

L A N D M A R K S
P R E S E R V A T I O N
C O M M I S S I O N

S T A F F R E P O R T

FOR ADVISORY COMMENTS
NOVEMBER 2, 2023

1840 WOOLSEY STREET

Staff-level Design Review application #DRCP2023-0016 for consideration of exterior alterations to an existing building originally constructed in 1897 and listed on the State Historic Resource Inventory.

I. Application Basics

A. Parties Involved

- Applicant & Architect: Denise Hall Montgomery
Denise Hall Montgomery Architects
1769 Alcatraz Avenue
Berkeley, CA 94703
- Property Owner: Rachel Neumann and Jason DeAntonis
1840 Woolsey Street
Berkeley, CA 94703

Staff Recommendation: Provide advisory comments.

Figure 1: Vicinity Map



Figure 2: Existing Elevation Drawing: North Elevation (Woolsey Street) – No Change



Figure 3: Existing Elevation Drawings: East Elevation (Martin Luther King Jr. Boulevard)



Figure 4 Proposed Elevation Drawings: East Elevation (Martin Luther King Jr. Boulevard)



Figure 5 Existing Elevation Drawings: South Elevation (rear)



Figure 6 Proposed Elevation Drawings: South Elevation (rear)



II. Background

History & Property Description

The existing buildings is a two- story mixed use building that was originally constructed as a residential building in 1897. The second floor was converted to law offices in 1984 when the residential unit was moved to the ground floor.

The building is designed in the Queen Anne Victorian style, with a hip roof and double hung wood sash windows. A smaller hip roof extends over the entry, and there is a smaller partial hip roof structure at the back of the house which was likely added when plumbing was brought into the house at some date in the 1910's or 1920's. The exterior wood siding is painted 6-inch boards with a v-groove joint. The wood deck at the back of the house was likely constructed at some unknown date in the 1980s.

Defining architectural characteristics of the main frontage on Woolsey Street include:

- Gabled roof over the front bay window adorned with a wood scalloped scale pattern and a half starburst detail at the peak;
- Front entry porch that is recessed beneath the main roof;
- Wood detail beneath the front porch fascia with wood ball and spindle detail;
- Wood columns that are articulated with a shape typical of the era and embossed brackets at the top of each;
- Railing and picket with geometric detailing.

Defining architectural characteristics of the secondary frontage on Martin Luther King Jr. Boulevard include:

- Covered entry door with faux roof and dental trim detailing.
- Simple fascia with dental accents at the roofline
- Simple sash and casing at window openings
- Railing and picket with geometric detailing.

LPC Referral Requirement

Berkeley Municipal Code (BMC) 23.406.070.1(A) – *Responsibility for Design Review*, requires applications for design review of projects which involve a building or structure listed on the State Historic Resources Inventory (SHRI), or on the List of Structures or Sites adopted by the Landmarks Preservation Commission (LPC) under Chapter 3.24, be referred to the LPC for comment, prior to approval of the application. This site is on the SHRI list with a 6Y status code, and thus is being referred to the LPC for comments.

III. Project Description

The project is currently on recorded as a mixed-use building with the ground floor serving as a residential dwelling unit and the upper floor operating as a law office. The Use Permit proposal would convert the office use at the second floor back to residential.

The existing 654-sf first floor one-bedroom dwelling unit will remain unchanged. There is an existing 130-sf laundry unit on the first floor which will be accessible for tenants use in both dwelling units. The building footprint will remain the same, and there is no additional floor area proposed as part of this project.

Exterior changes to the structure are limited to the south (rear) and east (side) elevations:

- Altering two existing sash windows with raised sills to accommodate the height of the proposed kitchen counter;
- Relocation of existing door at the rear elevation;
- Removal of two windows in the proposed new bathroom on the West and South elevations;
- Addition to the existing deck.

The Applicant Statement has provided as Attachment 1 of this report. The project plans are included as Attachment 2 for reference.

IV. Issues and Analysis

Staff has identified relevant criteria pertinent to this project from the City's established Design Review practices and general City-wide design guidelines and the Adeline Corridor Area Plan (2020). Both are outlined below with special attention to those that could benefit from input from the Commission at this time.

A. Adeline Corridor Specific (2020) Design Guidelines

The project site is located in the *South Adeline Subarea* of the adopted Area Plan, and the following design guidelines are applicable to this proposal for any alterations or new construction:

Page 3-13 3.3 Building Design

3. Distinct Building Forms and Details

Custom Details. Incorporate custom details to avoid generic architecture.

Response: The alterations are both functional as they respond to interior moves within the building envelope, but also give the building a custom aesthetic.

- B. City-Wide Design Guidelines** are applicable for this project. Excerpts from the City-wide Design Review Guidelines are included below for your reference:

Page 1-2 B) Street Facades

(1) Harmony With Surroundings The proposed design should be in harmony with its surroundings through the coordination of such design elements as cornice lines, eaves, and setbacks with those of existing neighborhood buildings. This is especially important when the architectural style of the proposed design is in

strong contrast to that of adjacent structures. Form, color, materials and texture of existing buildings should be considered in design of new structures.

Response: The altered windows and new proposed door and windows would be detailed to match the existing window and doors on the building.

(3) Window and Door Treatment Window and door placement, size, grouping and shape should be sensitive to the neighborhood pattern, and should relate to design characteristics of surrounding buildings, especially when adjacent to historic structures.

Response: The minor alterations to the existing window openings are in keeping with the building design and would be detailed to fit with the existing window types, which are in keeping with residential feel of this transitional block.

V. Discussion Items

Consistent with the City's established practices for Preliminary Design Review, staff recommends that the Commission study and consider the following aspects of this design proposal:

Neighborhood Context:

- Consider the site context of this residential project, which sits at the corner of Woolsey Street and Martin Luther King Jr. Boulevard across the street from the Ashby Bart Station.
- Consider the relationship of the project to the surrounding parcels, which consist of both single family and multi-family developments and a church to the North of the project.
- Given the context of the area and the objectives of the project, the proposed exterior alterations are found to be generally consistent with the pattern of development and, as currently designed is reflective of its context.

Building Details & Windows

- Review and consider the proposed alterations to the window and door locations and detailing, and how they are compatible with the existing building design.

Colors & Materials

- Review colors and materials of the project. All new features are specified to match existing.

VI. Recommendation

Staff recommends that the Commission review the proposed alterations and provide advisory comments to staff for the pending Committee Level Design Review application, in accordance with BMC Section 23.406.070.1(A).

Attachments

1. Applicant Statement, received September 14, 2023
2. Project Plans, received October 11, 2023

Prepared by: Desiree Dougherty, Assistant Design Review Planner....

Reviewed by: Fatema Crane, Principal Planner; fcrane@berkeleyca.gov ; 510-981-7410

architecture
denise hall montgomery

1769 alcatraz avenue
berkeley, ca 94703
t 510.547.3040
a california corporation

applicant statement

City of Berkeley
Planning and Development Department
1947 Center Street, 3rd Floor
Berkeley CA 94704

Re: Change of Use
1840 Woolsey Street
Berkeley, CA 94703

August 17, 2023

Our clients, Rachel Neumann and Jason DeAntonis, propose to change the use of the second floor of the building at 1840 Woolsey Street, Berkeley, California, 94703 from offices (Commercial Use) to a residential dwelling (Residential Use). There is no change proposed for the existing dwelling unit on the first floor. Since the use will change from commercial to residential, the requirement for a Use Permit is triggered.

Constructed in 1897, the building at 1840 Woolsey Street was originally built as a single-family residence with the main residence on what is now the second floor. In 1984, a Use Permit was approved “to relocate the existing dwelling unit from the second floor to the first floor of the building, and allow a law office to operate on the second floor.” This Change of Use proposed here would return the second floor to a residential use and keep the existing dwelling unit on the first floor. The end result will be a building with (2) dwelling units.

The Change of Use satisfies the findings for issuance required by the Zoning Code by not changing the proposed number of parking spaces, maintaining all required setbacks and open space, and staying under the required average and maximum building heights for an C-AC, Adeline Corridor Commercial District.

The proposed 920 sf remodel of the second floor from offices to a dwelling unit will include removing and rearranging spaces resulting in a residence of:

- Two bedrooms
- One full bathroom;
- One kitchen/dining/living room; and
- One entry.

The existing 654 sf first floor 1-bedroom dwelling unit will remain unchanged. There is an existing 130 sf laundry unit on the first floor which will be accessible for tenants use in both dwelling units. The building footprint will remain the same, and there is no additional floor area proposed as part of this project.

As part of the work, (2) sash windows will be replaced and (1) window will be added. The sills of the two replaced windows will be raised, by right, to accommodate the height of a new kitchen counter. The new window will be the same size as an existing window, but repositioned in the bathroom.

The residence at 1840 Woolsey Street was originally constructed in 1897. The address does not appear on any list for potential initiates as a historic structure of merit. The structure itself was built in the Victorian style as a modest single-family home, typical of the era. Since none of the proposed work alters any of the character defining architectural features, we will be requesting a waiver to the Historic Resource Evaluation required for alterations for structures older than 40 years.

Please do not hesitate to contact me with questions or concerns.

Sincerely,

A handwritten signature in black ink, appearing to read "Denise Hall Montgomery". The signature is written in a cursive, flowing style.

Denise Hall Montgomery, Architect

Attached: COB Building Permit history

GENERAL NOTES

1. THE CONTRACTOR SHALL EXECUTE THE WORK OF THIS PROJECT IN FULL COMPLIANCE WITH THE FOLLOWING CODE EDITIONS: 2022 CALIFORNIA RESIDENTIAL CODE (CRC), 2022 CALIFORNIA BUILDING CODE (CBC), 2022 CMC, 2022 CPC, 2022 CFC & 2022 CEC AS AMENDED BY THE CITY OF BERKELEY AND 2022 TITLE 24 ENERGY STANDARDS. THE CBC IS BASED ON THE 2022 IBC, 2022 UMC, 2022 UPC, 2022 IFC & 2022 NEC. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL APPLICABLE REGULATIONS, LAWS, ORDINANCES AND ORDERS BY ANY PUBLIC AUTHORITY HAVING JURISDICTION OVER THE PROJECT. THE CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT IN A TIMELY FASHION ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF APPLICABLE CODES AND THE DRAWINGS OF WHICH THE CONTRACTOR IS OR BECOMES AWARE.

2. THE CONTRACTOR SHALL STUDY THE CONTRACT DOCUMENTS AND REPORT TO THE ARCHITECT IN WRITING ALL INCONSISTENCIES AND OMISSIONS HE FINDS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING CONDITIONS OF THE SITE AND PROJECT PRIOR TO COMMENCING WORK. IF THE CONTRACTOR PROCEEDS WITH ANY OF THE WORK WITHOUT INSTRUCTIONS OF THE ARCHITECT, WHERE SUCH INSTRUCTIONS ARE REQUIRED BY THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL MAKE GOOD AT HIS OWN COST ANY RESULTING ERROR, DAMAGE OR DEFECTS.

3. WRITTEN DIMENSIONS ON DRAWINGS SHALL TAKE PRECEDENCE OVER DIMENSIONS SCALED FROM DRAWINGS. CONTRACTOR SHALL NOT SCALE DRAWINGS. IF A DIMENSION(S) HAS BEEN OMITTED THE CONTRACTOR SHALL BRING THIS TO THE ATTENTION OF THE ARCHITECT IN A TIMELY FASHION.

4. CONTRACTOR SHALL VERIFY DIMENSIONS AND DETAILS OF ALL PROJECT COMPONENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION CLEARANCES OF ALL ITEMS, INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL EQUIPMENT, AND CABINET WORK, TO BE INSTALLED IN THE PROJECT.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTION PROGRAMS IN CONNECTION WITH WORK, AND FOR MAINTAINING APPROPRIATE INSURANCE TO PROTECT THE CONTRACTOR, THE OWNER AND THE ARCHITECT.

6. CONTRACTOR SHALL PROTECT THE ADJACENT PROPERTY, THE PUBLIC AND SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY DUE TO HIS NEGLIGENCE.

7. THE ARCHITECT WILL ASSIST THE OWNER IN SUBMITTING PLANS TO THE DEPARTMENT OF BUILDINGS FOR BUILDING PERMIT APPLICATION; ARCHITECT WILL ANSWER BUILDING DEPARTMENTS' PLAN CHECK COMMENTS AND RE-SUBMIT AS REQUIRED. THE OWNER WILL SECURE AND PAY FOR THE BUILDING PERMIT. CONTRACTOR WILL PAY FOR ALL OTHER PERMITS INCLUDING ANY REQUIRED SIDEWALK SHED PERMITS, PARKING OR DUMPSTER PERMITS, LICENSES, INSPECTIONS AND THE LIKE REQUIRED TO EFFECT THE WORK OF THIS PROJECT.

8. CONTRACTOR SHALL CONSULT WITH REPRESENTATIVES OF APPLICABLE UTILITIES, INCLUDING BUT NOT LIMITED TO GAS, WATER, POWER, SEWER, TELEPHONE, AND CABLE TELEVISION, DETERMINE EXACT LOCATIONS AND AVAILABILITY OF UTILITIES, AND DETERMINE CONDITION OF EXISTING SERVICE PRIOR TO COMMENCING WORK. CONTRACTOR SHALL ADVISE ARCHITECT AND OWNER OF UNANTICIPATED CHANGES TO THE EXISTING SERVICES REQUIRED FOR THE SUCCESSFUL COMPLETION AND OPERATION OF THE PROJECT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.

9. CONTRACTOR SHALL ERECT AND MAINTAIN TEMPORARY BARRICADES AND DUST-PROOF PARTITIONS AS NEEDED FOR PROTECTION AGAINST NUISANCE AND ACCIDENT, AND SHALL CONTINUOUSLY MAINTAIN ADEQUATE PROTECTION OF HIS WORK AND THE OWNER'S PROPERTY FROM DAMAGE OR LOSS ARISING IN CONNECTION WITH THE WORK OF THIS PROJECT.

10. IMPROVEMENTS ON THE SITE, WORK IN PROGRESS, STORED MATERIALS ON PROPERTY SHALL BE PROTECTED BY THE CONTRACTOR FROM DAMAGE ARISING FROM THE WORK AND FROM NORMAL USE OF THE SITE DURING THE COURSE OF THE WORK WHETHER BY THE CONTRACTOR OR ANY OTHER PARTY. ALL ITEMS DAMAGED DUE TO INSUFFICIENT PROTECTION SHALL BE FULLY RESTORED TO THEIR PRIOR CONDITION BY THE CONTRACTOR AT NO COST TO THE OWNER.

11. PARTITION DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. OTHER COMPONENTS ARE DIMENSIONED TO DIMENSION POINTS SHOWN ON DETAILS, OR AS NOTED ON THE DRAWINGS.

12. NO PART OF THE STRUCTURE SHALL BE OVERLOADED BEYOND ITS SAFE CARRYING CAPACITY BY THE PLACING OF MATERIALS, EQUIPMENT, TOOLS, MACHINERY OR ANY OTHER ITEMS DURING THE COURSE OF THE CONTRACTOR'S WORK.

13. AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN HIS AND THE SURROUNDING AREA, REMOVE ALL WASTE MATERIALS AND RUBBISH FROM THE PROJECT AS WELL AS HIS OR HER TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SURPLUS MATERIALS. THE CONTRACTOR SHALL REMOVE PUTTY AND PAINT FROM ALL GLASS, MIRRORS, AND WASH AND POLISH SAME; REMOVE ALL LABELS, TAGS, GREASE, DIRT, STAINS, ETC. AND CLEAN ALL FIXTURES AND EQUIPMENT TO THE EXTENT OF RESTORING THEM TO THE ORIGINAL FINISH.

14. THE CONTRACTOR SHALL MAINTAIN A CURRENT COPY OF THE CBC & CRC ON SITE.

15. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE, CONSTRUCTION-IN-PROGRESS, AND STORED MATERIALS AND EQUIPMENT, WHETHER ON- OR OFF-SITE.

16. THE OWNER SHALL PAY FOR TESTING OF ANY MATERIALS DISCOVERED ON THE SITE BY THE ARCHITECT, OWNER OR CONTRACTOR SUSPECTED OF CONTAINING TOXIC SUBSTANCES REQUIRING SPECIAL REMOVAL AND DISPOSAL. CHANGES TO THE CONTRACT RESULTING FROM THE DISCOVERY, TESTING, OR REMOVAL OF SUCH MATERIALS (IF ANY) SHALL BE EFFECTED BY A CHANGE ORDER.

17. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ANY AND ALL WORK PROVIDED BY ANY AND ALL SUBCONTRACTORS. GENERAL NOTES THAT REFER TO "CONTRACTOR" INCLUDE ALL WORK PROVIDED BY SUBCONTRACTORS. CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, DIMENSIONS, AND CONDITIONS IN FIELD PRIOR TO THE START OF PROJECT AND AT APPROPRIATE TIMES DURING THE COURSE OF CONSTRUCTION BEFORE RELATED PROJECT PHASES.

18. EACH SUBCONTRACTOR IS CONSIDERED A SPECIALIST IN HIS RESPECTIVE FIELD AND SHALL, PRIOR TO THE SUBMISSION OF HIS BID AND THE PERFORMANCE OF WORK, NOTIFY THE CONTRACTOR OF ANY WORK CALLED OUT IN THE CONSTRUCTION DOCUMENTS WHICH CANNOT BE EXECUTED AS INDICATED OR CANNOT BE FULLY GUARANTEED. THE CONTRACTOR WILL THEN NOTIFY THE OWNER AND ARCHITECT PRIOR TO ACCEPTANCE OF SUBCONTRACTOR'S BID.

19. THE ARCHITECT HAS MADE THE ASSUMPTION THAT EXISTING CONCEALED CONDITIONS ARE STANDARD. THE CONTRACTOR WILL BE EXPECTED TO PERFORM THE NECESSARY WORK TO COMPLETE THE INDICATED CONSTRUCTION. IN THE EVENT THAT DEMOLITION REVEALS UNEXPECTED CONDITIONS, THE CONTRACTOR MUST INFORM THE OWNER AND ARCHITECT OF ANTICIPATED CHANGE ORDERS IN ADVANCE.

20. CONTRACTOR IS TO PROVIDE SAMPLES OF REQUESTED SUBMITTALS AND OF ALL PROPOSED MATERIAL SUBSTITUTIONS TO THE ARCHITECT FOR REVIEW. THE ARCHITECT WILL REQUIRE FIVE WORKING DAYS FOR REVIEW OF ALL SUBMITTALS INCLUDING SHOP DRAWINGS. SHOP DRAWINGS AND MATERIALS TO THE ARCHITECT WILL HAVE BEEN REVIEWED AND APPROVED BY THE CONTRACTOR. BY SUBMITTING SHOP DRAWINGS AND SUBMITTALS TO THE ARCHITECT, THE CONTRACTOR REPRESENTS THAT THE CONTRACTOR HAS DETERMINED AND VERIFIED MATERIAL, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION RELATED THERETO, AND HAS CHECKED AND COORDINATED THE INFORMATION CONTAINED WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND OF THE CONTRACT DOCUMENTS. THE ARCHITECT'S REVIEW OF SUBMITTALS AND SHOP DRAWINGS IS FOR CONFIRMATION OF DESIGN INTENT ONLY.

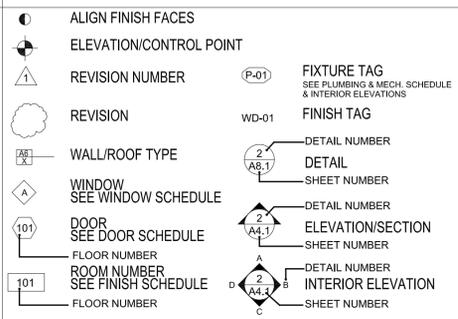
21. CONTRACTOR WILL BE RESPONSIBLE FOR PERMITS REQUIRED FOR CONSTRUCTION STAGING, PARKING, SIDEWALK, DRAINAGE AND/OR SEWER WORK IN THE PUBLIC RIGHT-OF-WAY.

22. THESE CONTRACT DOCUMENTS INTEND TO DESCRIBE A FINISHED PROJECT READY FOR LEGAL USE.

ABBREVIATIONS

&	AND	JT.	JOINT
L	ANGLE		
@	AT	LAM.	LAMINATE
CL	CENTER LINE	LT.	LIGHT
#	POUND OR NUMBER		
d	PENNY	M.B.	MACHINE BOLT
ACOUS.	ACOUSTIC	MAX.	MAXIMUM
ADJ.	ADJUSTABLE	MECH.	MECHANICAL
APPROX.	APPROXIMATE	MEMB.	MEMBRANE
A.F.F.	ABOVE FINISH FLOOR	MET./MTL.	METAL
ALT.	ALTERNATE	MFR.	MANUFACTURER
ALUM.	ALUMINUM	MIN.	MINIMUM
ANCHOR BOLT		MISC.	MISCELLANEOUS
		M.O.	MASONRY OPENING
		MTD.	MOUNTED
BD.	BOARD	MUL.	MULLION
BITUM.	BITUMINOUS		
BLDG.	BUILDING	(N)	NEW
BLK.	BLOCK	N	NORTH
BLKG.	BLOCKING	N.I.C.	NOT IN CONTRACT
B.O.T.	BOTTOM OF TRUSS	NO.	NUMBER
		N.T.S.	NOT TO SCALE
CLG.	CEILING		
C.T.	CERAMIC TILE	O.C.	ON CENTER
CLKG.	CAULKING	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
CLR.	CLEAR		
CONC.	CONCRETE		
CONN.	CONNECTION	P. LAM.	PLASTIC LAMINATE
CONSTR.	CONSTRUCTION	PLYWD.	PLYWOOD
C.J.	CONTROL JOINT	P.T.	PRESSURE-TREATED
CONT.	CONTINUOUS	PTD.	PAINTED
CTS.K.	COUNTERSUNK	PTN.	PARTITION
CMU	CONCRETE MASONRY UNIT	Q.T.	QUARRY TILE
D	DEPTH		
DBL.	DOUBLE	R.	RISER
DET./DTL.	DETAIL	RAD.	RADIUS
D.F.	DOUGLAS FIR	REF.	REFRIGERATOR
DIA.	DIAMETER	REINF.	REINFORCED
DIM.	DIMENSION	REQ.	REQUIRED
DN.	DOWN	RESIL.	RESILIENT
DWG.	DRAWING	RM.	ROOM
		R.O.	ROUGH OPENING
		RWD.	REDWOOD
		RWL.	RAINWATER LEADER
EA.	EACH		
ELEC.	ELECTRICAL	SASM	SELF ADHERED SHEET MEMB.
ELEV.	ELEVATION	SO. FT.	SQUARE FEET
E.P.	ELECTRICAL PANEL	SHT.	SHEET
EQ.	EQUAL	SQ. IN.	SQUARE INCH
(E)	EXISTING	SIM.	SIMILAR
EXP./JT.	EXPANSION JOINT	S.L.D.	SEE LANDSCAPE DRAWING
EXT.	EXTERIOR	S.M.D.	SEE MECHANICAL DRAWING
		SPEC.	SPECIFICATIONS
F.D.	FLOOR DRAIN	SO.	SQUARE
F.E.	FIRE EXTINGUISHER	S.S.	STAINLESS STEEL
F.F.	FINISH FLOOR	STD.	STANDARD
F.F.E.	FINISH FLOOR ELEVATION	STL.	STEEL
FIN.	FINISH	STOR.	STORAGE
FL.	FLOOR	S.S.D.	SEE STRUCTURAL DRAWING
F.O.C.	FACE OF CONCRETE		
F.O.F.	FACE OF FINISH	TEL.	TELEPHONE
F.O.M.	FACE OF MASONRY	T&G	TONGUE AND GROOVE
F.O.S.	FACE OF STUD	T.	TREAD
F.O.SH.	FACE OF SHEATHING	THK.	THICK
FT.	FOOT	TYP.	TYPICAL
FTG.	FOOTING	T.O.	TOP OF
FURR.	FURRING	T.O.C.	TOP OF CONCRETE
		T.O.O.	TOP OF OUTRIGGER
GA.	GAUGE	T.O.P.	TOP OF PLATE
G.C.	GENERAL CONTRACTOR	T.O.S.	TOP OF SLAB
GL.	GLASS	T.O.T.	TOP OF TRUSS
GSM.	GALVANIZED SHEET METAL	U.O.N.	UNLESS OTHERWISE NOTED
GYP. BD./GWB.	GYPSUM WALL BOARD		
H	HEIGHT	VERT.	VERTICAL
H.B.	HOSE BIB	V.I.F.	VERIFY IN FIELD
H.C.	HOLLOW CORE	V.G.	VERTICAL GRAIN
HDWD.	HARDWOOD		
HDWR.	HARDWARE	W	WIDTH
HORIZ.	HORIZONTAL	W	WITH
HR.	HOUR	WD.	WOOD
HW.	HARDWOOD	WDW	WINDOW
IN.	INCH	W/O	WITHOUT
INT.M.	INTERMEDIATE	WP	WATERPROOF
INSUL.	INSULATION	WRC	WESTERN RED CEDAR
INT.	INTERIOR		

SYMBOL LEGEND



GREEN BUILDING NOTES

MOISTURE CONTENT OF BUILDING MATERIALS. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING:

- MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR CONTACT-TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE CITY OF BERKELEY AND SHALL SATISFY REQUIREMENTS FOUND IN CALGREEN SECTION 101.8.
- MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET TO 4 FEET FROM THE GRADE STAMPED END OF EACH PIECE TO BE VERIFIED.
- AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE CITY OF BERKELEY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING.

INSULATION PRODUCTS. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURERS' DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.

DRAWING INDEX

SHEET NO. & TITLE	ISSUED	REVISION	DATE
A0.0 GENERAL INFORMATION	X	X	X
A0.1 CODE COMPLIANCE CHECKLIST	X		
A0.2 CODE COMPLIANCE CHECKLIST	X		
A0.3 COB PUBLIC WORKS BEST MANAGEMENT PRACTICES	X	X	
A0.4 SITE PHOTOS		X	X
A0.6 SCHEDULES & WALL TYPES	X		
A1.0 SITE & ROOF PLANS - EXISTING & PROPOSED	X	X	X
A2.1 FIRST FLOOR PLANS - EXIST/DEMO & PROPOSED	X	X	X
A2.2 SECOND FLOOR PLANS - EXIST/DEMO & PROPOSED	X	X	
A2.21 SECOND FLOOR PLAN PROPOSED FRAMING DECK	X		
A3.0 BUILDING ELEVATIONS - EXISTING/DEMO	X	X	
A3.1 BUILDING ELEVATIONS - PROPOSED	X	X	X
A4.0 MEP NOTES & SCHEDULES	X		
A4.1 FIRST FLOOR RCP & ELECTRICAL PLANS	X		
A4.2 SECOND FLOOR RCP & ELECTRICAL PLANS	X		
A5.0 ENLARGED PLANS AND INTERIOR ELEVATIONS	X		
A7.0 EXTERIOR STAIR & RAIL DETAILS	X		
A8.0 BUILDING DETAILS	X	X	
T1.0 TITLE 24 MANDATORY MEASURES	X		
T2.0 TITLE 24 ENERGY CALCULATIONS	X		
T3.0 TITLE 24 ENERGY CALCULATIONS CONT'D	X		

PROJECT DESCRIPTION

TABULATION FORM

PROJECT ADDRESS: 1840 WOOLSEY STREET, BERKELEY, CA 94703
ASSESSOR'S PARCEL NO.: 052 155100300
DESCRIPTION OF WORK: REMODEL & ADDITION

OCCUPANCY: RESIDENTIAL R3
CONSTRUCTION: TYPE VB - NON SPRINKLERED

ZONING DISTRICT: C-AC,
FIRE ZONE: 1
GENERAL PLAN AREA: ADELINE CORRIDOR MIXED USE

PROJECT FEATURES	EXISTING	PROPOSED	PERMITTED/REQ.
DWELLING UNITS	1	2	
PARKING SPACES	1	1	

SETBACKS

FRONT YARD	REAR YARD	LEFT SIDE YARD	RIGHT SIDE YARD	REMARKS
14' 6 1/2"	14' 6 1/2"	13' 4"	13' 4"	N/A 0'-0"
6' 10"	6' 10"	16' 8"	16' 8"	N/A 0'-0"

BUILDING HEIGHT

AVERAGE	MAXIMUM	EXISTING	PROPOSED
24' 1/2"	29' 7 1/4"	2 STORIES	2 STORIES

AREAS

LOT AREA	GROSS FL AREA	FIRST FLOOR	SECOND FLOOR	TTL GROSS FL AREA
3298 SF	881 SF	881 SF	921 SF	1802 SF

BUILDING FOOTPRINT: 985 SF
LOT COVERAGE: 35%
OPEN SPACE AREA: 1200 SF

TOTAL AREA OF REMODEL: 1106 SF
TOTAL AREA OF NEW DECK: 326 SF

LOT COVERAGE DIAGRAM



ARCHITECT

architecture
denise hall montgomery

1769 alcatraz avenue
berkeley, ca 94703
t 510.547.3040
c 510.504.9394
dhm@dnharchitecture.com



PROJECT

Neumann DeAntonis Residence

1840 Woolsey St,
Berkeley, CA 94703

DIRECTORY

OWNERS

Rachel Neumann
Jason DeAntonis
1840 Woolsey St,
Berkeley, CA 94
t 510-717-3400
djdeantonis@gmail.com

STRUCTURAL ENGINEER

TITLE 24 ENERGY ANALYSIS

Michael Kunz, CEPE
Energy Performance Services
P.O. Box 334
Grass Valley, CA 95945
888.828.9488

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DATE:	11.OCT.2023	SCALE:	
JOB:	23002	DRAWN BY:	dhm, jr

SHEET

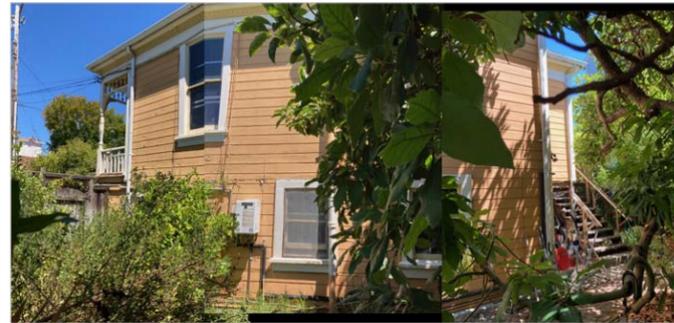
GENERAL INFORMATION

A0.0

VICINITY MAP
INFO FROM SANDBORNE, PUBLIC WORKS & TAX ASSESSORS MAPS

SCALE: 1" = 40' @ 24x36
1" = 80' @ 11x17

NEIGHBORHOOD PRE-APPLICATION CONTACT
SEE A1.0 SITE PLAN FOR SIGNATURE PAGE



WEST FACADE



SOUTHWEST CORNER



EAST FACADE (MLK JR WAY)



NORTH FACADE (WOOLSEY STREET)

2 SUBJECT PROPERTY PHOTOS
 NTS



3192 3140 3132 1840 WOOLSEYSTREET SUBJECT PROPERTY 1839 WOOLSEY STREET 3114-3120 3110 MARTIN LUTHER KING JR WAY



1840 WOOLSEY STREET SUBJECT PROPERTY 1830 1327 HARPER STREET WOOLSEY STREET - SOUTH SIDE



1821 1825 1831 1839 WOOLSEYSTREET WOOLSEY STREET - NORTH SIDE

1 NEIGHBORHOOD PHOTOS
 NTS

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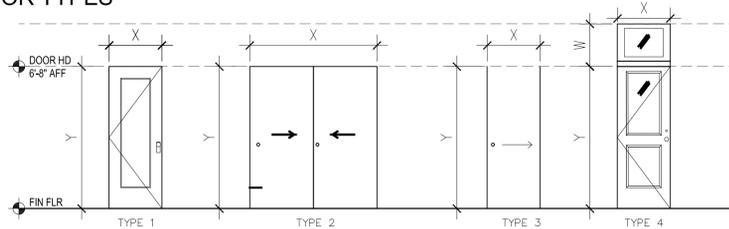
SHEET
 SITE
 PHOTOS

A0.4

DOOR SCHEDULE

ID	ROOM NUM - NAME	TYPE	MANUFACTURER	DOOR CONFIG.	DOOR SIZE			DOOR FINISH		FRAME FINISH		GLASS	HDWR	REMARKS
					X - WIDTH	Y - HEIGHT	THK.	EXT.	INT.	EXT.	INT.			
10	10 - ENTRY	4	(E) SALVAGE	IN SWING	2'-8"	6'-8" + 2'-0"	1 3/4"	PGW	PGW	PGW	PGW		TBD	(N) HINGE HARDWARE, TRANSOM WINDOW TO REMAIN
11	15 - BEDROOM 1	1	TBD BY CONTRACTOR	OUT SWING	2'-8"	6'-8"	1 3/4"	PGW	PGW	PGW	PGW		TBD	
12	15 - BEDROOM 1 CLOSET	2	TBD BY CONTRACTOR	SLIDING	6'-0"	6'-8"	1 3/4"	PGW	PGW	PGW	PGW		TBD	
13	10 - ENTRY CLOSET	1	TBD BY CONTRACTOR	OUT SWING	2'-6"	6'-8"	1 3/4"	PGW	PGW	PGW	PGW		TBD	
14	11 - LIVING ROOM CLOSET	1	TBD BY CONTRACTOR	OUT SWING	2'-6"	6'-8"	1 3/4"	PGW	PGW	PGW	PGW		TBD	
15	14 - BEDROOM 2	1	TBD BY CONTRACTOR	OUT SWING	2'-8"	6'-8"	1 3/4"	PGW	PGW	PGW	PGW		TBD	
16	14 - BEDROOM 2	3	TBD BY CONTRACTOR	POCKET	3'-0"	6'-8"	1 3/4"	PGW	PGW	PGW	PGW		TBD	
17	14 - BEDROOM 2 TO DECK	4	TBD BY CONTRACTOR	OUT SWING	2'-8"	6'-8" + 2'-0"	1 3/4"	TBD	TBD	TBD	TBD	T	TBD	DOOR AND TRANSOM WINDOW, PRIVACY GLASS
18	13 - BATHROOM	3	TBD BY CONTRACTOR	POCKET	2'-6"	6'-8"	1 3/4"	PGW	PGW	PGW	PGW		TBD	
19	13 - DECK	4	TBD BY CONTRACTOR	OUT SWING	3'-0"	6'-8" + 2'-0"	1 3/4"	TBD	TBD	TBD	TBD	T	TBD	DOOR AND TRANSOM WINDOW, PRIVACY GLASS

DOOR TYPES



HARDWARE SCHEDULE

- ALL DOOR HARDWARE ON NEW DOORS TO MATCH FINISH OF (E) DOORS. CONTRACTOR TO CONFIRM FINISH WITH ARCHITECT BEFORE ORDERING.
 - ALL DOORS RECEIVE 2 HINGES, LATCHSET OR LOCKSET, FLOOR STOP, WALL BUMPER IF APPLICABLE, CLOSER OR HOLD OPEN AS NOTED.
 - PROVIDE DOUBLE PANED, LOW-E GLASS IN EXTERIOR DOORS.
- MATERIAL AND FINISH KEY**
- PTD: PAINTED
CLR: CLEAR SEALED
STSL: STAINED & SEALED
SGDF: STAIN GRADE DOUG. FIR
PGW: PAINT GRADE WOOD
SGDF: PAINT GRADE DOUG. FIR
PR WT: PRIMED WHITE
BRZ AL: BRONZE ANODIZED ALUMINUM
HM: HOLLOW METAL
GALV: GALVANIZED
AL: ALUMINUM
WD: WOOD
ST: STAINLESS STEEL
GL: GLAZED
T: TEMPERED

WALL TYPES

GENERAL DOOR NOTES

- VERIFY ALL WALL THICKNESSES IN FIELD PRIOR TO ORDER.
- VERIFY ALL R.O. AND FRAME DIMS WITH PROPRIETARY DOOR FRAME MANUFACTURER'S STANDARDS AND REQUIREMENTS.
- DIMENSIONS OF ALL DOOR STILE AND RAILS ARE FROM LEAF EDGE TO PANEL DAYLIGHT EDGE, TYP.
- ALL GLASS DOOR PANELS SHALL BE CLEAR TEMPERED GLASS, U.O.N.
- SEE HARDWARE SCHEDULES FOR DOOR HARDWARE GROUPS.
- PROVIDE LOW-E INSULATED DOUBLE GLAZING FOR LITES IN ALL EXTERIOR DOORS, U.O.N.

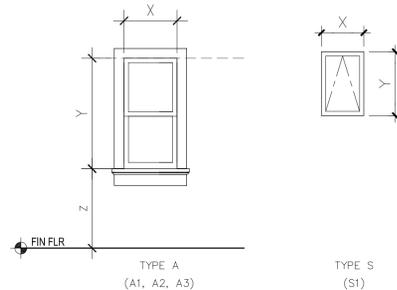
WINDOW SCHEDULE

ID	LOCATION	TYPE	OPERATION	MANUFACTURER	ROUGH OPENING			MATERIAL		FINISH		HARDWARE STYLE	HARDWARE FINISH	GLAZING	U-FACTOR	REMARKS
					W	X	Y	Z	EXT.	INT.	EXT.					
A1	SECOND FLOOR KITCHEN	A	DOUBLE HUNG	MARVIN ULTIMATE WOOD	2'-6"	5'-2"	3'-6"	WD	WD	PGW	PGW	-	X	CLEAR TEMPERED	0.3	
A2	SECOND FLOOR KITCHEN	A	DOUBLE HUNG	MARVIN ULTIMATE WOOD	2'-6"	5'-2"	3'-6"	WD	WD	PGW	PGW	-	X	CLEAR TEMPERED	0.3	
A3	SECOND FLOOR BATHROOM	A	DOUBLE HUNG	MARVIN ULTIMATE WOOD	2'-2"	5'-2"	3'-6"	WD	WD	PGW	PGW	-	X	PRIVACY TEMPERED	0.3	
S1	SECOND FLOOR DINING	S	SKYLIGHT OPERABLE	VELUX	2'-1 1/2"	3'-1 1/2"		ALUM/ GL	ALUM/ GL						0.44	

GENERAL WINDOW NOTES

- VERIFY QUANTITY OF WINDOWS WITH FLOOR PLANS.
- VERIFY DIRECTION OF SWING / ACTION WITH ELEVATIONS
- DIMENSIONS SHOWN ON WINDOW TYPE DIAGRAMS ARE FRAME SIZE, U.O.N.
- VERIFY ALL ROUGH OPENING DIMENSIONS IN FIELD PRIOR TO WINDOW FABRICATION.
- PROVIDE SAFETY GLAZING AS REQUIRED PER CBC 2406.4
- ALL EXTERIOR GLAZING TO BE DOUBLE-PANED, CLEAR, LOW-E INSULATED GLAZING UNITS, U.O.N.
- ALL OPERABLE WINDOWS TO BE "ROTO" STYLE.

WINDOW TYPES



FLOOR/CEILING & ROOF ASSEMBLIES

ROOFING NOTES:

- ALL ROOF ASSEMBLIES: PROVIDE CLASS A ROOF COVERING

CLASS A COMPOSITE SHINGLE OVER UNDERLAYMENT AS RECOMMENDED BY ROOFING MANUFACTURER

STRUCTURAL PLYWD. SHEATHING, S.S.D.

(E) 2x WD. ROOF JOISTS, S.S.D.

R30 INSULATION AT ATTIC LEVEL, TYP.

FINISH INT. CLNG HT. REF. SECTIONS

UL DES 512 INDEX B-93

(E) FINISH FLOORING

(E) SUBFLOOR

2 x 10 FLOOR JOISTS, 16 O.C.

GENERAL CONTRACTOR VERIFY IN FIELD

OPTIONAL SRM-25 OR SRB SOUND MAT

1-HR FIRE RATED CEILING, USE 5/8" GYP. BD. TYPE-C APPLIED PERPENDICULARLY TO RESILIENT CHANNELS WITH 1/4" SCREWS SPACED @ 12" O.C. EDGES OF BOARDS LOCATED BETWEEN FLOOR JOISTS, STAGGERED END JOINTS

TYP. ROOF ASSEMBLY EXISTING ROOF.

FLOOR CEILING 1 HR FIRE RATED S.S.D.

WALL ASSEMBLY NOTES:

- INSTALL R-13 FIBERGLASS BATT INSULATION @ ALL 2x4 EXTERIOR WALLS. INSTALL R-19 FIBERGLASS BATT INSULATION @ ALL 2x6 EXTERIOR WALLS.

SEE ELEV. FOR TYPICAL FINISHES/INSTALLATION

5/8" TYPE 'X' GYP. BD. U.O.N.

FIBERGLASS BATT INSULATION

STUD PER SCHEDULE, S.S.D.

STUD SIZE WIDTH

C4 - 2x4 @ 16" O.C. 4"

C6 - 2x6 @ 16" O.C. 6"

INTERIOR PARTITION

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DRAWN BY:

dhm, jr

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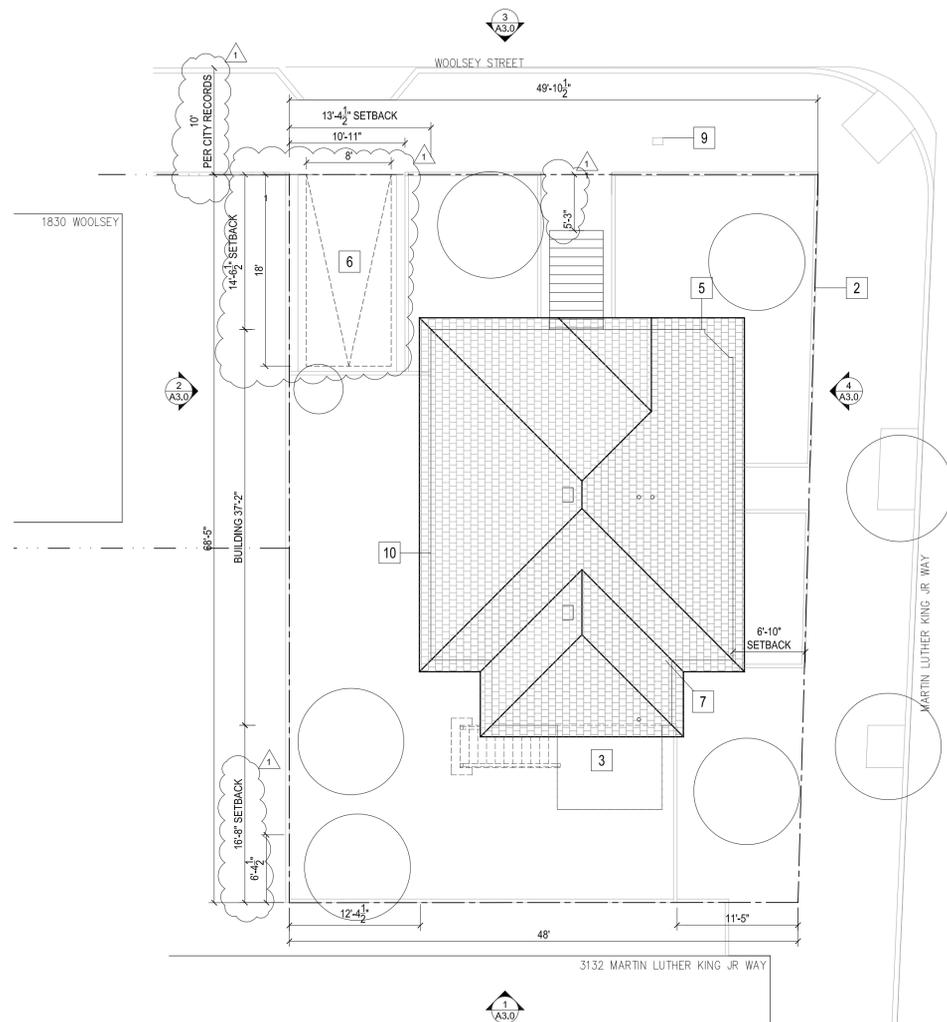
SCHEDULES &
WALL TYPES

A0.6

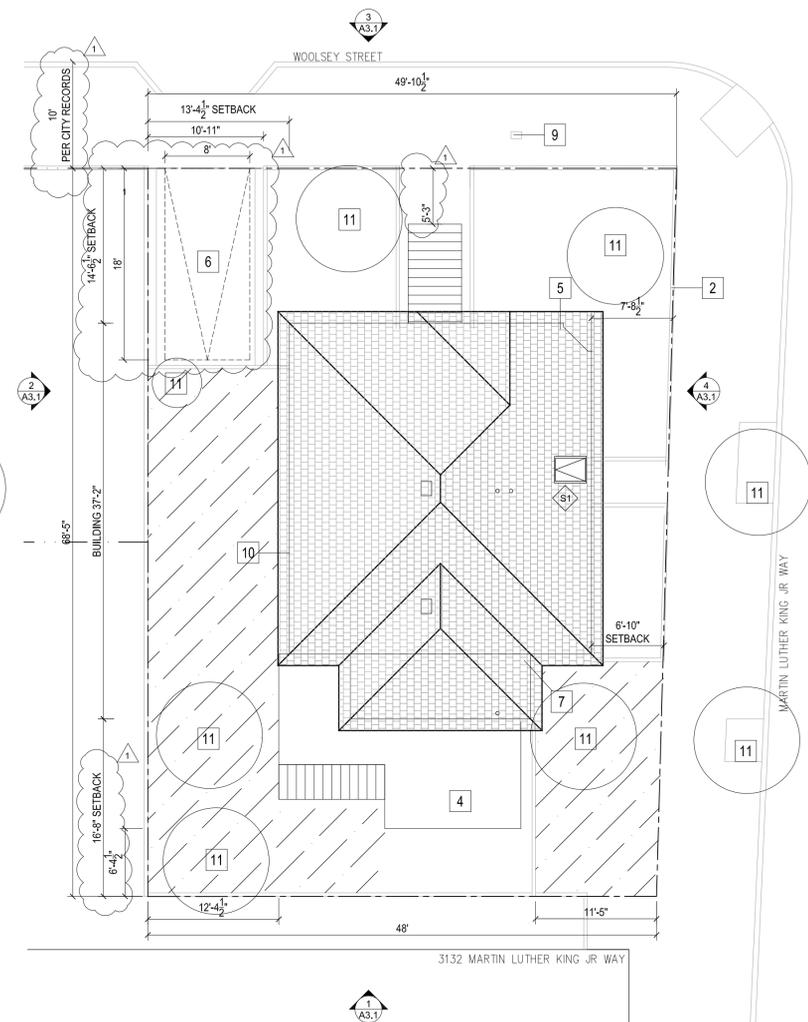
NEIGHBORHOOD REVIEW AND SIGN-OFF

I have reviewed the plans for a change of use from "commercial" to "residential" for 1840 Woolsey Street.

NAME (PRINTED)	SIGNATURE	ADDRESS	RENTER OWNER	DATE	HAVE NO OBJECTIONS	HAVE OBJECTIONS (PLEASE STATE BRIEFLY)
1.		1830 Woolsey Street Berkeley, CA 94703				
2.		3131 Harper Street Berkeley, CA 94703				
3.		3132 Martin Luther King Jr. Way Berkeley, CA 94703				
4.		1839 Woolsey Street Berkeley, CA 94703				
5.						
6.						
7.						
8.						
9.						



2 SITE PLAN - EXISTING
1/8" = 1'0" @ 24x36; 1/16" = 1'0" @ 11x17



1 SITE PLAN - PROPOSED
1/8" = 1'0" @ 24x36; 1/16" = 1'0" @ 11x17

GENERAL NOTES

- SITE PLAN BASED ON ASSESSOR'S MAP AND SITE MEASUREMENTS.
- SIDEWALKS IN DISREPAIR SHALL BE REPLACED IN ACCORDANCE WITH THE CITY OF OAKLAND STANDARDS.

KEY

- (E) WALL / COMPONENT TO BE REMOVED
- (E) WALL TO REMAIN
- (N) WALL
- (E) OR (N) BUILDING ELEMENT ABOVE
- USABLE OPEN SPACE 935 S.F. (400 S.F. PER UNIT)

SHEET NOTES

- 1 PROPERTY LINE
- 2 (E) FENCE TO REMAIN
- 3 (E) REMOVED DECK <30" ABOVE GRADE
- 4 (N) WID DECK <30" ABOVE GRADE
- 5 BUILDING FOOTPRINT
- 6 (E) DRIVE AND CURB CUT
- 7 (E) ELECTRICAL METER
- 8 (E) GAS METER
- 9 (E) WATER METER
- 10 (E) TANKLESS WATER HEATER
- 11 THERE ARE NO COAST LIVE OAK TREES ON THE SITE OR ADJACENT PUBLIC RIGHT OF WAY

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SHEET

**SITE & ROOF PLANS
EXISTING &
PROPOSED**

A1.0

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SHEET

FIRST FLOOR PLAN
EXISTING &
PROPOSED

A2.1

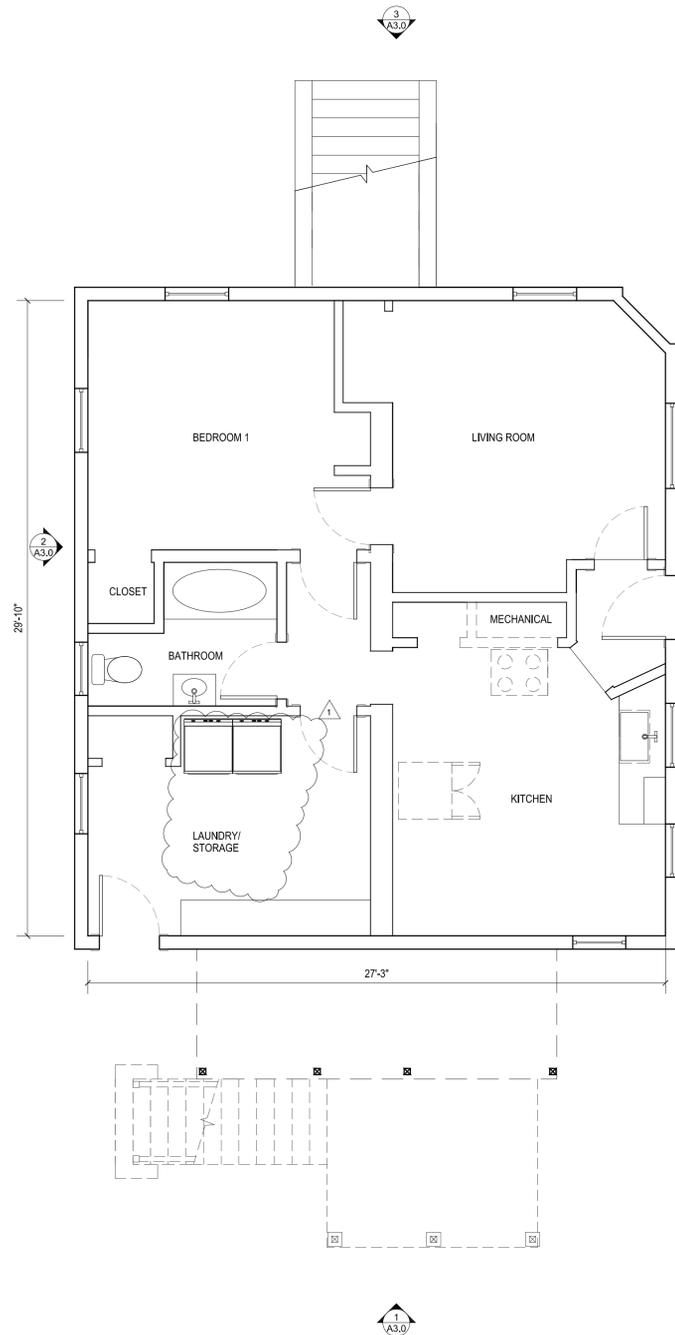
GENERAL PLAN NOTES

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2. VERIFY ALL DIMENSIONS IN FIELD. CONTRACTOR TO BRING ALL DISCREPANCIES TO THE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION AND FABRICATION OR BEAR THE COST OF CORRECTION.
3. INSTALL R-13 FIBERGLASS BATT INSULATION @ ALL 2X4 EXTERIOR WALLS. INSTALL R-19 FIBERGLASS BATT INSULATION @ ALL 2X6 EXTERIOR WALLS.
4. INSTALL 5/8" GYP. BD. AT ALL WALLS AND CEILINGS U.O.N. SEE PLAN AND WALL TYPE SCHEDULE.
5. INSTALL 5/8" TYPE X GYPSUM BOARD UNDER ALL STAIRWAY SPACES.
6. FOR ALL WET AREAS, USE 1/2" GLASS MAT GYPSUM BACKER BOARD
7. GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET OF BUILDING FOOTPRINT PER CRC R401.3
8. SALVAGE & PROTECT ALL INTERIOR DOORS TO BE REUSED IN REMODEL.

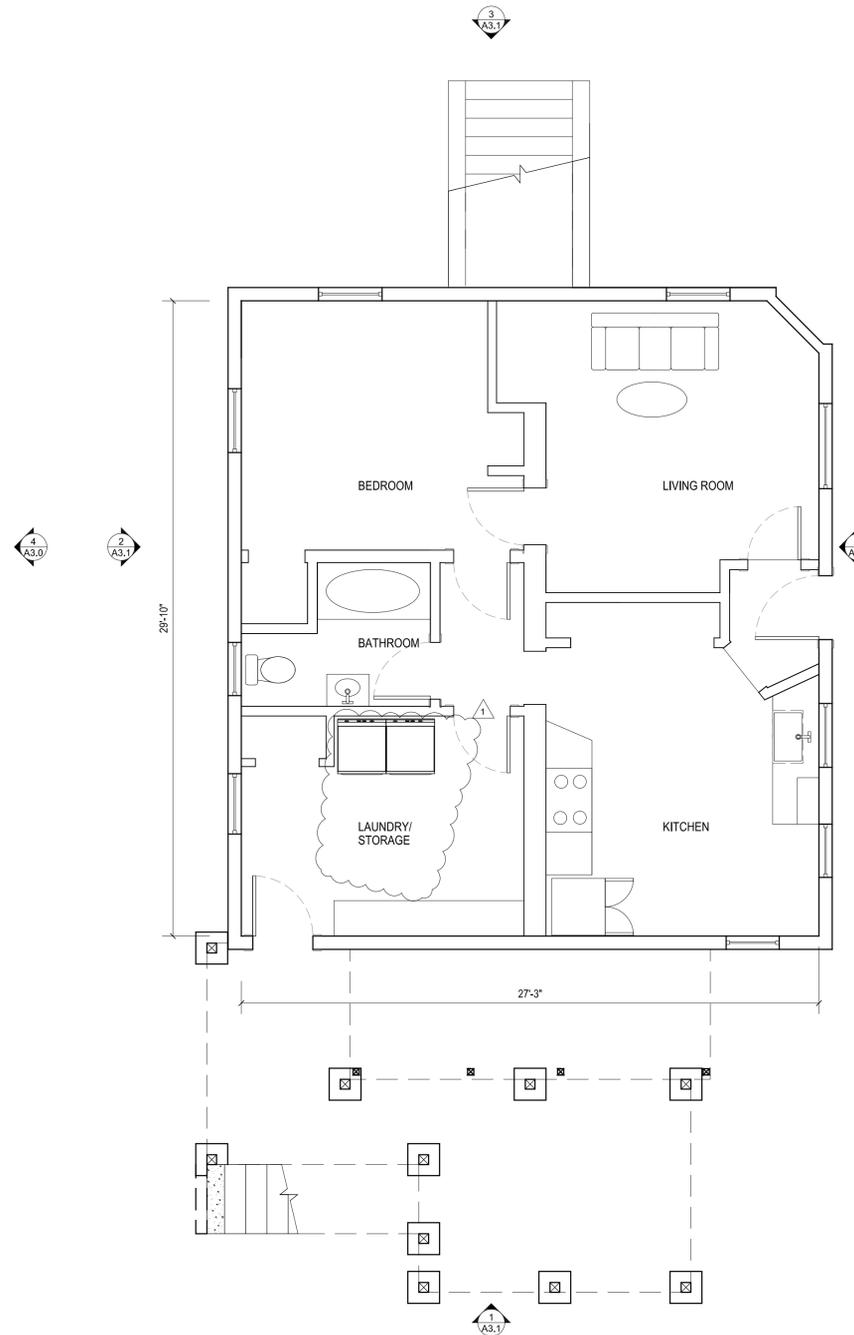
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- (E) WALL TO REMAIN
- (N) WALL
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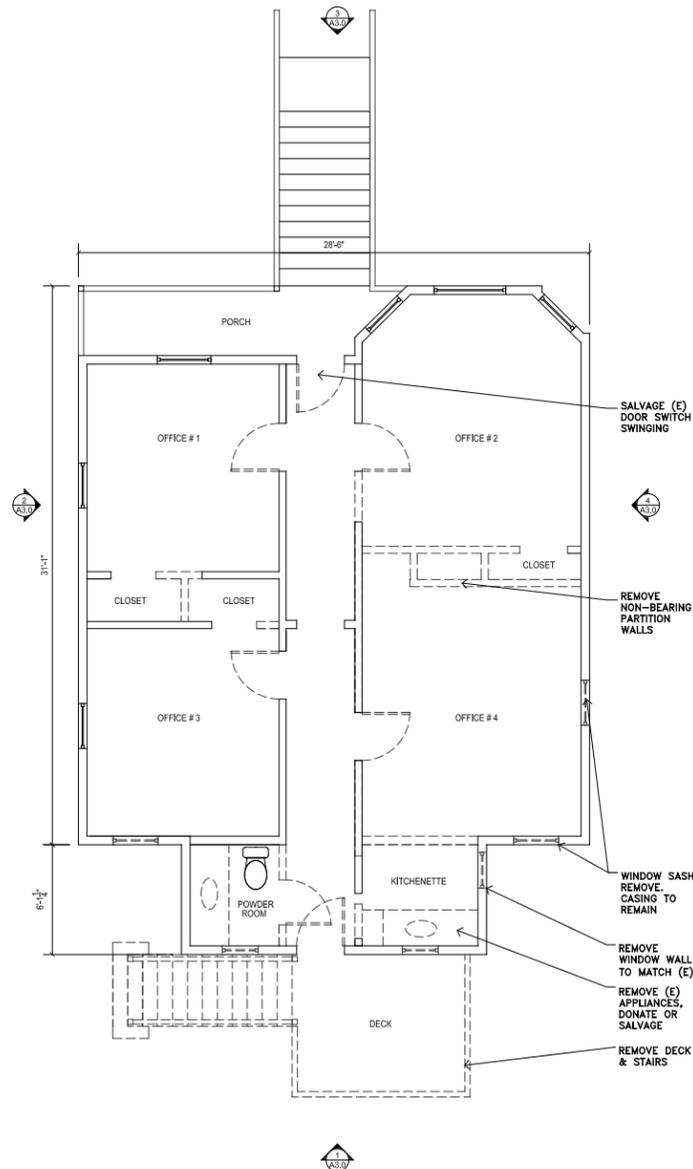
SHEET NOTES



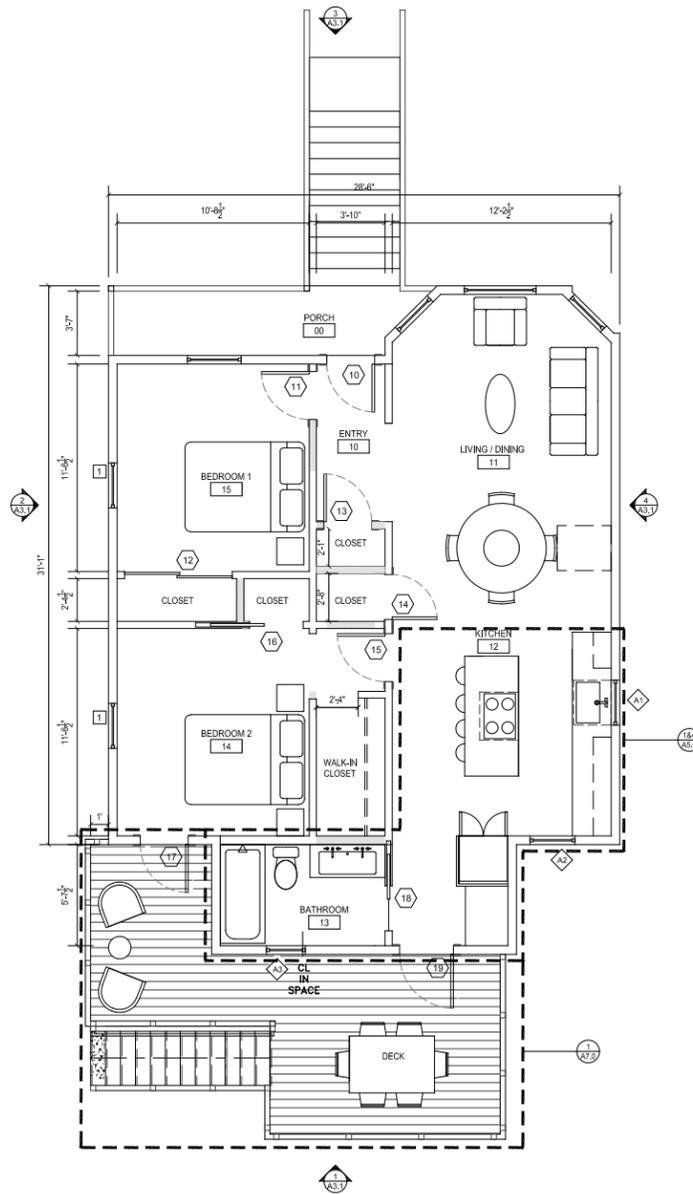
2 FIRST FLOOR PLAN EXISTING
1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17



1 FIRST FLOOR PLAN PROPOSED
1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17



2 SECOND FLOOR PLAN EXISTING
1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17



1 SECOND FLOOR PLAN PROPOSED
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KEY

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- - - (E) WALL TO REMAIN
- ==== (N) WALL
- (E) OR (N) BUILDING ELEMENT ABOVE

SHEET NOTES

- 1 (E) WINDOW EGRESS 29" x32" OPEN AREA
- 2

PLUMBING & MECHANICAL NOTES

1. PROVIDE COPPER PIPING TO ALL NEW PLUMBING SUPPLY LINES
2. EXHAUST FAN SYSTEMS SHALL HAVE BACK DRAFT OR AUTOMATIC DAMPERS
3. EQUIPMENT TO COMPLY WITH CITY OF BERKELEY RESIDENTIAL ENERGY CONSERVATION ORDINANCE (RECO) AND THE BERKELEY BUILDING CODE CHAPTER 19.23
4. INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH ACTIVE OR PASSIVE SPACE HEATING SYSTEMS CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF 68 DEGF AT A POINT 3FT ABOVE THE FLOOR ON THE DESIGN HEATING DAY
5. PROVIDE A MINIMUM 50 CFM EXHAUST FOR BATHROOM AND 100 CFM EXHAUST FOR EACH VENTED KITCHEN RANGE HOOD, PER ASHRAE 62.2.
6. CLOTHES DRYER EXHAUST DUCTS SHALL BE CONSTRUCTED OF RIGID METALLIC MATERIAL AND SHALL NOT BE ASSEMBLED WITH SCREWS OR OTHER FASTENING MEANS THAT EXTEND INTO THE DUCT.
7. HVAC SYSTEMS AND PARTS THEREOF SHALL BE INSPECTED IN ACCORDANCE WITH ACCA 4.0M. THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE MECHANICAL SYSTEMS AND EQUIPMENT.
8. PROVIDE AUTOMATIC GAS SHUT OFF VALVES PER CITY OF BERKELEY ORDINANCE NO. 7151-N.S.
9. PROVIDE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS FOR ALL SHOWERS AND TUBSHOWERS.
10. PROVIDE A GAS SUPPLY LINE WITH THE CAPACITY TO PROVIDE A MINIMUM OF 200,000 BTU/HR TO THE WATER HEATER.
11. ALL PLASTIC PIPES AND FITTINGS, OTHER THAN THOSE USED FOR GAS, SHALL MEET THE REQUIREMENTS OF NATIONAL SANITATION FOUNDATION 14.
12. ALL PIPE, TUBE, FITTINGS, SOLVENT, CEMENT, THREAD SEALANT, SOLDER, AND/OR FLUX USED IN POTABLE WATER SYSTEMS INTENDED TO SUPPLY DRINKING WATER SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF NATIONAL SANITATION FOUNDATION 61.

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SHEET

SECOND
FLOOR PLAN
EXISTING &
PROPOSED

A2.2



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SHEET
 EXTERIOR BUILDING
 ELEVATIONS
 EXISTING

A3.0

SHEET NOTES

- 1 WD LAP SIDING TO REMAIN
- 2 (E) EGRESS WINDOW, GREATER THAN 5.7 SQ. FT REQ'D
- 3 PROPOSED WD DECK

GENERAL NOTES

- 1. ALL DIMENSIONS ARE TO FACE OF FINISH, U.O.N.
- 2. VERIFY ALL DIMENSIONS IN FIELD, CONTRACTOR TO BRING ALL DISCREPANCIES TO THE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION AND FABRICATION OR BEAR THE COST OF CORRECTION.
- 3. GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET OF BUILDING FOOTPRINT PER CRC R401.3



4 WEST (SIDE CORNER) ELEV - PROPOSED
 1/4" - 1'-0"



3 NORTH (FRONT) ELEV - PROPOSED
 1/4" - 1'-0"



2 EAST (SIDE) ELEV - PROPOSED
 1/4" - 1'-0"



1 SOUTH (REAR) ELEV - PROPOSED
 1/4" - 1'-0"

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DATE: 16.AUG.2023 SCALE: AS NOTED
 JOB: 23002 DRAWN BY: dhm, jr

SHEET
 EXTERIOR
 ELEVATIONS
 PROPOSED

A3.1

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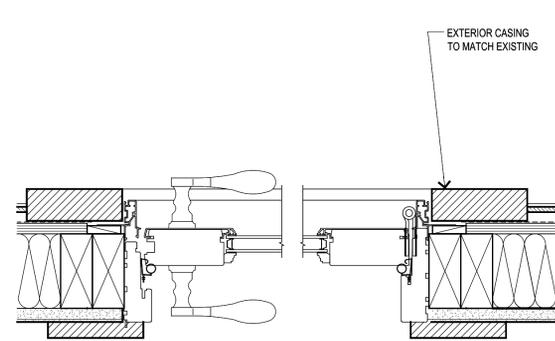
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JOB: 23002 DRAWN BY:
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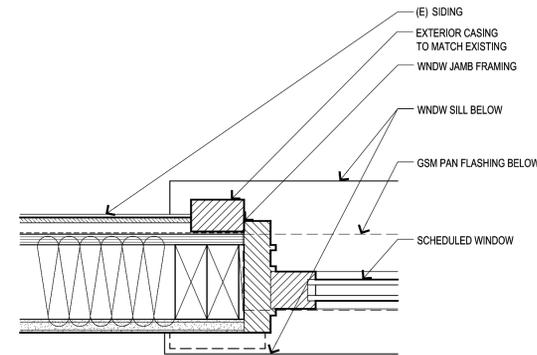
SHEET

BUILDING DETAILS

A8.0

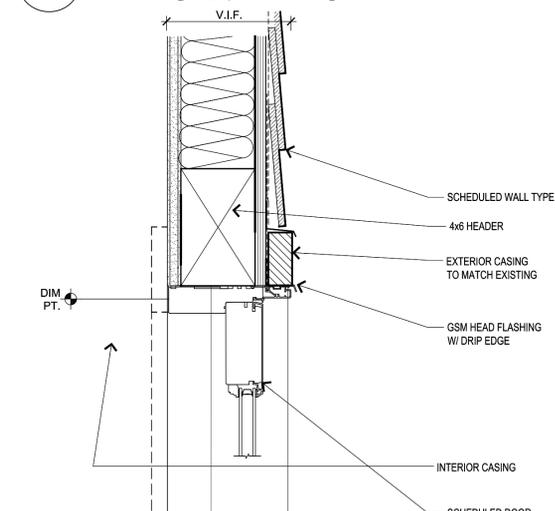


INTERIOR



6 DOOR JAMB

3" = 1'-0" @36x24, 1 1/2" = 1'-0" @17x11

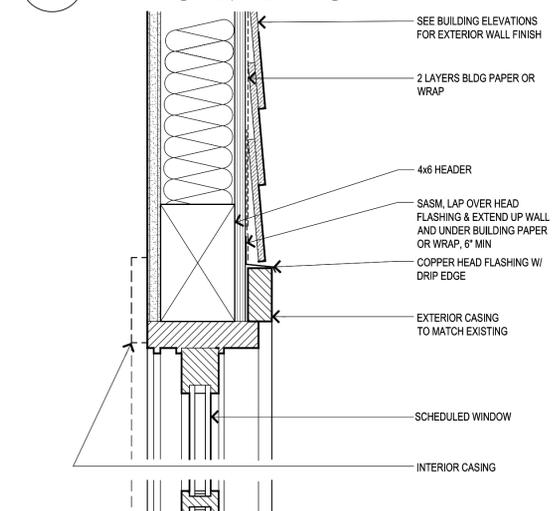


5 DOOR HEADER

3" = 1'-0" @36x24, 1 1/2" = 1'-0" @17x11

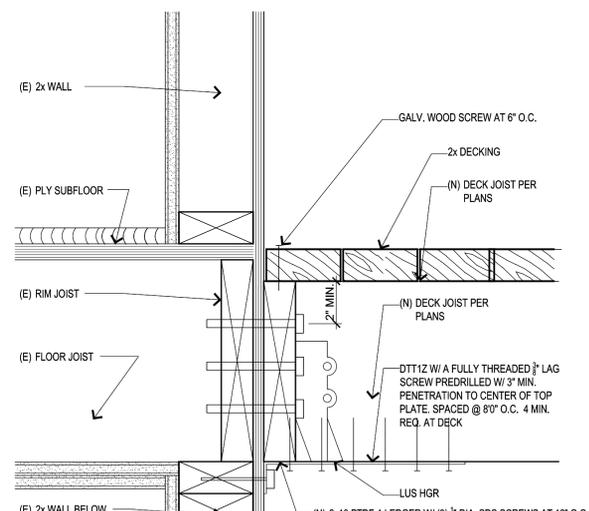
3 WINDOW JAMB

3" = 1'-0" @36x24, 1 1/2" = 1'-0" @17x11



2 WINDOW HEADER

3" = 1'-0" @36x24, 1 1/2" = 1'-0" @17x11

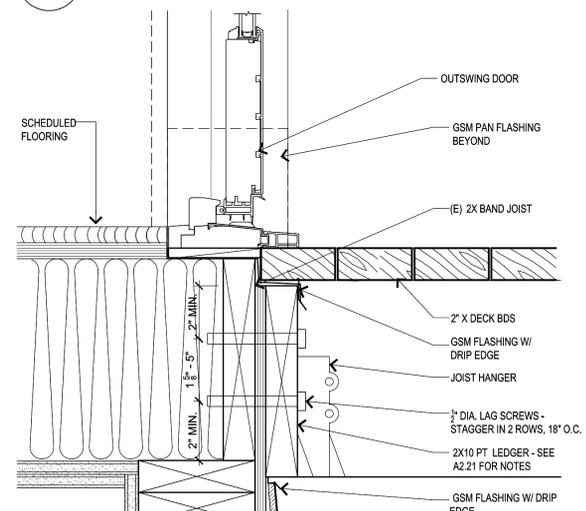


8 FLOOR FRAMING CONNECTION

NTS

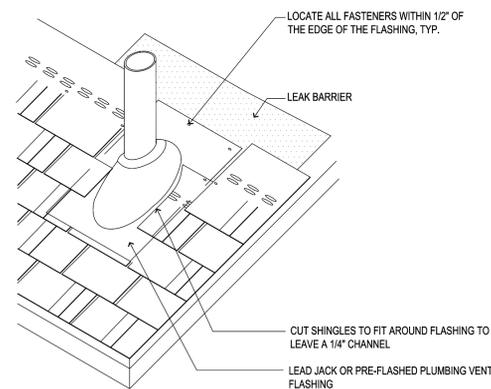
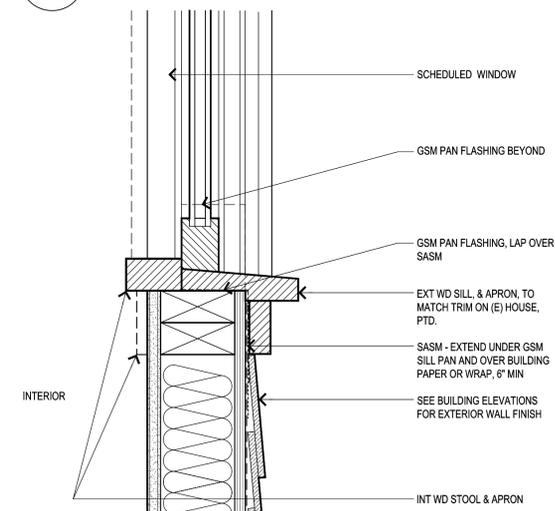
4 DOOR THRESHOLD

3" = 1'-0" @36x24, 1 1/2" = 1'-0" @17x11



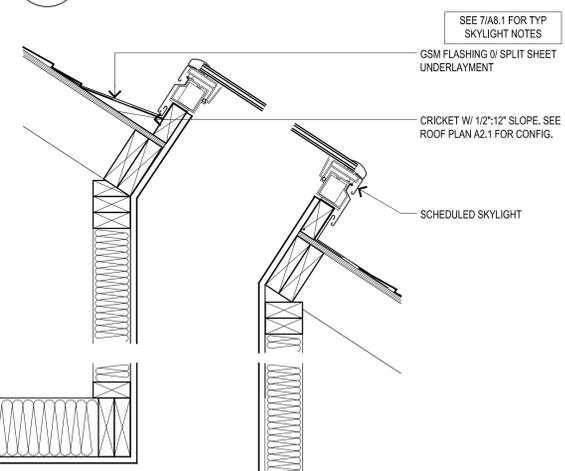
1 WINDOW SILL

3" = 1'-0" @36x24, 1 1/2" = 1'-0" @17x11



10 ISO - PLUMBING VENT

NTS



7 SKYLIGHT

3" = 1'-0" @36x24, 1 1/2" = 1'-0" @17x11

NOTES:
1.) LEAK BARRIER TARGET SHEET.
2.) DO NOT FACE NAIL THE PLUMBING VENT FLASHING.