



D E S I G N
R E V I E W
C O M M I T T E E
S T A F F R E P O R T

For Committee Decision
JUNE 15, 2023

2427 San Pablo Avenue

PRELIMINARY DESIGN REVIEW

Design Review #DRCP2022-0012 to demolish two existing multifamily buildings and construct a new five-story, mixed use multifamily residential building with eight replacement apartment units and Group Living Accommodation (GLA) with 77 private rooms (5 VLI units), and a request for a density bonus in the C-W zoning district.

I. Introduction

This five-story mixed use project is located in the C-W West Berkeley Commercial District on the East side of San Pablo Avenue between Dwight and Channing.

This project is applying under the Housing Crisis Act, SB 330, which seeks to boost homebuilding throughout the State with a focus on urbanized zones by expediting the approval process for and suspending or eliminating restrictions on housing development and limiting the number of public meetings. Housing development is defined as a project that is: all residential; a mixed-use project with at least two-thirds of the square-footage residential; or for transitional or supportive housing.

This project will be scheduled for a future hearing date with Zoning Adjustments Board (ZAB). It is before the DRC this month for Preliminary Design Review.

II. Background

The proposed project will be comprised of 5 stories, including a ground floor mezzanine level. The ground floor program includes a 500 square foot retail space facing San Pablo Avenue, a private parking garage with 15 spaces, 7 one-bedroom garden apartment units (with lofts) accessed from separate entries, and the main residential lobby. The GLA / SRO component of the project will be comprised of 30,265 square feet on 4-floors with private bedrooms, 4,845 square feet of common living areas, study/office rooms, common kitchens, and common laundry facilities. The ground floor also contains 857 square feet of mechanical platforms and the trash room. One of the replacement apartment units will be located within

the GLA portion of the building to act as the manager's unit. The proposed gross building area totals 36,467 square feet.

III. Project Setting

A. Neighborhood/Area Description:

The proposed project is located on the East side of San Pablo north of the intersection at Dwight in the C-W West Berkeley Commercial district. The project is also located just north of the San Pablo Designated Node at Dwight Way. The ground-floor of buildings in designated nodes, like Dwight Way just to the south of this project site, shall only be used for pedestrian oriented uses. Surrounding land uses are listed in Table 1 above. Surrounding building heights are typically one and two stories, except for the new development under construction adjacent to this project to the south.

B. Site Conditions:

The project site is currently occupied by two 2-story, 2,150 square foot multi-family buildings (totaling 4,300 square feet) located on abutting parcels (totaling 10,820 square feet) are located at 2427 San Pablo Avenue & 2433 San Pablo Avenue. A driveway runs between the two buildings and connects to a surface parking lot at the rear of both parcels.

Figure 1: Vicinity Map

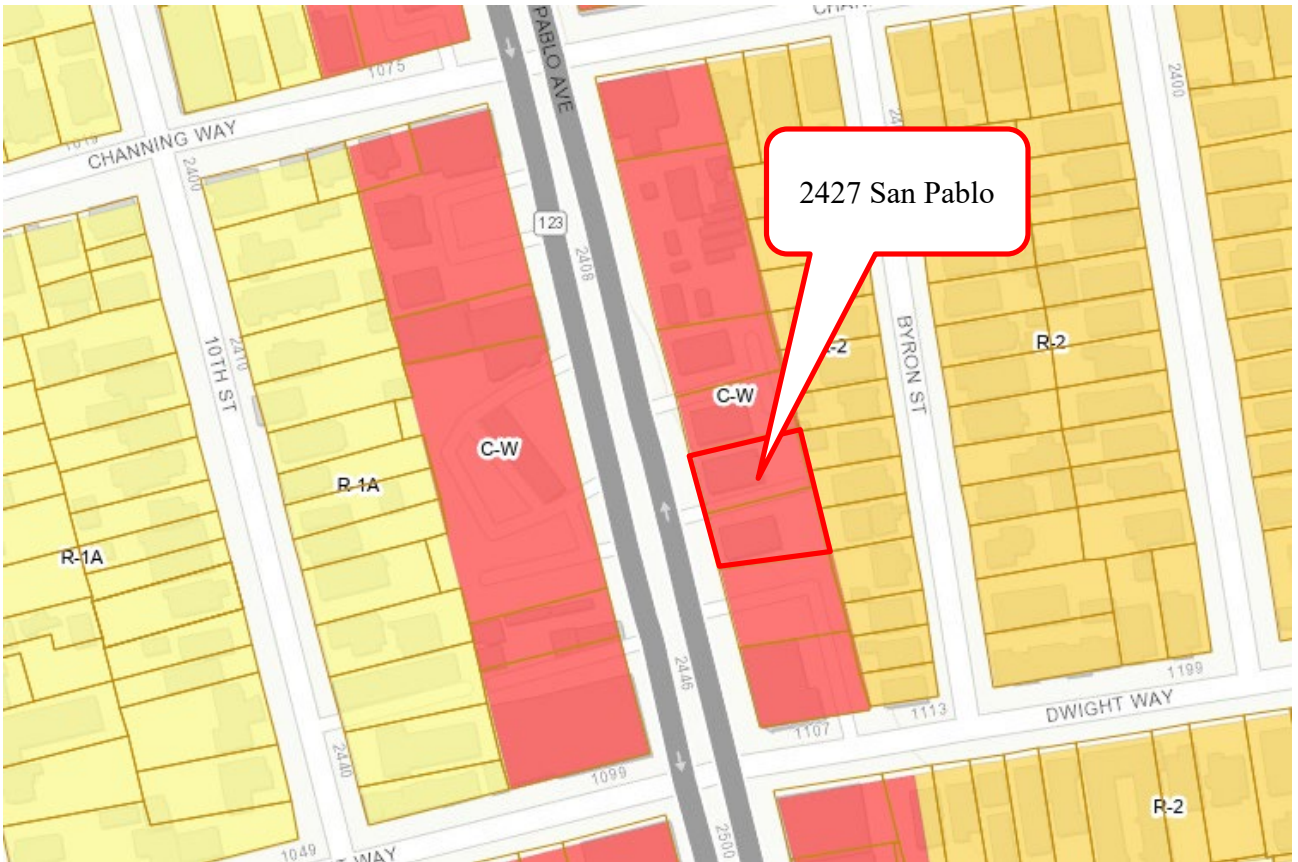


Table 1: Land Use Information

Location		Existing Use	Zoning District	General Plan Designation
Subject Property		Multi-family dwelling units	C-W	Avenue Commercial
	North			
Surrounding Properties	South	Multi-family dwelling units (under construction)	C-W	Low Medium Residential
	East	Single-family dwelling unit	R-2	Low Medium Residential
	West	Car wash (under construction)	C-W	Avenue Commercial

Table 2: Development Standards

Standard		Existing	Proposed Total	Permitted/ Required
BMC Sections 23.204.110				
Lot Area (sq. ft.)		11,036	No change	N/A
Gross Floor Area (sq. ft.)		4,800	63,174	N/A
Floor Area Ratio		0.4	3.37	3 max
Dwelling Units	Total	8	79	N/A
	Affordable	5	5	5 min
Building Height	Average (ft.)	20	70'-8"	50 max
	Maximum (ft.)	20	70'-8"	50 max
	Stories	2	5	4 max
Building Setbacks (ft.)	Front	0'	1'-7"	0 min
	Rear	40'	10'	10 min
	Left Side	7'	5'-1"	0 min
	Right Side	7'	1'	0 min
Lot Coverage (%)		22	81	100 max
Usable Open Space (sq. ft.)		1,350	3,286	3,280 min
Parking	Automobile	6	15	N/A
	Bicycle	0	40	40 min

IV. Project Description

A. Requested Use Permits

- **Use Permit** – Berkeley Municipal Code (BMC) Section 23.326.030(A)(2)(b), to demolish two buildings with two or more units constructed before June 1980.
- **Use Permit** – BMC Section 23.204.030(A) for the creation of 5,000 square feet or more of gross floor area.
- **Use Permit** - BMC Section Table 23.204.020, to establish a mixed-use residential building.
- **Use Permit** – BMC Section Table 23.204.020 to establish a residential hotel.

B. CEQA Determination

Staff’s recommendation is that this project is eligible for a **Class 32 Infill Exemption** (CEQA Guidelines Section 15332). However, the final determination is made by the ZAB.

C. Density Bonus Information

The application requests three waivers to reduce the following development standards:

Development Standard	Requirement	Proposed
Average Height	50 feet	70 feet 8 inches
Stories	4	5
FAR	3	3.5

V. Design Review Guidelines

The City’s Design Guidelines are applicable for this project. Excerpts from the City-wide Design Review Guidelines are included below for your reference:

Setbacks: The street façade of commercial streets should be respected, in order to create or maintain the sense of urban space.

Parking and Driveways: Conflict with pedestrian circulation should be prevented by the proper location and design of auto entrances.

Harmony with Surroundings: The proposed design should be in harmony with its surroundings through the coordination of such design elements as cornice lines, eaves, and setbacks with those of existing neighborhood buildings.

Articulation: Street facades in general and the ground floor level in particular should include elements of pedestrian scale and three-dimensional interest.

Lighting: Lighting for circulation, security, building/sign identification should be non-obtrusive, except for lighting fixtures which are themselves decorative additions to the streetscape.

Walls and Fences: Large, unarticulated expanses of any particular wall material that deaden the pedestrian environment should be avoided. The use of clear windows for ground floor retail projects is encouraged. Walls designed to allow sitting areas for pedestrian or space for landscaping and artwork are encouraged, especially in areas of heavy pedestrian use. Landscaping and/or art work should be maximized if large expanses of wall must be left devoid of openings.

Landscape and Open Space: Sidewalk areas should include landscaping that is coordinated with the neighborhood design.

Building Entrances: Entrance points should be clearly defined and easily identifiable by pedestrians by appropriate locations and by elements such as awnings, signage, artwork or changes in paving material to define the entry point.

VI. Issues and Analysis

A. Design Review Issues:

Neighborhood Context The project is located in the C-W Commercial District on the East side of San Pablo Avenue. Currently, surrounding uses are primarily one- to two- story commercial spaces, however there are several mid-rise mixed use developments in various states of approval proposed for this portion of San Pablo, including a 4-story GLA project directly adjacent to the south that is already under construction. Parcels to the East are primarily single family homes and are zoned as R-2 Residential.

Massing This five-story design has its main frontage on San Pablo Avenue. The symmetrical design features two prominent bays and strong corner elements on the West (San Pablo) façade. The center of the building is recessed to allow for balconies at the second, fourth, and fifth floors overlooking San Pablo. A metal trellis is suspended between the two bays over the balconies. The North and South facades step back at the center of the building to allow for access to light and air for interior units. The East façade is broken up by corners that step back at the second floor. The massing steps back again at the fifth floor of the East facade. An east facing roof deck pulls the fifth floor massing back even further where the project abuts an R-2 district.

Setbacks At the West side of the property, the building sets back 1'-6" from the property line with a recessed entry at the center of the ground floor. The project provides a 10'-0" setback from the East property line where the C-W district abuts an R-2 residential district. There is a 5'-1" minimum setback from the south property line and a 1'-0" setback from the North property line.

Ground Floor Design The ground floor design features a residential lobby that opens to San Pablo Avenue. A retail space is proposed to the North of the lobby with trash room and vehicular access to the garage provided at the North corner of the project. There are two bike storage rooms proposed adjacent to the lobby space with dwelling units occupying the remainder of the floor.

Streetscape A new curb cut is proposed at the North end of the property where vehicular access to the garage is proposed. New planters are proposed along the West property line and would not encroach on the public right of way. The three existing street trees would remain.

Open Space Open space for the project is proposed on the ground floor in the rear and side yard setbacks, as well as with balconies extending from common spaces on the second, fourth, and fifth floors. A rooftop deck is proposed at the center of the building overlooking San Pablo. The deck space is inset from the East side of the building to provide privacy for neighbors to the East. A metal trellis would provide some shade and a top to the space.

Colors and Materials The project proposes cement plaster, board formed concrete, a wood patterned rainscreen, vinyl and aluminum windows, anodized aluminum storefront, and painted metal accents. A decorative metal panel is proposed for the egress gate and garage door.

B. Issues for Discussion:

- Neighborhood
- Massing
- Façade Design
- Ground Floor
- Landscape/Open Space
- Colors and Materials

VII. Recommendation

Staff recommends that the DRC discuss the above issues and forward a favorable recommendation to ZAB with any conditions as necessary and specific direction for Final Design Review.

Attachments:

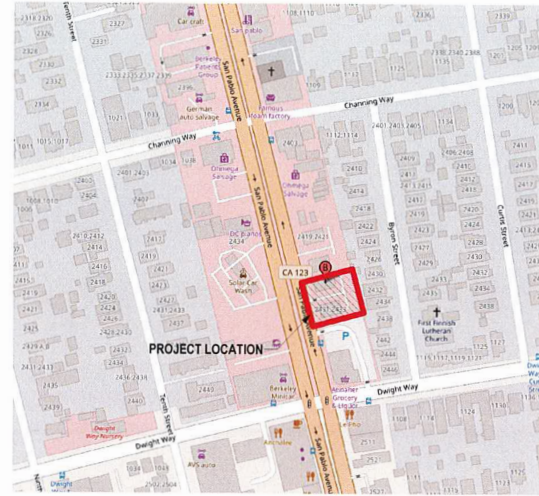
1. Project Plans, received June 6, 2023
2. Applicant Statement, received April 12, 2023

Staff Planner: Anne Burns, aburns@berkeleyca.gov, (510) 981-7410

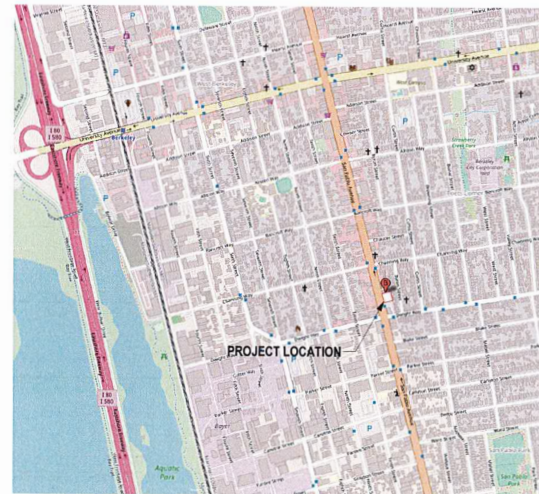
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BERKELEY, CA

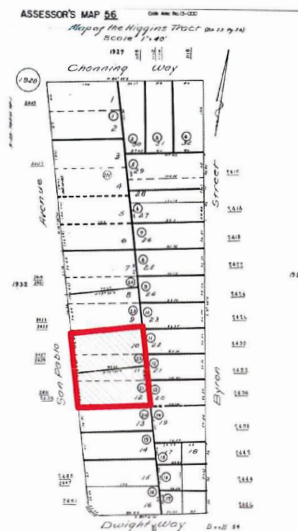
ARN01 - DESIGN REVIEW - 5/6/2023



5 LOCATION MAP
G000 SCALE TO INCLUDE MAJOR STREETS BY PROJECTS
NOT TO SCALE



4 VICINITY MAP
G000 SCALE TO INCLUDE FREEWAY EXIT & ACCESS TO SITE
NOT TO SCALE



3 PARCEL MAP
G000 12" = 1'-0"



APPLICABLE BUILDING CODE REGULATIONS

2022 CALIFORNIA BUILDING CODE (CBC)
2022 CALIFORNIA FIRE CODE (CFC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA ENERGY CODE (CBEES)
2022 CALGREEN

WHEN APPLICABLE FOR DEFERRED SUBMITTALS:
SPRINKLER SYSTEM: NFPA 13
FIRE ALARM SYSTEM: NFPA 72

APPLICABLE ZONING CODE REGULATIONS
2022 BERKELEY MUNICIPAL CODE

OWNER:

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2 PROJECT TEAM
G000 1" = 1'-0"

1 PROJECT DESCRIPTION
G000 1" = 1'-0"

ZONING PROJECT SUBMITTAL SHEET LIST	
SHEET #	SHEET NAME
GENERAL	
G000	PROJECT INFORMATION
G001	SYMBOLS & ABBREVIATIONS
G002	ZONING CODE INFORMATION
G006	LOT COVERAGE DIAGRAM
G007	BASE PROJECT PLANS & CALCS
G008	DENSITY BONUS BONUS PROJECT DIAGRAMS & CALCS
G010	GREEN BUILDING CHECKLIST
G041	EXISTING STREET STRIP ELEVATIONS
G042	PROPOSED STREET STRIP ELEVATIONS
G043	PERSPECTIVES
G044	PERSPECTIVES
G045	RENDERED ELEVATIONS WEST - SAN PABLO AVE
G046	RENDERED ELEVATIONS SOUTH
G048	COLOR & MATERIAL BOARD
G051	SHADOW STUDIES - DECEMBER 21
G052	SHADOW STUDIES - JUNE 21
ARCHITECTURAL - EXISTING	
AD100	EXISTING & DEMOLITION SITE PLAN
ARCHITECTURAL	
A100	SITE PLAN
A101	FLOOR PLAN - 1st FLOOR & MEZZANINE
A102	2nd & 3rd FLOOR PLANS
A103	4th & 5th FLOOR PLANS
A105	ROOF PLAN
A200	BUILDING ELEVATIONS
A201	BUILDING ELEVATIONS
A202	SAN PABLO AVE RENDERS
A302	SITE & PROPOSED BUILDING SECTIONS
A401	ENLARGED UNIT PLAN TYPICAL GLA
A402	ENLARGED UNIT PLAN TYPICAL GROUND FL UNIT
CIVIL	
C1.0	COVER SHEET
C1.1	NOTES
C1.2	TOPOGRAPHIC SURVEY PLAN
C2.0	DEMOLITION PLAN
C3.0	GRADING AND DRAINAGE PLAN
C3.1	PAVEMENT PLAN
C3.2	STORM WATER TREATMENT PLAN
C4.0	UTILITY PLAN
C5.0	EROSION CONTROL PLAN
C6.0	DETAILS
LANDSCAPE	
L1.1	LANDSCAPE SITE PLAN 1st FLOOR
L1.2	LANDSCAPE SITE PLAN 2nd FLOOR
L1.3	LANDSCAPE SITE PLAN 4th FLOOR
L1.4	LANDSCAPE SITE PLAN 5th FLOOR
L1.5	LANDSCAPE SITE PLAN ROOF
L4.1	PLANTING PLAN 1st FLOOR
L4.2	PLANTING PLAN 2nd FLOOR
L4.3	PLANTING PLAN 4th FLOOR
L4.4	PLANTING PLAN 5th FLOOR
L4.5	PLANTING PLAN ROOF
L4.6	PLANTING PALETTE PLANTING LIST & MWLO CALCULATIONS

THE SCOPE OF THE WORK FOR THIS PROPOSED MIXED-USE MULTI-FAMILY PROJECT INCLUDES:

- DEMOLITION OF (2) EXISTING MULTI-FAMILY BUILDINGS
- CONSTRUCT A NEW 5-STORY, MIXED-USE BUILDING, INCLUDING (1) RETAIL SPACE, (8) REPLACEMENT ONE-BEDROOM UNITS, (4) ONE-BEDROOM UNITS & (68) RESIDENTIAL HOTEL (GROUP LIVING ACCOMMODATION) ROOMS, COMMON AREAS (INCLUDING KITCHENS, LAUNDRY FACILITIES, LOUNGES), A ROOF TOP PATIO, RESIDENTIAL LOBBY & A 17-SPACE PARKING GARAGE W/ AUTOMATED CAR STACKERS

DEFERRED APPROVALS:
1. SIGNAGE UNDER SEPARATE T.I. PERMIT.

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DESIGN REVIEW

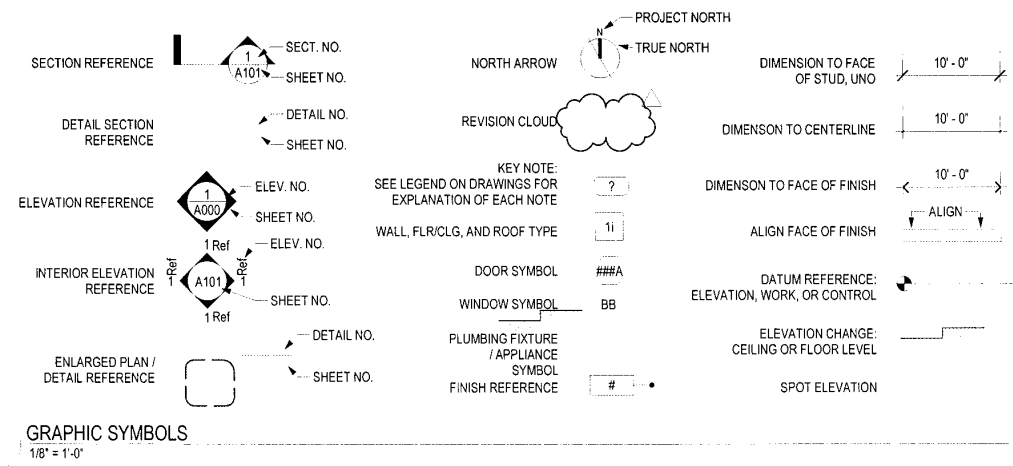
PROJECT ISSUE RECORD	

PROJECT # ARN01
ISSUE DATE 5/6/2023

PROJECT INFORMATION

G000

ABBREVIATIONS		ABBREVIATIONS		ABBREVIATIONS		ABBREVIATIONS	
&	AND	(E)	EXISTING	ID	INSIDE DIAMETER or DIMENSION	REC	RECESSED
@	AT	EA	EACH	IN or *	INCH or INCHES	REF	REFERENCE
Ø	DIAMETER OR ROUND ABOVE	EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	INCL	INCLUDING	REFL	REFLECTED or REFLECTIVE
ABV	ABOVE	EGSB	EXTERIOR GYPSUM SHEATHING BOARD	INFO	INFORMATION	REG	REGISTER
A/C	AIR CONDITIONING	EJ	EXPANSION JOINT	INSUL	INSULATION	REINF	REINFORCED
AC	ASPHALTIC CONCRETE	EL	ELEVATION	INT	INTERIOR	REQD	REQUIRED
ACC	ACCESSIBLE	ELEC	ELECTRICAL	INV	INVERT	RESIL	RESILIENT
ACOUS	ACOUSTICAL	ELEV	ELEVATOR or ELEVATION	J-BOX	JUNCTION BOX	REV	REVISION
ACT	ACOUSTICAL CEILING TILE	ELEVS	ELEVATIONS	JS	JANITOR'S SINK	RH	RIGHT HAND or ROOF HATCH
AD	AREA DRAIN	EMER	EMERGENCY	JST	JOIST	RM	ROOM
ADA	AMERICAN W/ DISABILITIES ACT	ENCL	ENCLOSURE	KEC	KITCHEN EQUIPMENT CONTRACTOR	RO	ROUGH OPENING
ADDM	ADDENDUM	EOS	EDGE OF SLAB	L	LENGTH, LONG. ANGLE	RTU	ROOF TOP UNIT
ADJ	ADJACENT OR ADJUSTABLE	EP	ELECTRICAL PANEL BOARD	LAM	LAMINATE	RWL	RAIN WATER LEADER
AFF	ABOVE FINISHED FLOOR	EQ	EQUAL	LH	LEFT HAND	RV	ROOF VENT
AGG	AGGREGATE	EQUIP	EQUIPMENT	LP	LOW POINT	S	SOUTH
AL or ALUM	ALUMINUM	EST	ESTIMATE	LT	LIGHT	SA	SUPPLY AIR
ALT	ALTERNATE	EXCAV	EXCAVATE	LTG	LIGHTING	SAB	SOUND ATTENUATION BLANKET
L or <	ANGLE	EXF	EXTERIOR FINISH SYSTEM	LVL	LEVEL	SC	SOLID CORE
A.P.	ACCESS PANEL	EXH	EXHAUST	LVR	LOUVER	SCHED	SCHEDULE
APPROX	APPROXIMATE	EXP	EXPANSION	LYR	LAYER	SCP	SCUPPER
ARCH	ARCHITECT(URAL)	EXT	EXTERIOR	MAS	MASONRY	SD	STORM DRAIN
ASPH	ASPHALT	FA	FIRE ALARM	MAT	MATERIAL	SECT	SECTION
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	FBO	FURNISHED BY OTHERS	MAX	MAXIMUM	SEP JT	SEPARATION JOINT
BB	BULLETIN BOARD	FD	FLOOR DRAIN	MBSM	MODIFIED BITUMINOUS SHEET	SF	SQUARE FEET
BD	BOARD	FDC	FIRE DEPARTMENT CONNECTION	MC	MINERAL CORE	SHT	SHEET
BF	BRACE FRAME	FDMPR	FIRE DAMPER	MDF	MEDIUM DENSITY FIBERBOARD	SHTHG	SHEATHING
BITUM	BITUMINOUS	FDN	FOUNDATION	MECH	MECHANICAL	SHM	SELF HEALING MEMBRANE
BLDG	BUILDING	FDR	FIRE DOOR	MEMB	MEMBRANE	SHV	SHELVING
BLK	BLOCK	FE	FIRE EXTINGUISHER	MTL	METAL	SI or IN*	SQUARE INCHES
BLKG	BLOCKING	FEC	FIRE EXTINGUISHER CABINET	MFR	MANUFACTURER	SIM	SIMILAR
BLKHD	BULKHEAD	FF	FACTORY FINISH, FINISH FACE, FINISH	MIN	MINIMUM	SKYLT	SKYLIGHT
BM	BEAM	FLR	FINISHED GRADE	MISC	MISCELLANEOUS	SLNT	SEALANT
BN	BULLNOSE	FG	FINISHED GRADE	MUL	MULLION	SP	STANDPIPE
BO	BOTTOM OF	FHC	FIRE HOSE CABINET	MTD	MOUNTED	SPEC	SPECIFICATION
BOH	BACK OF HOUSE	FIN	FINISH (ED)	MWP	MEMBRANE WATERPROOFING	SQ	SQUARE
BOT	BOTTOM	FL	FLOOR	(N)	NEW	SS	STAINLESS STEEL
BS	BOTTOM OF STAIR	FLEX	FLEXIBLE	N	NORTH	SED # ___	SEE ELECTRICAL DRAWING
BUR	BUILT-UP ROOF	FLUOR	FLUORESCENT	NIC	NOT IN CONTRACT	SMD # ___	SEE MECHANICAL DRAWING
BW	BOTTOM OF WALL	FO	FACE OF	NO or #	NUMBER	SSD # ___	SEE STRUCTURAL DRAWING
BDRY	BOUNDARY	FOC	FACE OF CONCRETE	NOM	NOMINAL	STD	STANDARD
CAB	CABINET	FOF	FACE OF FINISH	NTS	NOT TO SCALE	STL	STEEL
CAP	CAPACITY	FOS	FACE OF MASONRY	NR	NON-RATED	STN	STAIN
CB	CATCH BASIC	FR	FACE OF STUD	O	OVER	STRUC	STRUCTURAL
CBU	CEMENTITIOUS BACKER UNIT	FRPF	FIRE RATED	OC	ON CENTER	SUSP	SUSPENDED
CEM	CEMENT	FRP	FIRE PROOF	OCC	OCCUPANCY, OCCUPANT(S)	SYMM	SYMMETRICAL
CER	CERAMIC	FRT	FIBERGLASS REINFORCED STEEL	OD	OUTSIDE DIAMETER or DIMENSION	T	TEMPERED
CG	CORNER GUARD	FS	FINISH SLAB	OFD	OVERFLOW DRAIN	TA	TOILET ACCESSORY
CIP	CAST-IN-PLACE	FSEC	FOOD SERVICE QUIP. CONTRACTOR	OH	OPPOSITE HAND	TBD	TO BE DETERMINED
CJ	CONTROL JOINT	FSR	FIRE SPRINKLER RISER	OPNG	OPPOSITE	TD	TRENCH DRAIN
C	CENTER LINE	FT or'	FOOT OR FEET	OPP	OPENING	TEL	TELEPHONE
CLG	CEILING	FTG	FOOTING	OPT	OPTIONAL or OPTIMUM	TEMP	TEMPERED
CLO	CLOSET	FOH	FRONT OF HOUSE	ORD	OVERFLOW ROOF DRAIN	T&G	TONGUE AND GROOVE
CLR	CLEAR	FURN	FURNITURE	OSCI	OWNER SUPPLIED, CONTRACTOR INSTALLED	THK	THICK
CMU	CONCRETE MASONRY UNIT	FUT	FUTURE	OZ	OUNCE	THRU	THROUGH
CO	CLEANOUT OR CASSED OPENING	GA	GAUGE	PART BD	PARTICLE BOARD	TC	TOP OF CURB
COL	COLUMN	GALV	GALVANIZED	PBO	PROVIDED BY OWNER	TO	TOP OF
CONC	CONCRETE	GC	GENERAL CONTRACTOR	PCC	PRECAST CONCRETE	TOC	TOP OF CONCRETE
CONST	CONSTRUCTION	GEN	GENERAL	PCP	PORTLAND CEMENT PLASTER	TOP	TOP OF PARAPET
CONT	CONTINUOUS	GFRG	FIBER REINFORCED CONCRETE	PERF	PERFORATED	TOPO	TOPOGRAPHIC
CORR	CORRIDOR	GFRG	FIBER REINFORCED GYPSUM	PL	PLATE or PROPERTY LINE	TOS	TOP OF STEEL
CPT	CARPET	GL	GLAZING	P-LAM	PLASTIC LAMINATE	TP	TOP OF PAVEMENT
CT	CERAMIC TILE	GR	GUARD RAIL	PLAS	PLASTER	TS	TOP OF STAIR
C.T.	COLLAR TIE	GSB	GYPSUM SHEATHING BOARD	PLYWD	PLYWOOD	TV	TELEVISION
CTRL	CONTROL	GSM	GALVANIZED METAL SHEET	PNL	PANEL	TW	TOP OF WALL
CU FT	CUBIC FOOT (FEET)	GYP	GYPSUM	POL	POLISHED	TYP	TYPICAL
CU YD	CUBIC YARD(S)	GWB	GYPSUM WALLBOARD	PR	PAIR	UBC	UNIFORM BUILDING CODE
CW	COLD WATER	H or HT	HEIGHT	PRC	POLYMER REINFORCED CONCRETE	UC	UNDER CUT
D	DRYER	HC	HOLLOW CORE	PRKG	PREFABRICATED	UFC	UNIFORM FIRE CODE
d	DEGREE	HCP	HANDICAP	PSD	PARKING STRUCTURE DRAWINGS	UL	UNDERWRITER'S LABORATOR
DBH	DIAMETER AT BREAST HEIGHT	HDR	HEADER	PSF	POUNDS PER SQUARE FOOT	UNF	UNFINISHED
DEMO	DEMOLITION	HDWD	HARDWOOD	PSI	POUNDS PER SQUARE INCH	UNO or UON	UNLESS NOTED OTHERWISE
DEPT	DEPARTMENT	HMD	HOLLOW METAL	PTD	PAINTED	VERT	VERTICAL
DET	DETAIL	HMD	HOLLOW METAL DOOR	PT	POINT	VG	VERTICAL GRAIN
DF	DRINKING FOUNTAIN	HORIZ	HORIZONTAL	PTN	PARTITION	VIF	VERIFY IN FIELD
D.F.	DOUGLAS FIR	HR	HOUR or HANDRAIL	PVMT	PAVEMENT	WVC	VINYL WALL COVERING
DIA	DIAMETER	HSS	HOLLOW STRUCTURAL SECTION	R	RADIUS or RISER	W	WEST or WIDTH or WASHER
DIAG	DIAGONAL	HVAC	HEATING, VENTILATING, & AIR CONDITIONING	(R)	REMOVE	W/	WITH
DIA	DIAMETER	HW	HOT WATER	RA	RETURN AIR	WC	WATER CLOSET
DIM	DIMENSION			RC	REINFORCED CONCRETE	WD	WOOD
DISP	DISPENSER			RD	ROOF DRAIN	WDW	WINDOW
DIV	DIVISION					WH	WEEP HOLE or WATER HEATER
DR	DOOR					WII	WITHIN
DS	DOWNSPOUT						
DSP	DRY STANDPIPE						
DWG	DRAWING						
E	EAST						



**SAN PABLO AVE
G.L.A.**

2427-2433
SAN PABLO AVE
BERKELEY, CA



DESIGN REVIEW

PROJECT ISSUE RECORD:

NO.	DESCRIPTION	DATE

PROJECT # AR01
ISSUE DATE 5/6/2023

SYMBOLS & ABBREVIATIONS

G001



SAN PABLO AVE
 G.L.A.

2427-2433
 SAN PABLO AVE
 BERKELEY, CA



DESIGN REVIEW

ZONING CODE INFORMATION				
SITE INFORMATION				
ADDRESS: 2427-2433 SAN PABLO AVENUE, BERKELEY, CA				
APN: 56-1928-21 & 56-1928-22				
ZONING DISTRICT: C-W				
OVERLAY / SPECIAL DISTRICT:				
SEISMIC SAFETY				
ALQUIST PRIOLO	NO	LIQUEFACTION ZONE	NO	
LANDSLIDE ZONE	NO	UNREINFORCED MASONRY	NO	
HISTORIC INFO				
HISTORIC PRESERVATION: NONE				
LANDMARK / STRUCTURE OF MERIT: NONE				
ENVIRONMENTAL SAFETY				
CREEK BUFFER	N/A	FIRE ZONE	N/A	
ENVIRONMENTAL MGMT AREA	N/A	FLOOD ZONE	N/A	
BUILDING DATA PER PLANNING CODE				
	EXISTING	PROPOSED	PERMITTED / REQUIRED	NOTES / CODE REFERENCE
BUILDING / LOT INFO				
LOT AREA	10,818 SF	10,818 SF	NO MINIMUM	
BUILDING FOOTPRINT	2,400 SF	9,047 SF	N/A	
LOT COVERAGE	22%	84%	100%	
MAX FLOOR AREA RATIO	0.4	3.37	3.0 DENSITY BONUS WAIVER REQUESTED	
AREAS				
COMMERCIAL & OTHER NON-RES. FLOOR AREA	0 SF	1,159 SF	INCL. 540 SF MECH. MEZZANINE & TRASH RM.	
RESIDENTIAL FLOOR AREA	4,800 SF	35,308 SF	INCL. 800 SF OF APARTMENT MEZZANINES	
GROSS FLOOR AREA	4,800 SF	36,467 SF		
USABLE OPEN SPACE - DENSITY BONUS PROJECT	1,350 SF	3,280 SF	3,240 SF	SEE G005 & G008 FOR DENSITY PROJECT CALCS.
USABLE OPEN SPACE - BASE PROJECT	1,350 SF	3,280 SF	SEE G007 FOR BASE PROJECT CALCULATIONS	
IMPERVIOUS SURFACE AREA	8,850 SF	8,827 SF		
HEIGHT				
# STORIES	2	5	4	DENSITY BONUS WAIVER REQUESTED
AVERAGE BLDG HEIGHT	20 FT	70'-8"	50'	DENSITY BONUS WAIVER REQUESTED
MAX BLDG HEIGHT	20 FT	70'-8"	50'	DENSITY BONUS WAIVER REQUESTED
SETBACKS				
FRONT YARD SETBACK	0'	0'	0'	
SIDE YARD SETBACKS				
INTERIOR	0'	0'	0'	
STREET				
REAR YARD SETBACK	10'	10'	10'	10' OR 10%
UNITS				
RESIDENTIAL DENSITY (UNIT COUNT)				
RESIDENTIAL HOTEL ROOM	0	69		
1-BEDROOM	8	12	(8) REPLACEMENT 1-BEDROOM UNITS	
2-BEDROOM	0	0		
3-BEDROOM	0	0		
TOTAL	8	81		
PARKING				
CAR PARKING (MULTI FAMILY)	6	12	6	6 REQUIRED REPLACEMENT PARKING SPACES
CAR PARKING (COMMERCIAL)	0	2	2	INCL. 1 VAN ACCESSIBLE SPACE FOR COMMERCIAL & MULTIFAMILY USE
BIKE PARKING (BMC 23.322.090)				
BIKE PARKING (LONG TERM) - GLA	0	30	28	1 SPACE / 2.5 GLA ROOMS (69 + 2.5 = 28 SPACES)
BIKE PARKING (LONG TERM) - RESIDENTIAL	0	8	4	1 SPACE / 3 BEDROOMS (12 BEDROOMS + 3 = 4 SPACES)
TOTAL LONG TERM BIKE PARKING REQUIRED				32
TOTAL LONG TERM BIKE PARKING PROVIDED				39 2-TIER & WALL-MOUNT BIKE RACKS
BIKE PARKING (SHORT TERM) - GLA	0	4	4	1 SPACE / 20 BEDROOMS (69 + 20 = 4 SPACES)
BIKE PARKING (SHORT TERM) - RESIDENTIAL	0	1	1	1 SPACE / 40 BEDROOMS (12 + 40 = 1 SPACE)
BIKE PARKING (SHORT TERM) - COMMERCIAL	0	1	1	1 SPACE / 2000 SF (500 SF / 2000 SF = 1 SPACE)
TOTAL SHORT TERM BIKE PARKING REQUIRED				6
TOTAL SHORT TERM BIKE PARKING PROVIDED				6 (3) 2-BIKE STREET RACKS
GARBAGE / RECYCLING				
RESIDENTIAL GARBAGE	YES	YES	YES	
COMMERCIAL GARBAGE	NO	YES	YES	
RESIDENTIAL RECYCLING	YES	YES	YES	
COMMERCIAL RECYCLING	NO	YES	YES	

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PROJECT ISSUE RECORD:	

PROJECT # ARN01
 ISSUE DATE 5/8/2023
 ZONING CODE INFORMATION

G002

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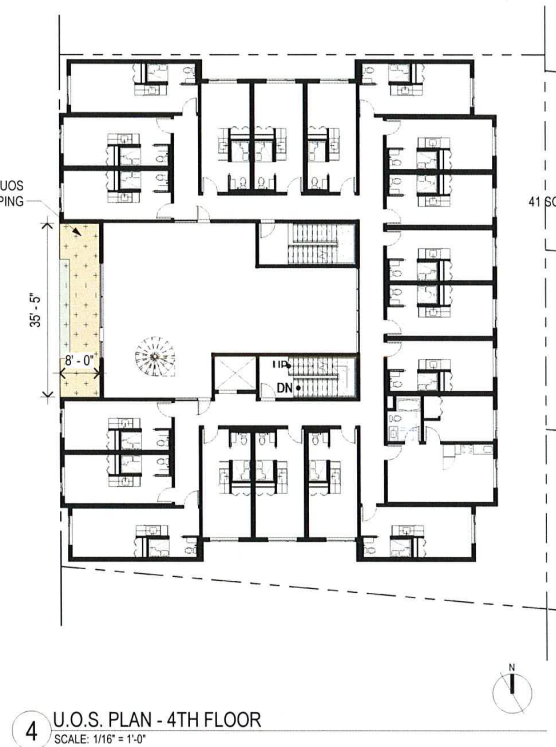
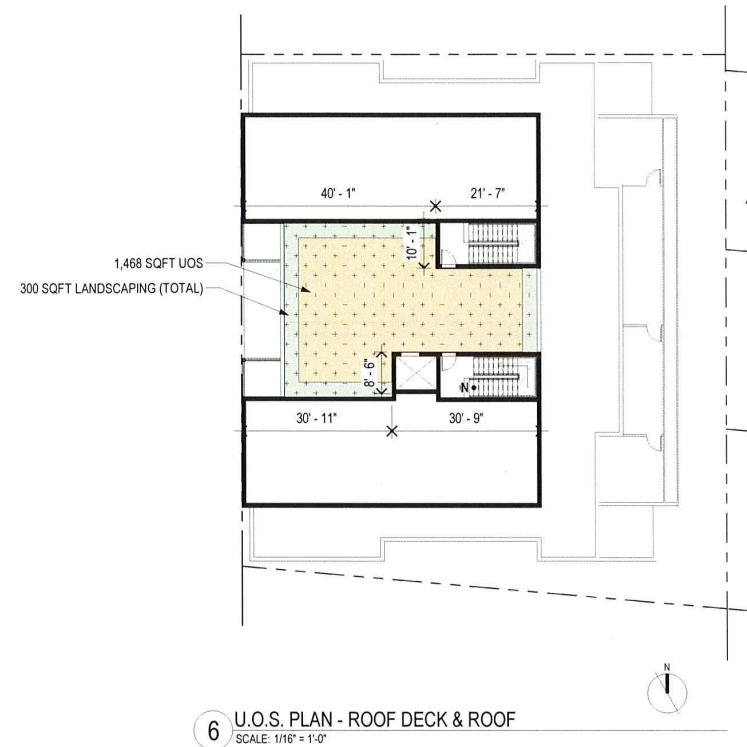
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DESIGN REVIEW



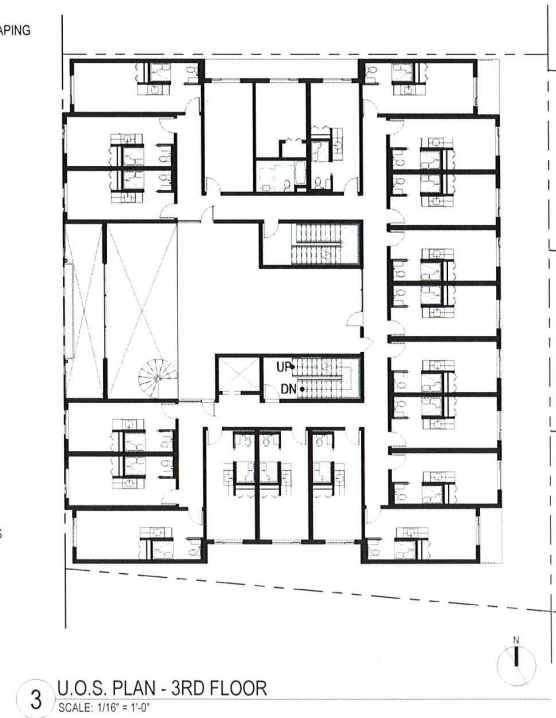
USEABLE OPEN SPACE CALCULATION TABLE
DENSITY BONUS PROJECT

Apartment...	12
GLA Units	69
SUBTOTAL	81
UNITS W/ PVT. BALCONY	4*
TOTAL UNITS	77 UNITS
U.O.S. / UNIT	40 SF
TOTAL U.O.S. REQUIRED	3080 SF
TOTAL U.O.S. PROVIDED	3,280 SF

USEABLE OPEN SPACE

U.O.S. Plan Floor # OR Unit #	Balcony SQ.FT	Minimum Dimension Required in all directions (ft)
ROOF	1,468	10'
5	126	6'
507*	208*	6'
508*	300*	6'
509*	231*	6'
510*	208*	6'
4	283	6'
3	N/A	N/A
2	283	6'
1	1,120	10'
TOTAL	3,280	

* Private Balconies not incl. in U.O.S. calculation



- SITE PLAN LEGEND:**
- USABLE OPEN SPACE PER B.M.C. 23.304.090
 - USABLE OPEN SPACE - PUBLIC BALCONY PER B.M.C. 23.304.090
 - USABLE OPEN SPACE - UNIT BALCONY PER B.M.C. 23.304.090
 - PERMEABLE WALKWAY, SLD
 - LANDSCAPE, SLD

U.O.S. LEGEND
SCALE: 1/8" = 1'-0"

PROJECT ISSUE RECORD:

NO.	DATE	DESCRIPTION

PROJECT # ARN01

ISSUE DATE: 5/8/2023

USABLE OPEN SPACE DIAGRAMS

G005

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DESIGN REVIEW



LEGEND
 AREA COUNTING AS LOT COVERAGE

1 LOT COVERAGE DIAGRAM
SCALE: 1/8" = 1'-0"

PROJECT ISSUE RECORD	
NO.	DESCRIPTION

PROJECT #: ARN01
 ISSUE DATE: 5/9/2023

LOT COVERAGE
DIAGRAM

G006

Project Address: 2427-2433 San Pablo Avenue									
Base Project	Base Project Units	Base Project Units	% VLI units	# VLI Units	# VLI Units	% Bonus	# Bonus Units	# Bonus Units	Total Units
sq. ft. - see calculation below	base project/avg. unit size	Base Units/Max. Residential Density (Round down)	Per 65915, VLI = Very Low Income <50 AMI	% VLI x Base # Units	(Round Up)	Per 65915	% Bonus x Base # Units (rounded up)	% Bonus x Base # Units (rounded up)	base unit + DB Units (rounded up)
30,431	461	66.00	6%	3.96	4.00	22.5%	14.85	15.00	81

Base & Proposed Density Bonus Project Areas		
Base Project Residential Area (SF)	Floor Level	Proposed Project Residential Area (SF)
-	BASEMENT	N/A
7,022	1st	5,283
N/A	1st (mezzanine)	1,365
7,803	2nd	7,809
7,803	3rd	7,109
7,803	4th	7,809
N/A	5th	5,933
30,431	TOTAL	35,308

DENSITY BONUS CHART	
AFFORDABLE / VERY LOW INCOME UNIT %	BONUS
5%	20.0%
6%	22.5%
7%	25.0%
8%	27.5%
9%	30.0%
10%	32.5%
11%	35.0%
12%	38.7%
15%	50.0%

USEABLE OPEN SPACE CALCULATION TABLE

BASE PROJECT	
Apartment	8
GLA Units	58
SUBTOTAL	66
UNITS W/ PVT. BALCONY	0
TOTAL UNITS	66
U.O.S. / UNIT	40 SF
TOTAL U.O.S. REQUIRED	2,400 SF
TOTAL U.O.S. PROVIDED	3,450 SF

USABLE OPEN SPACE		
U.O.S. Plan Floor # OR Unit #	Balcony SQ.FT.	Minimum Dimension Required in all directions (ft)
ROOF	3,450	10'
4	0	5'
3	0	N/A
2	0	5'
1	0	10'
TOTAL	3,450	

* Private Balconies not incl. in U.O.S. calculation

Base & Proposed Density Bonus Project Areas		
Base Project # of Units	Floor Level	Proposed Project # of Units
0	BASEMENT	N/A
8	1st	7
19	2nd	19
19	3rd	20
20	4th	20
N/A	5th	15
66	TOTAL	81

Proposed Residential Area:	35,308
Proposed Units:	81
Average Unit Size:	436

BASE PROJECT ZONING CODE COMPLIANCE

BASE PROJECT - FAR			
	RES. AREA	COMM. & NON-RES.	TOTAL
GROSS FLOOR AREA	30431	2000	32431
SITE AREA			10818
FAR			3.00

BASE PROJECT - USEABLE OPEN SPACE			
	UNITS	SF / UNIT	TOTAL AREA
TOTAL RES. UNITS	66	40	2,760
TOTAL U.O.S. AREA PROVIDED			3,450
GROUND FLOOR LANDSCAPE AREAS			350
ROOF LEVEL LANDSCAPED AREAS			1,032
TOTAL LANDSCAPED AREA			1,372

BASE PROJECT - PARKING				
	UNITS	SPACES	RATIO	TOTAL
BASE UNITS - GLA	58	0	0	0
BASE UNITS - REPLACEMENT	8	1	8	8
COMMERCIAL	2000	2	1000	2
TOTAL PARKING REQ.				10
TOTAL PARKING PROVIDED				15

BASE PROJECT - DWELLING UNIT TABLE			
UNIT TYPE	GLA / SRO	1-BED	TOTAL
LEVEL 4	20	1	21
LEVEL 3	19	1	20
LEVEL 2	19	1	20
LEVEL 1	0	5	5
TOTAL	58	8	66
PERCENTAGE OF TOTAL	88%	12%	100%

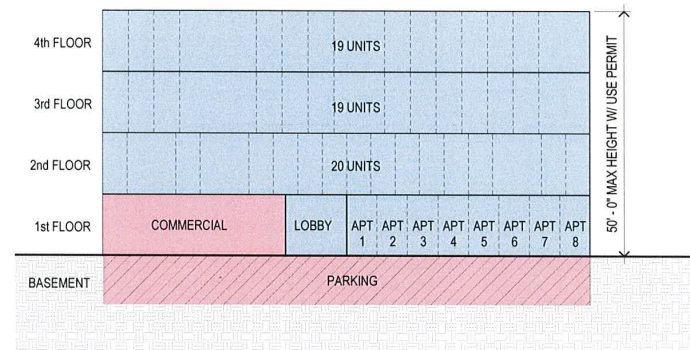
BASE PROJECT - BEDROOM CALCULATION			
	GLA / SRO	1-BED	TOTAL
NUMBER OF UNITS	58	8	66
BEDROOM PER UNIT	1	8	8
TOTAL BEDROOMS			66

BASE PROJECT - GLA COMMON AREA TABLE	
FLOOR	COMMON AREA (SF)
1st FLOOR	0
2nd FLOOR	1531
3rd FLOOR	1531
4th FLOOR	1531
TOTAL COMMON AREA	4593

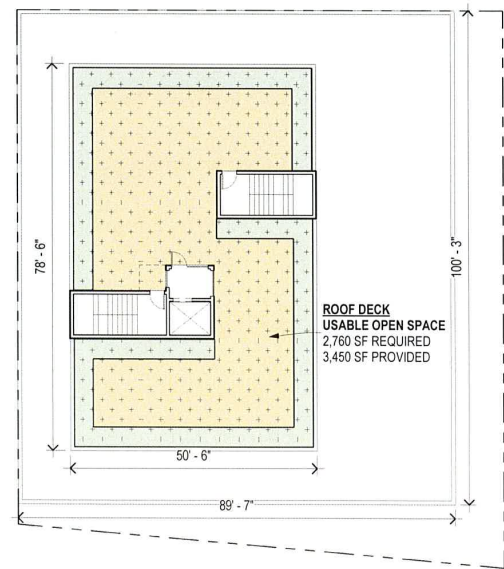
BASE PROJECT - LONG TERM BIKE PARKING				
	COUNT / BEDROOM	SPACES	RATIO	TOTAL
BASE GLA ROOMS	58	1	2.5	23
BASE APT. BEDROOMS	8	1	3.0	3
TOTAL LONG TERM BIKE SPACES REQ.				26
TOTAL LONG TERM BIKE SPACES PROVIDED				32

BASE PROJECT - SHORT TERM BIKE PARKING				
	COUNT / BEDROOM	SPACES	RATIO	TOTAL
COMMERCIAL	2000	1	2000	1
GLA / SRO	58	1	20	3
RES. UNITS	8	1	40	1
TOTAL SHORT TERM BIKE SPACES REQ.				5
TOTAL SHORT TERM BIKE SPACES PROVIDED: (3) 2-BIKE STREET RACKS				6

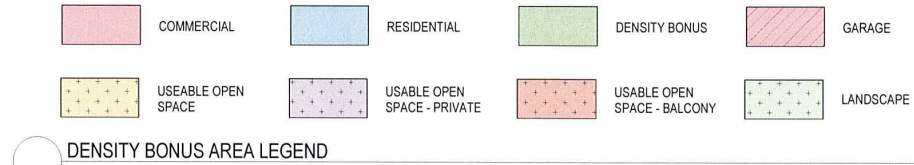
BASE PROJECT - STORMWATER			
BASE UNITS	ROOF AREA	%	REQUIRED
	8884	4	359



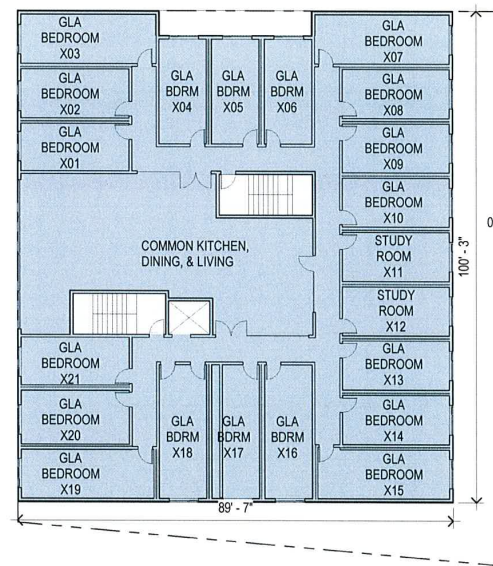
A BASE PROJECT DIAGRAM
SCALE: 1/16" = 1'-0"



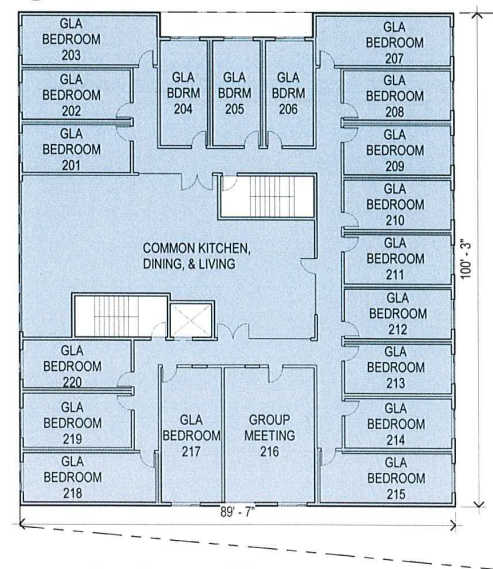
5 BASE PROJECT DIAGRAM - ROOF
SCALE: 1/16" = 1'-0"



DENSITY BONUS AREA LEGEND

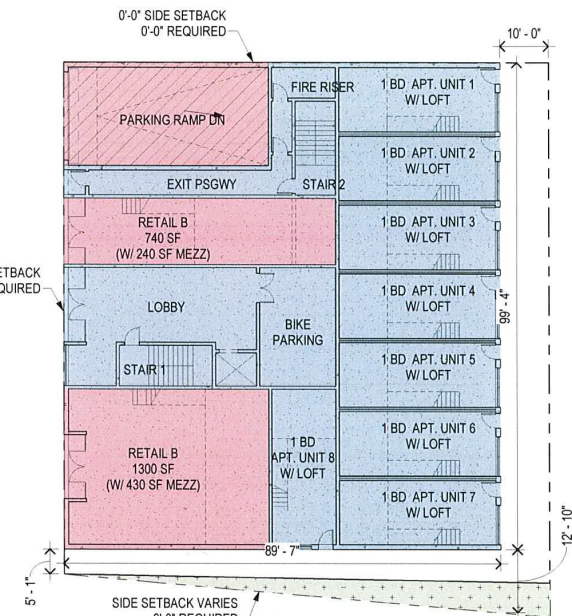


4 BASE PROJECT DIAGRAM - 3rd THRU 4th FLOORS
SCALE: 1/16" = 1'-0"

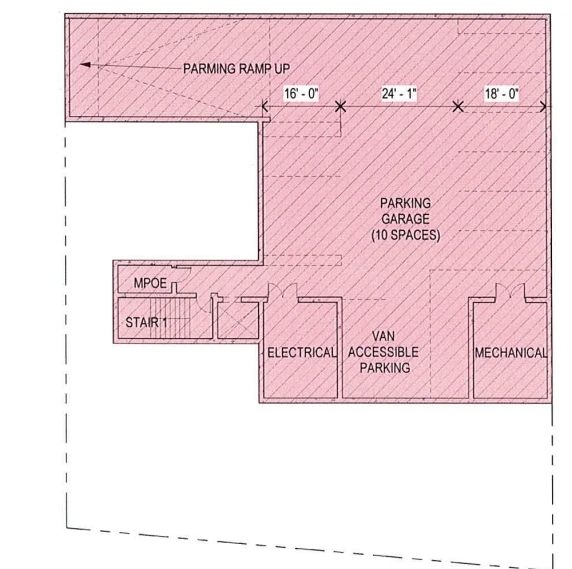


3 BASE PROJECT DIAGRAM - 2nd FLOOR
SCALE: 1/16" = 1'-0"

- SHEET NOTES**
- SEE G002 FOR FULL ZONING CODE INFORMATION TABLE
 - SEE SHEET G005 FOR USEABLE OPENSOURCE AND LANDSCAPING DIAGRAMS / CALCULATIONS
 - SEE G008 FOR DENSITY BONUS PROJECT DIAGRAMS AND ZONING COMPLIANCE INFO



2 BASE PROJECT DIAGRAM - 1ST FLOOR
SCALE: 1/16" = 1'-0"



1 BASE PROJECT DIAGRAM - GARAGE
SCALE: 1/16" = 1'-0"



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DESIGN REVIEW

PROJECT ISSUE RECORD	
NO.	DESCRIPTION

PROJECT #: ARN01

ISSUE DATE: 5/8/2023

BASE PROJECT PLANS &
CALCS

G007

Project Address: 2427-2433 San Pablo Avenue									
Base Project	Base Project Units	Base Project Units	% VLI units	# VLI Units	#VLI Units	% Bonus	# Bonus Units	# Bonus Units	Total Units
sq. ft. - see calculation below	base project/avg. unit size	Base Units/Max. Residential Density (Round down)	Per 65915, VLI = Very Low Income <50 AMI	% VLI x Base # Units	(Round Up)	Per 65915	% Bonus x Base # Units (rounded up)	% Bonus x Base # Units (rounded up)	base unit + DB Units (rounded up)
30,431	461	66.00	6%	3.96	4.00	22.5%	14.85	15.00	81

WAIVERS & CONCESSIONS

WAIVERS & DEVELOPMENT STANDARDS REDUCTIONS

- i. INCREASE ALLOWABLE BUILDING STORIES TO 5 (4 ALLOWED)
- ii. INCREASE OVERALL BUILDING HEIGHT TO 70'-8" (65' ALLOWED)

REQUESTED CONCESSIONS

Base & Proposed Density Bonus Project Areas		
Base Project Residential Area (SF)	Floor Level	Proposed Project Residential Area (SF)
-	BASEMENT	N/A
7,022	1st	5,283
N/A	1st (mezzanine)	1,365
7,803	2nd	7,809
7,803	3rd	7,109
7,803	4th	7,809
N/A	5th	5,933
30,431	TOTAL	35,308

Base & Proposed Density Bonus Project Areas		
Base Project # of Units	Floor Level	Proposed Project # of Units
0	BASEMENT	N/A
8	1st	7
19	2nd	19
19	3rd	20
20	4th	20
N/A	5th	15
66	TOTAL	81

Proposed Residential Area:	35,308
Proposed Units:	81
Average Unit Size:	436

DENSITY PROJECT ZONING CODE COMPLIANCE			
DENSITY PROJECT - FAR	RES. AREA	COMM. & NON-RES.	TOTAL
GROSS FLOOR AREA	35308	1159	36467
SITE AREA			10818
FAR			3.37

DENSITY PROJECT - USEABLE OPEN SPACE			
UNITS	SF / UNIT	TOTAL AREA	
TOTAL RES. UNITS	81		
RES. UNIT W/ PVT. U.O.S.	4		
TOTAL U.O.S. UNITS	77	40	3,060
TOTAL U.O.S. AREA PROVIDED			3,280
GROUND FLOOR LANDSCAPE AREAS			715
COMMON AREA BALCONY LANDSCAPE AREAS			82
5th FLOOR BALCONY LANDSCAPE AREAS			397
ROOF LEVEL LANDSCAPED AREAS			300
TOTAL LANDSCAPED AREA			1,494

DENSITY PROJECT - PARKING			
UNITS	SPACES	RATIO	TOTAL
UNITS - GLA	69	0	0
UNITS - REPLACEMENT 1 BD	8	1	8
UNITS - 1 BEDROOM	4	0	0
COMMERCIAL	500	2	1000
TOTAL PARKING REQ'D			10
TOTAL PARKING PROVIDED			16

DENSITY PROJECT - DWELLING UNIT TABLE			
UNIT TYPE	GLA / SRO	1-BED	TOTAL
LEVEL 5	14	1	15
LEVEL 4	19	1	20
LEVEL 3	19	1	20
LEVEL 2	17	2	19
LEVEL 1	0	7	7
TOTAL	69	12	81
PERCENTAGE OF TOTAL	85%	15%	100%

DENSITY PROJECT - BEDROOM CALCULATION			
NUMBER OF UNITS	GLA / SRO	1-BED	TOTAL
69		12	
TOTAL BEDROOMS	1	1	81

DENSITY PROJECT - GLA COMMON AREA TABLE		COMMON AREA (SF)	
1st FLOOR			0
2nd FLOOR			1425
3rd FLOOR			880
4th FLOOR			1425
5th FLOOR			1115
TOTAL COMMON AREA			4845

DENSITY PROJECT - LONG TERM BIKE PARKING			
COUNT / BEDROOM	SPACES	RATIO	TOTAL
GLA ROOMS	69	1	2.5
1 BEDROOMS	12	1	3.0
TOTAL LONG TERM BIKE SPACES REQ'D			32
TOTAL LONG TERM BIKE SPACES PROVIDED			38

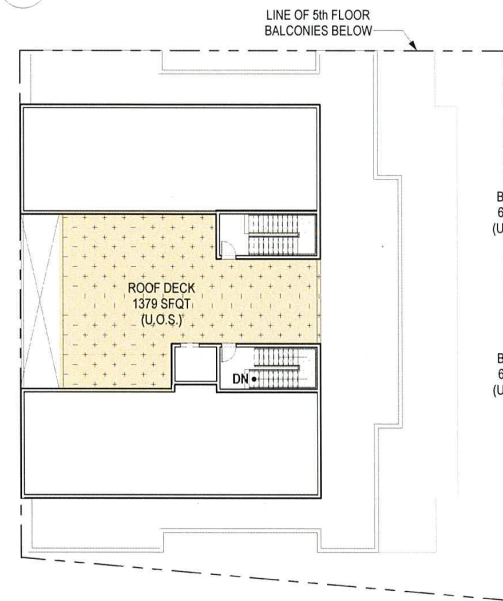
DENSITY PROJECT - SHORT TERM BIKE PARKING			
COUNT / BEDROOM	SPACES	RATIO	TOTAL
COMMERCIAL	500	1	2000
GLA / SRO	69	1	20
RES. UNITS	12	1	40
TOTAL SHORT TERM BIKE SPACES REQ'D			6
TOTAL SHORT TERM BIKE SPACES PROVIDED: 2-BIKE STREET RACKS			6

DENSITY PROJECT - STORMWATER			
BASE UNITS	ROOF AREA	%	REQUIRED
PROVIDED	8925	4	357
			357

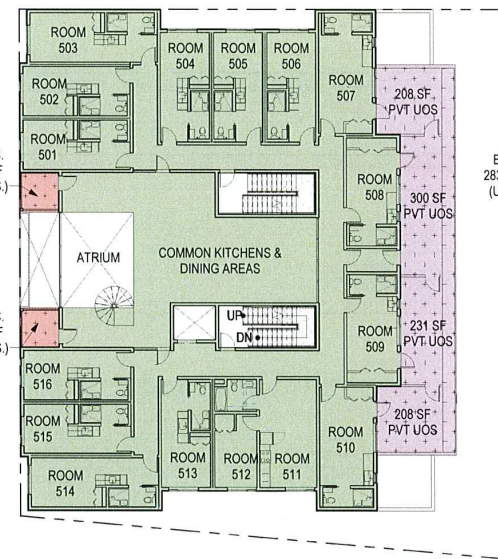
DENSITY BONUS CHART	
AFFORDABLE UNIT %	VERY LOW INCOME BONUS
5%	20.0%
6%	22.5%
7%	25.0%
8%	27.5%
9%	30.0%
10%	32.5%
11%	35.0%
12%	38.7%
15%	50.0%



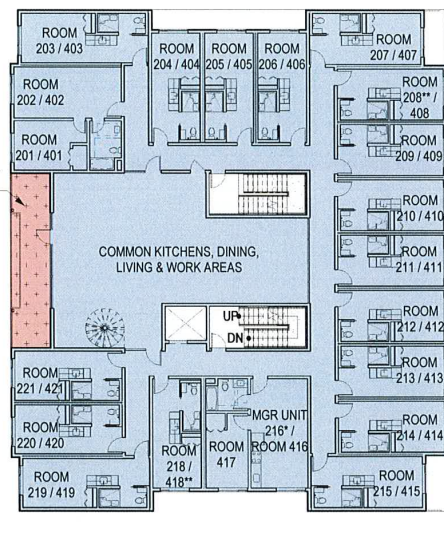
DENSITY BONUS AREA LEGEND



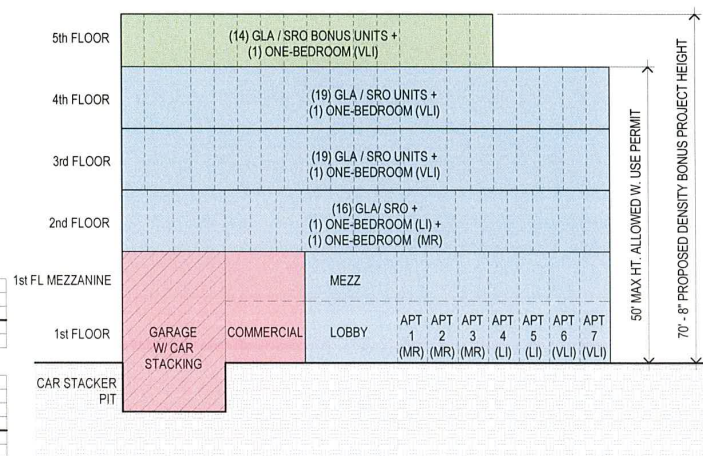
5 BONUS PROJECT - ROOF DECK
SCALE: 1/16" = 1'-0"



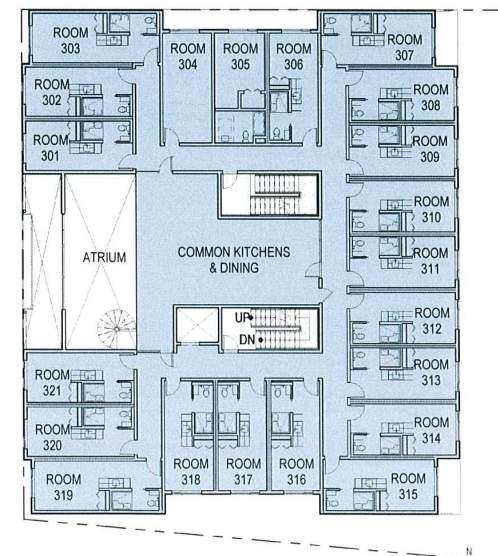
4 BONUS PROJECT - 5th FLOOR
SCALE: 1/16" = 1'-0"
1'-6" GROUND FLOOR FRONT SETBACK
0'-0" 2nd - 5th FLOOR SETBACK / 0'-0" REQUIRED



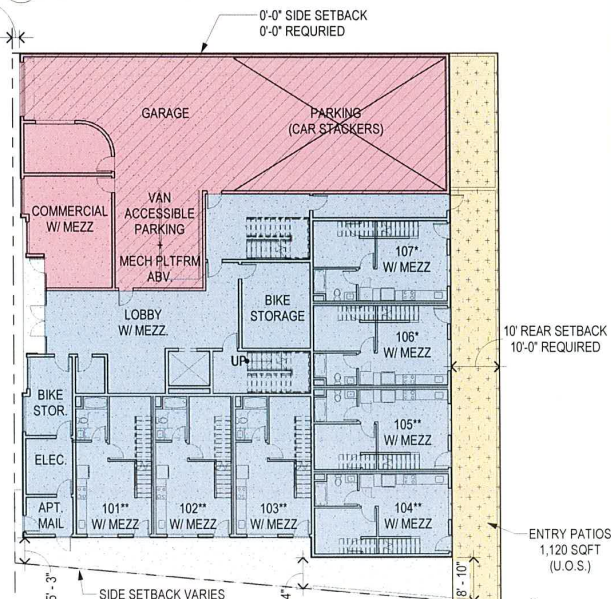
2 BONUS PROJECT - 2nd & 4th FLOORS
SCALE: 1/16" = 1'-0"



7 BONUS PROJECT DIAGRAM



3 BONUS PROJECT - 3rd FLOOR
SCALE: 1/16" = 1'-0"



1 BONUS PROJECT - 1st FLOOR & MEZZANINE
SCALE: 1/16" = 1'-0"

SHEET NOTES

- 1. SEE G002 FOR FULL ZONING CODE INFORMATION TABLE
- 2. SEE G007 FOR BASE PROJECT DIAGRAMS AND ZONING COMPLIANCE INFO
- 3. SEE LANDSCAPE PLANS AND A100 - SITE PLAN FOR LANDSCAPE LOCATIONS AND AREAS

DENSITY BONUS VLI UNITS & BMR REPLACEMENT UNITS

** DENSITY BONUS VERY LOW INCOME (VLI) UNITS:
GROUND FLOOR: 101", 102", 103", 104", 105"

* BELOW MARKET RATE (BMR) REPLACEMENT UNITS:
GROUND FLOOR: 106", 107"
2nd FLOOR: MANAGERS UNIT: 216"

AFFORDABILITY OF PROPOSED BMR UNITS BASED ON AFFORDABILITY OF EXISTING UNITS
50% AMI - 5 UNIT(S): 101", 102", 103", 104", 105"
80% AMI - 3 UNIT(S): 106", 107", 216" (MANAGER'S UNIT)

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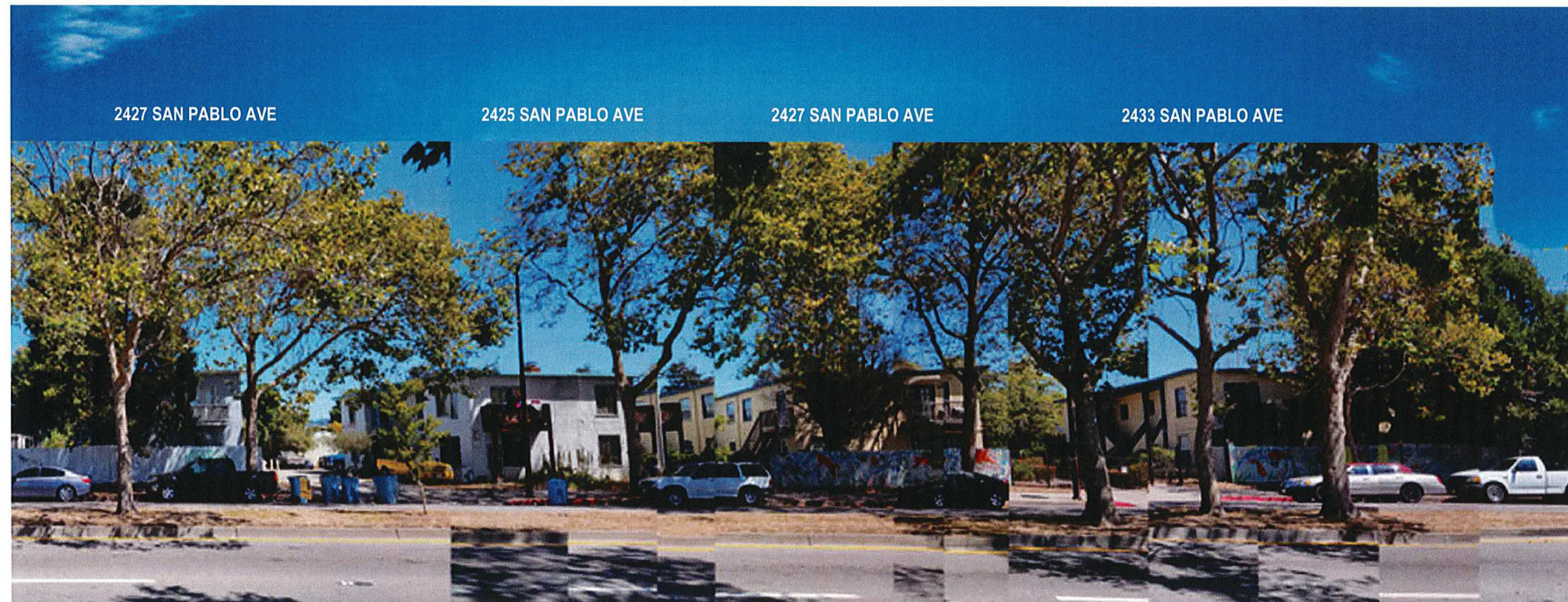
DESIGN REVIEW

PROJECT ISSUE RECORD	

PROJECT #: ARN01
ISSUE DATE: 5/8/2023
DENSITY BONUS BONUS PROJECT DIAGRAMS & CALCS

G008

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2 EXISTING STREET STRIP (2 PARCELS NORTH)
 SCALE: 1" = 10'-0"



1 EXISTING STREET STRIP (2 PARCELS SOUTH)
 SCALE: 1" = 10'-0"

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ZONING &
 DESIGN REVIEW
 APPLICATION

PROJECT ISSUE RECORD	
NO.	DESCRIPTION

PROJECT #: ARN01

ISSUE DATE: 09/15/21

EXISTING STREET STRIP
 ELEVATIONS

G041



1 PROPOSED STREET STRIP ELEVATIONS
 SCALE: 1" = 10'-0"

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DESIGN REVIEW

PROJECT ISSUE RECORD:

PROJECT # : ARN01

ISSUE DATE : 5/8/2023

PROPOSED STREET STRIP ELEVATIONS

G042



2 STREET PERSPECTIVE - SOUTHBOUND SAN PABLO AVE
G043 1" = 1'-0"



3 STREET PERSPECTIVE - SAN PABLO AVENUE (LOOKING EAST)
G043 1" = 1'-0"



1 STREET PERSPECTIVE - NORTHBOUND SAN PABLO AVE
G043 1" = 1'-0"



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SAN PABLO AVE
BERKELEY, CA



DESIGN REVIEW

PROJECT ISSUE RECORD:

NO.	DESCRIPTION	STATUS

PROJECT #: ARN01

ISSUE DATE: 5/6/2023

PERSPECTIVES

G043

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DESIGN REVIEW



1 STREET PERSPECTIVE - BYRON STREET (LOOKING WEST)
G044 1" = 1'-0"

PROJECT ISSUE RECORD:

NO.	DATE	DESCRIPTION	STATUS

PROJECT #: ARN01
ISSUE DATE: 5/9/2023
PERSPECTIVES

G044



A PROPOSED BUILDING CONTEXT - SAN PABLO AVENUE MULTI-FAMILY
 SCALE: 1" = 20'-0"



1 PROPOSED BUILDING CONTEXT - WEST ELEVATION
 SCALE: 1/8" = 1'-0"



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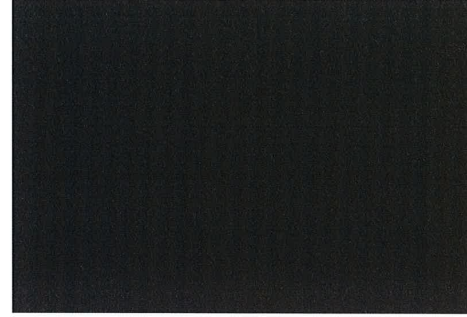
PROJECT #: ARN01
 ISSUE DATE: 5/8/2023

RENDERED ELEVATIONS
 WEST - SAN PABLO AVE

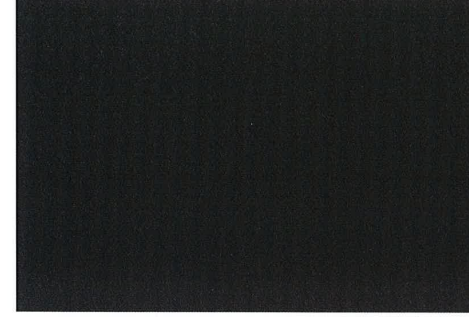
G045



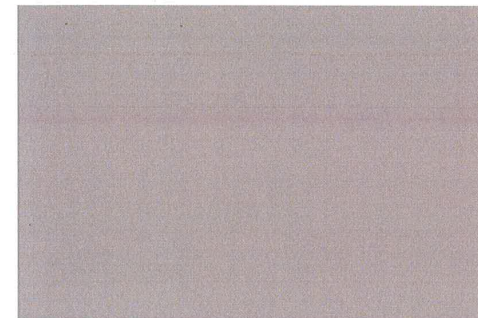
RS-1
RAINSCREEN
MFR: CERACLAD
SERIES: WOOD, URBAN CEDAR
COLOR: HONEY



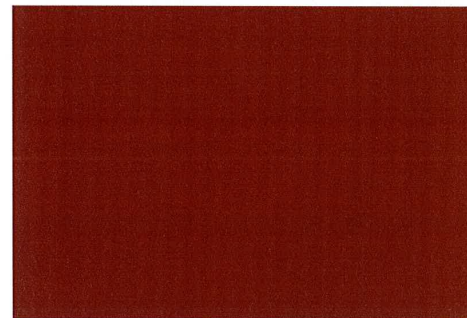
M-1
PAINTED METAL
LOCATION: FACADE BREAK METAL, METAL RAILINGS & COPINGS
COLOR: PRISMATIC POWDERS 'SOFT RUBBED BRONZE'



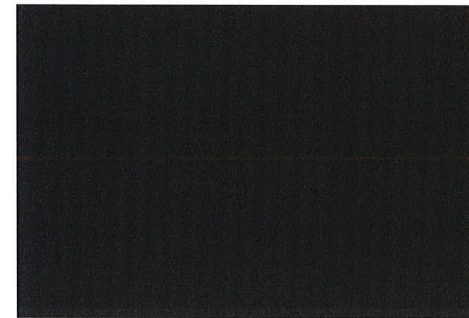
SF-1
STOREFRONT
ANODIZED ALUMINUM
COLOR: DARK BRONZE ANODIZED



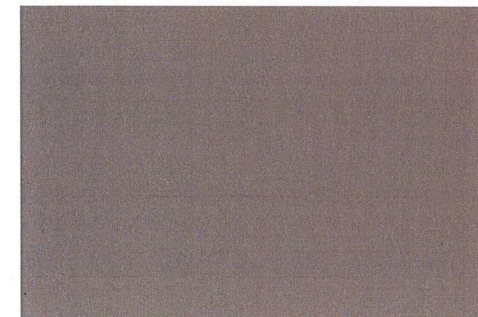
CP-1
CEMENT PLASTER
TEXTURE: FINE TROWEL FINISH - SMOOTH
COLOR: SHERWIN WILLIAMS, 'ANEW GREY' SW7030



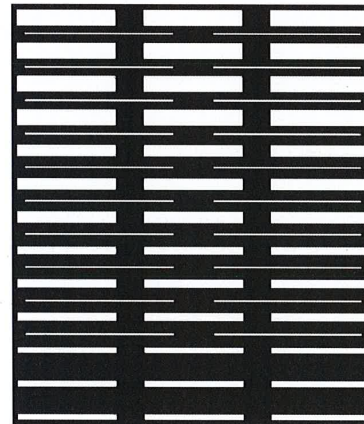
M-2
POWDER COATED / PAINTED METAL
LOCATION: FACADE METAL
MFR: PRISMATIC POWDERS
COLOR: PENNY COPPER



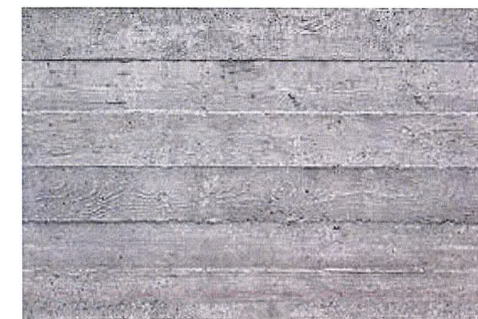
W-1
WINDOW FRAME
VYNIL OR CLAD ALUMINUM
COLOR: DARK BRONZE



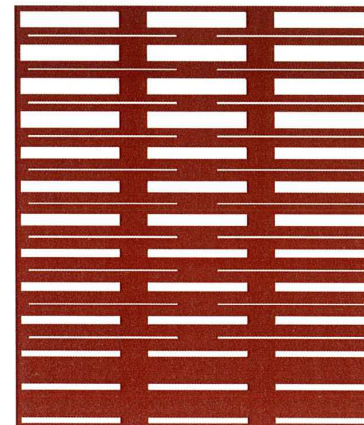
CP-2
CEMENT PLASTER
TEXTURE: FINE TROWEL FINISH - SMOOTH
COLOR: SHERWIN WILLIAMS, 'KEYSTONE GRAY' SW7504



M-3
LASER CUT METAL, POWER COATED
MFR: BOK MODERN
LOCATION: GATE & GARAGE DOOR
COLOR: SHERWIN WILLIAMS 6991 'BLACK MAGIC'



C-1
CAST-IN-PLACE CONCRETE
TEXTURE: BOARD FORMED
COLOR: NATURAL



M-4
LASER CUT METAL, POWER COATED
MFR: BOK MODERN
LOCATION: EXTERIOR GUARDRAILS
COLOR: PRISMATIC POWDERS, SOFT RUBBED BRONZE

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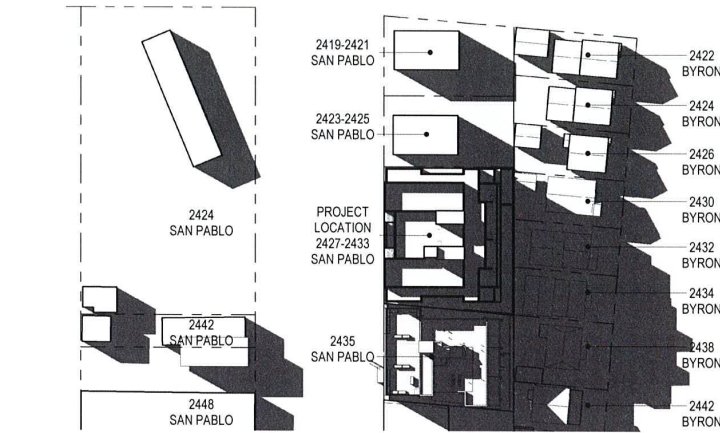
NO.	DATE	DESCRIPTION	STATUS

PROJECT #: ARN01

ISSUE DATE: 5/6/2023

COLOR & MATERIAL BOARD

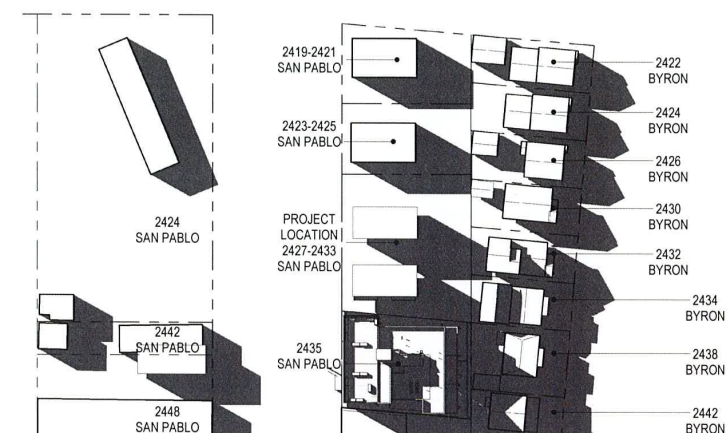
G048



6 SHADOW STUDY PROPOSED JUNE 21 SUNSET
G052 1" = 60'-0"



9 SHADOW STUDY COMBINED JUNE 21 SUNSET
G052 1" = 60'-0"



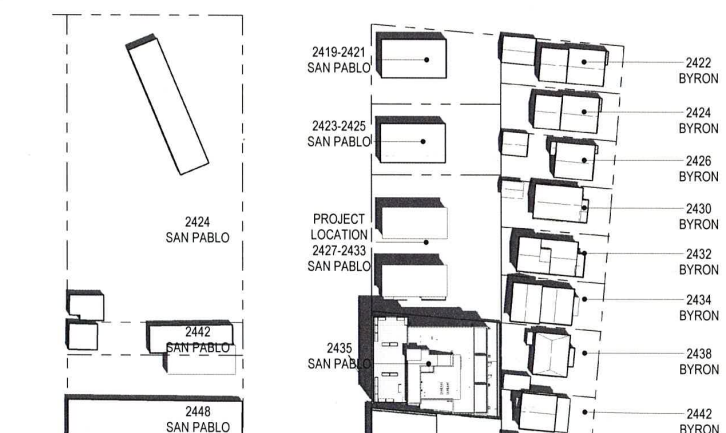
3 SHADOW STUDY EXISTING JUNE 21 SUNSET
G052 1" = 60'-0"



5 SHADOW STUDY PROPOSED JUNE 21 NOON
G052 1" = 60'-0"

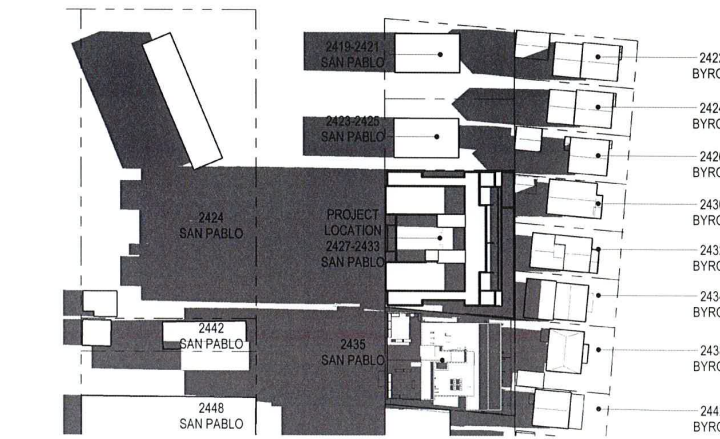


8 SHADOW STUDY COMBINED JUNE 21 NOON
G052 1" = 60'-0"

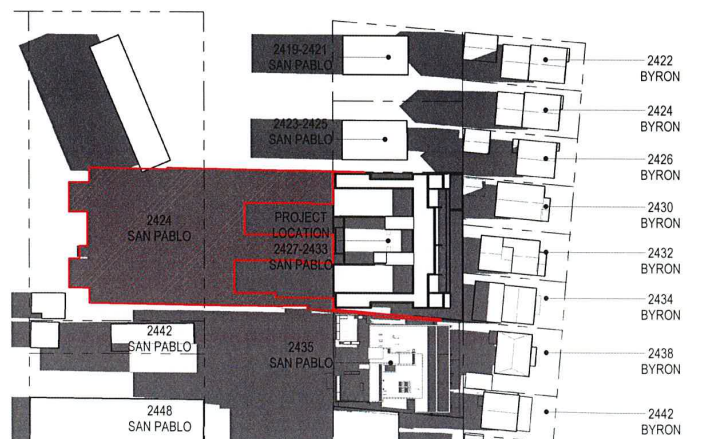


2 SHADOW STUDY EXISTING JUNE 21 NOON
G052 1" = 60'-0"

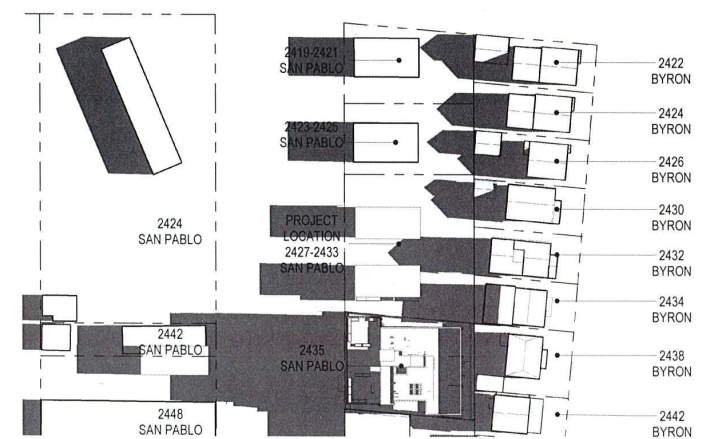
PROPOSED PROJECT SHADOW EXISTING SHADOWS



4 SHADOW STUDY PROPOSED JUNE 21 7.47 AM
G052 1" = 60'-0"



7 SHADOW STUDY COMBINED JUNE 21 7.47 AM
G052 1" = 60'-0"



1 SHADOW STUDY EXISTING JUNE 21 7.47 AM
G052 1" = 60'-0"

PROJECT ISSUE RECORD

NO.	DATE	DESCRIPTION

PROJECT # AR001

ISSUE DATE 5/6/2023

SHADOW STUDIES - JUNE 21



1 SITE PLAN
SCALE: 1/8" = 1'-0"

6/6/2023 12:24:46 PM



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DESIGN REVIEW

PROJECT ISSUE RECORD:	

PROJECT #: ARN01
ISSUE DATE: 5/6/2023
SITE PLAN

A100

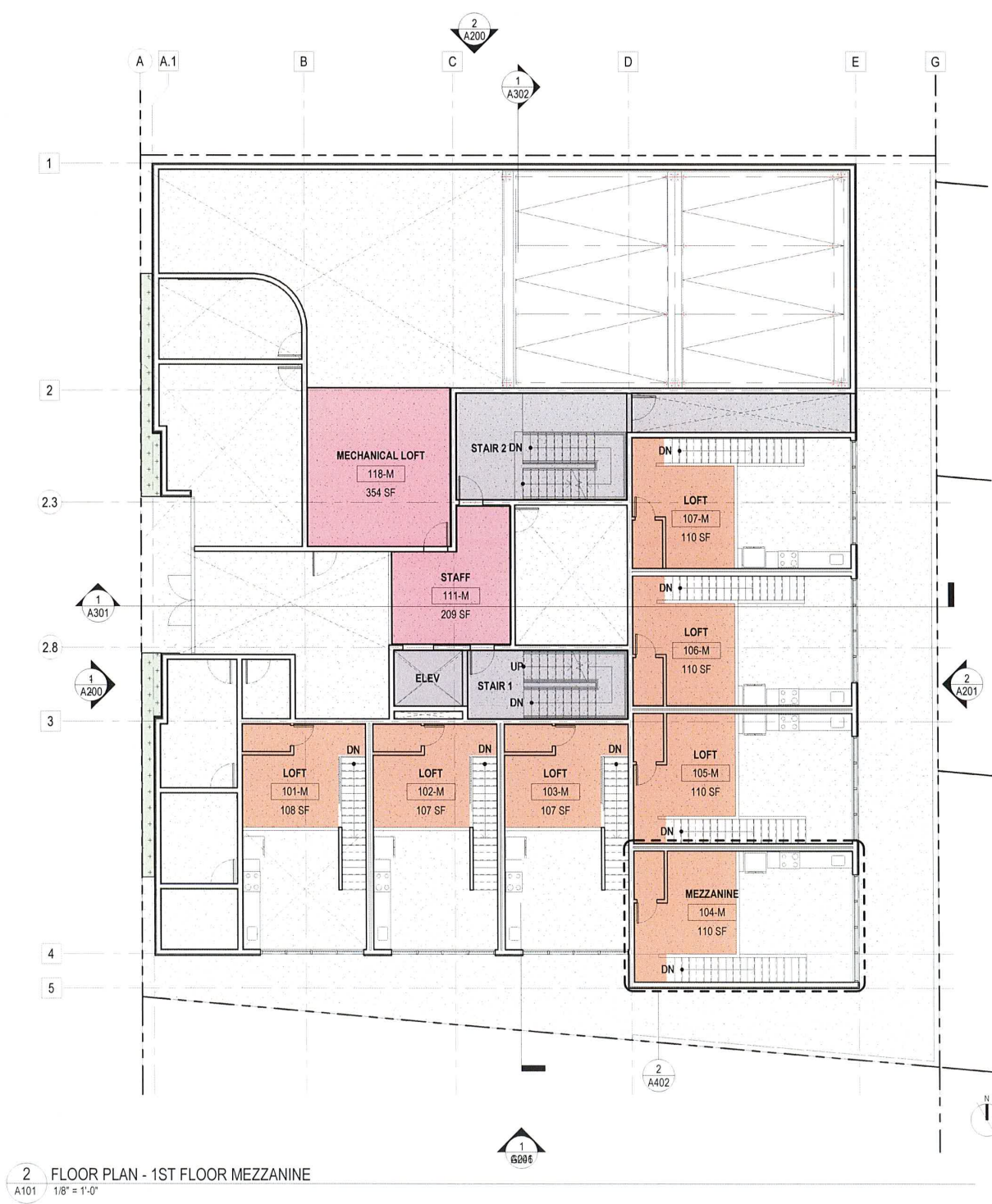
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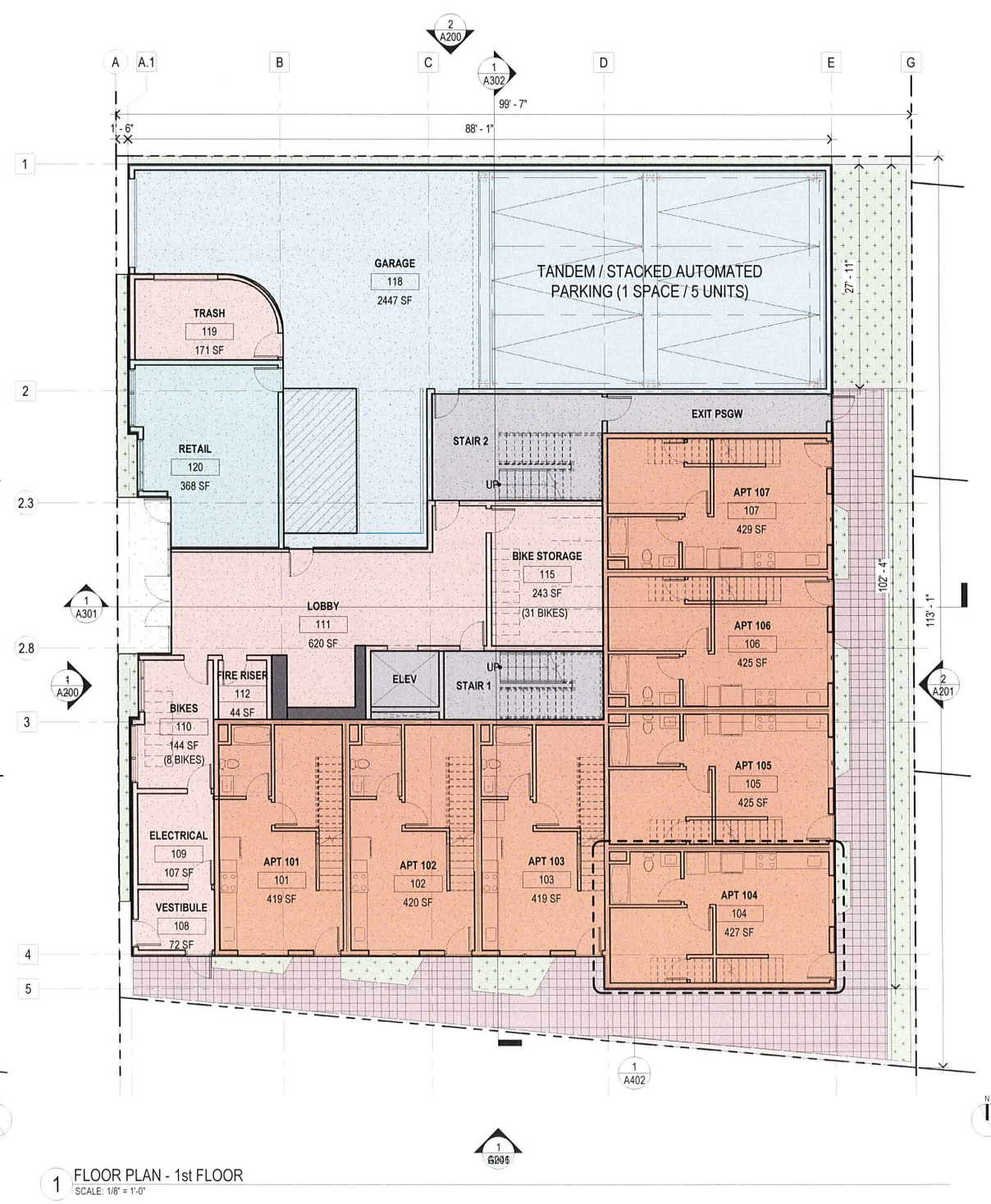
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DESIGN REVIEW



2 FLOOR PLAN - 1ST FLOOR MEZZANINE
A101 1/8" = 1'-0"



1 FLOOR PLAN - 1st FLOOR
SCALE: 1/8" = 1'-0"

PROJECT ISSUE RECORD

NO.	DESCRIPTION	DATE	STATUS

PROJECT # ARW01
ISSUE DATE 5/8/2023
FLOOR PLAN - 1st FLOOR & MEZZANINE

A101

6/8/2023 12:24:51 PM



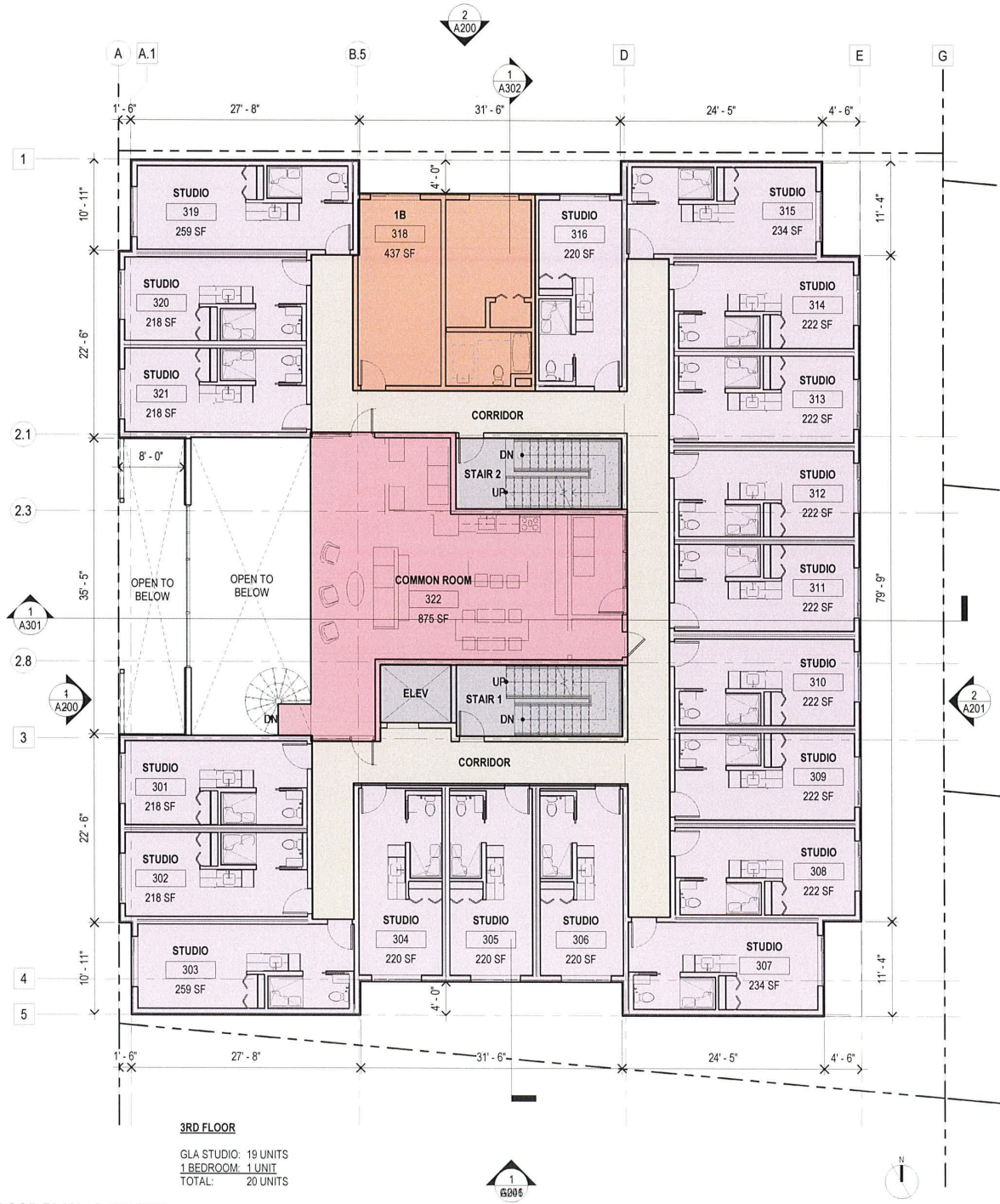
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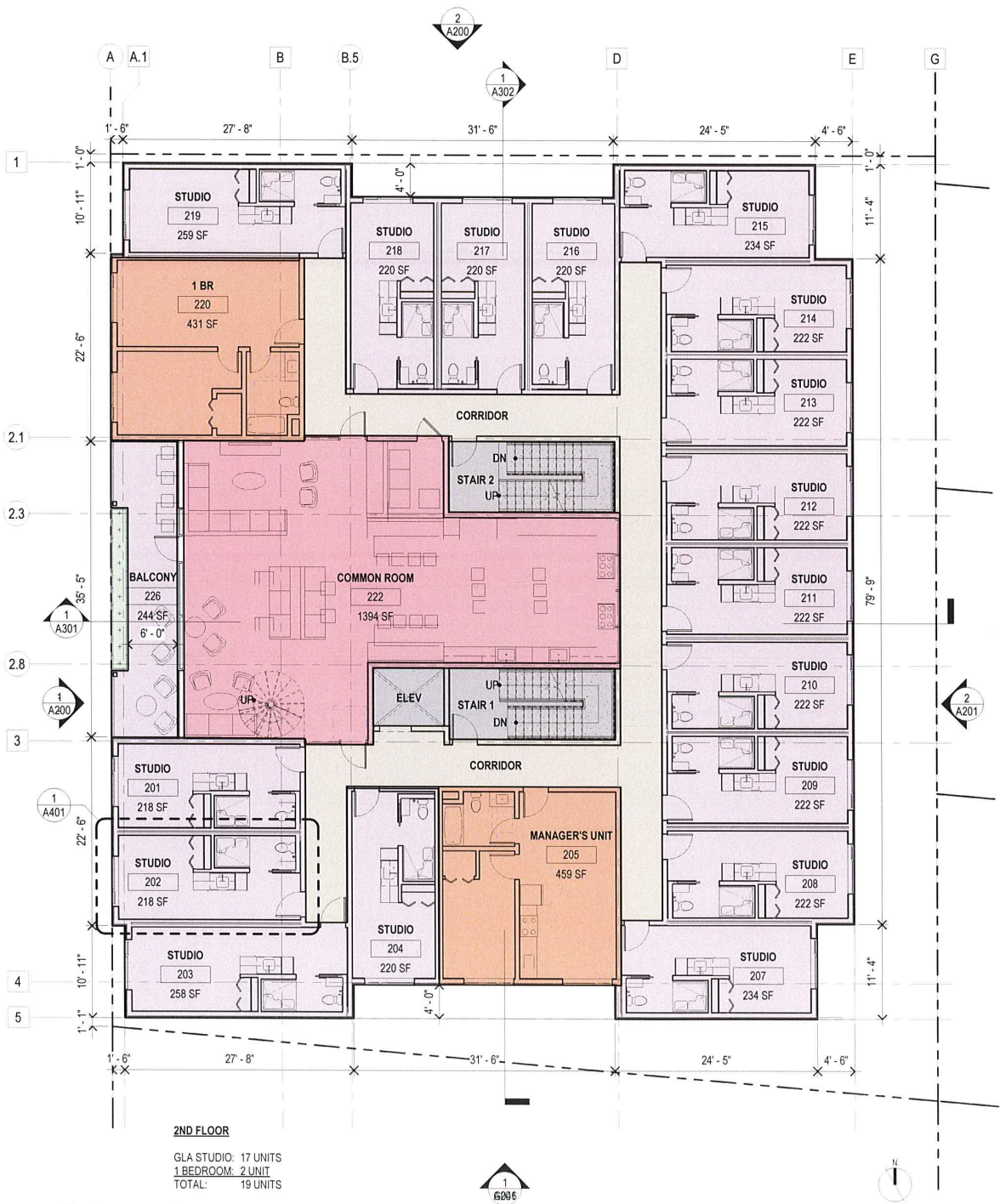


DESIGN REVIEW



3RD FLOOR
GLA STUDIO: 19 UNITS
1 BEDROOM: 1 UNIT
TOTAL: 20 UNITS

3 FLOOR PLAN - 3rd FLOOR
SCALE: 1/8" = 1'-0"



2ND FLOOR
GLA STUDIO: 17 UNITS
1 BEDROOM: 2 UNIT
TOTAL: 19 UNITS

2 FLOOR PLAN - 2nd FLOOR
SCALE: 1/8" = 1'-0"

PROJECT ISSUE RECORD

PROJECT #: AR101
ISSUE DATE: 5/6/2023
2nd & 3rd FLOOR PLANS

A102



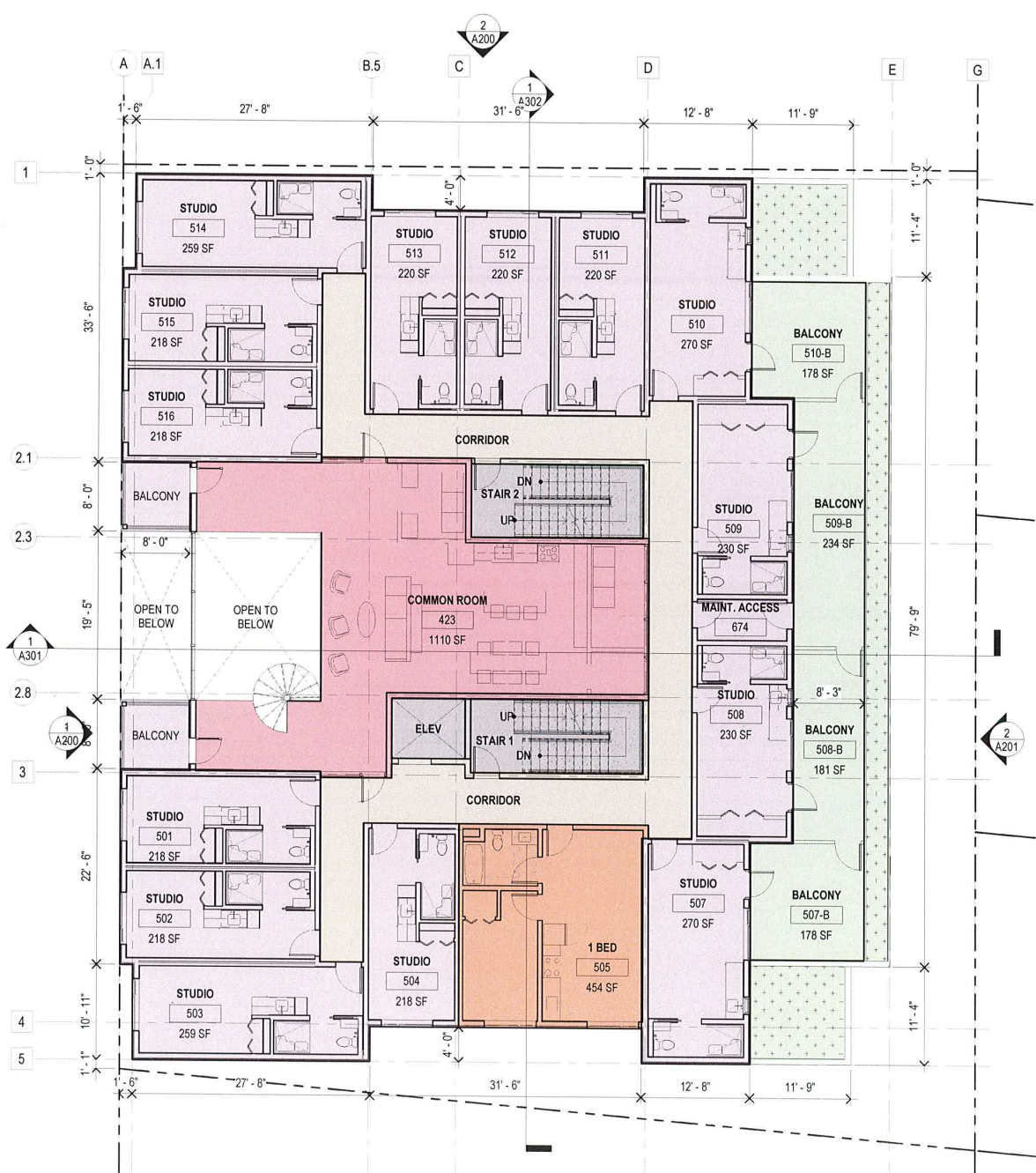
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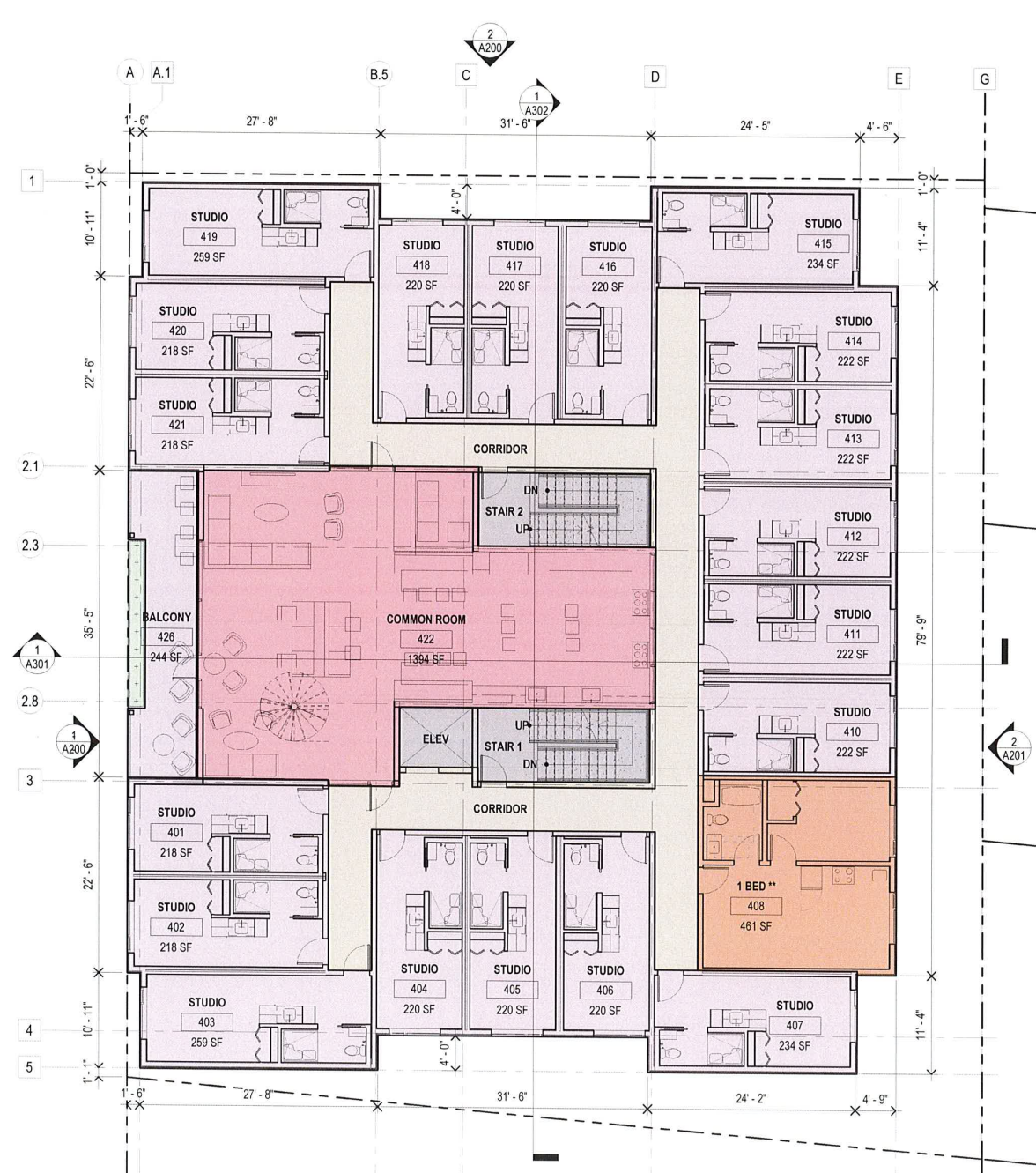


DESIGN REVIEW



5TH FLOOR
GLA STUDIO: 14 UNITS
1 BEDROOM: 1 UNIT
TOTAL: 15 UNITS

5 FLOOR PLAN - 5th FLOOR



4TH FLOOR
GLA STUDIO: 19 UNITS
1 BEDROOM: 1 UNIT
TOTAL: 20 UNITS

4 FLOOR PLAN - 4th FLOOR

PROJECT ISSUE RECORD:

NO.	DESCRIPTION	DATE	STATUS

PROJECT #: ARN01
ISSUE DATE: 3/3/2023

4th & 5th FLOOR PLANS

A103

6/6/2023 12:24:58 PM

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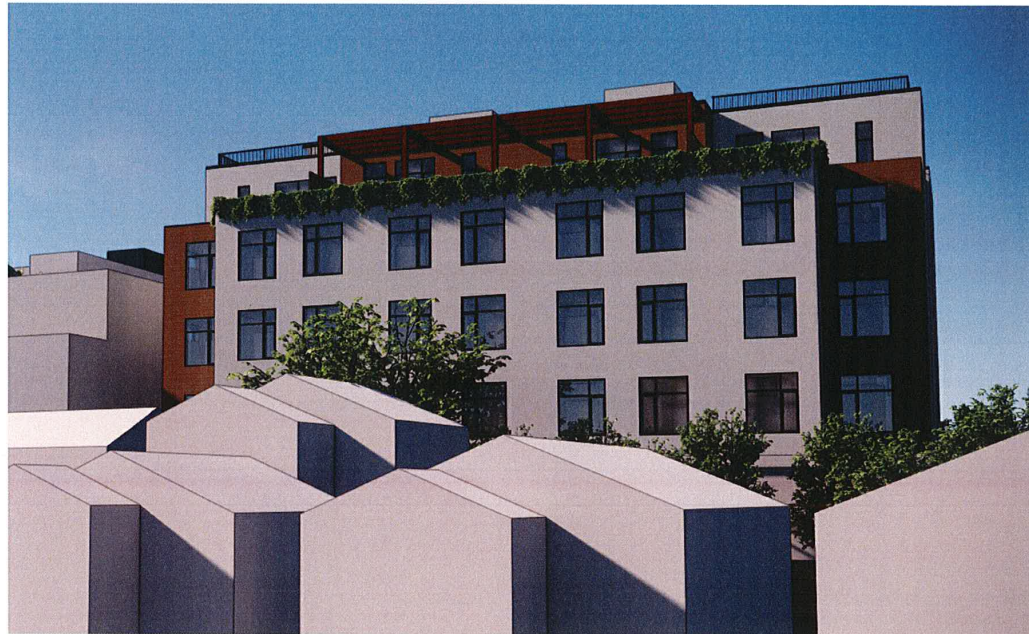


PROJECT ISSUE RECORD	

PROJECT # ARN01
ISSUE DATE 5/6/2023
BUILDING ELEVATIONS

A201

5/6/2023 12:25:02 PM



3 REAR FACADE - LOOKING SOUTH WEST
SCALE: 1" = 1'-0"



1 SAN PABLO AVENUE - LOOKING NORTHEAST
SCALE: 1" = 1'-0"



4 REAR FACADE - LOOKING NORTH WEST
SCALE: 1" = 1'-0"



2 SAN PABLO AVENUE - LOOKING EAST
SCALE: 12" = 1'-0"



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PROJECT ISSUE RECORD

NO.	DATE	ISSUE	STATUS

PROJECT # ARN01
ISSUE DATE 5/8/2023
SAN PABLO AVE
RENDERS

A202



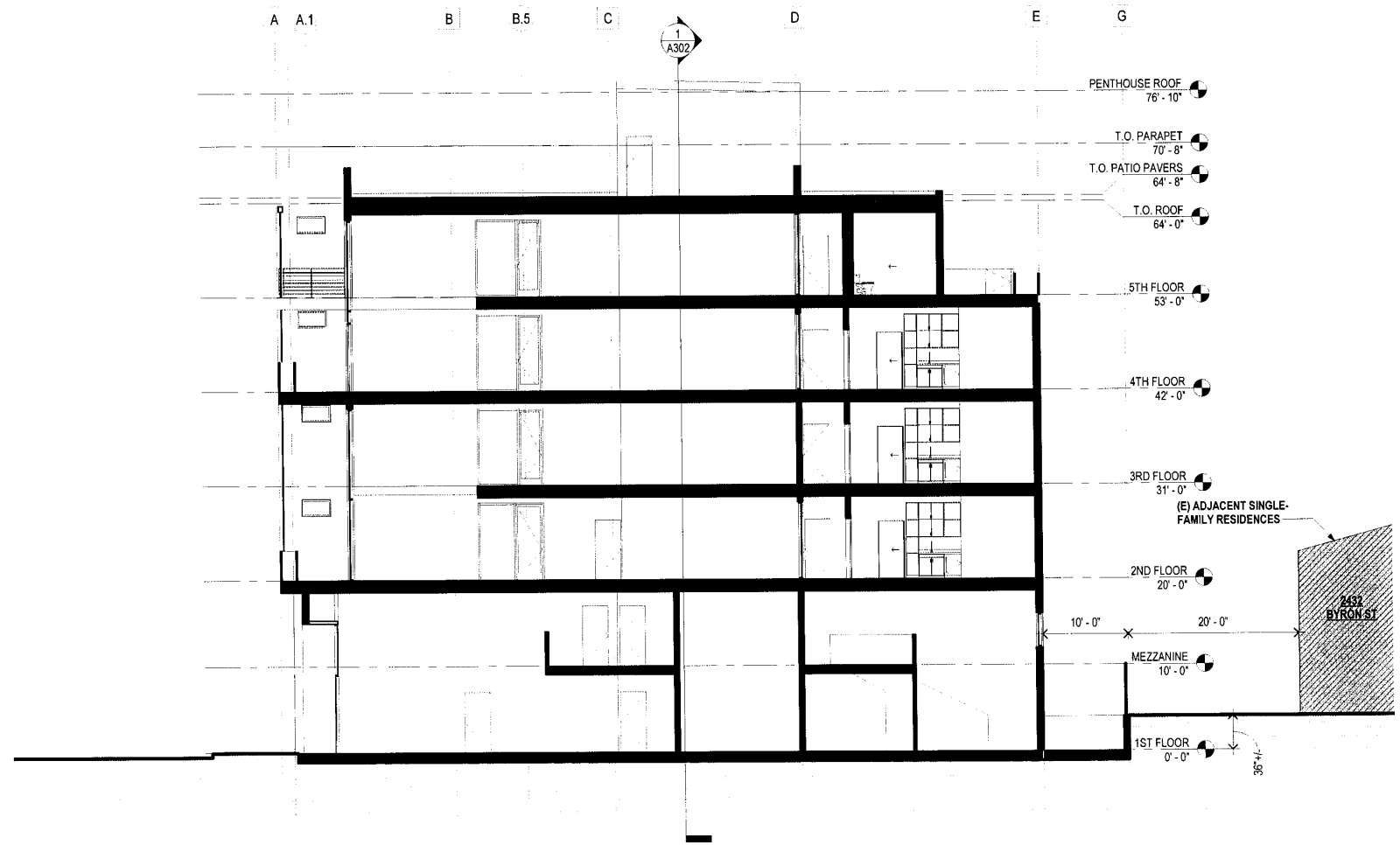
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DESIGN REVIEW



1 E/W BUILDING SECTION
A301 1/8" = 1'-0"

PROJECT ISSUE RECORD

NO.	DESCRIPTION	DATE

PROJECT #: ARN01
ISSUE DATE: 5/8/2023

SITE & PROPOSED
BUILDING SECTIONS

A301



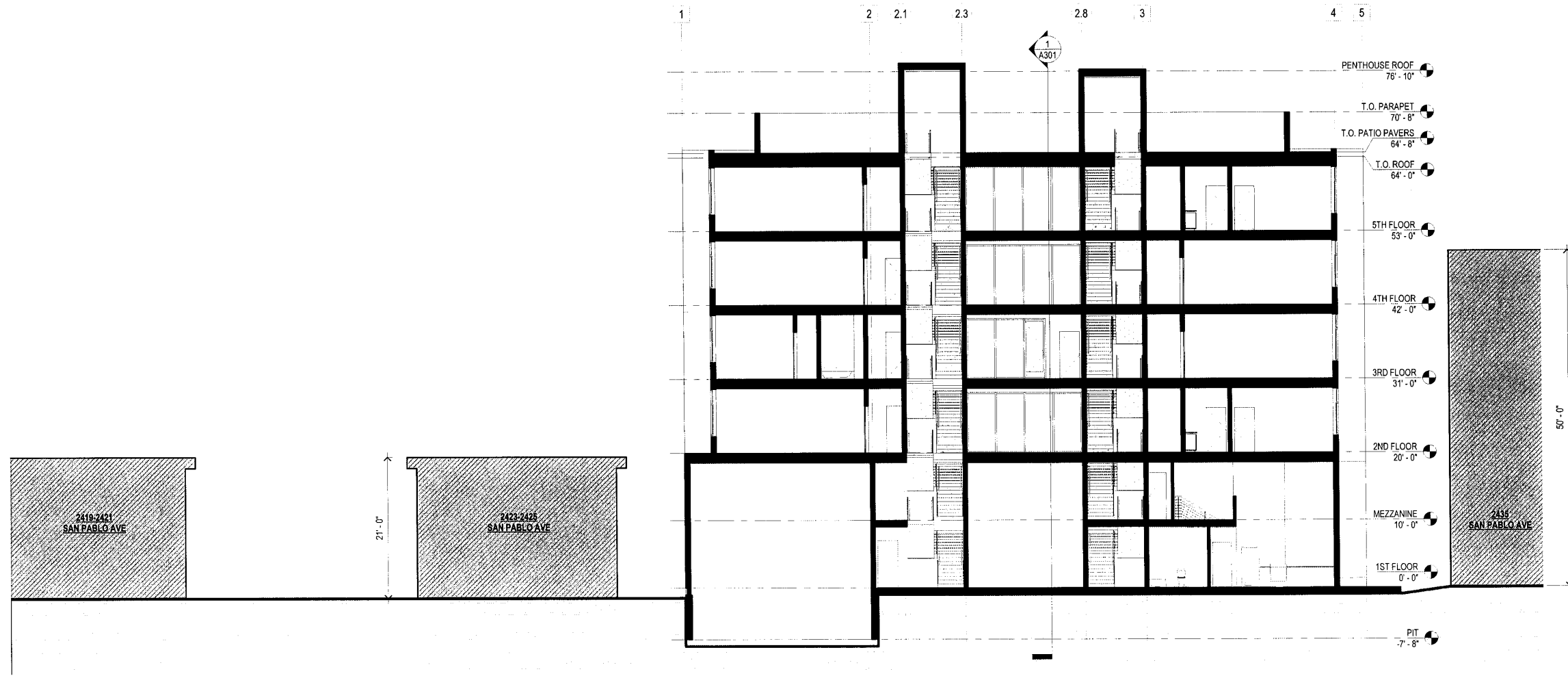
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DESIGN REVIEW



1 N/S BUILDING SECTION
 A302 1/8" = 1'-0"

6/6/2023 12:26:08 PM

PROJECT ISSUE RECORD	

PROJECT # ARN01
 ISSUE DATE: 5/6/2023

SITE & PROPOSED
 BUILDING SECTIONS

A302

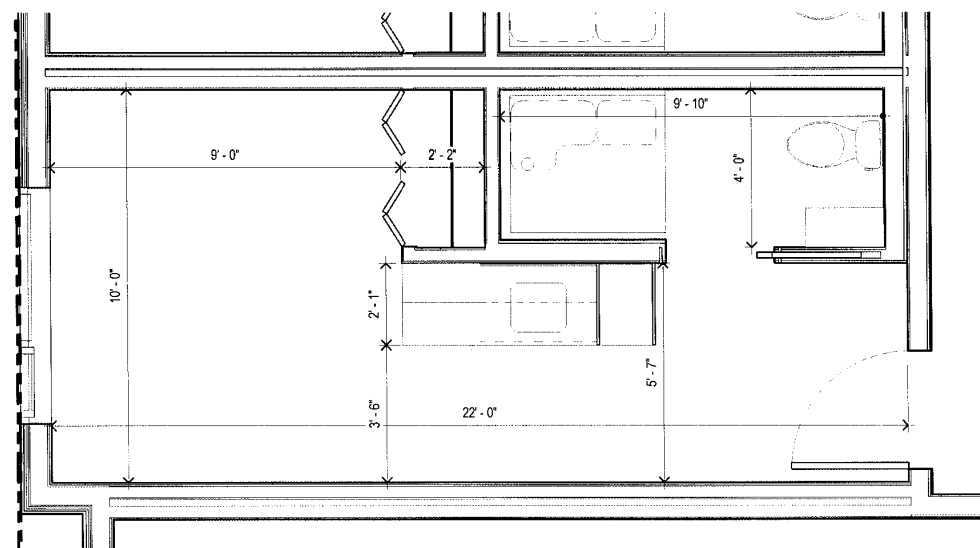


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DESIGN REVIEW



1 ENLARGED TYPICAL UNIT PLAN
 A401 1/2" = 1'-0"

GENERAL ENLARGED PLAN & ELEVATION NOTES:

1. FOR INFORMATION NOT SHOWN (WALL, DOOR, & WINDOW TAGS) SEE BUILDING FLOOR PLANS.
2. FOR SOFFITS AND ELECTRICAL FIXTURES, SEE REFLECTED CEILING PLANS AND ELECTRICAL DRAWINGS.
3. SEE STRUCTURAL PLANS FOR LOCATION OF SHEAR WALLS AND STRUCTURAL STUDS.
4. DIFFERING PARTITION TYPES ARE TO BE ALIGNED SO THAT THE FINISH SURFACES ARE FLUSH AND CONTINUE UNBROKEN IN ROOMS, U.N.O.
5. SEE BUILDING FLOOR PLANS FOR DIMENSIONS AT EXTERIOR WALLS.
6. PLACE DOORS 4" OFF FRAMING OF ADJACENT WALL, U.N.O.
7. SEE FLOOR PLANS AND WINDOW SCHEDULE FOR ADDITIONAL LOCATIONS AND QUANTITIES.
8. FURNITURE SHOWN FOR REFERENCE ONLY (N.I.C.)
9. SEE ___ AND INTERIOR ELEVATIONS FOR TYPICAL MOUNTING HEIGHTS.
10. SEE ___ FOR ACCESSIBILITY REQUIREMENTS.
11. REFER TO TAGS ON FLOOR PLANS AND DETAILS ON ___ FOR PARTITION TYPES AT SHAFTS AND EXTERIOR WALLS.

ENLARGED UNIT PLAN & ELEVATION NOTES:

1. PER 1128A, ALL UNITS SHALL BE ADAPTABLE AND ACCESSIBLE INTO AND THROUGHOUT THE DWELLING UNIT, AS PROVIDED BY CBC CHAPTER 11 AND ADA DIVISION 4.
2. TYPICAL UNIT PLANS SHOWN HERE MAY BE MIRRORED, FLIPPED, OR ROTATED ON ACTUAL BUILDING PLAN. SEE FLOOR PLANS FOR ADDITIONAL INFORMATION.
3. CENTER ALL CLOSET AND PANTRY DOORS TO INSIDE OF CLOSET.
4. PROVIDE METAL CLOSET ROD WITH FIXED WOOD SHELF ABOVE AT ALL UNIT CLOSETS.
5. PLACE DOOR BELL AT EACH UNIT ENTRY DOOR, MOUNTED AT A MAXIMUM HT OF 48" AFF, SED.
6. SEE ___ FOR ENLARGED KITCHEN AND BATH PLANS AND ELEVATIONS.
7. SEE ___ FOR REQUIRED DOOR CLEARANCES. CONFIRM CLEARANCES IN FIELD AND NOTIFY ARCHITECT OF ANY NON-COMPLIANT CONDITIONS.

ENLARGED PLAN & ELEVATION LEGEND:

- 1i WALL TAG. SEE A ___
- FLOOR BASE ROOM FINISH TAG. SEE A ___
- WALL CLG
- FINISH TAG. SEE A ___
- PLUMBING FIXTURE TAG. SEE A ___
- APPLIANCE TAG. SEE A ___
- ###A DOOR TAG. SEE A ___
- BB WINDOW TAG. SEE A ___
- ALIGN ALIGN FACE OF FINISH
- FL# FLOOR TRANSITION. SEE ___

ENLARGED PLAN & ELEVATION NOTES & LEGEND
 1/8" = 1'-0"

PROJECT ISSUE RECORD:

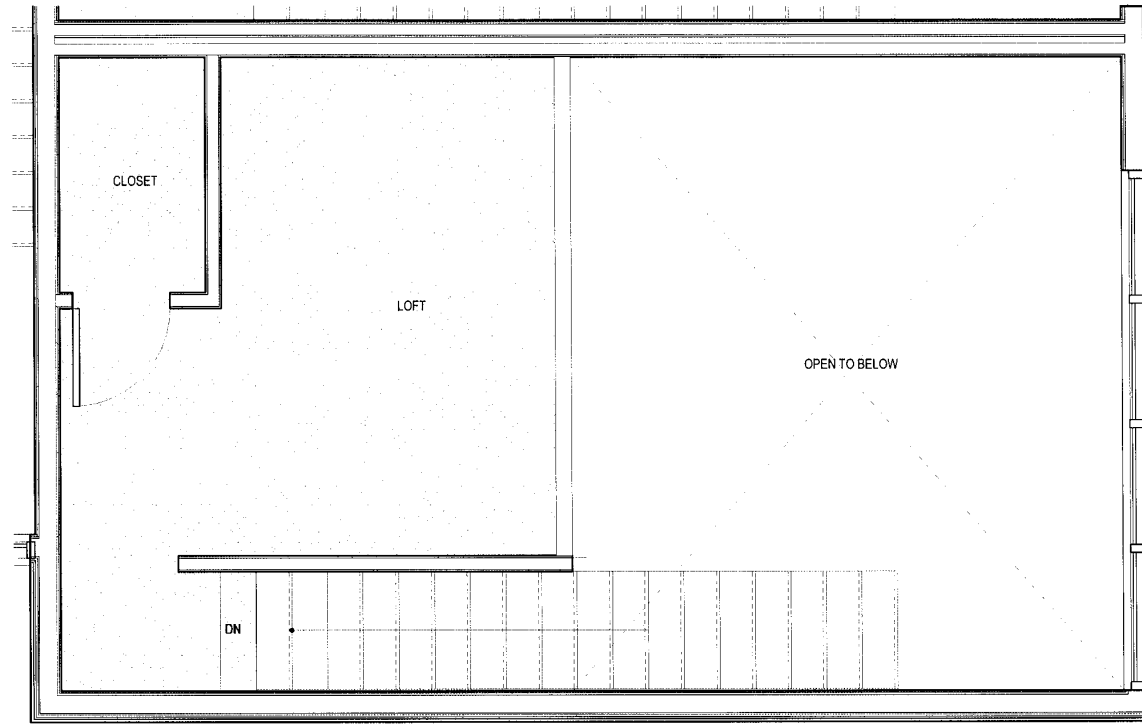
NO.	DATE	DESCRIPTION	BY

PROJECT # ARN01
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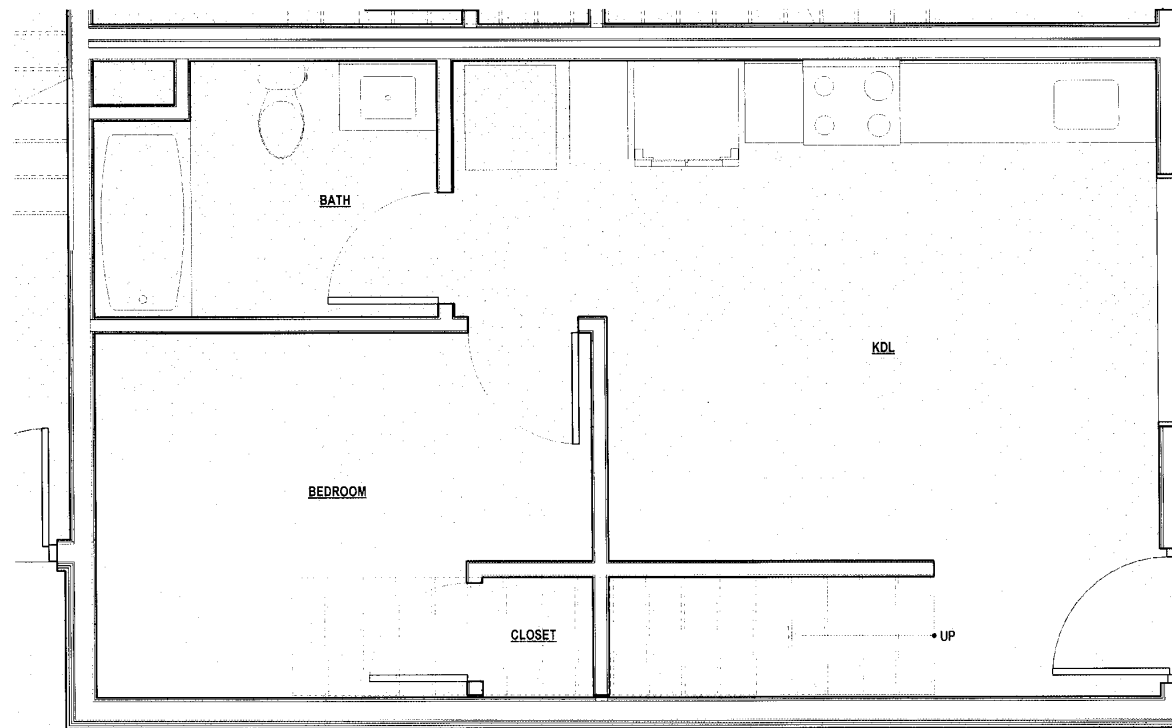
ENLARGED UNIT PLAN
 TYPICAL GLA

A401

6/8/2023 12:20:00 PM



2 ENLARGE UNIT PLAN - TYPICAL APT. LOFT
SCALE: 1/2" = 1'-0"



1 ENLARGED UNIT PLAN - TYPICAL APT. GROUND FLOOR
SCALE: 1/2" = 1'-0"

GENERAL ENLARGED PLAN & ELEVATION NOTES:

1. FOR INFORMATION NOT SHOWN (WALL, DOOR, & WINDOW TAGS) SEE BUILDING FLOOR PLANS.
2. FOR SOFFITS AND ELECTRICAL FIXTURES, SEE REFLECTED CEILING PLANS AND ELECTRICAL DRAWINGS.
3. SEE STRUCTURAL PLANS FOR LOCATION OF SHEAR WALLS AND STRUCTURAL STUDS.
4. DIFFERING PARTITION TYPES ARE TO BE ALIGNED SO THAT THE FINISH SURFACES ARE FLUSH AND CONTINUE UNBROKEN IN ROOMS, U.N.O.
5. SEE BUILDING FLOOR PLANS FOR DIMENSIONS AT EXTERIOR WALLS.
6. PLACE DOORS 4" OFF FRAMING OF ADJACENT WALL, U.N.O.
7. SEE FLOOR PLANS AND WINDOW SCHEDULE FOR ADDITIONAL LOCATIONS AND QUANTITIES.
8. FURNITURE SHOWN FOR REFERENCE ONLY (N.I.C.)
9. SEE ____ AND INTERIOR ELEVATIONS FOR TYPICAL MOUNTING HEIGHTS.
10. SEE ____ FOR ACCESSIBILITY REQUIREMENTS.
11. REFER TO TAGS ON FLOOR PLANS AND DETAILS ON ____ FOR PARTITION TYPES AT SHAFTS AND EXTERIOR WALLS.

ENLARGED UNIT PLAN & ELEVATION NOTES:

1. PER 1128A, ALL UNITS SHALL BE ADAPTABLE AND ACCESSIBLE INTO AND THROUGHOUT THE DWELLING UNIT, AS PROVIDED BY CBC CHAPTER 11 AND ADA DIVISION 4.
2. TYPICAL UNIT PLANS SHOWN HERE MAY BE MIRRORED, FLIPPED, OR ROTATED ON ACTUAL BUILDING PLAN. SEE FLOOR PLANS FOR ADDITIONAL INFORMATION.
3. CENTER ALL CLOSET AND PANTRY DOORS TO INSIDE OF CLOSET.
4. PROVIDE METAL CLOSET ROD WITH FIXED WOOD SHELF ABOVE AT ALL UNIT CLOSETS.
5. PLACE DOOR BELL AT EACH UNIT ENTRY DOOR, MOUNTED AT A MAXIMUM HT OF 48" AFF. SED.
6. SEE ____ FOR ENLARGED KITCHEN AND BATH PLANS AND ELEVATIONS.
7. SEE ____ FOR REQUIRED DOOR CLEARANCES. CONFIRM CLEARANCES IN FIELD AND NOTIFY ARCHITECT OF ANY NON-COMPLIANT CONDITIONS.

ENLARGED PLAN & ELEVATION LEGEND:

- 11 WALL TAG. SEE A ____
- | | |
|-------|------|
| FLOOR | BASE |
| WALL | CLG |

 ROOM FINISH TAG. SEE A ____
- FINISH TAG. SEE A ____
- PLUMBING FIXTURE TAG. SEE A ____
- APPLIANCE TAG. SEE A ____
- ###A DOOR TAG. SEE A ____
- BB WINDOW TAG. SEE A ____
- ALIGN ALIGN FACE OF FINISH
- FL# FLOOR TRANSITION. SEE ____

ENLARGED PLAN & ELEVATION NOTES & LEGEND
1/8" = 1'-0"



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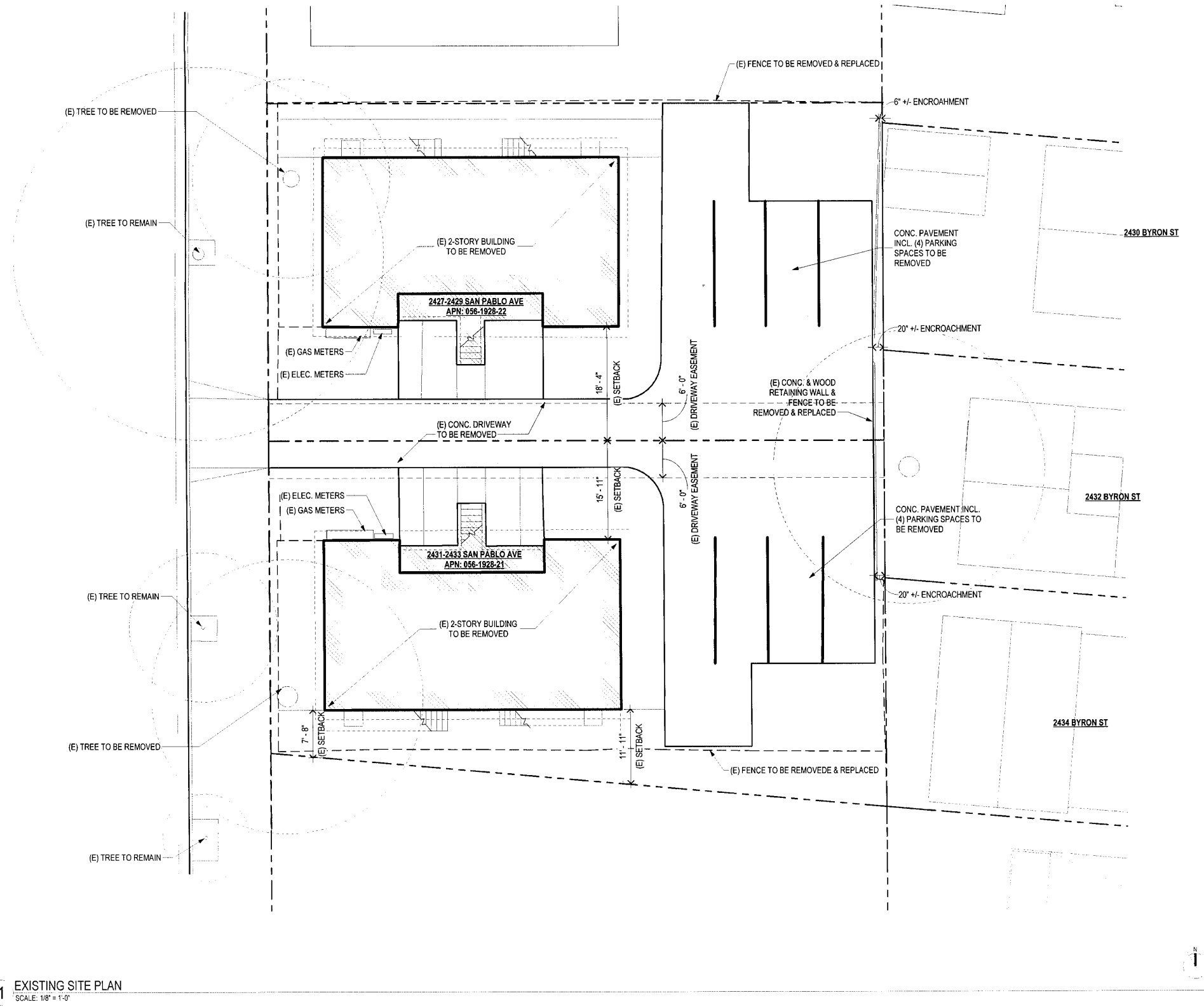
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PROJECT #: ARN01
ISSUE DATE: 5/9/2023

ENLARGED UNIT PLAN
TYPICAL GROUND FL
UNIT

A402



1 EXISTING SITE PLAN
 SCALE: 1/8" = 1'-0"



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PROJECT ISSUE RECORD	

PROJECT # ARN01
 ISSUE DATE 5/9/2023
 EXISTING & DEMOLITION
 SITE PLAN

AD100

GENERAL CIVIL NOTES

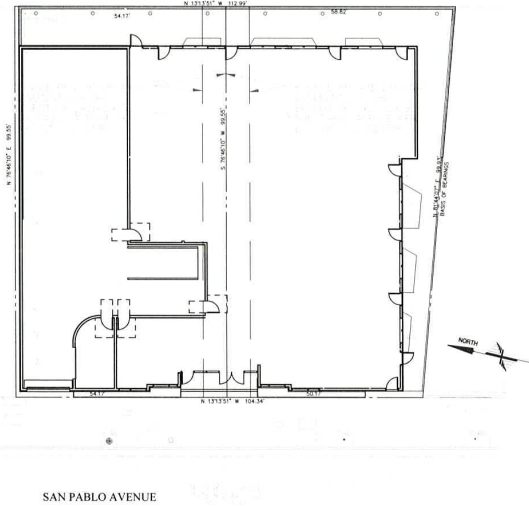
GENERAL:

- ALL PERMITS WILL BE SECURED BY THE OWNER AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE CONDITIONS AND REQUIREMENTS OF THE PERMITS.
- THE CONTRACTOR SHALL TAKE EFFECTIVE ACTION TO PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR DAMAGE RESULTING FROM THEIR FAILURE TO DO SO.
- THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR SAFETY.
- THE CONTRACTOR SHALL POST EMERGENCY TELEPHONE NUMBERS FOR THE POLICE, FIRE AMBULANCE, AND THOSE AGENCIES RESPONSIBLE FOR MAINTENANCE OF UTILITIES IN THE VICINITY OF THE JOB SITE.
- LENGTHS OF SANITARY SEWERS AND STORM DRAINS SPECIFIED ARE HORIZONTAL DISTANCES AS MEASURED FROM CENTERS OF STRUCTURES ROUNDED TO THE NEAREST FOOT.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS, LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL PERFORM AT THEIR EXPENSE A FIELD OBSERVATION LOCATING ALL EXISTING UTILITIES INCLUDING ELEVATIONS AND NOTIFY THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTING LOCATIONS OF UTILITIES SHOWN ON THESE PLANS. ANY ADDITIONAL COST INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF THE EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO ANY WORK. ALL WORK FOR STORM DRAIN AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UPSTREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY.
- CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY AND SEWER LINES WHERE THEY ARE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. PIPES SHALL NOT BE STRUNG NOR TRENCHING COMMENCED UNTIL ALL CROSSINGS HAVE BEEN VERIFIED FOR CLEARANCE. IF THE CONTRACTOR FAILS TO FOLLOW THIS PROCEDURE HE WILL BE SOLELY RESPONSIBLE FOR ANY EXTRA WORK OR MATERIAL REQUIRED IF MODIFICATIONS TO THE DESIGN ARE NECESSARY.
- ALL EXISTING UTILITIES AND IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S SOLE EXPENSE.
- CONTRACTOR TO TAKE NECESSARY PRECAUTIONARY MEASURES TO PREVENT SOIL EROSION AND SEDIMENTATION. EXISTING AND PROPOSED DRAINAGE STRUCTURES TO BE TEMPORARILY COVERED WITH FILTER FABRIC OR EQUAL UNTIL SURROUNDING PAVEMENT IS INSTALLED.
- ANY RELOCATION OF UTILITIES SHALL BE COORDINATED WITH THE OWNER AND CONDUCTED IN ACCORDANCE WITH ANY AND ALL REQUIREMENTS OF THE OWNER, INCLUDING FEES, BONDS, PERMITS AND WORKING CONDITIONS, ETC. THE OWNER SHALL PAY THE FEES, BONDS, AND FILE THE APPROPRIATE PERMITS FOR ALL SUCH RELOCATION WORK. ALL ON-SITE UTILITY WORK IS THE RESPONSIBILITY OF THE CONTRACTOR (MATERIALS AND INSTALLATION).
- IF ARCHAEOLOGICAL MATERIALS ARE UNCOVERED DURING GRADING, TRENCHING OR OTHER EXCAVATION, EARTHWORK WITHIN 100 FEET OF THESE MATERIALS SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGY (SCA) AND/OR THE SOCIETY OF PROFESSIONAL ARCHAEOLOGY (SOPA) HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEEMED NECESSARY.
- THESE PLANS DO NOT SPECIFY NOR RECOMMEND THE USE OR INSTALLATION OF ANY MATERIAL OR EQUIPMENT WHICH IS MADE FROM OR WHICH CONTAINS ASBESTOS FOR USE IN THE CONSTRUCTION OF THESE IMPROVEMENTS. ANY PARTY INSTALLING OR USING SUCH MATERIALS OR EQUIPMENT SHALL BE SOLELY RESPONSIBLE FOR ALL INJURIES, DAMAGES, OR LIABILITIES, OF ANY KIND, CAUSED BY THE USE OF SUCH MATERIALS, OR EQUIPMENT. NOTIFY OWNER WHEN DISCOVERING ASBESTOS MATERIALS. REFER TO SPECIFICATION "HAZARDOUS MATERIALS PROCEDURES AND CONTROL" AND "HAZARDOUS MATERIALS ABATEMENT AND CONTROL."
- THE CONTRACTOR SHALL MEET AND FOLLOW ALL (NPDES) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
- CONTRACTOR SHALL ARRANGE, INSTALL, AND PAY FOR ANY TEMPORARY UTILITIES, INCLUDING BUT NOT LIMITED TO TELEPHONE, ELECTRIC, SEWER, WATER, ETC.. THE CONTRACTOR IS TO COORDINATE ANY SUCH UTILITY NEEDS WITH THE OWNER.
- ALL SITE AREAS SHALL BE GRADED AT 1% MINIMUM FOR DRAINAGE UNLESS OTHERWISE NOTED OR ALONG FLOWLINES OF CONCRETE LINED GUTTERS AND VALLEY GUTTERS.
- ESTIMATED EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE ONLY AND SHOWN FOR THE PURPOSES OF ESTIMATING GRADING PERMIT FEES. HOBBACH-LEWIN ASSUMES NO LIABILITY FOR THE ACCURACY OF THESE QUANTITIES.
- WHERE EXISTING STRUCTURES ARE TO REMAIN IN CONSTRUCTION ZONE AREA, CONTRACTOR SHALL ADJUST RIMS OF THESE STRUCTURES, I.E. CATCH BASINS, VALVE BOXES, CLEAN OUTS, UTILITY BOXES, ETC. TO NEW FINISH GRADE.
- CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FOR NORTHERN CALIFORNIA AT LEAST 48 HOURS (2 WORKING DAY) PRIOR TO COMMENCEMENT OF CONSTRUCTION (800) 227-2600.
- THE ORGANIC MATERIAL COVERING THE SITE SHALL BE STRIPPED AND STOCKPILED. THE STRIPPINGS SHALL BE USED TO BACKFILL ALL LANDSCAPE PLANTERS AND ROUGH GRADE MOUND AREAS AS SHOWN ON LANDSCAPE DRAWINGS. TO WITHIN 1" OF GRADES SHOWN, EXCESS STRIPPINGS AND EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
- ADJUSTMENTS TO PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
- COMPACTION TO BE DETERMINED USING ASTM D1557-LATEST EDITION.
- STORM DRAIN PIPES DESIGNATED AS SD FROM 4" TO 24" IN DIAMETER SHALL BE SDR-35 PVC, (GREEN-TITE PIPE BY MANVILLE OR APPROVED EQUAL), CLASS 1 PIPE SMOOTH INTERIOR PIPE PER ASTM D3212 HANCO SURE-DK W/P PIPE OR APPROVED EQUAL WITH CLASS 1 BACKFILL OR DUCTILE IRON PIPE DIP. IF SPECIFIED ON PLANS, NO MATERIAL SUBSTITUTE SHALL BE ALLOWED FOR DUCTILE IRON PIPE. ANY PIPES LARGER THAN 24" IN DIAMETER SHALL BE CLASS III REINFORCED CONCRETE PIPE RCP. PVC PIPE EXCEEDING 24" DIAMETER SHALL ONLY BE USED WHEN APPROVED BY MANUFACTURER IN THIS JURISDICTION.
- PROPOSED SPOT GRADES (ELEVATIONS) SHOWN HEREON ARE FINISHED PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL VERIFY THE CONTENTS AND THICKNESS OF THE BUILDING SLAB SECTION (I.E. CONCRETE, SAND, ROCK) WITH THE STRUCTURAL PLANS AND THE ELEVATIONS SHOWN HEREON PRIOR TO COMMENCEMENT OF GRADING.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
- WHERE OFF-SITE DRIVEWAY APPROACHES ARE TO BE CONSTRUCTED THE ON-SITE DRIVEWAY SHALL NOT BE CONSTRUCTED UNTIL THE OFF-SITE IMPROVEMENTS ARE INSTALLED. THE ON-SITE DRIVEWAY SHALL CONFORM TO THE COMPLETED OFF-SITE DRIVEWAY.

Plot Date: Sep 6, 2022 - 10:29 AM

IMPROVEMENT PLANS

FOR
SAN PABLO AVE G.L.A.
2427-2433 SAN PABLO AVENUE
BERKELEY, CA 94702



SAN PABLO AVENUE

LEGEND

BOUNDARY LINES		
(Symbol)	CENTER LINE	
(Symbol)	EASEMENT LINE	
(Symbol)	PROPERTY LINE	
(Symbol)	ADJACENT PROPERTY LINE	
MISCELLANEOUS LINES		
(Symbol)	SIDEWALK	
(Symbol)	LIP OF GUTTER	
(Symbol)	FENCE-WIRE	
UTILITY LINES		
(Symbol) E	ELECTRIC	
(Symbol) FO	FIBER OPTIC	
(Symbol) FS	FIRE SERVICE	
(Symbol) G	GAS LINE	
(Symbol) JT	IRRIGATION LINE	
(Symbol) NG	NITROGEN GAS	
(Symbol) OH	OVERHEAD	
(Symbol) RW	RECYCLED WATER	
(Symbol) SD	STORM DRAIN	
(Symbol) SS	SANITARY SEWER	
(Symbol) T	TELEPHONE	
(Symbol) W	WATER	

UTILITY LEGEND	
(Symbol)	FIRE HYDRANT
(Symbol)	WATER VALVE
(Symbol)	WATER METER
(Symbol)	STORM DRAIN MANHOLE
(Symbol)	BACKFLOW PREVENTER
(Symbol)	CATCH BASIN
(Symbol)	AREA DRAIN
(Symbol)	CLEANOUT TO GRADE
(Symbol)	FIRE DEPARTMENT CONNECTION

ABBREVIATIONS

AB	AGGREGATE BASE
AC	ASPHALTIC CONCRETE
AD	AREA DRAIN
ATT	AT&T
BC	BACK OF CURB
BFP	BACKFLOW PREVENTER
BLDG	BUILDING
BOL	BOLLARD
BOW	BACK OF WALK
BW	BOTTOM OF WALL
BTM	BOTTOM OF WALL/FINISHED SURFACE
C	CONCRETE
CATV	CABLE TV
CB	CATCH BASIN
CONC	CONCRETE
COTG	CLEANOUT TO GRADE
DI	DRAIN INLET
DS	DOWN SPOUT
E	ELECTRIC OR EAST
EW	EACH WAY
EX	EXISTING
(E)	EXISTING
ELEC	ELECTRIC
ESMT	EASEMENT
G	GAS
GB	GRADE BREAK
FF	FINISHED FLOOR
FG	FINISHED GRADE
FL	FLOWLINE
FM	FORCE MAIN
FNC	FENCE
FS	FINISHED SURFACE
GRN	GROUND
HP	HIGH POINT
INV	INVERT
JP	JOINT POLE
LF	LINEAR FEET
LIP	LIP OF GUTTER
LT	LIGHT
M	MAPS
N	NORTH
NE	NORTHEAST
NTS	NOT TO SCALE
NW	NORTHWEST
OC	ON CENTER
OH	OVERHEAD
OR	OF RECORD
PERF	PERFORATED PIPE
PGE	PACIFIC GAS & ELECTRIC
POC	POINT OF CONNECTION
PV	PAVEMENT
RC	RELATIVE COMPACTION
RW	RECYCLED WATER
RIM	RIM OF UTILITY OBJECT
S	SOUTH
SD	STORMDRAIN
SE	SOUTHEAST
SJWC	SAN JOSE WATER COMPANY
SS	SANITARY SEWER
SL	STREET LIGHT
SW	SOUTHWEST
T	TREE
TC	TOP OF CURB
TW	TOP OF WALL
TWFS	TOP OF WALL/FINISHED SURFACE
TYP.	TYPICAL
UN	UNLESS OTHERWISE NOTED
USA	UNDERGROUND SERVICE ALERT
VG	VALLEY GUTTER
W	WATERWESTWITH
WM	WATER METER
WTR	WATER
WW	WATER VALVE

GENERAL NOTES CONTINUATION

GRADING NOTES:

- UNDERGROUND UTILITY LOCATIONS SHOWN HEREON WERE TAKEN FROM RECORD DATA. NO GUARANTEE IS MADE OR IMPLIED AS TO THE ACCURACY OF SUCH RECORD DATA. NO EXCAVATIONS WERE MADE TO CONFIRM LOCATIONS. CONTRACTORS ARE CAUTIONED TO CONTACT U.S.A. UNDERGROUND AND TO EXERCISE EXTREME CARE IN VERIFYING ALL LOCATIONS PRIOR TO COMMENCING EXCAVATIONS OR OTHER WORK WHICH MAY AFFECT THESE UTILITIES.
- IRRIGATION LATERALS, PARKING LOT LIGHTING WIRING AND SIGNAL WIRING NOT SHOWN. VERIFY LOCATION BEFORE COMMENCING TRENCHING. REPLACE OR REPAIR IMMEDIATELY WHERE BROKEN TO PROVIDE UNINTERRUPTED SERVICE.
- ALL FINISH GRADES SHOWN ARE FINISH GRADE ELEVATIONS UNLESS NOTED OTHERWISE.

UTILITY NOTES:

- THIS SURVEY IS NOT INTENDED TO REPRESENT THE EXACT LOCATIONS, SIZES OR EXTENT OF THE UTILITIES WITHIN THE AREA ENCOMPASSED BY THIS SURVEY. THEREFORE, IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO VERIFY THE LOCATION, SIZE AND EXTENT OF ANY EXISTING UTILITIES PRIOR TO DESIGN OR CONSTRUCTION. CONTRACTORS ARE CAUTIONED TO CONTACT U.S.A. UNDERGROUND AND TO EXERCISE EXTREME CARE IN VERIFYING ALL LOCATIONS PRIOR TO COMMENCING EXCAVATIONS OR OTHER WORK WHICH MAY AFFECT THESE UTILITIES.
- IRRIGATION LATERALS, PARKING LOT LIGHTING WIRING AND SIGNAL WIRING NOT SHOWN. VERIFY LOCATION BEFORE COMMENCING TRENCHING. REPLACE OR REPAIR IMMEDIATELY WHERE BROKEN TO PROVIDE UNINTERRUPTED SERVICE.
- UTILITY ABANDONMENT/REMOVAL: DISCONNECT AND CAP PIPES AND SERVICES TO REMAIN. REMOVE ALL PORTIONS OF ALL UTILITIES WITHIN NEW BUILDING FOOTPRINT AND DISPOSE OF OFF-SITE. OTHERWISE ABANDON IN PLACE UNLESS NOTED OTHERWISE.
- NOTIFY THE ENGINEER IMMEDIATELY OF ANY UTILITIES ENCOUNTERED THAT ARE NOT SHOWN ON THE DRAWINGS. PRESERVE AND REPAIR ANY UTILITIES THAT ARE DAMAGED AND THAT ARE TO REMAIN.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CROSSINGS OF NEW UTILITIES WITH EACH OTHER, AND WITH EXISTING UTILITIES. VERIFY EXISTING PIPE LOCATION AND INVERT PRIOR TO INSTALLING NEW UTILITIES. NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR DEVIATIONS.
- PRIOR TO CONNECTING TO EXISTING UTILITIES FIELD VERIFY LOCATION & INVERT OR DEPTH PRIOR TO INSTALLING NEW PIPE OR EQUIPMENT.
- EACH BUILDING WATER SERVICE CONNECTION SHALL BE WITH VALVE AND VALVE BOX SET AT GRADE.
- ALL BUILDING SEWER LATERALS SHALL BE WITH CLEANOUT TO GRADE.
- ALL CATCH BASINS WITHIN VEHICULAR AREAS SHALL BE TRAFFIC RATED FOR H20 VEHICULAR LOADS. FOR CATCH BASINS IN WALKWAY AREAS, INCLUDING EXISTING CATCH BASINS, USE HEEL PAVEMENT AND ADA GRATE.

ADA COMPLIANCE:

- ALL NEW WORK SHALL CONFORM TO TITLE 24 OF THE CALIFORNIA ADMINISTRATIVE CODE AND THE AMERICANS WITH DISABILITIES ACT 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, AND ANY LOCAL OR STATE AMENDMENTS THEREOF.
- ALL NEW CURB RAMPS SHALL NOT EXCEED A SLOPE OF 1:12 (8.33%).
- ALL NEW ENTRANCE WALKS TO THE BUILDINGS SHALL NOT EXCEED A SLOPE OF 1:20 (5%) LONGITUDINALLY UNLESS RAILINGS ARE PROVIDED IN WHICH CASE THE SLOPE SHALL NOT EXCEED 1:12 (8.33%). SEE ARCHITECTURAL PLANS FOR RAILING REQUIREMENTS.
- LANDINGS SHALL BE PROVIDED AT PRIMARY ENTRANCES TO BUILDINGS WITH A 2% MAXIMUM SLOPE. THE LANDINGS SHALL HAVE A MINIMUM WIDTH OF 60" AND A MINIMUM DEPTH OF 60" WHEN THE DOOR OPENS INTO THE BUILDING, AND 42" PLUS THE WIDTH OF THE DOOR WHEN THE DOOR OPENS ONTO THE LANDING.
- RAMP ARE DEFINED AS ANY WALKWAY BETWEEN SLOPES OF 1:20 (5%) AND 1:12 (8.33%), AND SHALL HAVE A MINIMUM WIDTH OF 48" AND A MAXIMUM CROSS-SLOPE OF 2%. RAMPS EXCEEDING 30" VERTICAL DROP SHALL HAVE INTERMEDIATE (2% MAXIMUM SLOPE) LANDINGS HAVING A MINIMUM LENGTH IN THE DIRECTION OF TRAVEL OF 60". BOTTOM LANDINGS AND LANDINGS AT CHANGES IN RAMP DIRECTION SHALL HAVE A MINIMUM LENGTH OF 72".
- MAXIMUM CROSS-SLOPE ON ANY SIDEWALK OR RAMP SHALL BE 2%. MAXIMUM SLOPE IN ANY DIRECTION WITHIN PARKING STALLS DESIGNATED AS ACCESSIBLE PARKING STALL SHALL BE 2%.

GEOTECHNICAL CRITERIA:

- ALL WORK INCLUDING GRADING, TRENCHING, COMPACTION, AND SUBBASES SHALL FOLLOW THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT.
- ALL ENGINEERED FILL SHALL HAVE A MINIMUM RELATIVE COMPACTION PER PROJECT GEOTECHNICAL REPORT.

SHEET INDEX

C1.0	COVER SHEET
C1.1	NOTES
C1.2	TOPOGRAPHIC SURVEY PLAN
C1.3	DEMOLITION PLAN
C1.3	GRADING AND DRAINAGE PLAN
C1.3	PAVEMENT PLAN
C3.2	STORM WATER TREATMENT PLAN
C4.0	UTILITY PLAN
C5.0	EROSION CONTROL PLAN
C6.0	DETAILS



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SAN PABLO AVE G.L.A.

2427-2433
SAN PABLO AVE
BERKELEY, CA



FEASIBILITY STUDY



PROJECT ISSUE RECORD:

PROJECT #: ABC12
ISSUE DATE: 12/2/2016

COVER SHEET



C1.0

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SAN PABLO AVE
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BERKELEY, CA



**FEASIBILITY
STUDY**



PROJECT #: ABC12

ISSUE DATE: 12/20/18

CONDUITS:

CONDUITS FOR POWER, SITE LIGHTING, LOW VOLTAGE SYSTEMS, TELEPHONE, SECURITY, DATA, CABLE TV, CLOSED CIRCUIT TV, FIRE ALARM SYSTEMS, ETC SHALL BE INSTALLED PER THE ELECTRICAL SITE PLANS & DETAILS

CONDUITS SHALL INCLUDE PULL STRINGS

ALL CONDUITS SUBMITTED TO A SPECIFIC LOCATION FOR FUTURE USE OR USE BY A SEPARATE CONTRACTOR SHALL BE CLEARLY MARKED IN THE FIELD AND DOCUMENTED IN THE CONTRACTORS RECORD DOCUMENTS AS TO BOTH DEPTH AND LOCATION

NOTES

NO.	REVISION	DATE

C1.1

GENERAL NOTES FOR UNDERGROUND FIRE SERVICE

- NFPA 24 SEC. 7-2 ALL FERROUS METAL PIPES SHALL BE BE GALVANNEED AND STEEL PIPES SHALL BE COATED AND WRAPPED WITH JOINTS FIELD-COATED AND WRAPPED AFTER ASSEMBLY. FOR BURIED PIPE, GALVANNEED, INTERNALLY OR EXTERNALLY, DOES NOT MEET THE REQUIREMENTS OF THIS SECTION
- NFPA 24 SEC. 8-5.2 ALL BOLTED JOINTS ACCESSORIES SHALL BE CLEANED AND THOROUGHLY COATED WITH ASPHALT OR OTHER CORROSION RETARDING MATERIAL AFTER INSTALLATION
- NFPA 24 SEC. 8-6.2.2 AFTER INSTALLATION, RODS, NUTS, BOLTS, WASHERS, CLAMPS, AND OTHER RESTRAINING DEVICES, EXCEPT THRUST BLOCKS, SHALL BE CLEANED THOROUGHLY, COATED WITH A BITUMINOUS OR OTHER ACCEPTABLE CORROSION RETARDING MATERIAL
- NFPA 24 SEC. 8-2.1 UNDERGROUND MAINS SHALL BE COMPLETELY FLUSHED TO REMOVE FOREIGN MATERIALS THAT MIGHT HAVE ENTERED THE MAIN DURING THE COURSE OF THE INSTALLATION. PER TABLE 9-1 TO PRODUCE A VELOCITY OF 10 FEET PER SECOND IN PIPES (WITNESSED BY THE INSPECTOR OF RECORD). LOCAL FIRE JURISDICTION SHALL BE NOTIFIED OF DATE AND TIME OF TESTING SO THEY MAY OBSERVE TESTING WHEN DESIRED
- NFPA 24 (1999) SEC. 8-9.2.1 ALL NEW PRIVATE UNDERGROUND FIRE SERVICE MAINS SHALL BE TESTED HYDROSTATICALLY AT A NOT LESS THAN 200 PSI PRESSURE FOR A MINIMUM OF TWO HOURS (WITNESSED BY THE INSPECTOR OF RECORDS)
- THE AMOUNT OF LEAKAGE IN BURIED PIPING SHALL BE MEASURED AT THE SPECIFIED TEST PRESSURE BY PUMPING FROM A CALIBRATED CONTAINER FOR NEW PIPE. THE AMOUNT OF LEAKAGE AT THE JOINTS SHALL NOT EXCEED TWO GALLONS PER HOUR PER 100 GALLONS OF JOINTS RESPECTIVE OF PIPE DIAMETER. NO VISIBLE LEAKAGE SHALL BE ALLOWED IN ABOVE-GROUND PIPING (ALSO SEE SEC. 9-2.3 FOR ALLOWABLE LEAKAGE)
- HYDROSTATIC TESTS SHOULD BE MADE BEFORE THE JOINTS ARE COVERED SO THAT ANY LEAKS MAY BE READILY DETECTED
- NFPA 24 (1999) SEC. 8-2.1 BEFORE ASKING FINAL APPROVAL OF AN INSTALLATION BY THE INSPECTOR OF RECORD, THE INSTALLING COMPANY SHALL FURNISH A CONTRACTORS MATERIAL AND TEST CERTIFICATE TO BE SUBMITTED TO OSA. A TYPICAL CERTIFICATE IS SHOWN IN FIGURE 9-2.1 THIS FORM SHALL BE GIVEN TO THE INSPECTOR OF RECORD (OR WHO WILL TURN IN FOR OSA RECORDS)
- NFPA 24 SEC. 8-1 THE DEPTH OF COVER OVER WATER PIPES SHALL BE NOT LESS THAN 12 FT. TO PREVENT MECHANICAL DAMAGE AND SHALL BE BURED A MINIMUM OF 3 FT. UNDER DRIVEWAYS

UNDERGROUND FIRE SERVICE TO FIRE HYDRANTS REQUIREMENTS:

- NFPA 24 SEC. 1-4 THE UNDERGROUND FIRE SERVICE PLANS SHALL BE DRAWN TO SCALE BY THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER AND SHALL INCLUDE ALL ESSENTIAL DETAILS SUCH AS:
 - A) SIZE AND LOCATION OF ALL WATER SUPPLIES
 - B) SIZE AND LOCATION OF ALL PIPING, INCLUDING WHERE POSSIBLE, THE CLASS AND TYPE AND DEPTH OF EXISTING PIPES, THE CLASS AND TYPE OF NEW PIPE TO BE INSTALLED, AND THE DEPTH OF EXISTING AND NEW PIPING
 - C) SIZE, TYPE AND LOCATION OF VALVES. INDICATE IF LOCATED IN FIT OR IF OPERATION IS BY POST INDICATOR OR KEY WRENCH THROUGH A CURB BOX. INDICATE THE SIZE, TYPE AND LOCATION OF METERS, REGULATORS, AND CHECK VALVES
 - D) SIZE AND LOCATION OF HYDRANTS, SHOWING SIZE AND NUMBER OF OUTLETS AND IF OUTLETS ARE TO BE EQUIPPED WITH INDEPENDENT GATE VALVE
 - E) SPRINKLER AND STANDPIPE RISERS TO BE SUPPLIED BY THE SYSTEM
 - F) LOCATION OF FIRE DEPARTMENT CONNECTIONS, IF PART OF PRIVATE FIRE SERVICE MAIN SYSTEM INCLUDING DETAILS
- NFPA 24 (1999) SEC. 3-5.1 A LARGE PRIVATE FIRE SERVICE MAIN SYSTEMS SHALL HAVE SECTIONAL CONTROLLING VALVES AT APPROPRIATE POINTS IN ORDER TO PERMIT LOCALIZING THE SYSTEM IN THE EVENT OF A BREAK, OR FOR THE MAKING OF REPAIRS OR EXTENSIONS
- NFPA 24 SEC. 7-2 ALL FERROUS METAL PIPE SHALL BE GALVANNEED AND STEEL PIPE SHALL BE COATED AND WRAPPED WITH JOINTS FIELD-COATED AND WRAPPED AFTER ASSEMBLY. FOR BURIED PIPE, GALVANNEED, INTERNALLY OR EXTERNALLY, DOES NOT MEET THE REQUIREMENTS OF THIS SECTION
- NFPA 24 SEC. 8-5.2 ALL BOLTED JOINT ACCESSORIES SHALL BE CLEANED AND THOROUGHLY COATED WITH ASPHALT OR OTHER CORROSION RETARDING MATERIAL AFTER INSTALLATION
- NFPA 24 SEC. 8-2.2 AFTER INSTALLATION, RODS, NUTS, BOLTS, WASHERS, CLAMPS, AND OTHER RESTRAINING DEVICES, EXCEPT THRUST BLOCKS, SHALL BE CLEANED AND THOROUGHLY COATED WITH A BITUMINOUS OR OTHER ACCEPTABLE CORROSION RETARDING MATERIAL
- NFPA 24 SEC. 8-6.2 THRUST BLOCKS SHALL BE OF A CONCRETE MIX NOT LEANER THAN ONE PART CEMENT, TWO PARTS SAND, AND ONE PART STONE. THRUST BLOCKS SHALL BE PLACED BETWEEN UNBURIED EARTH AND THE FITTING TO BE RESTRAINED, AND SHALL BE OF SUCH BEARING AS TO ENSURE ADEQUATE RESISTANCE TO THE THRUSTS TO BE CONTROLLED. IN GENERAL, THRUST BLOCKS SHALL BE SO PLACED THAT THE JOINTS WILL BE ACCESSIBLE FOR INSPECTION AND REPAIR
- NFPA 24 SEC. 8-2 UNDERGROUND MAINS SHALL BE COMPLETELY FLUSHED TO REMOVE FOREIGN MATERIALS THAT MIGHT HAVE ENTERED THE MAIN DURING THE COURSE OF THE INSTALLATION. PER TABLE 9-1 TO PRODUCE A VELOCITY OF 10 FT PER SECOND IN PIPES (WITNESSED BY THE INSPECTOR OF RECORD)
- NFPA 24 SEC. 8-3.1 ALL NEW PRIVATE UNDERGROUND FIRE SERVICE MAINS SHALL BE TESTED HYDROSTATICALLY AT A NOT LESS THAN 200 PSI PRESSURE FOR A MINIMUM OF TWO HOURS (WITNESSED BY THE INSPECTOR OF RECORD). THE AMOUNT OF LEAKAGE IN BURIED PIPING SHALL BE MEASURED AT THE SPECIFIED TEST PRESSURE BY PUMPING FROM A CALIBRATED CONTAINER FOR NEW PIPE. THE AMOUNT OF LEAKAGE AT THE JOINTS SHALL NOT EXCEED TWO GALLONS PER HOUR PER 100 GALLONS OF JOINTS RESPECTIVE OF PIPE DIAMETER. NO VISIBLE LEAKAGE SHALL BE ALLOWED IN ABOVE-GROUND PIPING (ALSO SEE SEC. 9-2.3 FOR ALLOWABLE LEAKAGE) HYDROSTATIC TESTS MUST BE MADE BEFORE THE JOINTS ARE COVERED SO THAT ANY LEAKS MAY BE READILY DETECTED
- NFPA 24 SEC. 9-2.1 BEFORE ASKING FINAL APPROVAL OF AN INSTALLATION BY THE INSPECTOR OF RECORD, THE INSTALLING COMPANY SHALL FURNISH A CONTRACTORS MATERIAL AND TEST CERTIFICATE TO BE SUBMITTED TO OSA. A TYPICAL CERTIFICATE IS SHOWN IN FIGURE 9-2.1 THIS FORM SHALL BE GIVEN TO THE INSPECTOR OF RECORD (OR WHO WILL TURN IN FOR OSA RECORDS)
- NFPA 24 SEC. 8-1 THE DEPTH OF COVER OVER WATER PIPES SHALL BE NOT LESS THAN 12 FT. TO PREVENT MECHANICAL DAMAGE AND SHALL BE BURED A MINIMUM OF 3 FT. UNDER DRIVEWAYS
- NFPA 24 SEC. 8-3.1 PIPE SHALL NOT BE RUN UNDER BUILDINGS

GENERAL UTILITY SYSTEM NOTES (Cont.):

- SEE ELECTRICAL PLANS FOR SITE ELECTRICAL WORK. ADVISE ENGINEER OF ANY CONFLICTS WITH OTHER UTILITIES PRIOR TO BEGINNING WORK
- COMPLETE SYSTEMS: ALL UTILITY SYSTEMS ARE DELINEATED IN A SCHEMATIC MANNER ON THESE PLANS. CONTRACTOR IS TO PROVIDE ALL FITTINGS, ACCESSORIES & WORK NECESSARY TO COMPLETE THE UTILITY SYSTEMS SO THAT IT IS FULLY FUNCTIONING FOR THE PURPOSE INTENDED
- SEE SPECIFICATION SECTION 03000 FOR SUBMITTAL REQUIREMENTS OF UTILITY COMPONENTS

SANITARY SEWER NOTES:

- INSTALL DETECTABLE METALIZED WARNING TAPE APPROXIMATELY 18" BELOW THE SURFACE IN NON-PAVED AREAS, AND AT BOTTOM OF BASEROCK FOR PAVED AREAS. GREEN, IMPRINTED WITH "CAUTION-SANITARY SEWER LINE BELOW, CAL/PFO TYPE 2 OR EQUAL
- PUBLIC AND PRIVATE SANITARY SEWER MAIN AND SERVICE LINE 4" THROUGH 8" SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 SEWER PIPE
- WHERE CONNECTION IS TO BE MADE TO EXISTING SEWER OR STRUCTURE, SAID EXISTING SEWER OR STRUCTURE SHALL BE ANCHORED AND CHECKED FOR LOCATION AND ELEVATION PRIOR TO STAKING NEW SEWER DEPTH AND LOCATION. ANY DISCREPANCY BETWEEN THE PLANS AND FIELD INFORMATION SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER
- ALL SANITARY SEWER DESIGNED AT 1/2" OR FLATTER SHALL BE STAKED BY A CIVIL ENGINEER OR LAND SURVEYOR
- REFER TO SANITARY SEWER SPECIFICATIONS FOR LABOR AND MATERIAL, TESTING, AND QUALITY CONTROL REQUIREMENTS
- MINIMUM SLOPE FOR SITE SANITARY SEWER PIPES SHALL BE PER CURRENT UPC REQUIREMENTS

4" @ 2%
8" @ 1%
6" @ LARGER @ 0.5%

STORM DRAIN NOTES:

- INSTALL DETECTABLE METALIZED WARNING TAPE APPROXIMATELY 18" BELOW THE SURFACE IN NON-PAVED AREAS, AND AT BOTTOM OF BASEROCK FOR PAVED AREAS. GREEN, IMPRINTED WITH "CAUTION-STORM DRAIN LINE BELOW, CAL/PFO TYPE 2 OR EQUAL
- PAINT THE TOP OF THE CURBS ADJACENT TO EACH CATCH BASIN INSTALLED UNDER THIS WORK OR ADJACENT TO THE SITE WITH THE WORDS "NO CLIMBING - DRAIN TO DRAIN" WORKING TO BE 4" HIGH LETTERS ON A PAINTED WHITE BACKGROUND
- INSTALL ADA APPROVED GRATES ON ALL DRAINAGE STRUCTURES WITH PEDESTRIAN ACCESSIBLE PAVED AREAS. INSTALL BOLT-DOWN GRATES ON ALL DRAINAGE STRUCTURES
- WHERE CONNECTION IS TO BE MADE TO EXISTING SEWER OR STRUCTURE, SAID EXISTING SEWER OR STRUCTURE SHALL BE ANCHORED AND CHECKED FOR LOCATION AND ELEVATION PRIOR TO STAKING NEW SEWER DEPTH AND LOCATION. ANY DISCREPANCY BETWEEN THE PLANS AND FIELD INFORMATION SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER
- REFER TO STORM SEWER SPECIFICATIONS FOR LABOR AND MATERIAL, TESTING AND QUALITY CONTROL REQUIREMENTS
- MINIMUM SLOPE FOR SITE STORM DRAIN PIPES SHALL BE:
 - 4" @ 2%
 - 8" @ 1%
 - 6" @ LARGER @ 0.5%
 - UNLESS INDICATED OTHERWISE
- PRIVATE STORM DRAIN LINE 4" THROUGH 12" INCH WITH A MINIMUM OF 20 FEET OF COVER IN NON-TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35
- PRIVATE STORM DRAIN LINE 8" INCH THROUGH 12" INCH WITH LESS THAN THREE (3) FEET OF COVER IN VEHICULAR TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35, RATED 100 PSI CLASS PIPE

WATER SYSTEM NOTES:

- INSTALL DETECTABLE METALIZED WARNING TAPE APPROXIMATELY 18" BELOW THE SURFACE IN NON-PAVED AREAS, AND AT BOTTOM OF BASEROCK FOR PAVED AREAS. BLUE, IMPRINTED WITH "CAUTION-WATER LINE BELOW, CAL/PFO TYPE 2 OR EQUAL
- PROVIDE THRUST BLOCKS OR ANCHORS RESISTANT PER THE LOCAL WATER AGENCY AT BENDS OF 22 DEGREES OR GREATER. UNDERPILING, HORIZONTAL, AT BEND CHANGES AND AT FIRE HYDRANTS PER CITY STANDARD, AVMA 600, SECTION 3.1, UNLESS NOTED OTHERWISE
- PROVIDE MAXIMUM OF 1 FEET OF COVER OVER WATER LINES, UNLESS NOTED OTHERWISE
- MAINTAIN PUBLIC WATER LINES 1' AWAY FROM PUBLIC SANITARY SEWER LINES
- WHERE WATER LINES HAVE TO CROSS SANITARY SEWER LINES, DO SO AT A 90 DEGREE ANGLE AND WATER LINES SHALL BE MINIMUM OF 12" ABOVE TOP OF SANITARY SEWER LINES AND WATER JOINTS SHALL BE A MINIMUM OF 1" FROM SANITARY SEWERS
- WATER LINES ARE SHOWN SCHEMATICALLY. CONTRACTOR SHALL VERIFY EACH ANGLE AND/OR BEND WITH APPROPRIATE FITTINGS THAT MAY BE REQUIRED TO ACCOMPLISH THE INTENDED DESIGN
- BOTTOM OF BACKFLOW PREVENTOR ASSEMBLY TO BE INSTALLED NO GREATER OR LESS THAN 12" FROM FINISH GRADE
- THE UNDERGROUND DOMESTIC WATER SYSTEM INSTALLER SHALL OBTAIN ALL APPROVALS AND PERMITS PRIOR TO ORDERING MATERIALS, FABRICATING SYSTEMS OR ANY INSTALLATION
- CONTRACTOR TO REVIEW AND VERIFY LOCATION, DEPTH & SIZE OF P.O.C. TO EXISTING WATER MAIN PRIOR TO INSTALLING ANY NEW WATER MAIN AND ADVISE THE OWNER ENGINEER OF ANY FIELD DISCREPANCIES THAT WILL IMPACT THE DESIGN
- REFER TO DOMESTIC WATER SPECIFICATIONS FOR LABOR AND MATERIAL, TESTING AND QUALITY CONTROL REQUIREMENTS
- PUBLIC AND PRIVATE WATER MAIN AND WATER SERVICE LINE 4" THROUGH 12" INCH SHALL BE POLYVINYL CHLORIDE (PVC) AND SHALL HAVE A MINIMUM COVER OF 20 PSI CLASS PIPE WITH EPCOT COATED QUOTE FROM FITTINGS AND DESIGN, EXCEPT COATED GATE VALVES
- ALL WATER LINES 2" OR SMALLER SHALL BE TYPE C COPPER WITH SILVER BRAZED JOINTS. CONTRACTOR TO VERIFY PRESSURES FROM EXISTING LINES ARE ADEQUATE TO SERVICE BUILDINGS AS SPECIFIED BY THE PLUMBING PLANS

FIRE PROTECTION NOTES:

- THE UNDERGROUND FIRE PROTECTION SYSTEM SHOWN ON THESE DRAWINGS IS SCHEMATIC AND IS NOT INTENDED TO BE AN INSTALLATION DRAWING. THE UTILITY DRAWING IN THIS SET OF DOCUMENTS SHALL NOT BE USED AS A BASE SHEET FOR SHOP DRAWINGS WITHOUT WRITTEN APPROVAL OF THE ARCHITECT/ENGINEER
- THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWING ALL INFORMATION REQUIRED BY THE LOCAL FIRE MARSHAL, INCLUDING LOCATION, TYPE AND NUMBER OF ANCHORS, THRUST BLOCKS, VALVES, FIRE HYDRANTS, PIVL FITZ, BACKFLOW ASSEMBLIES, FLEXIBLE CONNECTING VALVES, AND LOW-VOLTAGE CONNECTIONS TO FIRE HYDRANTS AND SPRINKLER RISERS PER FIRE FLOW REQUIRED BY LOCAL FIRE DEPARTMENT
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE OSA & ARCHITECT, THE RATING AGENCY AND THE PROJECT MANAGER, ALLOWING TIME FOR REVIEW AND ACCEPTANCE. PRIOR TO START OF WORK
- THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL OBTAIN ALL APPROVALS AND PERMITS PRIOR TO ORDERING MATERIALS, FABRICATING SYSTEMS OR ANY INSTALLATION
- GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND EQUIPMENT LOCATION. RISER LOCATION LINES ARE SHOWN ON ARCHITECTURAL AND PLUMBING DRAWINGS AND ARE TO BE COORDINATED WITH ALL UTILITIES AND FIELD INVESTIGATION
- INSTALL MONITORED TEMPERATURES AT ALL RISERS AND VALVES ON BACKFLOW ASSEMBLIES
- CONTRACTOR TO USE CATHODIC PROTECTION FOR ALL UNDERGROUND FIRE PROTECTION SYSTEMS. FINAL LOCATION OF ANODES AND TEST STATIONS SHALL BE COORDINATED WITH ARCH ENGINEER. CONTRACTOR MAY ASSUME THAT THE TEST STATIONS WILL BE WITHIN 10 FEET OF THE FITTING ITEM BEING CONNECTED TO
- BOTTOM OF BACKFLOW PREVENTOR ASSEMBLY TO BE INSTALLED NO GREATER OR LESS THAN 12" FROM FINISH GRADE
- MIN. 2" CLEARANCE FROM BACK OF CURB TO PPL, PVLV, AND POCs

SITE FENCING NOTES:

- CONTRACTOR SHALL PROVIDE A CONSTRUCTION FENCE AROUND THE ENTIRE AREA OF DEMOLITION AND CONSTRUCTION, INCLUDING ALL STAGING, STORAGE, CONSTRUCTION OFFICE AND LAYOUT AREAS
- FENCE LOCATION MAY BE ADJUSTED FROM TIME TO TIME AS CONSTRUCTION PROGRESSES TO EXCLUDE SOME AREAS WHERE CONSTRUCTION WORK IS NOT BEING DONE AND THE AREA IS NOT OBSTRUCTIBLE IN VISUAL APPEARANCE. AN EXEMPTION AND APPROVAL OF THE DISTRICT STAFF CONSTRUCTION FENCE SHALL BE A MINIMUM OF 6" HIGH ORANGE AND WHITE STRIPES
- CONSTRUCTION FENCE ADDRESS IN THESE NOTES IS TO MEET MINIMUM SEPARATION REQUIREMENTS FROM CONSTRUCTION SITE AND THE CAMPUS. CONTRACTOR IS REQUIRED TO INSTALL ANY ADDITIONAL FENCING, BARRICADES OR OTHER SAFETY DEVICES NEEDED TO KEEP THE SITE SECURE & SAFE AT ALL TIMES
- ALL FENCING SHALL BE INSTALLED AT ONLY LOCATIONS DESIGNATED AND APPROVED BY DISTRICT PERSONNEL, WITH PARTICULAR CARE GIVEN SUCH THAT THE FENCING DOES NOT CREATE A TRAFFIC HAZARD OR NUISANCE, OR RESTRICT CAMPUS CIRCULATION & FIRE EXITING

GRADING & EARTHWORK NOTES:

- ALL PAVED AREAS ARE TO BE TO A MINIMUM OF 1% ANGLE SLOPE AND DRAINAGE ZONES ARE TO SLOPE AT A MAXIMUM OF 2% IN ANY DIRECTION AND ACCESSIBLE PATHWAYS ARE TO SLOPE AT A MAXIMUM OF 4.33% WITH A MAXIMUM CROSS SLOPE OF 2%. ANY AREAS ON THE SITE NOT CONFORMING TO THESE BASE RULES DUE TO EXISTING CONDITIONS OR DISCREPANCIES IN THE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH FORMWORK OR CURBS AND/OR TIEBACKS
- CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY; THE SOILS INVESTIGATION AND PROPOSED SURFACE GRADES AND BASES. BE GEOLOGICALLY ANY DIFFERENCES BETWEEN THE STATE TO WHICH THE PROJECT SITE IS DELIVERED TO THE CONTRACTOR AND THESE DOCUMENTS SHOULD BE NOTED TO THE CIVIL ENGINEER
- ALL FILL SHALL BE COMPACTED PER THE CONSTRUCTION SPECIFICATIONS AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE OWNERS TESTING AGENCY TO TAKE THE APPROPRIATE TESTS TO VERIFY COMPACTION VALUES
- IMPORT SOILS MUST MEET THE REQUIREMENTS OF THE CONSTRUCTION SPECIFICATIONS
- COORDINATE THE PLACEMENT OF ALL BLEEVES FOR LANDSCAPE IRRIGATION (WATER AND CONTROL WIRING) AND STREET LIGHTING PRIOR TO THE PLACEMENT OF ANY ASPHALT, BASEROCK OR CONCRETE SURFACING. SEE LANDSCAPE AND SITE ELECTRICAL DRAWINGS
- DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF ARCHITECT & ENGINEER SURFACING. SEE LANDSCAPE AND SITE ELECTRICAL DRAWINGS
- SPOT ELEVATIONS ARE TO FINISH SURFACE
- TOP OF CONCRETE CURBS ARE 5/8" ABOVE TOP OF PAVING ELEVATIONS, UNADJ.
- ROUGH GRADING TO BE WITHIN 3" OF FINISH GRADES ARE TO BE WITHIN 0.5"
- SUBGRADE SHALL BE PROOF ROLLED, OR AS INSTRUCTED PER THE CONSTRUCTION SPECIFICATIONS
- CONTRACTOR TO GRADE LANDSCAPE (NON-PAVED) AREAS TO A FINISH GRADE OF 1" BELOW PROPOSED FINISH GRADE SHOWN ON THE GRADING PLANS. DISTRICT WILL INSTALL TOP 8" BENCH OF TOPSOIL AND PERFORM FINISH GRADING. CONTRACTOR TO GRADE PLANTER & LANDSCAPE AREAS (NON-PAVED AREAS EXCEPT TOP 8" BENCH OF FINISH GRADE) 2" BELOW FINISH FLOOR OF BUILDING. DISTRICT TO INSTALL FINAL FILL MATERIAL AND INSTALL IRRIGATION SYSTEMS
- AFTER STAKING FOR HORIZONTAL CONTROL, CONTRACTOR SHALL FIELD CHECK ALL ELEVATIONS MARKED WITH (E) AND REPORT ANY DISCREPANCIES GREATER THAN 0.6" TO ARCHITECT
- ALL EXISTING UTILITY STRUCTURES WITHIN THE AREA OF WORK SHALL HAVE THE USGS, GRATES, COVERS, ETC. ADJUSTED TO BE FLUSH WITH FINISH GRADES. CONTRACTOR SHALL IDENTIFY ALL SUCH ITEMS AND REPORT TO ARCHITECT PRIOR TO CONSTRUCTION. FIELD INVESTIGATION
- GEO-TECHNICAL CONSULTANT TO BE NOTIFIED OF DELIVERY OF ALL IMPORTED SOILS TO SITE FOR HIS/HER INSPECTION AND APPROVAL PRIOR TO PLYING BY CONTRACTOR

EARTHWORK QUANTITY NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE QUANTITIES OF ALL FORMS OF EARTHWORK ON THIS PROJECT AND BASING THE BIDS ON THOSE QUANTITIES WITH FULL KNOWLEDGE THAT ADDITIONAL PROCESSES INCLUDING ENGINEERING AND QUANTITIES ARE ALSO TO BE INCLUDED IN THE BID PER THE FOLLOWING NOTES
- THE CONTRACTOR SHALL MAKE AN INITIAL DETERMINATION OF THE QUANTITIES, BASED ON A DETAILED SITE VISIT. THE TOPOGRAPHIC SURVEY, THE GEO-TECHNICAL REPORT, THE FINISH GRADES SHOWN ON THESE DRAWINGS, THE SIZE AND EXTENT OF FOOTINGS, THE PREPARATION AND MATERIALS USED FOR BUILDING BASES, PAVEMENT SECTIONS, AND THE SIZE AND DEPTH OF UTILITY TRENCHES, INCLUDING THE UTILITY CONTRACTORS ANTICIPATED USE OF EXISTING MATERIAL FOR BACKFILL IF ANY
- THE CONTRACTOR SHALL MEET THE GRADES SHOWN ON THE DRAWINGS, ADJUSTING THE AMOUNT OF IMPORT OR EXPORT AS REQUIRED TO DO SO. NO ASSUMPTIONS SHOULD BE MADE ABOUT THE SITE BALANCE. NO QUANTITIES TO BE GRASSES SHALL BE PERMITTED. VALVES SPECIALLY APPROVED BY THE ARCHITECTOR OR WRITTEN AFTER THE IMPACT OF ANY GRADE CHANGES (IMPACT TO RAMPS, STAIRS, WORK BY OTHERS, ETC.) HAS BEEN THOROUGHLY REVIEWED BY THE ARCHITECTOR AND APPROVED FOR THE EARTHWORK QUANTITIES. DO NOT ISSUAE ANY CHANGES TO THE FINISH GRADES SHOWN ON THESE DRAWINGS WILL BE PERMITTED
- THE EARTHWORK SPECIFICATIONS AND GEO-TECHNICAL REPORT HAVE SPECIFIC REQUIREMENTS FOR BRINDING FILL MATERIAL AND THE SITE (IMPORT) SINCE THE EXISTING SOILS ARE NOT SUITABLE FOR FILL MATERIAL IN CERTAIN AREAS. THE EARTHWORK SPECIFICATIONS AND GEO-TECHNICAL REPORT MAY IDENTIFY ALTERNATIVES THAT ALLOW TREATMENT OF EXISTING SOILS TO MINIMIZE IMPORT, HOWEVER MEETING THE GRADES SHOWN ON THESE DRAWINGS MUST ALSO BE CONSIDERED WHEN DETERMINING THE METHOD
- AFTER THE BIDS ARE AWARDED THE CONTRACTOR SHALL SUBMIT A DETAILED EARTHWORK WADZING PLAN THAT SHOWS THE INTENT AND LOCATIONS OF EARTHMOVEMENT AND QUANTITIES OF CUT, FILL, IMPORT AND EXPORT AS THE PROJECT WAS BIDD. PROPOSING ALTERNATIVE PLANS THAT MAY IDENTIFY GRADE ADJUSTMENTS TO MINIMIZE THE DISTURBANCE SOIL IS MOVED OR TO MINIMIZE IMPORT OR EXPORT WILL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF PREPARING AN EARTHWORK PLAN AS BID

GENERAL UTILITY SYSTEM NOTES:

- ALL TRENCHES SHALL BE BACKFILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS TO VERIFY COMPACTION VALUES
- CONTRACTOR SHALL STAKE LOCATION OF ABOVE GROUND UTILITY EQUIPMENT (HYDRANTS, TRANSFORMERS, ETC) AND MEET WITH THE APPROPRIATE GOVERNMENTAL AUTHORITY AND PROPER UTILITY AUTHORITY TO REVIEW LOCATION PRIOR TO INSTALLATION. THE APPROPRIATE GOVERNMENTAL AUTHORITY AND PROPER UTILITY AUTHORITY MUST SPECIALLY AGREE WITH LOCATION PRIOR TO PROCEEDING WITH THE INSTALLATION
- CONTRACTOR SHALL VERIFY POTENTIAL OF NECESSARY SIZE, MATERIAL, LOCATION AND DEPTH OF ALL SYSTEMS THAT ARE TO BE CONNECTED TO OR DISCONNECTED FROM THE TRENCHING OR INSTALLATION OF PROPOSED UTILITIES, AND INFORM ENGINEER OF ANY CONFLICTS BEFORE PROCEEDING WITH ANY WORK ON THIS SITE
- CATHODIC PROTECTION IS REQUIRED ON ALL METALLIC FITTINGS AND ASSEMBLIES THAT ARE IN CONTACT WITH THE SOIL. CONTRACTOR RESPONSIBLE FOR CIVIL ENGINEERING AND INSTALLING THIS SYSTEMS AND COORDINATE ANODE AND TEST STATION LOCATIONS WITH OWNERS ENGINEER. SEE PROJECT SPECIFICATIONS FOR ADDITIONAL CORROSION PROTECTION REQUIREMENTS
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INVERTS AND LOCATIONS PRIOR TO BEGINNING ANY WORK ON THIS SITE
- ALL DRAINAGE STRUCTURES LOCATED IN VEHICULAR TRAFFIC AREAS SHALL HAVE TRAFFIC PAVED COVERS AND BOLT-DOWN GRATES. ALL DRAINAGE STRUCTURES IN PEDESTRIAN ACCESSIBLE AREAS SHALL HAVE ADA APPROVED BOLT-DOWN GRATES
- ALL UTILITY STRUCTURES WITHIN THE AREA OF WORK SHALL HAVE THE USGS, GRATES, COVERS, ETC. ADJUSTED TO BE FLUSH WITH FINISH GRADES. CONTRACTOR SHALL IDENTIFY ALL SUCH ITEMS BY USE OF THESE PLANS AND FIELD INVESTIGATION
- SEE LANDSCAPE LAYOUT PLANS FOR IRRIGATION BLEEVE LOCATIONS
- ALL EXISTING UTILITY STRUCTURES (CLEANOUTS, VALVES, BODS, MANHOLES, CURB, ETC) SHALL BE RAISED TO FINISH GRADE AND COVER LIDS WITH THE NECESSARY USGS AND MATERIALS TO BE IN ACCORDANCE WITH DETAILS SHOWN ON THESE PLANS
- CLEANOUTS, CATCH BASINS, MANHOLES AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, PLUMBING, BUILDING UTILITIES, AND/OR CURB LAYOUT. NOT BY THE LENGTH OF PIPE STICHED ON THE DRAWINGS (WHICH IS APPROXIMATE)

EROSION AND SEDIMENTATION CONTROL NOTES:

- EROSION CONTROL MEASURES ARE INTENDED TO PREVENT SEDIMENT AND DEBRIS FROM ENTERING THE CITY. COUNTY STORM DRAIN SYSTEM. SANITARY SEWER SYSTEM OR FROM LEAVING THE SITE. THE CONTRACTOR SHALL MAKE ADJUSTMENTS IN THE FIELD TO MAKE SURE THAT THIS CONCEPT IS CARRIED OUT
- EROSION CONTROL FACILITIES AND MEASURES ARE TO BE INSTALLED AND OPERABLE BY OCTOBER 1st AND SHALL CONTINUE TO EFFECT UNTIL DISTURBED AREAS ARE STABILIZED OR UNTIL INSTALLATION OF THE PERMANENT SITE IMPROVEMENTS
- CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN. LARGE SCHEMATIC MINIMUM REQUIREMENTS. THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF THE EROSION CONTROL SYSTEM SO THAT IT WORKS WITH THE CONTRACTORS INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE, AND IS APPROVED BY THE APPROPRIATE GOVERNMENTAL AGENCIES
- ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED AS REQUIRED. AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL FACILITIES AND MAKE NECESSARY REPAIRS PRIOR TO ANTICIPATED STORMS AND AT REASONABLE INTERVALS DURING STORMS OF EXTENDED DURATION. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY
- AS SOON AS PRACTICAL, FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL, SEDIMENT BASINS AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE
- PROVISION SHALL BE MADE TO ASSURE THAT BORROW AREAS AND STOCK PILED SOILS ARE PROTECTED FROM EROSION WITH EROSION CONTROL MEASURES SATISFACTORY TO THE APPROPRIATE GOVERNMENTAL AGENCIES
- ALL STOCKPILE MATERIALS SHALL BE COVERED AND PROTECTED FROM THE ELEMENTS WITH A NON-PERMEABLE SEAL OR MEMBRANE SO AS TO PREVENT SOIL EROSION FROM OCCURRING. THIS COVER SHALL BE SECURED WITH ANCHORS OR WEIGHTS OF SUFFICIENT SIZE AND FREQUENTLY TO PREVENT DISRUPTION OR REMOVAL AFTER ANY INCLEMENT WEATHER. THIS COVER SHALL BE AS INDICATED IN DETAIL ON THIS SHEET. ALL MEMBRANE AND COVERINGS SHALL BE INSTALLED AND MAINTAINED PER THE CONTRACTOR OR HIS REPRESENTATIVE (A PRE-EXISTENT AND REGULAR BASIS. SPECIALLY BEFORE AND AFTER ANY INCLEMENT WEATHER, WITH ANY NECESSARY REPAIRS BEING IMMEDIATELY PERFORMED. COVERINGS SHALL REMAIN IN PLACE UNTIL THE STOCKPILE IS READY TO BE REMOVED FROM THE SITE AT WHICH TIME THEY MAY BE REMOVED AND DISPOSED OF BY THE CONTRACTOR
- EARTHEN BERM, STRAW REEF FILL, TUBES AND/OR GEOTEXTILE FABRIC BARRIER OR FENCING SHALL BE CONSTRUCTED AS SHOWN TO PREVENT OUF-FLOW OF SEDIMENT-LADEN RUNOFF. OR THE EROSION OF BANKS OR ROADWAYS. ALL SUCH TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED UPON PROJECT COMPLETION AND SUCCESSFULLY ESTABLISHED VEGETATION HAS BEEN ESTABLISHED. HAY BARRIERS WILL NOT BE USED
- ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS, SWEEP ON A REGULAR BASIS, TO THE SATISFACTION OF THE ON-SITE INSPECTORS
- SWEEP OR VACUUM THE STREET PAVEMENT AND SIDEWALKS ADJOINING THE PROJECT SITE AND THE ON-SITE PAVED AREAS ON A DAILY BASIS. SWEEP CONCERNS DIRT FROM THESE AREAS BEFORE SWEEPING. CURBS AND HARD TO REACH AREAS SHALL BE SWEEP MANUALLY
- PERSON RESPONSIBLE FOR EROSION CONTROL IMPLEMENTATION TO BE DETERMINED
- WHEEL WASHERS SHALL BE INSTALLED AND USED TO CLEAN ALL TRUCKS AND EQUIPMENT LEAVING THE CONSTRUCTION SITE. IF WHEEL WASHERS CANNOT BE INSTALLED, TRUCKS OR TRACTORS OF ALL TYPES AND EQUIPMENT SHALL BE WASHED BEFORE LEAVING THE CONSTRUCTION SITE

TREE/PLANT PROTECTION NOTES:

- PRIOR TO BEGINNING CONSTRUCTION ON SITE, CONTRACTOR SHALL IDENTIFY, CONFIRM WITH OWNER AND PROTECT EXISTING TREES AND PLANTS DESIGNATED AS TO REMAIN
- PROVIDE 8 FOOT TALL TREE PROTECTION FENCE WITH DIRECTIONAL MARKING VISIBLE TO CONSTRUCTION TRAFFIC. INCLUDING SIGNAGE. CONSTRUCTION IS COMPLETED TO REMAIN
- WORK REQUIRED WITHIN TREE LINE SHALL BE HELD TO A MINIMUM. VOID NECESSARY MOVEMENT OF HEAVY EQUIPMENT WITHIN DESIGNATED AREA AND DO NOT PARK ANY VEHICLES UNDER DRIP LINE OF TREES. DO NOT STORE EQUIPMENT OR MATERIALS WITHIN FENCE LINE
- PRIOR TO REMOVING ROOTS AND BRANCHES LARGER THAN 2" IN DIAMETER OF TREES OR PLANTS THAT ARE TO REMAIN, CONSULT WITH THE OWNERS PROJECT MANAGER
- ANY GRADE CHANGES GREATER THAN 12" WITHIN THE DRUMPLE OF EXISTING TREES SHALL NOT BE MADE WITHOUT FIRST CONSULTING THE LANDSCAPE ARCHITECT/CIVIL ENGINEER
- PROTECT EXISTING TREES TO REMAIN FROM SPILLED CHEMICALS, FUEL, OIL, MOTOR OIL, GASOLINE AND ALL OTHER CHEMICALLY INJURIOUS MATERIAL, AS WELL AS FROM PILING, CUTTING OR CONTINUOUS RAINING WATER. SHOULD A SPILL OCCUR, STOP WORK IN THAT AREA AND CONTACT THE CITY'S ENGINEER IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE TO MITIGATE DAMAGE FROM SPILLED MATERIAL, AS WELL AS MATERIAL CLEAN UP
- PROTECT TEMPORARY IRRIGATION ON ALL TREES AND PLANTS THAT ARE IN OR ADJACENT TO CONSTRUCTION AREAS WHERE EXISTING IRRIGATION SYSTEMS MAY BE AFFECTED BY THE CONSTRUCTION. ALSO PROVIDE TEMPORARY IRRIGATION TO RELOCATED TREES
- CONTRACTOR SHALL BE RESPONSIBLE FOR Ongoing MAINTENANCE OF ALL TREES DESIGNATED TO REMAIN AND FOR MONITORING THE EARTHWORK QUANTITIES. DO NOT ISSUE ANY CHANGES TO THE FINISH GRADES SHOWN ON THESE DRAWINGS WILL BE PERMITTED
- CONSULT WITH LANDSCAPE ARCHITECT SHOULD SPECIAL CIRCUMSTANCES ARISE OR QUESTIONS ARISE REGARDING THESE PROCEDURES

DEMOLITION NOTES:

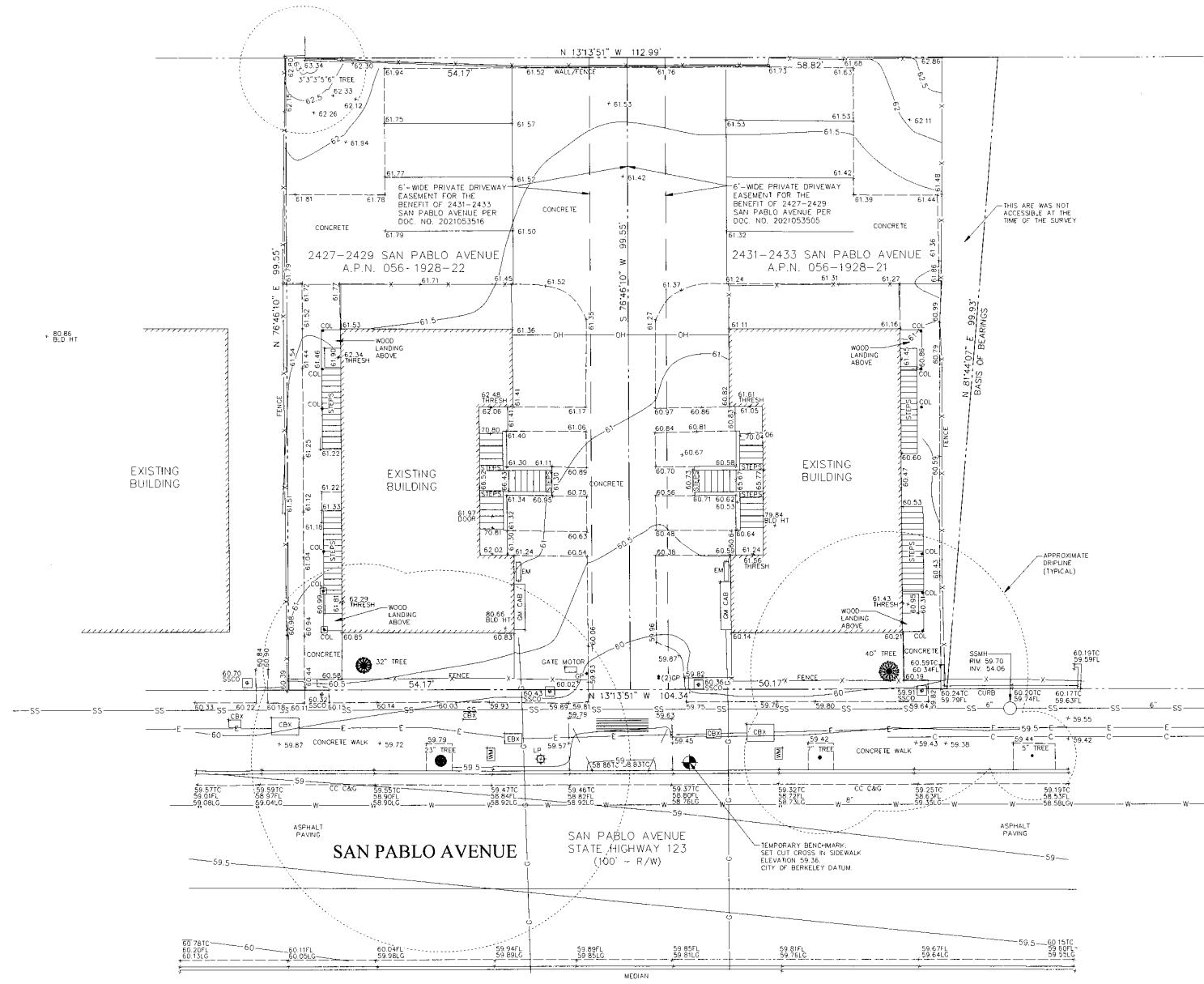
- DEMOLITION AND CONSTRUCTION WORK MAY BE PERFORMED OVER THE TOP OF AND AROUND TELEPHONE AND POWER SERVICES. CONTRACTOR SHALL WORK FROM WITHIN ALL AREAS WHERE THESE SERVICES MIGHT BE HARMED BY LARGER, LESS PRECISE EQUIPMENT
- THE CONTRACTOR SHALL LOCATE AND CLEARLY MARK (AND THEN PRESERVE THESE MARKERS) FOR THE DURATION OF CONSTRUCTION OF ALL TELEPHONE, DATA, STREET LIGHT, SIGNAL LIGHT AND POWER FACILITIES THAT ARE IN OR NEAR THE AREA OF CONSTRUCTION
- CONTRACTORS BIDS TO INCLUDE ALL VISIBLE SURFACE AND ALL SUBSURFACE FEATURES IDENTIFIED AND REMOVED OR ABANDONED IN THESE DOCUMENTS
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY FOR ENCRORPAMENT, GRADING, DEMOLITION AND DISPOSAL OF BAO MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS. THE CONTRACTOR SHALL PAY ALL FEES ASSOCIATED WITH THE DEMOLITION WORK
- CONTRACTOR SHALL PAY DISPOSAL FEES
- BACKFILL ALL DEPRESSIONS AND TRENCHES FROM DEMOLITION OR FOUNDATIONS UTILITIES TO THE SATISFACTION OF THE GEO-TECHNICAL ENGINEER
- WITHIN LIMITS OF WORK, REMOVE CURBS, OUTLETS, LANDSCAPE, SIGNAGE, TREES, SHRUBS, ASPHALT, UNDERGROUND PIPES, ETC. AS INDICATED ON THE DRAWINGS
- REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS TO THE SATISFACTION OF THE GEO-TECHNICAL ENGINEER
- PRIOR TO BEGINNING DEMOLITION WORK ACTIVITIES, CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES OUTLINED IN THE EROSION CONTROL PLAN & DETAILS
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING ALL DEMOLITION MATERIALS OR STORAGE SELECTED ITEMS BY OWNERS REPRESENTATIVE AT DESIGNATED LOCATIONS
- ABANDONED UTILITIES WITHIN THE LINE OF THE PROPOSED BUILDING FOOTPRINT SHOULD BE REMOVED IN THEIR ENTIRETY. UTILITIES OUTSIDE THE BUILDING AREA SHOULD BE REMOVED OR ABANDONED IN PLACE BY LOCATING AND PLUGGING ALL LATERALS AND ENDS OF PIPES WITH CONCRETE, AND THEN FILLING THE ENTIRE PIPE WITH GROUT. REMOVAL OF ANY UTILITIES WILL REQUIRE THAT ALL TRENCHES BE BACKFILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEO-TECHNICAL ENGINEER TO VERIFY COMPACTION VALUES

CAUTION:

- THE LOCATIONS, SIZE AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS PLAN WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH PRIOR TO ANY EXCAVATION OR IMPROVEMENT
- CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. PHONE: (800) 642-2444. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY WORK ON THIS SITE
- THESE DRAWINGS DO NOT ADDRESS CONTRACTOR MEANS, METHODS OR PROCEDURES THAT MAY BE ASSOCIATED WITH ANY TONIC SOLS IF FOUND ON SITE. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL CITY AND COUNTY STANDARDS AND APPROPRIATE REGULATIONS IF TONIC SOLS ARE ENCOUNTERED. CONTRACTOR MUST NOTIFY THE OWNER'S PROJECT MANAGER IMMEDIATELY IF ANY SOILS ARE EVEN SUSPECTED OF BEING CONTAMINATED

GENERAL SITE NOTES:

- CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING ON THIS WORK AND CONSIDER THE EXISTING CONDITIONS AND SITE CONSTRAINTS IN THE BID. CONTRACTOR SHALL BE IN THE POSSESSION OF AND FAMILIAR WITH ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS AND SPECIFICATIONS PRIOR TO SUBMITTING OF A BID
- ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS & SPECIFICATIONS
- CONTRACTOR AND HIS/HER SUBCONTRACTORS SHALL BE IN POSSESSION AND FAMILIAR WITH THE GEO-TECHNICAL REPORT BY VISHA CONSULTANTS, INC. (DA)183 4745920; JOB NO. P21-006
- PRIOR TO BEGINNING WORK, AND AFTER INITIAL HORIZONTAL CONTROL STAKING, CONTRACTOR SHALL FIELD CHECK ALL ELEVATIONS MARKED WITH (E) AND REPORT ANY DISCREPANCIES GREATER THAN 0.6" TO OWNERS PROJECT MANAGER
- DAMAGE TO ANY EXISTING SITE IMPROVEMENTS, UTILITIES AND/OR SERVICES TO REMAIN SHALL BE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND
- CONTRACTOR SHALL REPLACE ALL STRUCTURES AND GATE LIDS FOR VALVES, CATCH BASINS, ETC., WITH VEHICULAR TRAFFIC STRUCTURES IN ALL TRAFFIC ACCESSIBLE AREAS
- CONTRACTOR SHALL MAINTAIN THE EXISTING SITE IN A SAFE AND USABLE MANNER SUCH THAT EMERGENCY VEHICLE ACCESS IS AVAILABLE AT ALL TIMES. CONTRACTOR TO SUPPLY, INSTALL AND MAINTAIN ALL NECESSARY FENCING, GATES, SIGNAGE, TEMPORARY WALKWAYS AND PROVISIONS FOR ENSURING THE PROJECTS SECURITY AND SAFE PASSAGE THROUGH THE CAMPUS STAFF, STUDENTS AND VISITORS AT ALL TIMES
- CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY & REQUIRED PERMITS FOR THIS WORK
- NOTIFICATION PRIOR TO THE START OF THE WORK MUST BE GIVEN TO THE UNDERGROUND SERVICE ALERT (USA)
- CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING APPROVAL FROM DISTRICT PERSONNEL AND PROJECT ARCHITECT FOR THE LOCATION OF ALL STAGING, STORAGE, CONSTRUCTION OFFICE AND LAYOUT DRAIN AREAS
- CONSTRUCTION HOURS TO BE VERIFIED AND APPROVED BY DISTRICT AND LOCAL AGENCIES
- CONTRACTOR MUST HAVE OWNER REPRESENTATIVE OR ENGINEER/ARCHITECT FIELD REVIEW AND APPROVE FORMWORK PRIOR TO PLACING SITE CONCRETE FOR CURBS, RAMPS, STAIRS, WALKS, DRIVEWAYS AND RELATED FLATWORK
- IF ARCH/ECOLOGICAL MATERIALS ARE UNCOVERED DURING GRADING, TRENCHING OR OTHER ON-SITE EXCAVATION, ALL



LEGEND

- PROPERTY LINE
- CBX COMMUNICATION BOX
- CC C&G CONCRETE CURB & GUTTER
- COL COLUMN
- EBX ELECTRIC BOX
- EM ELECTRIC METER
- FM FIRE HYDRANT
- FL FLOWLINE
- GM GAS METER
- GP GATE POLE
- INV. INVERT
- LG LIP OF GUTTER
- LP LIGHT POLE
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- TC TOP OF CURB
- THRESH THRESHOLD
- WM WATER METER
- WV WATER VALVE
- TREE
- FENCE
- COMMUNICATION LINE
- ELECTRIC LINE
- GAS LINE
- OH OVERHEAD LINE
- SS SANITARY SEWER LINE
- W WATER LINE

LOT AREA:

A.P.N. 056-1928-21 = 5,425 SQ. FT. ± = 0.125 ACRES ±
 A.P.N. 056-1928-22 = 5,393 SQ. FT. ± = 0.124 ACRES ±

UTILITY NOTE:

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS. INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

EASEMENT NOTE:

EASEMENTS SHOWN ARE BASED ON A REVIEW OF DOC. NO.'S 2021053505 AND 2021053516, ALAMEDA COUNTY RECORDS. OTHER EASEMENTS, IF ANY, ARE NOT INDICATED HEREON.

BASIS OF BEARINGS:

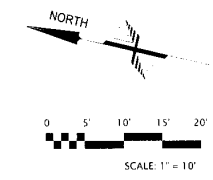
THE BEARING OF NORTH 81°44'07" EAST, TAKEN ON THE SOUTHERLY LINE OF THE SUBJECT PARCEL, AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED FEBRUARY 25, 2021 IN BOOK 47 OF RECORD OF SURVEY MAPS AT PAGE 37, OFFICIAL RECORDS OF ALAMEDA COUNTY WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

FLOOD ZONE NOTE:

THE SUBJECT PROPERTY LIES ENTIRELY WITHIN FLOOD ZONE "X", BASED ON FLOOD INSURANCE RATE MAP 06001C0056H, DATED DECEMBER 21, 2018.

TEMPORARY BENCHMARK:

THE TEMPORARY BENCHMARK USED FOR THIS SURVEY IS A CUT CROSS IN SIDEWALK (SEE PLAN FOR LOCATION), ELEVATION 59.36, CITY OF BERKELEY DATUM.



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 BERKELEY, CA



**FEASIBILITY
 STUDY**

PROJECT ISSUE RECORD:

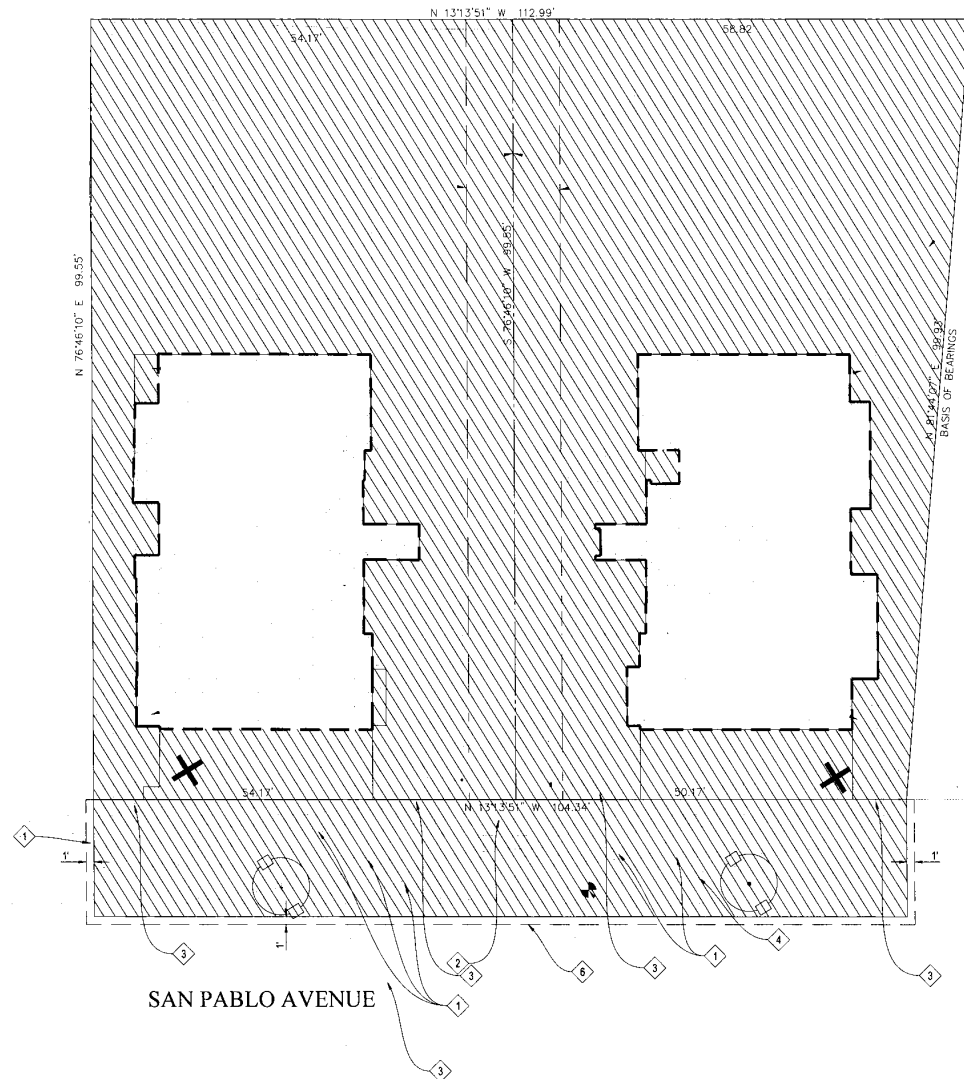
NO.	DATE	DESCRIPTION

PROJECT # ABC12

ISSUE DATE: 12/22/2016

TOPOGRAPHIC SURVEY
 PLAN

C1.2



DEMOLITION LEGEND

- TREE TO BE REMOVED. SEE LANDSCAPE PLANS.
- DEMOLITION AREA - ALL SITE FEATURES WITHIN THIS AREA ARE TO BE REMOVED, UNLESS NOTED TO REMAIN.
- EXISTING BUILDING STRUCTURE TO BE DEMOLISHED
- TREE PROTECTION TREES TO REMAIN

DEMOLITION KEYNOTES

- ① MAINTAIN ELECTRICAL STRUCTURES
- ② MAINTAIN SEWER LINE
- ③ REMOVE SEWER CLEAN OUT
- ④ REMOVE WATER METER
- ⑤ REMOVE GAS LINE
- ⑥ SAW CUT AND CONFORM

DEMOLITION NOTES

1. SEE ELECTRICAL PLANS FOR REMOVAL OR RELOCATION OF ALL ELEC/COMM CONDUITS, BOXES, LINE ETC.
2. SEE UTILITY PLAN FOR ALL NEW TIE-IN LOCATIONS AND ANY INSTANCES OF STORM, SANITARY SEWER, OR WATER BEING RELOCATED. ANY EXISTING UTILITIES NOT BEING USED ARE TO BE REMOVED.
3. ALL EXISTING SERVICES AND UTILITIES THAT ARE WITHIN THE LIMITS OF DEMOLITION AND ARE TO REMAIN OPERATIONAL SHALL BE RELOCATED AS NECESSARY.
4. ALL TREES THAT ARE TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION.
5. CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION OF PROPOSED UTILITIES, AND INFORM ENGINEER OF ANY CONFLICTS BEFORE PROCEEDING WITH WORK.
6. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INVERTS AND LOCATIONS PRIOR TO BEGINNING ANY WORK ON THIS SITE.



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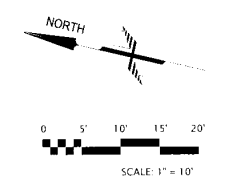
HOHBACH-LEWIN, INC.
 STRUCTURAL & CIVIL ENGINEERS
 202 Shendler Avenue, Suite 150
 Palo Alto, CA 94306
 (650) 617-5930 Fax (650) 617-5932

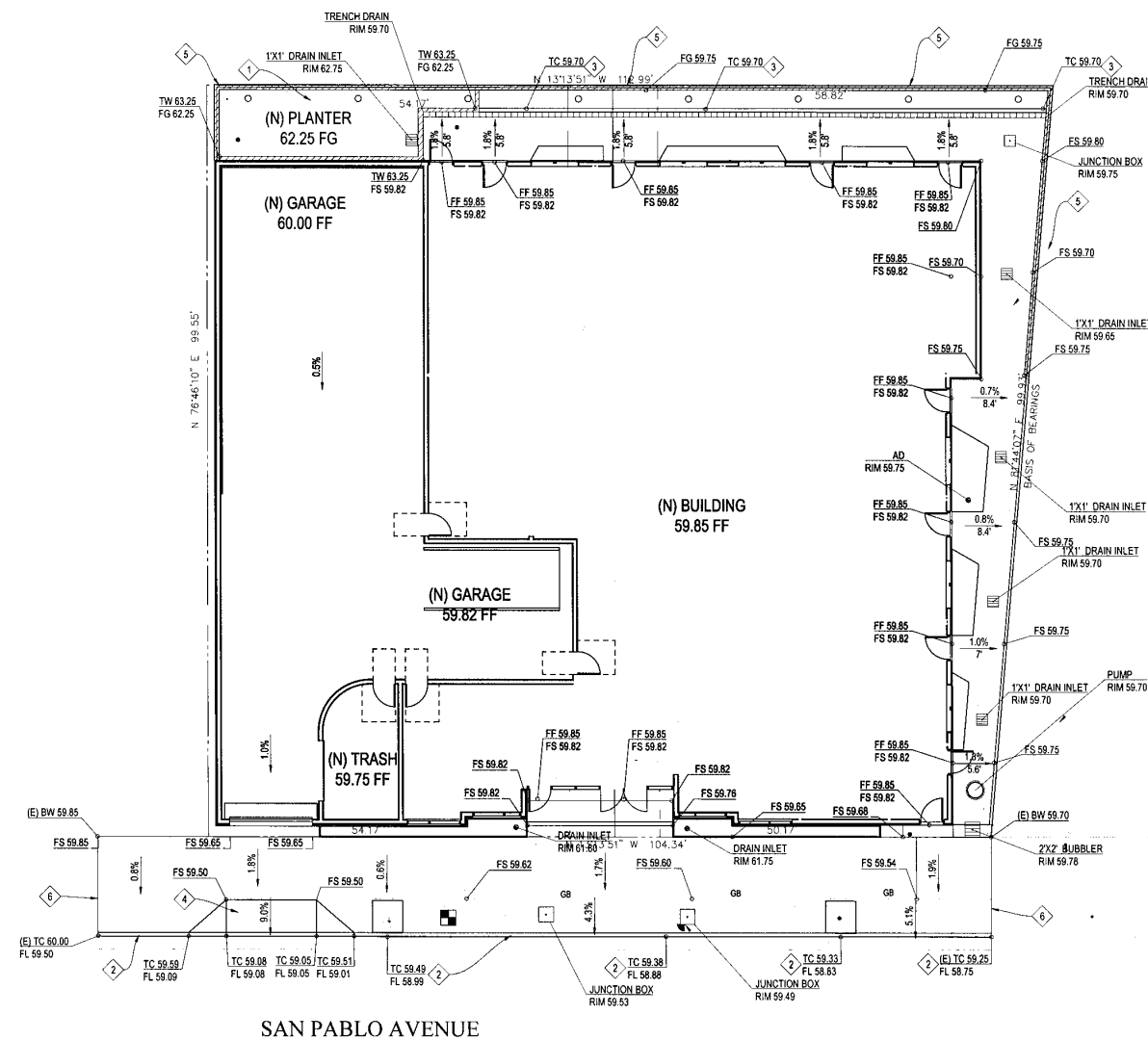
△ PROJECT ISSUE RECORD:

PROJECT #: ABC12
 ISSUE DATE: 12/2/2016

DEMOLITION PLAN

C2.0





GRADING LEGEND

- XX.XX GRADE ELEVATION
- X% SLOPE AND DIRECTION

GRADING KEYNOTES

- 1 RAISED BIO RETENTION PLANTER
- 2 INSTALL NEW CURB & GUTTER PER CITY STANDARDS
- 3 INSTALL NEW FLUSH CURB
- 4 NEW DRIVEWAY PER CITY STANDARDS
- 5 RETAINING SOUNDWALL SEE ARCHITECTURAL PLANS
- 6 SAWCUT AND CONFORM

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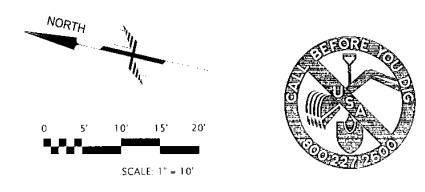
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 Palo Alto, CA 94309
 (650) 617-5630 Fax (650) 617-5932

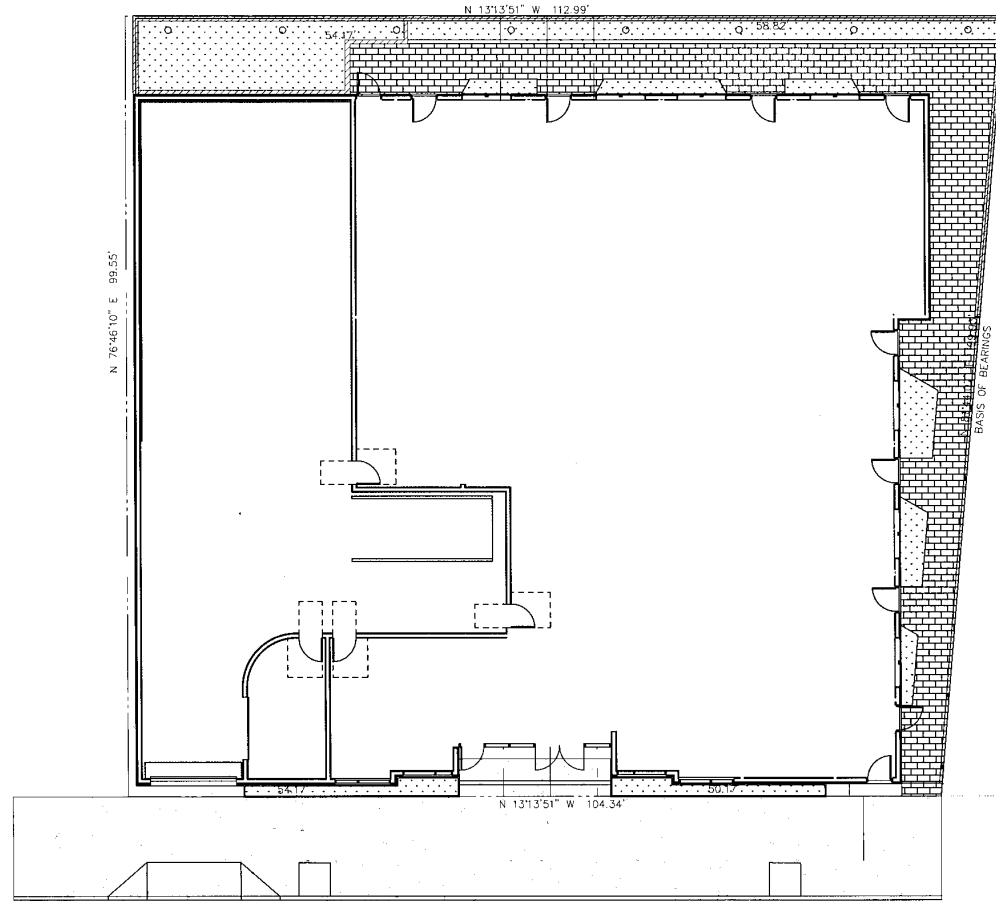
PROJECT ISSUE RECORD:

NO.	DATE	DESCRIPTION

PROJECT # ABC12
 ISSUE DATE 12/2/2016
 GRADING AND DRAINAGE PLAN






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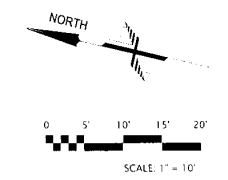


SAN PABLO AVENUE

PAVEMENT LEGEND

PAVEMENT SECTION TO BE APPROVED BY GEOTECHNICAL ENGINEER.
CONCRETE PAVEMENT SURFACES TO HAVE 28-DAY COMPRESSIVE STRENGTH OF AT LEAST 3,200 PSI. CONCRETE PAVING IN VEHICULAR TRAVEL AREA TO MEET ADTT (AVERAGE DAILY TRUCK TRAFFIC) OF 1.

-  SIDEWALK CONCRETE 5" CONCRETE W/ #4 @ 12" O.C. E.W. OVER 4" CLASS 2 BASEROCK COMPACTED TO 95% R.C. OVER NATIVE SOILS COMPACTED TO 90% R.C.
-  PERMEABLE PAVERS SEE ARCHITECTURAL PLANS
-  LANDSCAPE AREA



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No.	Description	Date

PROJECT #: ABC12

ISSUE DATE: 12/2/2016

PAVEMENT PLAN

C3.1



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Folsom, CA 94506
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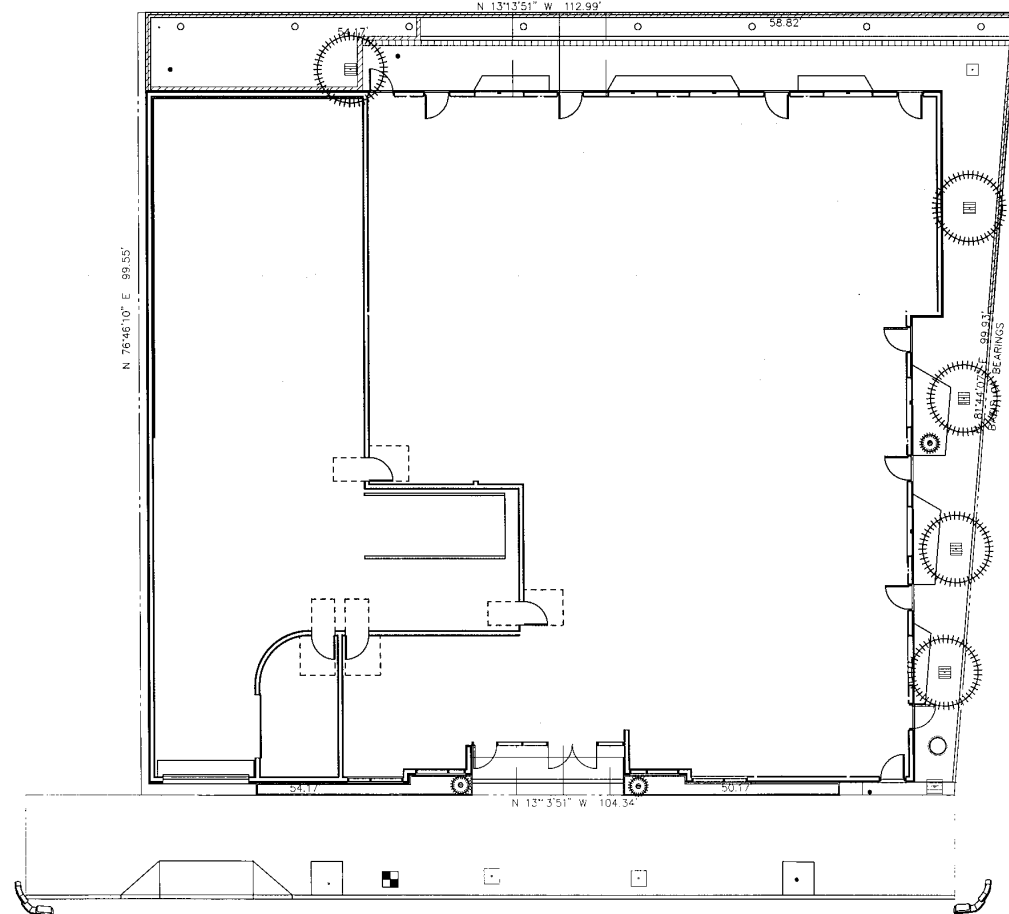
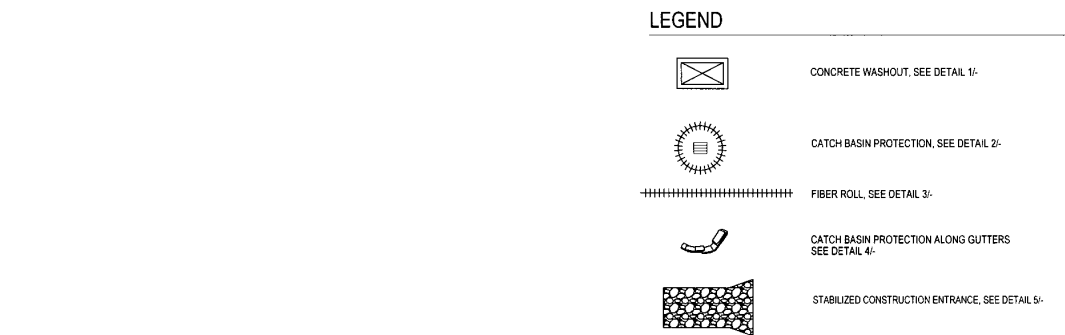
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NO.	DESCRIPTION

PROJECT # ABC12

ISSUE DATE: 12/27/16

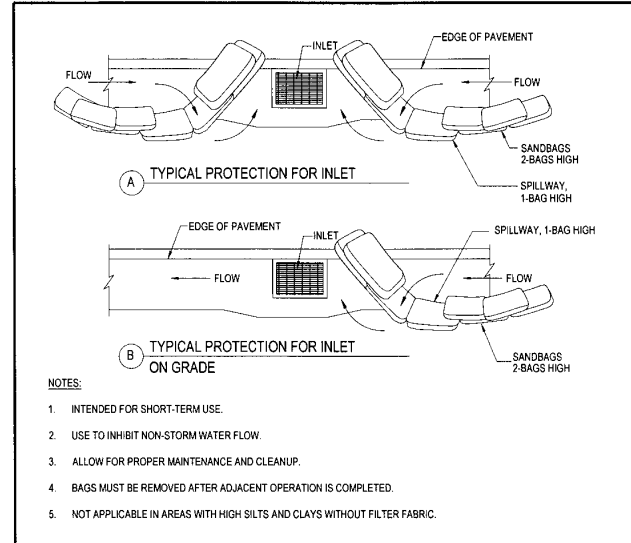
EROSION CONTROL
PLAN

C5.0

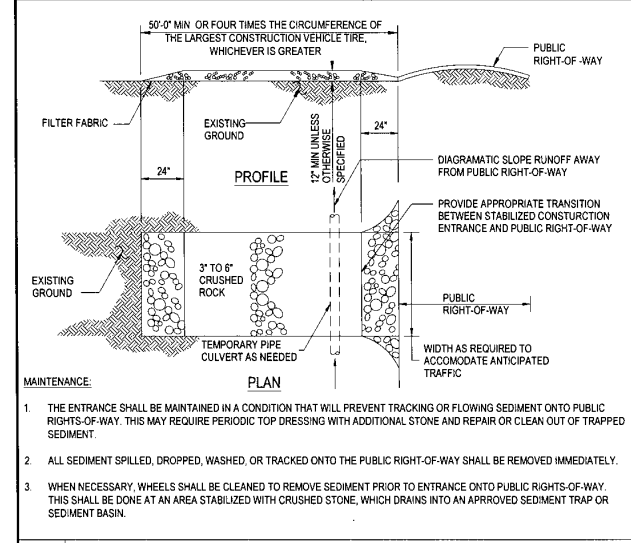


SAN PABLO AVENUE

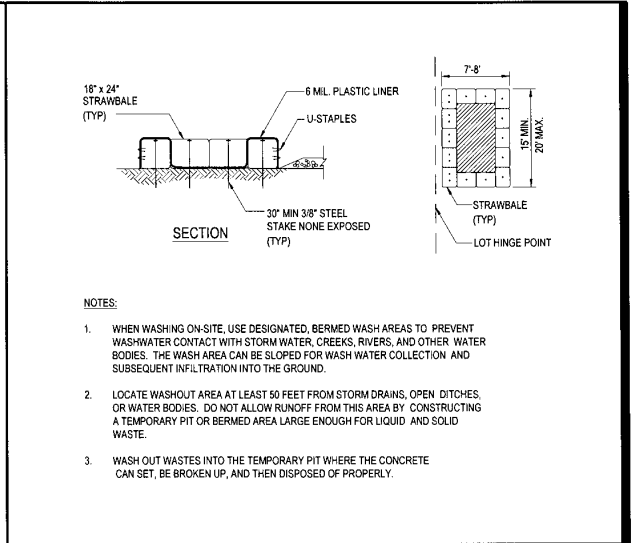
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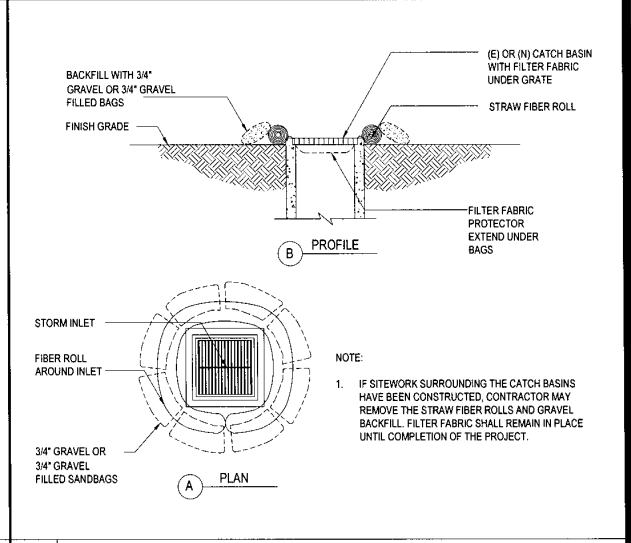
4 CATCH BASIN PROTECTION ALONG GUTTERS



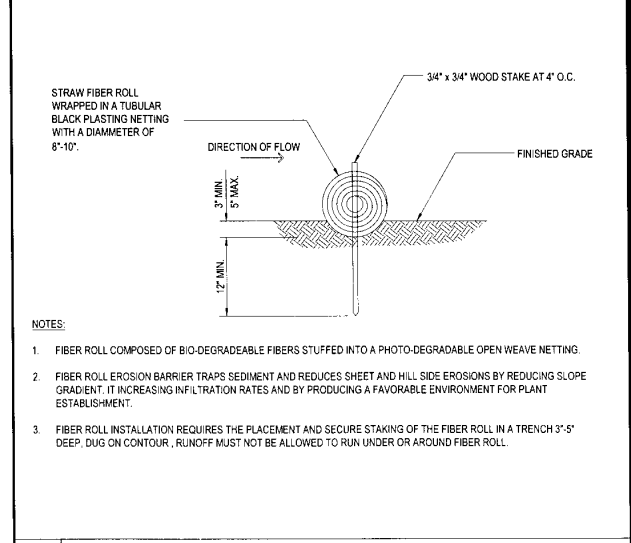
5 STABILIZED CONSTRUCTION ENTRANCE



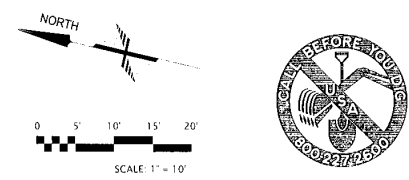
1 CONCRETE WASH AREA



2 CATCH BASIN PROTECTION (TYP.)



3 FIBER ROLL



HOBACH-LEWIN 01504133

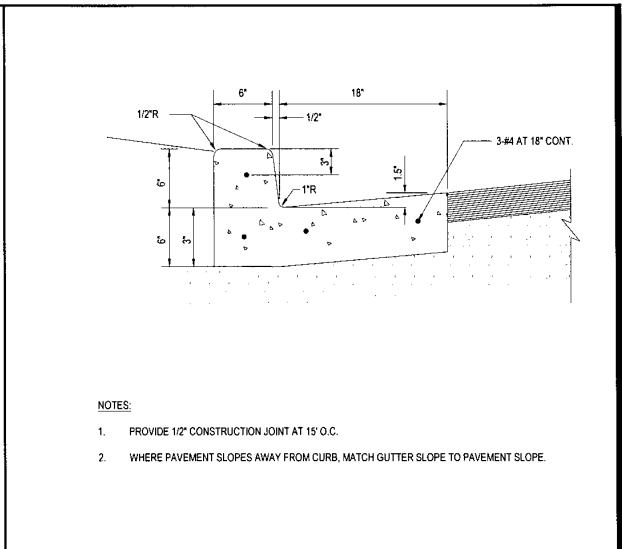
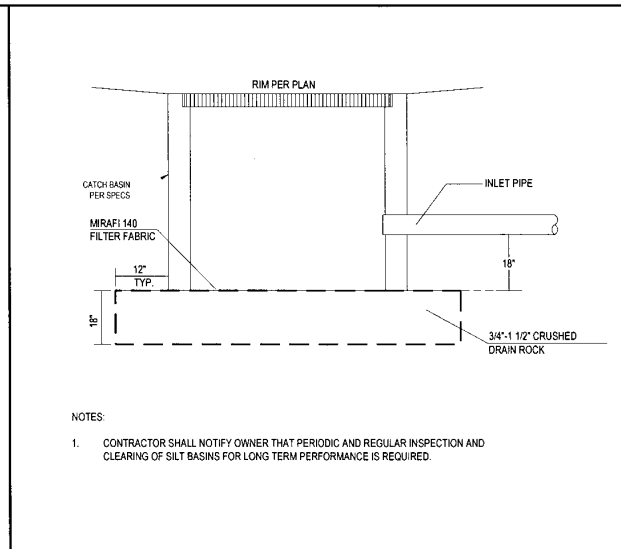
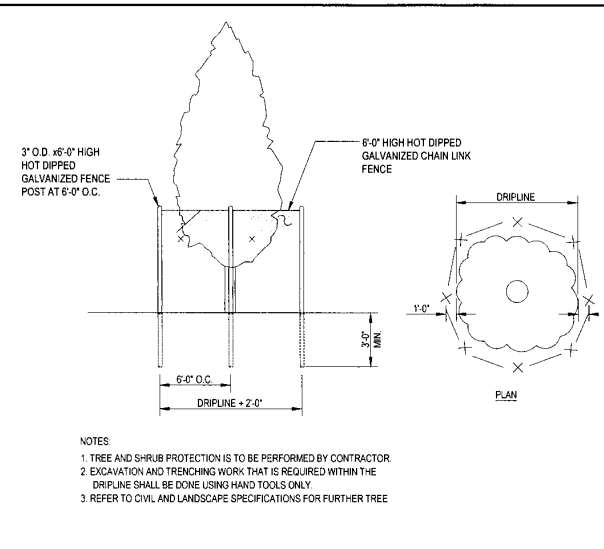
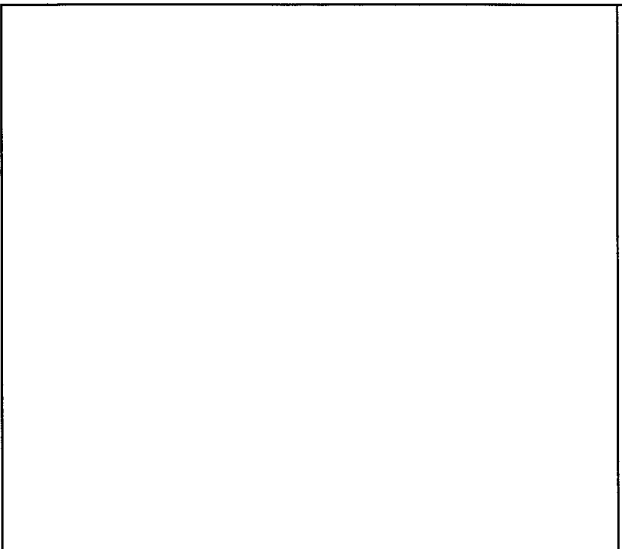
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G.L.A.**

2427-2433
SAN PABLO AVE
BERKELEY, CA

REGISTERED PROFESSIONAL ENGINEER
DANIEL G. LEWIN
NO. C38406
CIVIL
STATE OF CALIFORNIA

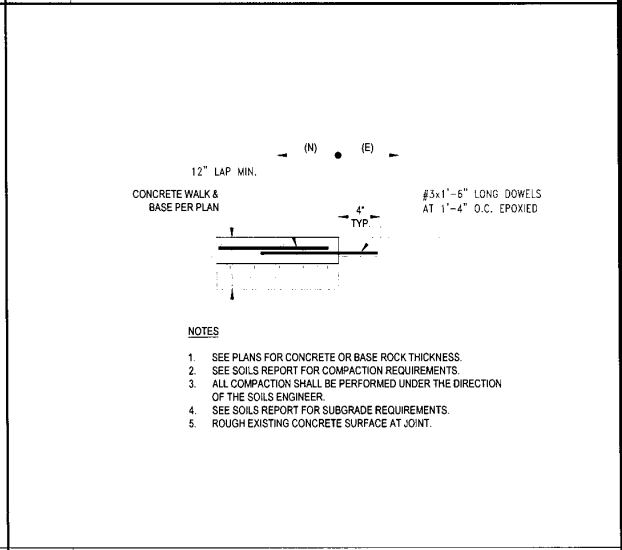
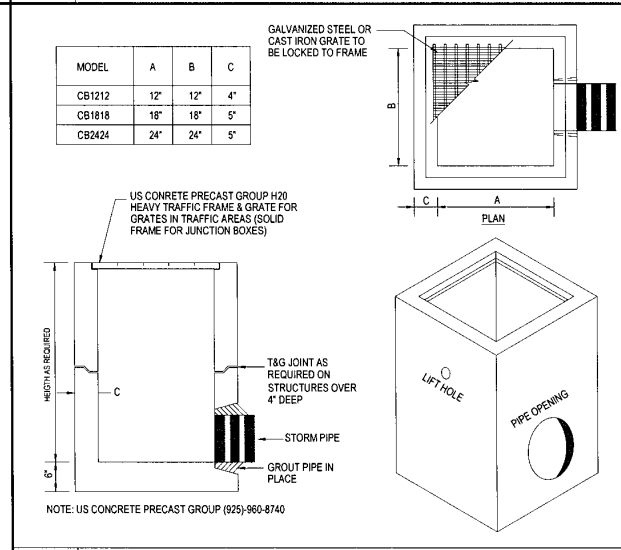
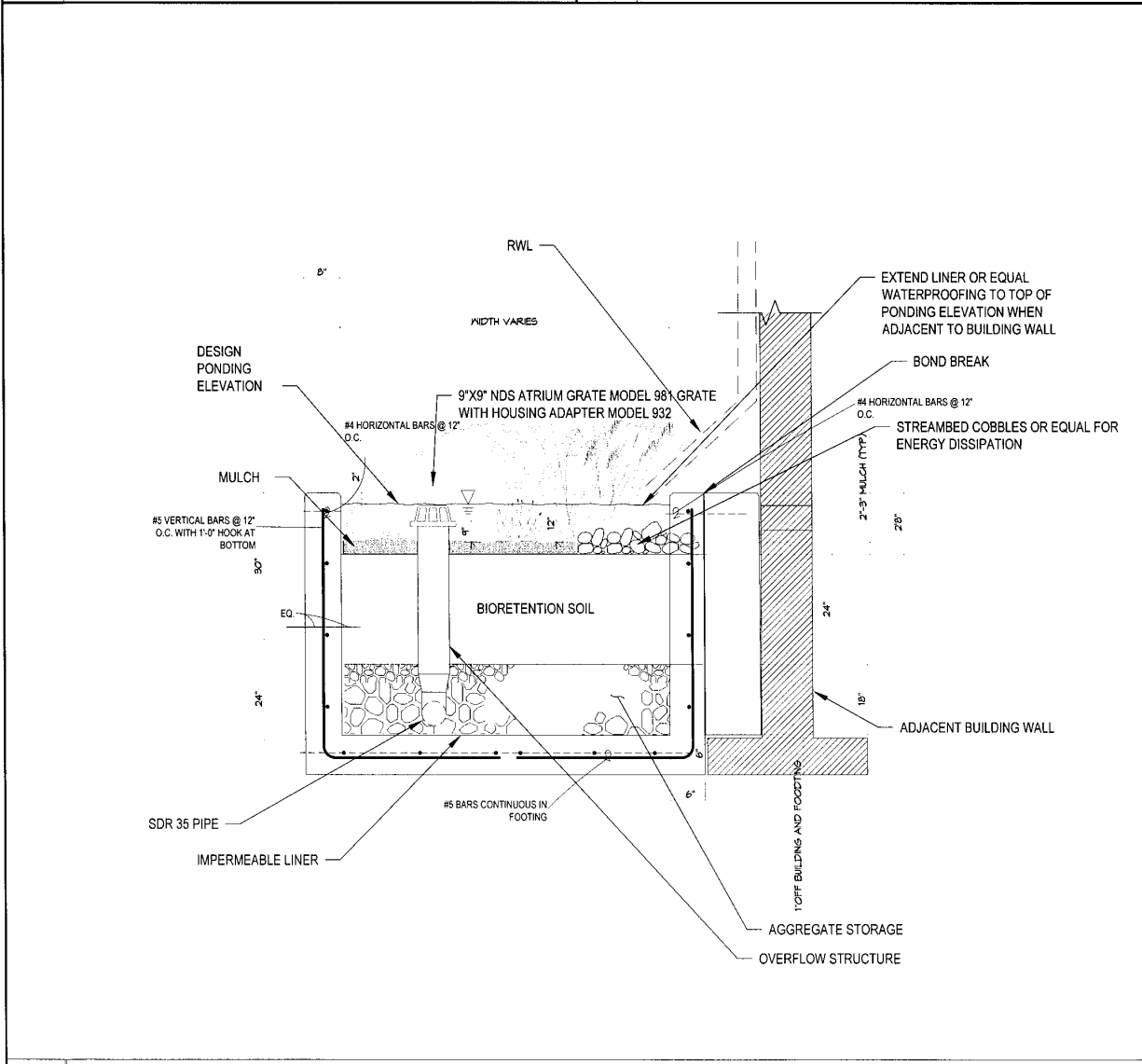


10

7 TREE PROTECTION

4 BUBBLER BOX

1 CURB & GUTTER DETAIL

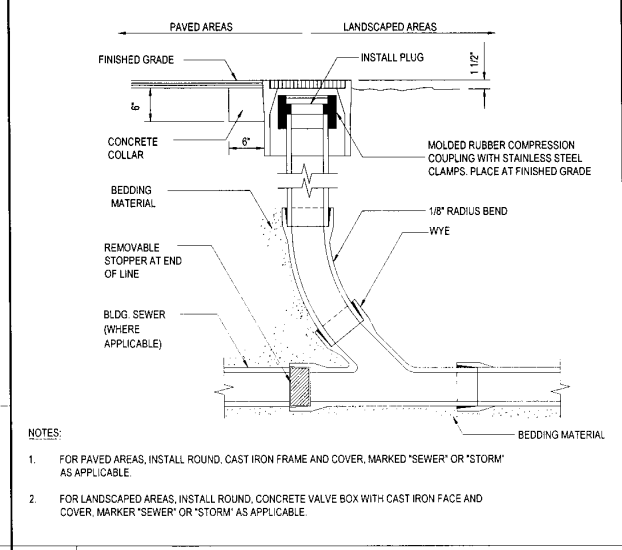
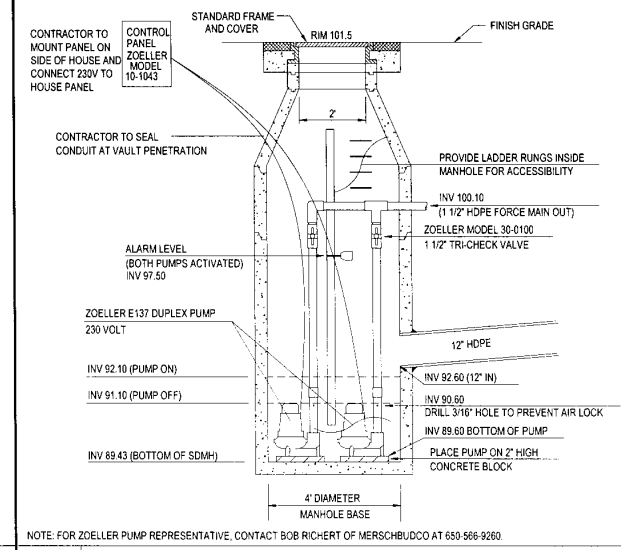


5 DRAIN INLET

2 NEW CONCRETE TO EXISTING CONCRETE CONNECTION

12 BIORETENTION PLANTER (SECTION VIEW)

NOT TO SCALE



6 PUMP VAULT (CASE A)

3 CLEANOUT TO GRADE

FEASIBILITY STUDY

HOBACH-LEWIN, INC.
STRUCTURAL & CIVIL ENGINEERS
280 Sheridan Avenue, Suite 150
Folsom, CA 95630
(916) 617-9922 Fax (916) 617-5932

PROJECT ISSUE RECORD:

NO.	DATE	DESCRIPTION

PROJECT #: ABC12
ISSUE DATE: 12/20/16
DETAILS

C6.0

Plot Date: Sep 6, 2022 - 10:31 AM

HOBACH-LEWIN 115941.31

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PROJECT TITLE
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 Design Development

DATE	DESCRIPTION	REV
02/09/22	DD PROGRESS	△
		△
		△
		△
		△
		△

SHEET TITLE
 LANDSCAPE SITE PLAN
 1st FLOOR

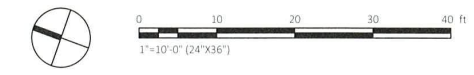
SCALE
 AS NOTED. SCALE IN FEET.

DRAWN DPC	PROJECT NUMBER 436
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SHEET NUMBER
L1.1
 1 OF 11



1
 L1.1 1ST FLOOR SITE PLAN



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02/09/22	DD PROGRESS	△
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		△

SHEET TITLE
 LANDSCAPE SITE PLAN
 2nd FLOOR

SCALE
 AS NOTED. SCALE IN FEET.

DRAWN DPC	PROJECT NUMBER 436
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SHEET NUMBER
L1.2
 2 OF 11



BALCONY PLANTER
 - ±30 S.F.

1
 L1.2 2ND FLOOR SITE PLAN



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Design Development

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02/09/22	DD PROGRESS	△
		△
		△
		△
		△
		△

SHEET TITLE

LANDSCAPE SITE PLAN
 4th FLOOR

SCALE

AS NOTED. SCALE IN FEET.

DRAWN	PROJECT NUMBER
DPC	436

SHEET NUMBER

L1.3

3 OF 11



1
 L1.4 4TH FLOOR SITE PLAN

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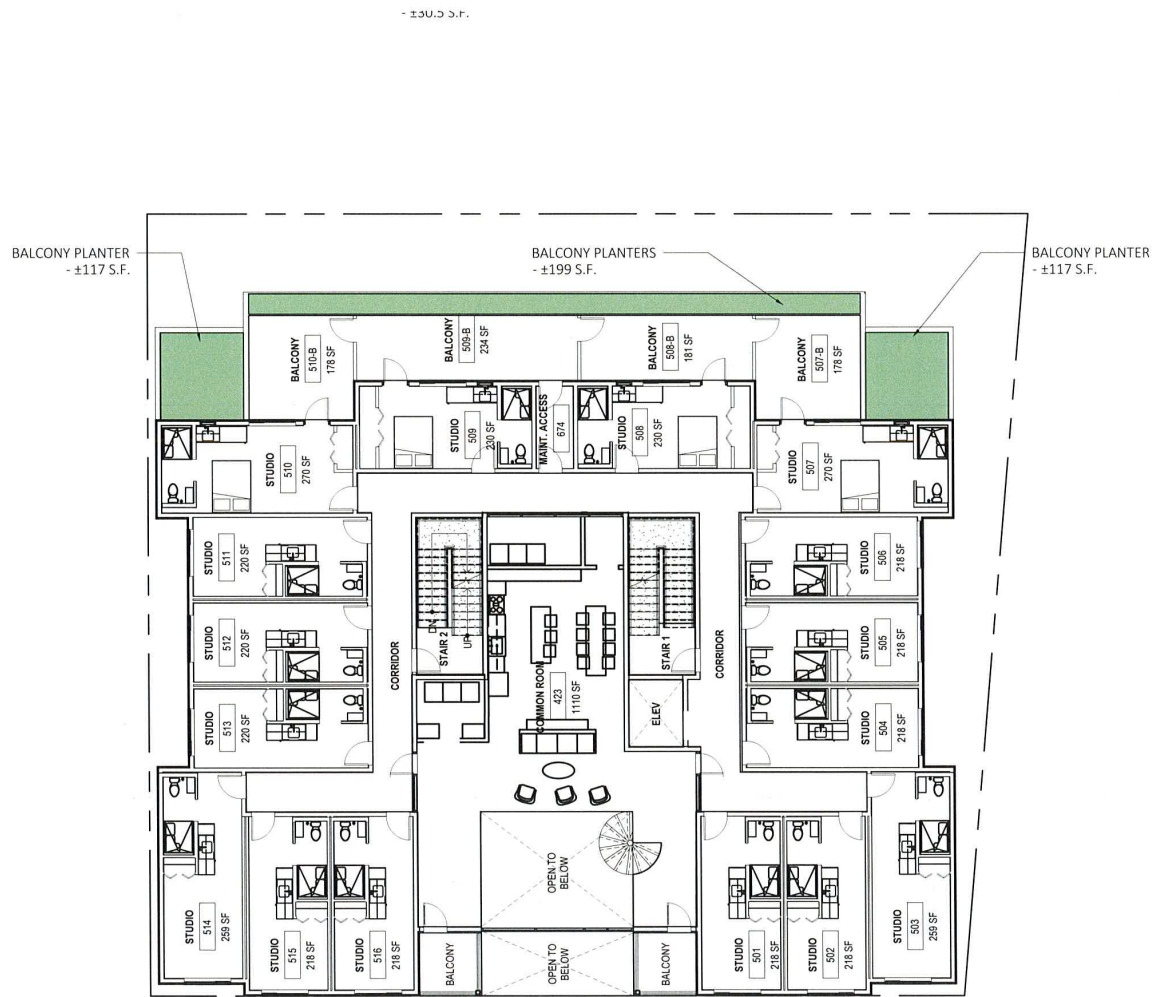
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SHEET TITLE
 LANDSCAPE SITE PLAN
 5th FLOOR

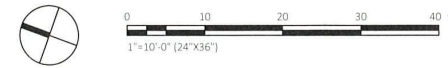
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DRAWN DPC	PROJECT NUMBER 436
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SHEET NUMBER
L1.4
 4 OF 11



1 5TH FLOOR SITE PLAN
 L1.5



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 Design Development

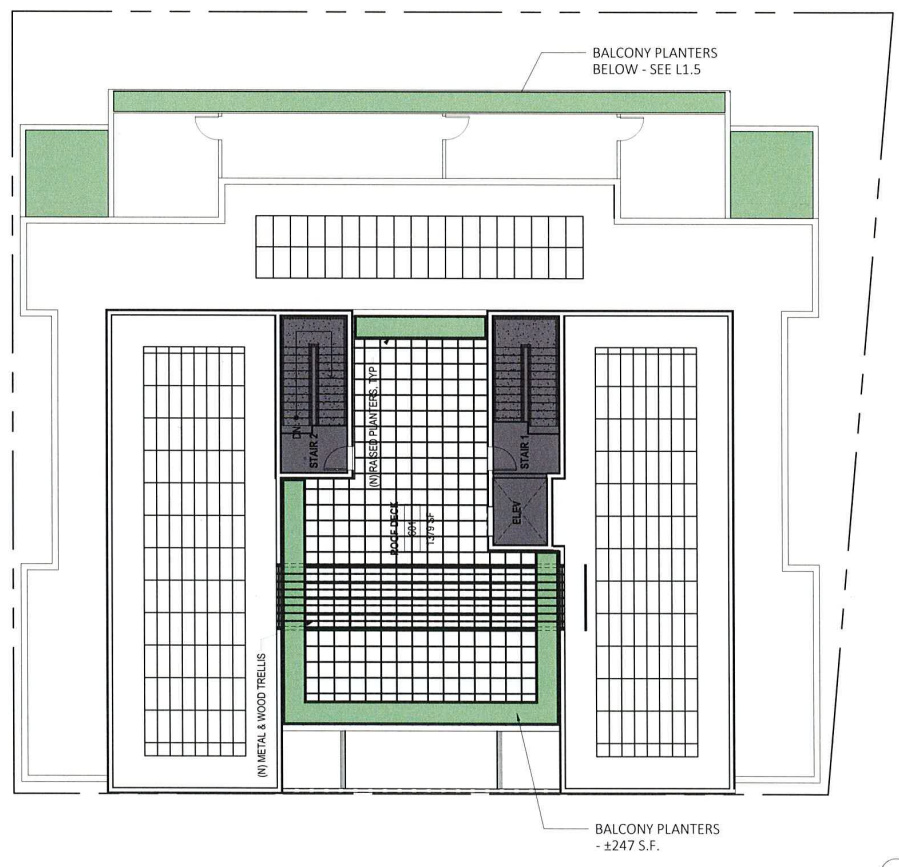
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SHEET TITLE
 LANDSCAPE SITE PLAN
 ROOF

SCALE
 AS NOTED. SCALE IN FEET.

DRAWN DPC	PROJECT NUMBER 436
--------------	-----------------------

SHEET NUMBER
L1.5
 5 OF 11



1 ROOF SITE PLAN
 L1.6



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SIGNED/STAMPED

PROJECT TITLE
**SAN PABLO
 AVE G.L.A.**
 2427-2433 San Pablo Ave
 Berkeley, CA
 APN xxx-xxx
 Design Development

DATE	DESCRIPTION	REV
02/09/22	DD PROGRESS	1
		2
		3
		4
		5
		6

SHEET TITLE
 PLANTING PLAN
 1st FLOOR

SCALE
 AS NOTED. SCALE IN FEET.

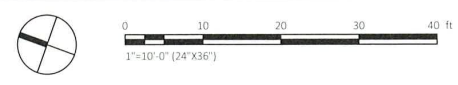
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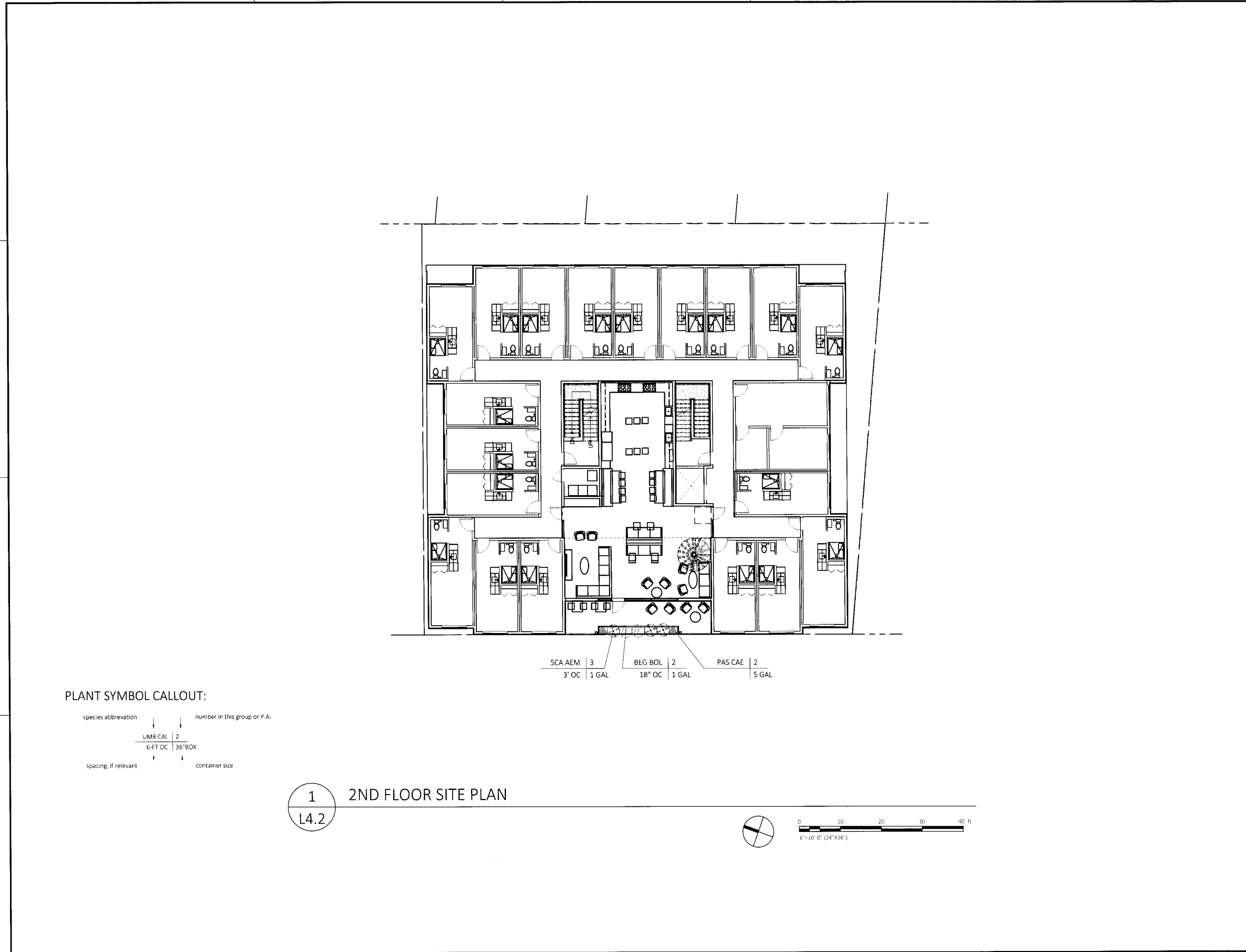
SHEET NUMBER
L4.1
 6 OF 11



PLANT SYMBOL CALLOUT:
 species abbreviation → number in this group or P.A.
 UMB CAL 2
 6-FT OC 36"BOX
 spacing, if relevant → container size

1 1st FLOOR SITE PLAN
 L4.1

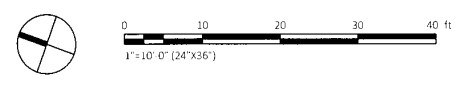




PLANT SYMBOL CALLOUT:

species abbreviation	↓	number in this group or P.A.
UMB CAL	↓	2
6-FT OC	↓	36" BOX
spacing, if relevant	↓	container size

1
 L4.2 2ND FLOOR SITE PLAN



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 Berkeley, CA 94703
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PROJECT TITLE
**SAN PABLO
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 2427-2433 San Pablo Ave
 Berkeley, CA
 APN xxx-xxx
 Design Development

DATE	DESCRIPTION	REV
02/09/22	DD PROGRESS	△
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		△
		△
		△
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SHEET TITLE
 PLANTING PLAN
 2nd FLOOR

SCALE
 AS NOTED. SCALE IN FEET.

DRAWN
 DPC

PROJECT NUMBER
 436

SHEET NUMBER
L4.2
 7 OF 11

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PROJECT TITLE
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 Berkeley, CA
 APN xxx-xxx
 Design Development

DATE	DESCRIPTION	REV
02/09/22	DD PROGRESS	1
		2
		3
		4
		5
		6

SHEET TITLE
**PLANTING PLAN
 4th FLOOR**

SCALE
 AS NOTED. SCALE IN FEET.

DRAWN: DPC PROJECT NUMBER: 436

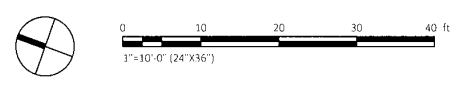
SHEET NUMBER
L4.3
 8 OF 11



PLANT SYMBOL CALLOUT:
 species abbreviation --- number in this group or P.A.
 UMB CAL 2
 6-FT OC 36" BOX
 spacing, if relevant --- container size

LON SEM 1 5 GAL PAS CAE 2 5 GAL CAL FES 3 1' OC 1 GAL SCA AEM 3 3' OC 1 GAL LON SEM 1 5 GAL

1
 L4.4 4TH FLOOR SITE PLAN



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 APN xxx-xxx
 Design Development

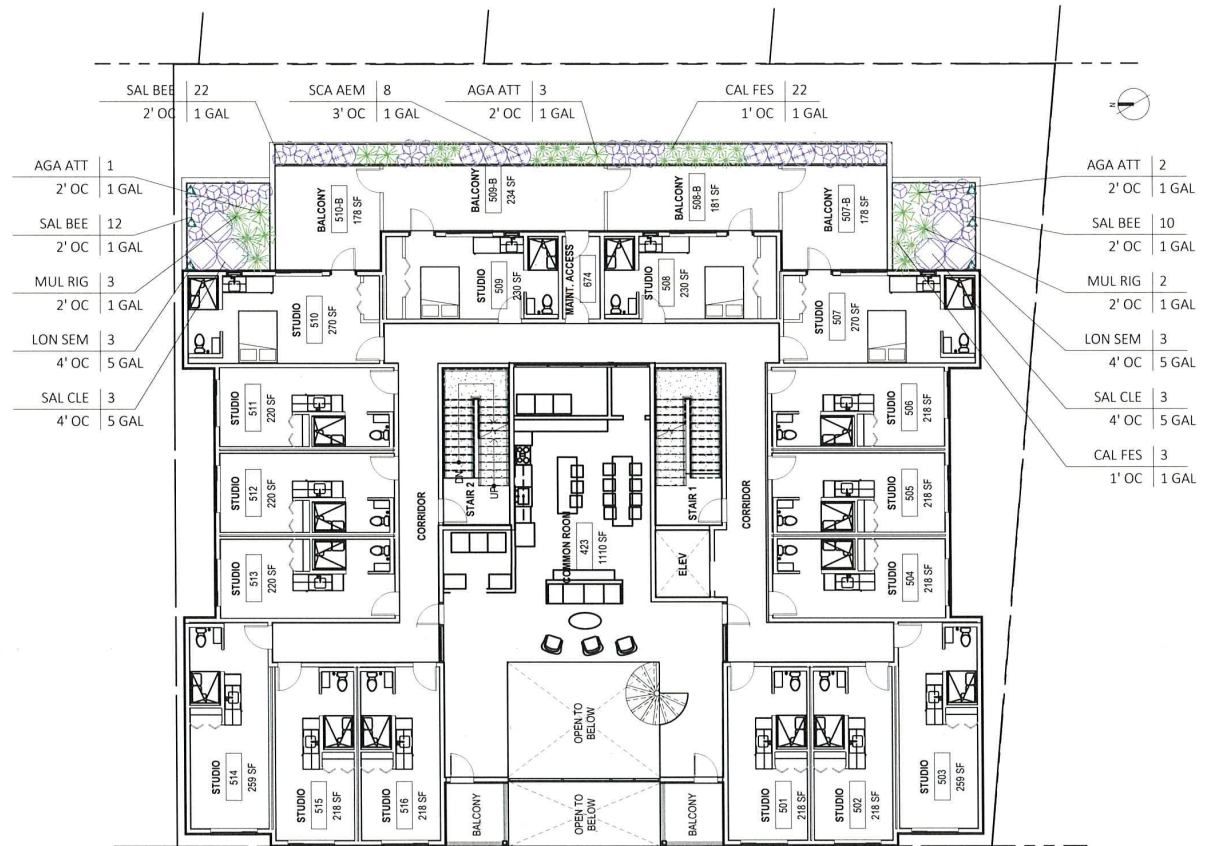
DATE	DESCRIPTION	REV
02/09/22	DD PROGRESS	△
		△
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		△
		△
		△

SHEET TITLE
 PLANTING PLAN
 5th FLOOR

SCALE
 AS NOTED. SCALE IN FEET.

DRAWN: DPC PROJECT NUMBER: 436

SHEET NUMBER
L4.4
 9 OF 11



PLANT SYMBOL CALLOUT:
 species abbreviation | number in this group or P.A.
 UMB CAL | 2
 6-FT OC | 36" BOX
 spacing, if relevant | container size

1 5TH FLOOR SITE PLAN
 L4.5



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 Design Development

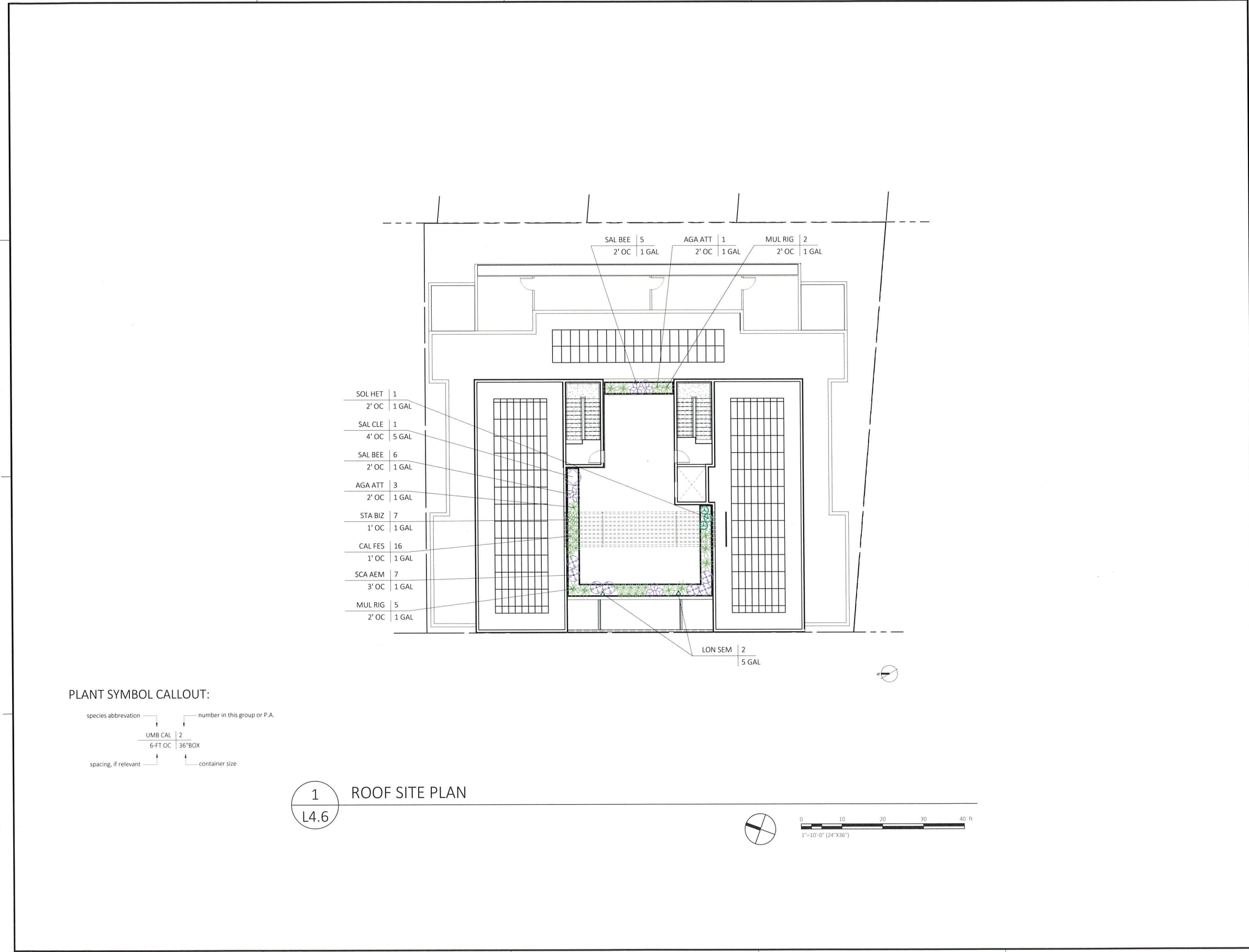
DATE	DESCRIPTION	REV
02/09/22	DD PROGRESS	△
		△
		△
		△
		△
		△

SHEET TITLE
 PLANTING PLAN
 ROOF

SCALE
 AS NOTED. SCALE IN FEET.

DRAWN: DPC PROJECT NUMBER: 436

SHEET NUMBER
L4.5
 10 OF 11



PLANT SYMBOL CALLOUT:
 species abbreviation → UMB CAL 2
 number in this group or P.A. → 2
 spacing, if relevant → 6-FT OC
 container size → 36"BOX

1 ROOF SITE PLAN
 L4.6

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PROJECT TITLE

SAN PABLO AVE G.L.A.

2427-2433 San Pablo Ave
Berkeley, CA

APN xxx-xxx

Design Development

DATE	DESCRIPTION	REV
02/09/22	DD PROGRESS	
		△
		△
		△
		△
		△
		△

SHEET TITLE

PLANTING PALETTE PLANTING LIST & MWELo CALCULATIONS

SCALE
AS NOTED. SCALE IN FEET.

DRAWN PROJECT NUMBER
DPC 436

SHEET NUMBER
L4.6
11 OF 11

TREES



GLE TRI
GLEDITSIA TRICANTHOS 'MORAINÉ'
MORAINÉ HONEYLOCUST

PLANT LIST

SYMBOL	SCIENTIFIC NAME	COMMON NAME	FORM	MAX HT	MAX SP	SUN	PS	SHD	WATER	36"	24"	#15	#5	#1
TREES														
GLE TRI	GLEDITSIA TRICANTHOS 'MORAINÉ'	MORAINÉ HONEYLOCUST	TREE	50'	50'	X			Low				6	
SHRUB														
MIM AUR	MIMULUS AURANTIACUS	STICKY MONKEY FLOWER	SHRUB	2-3'	2-3'	X	X	X	V. Low				33	
ROS CAL	ROSA CALIFORNICA	CALIFORNIA ROSE	SHRUB	3-10'	3-10'	X	X	X	Low				3	
SAL BEE	SALVIA 'BEE'S BLISS'	CREEPING SAGE	SHRUB	8"	1'-3'	X			Low				55	
SAL CLE	SALVIA CLEVELANDII	BLUE SAGE	SHRUB	4-5'	4-5'	X			Low				13	
SOL HET	SOLLYA HETEROPHYLLA	AUSTRALIAN BLUEBELL CREEPER	SHRUB	3-6'	3-6'	X	X		Low				6	
PERENNIALS														
BEG BOL	BEGONIA BOLIVIENSIS 'SANTA CRUZ'	TRAILING BEGONIA	PERENNIAL	1-2'	1-2'	X	X	X	Med				5	
SCA AEM	SCAEVOLA AEMULA	FAN FLOWER	PERENNIAL	2'	2-3'	X			Low				24	
STA BYZ	STACHYS BYZANTINA	LAMB'S EARS	PERENNIAL	1-2'	1-2'	X	X	X	Low				7	
SUCCULENTS														
AGA ATT	AGAVE ATTENUATA	FOX TAIL AGAVE	SUCCULENT	2-3	2-3	X	X		Low				25	
GRASSES AND SEDGES														
CAL FES	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	GRASS	2-3	1-2	X	X		Low				62	
MUL RIG	MUHLENBERGIA RIGENS	DEER GRASS	GRASS	4	4	X	X		Low				19	
VINES														
LON SEM	LONICERA SEMPERVIRENS 'MAGNIFICA'	TRUMPET HONEYSUCKLE	VINE	8-15'	3-6'	X	X		Med				10	
PAS CAE	PASSIFLORA CAERULEA	PASSION VINE	VINE	10-25'	3-6'	X	X		Med				4	
TRA JAS	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	VINE	3-6'	3-6'	X	X	X	Med				15	

SHRUBS



MIM AUR
MIMULUS AURANTIACUS
STICKY MONKEY FLOWER

ROS CAL
ROSA CALIFORNICA
CALIFORNIA ROSE

SAL BEE
SALVIA 'BEE'S BLISS'
CREEPING SAGE

SAL CLE
SALVIA CLEVELANDII
BLUE SAGE

SOL HET
SOLLYA HETEROPHYLLA
AUSTRALIAN BLUEBELL CREEPER

PERENNIALS



BEG BOL
BEGONIA BOLIVIENSIS 'SANTA CRUZ'
TRAILING BEGONIA

SCA AEM
SCAEVOLA AEMULA
FAN FLOWER

STA BYZ
STACHYS BYZANTINA
LAMB'S EARS

SUCCULENTS



AGA ATT
AGAVE ATTENUATA
FOX TAIL AGAVE

GRASSES



FES CAL
FESTUCA CALIFORNICA
CALIFORNIA FESCUE

MUH RIG
MUHLENBERGIA RIGENS
DEER GRASS

VINES



LON SEM
LONICERA SEMPERVIRENS 'MAGNIFICA'
TRUMPET HONEYSUCKLE

PAS CAE
PASSIFLORA CAERULEA
PASSION VINE

TRA JAS
TRACHELOSPERMUM JASMINOIDES
STAR JASMINE

MWELo CALCULATIONS:

Flow-Through Planter Areas:
Area: 450 s.f. = 4.5 gpm

Low Water Use On-grade Planting Areas:

Area: 362 s.f. = 1 gpm

Tree/Vine Planting (@25 s.f./tree & 4 s.f./vine)
Area: 190 s.f. = 4 gpm*

On-Structure Planting (Light-Weight Soil Mix)
Area: 1,143 s.f. = 11.5 gpm

Total area of planting: 2,688 s.f.

Max. Applied Water Allowance
= $ET_o \times 0.62 \times [0.7 \times \text{Landscape Area}]$
MAWA = $41.8 \times 0.62 \times [0.7 \times 2,145]$
= 38,913 gals/year

Est. Total Water Use
= $ET_o \times 0.62 \times \text{Plant Factor} \times \text{Landscape Area}$

Irrigation Efficiency
 $ETWU = 41.8 \times 0.62 \times [(0.2 \times 450)/0.75] = 3,110 \text{ gals/year} +$
 $41.8 \times 0.62 \times [0.2 \times 362/0.85] = 1,595 \text{ gals/year} +$
 $41.8 \times 0.62 \times [0.2 \times 190/0.65] = 1,515 \text{ gals/year} +$
 $41.8 \times 0.62 \times [0.2 \times 1143/0.5] = 11,848 \text{ gals/year}$
= 18,065 gals/year

*during establishment period only

2427-2433 San Pablo Way Berkeley, CA 94702

Applicant Statement

November 30, 2022 (Revised 3/3/2023)

Project Overview

We are pleased to present this application to provide expanded housing capacity along the San Pablo Avenue corridor by way of a proposed 5-story mixed-use building. The project, located in the C-W District and within San Pablo Designated Node, is designed to add new housing options to the area by way of garden apartment units and Group Living Accommodations (GLA) / Single Room Occupancy units. The proposed project also includes a ground floor retail space and a private parking garage. While the proposal does include the demolition of two existing multi-family buildings, totaling eight 1-bedroom units, the project adds a total of 77 private residential rooms and replaces the 8 rent-controlled apartment for a total of 85 new housing units.

Zoning Information

Existing Building Information:

The current 2-story, 2,150 square foot multi-family buildings (totaling 4,300 square feet) located on abutting parcels (totaling 10,820 square feet) are located at 2427 San Pablo Avenue & 2433 San Pablo Avenue. While built in 1943, neither building is of any substantial historical or architectural merit and offer “no exceptional value” to their neighborhood per the Historical Resource Report commissioned for this project. Their demolition will allow for the construction of the proposed project, including the replacement of the eight existing rent-controlled units.

Proposed Building Information:

The proposed building, located in the C-W zone & San Pablo Designated Node, will be comprised of 5 stories, including a ground floor mezzanine level. The ground floor program includes a 500 sqft retail space facing San Pablo Avenue, a private parking garage with 15 spaces, 7 lofted one-bedroom garden apartment units (with lofts) accessed from a separate entry, and the main residential lobby. The GLA / SRO component of the project will be comprised of 30,265 sqft on 4-floors with private bedrooms, 4,845 sqft of common living areas, study/office rooms, common kitchens, and common laundry facilities. The ground floor also contains 857 sqft of mechanical platforms and the trash room. One of the replacement apartment units will be located within the

GLA portion of the building to act as the manager's unit. The proposed gross building area totals 36,467 sqft.

Building Height:

The maximum allowed height in the C-W district is 50' in height and a maximum 4 stories for mixed-use projects. The proposed project requests a waiver or modification to the maximum allowed building height to increase average building height to 70'-8" tall and 5 stories. Refer the Density Bonus Statement and Density Bonus diagrams in the plans.

Setbacks and yards:

The required front and side setbacks for the C-W zone are 0'-0". The proposed front setback is 1'-6" at the ground floor and then reducing down to a 0'-0" setback at the 2nd through 5th floors. The proposed side set backs are 1'-0" on the left (north) and a min of 5'-0" on the right (south). The required rear yard setback is 10'-0" or 10% of the lot depth, whichever is more (the lot depth is 99'-7", thus the proposed rear setback is 10'-0"). The footprint of the proposed building will be 9,047 square feet.

Off-street Parking and Loading:

There are no off-street parking or loading space requirements for residential projects in the C-W district. However, the 500 sqft commercial space requires 2 parking spaces; one standard and one accessible space are provided in an attached parking garage.

To provide like accommodations for the replacement units, 8 spaces will be allocated in the parking garage. Five additional parking spaces will be provided in a partially below-grade car stacking mechanical system. There will be a total of 15 parking spaces.

Bicycle Parking:

The C-W zone requires 1 space of long-term bike parking per 2.5 bedrooms in a GLA project, 1 space per 2,000 sqft of commercial space, and 1 space per 3 bedrooms for the residential units (replacement units). The project proposes to provide 39 long-term spaces total – 31 spaces for the GLA units and 8 spaces for the replacement units, and 6 short-term bike parking spaces.

Usable Open Space (UOS):

The requirement of UOS in the C-W district is 40 square feet per unit; 4 GLA units have private balconies and are omitted from the U.O.S. calculations. The proposed project requires that 81

units are provided provide 3,240 square feet of UOS. The proposed project provides a total of 3,280 square feet of UOS space; 1,120 sqft on the ground floor, 692 sqft at 2nd, 4th, & 5th floor common area balconies, and 1,468 sqft at a rooftop deck. A minimum of 40%, or 1,296 square feet, of the required UOS is to be landscaped. The proposed project provides 1,494 square feet of landscaped area.

Project Benefits:

This project provides several benefits and is consistent with the purposes of the C-W district and the West Berkeley Plan. The proposal is compatible with its surrounding buildings and continues recent development along the San Pablo Avenue corridor. The proposal also intensifies the current multi-family use by increasing housing density on the property.

Further, the proposal increases the use-types on the property by introducing ground floor retail. Its location and prominence at the back of sidewalk helps to further build the urban fabric of the San Pablo Corridor. The project's location within 100' of a heavily used mass transit (AC Transit) stop and the voluntary inclusion of an on-site parking garage will help to mitigate any increase in the intensity of the local parking supply.

The mixture of 8 one-bedroom apartments with 77 GLA private bedrooms provides several different housing options for the C-W District and neighborhood and the GLA model offers a lower cost alternative to traditional housing options in the area.

Project Team:

Owner(s):

ARON Homes, LLC

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Los Gatos, CA 95033

Adam Oback

Bobby Nilsen

408-755-6745

Architect/Applicant

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