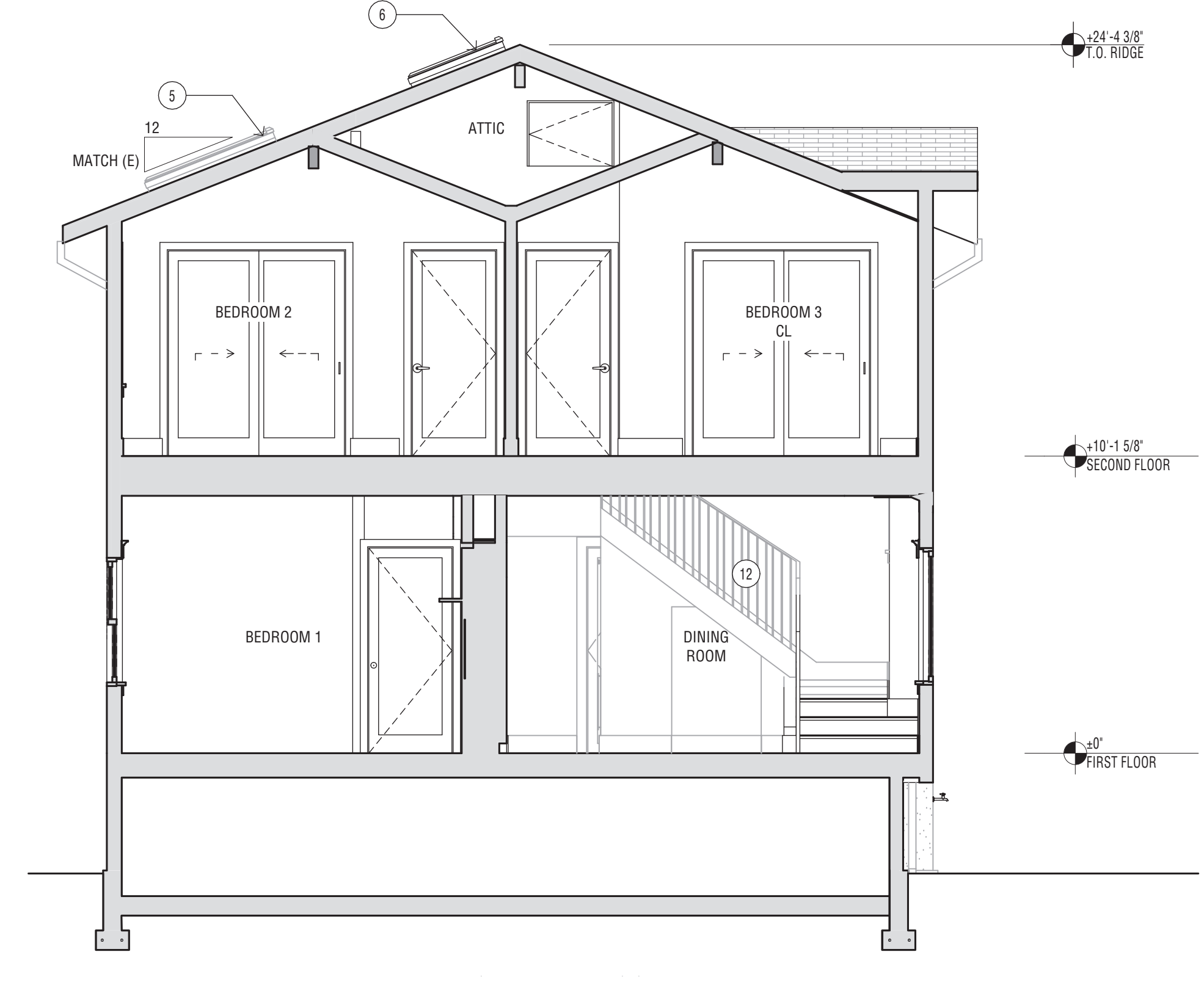
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DEMOLITION & PROPOSED BUILDING SECTIONS

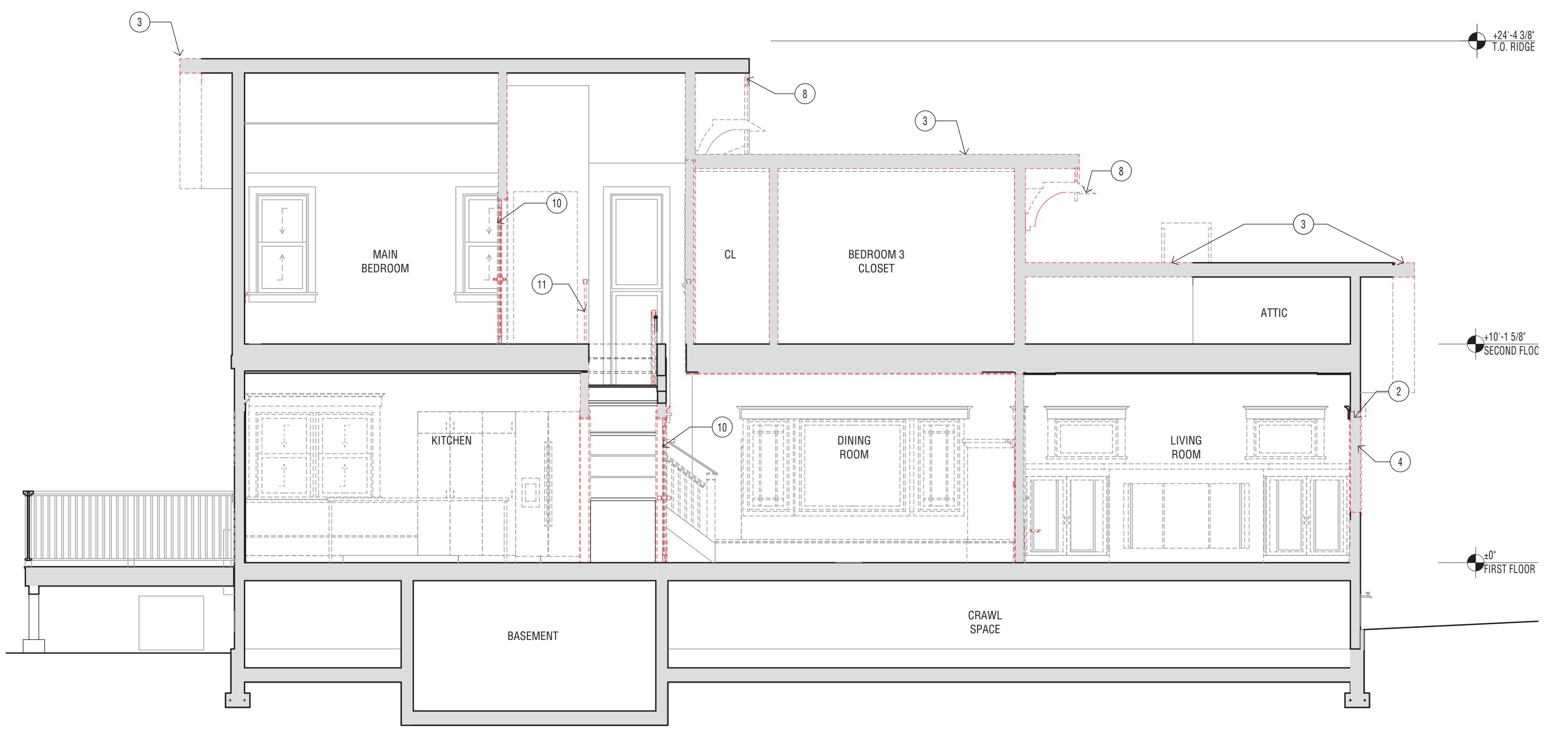
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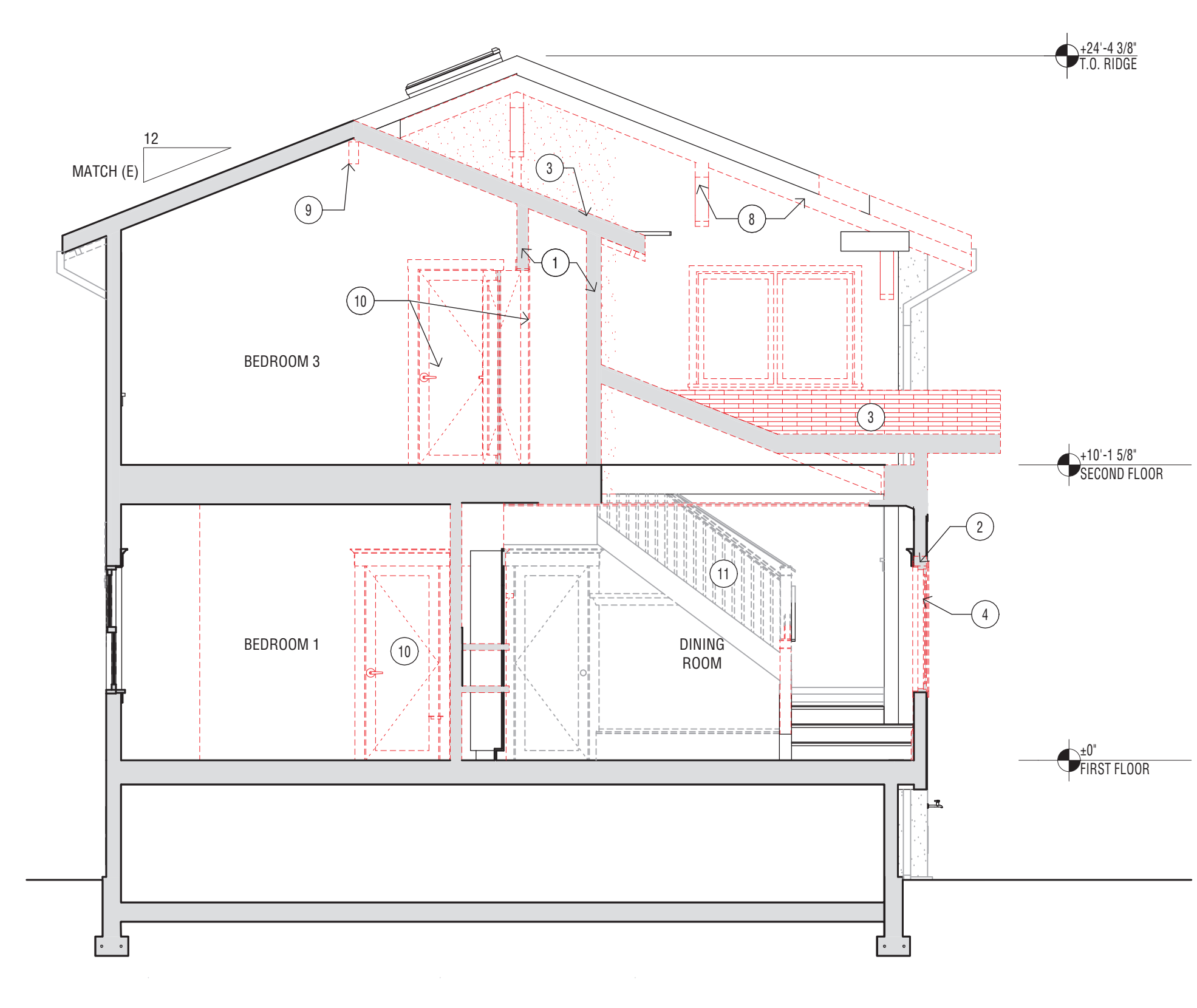
4 PROPOSED BUILDING SECTION - NORTH TO SOUTH
SCALE: 1/4" = 1'-0"



2 PROPOSED BUILDING SECTION - WEST TO EAST
SCALE: 1/4" = 1'-0"



3 EXISTING & DEMO BUILDING SECTION - NORTH TO SOUTH
SCALE: 1/4" = 1'-0"



1 EXISTING & DEMO BUILDING SECTION - WEST TO EAST
SCALE: 1/4" = 1'-0"

FINISH NOTES		
(C01) (E) CONCRETE	(GB1) (N) SHEETROCK, LEVEL 5 FINISH, PRIME + 2 COATS PAINT	(MW2) MILLWORK, PT GRADE W/ CONVERSION VARNISH FINISH, COLOR TBD
(C11) COUNTERTOP, ENGINEERED STONE W/ MITRED EDGES AND CORNERS, COLOR TBD	(GB2) (N) CEMENTITIOUS BACKING BOARD AS REQ'D FOR WET LOCATIONS	(MW3) LMILLWORK, PT GRADE W/ CONVERSION VARNISH FINISH, COLOR TBD
(C12) COUNTERTOP, ENGINEERED STONE W/ MITRED EDGES AND CORNERS, COLOR TBD	(GL1) SCHICKER FRAMELESS SHOWER DR. CHROME HARDWARE, CRYSTAL CLEAR, DIAMON-FUSION.	(RF1) (E) ROOF SHINGLES
(BS1) ALUM DOWNSPOUT, PAINT, COLOR TBD, (TYP.)	(GU1) ALUMINUM FASCIA GUTTER, PAINT TO MATCH EXTERIOR TRIM COLOR, TYP.	(RF2) (N) ROOF SHINGLES
(FL1) FLOOR FINISH	(MC1) MECHANICAL AIR SUPPLY LINEAR DIFFUSER	(SD1) (E) EXTERIOR STUCCO
(FL2) FLOOR FINISH	(MW1) MILLWORK, WD VENEER W/ CLEAR CONVERSION VARNISH, COORD GRAIN DIRECTION W/ ARCH.	(SD2) EXTERIOR CEMENT BOARD SIDING
		(SD3) (N) EXTERIOR STUCCO
		(TL1) TILE
		(TL2) TILE
		(TL3) TILE
		(TR1) (N) WOOD BASEBOARDS, PRIME + 2 COATS PT. COLOR TBD.
		(TR2) (N) DOOR TRIM
		(TR3) (N) WINDOW TRIM
		(WD1) IPE DECKING
		(WD2) PAINTED DECORATIVE ROOF BRACKETS (TYP.)
		(MT1) EXTERIOR RAILING

SHEET NOTES	
1	WALL TO BE REMOVED
2	ADJUST (E) WINDOW OR (E) DOOR OPENINGS TO (N) WINDOW OR (N) DOOR, SEE WINDOW AND DOOR SCHEDULE FOR SIZES
3	PORTION OF (E) ROOF TO BE REMOVED
4	(E) WINDOW TO BE REMOVED AND REPLACED. SEE SCHEDULE.
5	(N) SKYLIGHT
6	(E) SKYLIGHT
7	(N) ATTIC VENT
8	REMOVE (E) BRACKET & TRIM (TYP.)
9	PARTIALLY REMOVE BEAM
10	REMOVE (E) DOOR (TYP.)
11	REMOVE AND REPLACE (E) GUARDRAIL & HANDRAIL
12	(N) GUARDRAIL & HANDRAIL
13	(N) CASEWORK

HATCH LEGEND	
	EXISTING WALL TO REMAIN
	NEW WALL, SEE ASSEMBLY TYPE ON A7.1
	WALL TO BE DEMOLISHED
	1-HR FIRE RATED WALL, COMPLY WITH CRC R302.4.2 FOR PENETRATIONS OF FIRE-RESISTANCE RATED ASSEMBLIES.
	SHEAR WALL, SSD



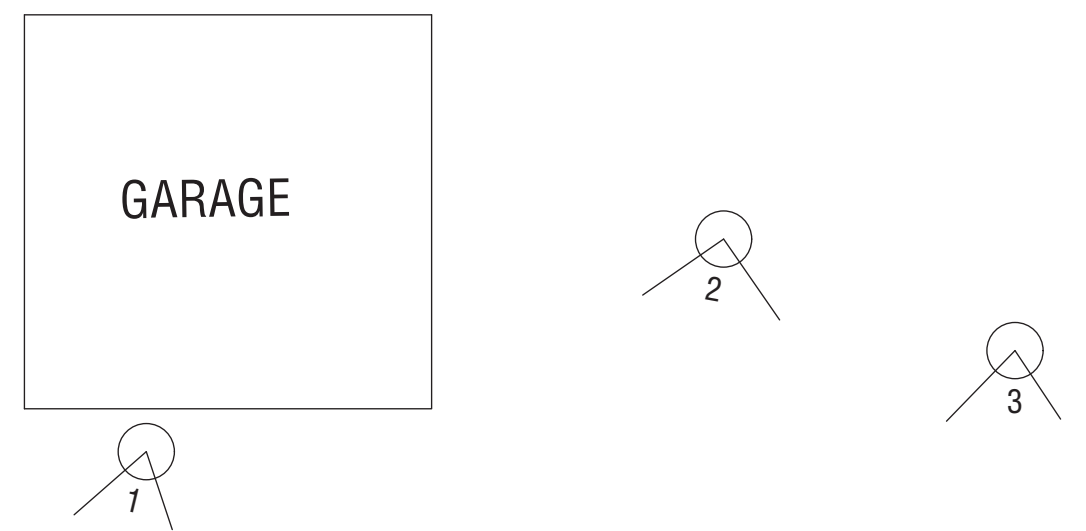
7 EXISTING HOUSE - FRONT/SIDE (NORTHEAST)



6 EXISTING HOUSE - FRONT (NORTH) ELEVATION



5 EXISTING HOUSE - FRONT/SIDE (NORTHWEST)



3 EXISTING HOUSE - REAR (SOUTHWEST) ELEVATION



2 EXISTING HOUSE - REAR (SOUTH) ELEVATION



1 EXISTING HOUSE - REAR (SOUTHEAST) ELEVATION

4 SITE PHOTO LOCATIONS WORKSHEET
 SCALE: 1/8" = 1'-0"

architect

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 Architecture
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 BERKELEY CA 94710
 phone 510 558 8442
 email team@eisenmannarchitecture.com
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job number 22-123-2
 drawn by ST

scale

date

05.18.23

title sheet number

EXISTING EXTERIOR SITE
 PHOTOS

A3.3



Z O N I N G
A D J U S T M E N T S
B O A R D
NOTICE OF PUBLIC HEARING

1608 Beverly Place

Use Permit #ZP2022-0167 to construct a second-story, 291 square foot residential addition located of an existing single-family dwelling unit that is over lot coverage.

The Zoning Adjustments Board of the City of Berkeley will hold a public hearing on the above matter, pursuant to Zoning Ordinance Section 23.404.

When: Thursday, June 8, 2023, 7:00 pm

Where: Berkeley Unified School District meeting room, 1231 Addison Street, (wheelchair accessible) with remote/hybrid option (via Zoom).

Please visit: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board> and click on the hearing date to access the most up-to-date meeting information, or call the Land Use Planning division (510) 981-7410.

PUBLIC ADVISORY: THIS MEETING WILL BE CONDUCTED IN A HYBRID MODEL WITH BOTH IN-PERSON ATTENDANCE AND VIRTUAL PARTICIPATION AVAILABLE FOR MEMBERS OF THE PUBLIC.

For in-person attendees, face coverings or masks that cover both the nose and mouth are encouraged. If you're feeling sick, please do not attend the meeting in-person as a public health precaution.

Currently, there are no physical distancing requirements in place by the State of California or the Local Health Officer for an indoor event similar to a Commission meeting. However, all attendees are requested to be respectful of the personal space of other attendees. An area of the public seating area will be designated as "distanced seating" to accommodate persons that need to distance for personal health reasons.

A. Land Use Designations:

- General Plan: Low Density Residential (LDR)
- Zoning: Low Density Residential (R-1)

B. Zoning Permits Required:

- Use Permit (UP), under Berkeley Municipal Code (BMC) Section 23.324.050(D)(3)(a) for an addition of a structure that exceeds the maximum allowed lot coverage; and
- Administrative Use Permit (AUP), under BMC Section 23.202.050(D)(2) to construct a residential addition over 14 ft. in average height

D. CEQA Recommendation: Categorically exempt pursuant to Section 15303 of the CEQA Guidelines (“New Construction or Conversion of Small Structures”).

E. Parties Involved:

- Applicant Stacey Eisenmann (Eisenmann Architecture), Berkeley, CA
- Property Owner Amy and Ben Chen, Berkeley, CA

Further Information:

All application materials are available online at:
<https://aca.cityofberkeley.info/CitizenAccess/Welcome.aspx>.

The Zoning Adjustments Board final agenda and staff reports will be available online 6 days prior to this meeting at: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board>.

Questions about the project should be directed to the project planner, Katrina Lapira, at (510) 981-7488 or klapira@berkeleyca.gov.

Written comments or a request for a Notice of Decision should be directed to the Zoning Adjustments Board Secretary at zab@berkeleyca.gov.

Communication Disclaimer:

Communications to Berkeley boards, commissions or committees are public record and will become part of the City's electronic records, which are accessible through the City's website. **Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, will become part of the public record.** If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service or in person to the secretary of the relevant board, commission or committee. If you do not want your contact information included in the public record, please do not include that information in your communication. Please contact the secretary to the relevant board, commission or committee for further information.

Written Comments, Communications, and Reports:

Written comments must be directed to the ZAB Secretary at the Land Use Planning Division (Attn: ZAB Secretary), or via e-mail to: zab@berkeleyca.gov. All materials will be made available via the Zoning Adjustments Board Agenda page online at this address: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board>

All persons are welcome to attend the hearing and will be given an opportunity to address the Board. Comments may be made verbally at the public hearing and/or in writing before the hearing. The Board may limit the time granted to each speaker.

Correspondence received by 5:00 PM, eight days before this public hearing, will be provided with the agenda materials provided to the Board. Note that if you submit a hard copy document of more than 10 pages, or in color, or with photos, you must provide 15 copies. Correspondence received after this deadline will be conveyed to the Board in the following manner:

- **Correspondence received by 5:00 PM two days before** this public hearing, will be conveyed to the Board in a Supplemental Communications and Reports, which is released around noon one day before the public hearing; or
- **Correspondence received after 5:00 PM two days before** this public hearing will be saved in the project administrative record.



Accessibility Information / ADA Disclaimer:

To request a disability-related accommodation(s) to participate in the meeting, including auxiliary aids or services, please contact the Disability Services specialist at 981-6342 (V) or 981-6345 (TDD) at least three business days before the meeting date.

SB 343 Disclaimer:

Any writings or documents provided to a majority of the Commission regarding any item on this agenda will be made available to the public. Please contact the Land Use Planning Division (zab@cityofberkeley.info) to request hard-copies or electronic copies.

Notice Concerning Your Legal Rights:

If you object to a decision by the Zoning Adjustments Board regarding a land use permit project, the following requirements and restrictions apply:

1. If you challenge the decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice.
 2. You must appeal to the City Council within fourteen (14) days after the Notice of Decision of the action of the Zoning Adjustments Board is mailed. It is your obligation to notify the Land Use Planning Division in writing of your desire to receive a Notice of Decision when it is completed.
 3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than ninety (90) days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that ninety (90) day period will be barred.
 4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
 5. If you believe that this decision or any condition attached to it denies you any reasonable economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a "taking" of property for public use without just compensation under the California or United States Constitutions, the following requirements apply:
 - A. That this belief is a basis of your appeal.
 - B. Why you believe that the decision or condition constitutes a "taking" of property as set forth above.
 - C. All evidence and argument in support of your belief that the decision or condition constitutes a "taking" as set forth above. If you do not do so, you will waive any legal right to claim that your property has been taken, both before the City Council and in court.
-