



D E S I G N
R E V I E W
C O M M I T T E E
S T A F F R E P O R T

For Committee Decision
JULY 20, 2023

1752 Shattuck Avenue

FINAL DESIGN REVIEW

Design Review #DRCF2023-0001 to construct a 7-story mixed use building with 72 residential apartments over 1,210 square foot commercial space, and 28 bicycle spaces.

I. Introduction

This four-story mixed-use development is located in the C-C District. It is on the Southwest corner of Shattuck and Francisco. The project would involve demolition of a former gas station building and shelter structure on the site.

The demolition referral went before the Landmarks Preservation Commission (LPC) on September 1, 2022 where the Commission took no action. The project went before ZAB on January 12, 2023 where the use permit was approved. It was last before the Design Review Committee for Preliminary Design Review on September 15, 2022 where the Committee forwarded a favorable recommendation to ZAB with direction for Final Design Review. A summary from that meeting is provided further below for reference.

It is before the Design Review Committee this month for Final Design Review where the Committee will review construction details, final color and material palette, and landscape details for the project.

II. Background

The proposed 77 foot-tall mixed-used project would provide a total of 72 new housing units. Project amenities include:

- Residential lobby;
- Community lounge room on the first floor
- Property management and leasing offices
- 1,210-sf ground floor commercial floor area
- Roof top open space
- Laundry room on each floor

- 28 bicycle parking spaces

The project plans have the primary trash collection area on the ground floor in the northwest corner and accessible from Francisco Street. Residents would also be able to enter the building on foot from Shattuck Avenue.

Three existing street trees on Shattuck would remain and one new street tree is proposed on the Francisco frontage. A landscaped buffer area in the southwest corner would be planted with two 25-foot evergreen trees and low-water-usage understory plants.

III. Project Setting

A. Neighborhood/Area Description:

The project site located in the C-C Commercial Corridor zoning district and is designated as Avenue Commercial (AC) in the General Plan Land Use Element. The General Plan characterizes the AC areas a “pedestrian oriented commercial development and multi-family residential structures”. East of the site (across Shattuck Avenue) are commercial facilities and apartments. The Berkeley School Early Childhood Center and single-family residential homes are located on the west side immediately adjacent to the site. To the north (across Francisco Street) are commercial facilities and single-family residential homes, and commercial facilities are immediately adjacent to the site on the south side.

B. Site Conditions:

The project site encompasses 10,454 square feet and one parcel at 1752 Shattuck Avenue in the City of Berkeley. The site is located on the Southwest corner of Shattuck Avenue and Francisco Street. The project site is situated in an area of mixed land uses, including commercial and residential properties.

Figure 1: Vicinity Map



Table 1: Land Use Information

Location		Existing Use	Zoning District	General Plan Designation
Subject Property		Auto Repair Garage	C-C Corridor Commercial	AC Avenue Commercial
Surrounding Properties	North	Copy Shop/Retail		
	South	Restaurant/Retail/Personal Services		
	East	Multi-family Residential/ Mixed-Use (commercial/residential)		
	West	Private Preschool		

IV. Summary from September 15, 2022 DRC Meeting

Preliminary Design Review received a favorable recommendation to ZAB with the following conditions and recommendations for Final Design Review (FDR): MOTION (Woo, Kahn) (6-1-0-0) Finacom - no.

Conditions

- Provide color and/or textural relief at the southwest corner, consistent with the Shattuck façade.
- Study a more substantial base, more definition at the top, and some window refinements, and bring options to FDR.
- Consider raising the awning higher as it appears low.
- Consider additional natives to the plant list.
- Consider adding an outdoor amenity space to the 6th floor at the southwest corner.
- At FDR, provide the vertical mullions in Parklex shown in elevations.

Recommendations

- Spandrel of bottom floor on Shattuck façade could be Parklex to help emphasize the base.
- Recommend deeper recessed windows in the stucco
- Recommend commercial space on street frontage in lieu of office.
- Several members did not support the reduction of open space or bike parking.

V. Issues and Analysis

A. Consistency with Approved Use Permit Design

An 8 ½" x 11" copy of the approved Use Permit drawings is attached for reference. That approval contains the following conditions:

- Use Permit Condition #15: The Project requires approval of a Final Design Review (FDR) application by the Design Review Committee. The landscape design plans presented at FDR shall reflect a plant palette comprised of at least 70 percent native plants (excepting screening plants).
- Use Permit Condition #70: Exterior Lighting. All exterior lighting shall be energy efficient where feasible; and shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.

This design submittal is consistent with the approved Use Permit design. It does include additional residential units on the ground floor in the southwest corner where parking was located in the approved use permit. The additional

units are consistent with State law and we anticipate that these will be approved administratively.

B. The current submittal includes:

- Floor plans, exterior elevations, perspective renderings, building sections, and details;
- Landscape plan, planting plan, and landscape details for the rooftop deck;
- Colors and materials - specific location of materials has been refined per Committee's direction for Final Design Review.

C. Issues for Discussion:

- Building details
- Colors and materials
- Landscape plan

VI. Recommendation

Staff recommends that the Committee discuss the issues outlined above and approve Final Design Review with staff follow up as necessary.

Attachments:

1. Project Plans, received July 6, 2023
2. Additional Building Details, received February 15, 2023
3. Use Permit Drawings, approved January 12, 2023

Staff Planner: Anne Burns, aburns@ci.berkeley.ca.us, (510) 981-7410

TRACHTENBERG
ARCHITECTS

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**PANORAMIC
@ 1752
SHATTUCK
AVENUE**

Berkeley, CA

- 01.10.2022 ZONING APPLICATION
- 03.03.2022 ZONING COMPLETENESS
- 01.12.2023 ZAB REVISIONS
- 07.20.2023 FINAL DRC



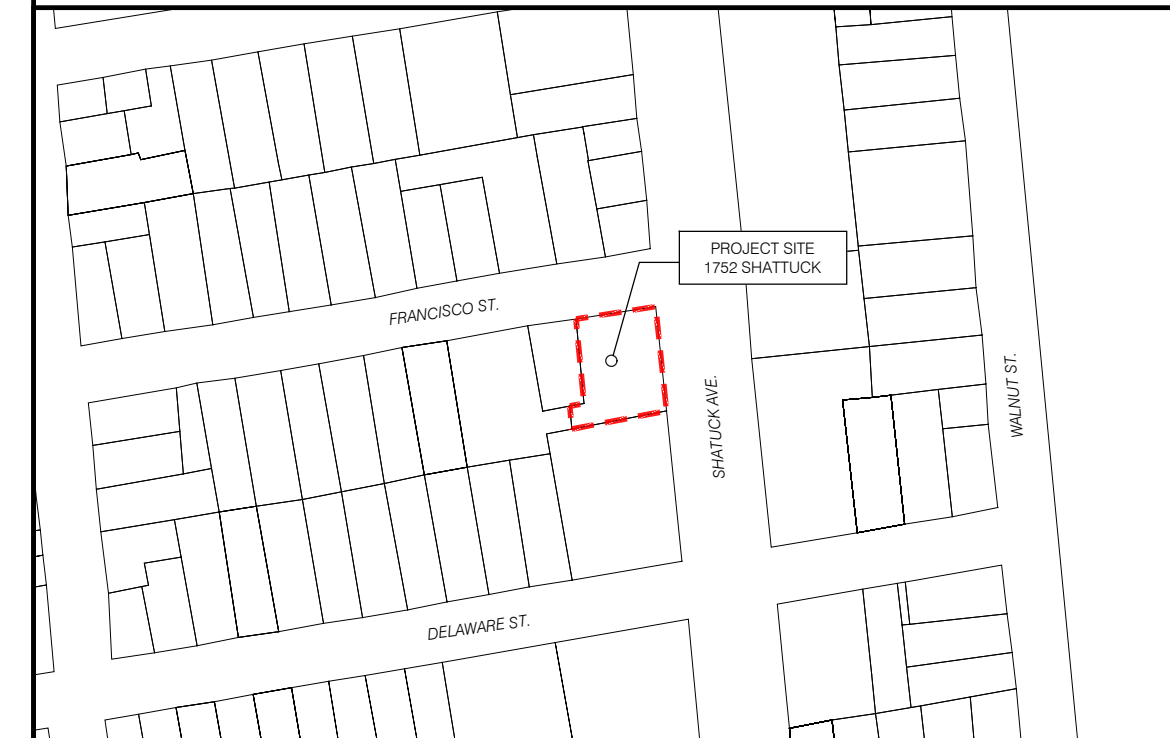
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JOB: 2120

SHEET:
**GENERAL
INFORMATION**

A0.0

VICINITY MAP



PROJECT DIRECTORY

OWNER/APPLICANT:
JP WALSH
PANORAMIC INTERESTS
100 Bush Street, Suite 1725
San Francisco, CA 94104

DESIGN ARCHITECT:
David Trachtenberg, Principal
TRACHTENBERG ARCHITECTS
2421 Fourth Street
Berkeley, CA 94710
510.649.1414
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ARCHITECT OF RECORD:
Johnson Lyman Architects, LLP
P.O. Box 5664
Walnut Creek, CA 94596
925.930.9690
Dave@JohnsonLyman.com

PROJECT DESCRIPTION

PROJECT ADDRESS: 1752 Shattuck Ave.
Berkeley, CA 94709 (APN: 058 217600101)

SCOPE OF WORK:
REMOVAL OF EXISTING 1 STORY COMMERCIAL STRUCTURE &
CONSTRUCTION OF A NEW 7-STORY MIXED-USE BUILDING WITH
68-DWELLING UNITS, GROUND LEVEL LOBBIES, COMMERCIAL
SPACE, AND PARKING GARAGE WITH STATE OF CALIFORNIA
DENSITY BONUS.

ZONING CODE SUMMARY

(BASED ON THE BERKELEY MUNICIPAL ZONING CODE)

ZONING: C-1

SEE SHEET A0.1 FOR COMPLETE ZONING DATA

DRAWING LIST

ARCHITECTURAL			
A0.0 GENERAL INFORMATION	A3.7 PHOTO MATCH PERSPECTIVES	MAT	MATERIAL BOARD
A0.5 SITE CONTEXT PHOTOS	A3.8 PERSPECTIVE VIEWS	LANDSCAPE	
A0.6 VICINITY MAP	A3.9 PERSPECTIVE VIEWS		
A1.1 SITE SURVEY	A3.10 PERSPECTIVE VIEWS	L.1	LANDSCAPE PLAN
A1.2 SITE SURVEY	A3.11 PERSPECTIVE VIEWS	L.2	LANDSCAPE DETAILS
A2.1 FLOOR PLANS	A3.12 PERSPECTIVE VIEWS	L.3	LANDSCAPE PLANTING PLAN
A2.2 FLOOR PLANS	A3.13 PERSPECTIVE VIEWS		
A2.3 FLOOR PLANS	A3.14 PERSPECTIVE VIEWS		
A2.4 ROOF PLAN	A3.15 PERSPECTIVE VIEWS		
A3.1 BUILDING ELEVATIONS	A3.16 PERSPECTIVE VIEWS		
A3.2 BUILDING ELEVATIONS	A3.17 PERSPECTIVE VIEWS		
A3.3 BUILDING ELEVATIONS	A3.18 PERSPECTIVE VIEWS		
A3.4 BUILDING ELEVATIONS	A4.1 BUILDING SECTIONS		
A3.5 STREETScape ELEVATIONS	A4.2 BUILDING SECTIONS		
A3.6 PHOTO MATCH PERSPECTIVES	A4.3 BUILDING SECTIONS		

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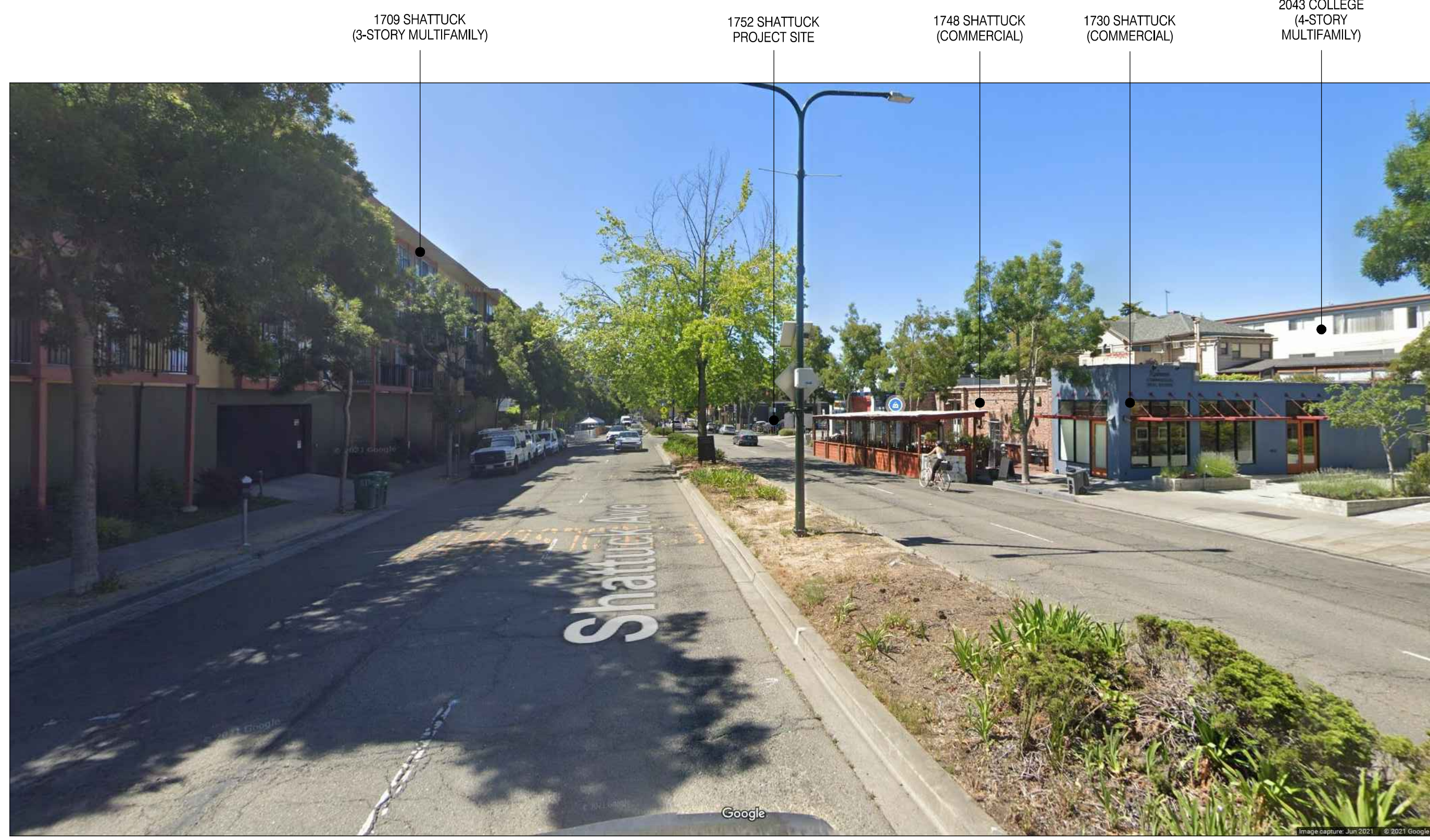
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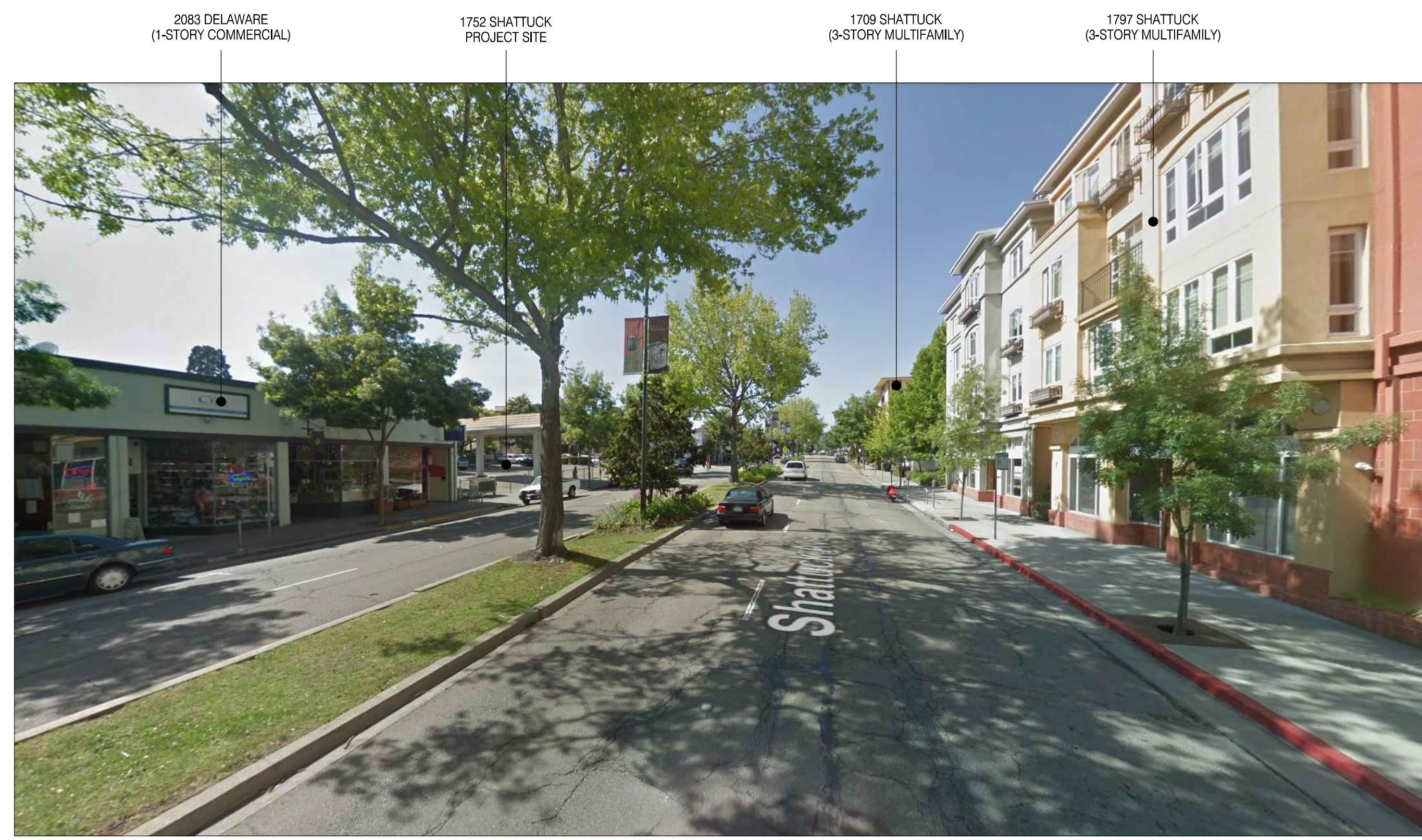
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SHEET:
SITE CONTEXT
PHOTOS

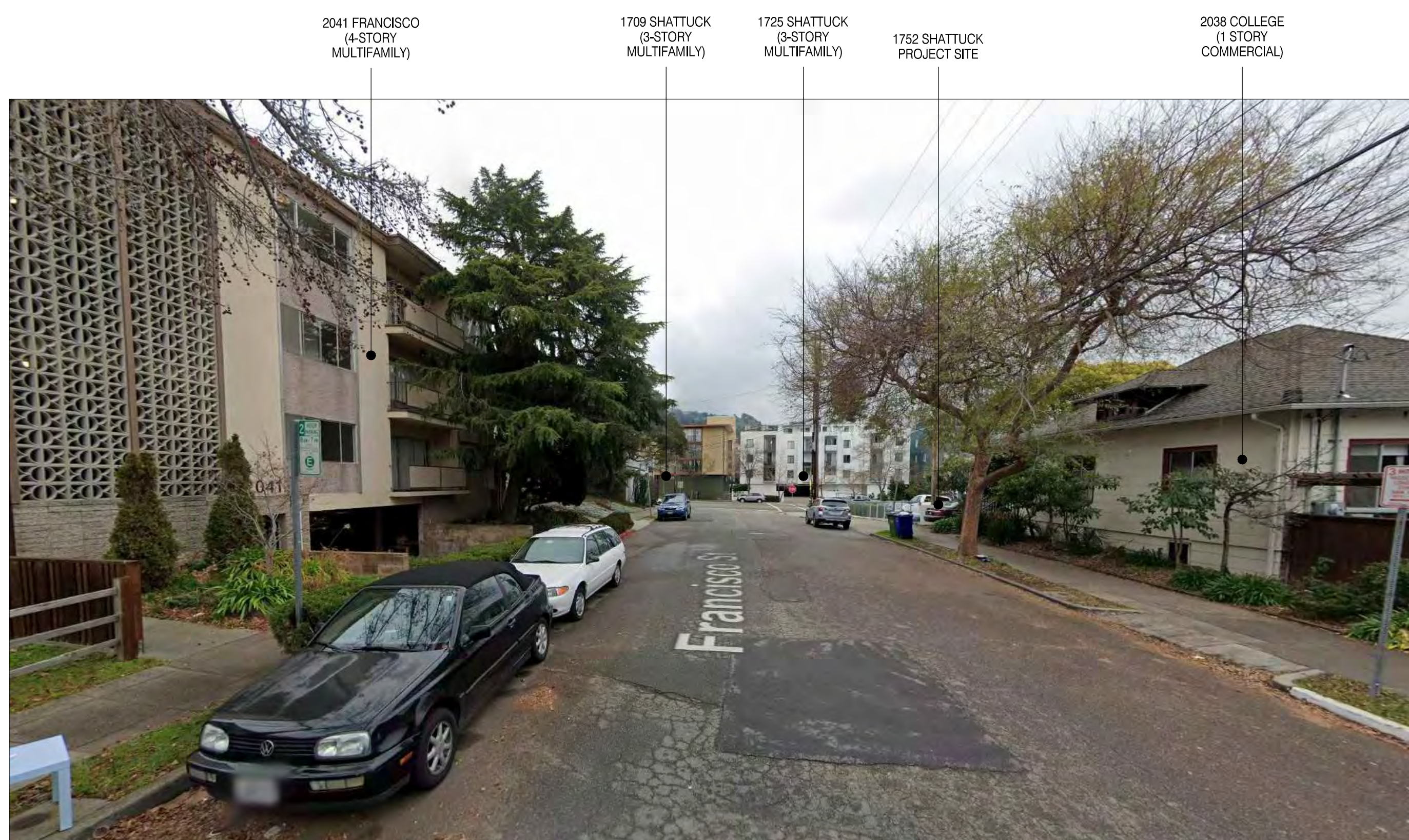
A0.5



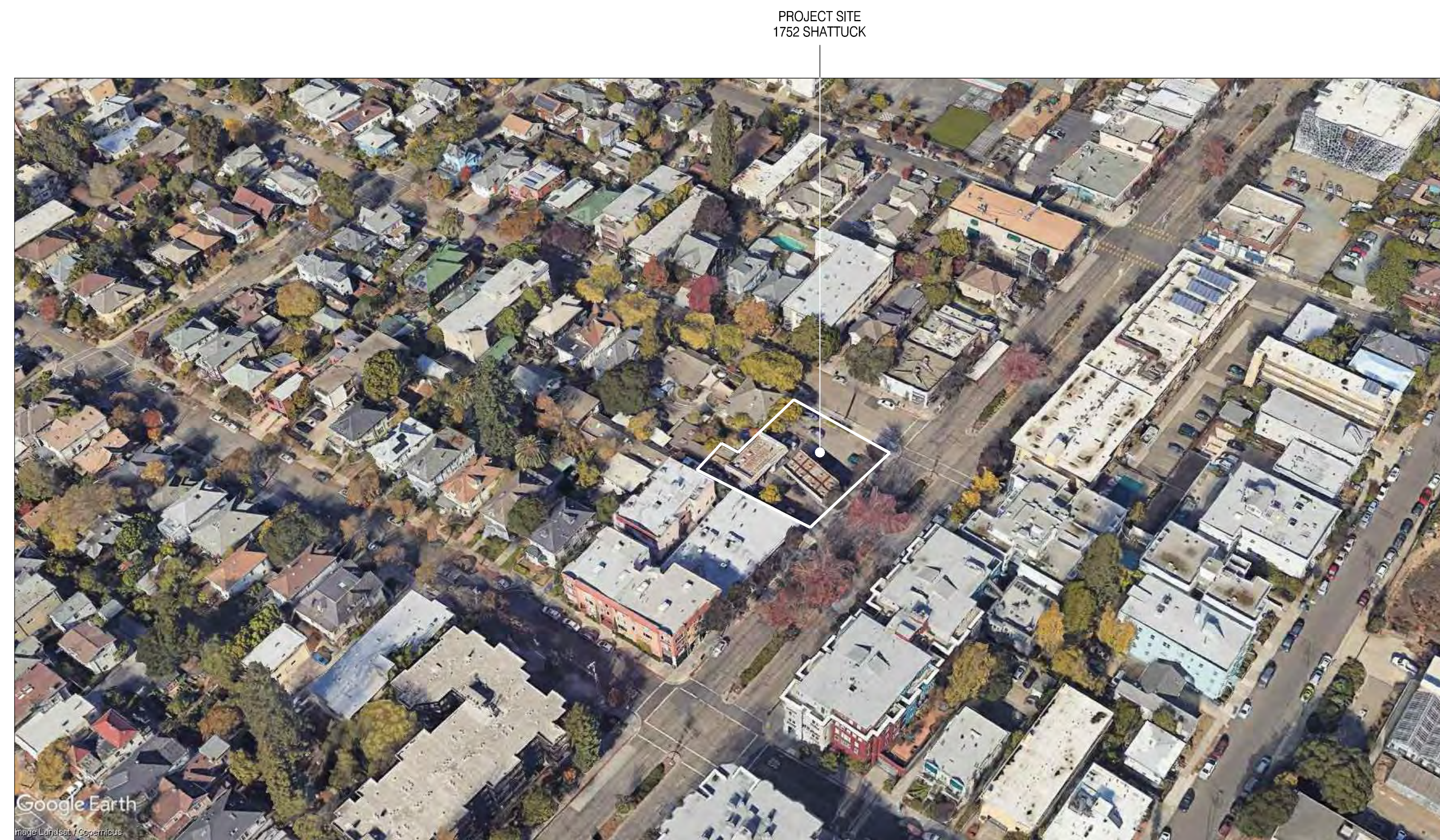
4 VIEW FROM SHATTUCK LOOKING SOUTH



2 VIEW FROM SHATTUCK LOOKING NORTH



3 VIEW FROM FRANCISCO LOOKING EAST



1 GOOGLE EARTH BIRD'S EYE CONTEXT VIEW

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PROJECT SITE
 1752 SHATTUCK

**PANORAMIC
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 SHATTUCK
 AVENUE**

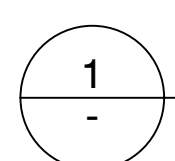
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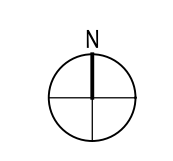
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JOB: 2120

SHEET:
 VICINITY MAP



1
 -
 VICINITY MAP
 NTS



A0.6

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PANORAMIC @ 1752 SHATTUCK AVENUE

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JOB: 2120

SHEET:

SITE SURVEY

A1.1

REFERENCES

- (R1) MAP ENTITLED "T.M. 800", FILED FEBRUARY 28, 1895 IN BOOK 208 OF PARCEL MAPS, AT PAGES 3 TO 4, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, STATE OF CALIFORNIA.
- (R2) MAP ENTITLED "T.M. 806", FILED JUNE 22, 2007 IN BOOK 208 OF PARCEL MAPS, AT PAGES 88 TO 93, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, STATE OF CALIFORNIA.
- (R3) MAP ENTITLED "MAP OF THE 'JAMES TRACT', BERKELEY", FILED OCTOBER 15, 1877 IN BOOK 1 OF MAPS, AT PAGE 135, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, STATE OF CALIFORNIA.
- (R4) GRANT DEED RECORDED SEPTEMBER 22, 1892 AS DOCUMENT NUMBER 92-337067, OFFICIAL RECORDS OF ALAMEDA COUNTY, STATE OF CALIFORNIA.
- (R5) GRANT DEED RECORDED JUNE 25, 2013 AS DOCUMENT NUMBER 2013-221050, OFFICIAL RECORDS OF ALAMEDA COUNTY, STATE OF CALIFORNIA.

BENCHMARK

BENCHMARK B2160, BEING A 1/4" Ø BRASS PIN CITY WELL MONUMENT IN THE WEST SIDE OF THE FRANCISCO ST/SHATTUCK AVE INTERSECTION, ELEVATION = 217.22 FEET, CITY OF BERKELEY DATALOG.

DATE OF FIELD SURVEY

SEPTEMBER 7, 2021 AS TO THE BOUNDARY AND TOPOGRAPHIC SURVEY OF THE SUBJECT PROPERTY.

BASIS OF BEARINGS

THE BASIS OF BEARINGS OF THIS SURVEY IS TAKEN BETWEEN THE TWO FOUND MONUMENTS ALONG FRANCISCO STREET BETWEEN WALVA STREET AND SHATTUCK AVENUE AS SHOWN ON THAT CERTAIN MAP ENTITLED "T.M. 806", FILED FEBRUARY 28, 1895 IN BOOK 208 OF PARCEL MAPS, AT PAGES 3 TO 4, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, STATE OF CALIFORNIA, TAKEN AS SOUTH 85°30'00" WEST.

SURVEYOR'S STATEMENT

THIS SURVEY WAS DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE LAND SURVEYORS ACT IN SEPTEMBER 2021.

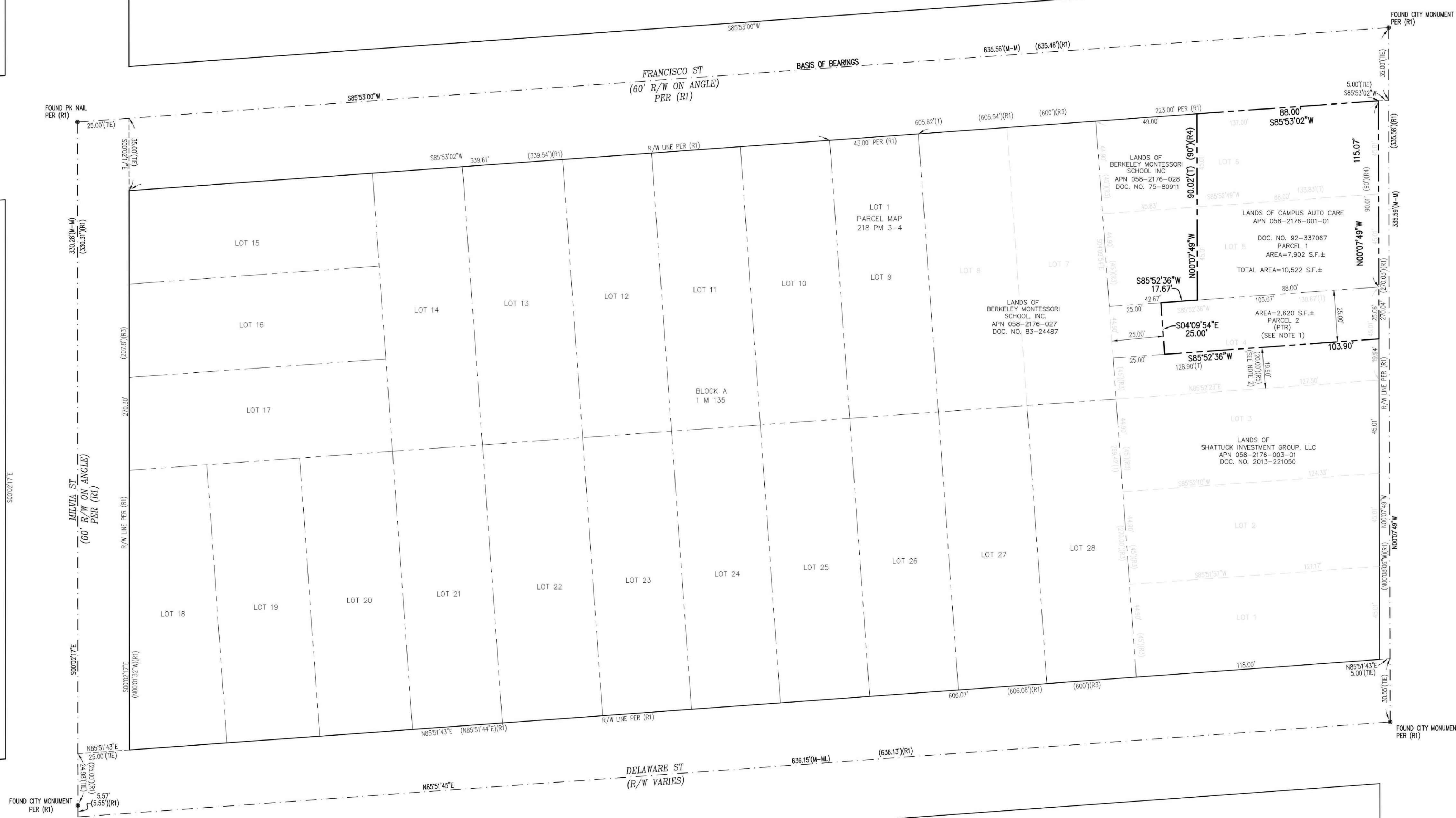
JACQUELINE LUK P.L.S. 8934
FOR LUK & ASSOCIATES, INC. DATE SEPTEMBER 30, 2021



BLOCK C
1 M 135

LEGEND

- BOUNDARY OF SUBJECT PROPERTY
- - - RIGHT OF WAY LINE
- - - INTERIOR PROPERTY LINE
- - - CENTERLINE
- - - OLD LOT LINE
- FOUND MONUMENT AS NOTED
- (T) TOTAL
- (P) PRELIMINARY TITLE REPORT
- (M-W) MONUMENT TO MONUMENT
- (M) PARCEL MAPS
- (RS) RECORD DATA
- (R) REFERENCE
- (DOC. NO.) DOCUMENT NUMBER
- (M-ML) MONUMENT TO MONUMENT LINE
- ± MORE OR LESS
- S.F. SQUARE FEET
- APN ASSessor'S PARCEL NUMBER

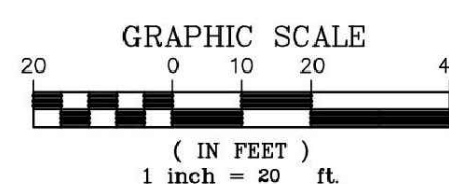


NOTES:

- THE LEGAL DESCRIPTION OF PARCEL 2 OF THE VESTING DEED (DOCUMENT NUMBER 92-337067) IS DIFFERENT FROM PARCEL TWO OF THE PRELIMINARY TITLE REPORT (ORDER NO. 022702589-WM DATED AS OF JULY 27, 2021, AT 7:30 AM). THIS BOUNDARY SURVEY IS BASED ON PARCEL TWO OF SAID PRELIMINARY TITLE REPORT.
- BASED ON THE CHAIN OF TITLE ANALYSIS, THE NORTHERLY 25 FEET OF LOT 4 WAS FIRST DISCOVERED BY THE INVENTOR RECORDED OCTOBER 17, 1919 IN BOOK 2810, AT PAGE 350, OFFICIAL RECORDS OF ALAMEDA COUNTY, STATE OF CALIFORNIA. THE SOUTHERLY 20 FEET OF LOT 4 WAS LATER DISCOVERED BY THE GRANT DEED RECORDED JUNE 1, 1971 IN REEL 2983, PAGE 37, OFFICIAL RECORDS OF ALAMEDA COUNTY, STATE OF CALIFORNIA. IT IS CONCLUDED THAT THE NORTHERLY 25 FEET OF LOT 4 KEEPS ITS FULL WIDTH AND THE SOUTHERLY 20 FEET OF LOT 4 KEEPS THE REMAINDER OF LOT 4.



VICINITY MAP
NO SCALE



(IN FEET)
1 inch = 20 ft.

1
BLOCK SURVEY
1/64"=1'-0" @ 11x17 1/32"=1'-0" @ 24x36

TOPOGRAPHIC &
BOUNDARY SURVEY
OF
1752 SHATTUCK AVENUE
CITY OF BERKELEY, ALAMEDA COUNTY, CALIFORNIA
SEPTEMBER 2021
PREPARED BY
LUK AND ASSOCIATES
CIVIL ENGINEER - LAND PLANNERS - LAND SURVEYORS
738 ALFRED NOBEL DRIVE
HERCULES, CALIFORNIA 94547
(510) 724-3388

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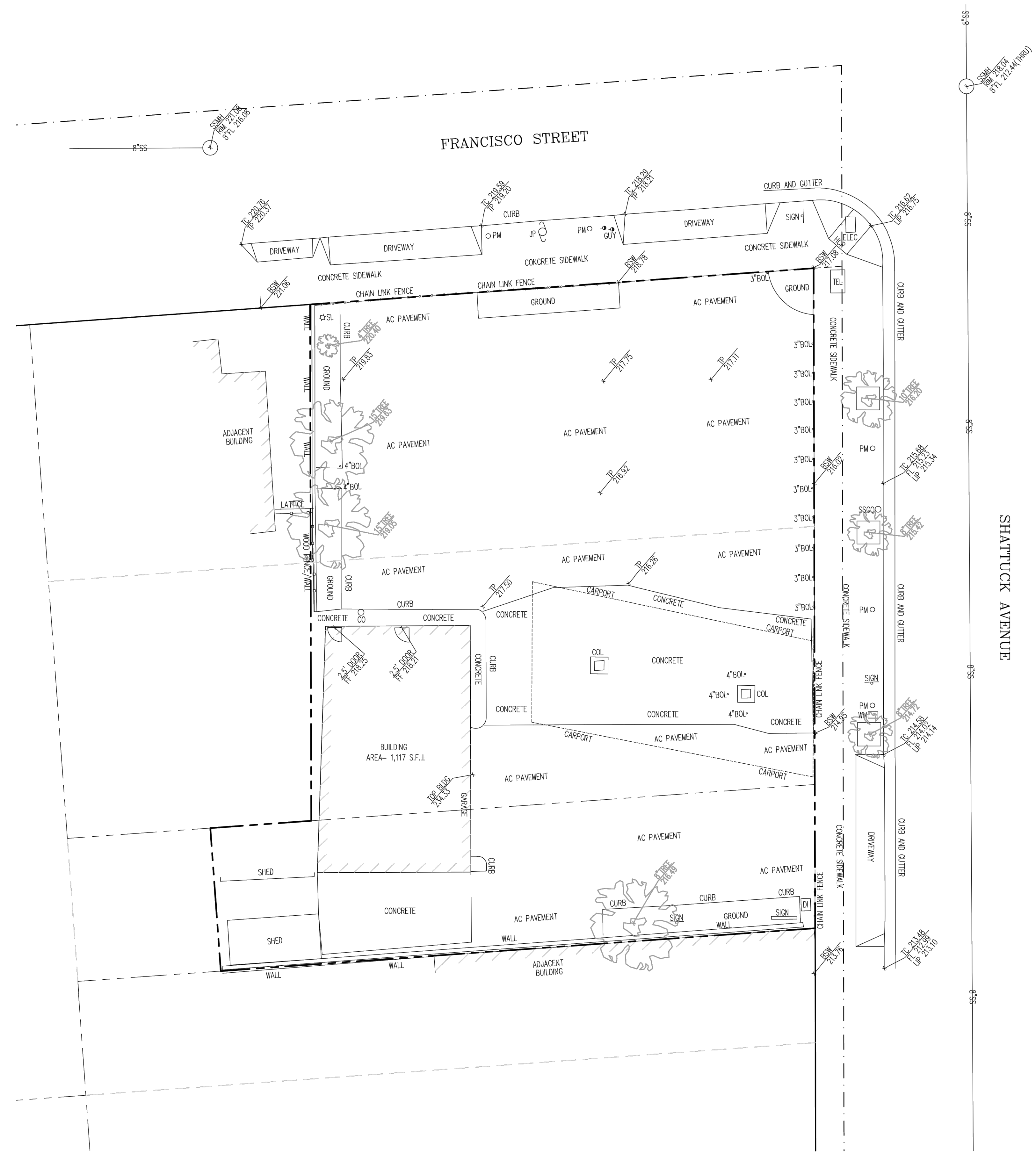
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JOB: 2120
 SHEET:

SITE SURVEY

A1.2



LEGEND

SYMBOLS	DESCRIPTION
---	BOUNDARY OF SUBJECT PROPERTY
---	RIGHT OF WAY LINE
---	INTERIOR PROPERTY LINE
---	CENTERLINE
---	TIE LINE
---	OLD LOT LINE
SSMH	SANITARY SEWER MANHOLE
CO	CLEANOUT
SL	STREET LIGHT
DI	DRAIN INLET
CO	CLEAN OUT
ELEC	ELECTRIC BOX
PM	PARKING METER
WM	WATER METER
COL	COLUMN
FF	FINISHED FLOOR
BOL	BOLLARD
HCR	HANDICAP RAMP
TC	TOP OF CURB ELEVATION
X FL	FLOW LINE ELEVATION
X LIP	LIP OF GUTTER ELEVATION
X TP	TOP OF PAVEMENT ELEVATION
X BSW	BACK OF SIDEWALK ELEVATION
(Tree Symbol)	TREE

**TOPOGRAPHIC &
 BOUNDARY SURVEY**
 OF
 1752 SHATTUCK AVENUE
 CITY OF BERKELEY, ALAMEDA COUNTY, CALIFORNIA
 SEPTEMBER 2021
 PREPARED BY
LUK AND ASSOCIATES
 CIVIL ENGINEER — LAND PLANNERS — LAND SURVEYORS
 738 ALFRED NOBEL DRIVE
 HERCULES, CALIFORNIA 94547
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Wall Type Legend	
(Symbol)	CONCRETE WALL
(Symbol)	2-HOUR RATED WALL
(Symbol)	1-HOUR RATED WALL
(Symbol)	1-HOUR RATED PARTY WALL
(Symbol)	WALL

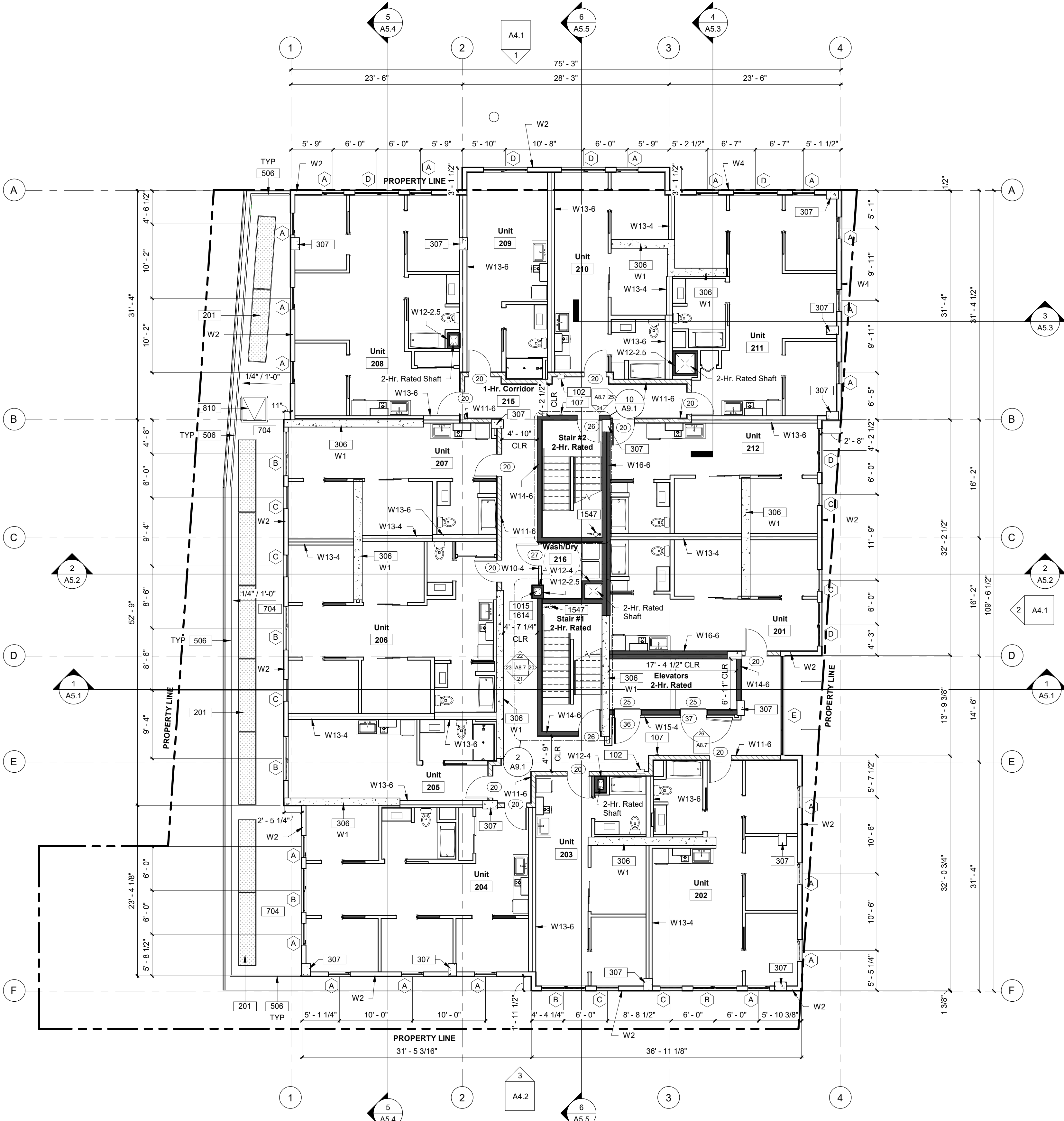
Keynote Legend	
102	PROVIDE TYPE AND QUANTITY OF FIRE EXTINGUISHERS AS REQUIRED BY THE FIRE DEPARTMENT HAVING JURISDICTION. PROVIDE APPROVED CABINETS (REFER TO OUTLINE SPECIFICATIONS) WITH A FIRE EXTINGUISHER SIGN ABOVE EACH, AND CURRENT STATE FIRE MARSHAL CERTIFICATION TAGS. 2A.10BC FIRE EXTINGUISHERS SHALL BE INSTALLED IN A VISIBLE LOCATION, NEAR THE EXITS. LOCATE EXTINGUISHER BRACKET AND ENCLOSURE OPERABLE PARTS BETWEEN 36" AND 48" AFF.
107	PROVIDE EVACUATION MAP IN ACCORDANCE WITH CFC 403 AND 404. MAP SHALL SHOW PATH OF EGRESS, LOCATION OF FIRE EXTINGUISHERS, LOCATIONS OF FIRE ALARM PULL STATIONS AND INSTRUCTIONS TO PULL THEM IN AN EMERGENCY, INSTRUCTIONS FOR DISABLED PERSONS, AND DIRECTIONS TO CALL 911.
201	PLANTER, REFER TO LANDSCAPE DRAWINGS
306	CONCRETE WALL PER STRUCTURAL DRAWINGS. 3-HOUR RATED BEARING ELEMENT. MIN. THICKNESS 5.7" PER CBC 721.1(2) ITEM 4-1-1
307	CONCRETE COLUMN PER STRUCTURAL DRAWINGS. 3-HOUR RATED BEARING ELEMENT. 12" MIN. THICKNESS. 1 1/2" MIN. CONC. COVER OVER REINFORCING PER CBC TABLE 721.1(1) ITEM 5-1-1
506	DECORATIVE METAL PANEL AND RAILING PER OUTLINE SPECIFICATION, SHEET A0.2
704	CLASS A SINGLE-PLY ROOFING ON DECK ROOFING BOARD ON TAPERED RIGID INSULATION PER OUTLINE SPECIFICATION, SHEET A0.2
810	ROOF ACCESS HATCH WITH SAFETY RAILING PER ...
1015	2-HOUR RATED SHAFT FOR ERRC SYSTEM PER NFPA 72 SECTION 12.4.2. PROVIDE STANDBY POWER IN ACCORDANCE WITH CFC 004. THE STANDBY POWER SUPPLY SHALL BE CAPABLE OF OPERATING THE ERRC SYSTEM FOR A DURATION OF NOT LESS THAN 24 HOURS
1547	CLASS-I STANDPIPE PER NFPA WITH HOSE CONNECTIONS, STANDPIPES, VALVES, CONNECTIONS, AND ALL ASSOCIATED MOUNTINGS AND ACCESSORIES SHALL BE LOCATED SUCH THAT THE REQUIRED CLEAR WIDTH OF THE STAIRWAY IS NOT REDUCED.
1614	2-WAY EMERGENCY COMMUNICATIONS SYSTEM IN ACCORDANCE WITH NFPA 72. REFER TO DEFERRED APPROVAL DESIGN BUILD NOTES.

- NOTES:
- REFER TO INDIVIDUAL DETAILS FOR ALL FIRE-RATING, ACOUSTICAL, INSULATION, WEATHER PROOFING, AND OTHER REQUIREMENTS. ALL CEMENT PLASTER AND MORTAR BEDS SHALL BE ON METAL LATH AND WRB
 - STUD SIZES GIVEN ARE MINIMUM REQUIREMENTS FOR FIRE RATING. REFER TO STRUCTURAL DRAWINGS FOR ACTUAL STUD SIZES AND SPACING WHERE INDICATED IN NOTES
 - PROPRIETARY SYSTEMS SHALL HAVE COMPONENTS FROM SINGLE MANUFACTURER IN ACCORDANCE WITH THEIR UL-LISTING. CONTRACTOR SHALL KEEP A COPY OF UL-LISTING ON SITE DURING CONSTRUCTION FOR ANY AND ALL PROPRIETARY RATED SYSTEMS.
 - ALL CEMENT PLASTER AND MORTAR BED SHALL BE ON METAL LATH ON WEATHER RESISTANT BARRIER (WRB). REFER TO OUTLINE SPECIFICATION.
 - REFER TO OUTLINE SPECIFICATION FOR RESILIENT CHANNEL INSTALLATION REQUIREMENTS.

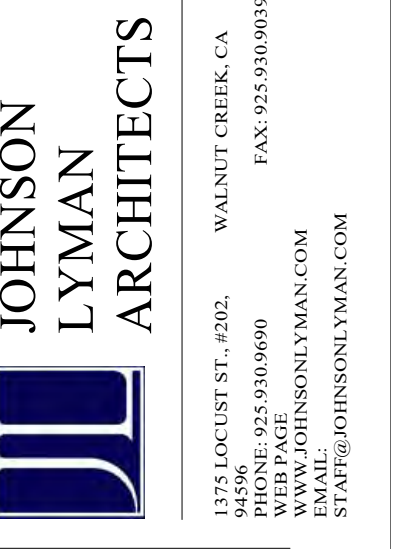
ABBREVIATIONS:

- FRF FIRE RETARDANT TREATED
- GWB GYPSUM WALL BOARD
- GMGS EXTERIOR GLASS MAT GYPSUM SHEATHING
- INT INTERIOR
- EXT EXTERIOR
- N/A NOT APPLICABLE - STC RATING NOT REQUIRED
- WRB WEATHER RESISTANT BARRIER

MARK	TYPE	FIRE RATING	DESCRIPTION	ARCH DETAIL	STC RATING	NOTES
EXTERIOR						
W1	BEARING	3-HOUR	CONCRETE WALL			
W2	NON-BEARING	1-HOUR	METAL STUD WALL: 1" EXT CEMENT PLASTER ON MTL LATH ON WRB ON 1-LAYER 5/8" TYPE 'X' GMGS, INT: 2-LAYERS 5/8" TYPE 'X' GWB	738/A7.6		ADDITIONAL LAYER INT. GWB FOR ACOUSTICAL AND THERMAL PERFORMANCE
W3-6	NON-BEARING	1-HOUR	2x6 FRT WOOD STUD WALL: 1" EXT CEMENT PLASTER ON FRT PLYWOOD SHTG, INT: 2-LAYERS 5/8" TYPE 'X' GWB	53/A7.8		
W4	NON-BEARING	1-HOUR	METAL STUD WALL: WOOD SIDING PANEL ON FURRING ATTACHMENT SYSTEM ON 1-LAYER 5/8" TYPE 'X' GMGS, INT: 1-LAYERS 5/8" TYPE 'X' GWB	37/A7.8		
W5-6	BEARING	2-HOUR	2x6 FRT WOOD STUD WALL: WOOD SIDING PANEL ON FURRING ATTACHMENT SYSTEM ON 2-LAYERS 5/8" TYPE 'X' GMGS ON FRT PLYWOOD SHTG, INT: 2-LAYERS 5/8" TYPE 'X' GWB	83/A7.8		
W6-6	NON-BEARING	2-HOUR	2x6 FRT WOOD STUD WALL: 1" EXT CEMENT PLASTER ON FRT PLYWOOD SHTG, INT: 2-LAYERS 5/8" TYPE 'X' GWB			
INTERIOR						
W10-4	NON-BEARING	0	4" METAL STUDS, 5/8" GWB BOTH SIDES			
W10-6	NON-BEARING	0	6" METAL STUDS, 5/8" GWB BOTH SIDES			
W11-6	NON-BEARING	1-HOUR CORRIDOR	6" METAL STUDS, 2-LAYERS 5/8" GWB BOTH SIDES	73/A7.6	50	
W12-2.5	NON-BEARING SHAFT WALL	2-HOUR	2 1/2" CH-STUDS, EXT: 2-LAYERS 5/8" TYPE 'X' GWB, INT: 1-LAYER 1" GYPSUM SHAFT LINER	51/A7.6, 35, 37, 51/A6		
W12-4	NON-BEARING SHAFT WALL	2-HOUR	4" CH-STUDS, EXT: 2-LAYERS 5/8" TYPE 'X' GWB, INT: 1-LAYER 1" GYPSUM SHAFT LINER	51/A7.6, 35, 37, 51/A6		
W13-4	NON-BEARING DOUBLE STUD PARTY WALL	1-HOUR	1 ROW 4" METAL STUDS, 1-LAYER 5/8" TYPE-X GWB ON ONE SIDE. 1 ROW 4" METAL STUDS, 1-LAYER TYPE-X GWB ON ONE SIDE. 1" AIR GAP BETWEEN WALLS	75/A7.6	50	
W13-6	NON-BEARING DOUBLE STUD PARTY WALL	1-HOUR	1 ROW 6" METAL STUDS, 1-LAYER 5/8" TYPE-X GWB ON ONE SIDE. 1 ROW 4" METAL STUDS, 1-LAYER TYPE-X GWB ON ONE SIDE. 1" AIR GAP BETWEEN WALLS	75/A7.6	50	
W14-4	NON-BEARING	2-HOUR	4" METAL STUDS, 2-LAYERS 5/8" TYPE 'X' GWB BOTH SIDES	33/A7.6		
W14-6	NON-BEARING	2-HOUR	6" METAL STUDS, 2-LAYERS 5/8" TYPE 'X' GWB BOTH SIDES	33/A7.6		
W15-2.5	NON-BEARING	0	METAL STUD FURRING, 1-LAYER 5/8" TYPE-X GWB ONE SIDE OF METAL STUD @ 12" O.C.	57/A7.6		
W15-6	NON-BEARING	0	METAL STUD FURRING, 1-LAYER 5/8" TYPE-X GWB ONE SIDE OF METAL STUD @ 24" O.C.	57/A7.6		
W16-6	NON-BEARING DOUBLE STUD PARTY WALL	2-HOUR	1 ROW 6" METAL STUDS, 2-LAYERS 5/8" TYPE-X GWB ON ONE SIDE. 1 ROW 4" METAL STUDS, 2-LAYERS TYPE-X GWB ON ONE SIDE. 1" AIR GAP BETWEEN WALLS	35/A7.6	55	
W20-4	BEARING OR NON-BEARING	1-HOUR	2x4 WOOD STUDS, 5/8" TYPE-X GWB BOTH SIDES	73/A7.7		REFER TO STRUCTURAL FOR WALLS REQUIRING PLYWOOD
W20-6	BEARING OR NON-BEARING	1-HOUR	2x6 WOOD STUDS, 5/8" TYPE-X GWB BOTH SIDES	73/A7.7		REFER TO STRUCTURAL FOR WALLS REQUIRING PLYWOOD
W21	BEARING SINGLE SHEAR	1-HOUR CORRIDOR	2x6 WOOD STUDS, SHEAR PLYWOOD & 1-LAYER 5/8" TYPE-X GWB ON ONE SIDE	73/A7.7	50	ADDITIONAL PLYWOOD AT DOUBLE SHEAR WALLS TO BE LOCATED DIRECTLY BEHIND GWB. REFER TO STRUCTURAL.
W22-4	BEARING DOUBLE STUD PARTY WALL	1-HOUR	1 ROW 2x4 WOOD STUDS, PLYWOOD SHEATHING, 1-LAYER 5/8" TYPE-X GWB ON ONE SIDE. 1 ROW 2x4 STUDS, 2-LAYERS 5/8" TYPE-X GWB ON ONE SIDE. 1" AIR GAP BETWEEN WALLS. 1 INNER LAYER GWB CAN BE SUBSTITUTED BY PLYWOOD SHTG	97/A7.7	59	ADDITIONAL PLYWOOD AT DOUBLE SHEAR WALLS TO BE LOCATED DIRECTLY BEHIND GWB. REFER TO STRUCTURAL.
W22-6	BEARING DOUBLE STUD PARTY WALL	1-HOUR	1 ROW 2x6 WOOD STUDS, PLYWOOD SHTG, 1-LAYER 5/8" TYPE-X GWB ON ONE SIDE. 1 ROW 2x4 STUDS, 2-LAYERS 5/8" TYPE-X GWB ON ONE SIDE. 1" AIR GAP BETWEEN WALLS. 1 INNER LAYER GWB CAN BE SUBSTITUTED BY PLYWOOD SHTG	97/A7.7	59	ADDITIONAL PLYWOOD AT DOUBLE SHEAR WALLS TO BE LOCATED DIRECTLY BEHIND GWB. REFER TO STRUCTURAL.
W23-4	BEARING DOUBLE STUD HORIZONTAL EXIT	2-HOUR	1 ROW 2x4 WOOD STUDS, PLYWOOD SHEATHING PER STRUCT, 2-LAYERS 5/8" TYPE-X GWB ON BOTH SIDES. 1 ROW 2x4 WOOD STUDS, PLYWOOD SHEATHING, 2-LAYERS 5/8" TYPE-X GWB ON ONE SIDE. 1" AIR GAP BETWEEN WALLS	77/A7.7	59	ADDITIONAL PLYWOOD AT DOUBLE SHEAR WALLS TO BE LOCATED DIRECTLY BEHIND GWB. REFER TO STRUCTURAL.
W23-6	BEARING DOUBLE STUD HORIZONTAL EXIT	2-HOUR	1 ROW 2x6 WOOD STUDS, PLYWOOD SHEATHING PER STRUCT, 2-LAYERS 5/8" TYPE-X GWB ON BOTH SIDES. 1 ROW 2x4 WOOD STUDS, PLYWOOD SHEATHING, 2-LAYERS 5/8" TYPE-X GWB ON ONE SIDE. 1" AIR GAP BETWEEN WALLS	77/A7.7	59	ADDITIONAL PLYWOOD AT DOUBLE SHEAR WALLS TO BE LOCATED DIRECTLY BEHIND GWB. REFER TO STRUCTURAL.
W24	BEARING	2-HOUR	2x6 WOOD STUDS, SHEAR PLYWOOD, 2-LAYERS 5/8" TYPE-X GWB ON ONE SIDE. 2-LAYERS 5/8" TYPE-X GWB ON ONE SIDE	31/A7.6		ADDITIONAL PLYWOOD AT DOUBLE SHEAR WALLS TO BE LOCATED DIRECTLY BEHIND GWB. REFER TO STRUCTURAL
W25-4	NON-BEARING	0	METAL OR WOOD STUD FURRING, 1-LAYER 5/8" TYPE-X GWB ONE SIDE OF STUDS @ 24" O.C.	57/A7.6 SIM.		WOOD STUDS CAN BE USED AT FLOORS 3-7 ONLY



1 PLAN AT FLOORS 2-6
1/8" = 1'-0"
REFERENCE NORTH



REVISION:

NO.	DATE	DESCRIPTION
02-15-23		Plan Check Set

NEW MIXED USE BUILDING
PANORAMIC @ 1752 SHATTUCK
 1752 SHATTUCK AVENUE
 BERKELEY, CA

OWNER:
 1752 Shattuck LLC
 2539 Telegraph Ave, Suite 101
 Berkeley, CA 94704
 Attn: JP Walsh
 415.707.7003
 www.panoramic.com

SHEET TITLE:
ROOF PLAN

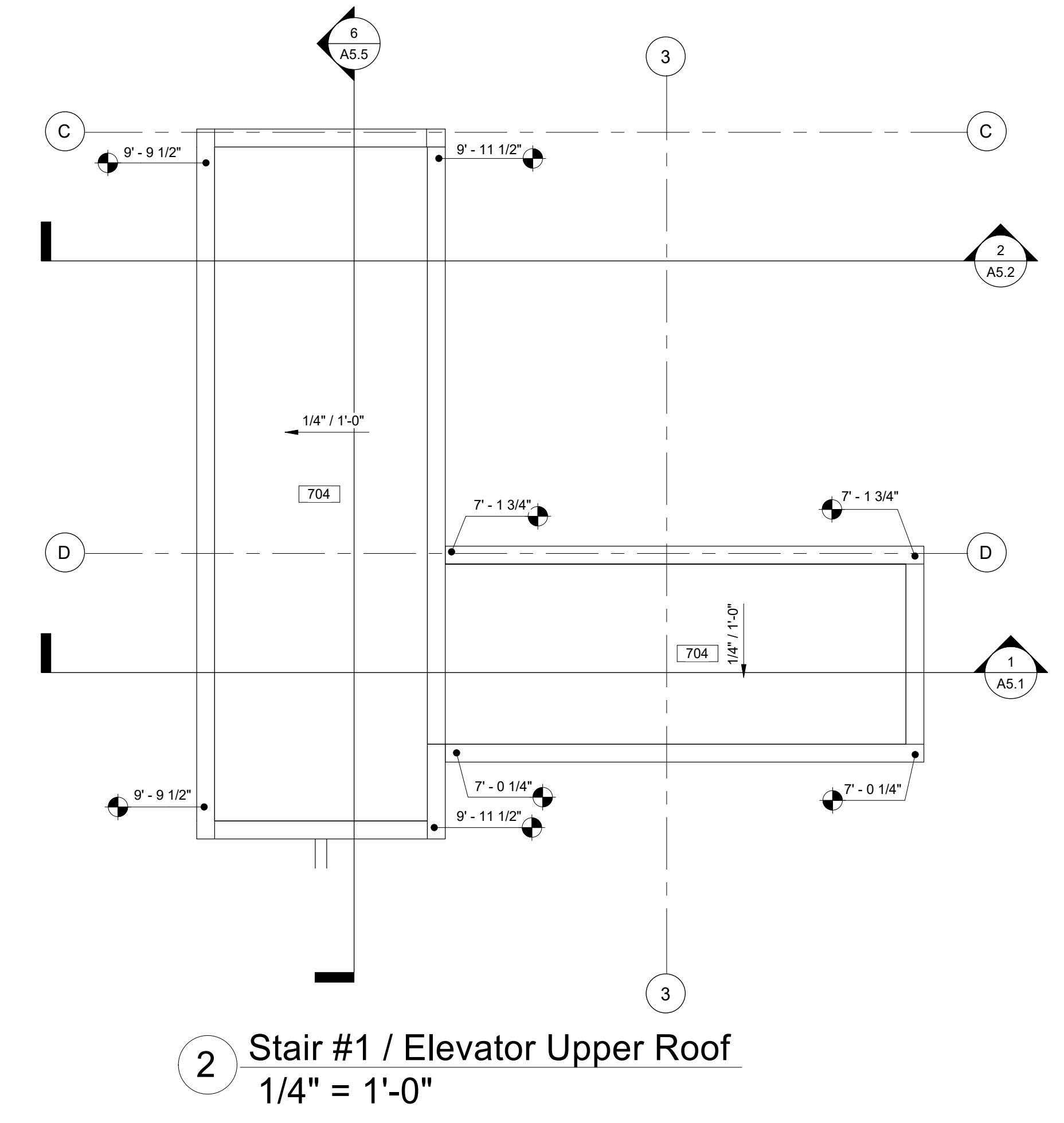
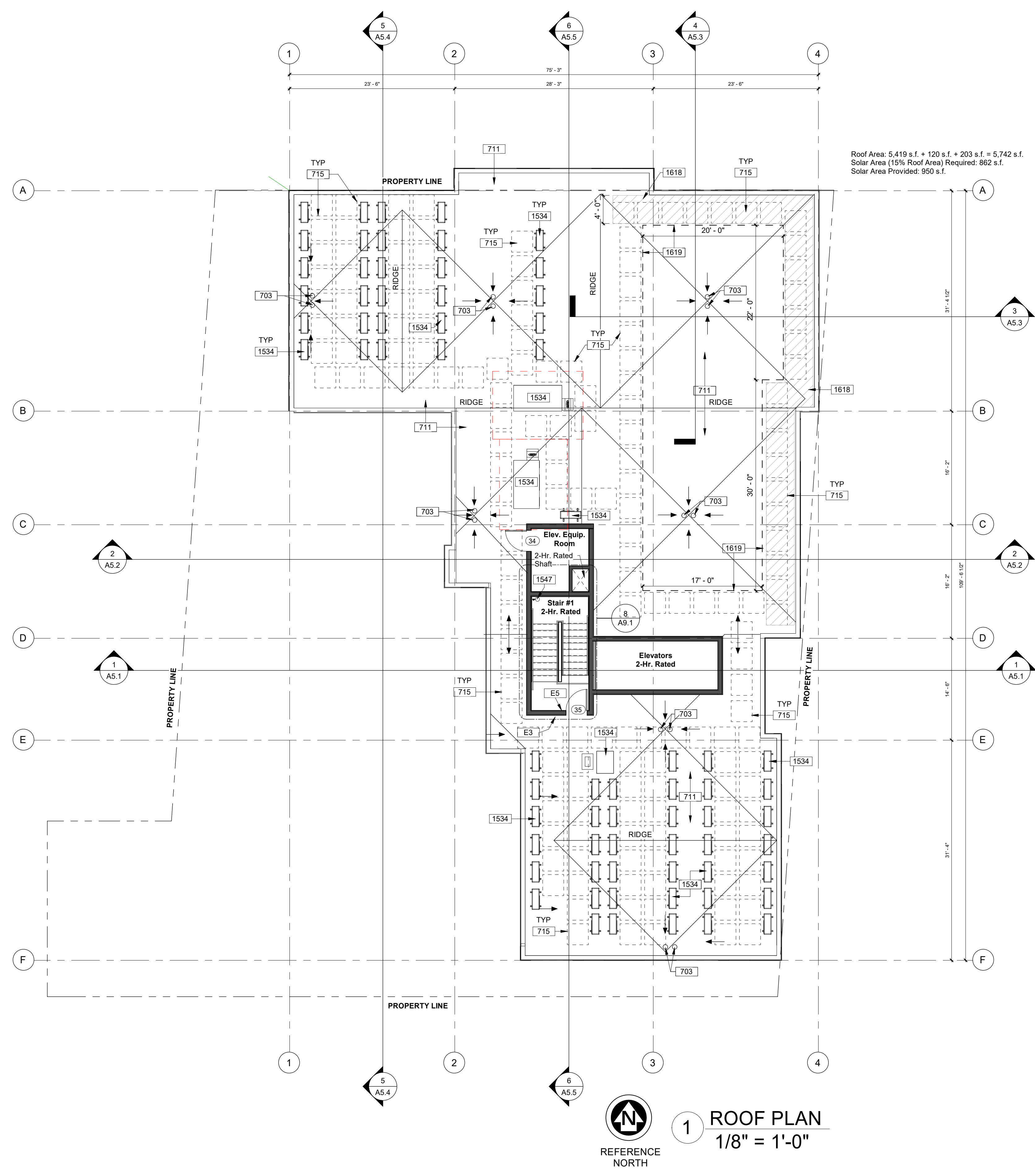
CHK BY:
 DATE: 02-15-23
 SHEET:
A2.4

Wall Type Legend

[Symbol]	CONCRETE WALL
[Symbol]	2-HOUR RATED WALL
[Symbol]	1-HOUR RATED WALL
[Symbol]	1-HOUR RATED PARTY WALL
[Symbol]	WALL

Keynote Legend

Key Value	Keynote Text
703	ROOF DRAIN AND OVERFLOW DRAIN PER 51A7.9
704	CLASS A SINGLE-PLY ROOFING ON DENS DECK ROOFING BOARD ON TAPERED RIGID INSULATION PER OUTLINE SPECIFICATION, SHEET A0.2
711	CLASS A SINGLE-PLY ROOFING ON ROOFING BOARD ON SLOPED RIGID INSULATION, 1/4" FT SLOPE MINIMUM U.N.O., INSULATION 2" THICK AT DRAIN. REFER TO 39A7.9, PROVIDE R13 BATT INSULATION UNDER ROOF DECK
715	3/32" ROOF WALKING PADS, TYP
1534	MECHANICAL EQUIPMENT PER MECHANICAL DRAWINGS
1547	CLASS-I STANDPIPE PER NFPA WITH HOSE CONNECTIONS, STANDPIPES, VALVES, CONNECTIONS, AND ALL ASSOCIATED MOUNTINGS AND ACCESSORIES SHALL BE LOCATED SUCH THAT THE REQUIRED CLEAR WIDTH OF THE STAIRWAY IS NOT REDUCED.
1618	4' CLEAR PERIMETER AROUND EDGES OF ROOF PER FIRE DEPARTMENT REQUIREMENTS. CLEAR AREA IS GRAPHICALLY SHOWN WITH DIAGONAL HATCH
1619	CLEAR SOLAR ZONE PER CEC 110.10.B
E3	TACTILE "EXIT STAIR DOWN" SIGN PER DETAIL 99A6.3
E5	TACTILE FLOOR IDENTIFICATION SIGN, MAIN STAIR, PER 99A6.3



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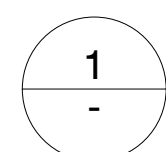
JOB: 2120

SHEET:

BUILDING
ELEVATIONS

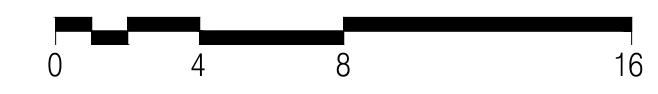
A3.1

INTEGRAL COLOR STUCCO
W/ HARD TROWEL FINISH DECORATIVE
METAL SCREEN INTEGRAL COLOR STUCCO
W/ HARD TROWEL FINISH PARKLEX WOOD
PANELS VINYL
WINDOWS METAL INFILL
PANEL



EAST ELEVATION

3/32" = 1'-0" @ 11X17 3/16" = 1'-0" @ 24X36



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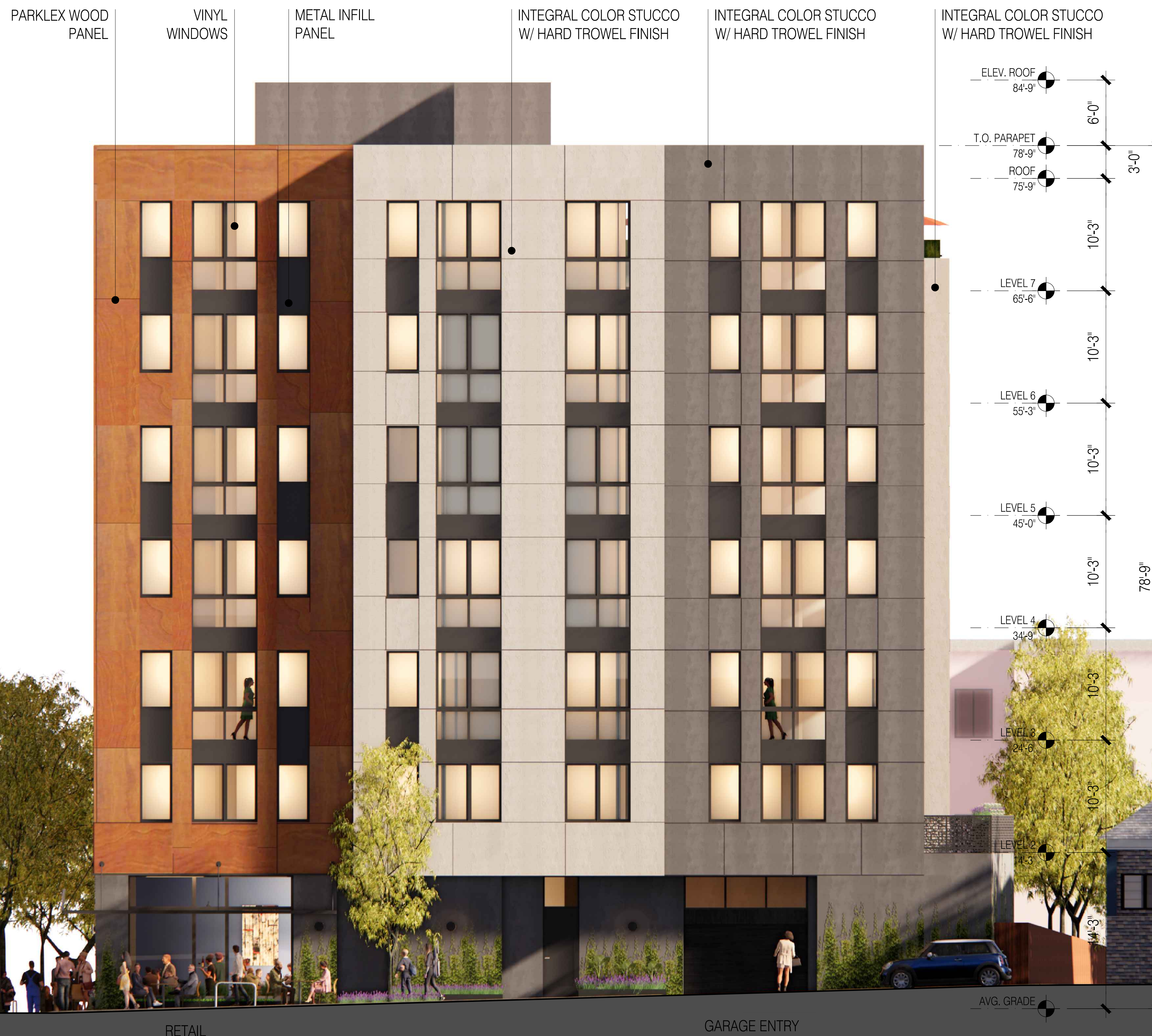
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SHEET:

BUILDING
 ELEVATIONS

A3.2



1 NORTH ELEVATION

3/32" = 1'-0" @ 11X17 3/16" = 1'-0" @ 24X36



(SHATTUCK AVE)

RETAIL

GARAGE ENTRY

AVG. GRADE

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SHEET:

BUILDING
ELEVATIONS

A3.3



1

WEST ELEVATION

3/32" = 1'-0" @ 11X17 3/16" = 1'-0" @ 24X36

0 4 8 16

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SHEET:

BUILDING
ELEVATIONS

A3.4



1 SOUTH ELEVATION
3/32" = 1'-0" @ 11X17 3/16" = 1'-0" @ 24X36 0 4 8 16

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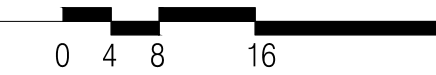
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2
-

STREET STRIP ELEVATION @ FRANCISCO STREET

1/32" = 1'-0" @ 11X17 1/16" = 1'-0" @ 24X36



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SHEET:

STREET STRIP
ELEVATIONS

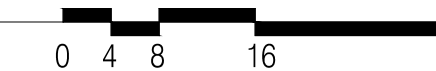
A3.5



1
-

STREET STRIP ELEVATION @ SHATTUCK AVENUE

1/32" = 1'-0" @ 11X17 1/16" = 1'-0" @ 24X36



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SHEET:
PHOTO CONTEXT
VIEWS

A3.6



4 FRANCISCO LOOKING EAST - AFTER



2 SHATTUCK LOOKING NORTH - AFTER



3 FRANCISCO LOOKING EAST - BEFORE



1 SHATTUCK LOOKING NORTH - BEFORE

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SHEET:
**PHOTO CONTEXT
VIEWS**

A3.7



2 SHATTUCK LOOKING SOUTH - AFTER



1 SHATTUCK LOOKING SOUTH - BEFORE

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SHEET:

PERSPECTIVE
VIEW



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SHEET:
**PERSPECTIVE
VIEW**

A3.9



1 SHATTUCK LOOKING NORTHWEST

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A3.10



1 SHATTUCK LOOKING SOUTHWEST

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SHEET:

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A3.11



1 SHATTUCK LOOKING SOUTH - BEFORE

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VIEW

A3.12



1 VIEW AT SHATTUCK INTERSECTION

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VIEW

A3.13



1 VIEW ALONG SHATTUCK SIDEWALK LOOKING SOUTH

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VIEW

A3.14



1 VIEW OF LOBBY ENTRY

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SHEET:

PERSPECTIVE
VIEW

A3.15

1 VIEW OF CAFE ENTRY

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PERSPECTIVE
VIEW

A3.16



1 CAFE CORNER VIEW AT NIGHT

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SHEET:
**PERSPECTIVE
VIEW**

A3.17



1 - VIEW OF NORTHWEST CORNER



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SHEET:

PERSPECTIVE
 VIEW

A3.18

1
 -
 VIEW OF SOUTHWEST CORNER

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PANORAMIC @ 1752 SHATTUCK AVENUE

Berkeley, CA

- 01.10.2022 ZONING APPLICATION

- 03.03.2022 ZONING COMPLETENESS

- 01.12.2023 ZAB REVISIONS

- 07.20.2023 FINAL DRC

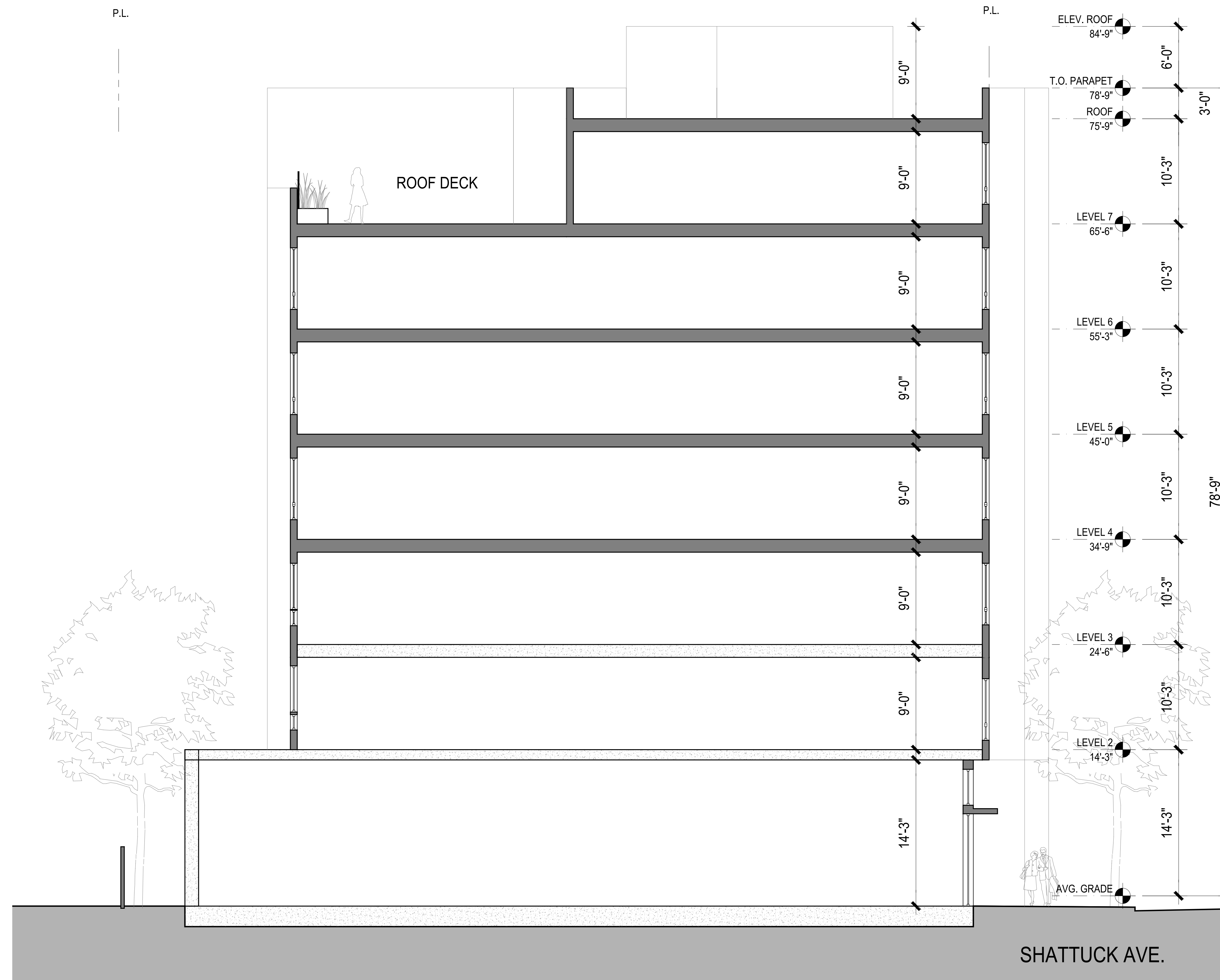
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JOB: 2120

SHEET:

SECTION

A4.1



1
 E-W SECTION
 3/32"=1'-0" @ 11x17 3/16"=1'-0" @ 24x36



REVISION:

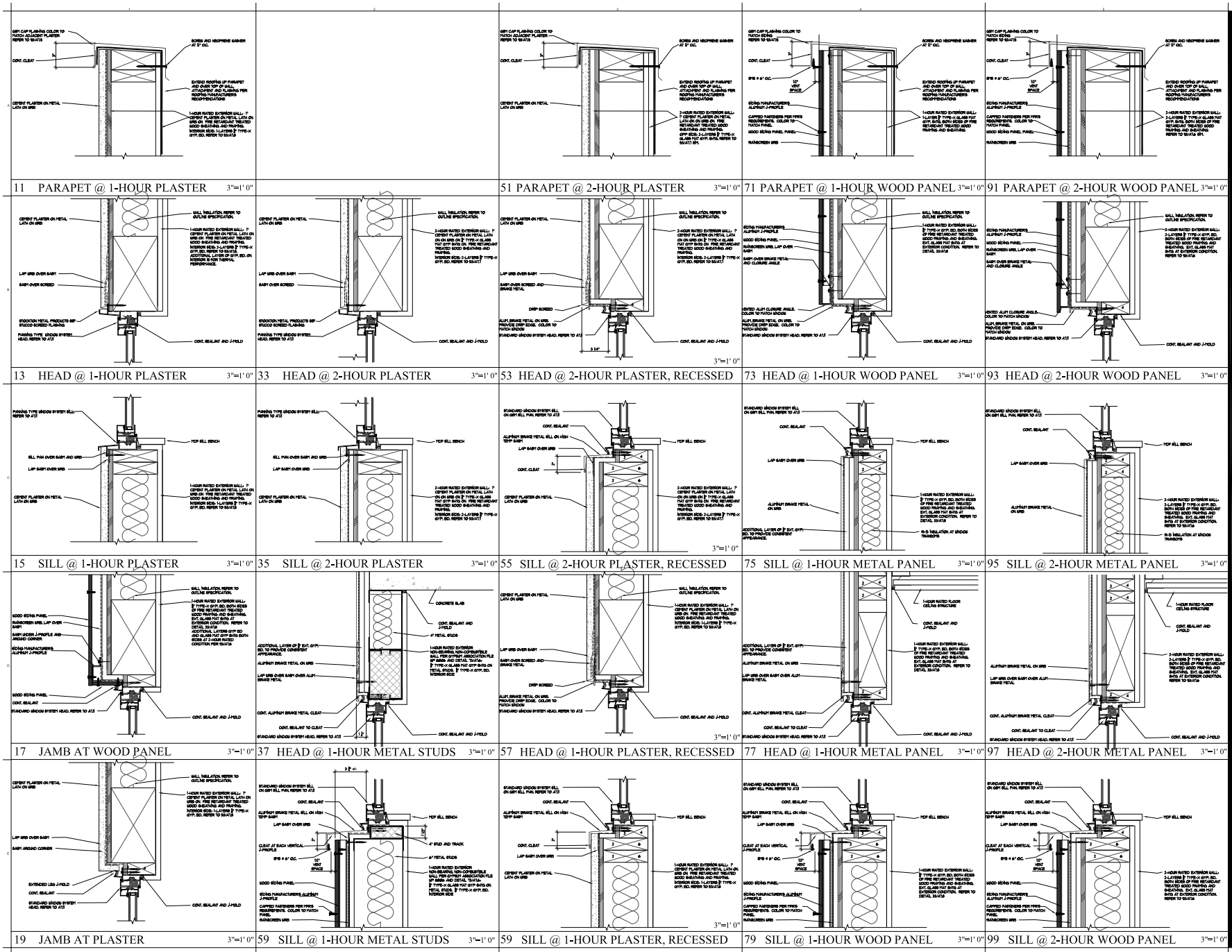
3/28/23	1	FOR COMMENTS
	2	
	3	
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	5	

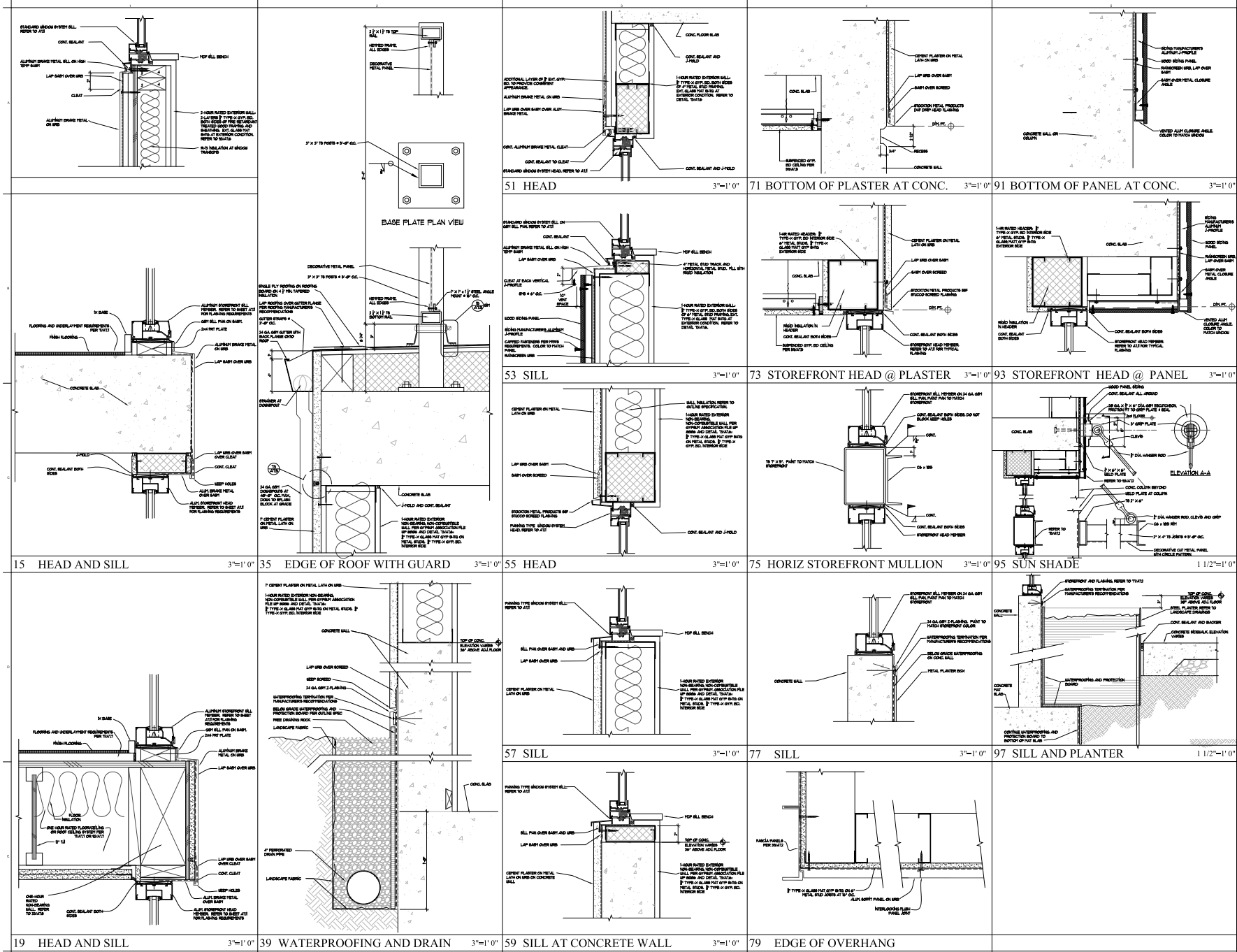
NEW MIXED USE BUILDING
PANORAMIC @ 1752 SHATTUCK
BERKELEY, CA
1752 SHATTUCK AVENUE

OWNER:
1752 SHATTUCK LLC
Berkeley, CA 94704
415.337.3000
info@panoramic.com

JOB TITLE:
DETAILS
SHEET NO:
DATE: 2/18/23
SHEET:

A7.1





REVISION	DATE	BY	DESCRIPTION
1	03/2023	JL	ISSUE FOR PERMIT

JOB TITLE: **PANORAMIC @ 1752 SHATTUCK BERKELEY, CA**

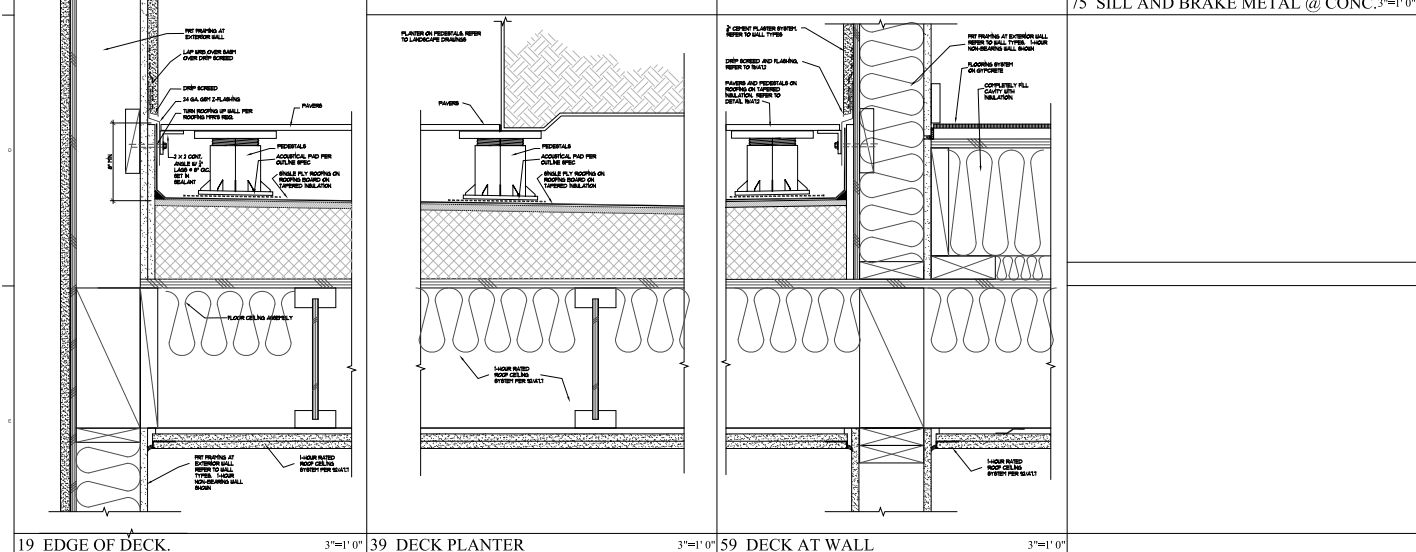
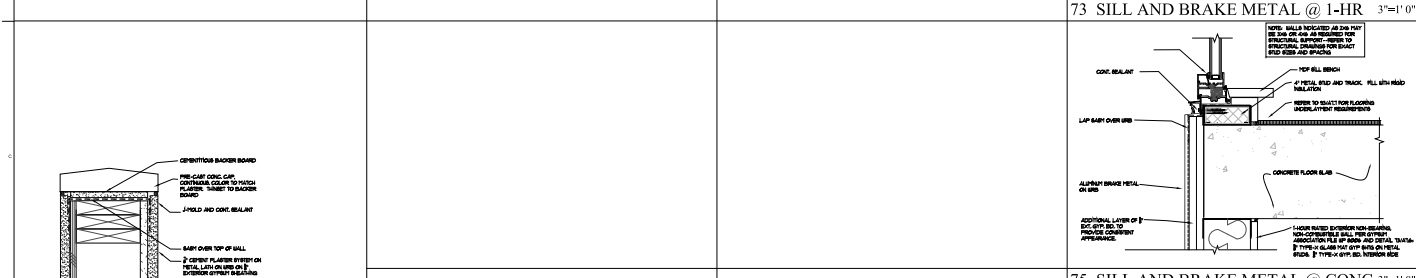
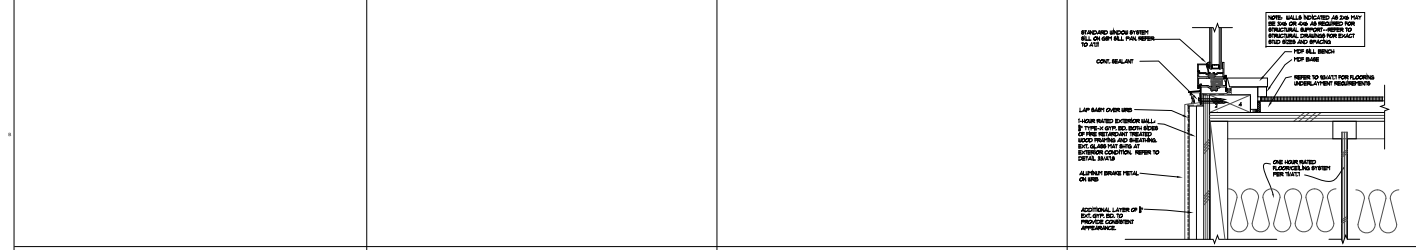
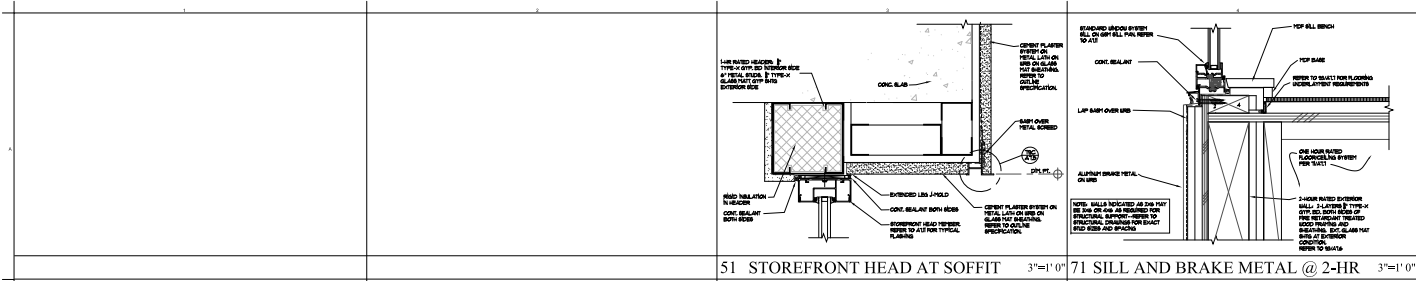
NEW MIXED USE BUILDING

OWNER: 1752 Shattuck LLC, Suite 101, Berkeley CA 94704, (415) 277-7000, info@panoramicc.com

SHEET TITLE: **DETAILS**

CHECK BY: DATE: 2/18/23

SHEET:



19 EDGE OF DECK. 3/8"=1'-0"

39 DECK PLANTER 3/8"=1'-0"

59 DECK AT WALL 3/8"=1'-0"

75 SILL AND BRAKE METAL @ CONC. 3/8"=1'-0"

95 ENTRY CANOPY 1 1/2"=1'-0"

99 PULL UP REMOVABLE GATE 1 1/2"=1'-0"



REVISIONS:

2	3/23/23	REVISED PER COMMENTS
3	3/23/23	REVISED PER COMMENTS

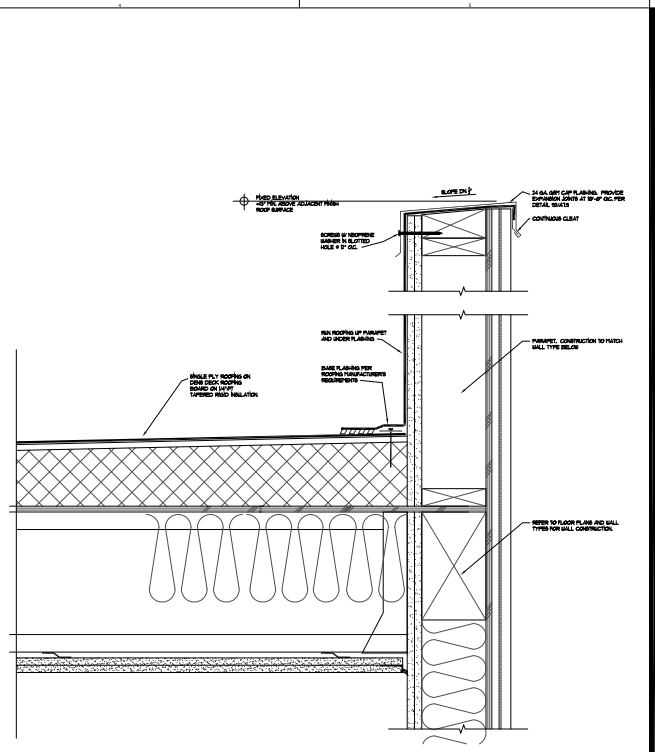
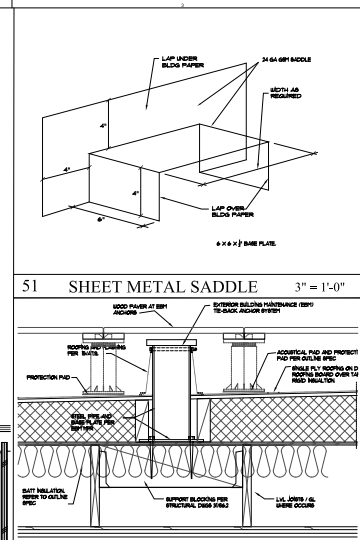
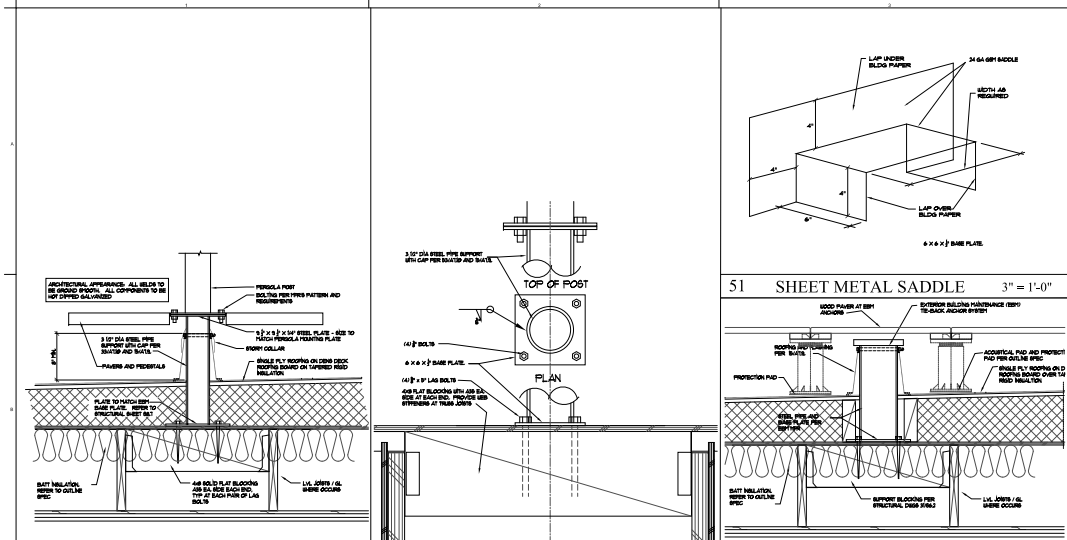
NEW MIXED USE BUILDING
PANORAMIC @ 1752 SHATTUCK
 BERKELEY, CA
 1752 SHATTUCK AVENUE
 BERKELEY, CA 94704
 415.701.1000
 info@panoramicc.com

JOB TITLE:
 ARCHITECT

SHEET TITLE:
 DETAILS

CHECK BY:
 DATE: 2/18/23

SHEET:
 A7.3



13 PERGOLA POST BASE	1 1/2"=1'-0"	33 POST BASE	3"=1'-0"	53 EBM ANCHOR	1 1/2"=1'-0"	75 EDGE OF ROOF @ PARAPET	3"=1'-0"
35 PLATFORM	1 1/2"=1'-0"						

JOHNSON LYMAN ARCHITECTS

NEW MIXED USE BUILDING
PANORAMIC @ 1752 SHATTUCK
BERKELEY, CA
1752 SHATTUCK AVENUE

OWNER:
1752 Shattuck, LLC
Berkeley, CA 94704
415.701.3030
info@panoramic.com

SHEET TITLE:
ROOF DETAILS

CHK BY:
DATE: 2/18/23
SHEET:

A7.10

REVISIONS: 1-16-23 - 1752 SHATTUCK
2-23-23 - THIS SHEET

ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES. DECIMALS ARE TO NEAREST HUNDRETH. UNLESS OTHERWISE NOTED, ALL ANGLES ARE TO BE SHOWN AS INDICATED. ALL WALLS ARE TO BE CONSTRUCTED TO MATCH WALL TYPE BELOW. REFER TO FLOOR PLAN AND ALL TYPED FOR WALL CONSTRUCTION.

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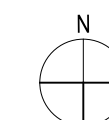
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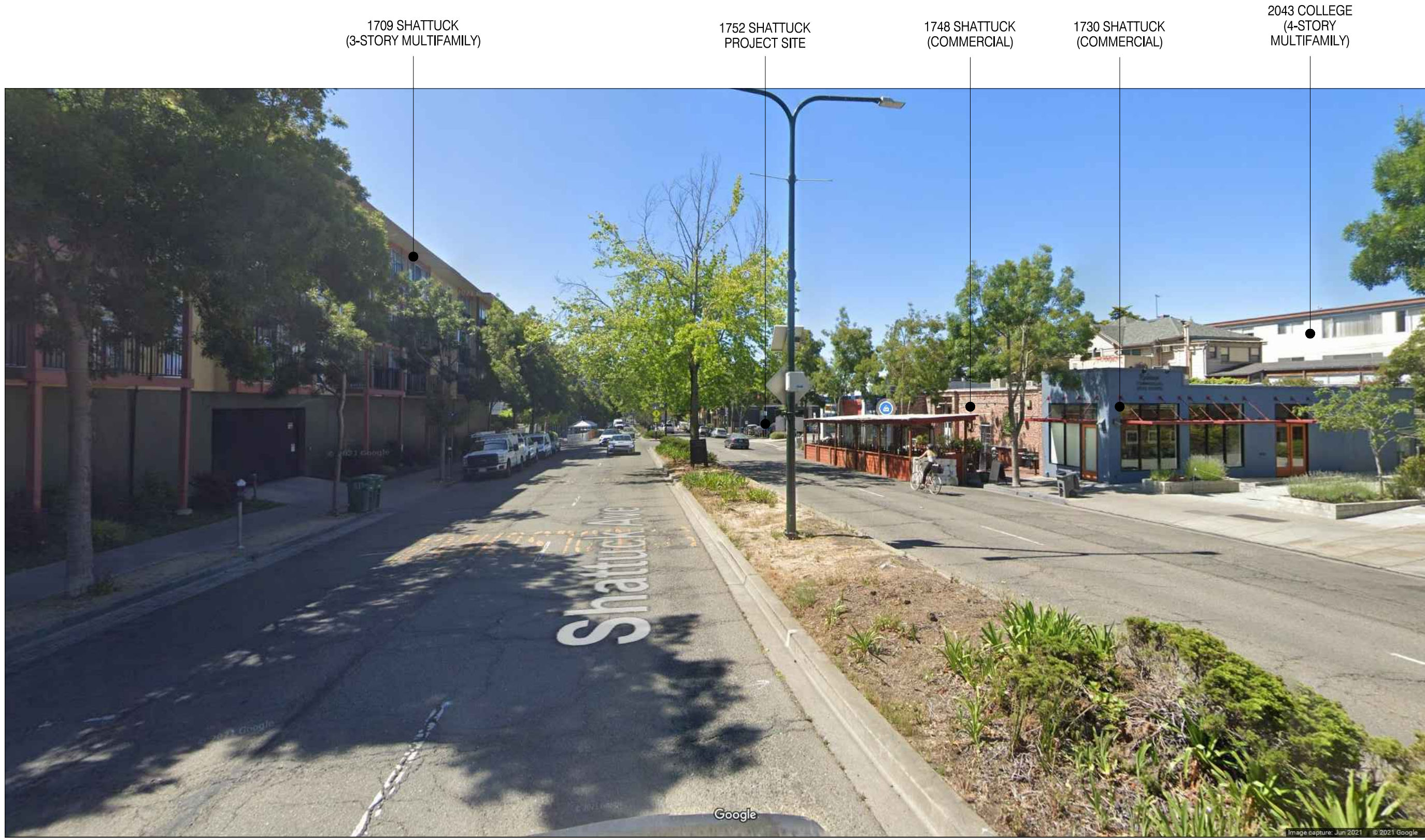
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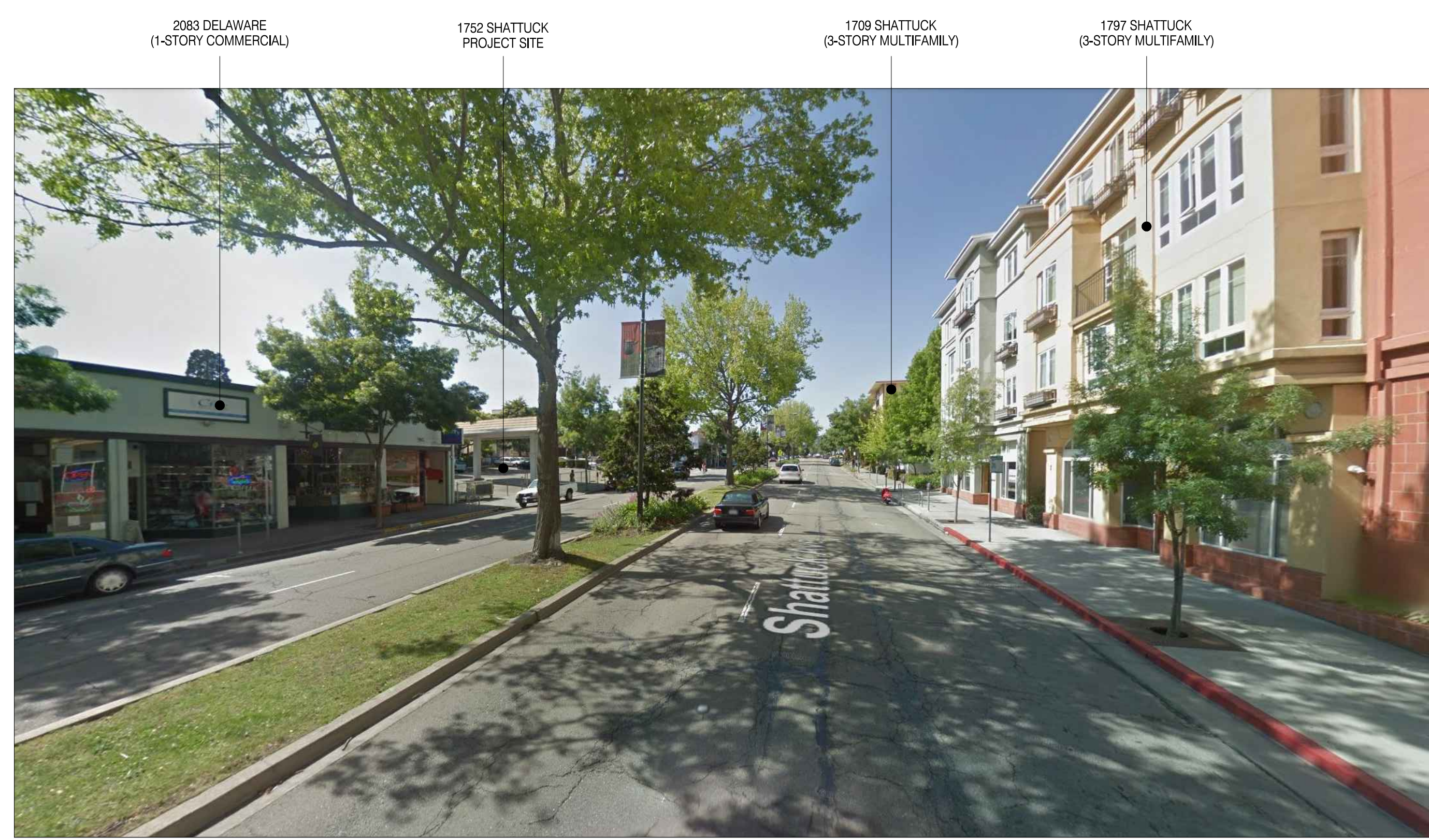
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-
VICINITY MAP
NTS



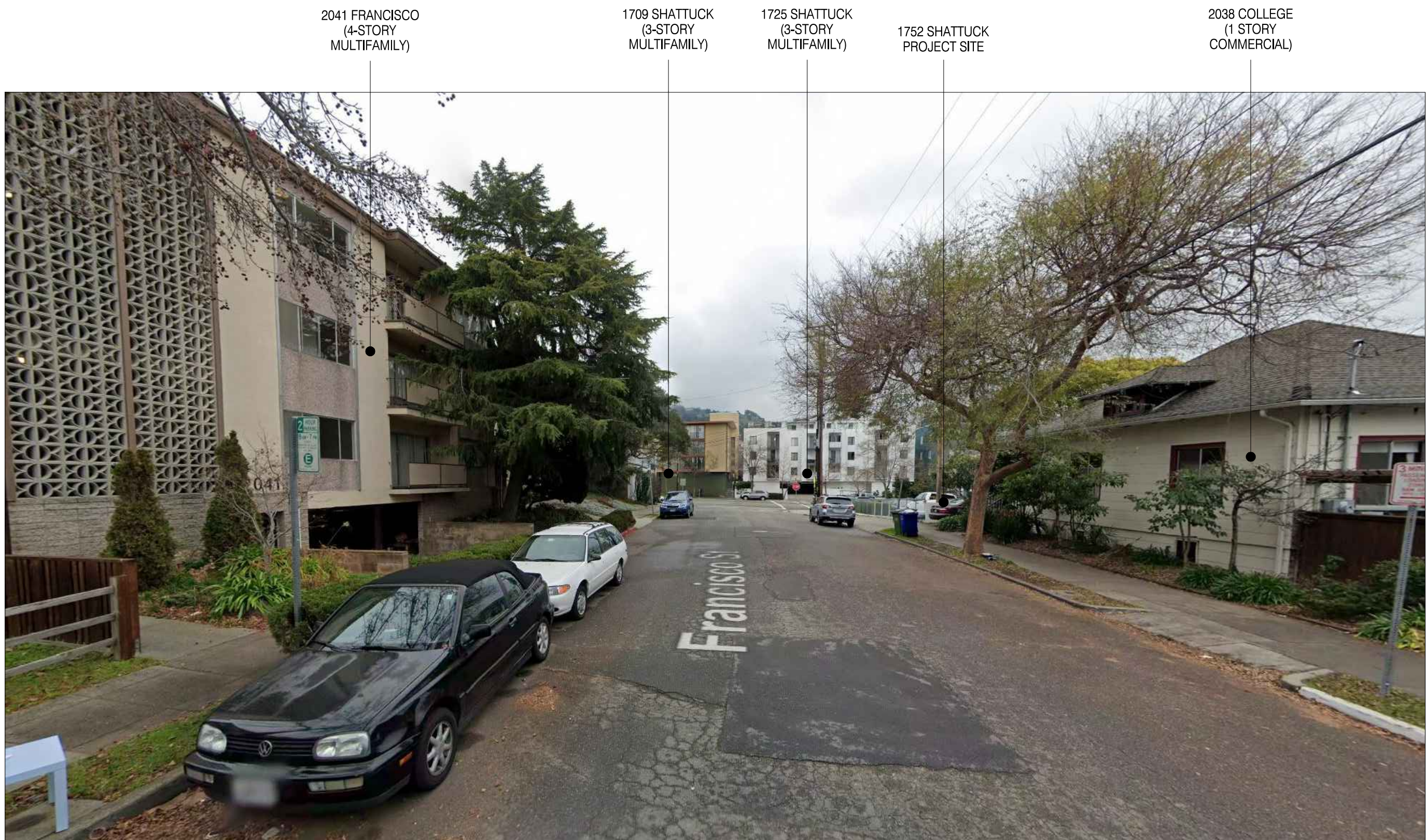
A0.6



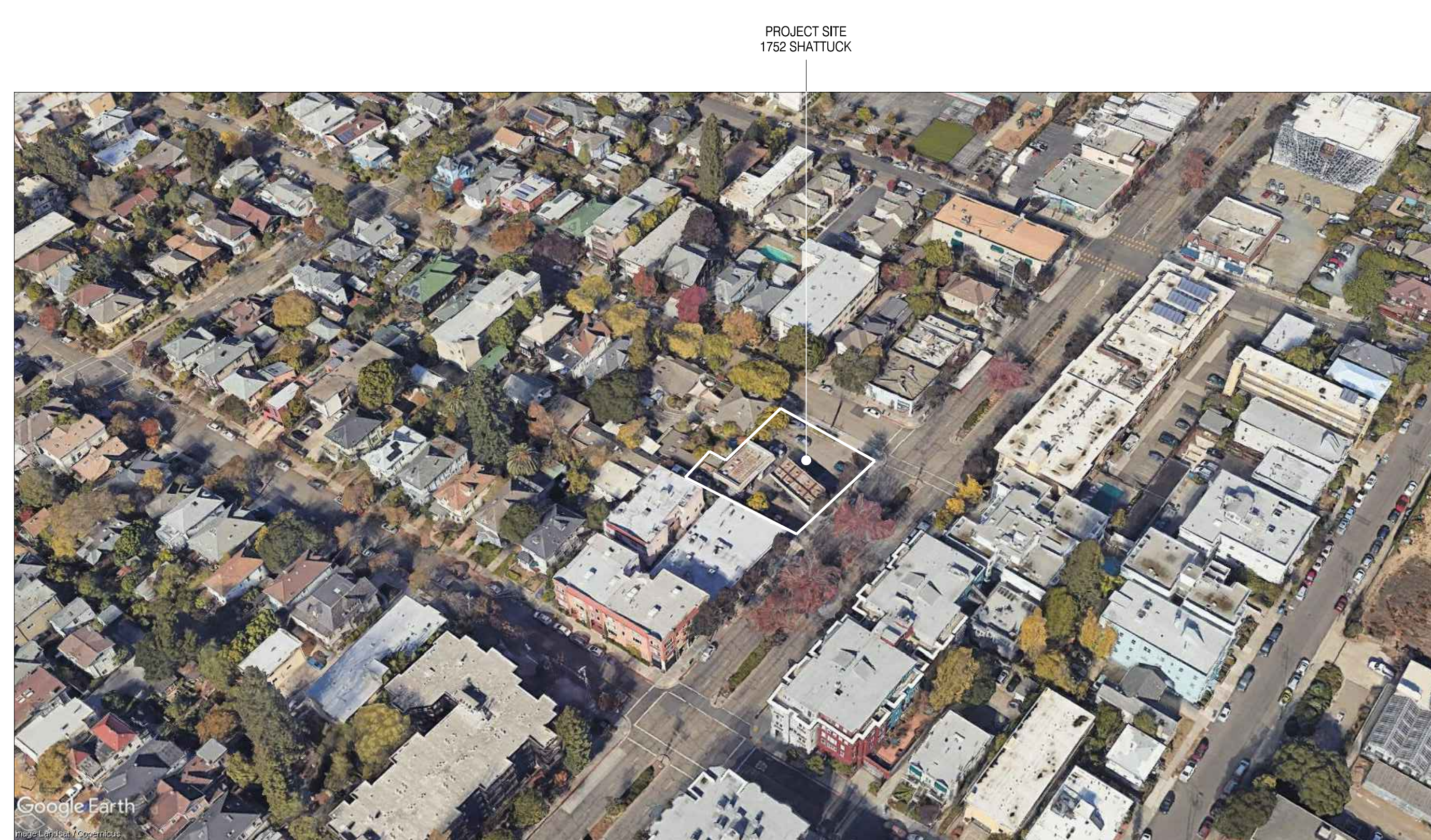
4 VIEW FROM SHATTUCK LOOKING SOUTH



2 VIEW FROM SHATTUCK LOOKING NORTH



3 VIEW FROM FRANCISCO LOOKING EAST



1 GOOGLE EARTH BIRD'S EYE CONTEXT VIEW

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SHEET:
SITE CONTEXT
PHOTOS

A0.5



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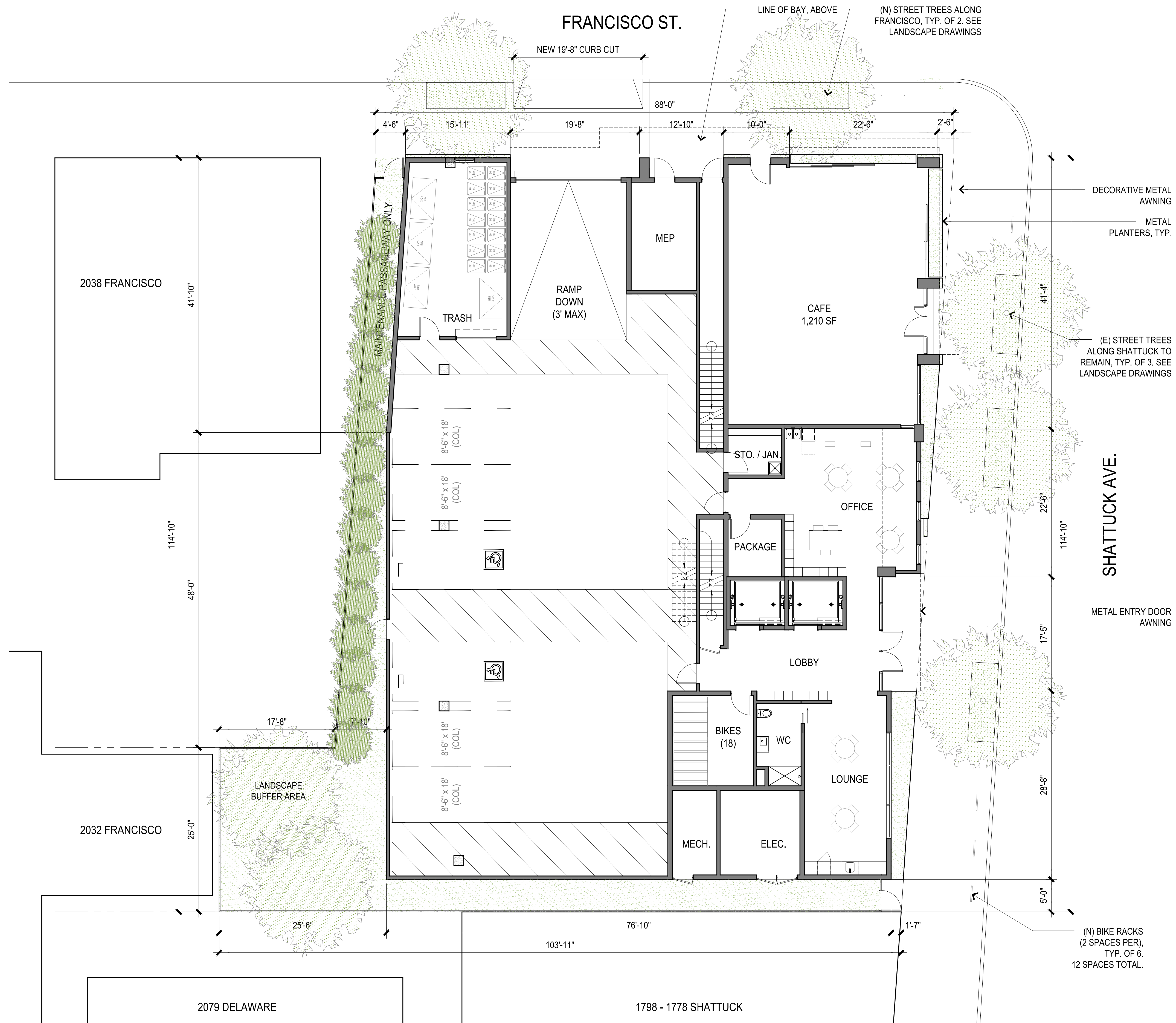
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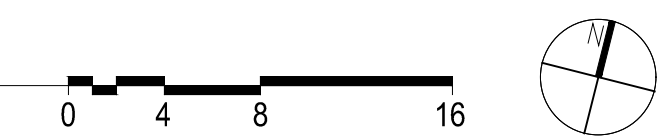
SHEET:

PLAN AT GROUND LEVEL

A2.1

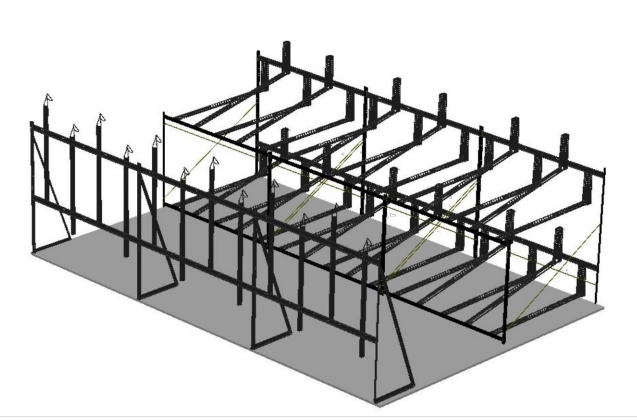


1 GROUND LEVEL PLAN
 1/16" = 1'-0" @ 11x17 1/8" = 1'-0" @ 24x36



Stretch Rack OR EQUIVALENT

Recommended Spacing

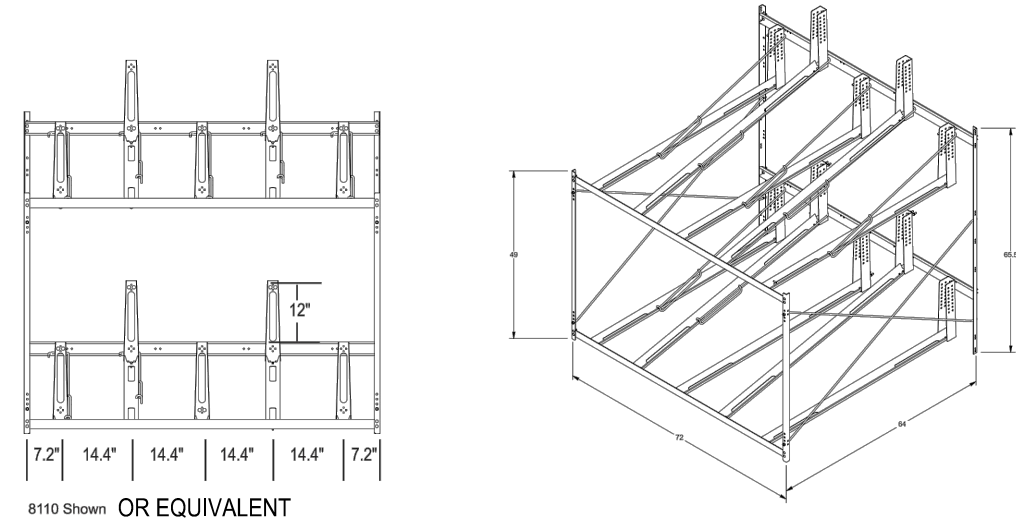


Product Details

- Modular construction allows for easy expansion, side by side or back to back
- Staggered bike position saves space and eases clearance between bikes
- Can be combined with vertical racks for full bike room layout
- Does not require anchoring (wall or floor)
- Bolt together design

- Stretch Rack as manufactured by Saris
- 4, 8 or 10 bikes
- Powder coat black only
- Anchoring not required
- Units can be combined in a row. Can be freestanding or mounted onto wall
- 8 ft ceiling clearance required

Anchors must be purchased separately.

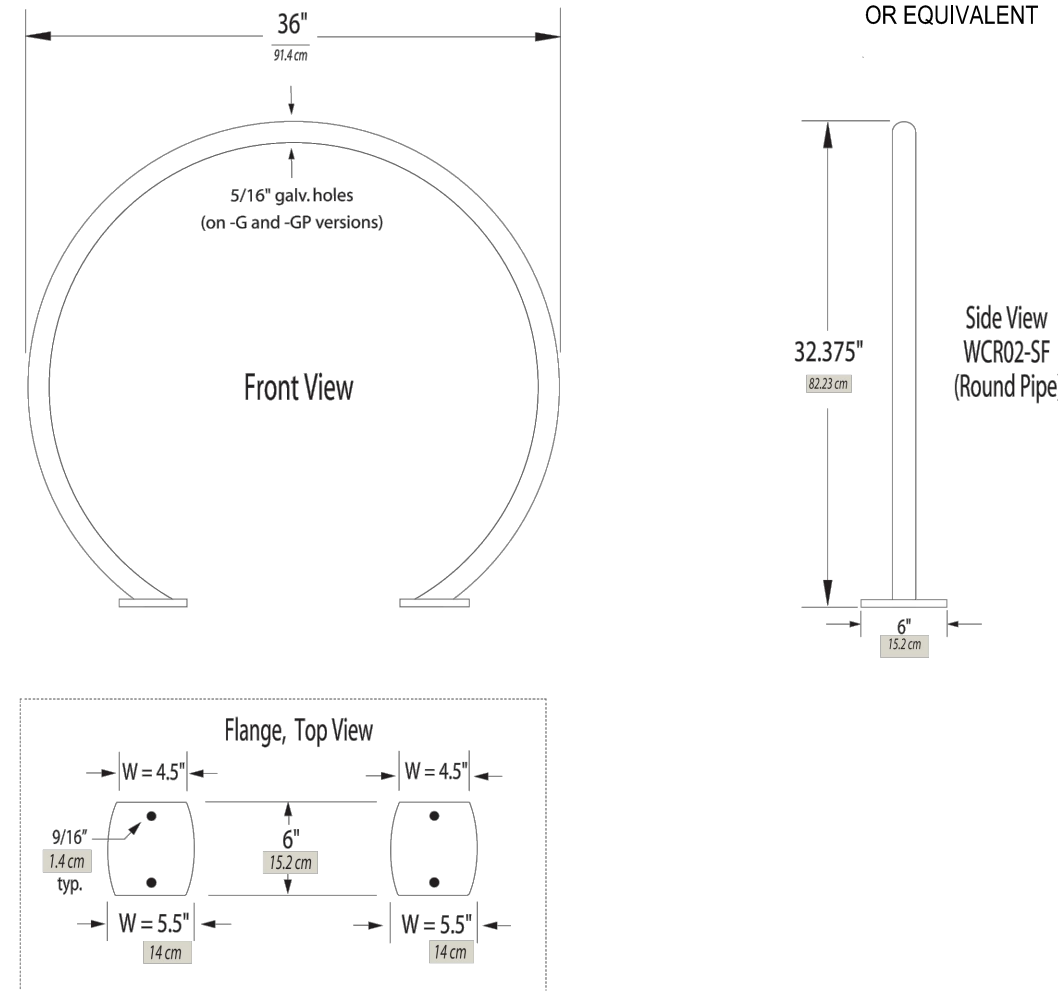


Saris Bicycle Parking & Storage Solutions 800.783.7257 x174 www.sarisparking.com

Downloadable product resources available online: CAD, Sketching files, Render types, Photos

3 INT. BIKE RACK CUT SHEET

BIKEPARKING.COM™ Welle™ Circular Rack Surface Flange Round Pipe OR EQUIVALENT



Tabing	Model	Weight	Finish Options	Hoop	Surface Mount Flanges	Anchors
Round Pipe	WC02-SF	23 lbs (10.7kg)	<ul style="list-style-type: none"> G Hot Dipped Galvanized P Powder Coated (color) GP Hot Dipped Galvanized with Powder Coat (color) Top Coat SS Stainless A4 Brush Finish 	<ul style="list-style-type: none"> G, P, GP 2.375" O.D. x 0.134" Wall (80mm) (80mm) SS 2.375" O.D. x 0.135" Wall (80mm) (80mm) 	<ul style="list-style-type: none"> (2) 5" x 6" x 3/8" Plates (225mm x 152mm x 3mm) each with (2) 9/16" Holes (38mm) 	<ul style="list-style-type: none"> (2) 1/2" x 2.75" (38mm x 70mm) Rail Spike (2) 1/2" x 3.75" (38mm x 95mm) Wedge Anchor Bolt

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2 EXT. BIKE RACK CUT SHEET

2

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METAL ENTRY DOOR
AWNING

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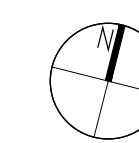
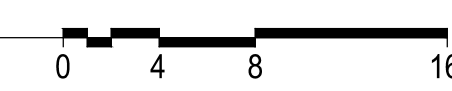
SHEET:

PLAN AT
LEVELS 2-6

A2.2



1 PLAN AT LEVELS 2-6
1/16"=1'-0" @ 11x17 1/8"=1'-0" @ 24x36



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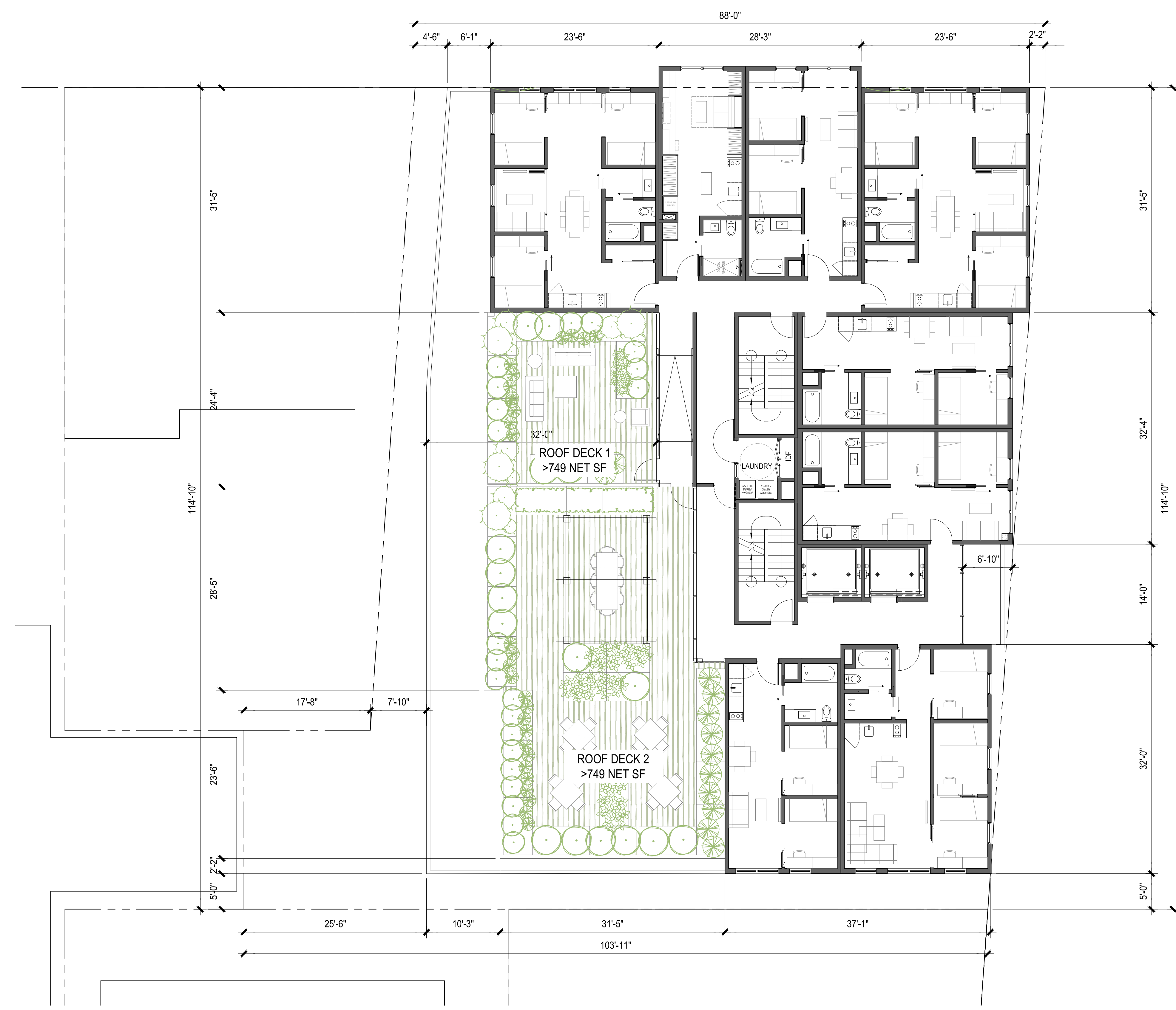
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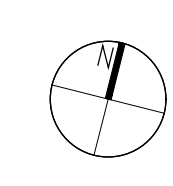
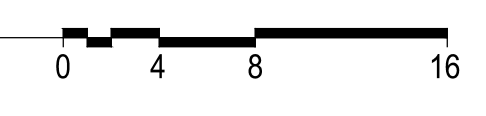
SHEET:

PLAN AT
LEVELS 7

A2.3

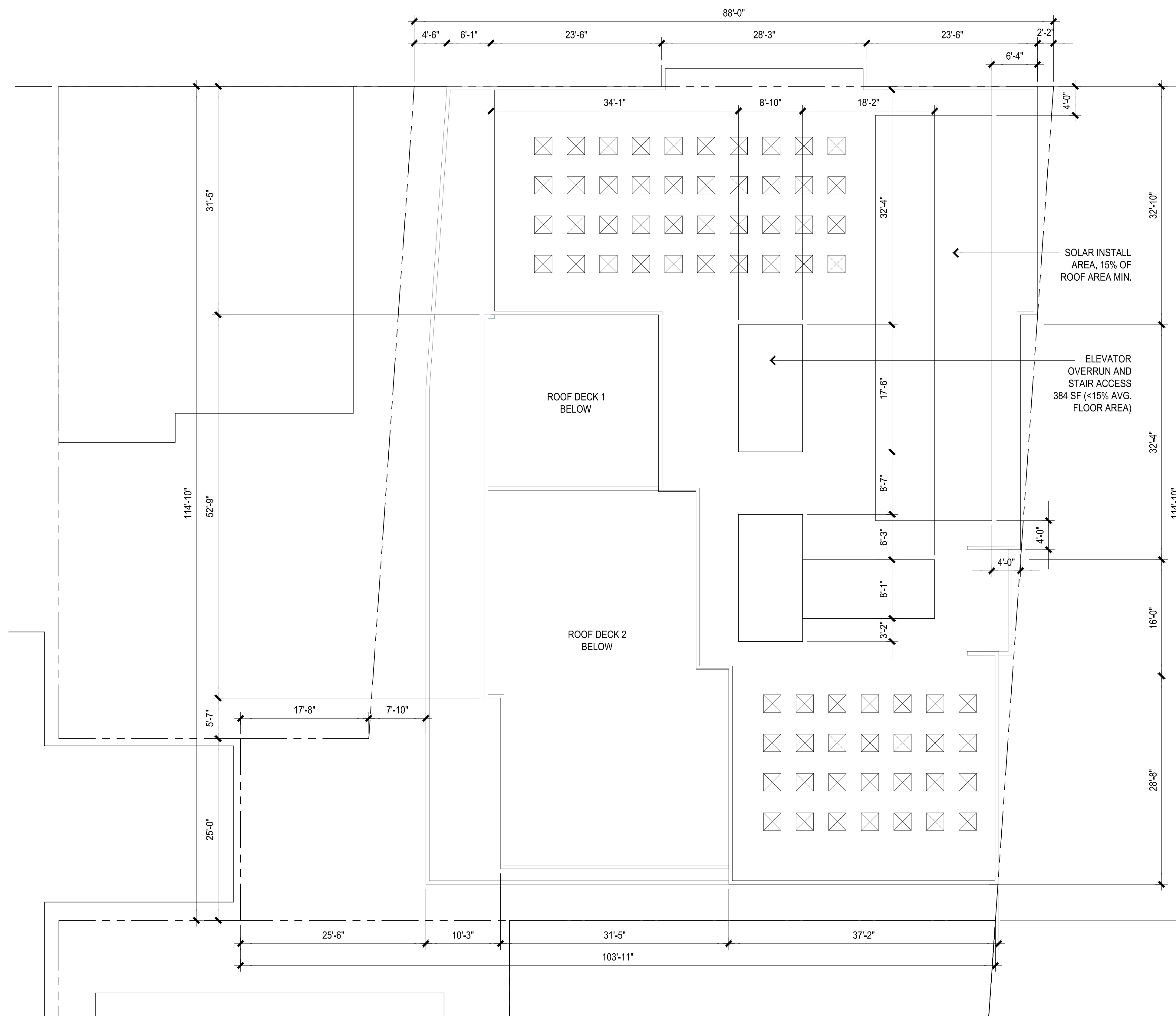


1 PLAN AT LEVEL 7
1/16"=1'-0" @ 11x17 1/8"=1'-0" @ 24x36



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SHEET:

PLAN AT
 ROOF

1 PLAN AT ROOF

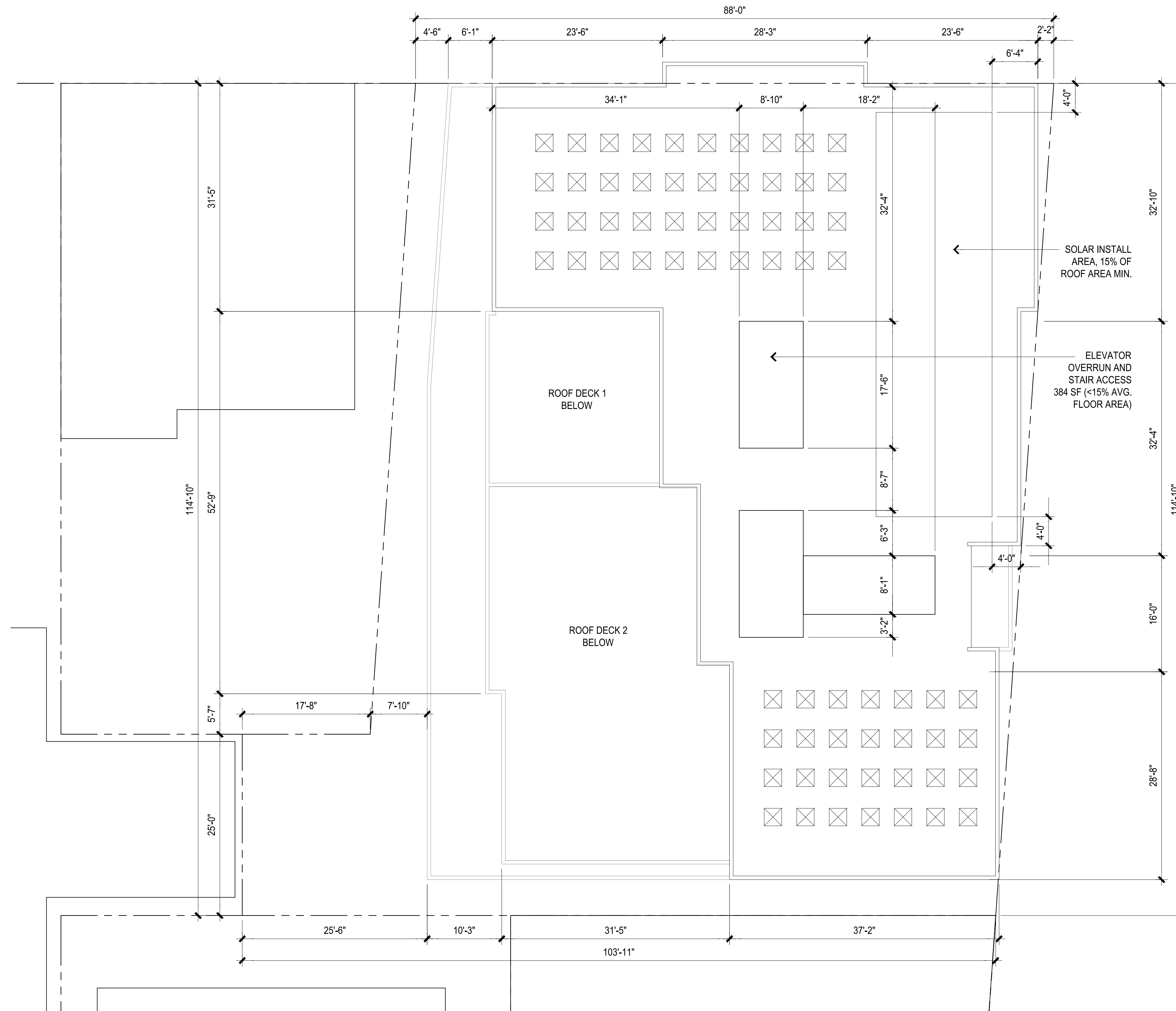
1/16"=1'-0" @ 11x17 1/8"=1'-0" @ 24x36



A2.4



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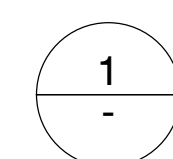
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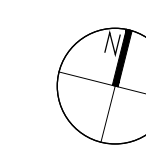
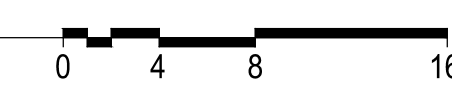
SHEET:

PLAN AT
 ROOF



PLAN AT ROOF

1/16"=1'-0" @ 11x17 1/8"=1'-0" @ 24x36



A2.4

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JOB: 2120

SHEET:
BUILDING
ELEVATIONS



1 SOUTH ELEVATION
3/32" = 1'-0" @ 11X17 3/16" = 1'-0" @ 24X36
0 4 8 16

A3.4

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2

STREET STRIP ELEVATION @ FRANCISCO STREET

1/32" = 1'-0" @ 11X17 1/16" = 1'-0" @ 24X36

0 4 8 16 32

**PANORAMIC
@ 1752
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AVENUE**

Berkeley, CA

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03.03.2022 ZONING COMPLETENESS
01.12.2023 ZAB REVISIONS



1

STREET STRIP ELEVATION @ SHATTUCK AVENUE

1/32" = 1'-0" @ 11X17 1/16" = 1'-0" @ 24X36

0 4 8 16 32

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SHEET:

**STREET STRIP
ELEVATIONS**

A3.5

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SHEET:
**PERSPECTIVE
 VIEW**

A3.8

1
 - SHATTUCK LOOKING WEST

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SHEET:

PERSPECTIVE
VIEW

A3.9

1
-

SHATTUCK LOOKING NORTHWEST

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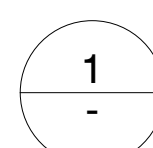
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SHEET:

PERSPECTIVE
VIEW

A3.10



SHATTUCK LOOKING SOUTHWEST

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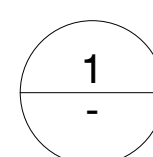
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SHEET:

PERSPECTIVE
VIEW

A3.13



VIEW ALONG SHATTUCK SIDEWALK LOOKING SOUTH

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SHEET:

PERSPECTIVE
VIEW

A3.15



1
-
VIEW OF CAFE ENTRY

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SHATTUCK
AVENUE**

Berkeley, CA

01.10.2022 ZONING APPLICATION

03.03.2022 ZONING COMPLETENESS

01.12.2023 ZAB REVISIONS

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JOB: 2120

SHEET:

PERSPECTIVE
VIEW

A3.16



1 CAFE CORNER VIEW AT NIGHT

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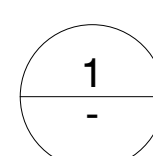
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SHEET:

PERSPECTIVE
VIEW

A3.17



VIEW OF NORTHWEST CORNER

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JOB: 2120

SHEET:

PERSPECTIVE
VIEW

A3.18



1
-

VIEW OF SOUTHWEST CORNER

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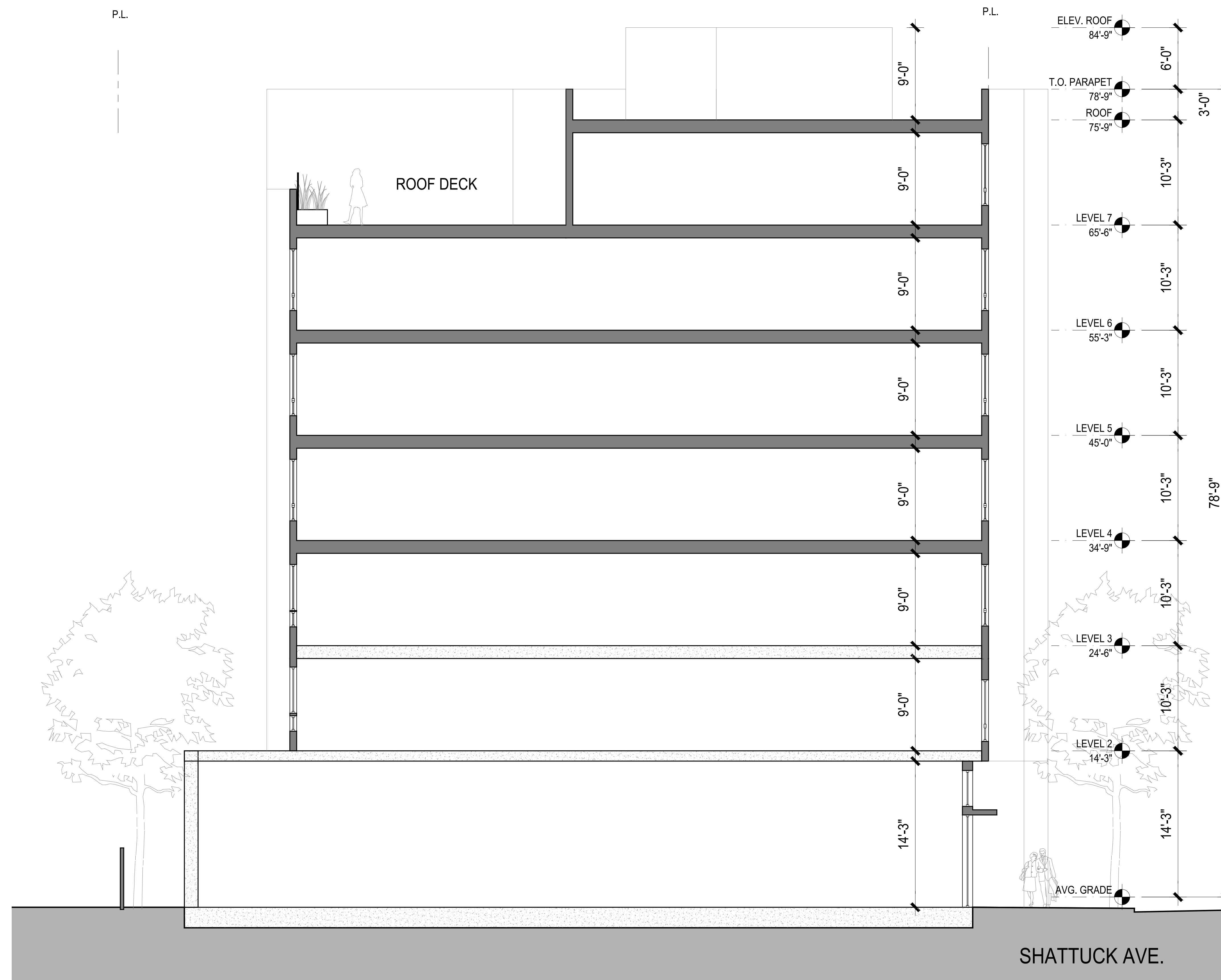
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SHEET:

SECTION

A4.1



1
 -
 E-W SECTION
 3/32"=1'-0" @ 11x17 3/16"=1'-0" @ 24x36

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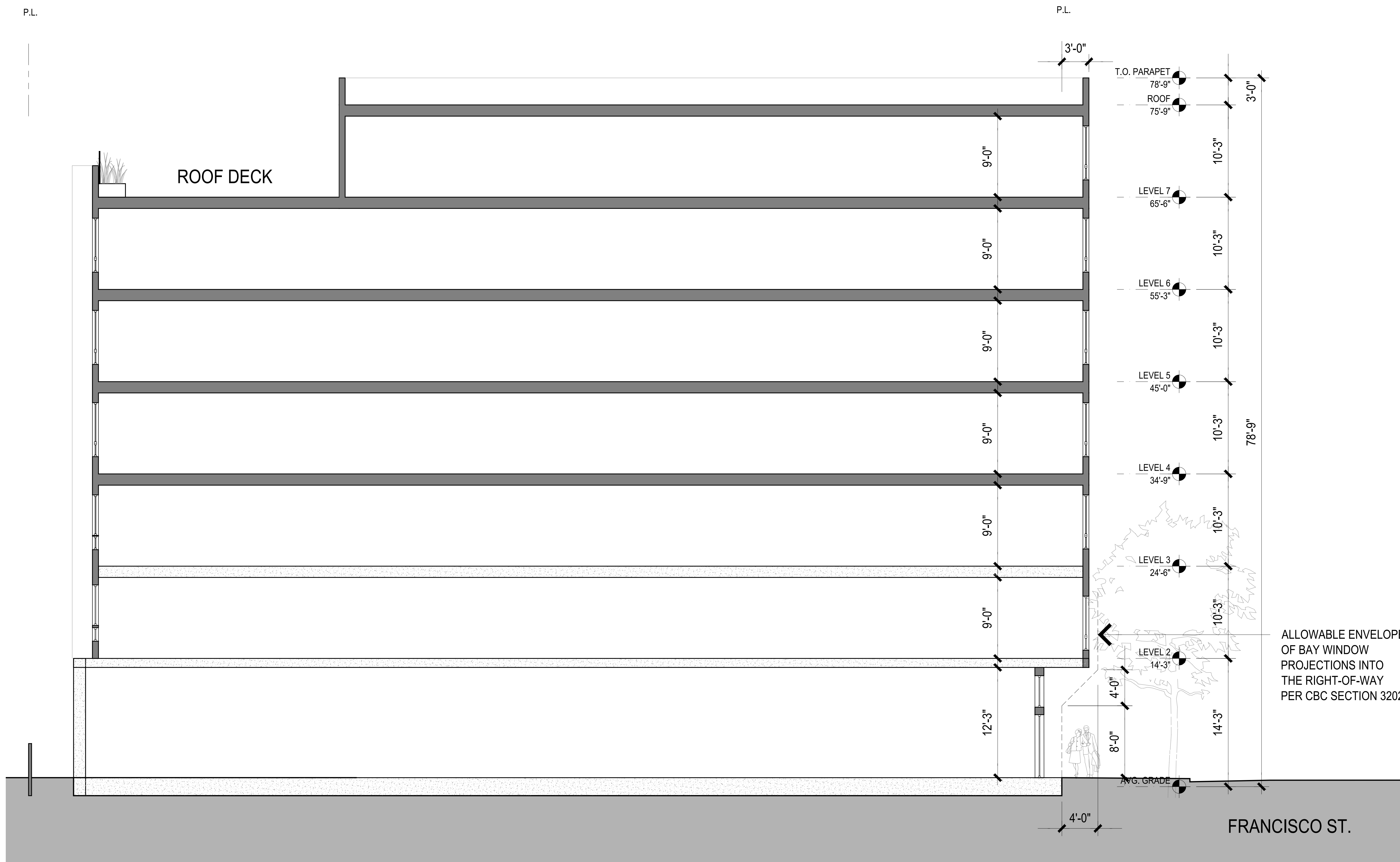
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JOB: 2120

SHEET:

SECTION

A4.2



1 N-S SECTION
 3/32"=1'-0" @ 11x17 3/16"=1'-0" @ 24x36

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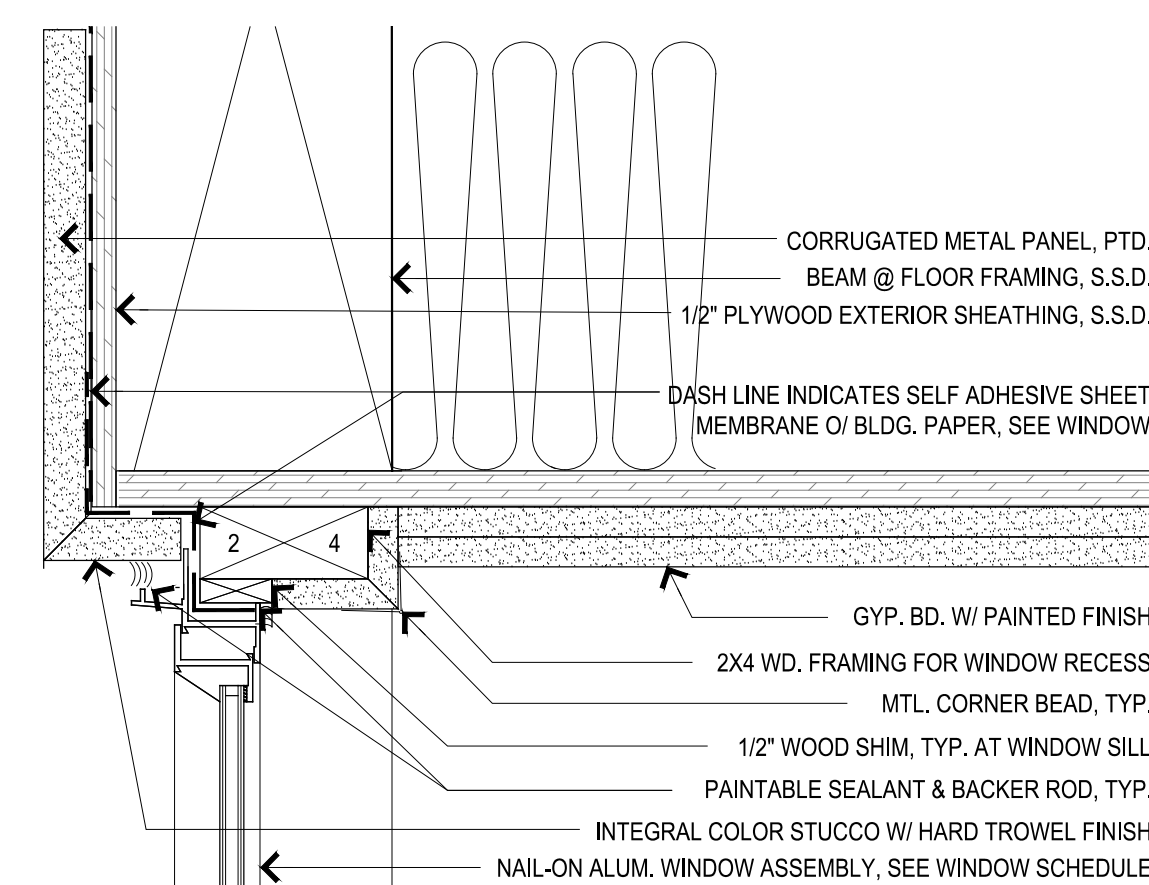
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SHEET:

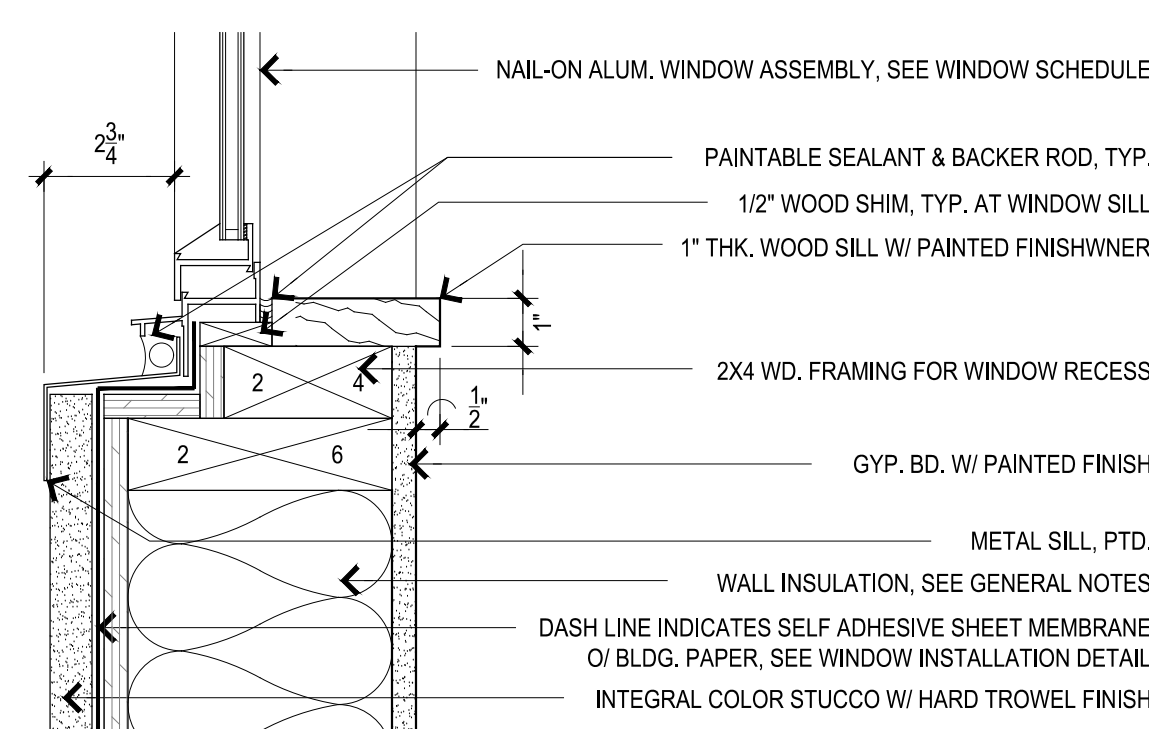
WALL SECTIONS

A4.3



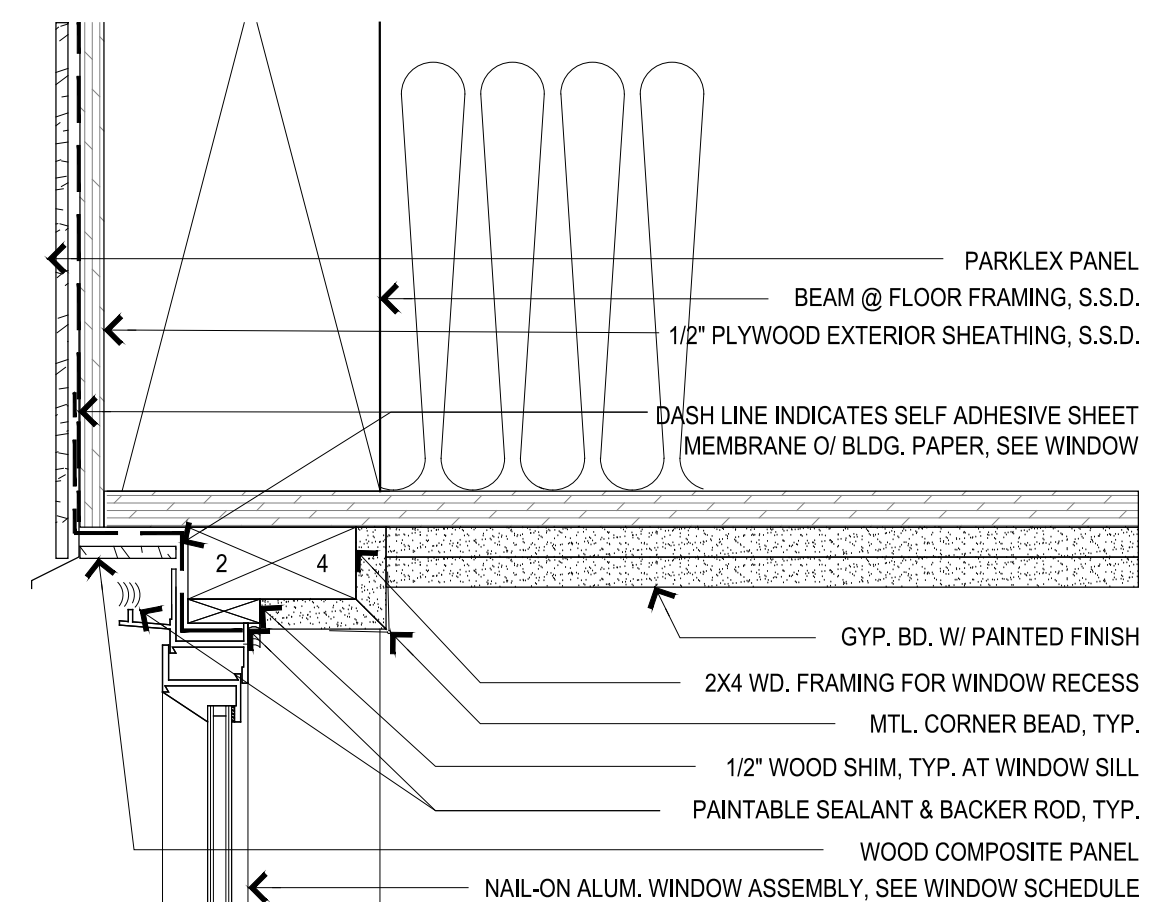
6 TYP. HEAD @ STUCCO

A4.3 6"=1'-0" @ 11X17 3"=1'-0" @ 24X36



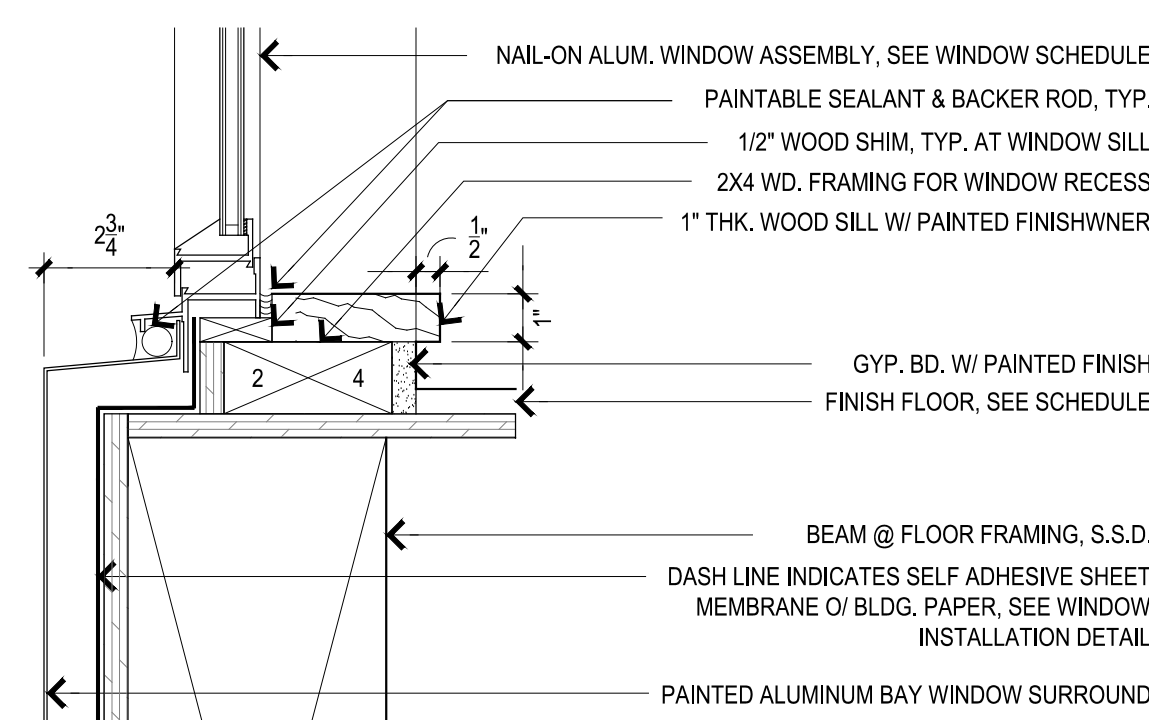
5 TYP. SILL @ STUCCO

A4.3 6"=1'-0" @ 11X17 3"=1'-0" @ 24X36



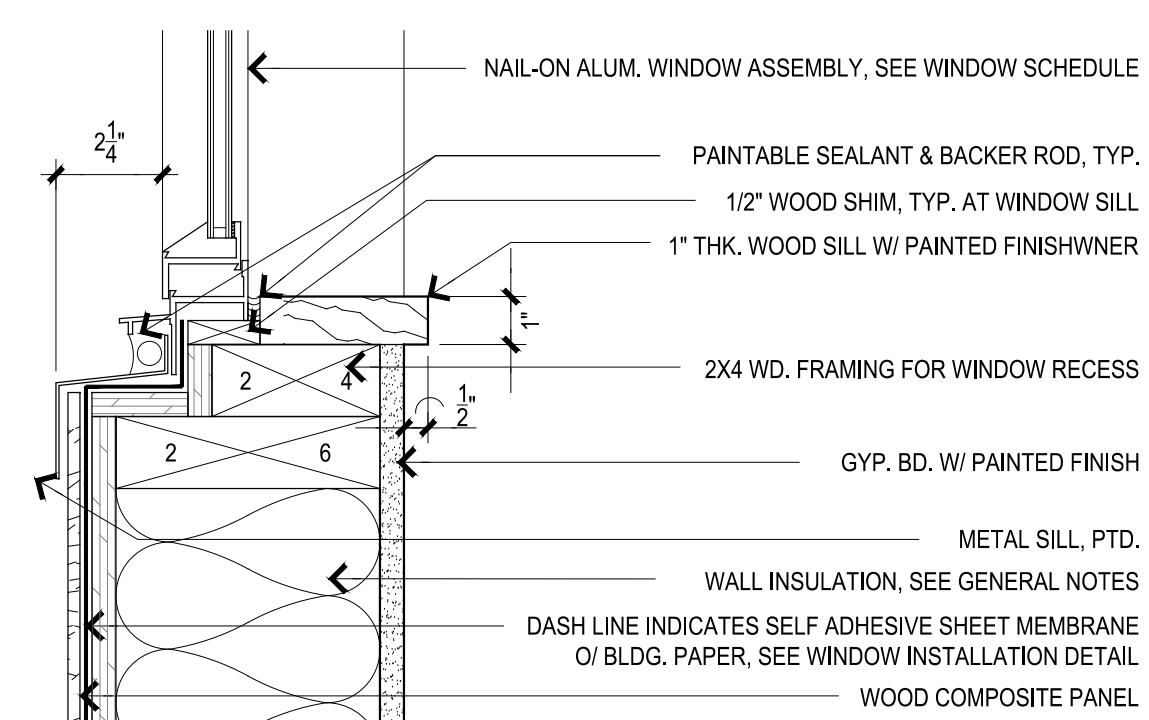
8 TYP. HEAD @ WD. COMP. PANEL

A4.3 6"=1'-0" @ 11X17 3"=1'-0" @ 24X36



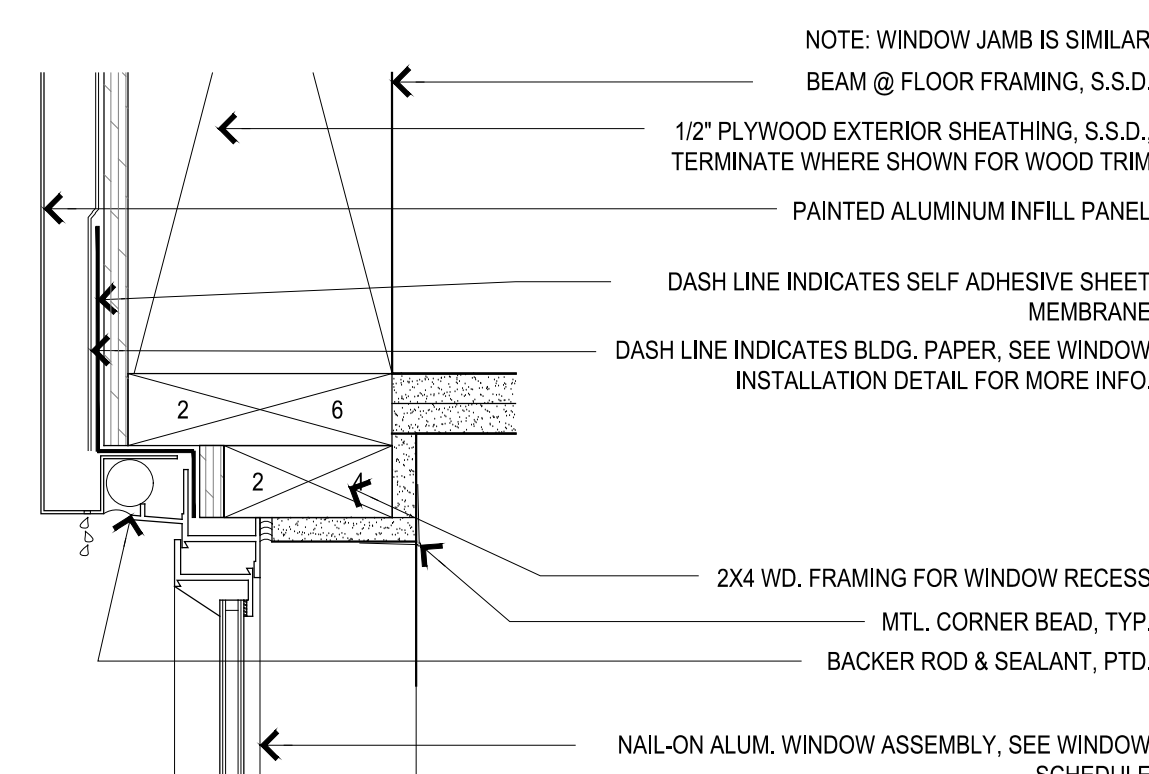
4 TYP. SILL AT FILL PANEL

A4.2 6"=1'-0" @ 11X17 3"=1'-0" @ 24X36



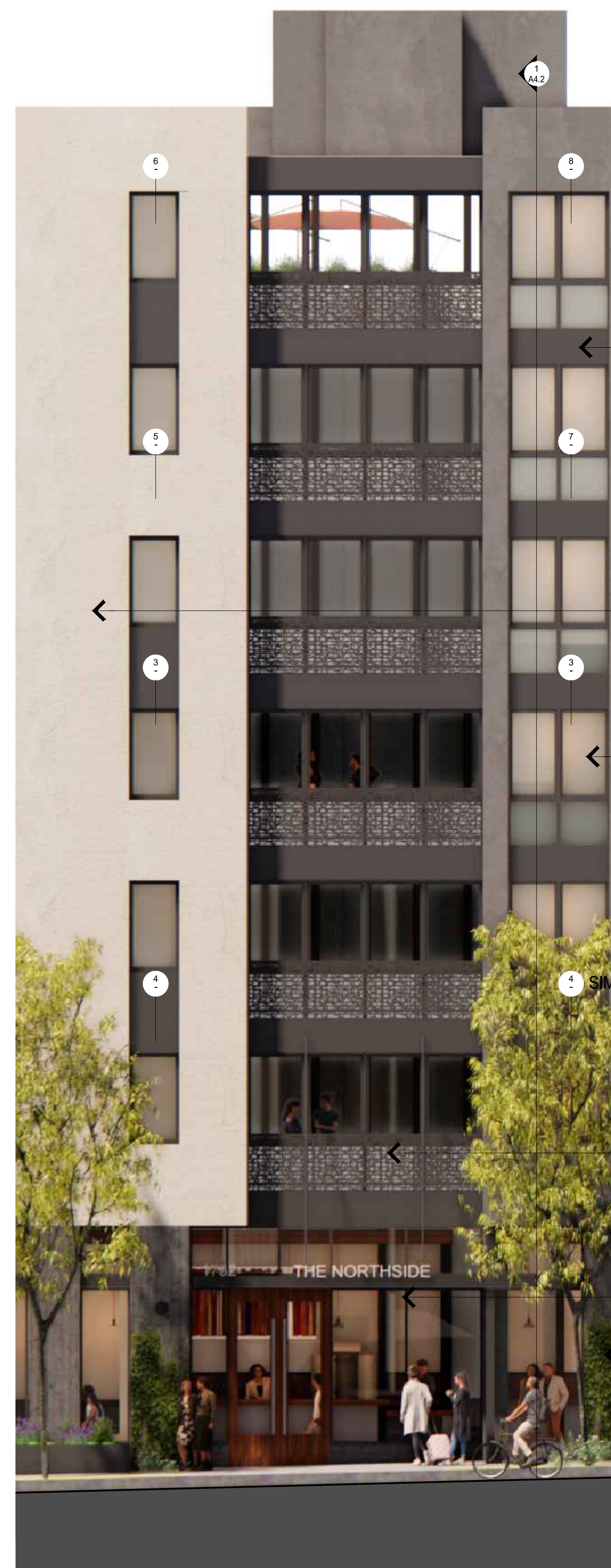
7 TYP. SILL @ WD. COMP. PANEL

A4.3 6"=1'-0" @ 11X17 3"=1'-0" @ 24X36



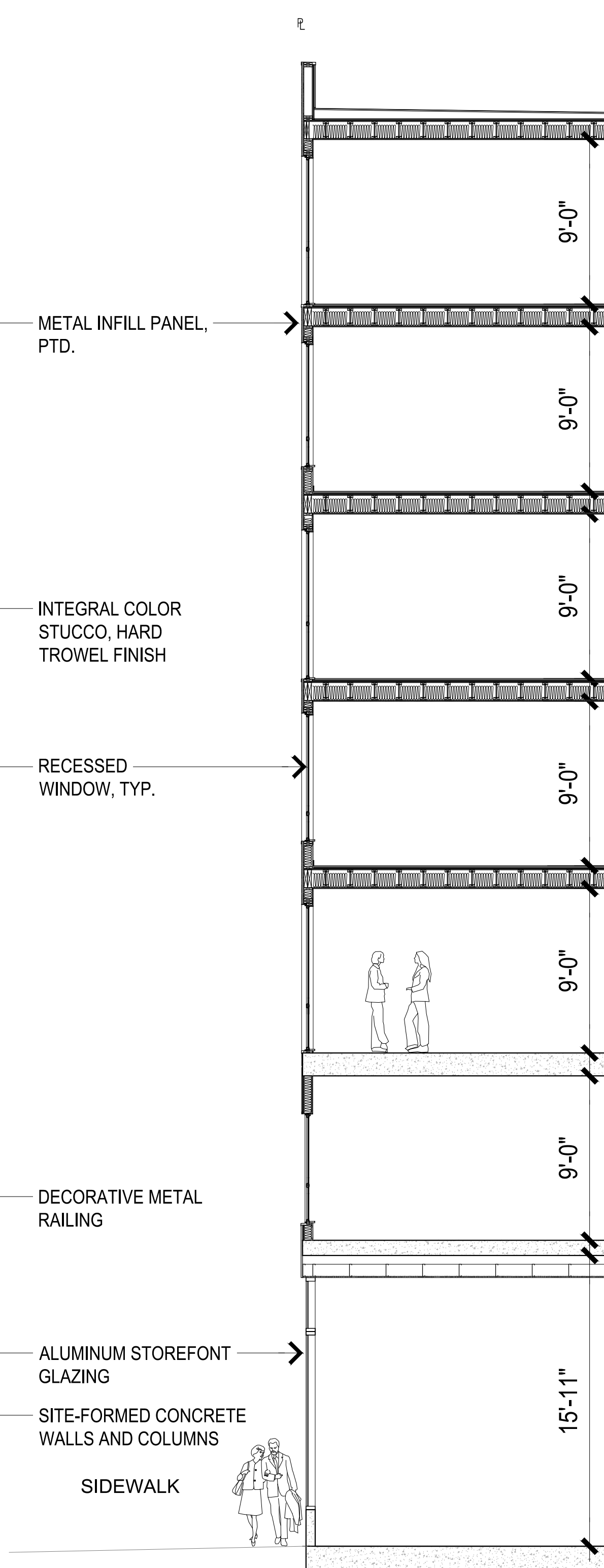
3 HEAD @ FILL PANEL

A4.2 3"=1'-0"



2 EAST ELEVATION DETAIL

A4.2 3/32"=1'-0" @ 11X17 3/16"=1'-0" @ 24X36



1 SECTION @ EAST FACADE

A4.2 3/32"=1'-0" @ 11X17 3/16"=1'-0" @ 24X36

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JOB: 2120

SHEET:

BUILDING
 MATERIALS AND
 COLORS

MAT



1 NORTH ELEVATION
 3/32" = 1'-0" @ 11X17 3/16" = 1'-0" @ 24X36 0 4 8 16

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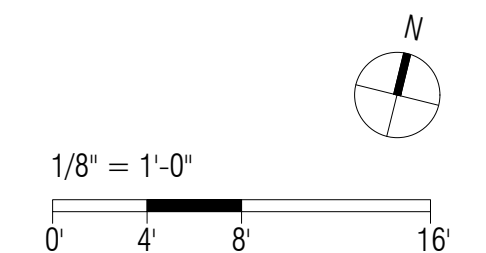
No.	Date	Title
1	2022.03.02	ZONING RESUBMITTAL

Registration and Signature

LANDSCAPE CONCEPT

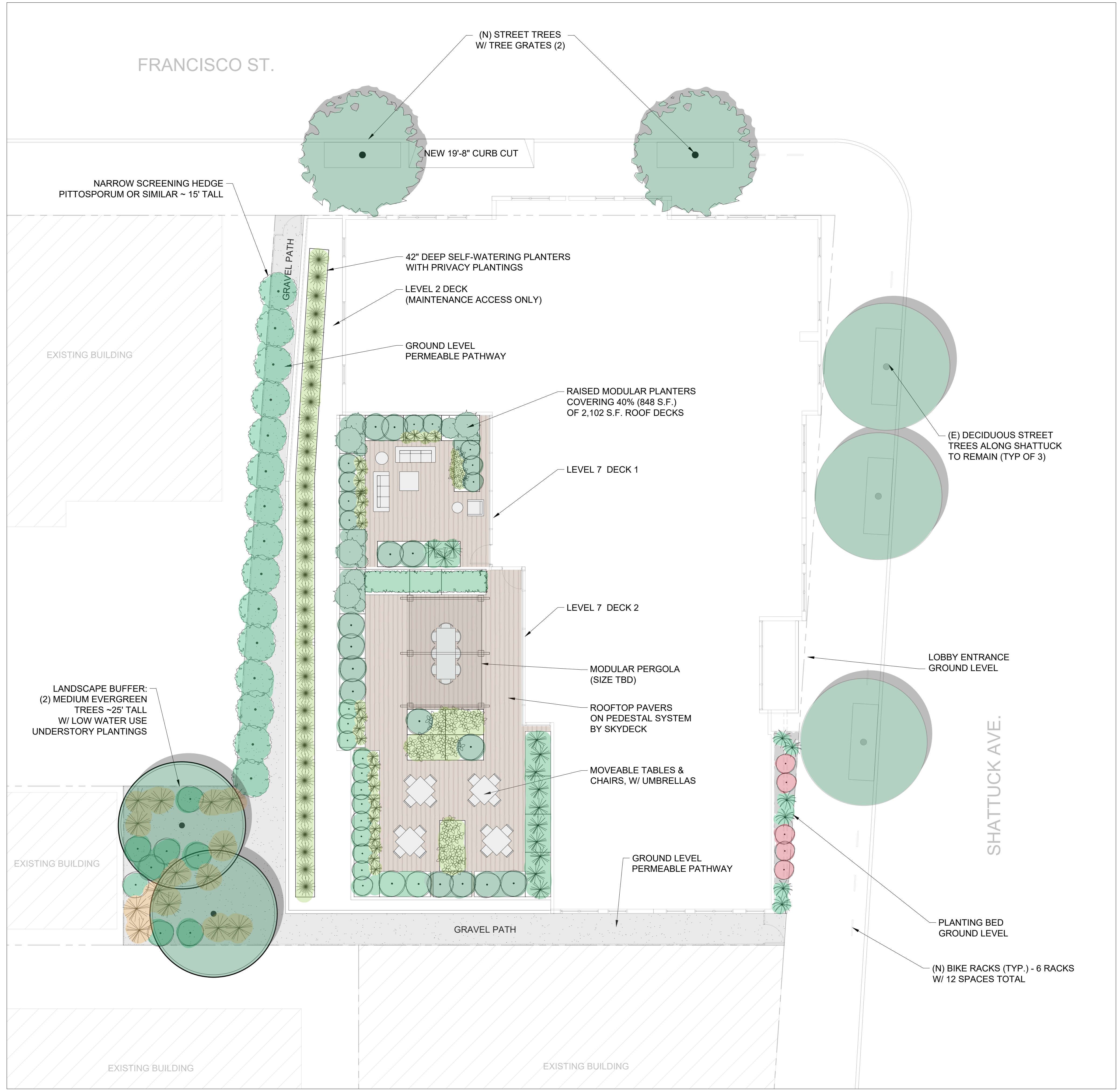
OWNER/CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES ON PLAN. LANDSCAPE ARCHITECT IS NOT A PROFESSIONAL SURVEYOR AND INTENDS THESE PLANS ONLY AS AN APPROXIMATION OF ACTUAL SITE CONDITIONS AND AS A GUIDE FOR NEW CONSTRUCTION.

Lead Associate: J. Mathers
 Principal: R. Radford
 Job Name: 1752 Shattuck
 APN: 058 217600101



SHEET NO.

L.1



TOURNESOL SELF-WATERING PLANTERS
(WILSHIRE COLLECTION)

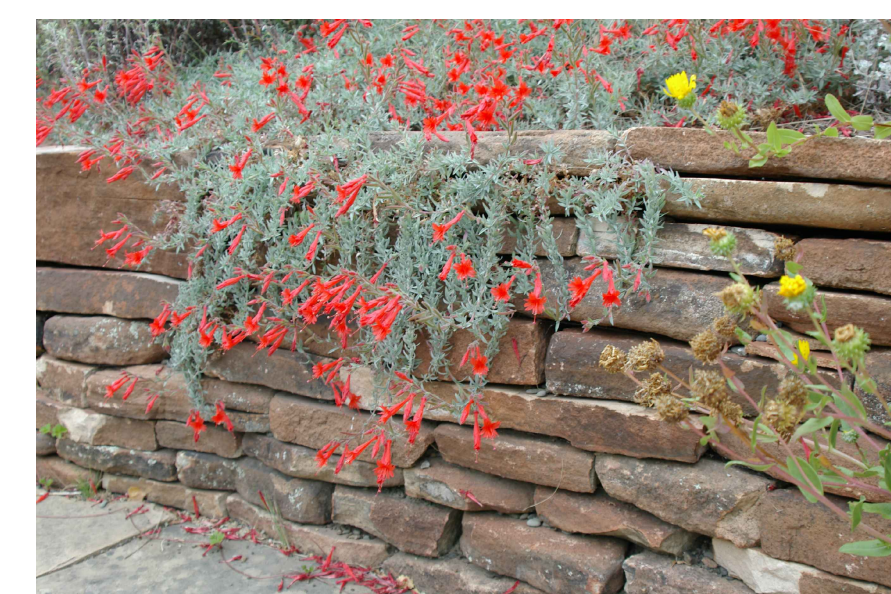


FREESTANDING PERGOLA
WITH LOUVERED OR CANVAS SCREEN ROOF



PRELIMINARY PLANT PALETTE

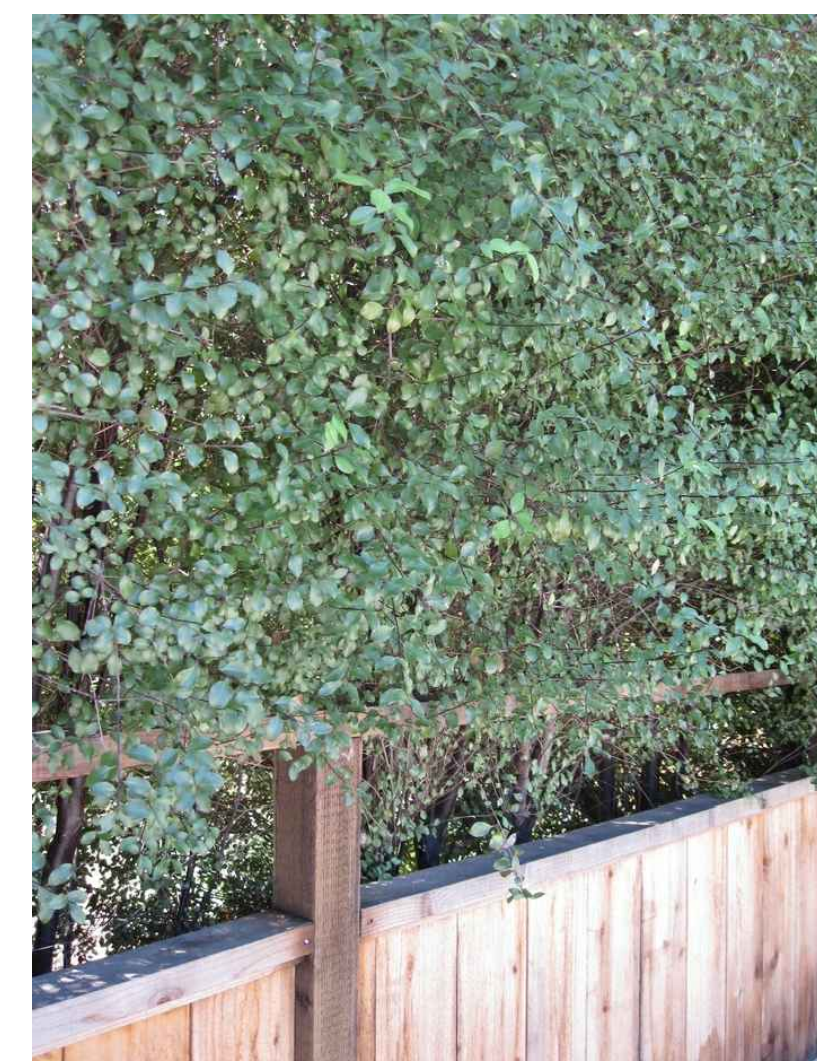
BOTANICAL NAME	COMMON NAME	TYPE	WATER USE	HEIGHT	WIDTH	NATIVE
STREET TREES						
Arbutus X 'Marina'	strawberry tree	T	L	25 - 40'	10 - 30'	
SCREENING HEDGE (GROUND LEVEL)						
Pittosporum tenuifolium 'Silver Sheen'	Silver Sheen kohuhu	S	M	15 - 20'	6 - 8'	
SCREENING CONTAINER ALTERNATIVES (LEVEL 2)						
Acacia cognata 'Cousin Itt'	Cousin Itt bower wattle	S	L	2 - 3'	4 - 6'	
Bambusa multiplex	hedge bamboo	Ba	L	15 - 20'	5 - 10'	
Dodonaea viscosa 'Purpurea' or 'Saratoga'	hopseed bush	S	L	10 - 18'	6 - 12'	
Myrtus communis	common myrtle	S	L	3 - 15'	5 - 15'	
Phoenix roebelenii	pygmy date palm	T	L	6 - 15'	6 - 8'	
SAMPLE PLANTS FOR STREETSCAPE & CONTAINERS (GROUND LEVEL & LEVEL 7)						
Agave x 'Blue Flame'	Blue Flame agave	Su	L	2 - 5'	2 - 5'	
Aloe striata	coral aloe	Su	L	1 - 3'	1 - 2'	
Artemisia californica 'Canyon Grey'	Canyon Grey sagebrush	S	L	1 - 2'	6'	Y
Echeveria x imbricata	hen and chicks	Su	L	1'	1'	
Epilobium canum	California fuschia	P	L	1 - 3'	3 - 6'	Y
Eriogonum latifolium	coast buckwheat	P	L	1'	3 - 4'	Y
Festuca californica	California fescue	G	L	1 - 3'	2'	Y
Frangula californica ssp. californica	California coffeeberry	S	L	5 - 15'	5 - 15'	Y
Heteromeles arbutifolia	toyon	S	L	6 - 30'	10 - 15'	Y
Juncus effusus	soft rush	P	M	3 - 6'	3 - 6'	Y
Olea europaea 'Little Ollie'	Little Ollie dwarf olive	S	L	4 - 6'	4 - 6'	
Prostanthera ovalifolia 'Variegata'	variegated mint bush	S	L	4 - 6'	3 - 5'	
Ribes sanguineum var. glutinosum	pink-flowering currant	S	L	5 - 12'	5 - 12'	Y
PLANT TYPES: Ba - BAMBOO G - GRASS P - PERENNIAL S - SHRUB Su - SUCCULENT T - TREE V - VINE						



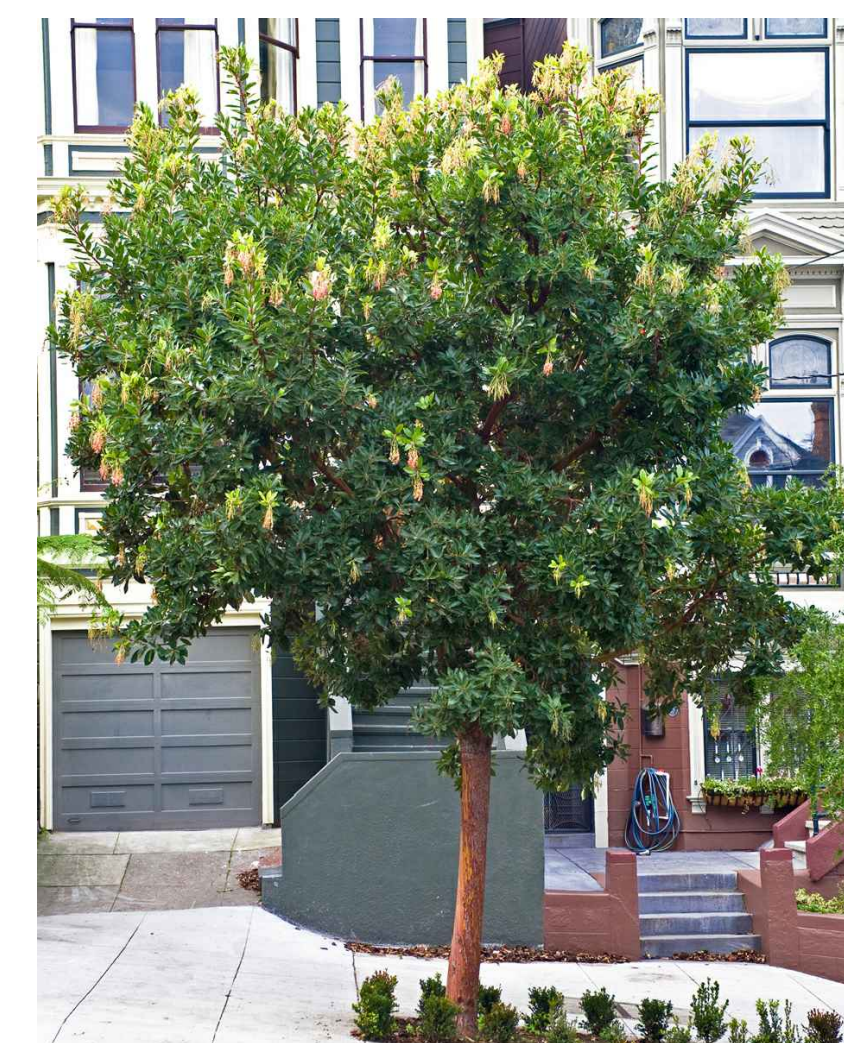
CALIFORNIA FUSCHIA
Epilobium canum



AGAVE 'BLUE GLOW' & 'BLUE FLAME'



SILVER SHEEN PITTOSPORUM HEDGE
Pittosporum tenuifolium 'Silver Sheen'



STRAWBERRY TREE
Arbutus X 'Marina'

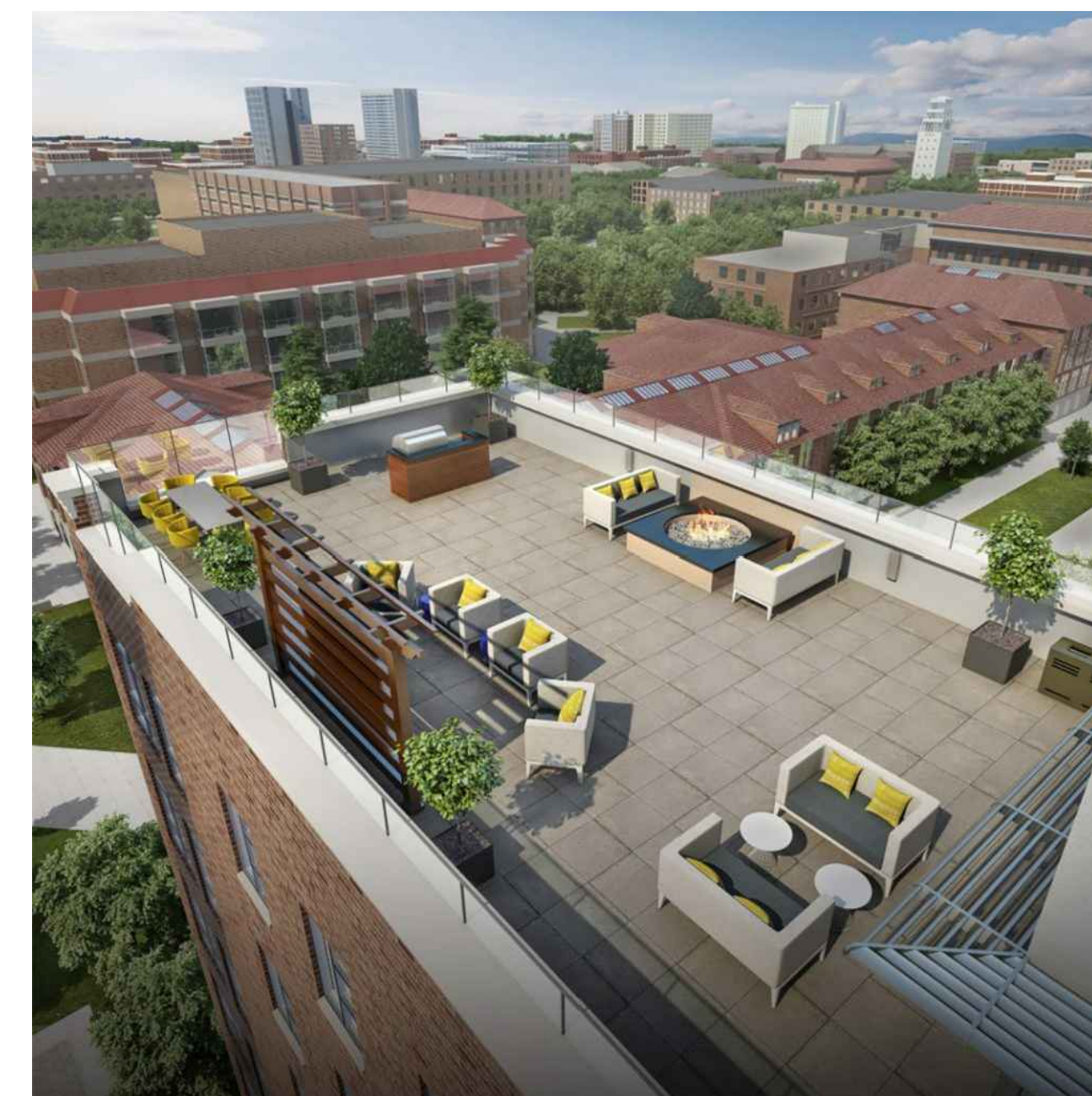


DROUGHT-TOLERANT MEDITERRANEAN
PERENNIAL GARDEN



PYGMY DATE PALM
Phoenix roebelenii

SKYDECK PEDESTAL PAVING SYSTEM



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REVISIONS

No.	Date	Title
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Registration and Signature

LANDSCAPE PALETTE & IMAGES

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SHEET NO.

L.2