



Z O N I N G
A D J U S T M E N T S
B O A R D
S T A F F R E P O R T

FOR BOARD ACTION
FEBRUARY 8, 2024

1101 Euclid Avenue

Use Permit #ZP2023-0135 to construct a single-story 60 square foot residential addition (maximum height of approximately 10 feet) to the rear unit on a lot that is nonconforming to residential density.

I. Background

A. Land Use Designations:

- General Plan: Low Density Residential (LDR)
- Zoning District: Single-Family Residential District- Hillside Overlay (R-1H)

B. Zoning Permits Required:

- **Use Permit** pursuant to Berkeley Municipal Code (BMC) Section 23.324.050(D)(3)(a) to permit an addition to and/or enlargement of a building on a lot that exceeds the maximum residential density.
- **Administrative Use Permit**, pursuant to BMC Section 23.324.050(D)(2)(a) to permit an addition that vertically or horizontally extend a building wall projecting into a minimum setback.

C. CEQA Recommendation:

It is staff's recommendation to the Zoning Adjustments Board (ZAB) that the project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code Section 21000, et seq. and California Code of Regulations, Section 15000, et seq.) pursuant to CEQA Guidelines Section 15301("Existing Facilities").

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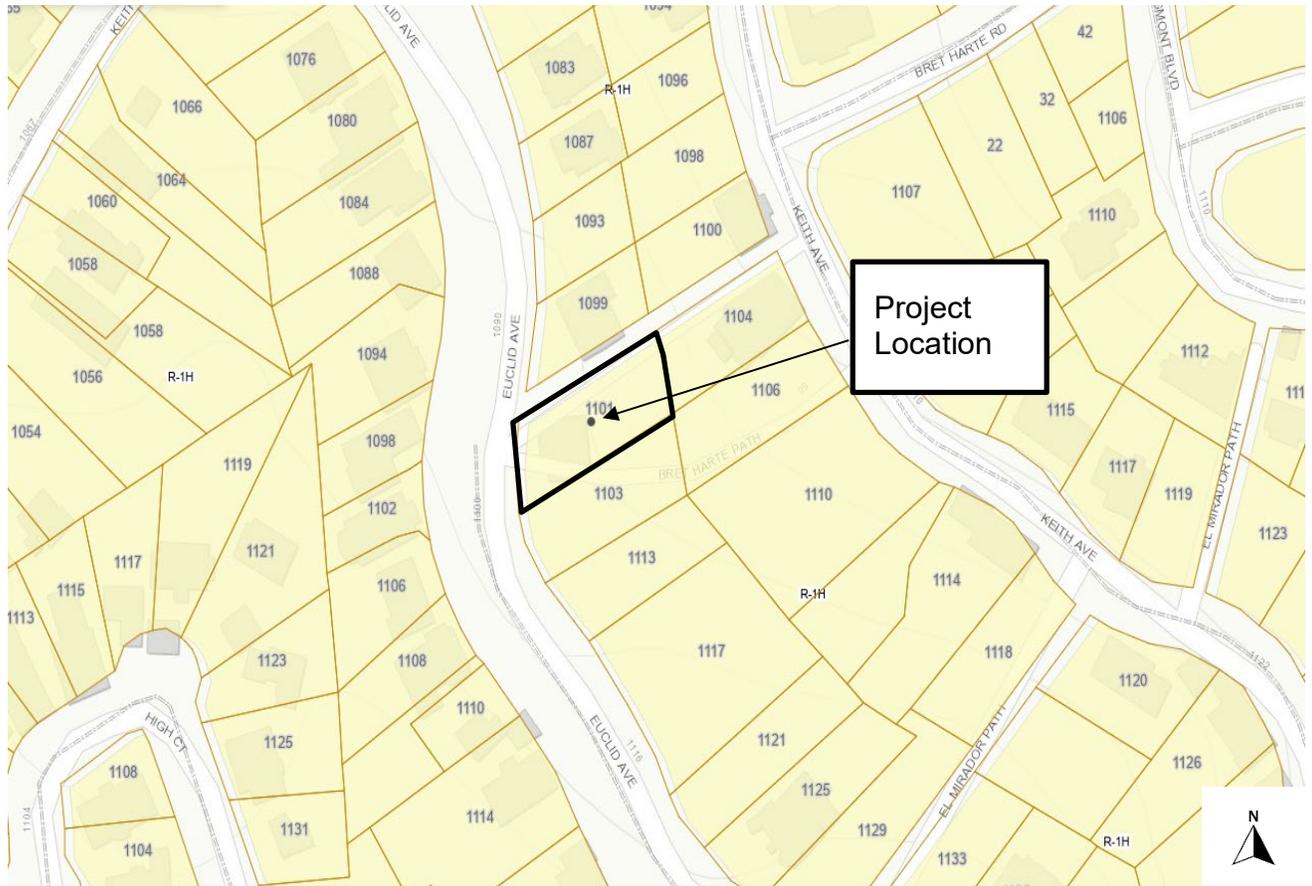
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D. Parties Involved:

- Applicant Dylan Sang (Home Healing Renovations, Inc., 2342 Shattuck Avenue., #325, Berkeley, CA 94704

- Property Owner Cheryl Yagi, 1101 Euclid Avenue., Berkeley, CA 94708

Figure 1: Vicinity Map



Legend

R-1H = Single-Family Residential District- Hillside Overlay

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Figure 2: Site Plan

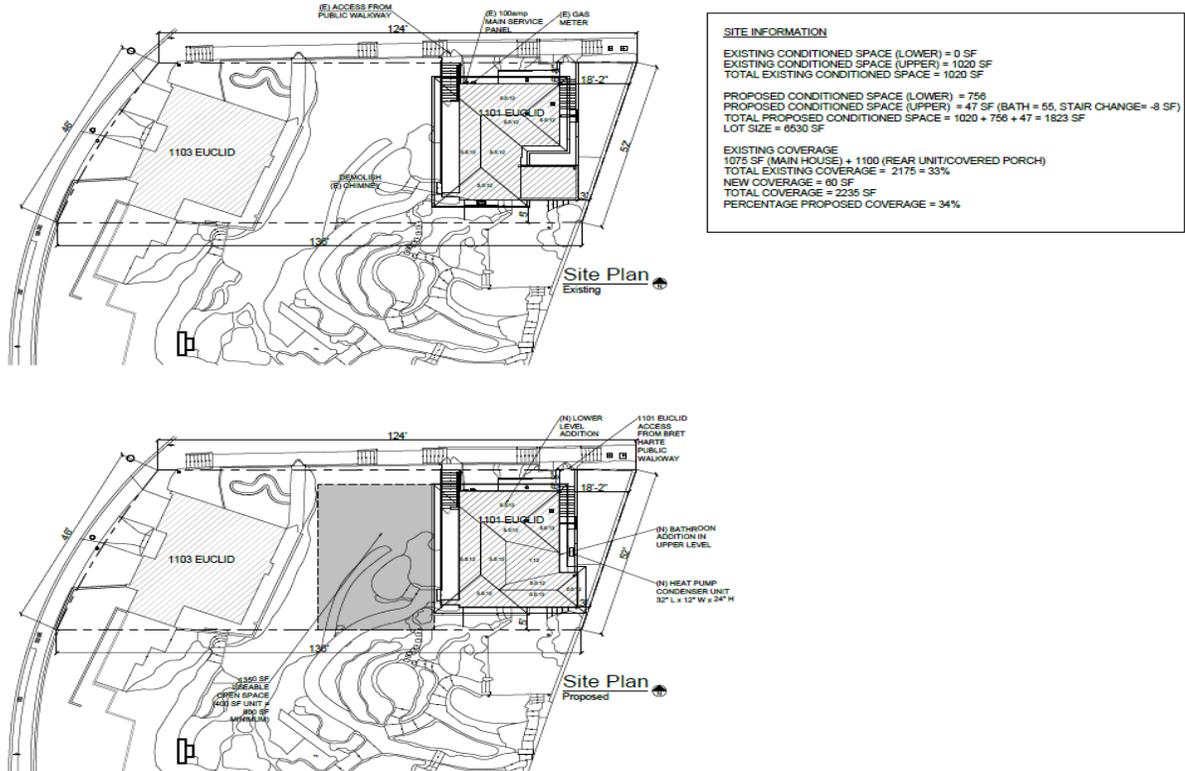


Figure 3: Floor Plans

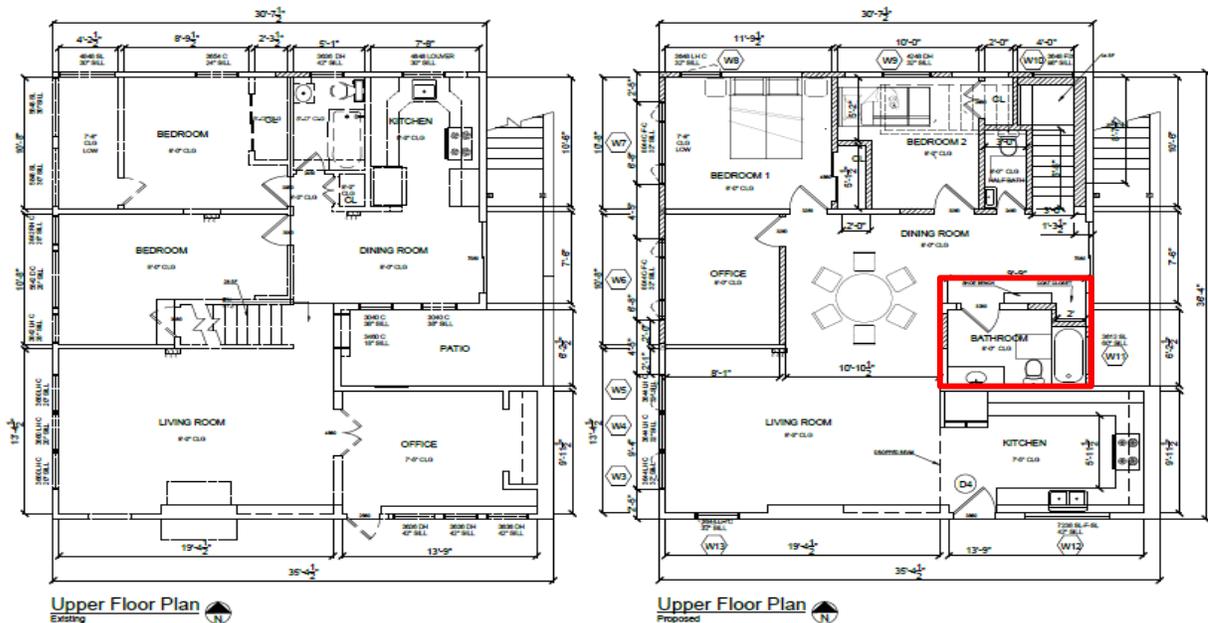
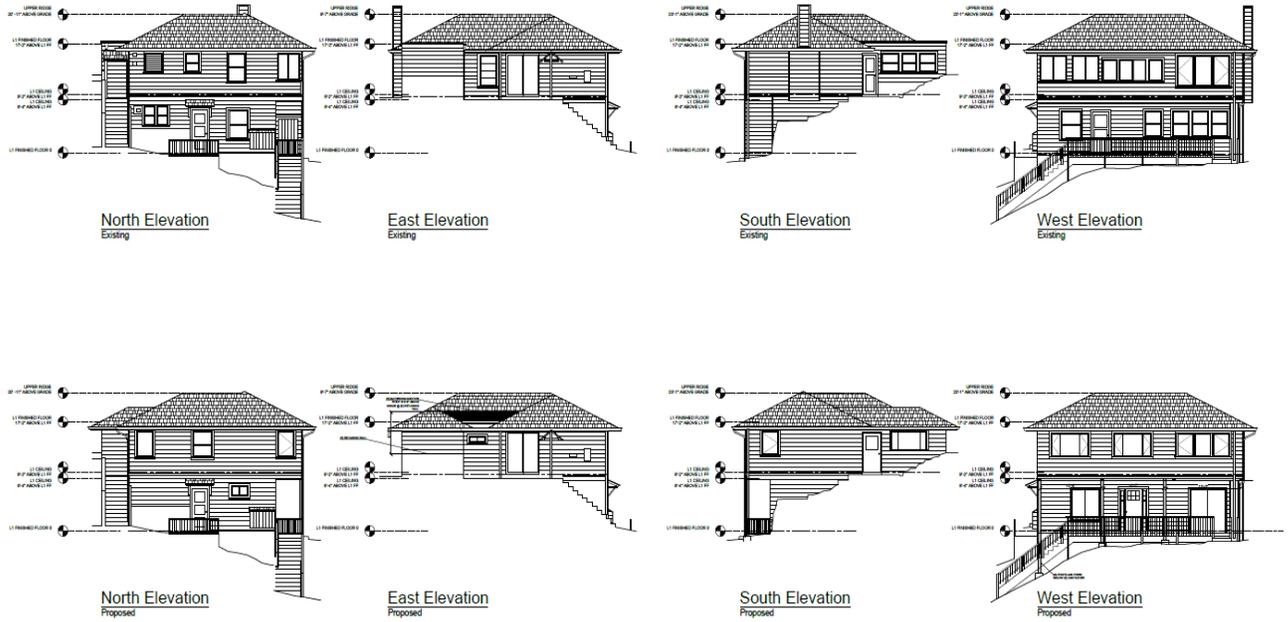


Figure 4: Elevations



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Table 1: Land Use Information

Location		Existing Use	Zoning District	General Plan Designation
Subject Property		Two Single-Family Residence	Single-Family Residential District- Hillside Overlay (R-1H)	Low Density Residential (LDR)
Surrounding Properties	North	Single Family Residence	Single-Family Residential District- Hillside Overlay (R-1H)	Low Density Residential (LDR)
	South			
	East			
	West			

Table 2: Special Characteristics

Characteristic	Applicability	Explanation
Affordable Child Care Fee for qualifying non-residential projects (Per Resolution 66,618-N.S.)	No	This fee applies to net newly constructed nonresidential gross floor area over 7,500 square feet. The project only involves new residential floor area therefore the fee does not apply.
Affordable Housing Fee for qualifying non-residential projects (Per Resolution 66,617-N.S.)		
Affordable / Inclusionary Housing Requirements (BMC Chapter 23.328)	No	The project involves a residential unit existing as of April 1, 2023 that is being expanded, renovated, or rehabilitated, and is exempt from the provisions of BMC 23.328.
Coast Live Oak Trees (BMC Chapter 6.52)	No	There are no Coast Live Oak (<i>Quercus agrifolia</i>) trees on the project site.
Creeks	No	No creek or culvert, as defined by BMC Chapter 17.08, exists on or within 30 feet of the project site.
Historic Resources	No	Based on the applicant's preliminary research, the subject property does not appear to be an eligible cultural resource pursuant to CEQA Guidelines Section 15064.5.
Housing Accountability Act (HAA) (Gov't Code Section 65589.5(j))	No	The project is an addition to a single-family dwelling and does not include any new dwelling units, therefore, it is not a "housing development project" per Government Code Section 65589.5(h)(2), and the Housing Accountability Act does not apply to the project.
Housing Crisis Act of 2019 (SB330)	No	The project is an addition to a single-family dwelling and does not include any new dwelling units, therefore, it is not a "housing development project" per Government Code Section 65589.5(h)(2) and SB 330 does not apply.
Residential Preferred Parking (RPP)	No	The site is not located in an RPP zone.

Characteristic	Applicability	Explanation
Seismic Hazards (SHMA)	No	The project site is located within an area susceptible to landslide and earthquake fault ruptures as shown on the State Seismic Hazard Zones map, however, the project is exempt from further geotechnical and seismic hazard investigation requirements because the proposed project is an alteration or addition which does not exceed either 50 percent of the value of the structure or 50 percent of the existing floor area of the structure.
Soil/Groundwater Contamination	No	The project site not is located within the City's Environmental Management Area and is not on the Cortese List.
Transit	Yes	The project area is served by AC Transit line 65. There is an existing bus stop approximately 0.1 miles to the north near the intersection of Euclid Avenue and Bret Harte Path.

Table 3: Project Chronology

Date	Action
October 2, 2023	Use Permit Application submitted
November 1, 2023	Application deemed complete
January 25, 2024	Public hearing notices mailed/posted
February 8, 2024	ZAB hearing

Table 4: R-1H Development Standards BMC Sections 23.202.050 and 23.210.020

Standard		Existing	Proposed Total	Permitted/ Required
Lot Area (sq. ft.)		6530	No change	5000 min
Gross Floor Area (sq. ft.) (Rear dwelling)		1020	1575	N/A
Dwelling Units	Total	2	No change	1 max
Building Height (ft. - in.)	Average	15'-4"	No change	max
	Maximum	23'-1"	No change	max
	Stories	2	2	max
Building Setbacks (ft. - in.) (rear dwelling)	Front (Euclid Avenue)	76'	76'	20' min
	Rear	3'	3'	20' min
	Left Side	6'-8"	6'-8"	4' min

Standard		Existing	Proposed Total	Permitted/ Required
	Right Side	5'	5'	4' min
Lot Coverage (%)		33%	34%	40% max
Usable Open Space (sq. ft.)		1350	1350	400 min
Parking (BMC 23.322)	Automobile	2	2	2 min

II. Project Setting

A. Neighborhood/Area Description:

The project site is located in the R-1H Zoning District. The area is characterized by a residential development pattern comprised of one- to three-story single-family dwellings.

B. Site Conditions:

The 3,500 square-foot lot is generally rectangular-shaped, oriented in a northeast to southwest direction, and slopes upward from the street. The north side lot line abuts the public path Bret Harte Way, which provides access to the rear dwelling unit at subject property. The property is developed with two single-family dwelling units, and the front dwelling unit includes two single-car garage spaces on the lower level.

III. Project Description

A. Proposed Project Details:

The proposed project would construct a 60 square foot bathroom addition at the rear of the back-dwelling unit that will be built to fill in the existing rear patio. The project will also reconfigure the interior space of the lower level, resulting in an additional bathroom, den, laundry, and third bedroom. The existing residence is placed 3 feet from the rear property line and the proposed 60 square foot addition will be placed approximately 7 feet from the rear setback; in addition, the lot coverage will increase from 33 percent to 34 percent.

IV. Community Discussion

A. Neighbor/Community Concerns:

Prior to submitting this application to the city, a pre-application poster was installed on site by the applicant in October 2023. On January 25, 2024, the City mailed the public hearing notices to property owners and occupants within 300 feet of the project site, and to interested neighborhood organizations. The City also posted notices within the

neighborhood at three nearby locations. At the time of writing this report, staff had not received any communications regarding the project.

B. Design Review Committee Review / Landmark Preservation Commission:

This project is not subject to review by the Design Review Committee or the Landmarks Preservation Commission because it is not located in a residential district subject to design review, commercial or manufacturing district, and does not involve the demolition of a nonresidential building, respectively.

V. Issues and Analysis

A. CEQA Approach and Recommendation

It is staff's recommendation that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301 ("Existing Facilities"). The project complies with this exemption as this project consists of a minor alteration of an existing private structure, involving negligible expansion of the existing residential use and the addition to the existing residence will not result in an increase of more than 50 percent of the floor area of the structure before the addition. In addition, none of the exceptions to eligibility for a categorical exemption as listed under CEQA Guidelines Section 15300.2, apply to the project:

- The project is currently characterized as developed by the California Natural Diversity Database;¹ therefore, it is not located in an environmentally sensitive area;
- The cumulative impact of successive projects of the same type in the same place, over time would not be significant;
- There are no "unusual circumstances" at the project site that would result in significant environmental effects;
- There are no eligible or designated scenic highways within the City of Berkeley;² therefore, the project site is not in view of a state scenic highway;
- The site is not included on a list compiled pursuant to Government Code Section 65962.5;³ and
- The project would not result in a substantial adverse change in the significance of a historical resource.

The CEQA determination is made by ZAB, as the decision-making body.

¹ California Department of Fish and Wildlife. California Natural Diversity Database. Available: <https://apps.wildlife.ca.gov/bios6/?tool=cnddbqv>

² California Department of Transportation. California Scenic Highway Program's Scenic Highway System List. Available: <https://dot.ca.gov/programs/design/lap-landscape-architecture-and-community-livability/lap-liv-i-scenic-highways>

³ California Environmental Protection Agency. Cortese List Data Resources. Available: <https://calepa.ca.gov/sitecleanup/corteselists/>

B. General Non-Detriment Finding:

BMC Section 23.406.040(E) states that before the ZAB approves an application for a Use Permit, it must find that the project, under the circumstances of this particular case existing at the time at which the application is granted, would not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City.

1. Sunlight/Shadow: The residential addition would expand the footprint horizontally by approximately 10 feet and not exceed the height of the existing structure. As a result, the project would not contribute to a significant loss of direct sunlight on abutting residences, and any shading impacts would not be detrimental.
2. Air: The residential addition would be consistent with the existing development and building-to-building separation pattern – or air – in this R-1H zoned neighborhood because the alteration would not further reduce the front and side setbacks, and the extension of the wall in the nonconforming rear setback would not encroach further into the rear setback. Therefore, there would be minimal, if any, air impacts.
3. Views: The proposed project would not result in obstruction of significant views in the neighborhood as defined in BMC Section 23.502 (Glossary). This portion of the City is located in the Berkeley hillside with one and two-story residences, and the adjacent residence set uphill would not be impacted by the addition's vertical or horizontal off-site view angles.
4. The project would be subject to the City's standard conditions of approval regarding construction noise and air quality, waste diversion, toxics, and stormwater requirements, thereby ensuring that the project would not be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the area or neighborhood of such proposed use. In addition, the proposed project would not be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood or to the general welfare of the City.

C. Addition to Structure on Parcel with Nonconforming Residential Density and Nonconforming Setbacks:

Pursuant to BMC Section 23.324.050(D)(3), additions and/or enlargements of lawful nonconforming structures that are nonconforming by reason of exceeding residential density are permitted with a Use Permit, provided that the existing use of the property is conforming, the addition complies with all applicable laws, and the addition does not exacerbate the nonconformity or exceed the height limit. Likewise, BMC 23.324.050(D)(2), allows an addition to vertically or horizontally extend a building wall within a nonconforming setback if it meets the same criteria.

Although the residential density is nonconforming, the residential use of the property is conforming in the R-1H District. As described in the Site Conditions (Section II.B), the 60 square foot addition would accommodate the third bathroom for the rear single-family dwelling and would not increase the density. The proposed addition would not further encroach into the required 20 rear setback beyond the existing house and, is consistent with all other development standards in the R-1 Zoning – Hillside Overlay District (BMC Section 23.210.020), and will not exceed the average and maximum building height allowances.

VI. Other Considerations (Zoning and Land Use Considerations)

A. General Plan Consistency:

The 2002 General Plan contains several policies applicable to the project, including the following:

- 1. Policy LU-3 Infill Development:** Encourage infill development that is architecturally and environmentally sensitive, embodies principles of sustainable planning and construction, and is compatible with neighboring land uses and architectural design and scale.
- 2. Policy LU-7 Neighborhood Quality of Life, Action A:** Require that new development be consistent with zoning standards and compatible with the scale, historic character, and surrounding uses in the area.
- 3. Policy UD-16 Context:** The design and scale of new or remodeled buildings should respect the built environment in the area, particularly where the character of the built environment is largely defined by an aggregation of historically and architecturally significant buildings.
- 4. Policy UD-24 Area Character:** Regulate new construction and alterations to ensure that they are truly compatible with and, where feasible, reinforce the desirable design characteristics of the particular area they are in.

Staff Analysis: The addition would be constructed on the rear dwelling unit, and would not be visible from the public right-of-way, is minor in scale, consistent with the R-1 and Hillside Overlay zoning standards, and harmonious and environmentally sensitive with the scale and design characteristics of the neighborhood. Due to the proposed project's location and size and its consistency with development standards, residential use, Use Permit, and Administrative Use Permit standards, the project would be compatible with surrounding uses and the built environment in the area.

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VII. Recommendation

Because of the project's consistency with the Zoning Ordinance and General Plan, and minimal impact on surrounding properties, staff recommends that the Zoning Adjustments Board:

1. **FIND** that the project is categorically exempt from the provisions of the CEQA pursuant to Section 15301 of the CEQA Guidelines ("Existing Facilities"); and
2. **APPROVE** Use Permit #ZP2023-0135 pursuant to Section 23.406.040(D) and subject to the attached Findings and Conditions (see Attachment 1).

Attachments:

1. Findings and Conditions
2. Project Plans, received October 2, 2023
3. Notice of Public Hearing, January 11, 2023

Staff Planner: Waqar Shah – Associate Planner, WSHAH@berkeleyca.gov, (510) 981-7469

ATTACHMENT 1

FINDINGS AND CONDITIONS

FEBRUARY 8, 2024

1101 EUCLID AVENUE

Use Permit #ZP2023-0135 to construct a single-story 60 square foot residential addition (maximum height of approximately 10 feet) to the rear unit on a lot that is nonconforming to residential density.

PERMITS REQUIRED

- **Use Permit** pursuant to Berkeley Municipal Code (BMC) Section 23.324.050(D)(3)(a) to permit an addition to and/or enlargement of a building on a lot that exceeds the maximum residential density.
- **Administrative Use Permit**, pursuant to BMC Section 23.324.050(D)(2)(a) to permit an addition that vertically or horizontally extend a building wall projecting into a minimum setback.

I. CEQA FINDINGS

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code Section 21000, et seq. and California Code of Regulations, Section 15000, et seq.) pursuant to Section 15301 of the CEQA Guidelines (“Existing Facilities”).
2. Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, and (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5.

II. FINDINGS FOR APPROVAL

1. As required by Section 23.406.040(E) of the BMC, the project, under the circumstances of this particular case existing at the time at which the application is granted, will not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:
 - A. The effects of the minor exterior and interior changes to the structure on new shadows, light, and air will be minimal;
 - B. The bathroom addition will not create any additional privacy issues, as the addition will have a small rear facing window. No significant impacts to privacy are anticipated from the proposed additions on the parcel; and
 - C. The adjacent residences located at 1106 Keith Avenue and 6 Bret Harte Road are located higher than the subject property and the addition is small in scale. The project would not be detrimental with respect to views.

2. Pursuant to BMC Section 23.324.050(D)(2), the extension of the wall within the rear nonconforming setback is permissible because the residential use is conforming, and the addition will not further reduce the existing non-conforming setback, and will not exceed the average and maximum building height limits.
 3. Pursuant to BMC Section 23.324.050(D)(3)(a) the addition to the dwelling on the lot that is nonconforming by reason of violation of the maximum allowable density is permissible because the residential use is conforming, and the addition will not further increase or exacerbate the density or further exceed the height limit.
-

III. STANDARD CONDITIONS OF APPROVAL FOR ALL PROJECTS

The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions.' *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings.

2. Compliance Required (BMC Section 23.102.050)

All land uses and structures in Berkeley must comply with the Zoning Ordinance and all applicable City ordinances and regulations. Compliance with the Zoning Ordinance does not relieve an applicant from requirements to comply with other federal, state, and City regulations that also apply to the property.

3. Approval Limited to Proposed Project and Replacement of Existing Uses (BMC Sections 23.404.060(B)(1) and (2))

- A. This Permit authorizes only the proposed project described in the application. In no way does an approval authorize other uses, structures or activities not included in the project description.
- B. When the City approves a new use that replaces an existing use, any prior approval of the existing use becomes null and void when permits for the new use are exercised (e.g., building permit or business license issued). To re-establish the previously existing use, an applicant must obtain all permits required by the Zoning Ordinance for the use.

4. Conformance to Approved Plans (BMC Section 23.404.060(B)(4))

All work performed under an approved permit shall comply with the approved plans and any conditions of approval.

5. Exercise and Expiration of Permits (BMC Section 23.404.060(C))

- A. A permit authorizing a land use is exercised when both a valid City business license is issued (if required) and the land use is established on the property.
- B. A permit authorizing construction is exercised when both a valid City building permit (if required) is issued and construction has lawfully begun.
- C. The Zoning Officer may declare a permit lapsed if it is not exercised within one year of its issuance, except if the applicant has applied for a building permit or has made a substantial good faith effort to obtain a building permit and begin construction. The Zoning Officer may declare a permit lapsed only after 14 days written notice to the applicant. A determination that a permit has lapsed may be appealed to the ZAB in accordance with Chapter 23.410 (Appeals and Certification).
- D. A permit declared lapsed shall be void and of no further force and effect. To establish the use or structure authorized by the lapsed permit, an applicant must apply for and receive City approval of a new permit.

- 6. Permit Remains Effective for Vacant Property (BMC Section 23.404.060(D))**

Once a Permit for a use is exercised and the use is established, the permit authorizing the use remains effective even if the property becomes vacant. The same use as allowed by the original permit may be re-established without obtaining a new permit, except as set forth in Standard Condition #5 above.
- 7. Permit Modifications (BMC Section 23.404.070)**

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Board. The Zoning Officer may approve changes to plans approved by the Board, consistent with the Board's policy adopted on May 24, 1978, which reduce the size of the project.
- 8. Permit Revocation (BMC Section 23.404.080)**

The City may revoke or modify a discretionary permit for completed projects due to: 1) violations of permit requirements; 2) Changes to the approved project; and/or 3) Vacancy for one year or more. However, no lawful residential use can lapse, regardless of the length of time of the vacancy. Proceedings to revoke or modify a permit may be initiated by the Zoning Officer, Zoning Adjustments Board (ZAB), or City Council referral.
- 9. Hold Harmless.** The permittee agrees as a condition of approval of this application to indemnify, protect, defend with counsel selected by the City, and hold harmless, the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents, from and against any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorney's fees and disbursements (collectively, "Claims") arising out of or in any way relating to the approval of this application, any actions taken by the City related to this entitlement, or any environmental review conducted under the California Environmental Quality Act, Public Resources Code Section 210000 et seq., for this entitlement and related actions. The indemnification shall include any Claims that may be asserted by any person or entity, including the permittee, arising out of or in connection with the approval of this application, whether or not there is concurrent, passive or active negligence on the part of the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents. The permittee's duty to defend the City shall not apply in those instances when the permittee has asserted the Claims, although the permittee shall still have a duty to indemnify, protect and hold harmless the City.

IV. ADDITIONAL CONDITIONS IMPOSED BY THE ZONING ADJUSTMENTS BOARD

Pursuant to BMC 23.404.050(H), the Zoning Adjustments Board attaches the following additional conditions to this Permit:

Prior to Submittal of Any Building Permit:

10. Project Liaison. The applicant shall include in all building permit plans and post onsite the name and telephone number of an individual empowered to manage construction-related complaints generated from the project. The individual's name, telephone number, and responsibility for the project shall be posted at the project site for the duration of the project in a location easily visible to the public. The individual shall record all complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis. **Please designate the name of this individual below:**

Project Liaison _____
Name Phone #

Prior to Issuance of Any Building & Safety Permit (Demolition or Construction)

11. Construction and Demolition Diversion. Applicant shall submit a [Construction Waste Management Plan](#) that meets the requirements of BMC Chapter 19.37 including 100 percent diversion of asphalt, concrete, excavated soil and land-clearing debris and a minimum of 65 percent diversion of other nonhazardous construction and demolition waste.
12. Toxics. The applicant shall contact the Toxics Management Division (TMD) at 1947 Center Street or (510) 981-7470 to determine which of the following documents are required and timing for their submittal:
- A. **Phase I and Phase II Environmental Site Assessment (ESA) (per ASTM 1527)**. A recent Phase I ESA (less than 2 years old) shall be submitted to the Toxics Management Division for developments for: all new commercial, industrial and mixed-use developments and all improvement projects that require work 5 or more feet below grade, and all new residential buildings with more than four dwelling units located in the Environmental Management Area (or EMA). The EMA can be viewed at: [City of Berkeley Community GIS Portal \(arcgis.com\)](#)
 - B. Depending on the findings in the Phase I, a Phase II or additional investigation may be necessary. Any available soils and groundwater analytical data available for projects listed in this section must also be submitted to TMD.
 - C. **Environmental Site Clearance**. The applicant shall provide environmental screening clearance from either the San Francisco Bay Regional Water Quality Control Board (RWQCB), Department of Toxic Substances Control (DTSC), or the Alameda County Department of Environmental Health's Local Oversight Program (LOP). Clearance from one of these regulatory agencies will ensure that the property meets development investigation and cleanup standards for the specific use proposed on the property. Environmental screening clearance shall be submitted to the City of Berkeley's Toxics Management Division prior to issuance of any building permits.
 - D. **Soil and Groundwater Management Plan**. A site-specific Soil and Groundwater Management Plan (SGMP) shall be submitted to Toxics Management Division (TMD) for all non-residential projects, and residential or mixed-use projects with more than four dwelling units, that: (1) are in the Environmental Management Area (EMA), as shown on the most recent City of Berkeley EMA map, and (2) propose any excavations deeper than 5 feet below grade or if significant soils removal is anticipated. The SGMP shall be submitted to the TMD with the project's building permit application and shall be approved by TMD prior to issuance of the building permit.

The SGMP shall comply with the hazardous materials and waste management standards required by BMC Section 15.12.100, the stormwater pollution prevention requirements of San Francisco Bay Regional Water Quality Control Board's Order No. R2-2009-0074, California hazardous waste generator regulations (Title 22 California Code of Regulations (CCR) 66260 et seq.), and the East Bay Municipal Utility District's Ordinance 311, and shall include the following:

- i. procedures for soil and groundwater management including identification of pollutants and disposal methods;
- ii. procedures to manage odors, dust and other potential nuisance conditions expected during development;
- iii. notification to TMD within 24 hours of the discovery of any previously undiscovered contamination; and
- iv. the name and phone number of the individual responsible for implementing the SGMP and who will respond to community questions or complaints.

TMD may require additional information or impose additional conditions as deemed necessary to protect human health and the environment. All requirements of the approved SGMP shall be deemed conditions of approval.

E. **Demolitions & Renovations – Building Materials Survey.** A hazardous materials survey for building materials and plans on hazardous materials and hazardous waste removal and disposal is required and must be prepared by qualified professionals, and submitted to the Toxics Management Division (TMD) prior to issuance of the building permit.

- i. The survey shall include the identification of all materials to be disturbed for lead-based paints, PCB containing equipment and caulking, hydraulic fluids, refrigerants, treated wood, and mercury containing devices (including fluorescent light bulbs and mercury switches), asbestos and other hazardous materials and chemicals.
- ii. If asbestos is identified, Bay Area Air Quality Management District Regulation 11-2-401.3 a notification must be made and the J number must be made available to the City of Berkeley Permit Service Center. Contractors must follow state regulations where there is asbestos-related work involving 100 square feet or more of asbestos containing material (8 Cal. Code Regs. §1529, §341.6 et seq.)
- iii. The report to the TMD shall include, in addition to the survey, plans on hazardous materials and hazardous waste removal and disposal that comply with State and Federal codes including California Code of Regulations (CCR) 66260 et seq.
- iv. Documentation evidencing disposal of hazardous waste in compliance with the survey shall be submitted to TMD within 30 days of the completion of the demolition.

Please note, the PCB Screening Form required by Public Works, Engineering, is a separate requirement and does not address the PCB identification requirement of the Toxics Management Division.

F. **Hazardous Materials Business Plan.** A Hazardous Materials Business Plan (HMBP) in compliance with BMC Section 15.12.040 and California Health & Safety Code, Chapter 6.95 Div. 20, shall be submitted to the Toxics Management Division through the California Environmental Reporting System: <http://cers.calepa.ca.gov/> for chemicals used or stored on site during construction that exceed reporting thresholds. The reporting is required if your facility stores or handles hazardous materials in aggregate quantities equal to or greater than 55 gallons for liquids, 500 pounds for solids, or 200 cubic feet of compressed gases, or generates any quantity of hazardous waste. This includes welding gases, emergency generator fuel, paints, etc.

Additionally, the business occupant must submit an HMBP within 30 days of starting operations.

G. **Petroleum Storage.** An (SPCC) Plan is required to be prepared and implemented for facilities with any one of the following:

- i. aggregate aboveground petroleum storage capacities of 1,320 gallons or more stored in aboveground storage containers, tanks, oil-filled equipment, or
- ii. one or more tank(s) in an underground area (TIUGA) with petroleum storage capacities of 55 gallons or greater. More information on TIUGAs can be found here: <https://osfm.fire.ca.gov/divisions/pipeline-safety-and-cupa/certified-unified-program-agency-cupa/aboveground-petroleum-storage-act/tank-in-an-underground-area-tiuga/>

The SPCC plan must be prepared prior to beginning operations and you must submit facility information to Toxics Management Division (TMD) through the California Environmental Reporting System: <http://cers.calepa.ca.gov/>. The SPCC plan will be reviewed during the site inspection and shall not be submitted in CERS or to the TMD

Prior to Issuance of Any Building (Construction) Permit

13. **HVAC Noise Reduction.** Prior to the issuance of building permits, the project applicant shall submit plans that show the location, type, and design of proposed heating, ventilation, and cooling (HVAC) equipment. In addition, the applicant shall provide product specification sheets or a report from a qualified acoustical consultant showing that operation of the proposed HVAC equipment will meet the City's exterior noise requirements in BMC Section 13.40.050. The City's Planning and Development Department shall review the submitted plans, including the selected HVAC equipment, to verify compliance with exterior noise standards.
14. **Recycling and Organics Collection.** Applicant shall provide recycling and organics collection areas for occupants, clearly marked on plans, which comply with the Alameda County Organics Reduction and Recycling Ordinance (2021-02). Contact the Zero Waste Division's Recycling Program Manager, Julia A. Heath, at jheath@berkeleyca.gov.
15. **Public Works ADA.** Plans submitted for building permit shall include replacement of sidewalk, curb, gutter, and other streetscape improvements, as necessary to comply with current City of Berkeley standards for accessibility.

Prior to Demolition or Start of Construction:

16. **Construction/No Parking Permits.** Contact the Permit Service Center (PSC) at 1947 Center Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Please note that the Zoning Officer and/or Traffic Engineer may limit off-site parking of construction-related vehicles if necessary to protect the health, safety or convenience of the surrounding neighborhood.

During Construction:

17. **Construction Hours.** Construction activity shall be limited to between the hours of 8:00 AM and 6:00 PM on Monday through Friday, and between 9:00 AM and Noon on Saturday. No construction-related activity shall occur on Sunday or any Federal Holiday.
18. **Public Works - Implement Bay Area Air Quality Management District (BAAQMD)-** Recommended Measures during Construction. For all proposed projects, BAAQMD recommends implementing all the Basic Construction Mitigation Measures, listed below to meet the best management practices threshold for fugitive dust:
- H. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
 - I. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
 - J. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
 - K. All vehicle speeds on unpaved roads shall be limited to 15 mph.
 - L. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
 - M. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
 - N. All construction equipment shall be maintained and properly tuned in accordance with manufacturer specifications. All equipment shall be checked by a certified visible emissions evaluator.
 - O. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
19. **Air Quality - Diesel Particulate Matter Controls during Construction.** All off-road construction equipment used for projects with construction lasting more than 2 months shall comply with one of the following measures:

- A. The project applicant shall prepare a health risk assessment that demonstrates the project's on-site emissions of diesel particulate matter during construction will not exceed health risk screening criteria after a screening-level health risk assessment is conducted in accordance with current guidance from BAAQMD and OEHHA. The health risk assessment shall be submitted to the Land Use Planning Division for review and approval prior to the issuance of building permits; or
 - B. All construction equipment shall be equipped with Tier 2 or higher engines and the most effective Verified Diesel Emission Control Strategies (VDECS) available for the engine type (Tier 4 engines automatically meet this requirement) as certified by the California Air Resources Board (CARB). The equipment shall be properly maintained and tuned in accordance with manufacturer specifications.
 - C. In addition, a Construction Emissions Minimization Plan (Emissions Plan) shall be prepared that includes the following:
 - i. An equipment inventory summarizing the type of off-road equipment required for each phase of construction, including the equipment manufacturer, equipment identification number, engine model year, engine certification (tier rating), horsepower, and engine serial number. For all VDECS, the equipment inventory shall also include the technology type, serial number, make, model, manufacturer, CARB verification number level, and installation date.
 - ii. A Certification Statement that the Contractor agrees to comply fully with the Emissions Plan and acknowledges that a significant violation of the Emissions Plan shall constitute a material breach of contract. The Emissions Plan shall be submitted to the Public Works Department for review and approval prior to the issuance of building permits.
- 20. Construction and Demolition Diversion.** Divert debris according to your plan and collect required documentation. Get construction debris receipts from sorting facilities in order to verify diversion requirements. Upload recycling and disposal receipts if using [Green Halo](#) and submit online for City review and approval prior to final inspection. Alternatively, complete the [Construction Waste Management Plan](#) and present it, along with your construction debris receipts, to the Building Inspector by the final inspection to demonstrate diversion rate compliance. The Zoning Officer may request summary reports at more frequent intervals, as necessary to ensure compliance with this requirement.
- 21. Low-Carbon Concrete.** The project shall maintain compliance with the Berkeley Green Code (BMC Chapter 19.37) including use of concrete mix design with a cement reduction of at least 25 percent. Documentation on concrete mix design shall be available at all times at the construction site for review by City Staff. (Project required to meet applicable code at time of building permit application, if different from above.)
- 22. Avoid Disturbance of Nesting Birds.** Initial site disturbance activities, including vegetation and concrete removal, shall be prohibited during the general avian nesting season (February 1 to August 30), if feasible. If nesting season avoidance is not feasible, the applicant shall retain a qualified biologist to conduct a preconstruction nesting bird survey to determine the presence/absence, location, and activity status of any active nests on or adjacent to the project

site. The extent of the survey buffer area surrounding the site shall be established by the qualified biologist to ensure that direct and indirect effects to nesting birds are avoided. To avoid the destruction of active nests and to protect the reproductive success of birds protected by the MBTA and CFGC, nesting bird surveys shall be performed not more than 14 days prior to scheduled vegetation and concrete removal. In the event that active nests are discovered, a suitable buffer (typically a minimum buffer of 50 feet for passerines and a minimum buffer of 250 feet for raptors) shall be established around such active nests and no construction shall be allowed inside the buffer areas until a qualified biologist has determined that the nest is no longer active (e.g., the nestlings have fledged and are no longer reliant on the nest). No ground-disturbing activities shall occur within this buffer until the qualified biologist has confirmed that breeding/nesting is completed and the young have fledged the nest. Nesting bird surveys are not required for construction activities occurring between August 31 and January 31.

- 23. Stormwater Requirements.** The applicant shall demonstrate compliance with the requirements of the City's National Pollution Discharge Elimination System (NPDES) permit as described in BMC Section 17.20. The following conditions apply:
- A. The project plans shall identify and show site-specific Best Management Practices (BMPs) appropriate to activities conducted on-site to limit to the maximum extent practicable the discharge of pollutants to the City's storm drainage system, regardless of season or weather conditions.
 - B. Trash enclosures and/or recycling area(s) shall be covered; no other area shall drain onto this area. Drains in any wash or process area shall not discharge to the storm drain system; these drains should connect to the sanitary sewer. Applicant shall contact the City of Berkeley and EBMUD for specific connection and discharge requirements. Discharges to the sanitary sewer are subject to the review, approval and conditions of the City of Berkeley and EBMUD.
 - C. Landscaping shall be designed with efficient irrigation to reduce runoff, promote surface infiltration and minimize the use of fertilizers and pesticides that contribute to stormwater pollution. Where feasible, landscaping should be designed and operated to treat runoff. When and where possible, xeriscape and drought tolerant plants shall be incorporated into new development plans.
 - D. Design, location and maintenance requirements and schedules for any stormwater quality treatment structural controls shall be submitted to the Department of Public Works for review with respect to reasonable adequacy of the controls. The review does not relieve the property owner of the responsibility for complying with BMC Chapter 17.20 and future revisions to the City's overall stormwater quality ordinances. This review shall be shall be conducted prior to the issuance of a Building Permit.
 - E. All paved outdoor storage areas must be designed to reduce/limit the potential for runoff to contact pollutants.
 - F. All on-site storm drain inlets/catch basins must be cleaned at least once a year immediately prior to the rainy season. The property owner shall be responsible for all costs associated with proper operation and maintenance of all storm drainage facilities (pipelines, inlets, catch basins, outlets, etc.) associated with the project, unless the City accepts such facilities by Council action. Additional cleaning may be required by City of Berkeley Public Works Engineering Dept.

- G. All on-site storm drain inlets must be labeled “No Dumping – Drains to Bay” or equivalent using methods approved by the City.
 - H. Most washing and/or steam cleaning must be done at an appropriately equipped facility that drains to the sanitary sewer. Any outdoor washing or pressure washing must be managed in such a way that there is no discharge or soaps or other pollutants to the storm drain. Sanitary connections are subject to the review, approval and conditions of the sanitary district with jurisdiction for receiving the discharge.
 - I. All loading areas must be designated to minimize “run-on” or runoff from the area. Accumulated waste water that may contribute to the pollution of stormwater must be drained to the sanitary sewer or intercepted and pretreated prior to discharge to the storm drain system. The property owner shall ensure that BMPs are implemented to prevent potential stormwater pollution. These BMPs shall include, but are not limited to, a regular program of sweeping, litter control and spill cleanup.
 - J. Sidewalks and parking lots shall be swept regularly to prevent the accumulation of litter and debris. If pressure washed, debris must be trapped and collected to prevent entry to the storm drain system. If any cleaning agent or degreaser is used, wash water shall not discharge to the storm drains; wash waters should be collected and discharged to the sanitary sewer. Discharges to the sanitary sewer are subject to the review, approval and conditions of the sanitary district with jurisdiction for receiving the discharge.
 - K. The applicant is responsible for ensuring that all contractors and sub-contractors are aware of and implement all stormwater quality control measures. Failure to comply with the approved construction BMPs shall result in the issuance of correction notices, citations, or a project stop work order.
- 24.** Public Works. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.
- 25.** Public Works. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter thick and secured to the ground.
- 26.** Public Works. The applicant shall ensure that all excavation accounts for surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.
- 27.** Public Works. The project sponsor shall maintain sandbags or other devices around the site perimeter during the rainy season to prevent on-site soils from being washed off-site and into the storm drain system. The project sponsor shall comply with all City ordinances regarding construction and grading.
- 28.** Public Works. Prior to any excavation, grading, clearing, or other activities involving soil disturbance during the rainy season the applicant shall obtain approval of an erosion prevention plan by the Building and Safety Division and the Public Works Department. The applicant shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.

29. Public Works. The removal or obstruction of any fire hydrant shall require the submission of a plan to the City's Public Works Department for the relocation of the fire hydrant during construction.
30. Public Works / Building and Safety. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.

Prior to Final Inspection or Issuance of Occupancy Permit:

31. Compliance with Conditions. The project shall conform to the plans and statements in the Use Permit. The developer is responsible for providing sufficient evidence to demonstrate compliance with the requirements throughout the implementation of this Use Permit.
32. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated **October 12, 2023**.

At All Times:

33. Compliance with Approved Plan. The project shall conform to the plans and statements in the Use Permit.
34. Exterior Lighting. All exterior lighting shall be energy efficient where feasible; and shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
35. Loading. All loading/unloading activities associated with deliveries to all uses shall be restricted to the hours of 7:00 a.m. to 10:00 p.m. daily.
36. Drainage Patterns. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.

PROJECT DESCRIPTION/SCOPE

UPPER LEVEL

- REMOVE EXISTING INTERIOR STAIRS TO UPPER LEVEL
- NEW INTERIOR STAIRS
- REBUILD ROOF ABOVE NEW KITCHEN
- BATHROOM ADDITION (FOOTPRINT EXPANSION)

LOWER LEVEL ADDITION (NO FOOTPRINT EXPANSION)

- 1 BED, 1 BATH, DEN, LAUNDRY

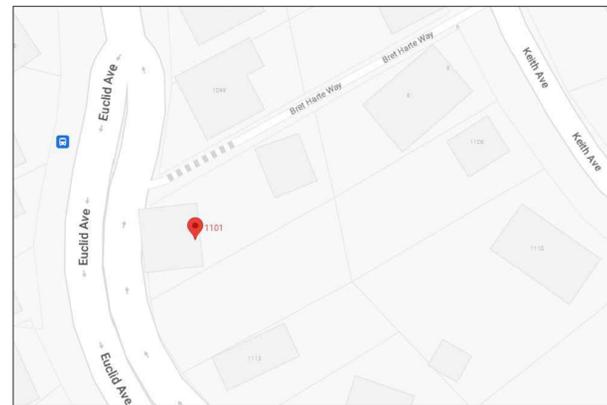
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- A2.0 FLOOR PLAN - LOWER
- A2.1 FLOOR PLAN - UPPER
- A2.2 ELECTRICAL PLAN
- A3.0 ELEVATIONS
- A4.0 DETAILS 1 - SECTIONS
- A4.1 DETAILS 2 - BATHROOMS
- A4.2 DETAILS 3 - KITCHENS



1103 EUCLID AVENUE (FRONT UNIT, STREET FACING)



VICINITY MAP



1101 EUCLID AVENUE (BREN HARTE STREET FACING)



1101 EUCLID AVENUE (FRONT OF HOUSE)



SATELLITE MAP

GENERAL:

1. ALL FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME TYPE AND CHARACTER AS SHOWN FOR SIMILAR CONDITIONS.
2. ALL CONSTRUCTION SHALL CONFORM TO THE 2022 EDITION OF THE CALIFORNIA BUILDING CODE
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE BRACING, SHORING, AND SUPPORT OF ALL TEMPORARY CONSTRUCTION, TEMPORARY EXCAVATION, AND PARTIALLY COMPLETED PORTIONS OF THE BUILDING; SUCH BRACING, SHORING AND SUPPORT MUST INSURE THE SAFETY OF THE ADJACENT PROPERTY AND OF ANY PERSONS WHO MAY COME IN CONTACT WITH THE PROJECT.
4. VERIFY ALL SITE CONDITIONS, DIMENSIONS, ELEVATIONS, ETC. BEFORE STARTING WORK. REPORT ANY DISCREPANCIES TO THE STRUCTURAL ENGINEER BEFORE PROCEEDING.
5. IN THE EVENT OF ANY DISCREPANCIES BETWEEN STRUCTURAL DRAWINGS AND ARCHITECTURAL, MECHANICAL, OR PLUMBING DRAWINGS, NOTIFY THE DESIGNER BEFORE PROCEEDING.

OCCUPANCY: R3
 CONSTRUCTION TYPE: V-B

ALL CONSTRUCTION SHALL COMPLY WITH 2022 CALIFORNIA CODE EDITION: CRC, CMC, CEC, CPC, Calgreen and Energy Code

ALL CONSTRUCTION DEBRIS WILL BE DISPOSED OF IN SUCH A WAY AS TO MEET THE REQUIREMENTS OF CRC 2022 R334. RECEIPTS WILL BE PROVIDED TO INSPECTOR AS CONDITION OF FINAL INSPECTION VERIFYING DISPOSAL OF DEBRIS AND RECYCLING OF REUSABLE MATERIALS.

VIF Smoke detector in each bedroom, at area leading to bedroom, and on each level.
 VIF Carbon monoxide detector at area leading to bedrooms and on each level.

CARPENTRY

1. INDICATES BLOCKING; INDICATES CONTINUOUS MEMBER.
2. SHEATHING:
 WOOD SHEATHING PANELS TO CONFORM TO PS 1-95 OR PS 2-92, EXPOSURE 1.

ROOF - 1/2" CDX 40/20 APA RATED SHEATHING WITH T&G EDGES (UNBLOCKED). NAIL ALL SUPPORTED EDGES WITH 10d @ 6"; ALL OTHER BEARINGS WITH 10d @ 12".

FLOORS - 3/4" OR 23/32" 24 O.C. APA RATED STURD-I-FLOOR WITH T&G EDGES (UNBLOCKED). NAIL ALL SUPPORTED EDGES WITH 10d @ 6"; ALL OTHER BEARINGS WITH 10d @ 10".

WALLS - (WHERE SHOWN ON PLANS) 1/2" 32/16 APA RATED SHEATHING . EDGES BLOCKED. PANELS 1/32" LESS IN THICKNESS THAN INDICATED ARE ACCEPTABLE . NAIL ALL PANEL EDGES PER SHEAR WALL SCHEDULE WHERE INDICATED OR WITH 10d @ 6" U.O.N.; NAIL ALL OTHER BEARINGS WITH 10d @ 12".

3. ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH TABLE 2304.9.1 OF THE CALIFORNIA BUILDING CODE.
4. FASTENERS FOR PRESSURE TREATED AND FIRE RETARDANT WOOD SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL. COATING WEIGHTS FOR ZINC-COATED FASTENERES SHALL BE IN ACCORDANCE WITH ASTM B 695, CLASS 55 MIN.
5. JOIST HANGERS AND OTHER SHEET METAL CONNECTORS SHALL BE AS PROVIDED BY SIMPSON COMPANY OF SAN LEANDRO, CA. OR EQUAL.
6. NAILS SHALL BE COMMON WIRE NAILS U.O.N. ALL NAILS FOR EXTERIOR CONSTRUCTION SHALL BE HOT DIPPED GALVANIZED.
7. PROVIDE 4x6 OR 6x6 MIN. HEADERS OVER ALL DOOR AND WINDOW OPENINGS U.O.N.. PROVIDE 2x4 OR 2x6 FULL HEIGHT STUD AT EACH JAMB.
8. BLOCKING- PROVIDE FULL DEPTH SOLID BLOCKING BETWEEN STUDS @ 10'-0" MAX. AND BETWEEN JOISTS @ 12'-0" MAX.



Yagi
 Addition
 2023

1101 Euclid Ave.
 Berkeley CA
 94708

63-2988-21

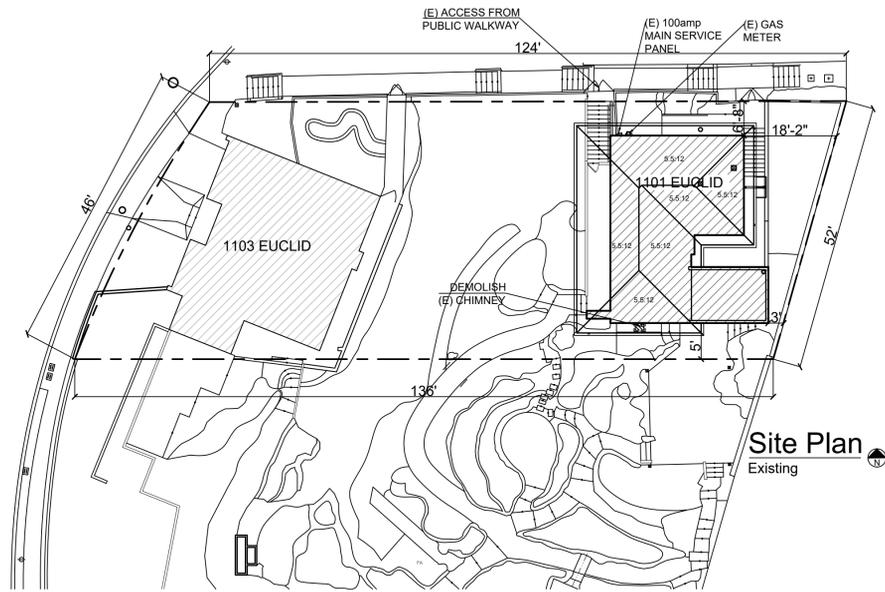
No.	Revision/Issue	Date

Firm Name and Address
 Home Healing Renovations Inc.
 Dylan Sang
 2342 Shattuck Ave., #325
 Berkeley CA 94704

Dylan Sang

Project Name and Address
 Cheryl Yagi
 1101 Euclid Ave.
 Berkeley, CA 94708

Project	Sheet
Date 9/28/2023	G1.0
Scale	

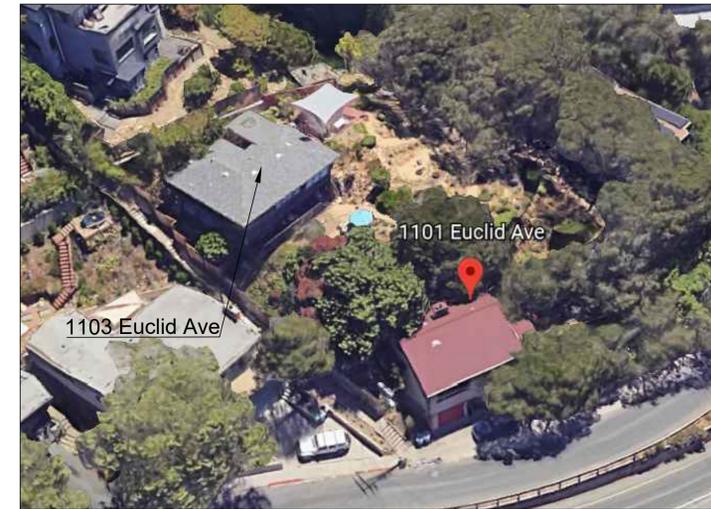
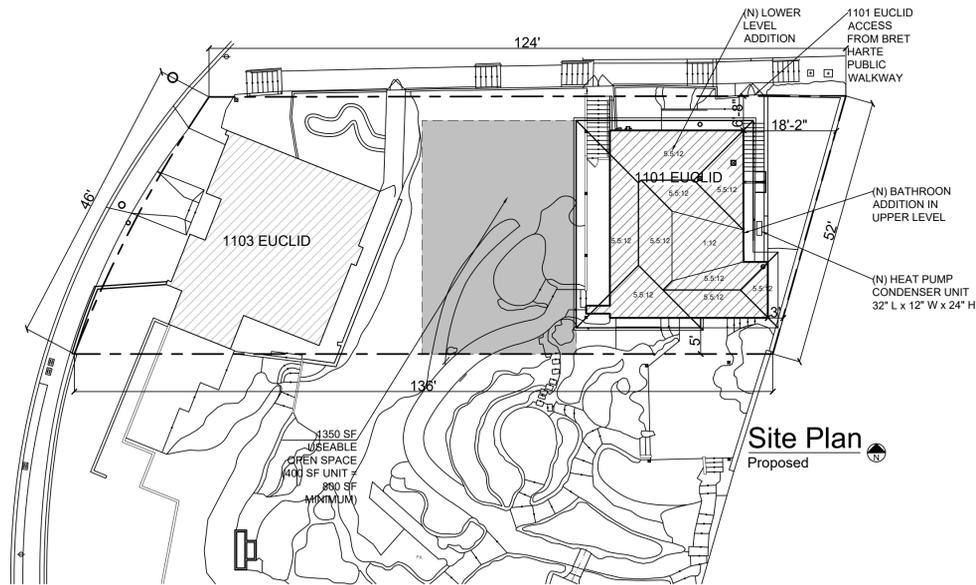


SITE INFORMATION

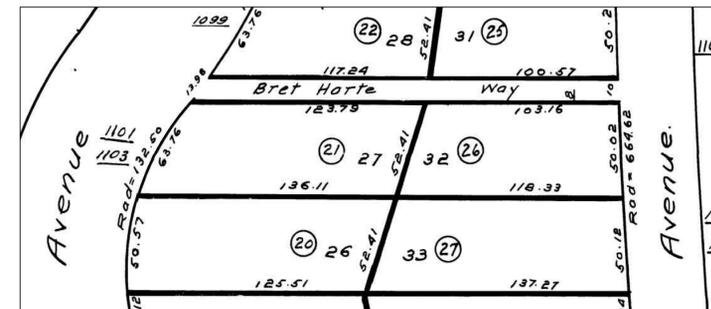
EXISTING CONDITIONED SPACE (LOWER) = 0 SF
 EXISTING CONDITIONED SPACE (UPPER) = 1020 SF
 TOTAL EXISTING CONDITIONED SPACE = 1020 SF

PROPOSED CONDITIONED SPACE (LOWER) = 756 SF
 PROPOSED CONDITIONED SPACE (UPPER) = 47 SF (BATH = 55, STAIR CHANGE = -8 SF)
 TOTAL PROPOSED CONDITIONED SPACE = 1020 + 756 + 47 = 1823 SF
 LOT SIZE = 6530 SF

EXISTING COVERAGE
 1075 SF (MAIN HOUSE) + 1100 (REAR UNIT/COVERED PORCH)
 TOTAL EXISTING COVERAGE = 2175 = 33%
 NEW COVERAGE = 60 SF
 TOTAL COVERAGE = 2235 SF
 PERCENTAGE PROPOSED COVERAGE = 34%



Satellite Map



Parcel Map

General Notes



**Yagi
 Addition
 2023**

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 Berkeley CA
 94708

63-2988-21

Site Plan

No.	Revision/Issue	Date

Firm Name and Address
 Home Healing Renovations Inc.
 Dylan Sang
 2342 Shattuck Ave., #325
 Berkeley CA 94704

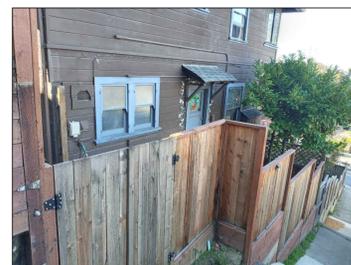
Dylan Sang

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 Berkeley, CA 94708

Project	Sheet
Date 9/28/2023	A1.0
Scale 1/16" = 1'	



FRONT OF HOUSE (WEST WALL)



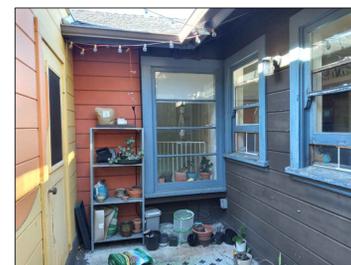
SIDE OF HOUSE (NORTH WALL)



SIDE OF HOUSE (NORTH WALL)



REAR OF HOUSE (EAST WALL)



REAR OF HOUSE (EAST WALL)



SIDE OF HOUSE (SOUTH WALL)



LOWER DECK (WEST)



LOWER ENTRY (NORTH)



BRET HARTE WALKWAY (NORTH)



STAIRS TO UPPER LEVEL (NORTH)



ADDITION AREA (EAST)



AREA OF PROPOSED ADDITION ROOF



AREA OF PROPOSED ADDITION (EAST)



CHIMNEY (SOUTH)



ROOF REPAIR AREA



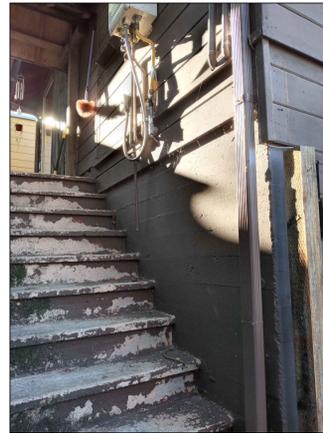
CANTILEVERED UPPER LEVEL (WEST)



UPPER ACCESS AT PROPOSED KITCHEN (SOUTH)



DEMO SHED (WEST)



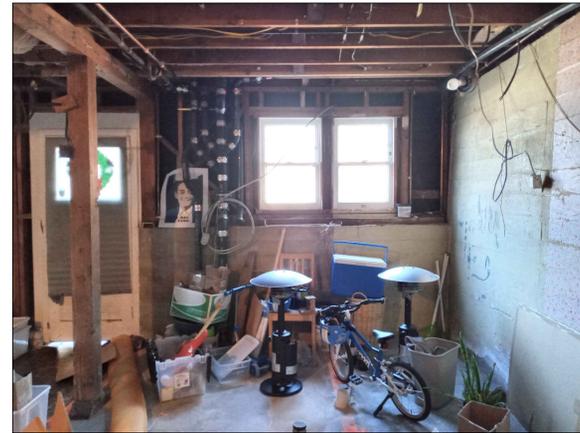
STAIRS TO UPPER LEVEL (NORTH)



FRONT OF HOUSE (WEST)



EXISTING TANKLESS WATER HEATER (EAST)



BASEMENT BEAM, POSTS, AND RETAINING WALLS

General Notes



Yagi
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 2023

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 94708

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Site Photos

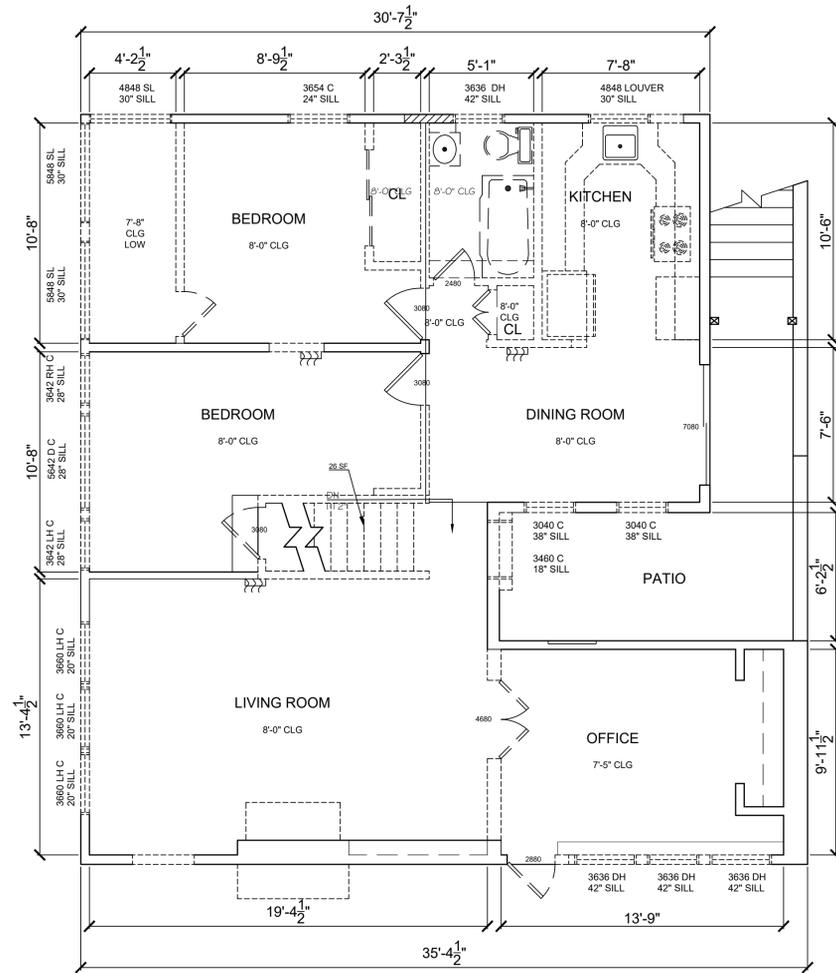
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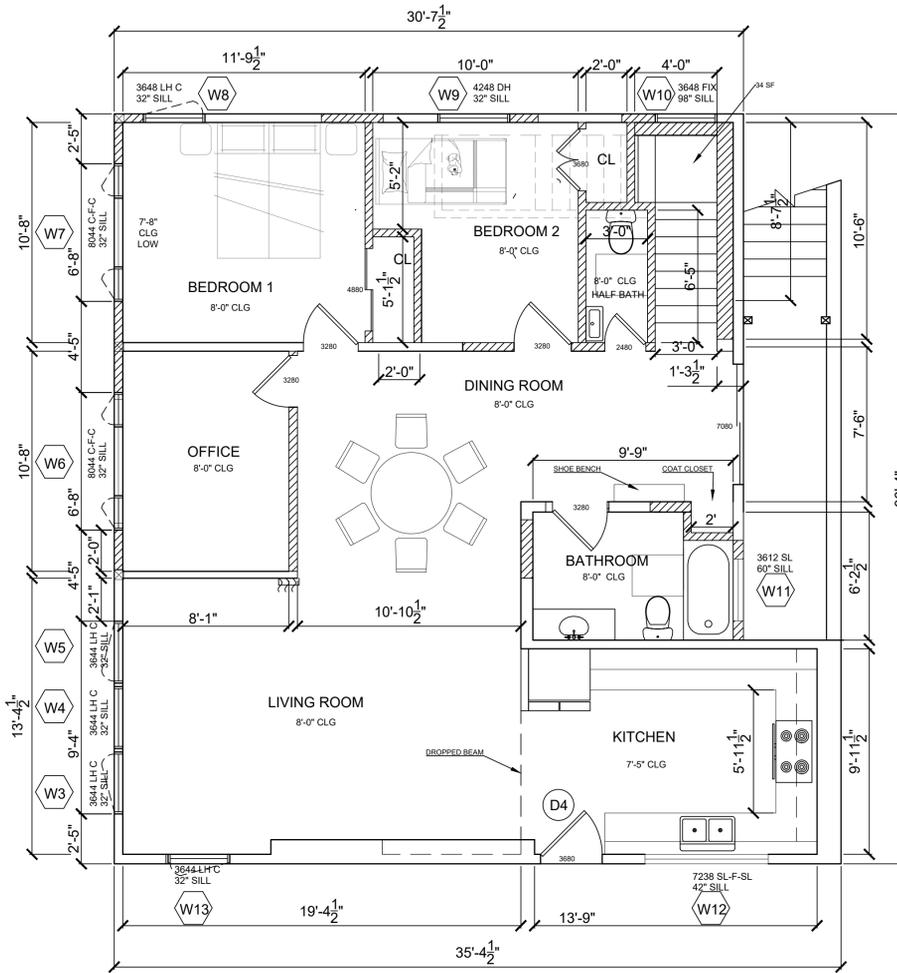
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Project	Sheet
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Scale	

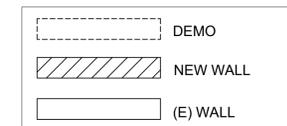


Upper Floor Plan Existing



Upper Floor Plan Proposed

WINDOW AND DOOR SCHEDULE						
#	LOCATION	TYPE	RO SIZE	SILL HEIGHT	U-FACTOR OR	NOTES
W1	LOWER DEN (WEST)	SLIDER	6666	20"	.30	NEW CONSTRUCTION
W2	LOWER BATHROOM (NORTH)	SLIDER	3620	66"	.30	NEW CONSTRUCTION
W3	LIVING ROOM (WEST, LEFT)	LEFT HAND CASEMENT	3644	32"	.30	NEW CONSTRUCTION
W4	LIVING ROOM (WEST, CENTER)	PICTURE	3644	32"	.30	NEW CONSTRUCTION
W5	LIVING ROOM (WEST, RIGHT)	RIGHT HAND CASEMENT	3644	32"	.30	NEW CONSTRUCTION
W6	OFFICE (WEST)	CASEMENT FIXED CASEMENT	8044	32"	.30	NEW CONSTRUCTION
W7	BEDROOM 1 (WEST)	CASEMENT FIXED CASEMENT	8044	32"	.30	NEW CONSTRUCTION
W8	BEDROOM 1 (NORTH)	LEFT HAND CASEMENT	3648	32"	.30	NEW CONSTRUCTION, EGRESS
W9	BEDROOM 2 (MAIN UNIT, NORTH)	DOUBLE HUNG	4248	32"	.30	NEW CONSTRUCTION, EGRESS
W10	STAIRWELL LANDING (NORTH)	FIXED	3648	98"	.30	NEW CONSTRUCTION
W11	UPPER BATHROOM	SLIDER	3612	60"	.30	NEW CONSTRUCTION
W12	KITCHEN SINK (SOUTH)	SLIDER-FIX-SLIDER	7238	42"	.30	NEW CONSTRUCTION
W13	LIVING ROOM (SOUTH)	LEFT HAND CASEMENT	3660	32"	.30	NEW CONSTRUCTION
D1	BEDROOM 3 (WEST)	SLIDING GLASS DOOR	7280	N/A	.30	RIGHT SIDE OPERABLE (VIEWED FROM INSIDE)
D2	LOWER DEN (WEST)	SOLID CORE DOOR w/ INTEGRATED SIDELITES	3680	N/A	N/A	LH INSWING
D3	MAIN ENTRY (LOWER LEVEL, NORTH)	SOLID CORE DOOR	3680	N/A	N/A	RH INSWING
D4	KITCHEN (SOUTH)	HALF LITE DOOR	3680	N/A	N/A	LH INSWING



Yagi Addition 2023

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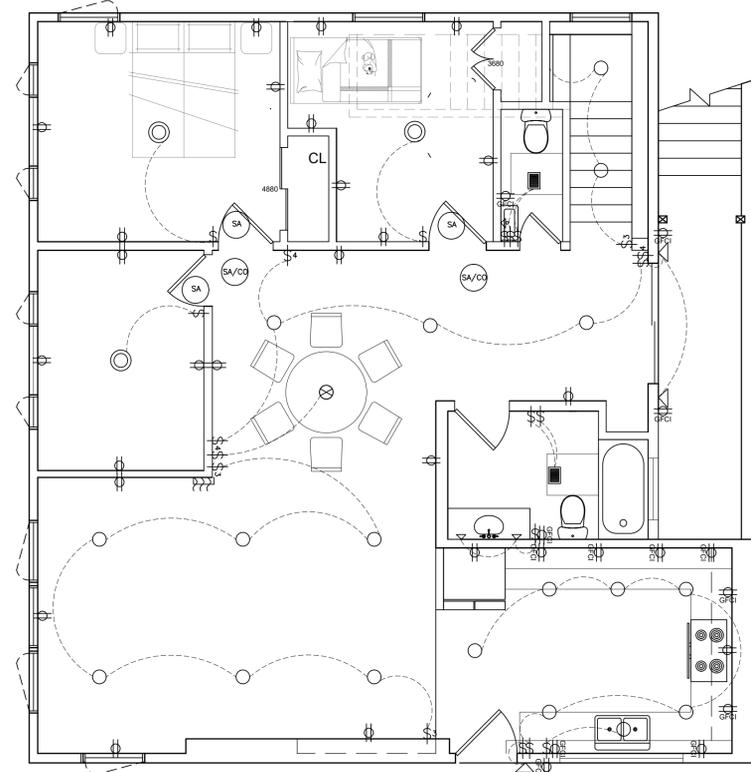
Upper Floor Plan

No.	Revision/Issue	Date

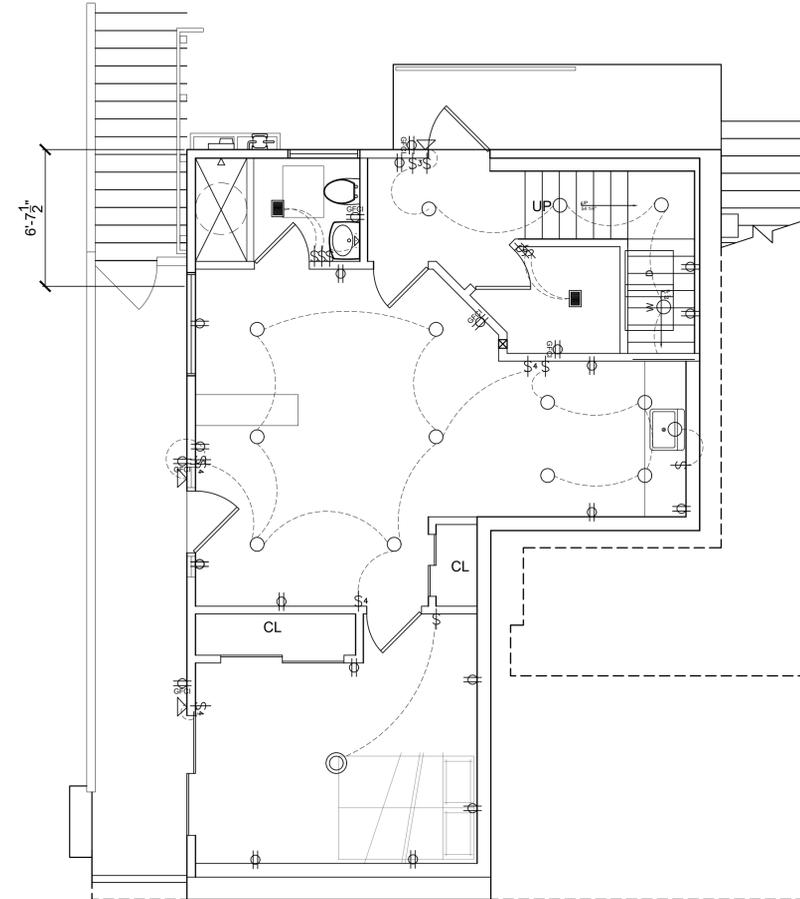
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Project	Sheet
Date 9/28/2023	A2.1
Scale 1/4" = 1'	



Electrical Plan
 Upper Level



Electrical Plan
 Lower Level

- SWITCH
- 3 WAY SWITCH w/ DIMMER
- DUAL RECEPTACLE
- GFCI RECEPTACLE
- CAN LIGHT
- SURFACE MOUNTED LIGHT
- WALL MOUNTED LIGHT
- CHANDALIER
- PENDENT LIGHT
- FAN
- SMOKE ALARM/
CARBON MONOXIDE
DETECTOR
- SA
SMOKE ALARM



Yagi
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 2023

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Electrical Plan

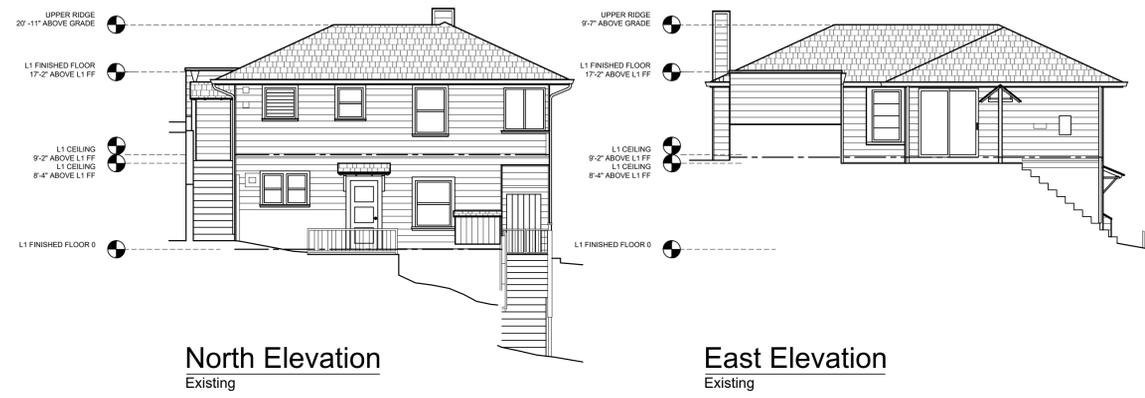
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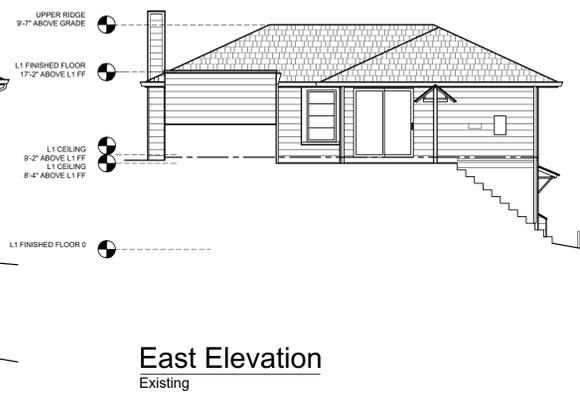
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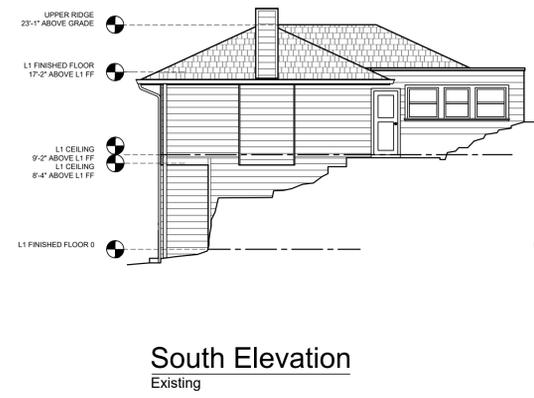
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Date 9/28/2023	A2.2
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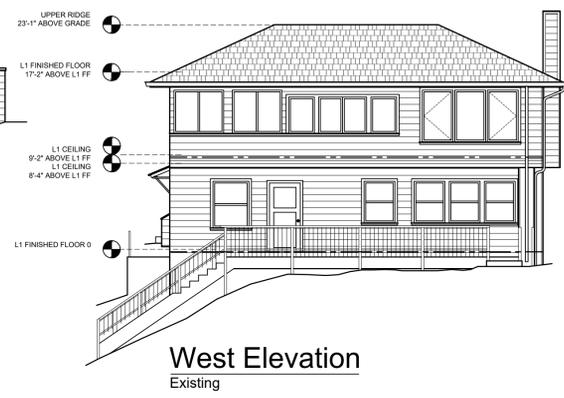
North Elevation
Existing



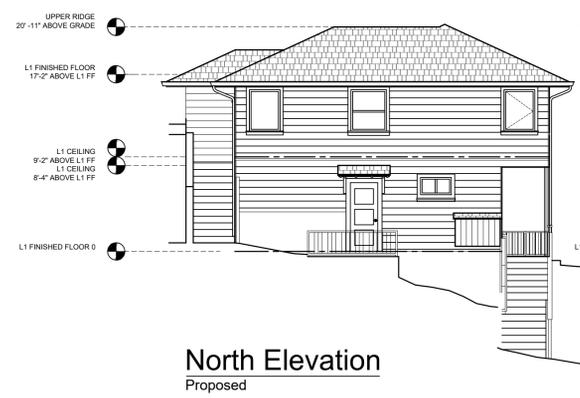
East Elevation
Existing



South Elevation
Existing



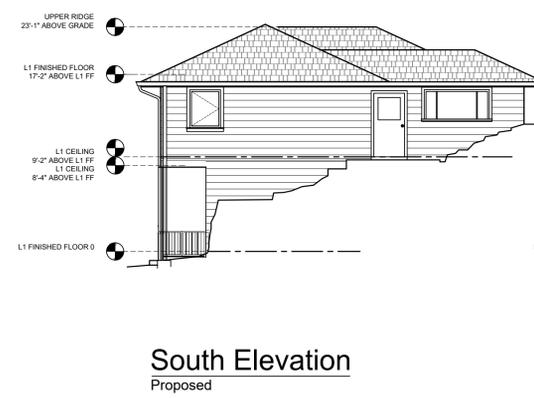
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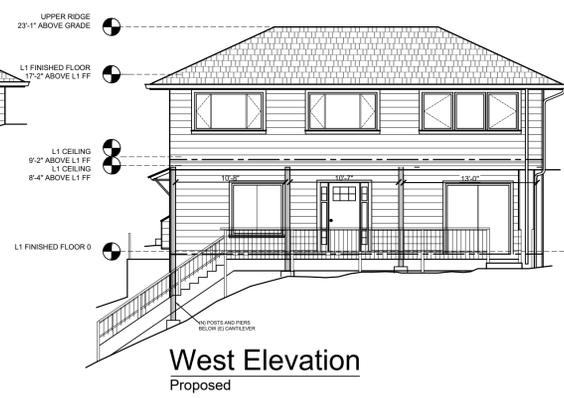
North Elevation
Proposed



East Elevation
Proposed



South Elevation
Proposed



West Elevation
Proposed

INTERIOR FINISH SCHEDULE:
 FLOORING - HARD WOOD
 BASEBOARDS - TBD MATCH EXISTING
 WINDOW & DOOR CASING - TBD MATCH EXISTING
 CROWN MOLDING - TBD
 WALLS & CLG - ½ SHEETROCK
 WALLS @ WET LOCATIONS - TILE @ ALL SHOWER/BATH WALLS, TO CLG. & CEMENT BACKER BOARD, TYP., BASEBOARD TILE, TYP.
 RECESSED MEDICINE CABINET
 SINK W/ DISPOSAL, AIR SWITCH, FAUCET & AIR GAP
EXTERIOR FINISH SCHEDULE:
 NEW 8" SIDING
 PAINT (WALLS): ???
 WINDOW TRIM: 2x2 PAINTED WOOD SILLS, ¾ x 1 ½ PAINTED WOOD
 STUCCO MOLDING (MATCH EXISTING)
 PAINT: YELLOW (MATCH EXISTING)
 FASCIA TRIM: 2x6 PAINTED DF WOOD
 PAINT: YELLOW (MATCH EXISTING)
 DOOR TRIM: ¾ x 1 ½ PAINTED WOOD STUCCO MOLDING
 PAINT: YELLOW (MATCH EXISTING)
 WINDOWS: MARVIN ULTIMATE (WOOD INTERIOR, WOOD EXTERIOR TO MATCH EXISTING)
 COLOR: WHITE
 GRILLES: BROWN (MATCH EXISTING, FRONT OF HOUSE ONLY)
 FRONT ENTRY DOOR: EXISTING
 ROOF AT ADDITION: ASPHALT SHINGLES (2 LAYERS MAXIMUM) TO MATCH EXISTING ROOF
 DOWNSPOUTS AND GUTTERS: GALVANIZED STEEL
 PAINT: GRAY (MATCH EXISTING)



**Yagi
Addition
2023**

1101 Euclid Ave.
Berkeley CA
94708

63-2988-21

Elevations

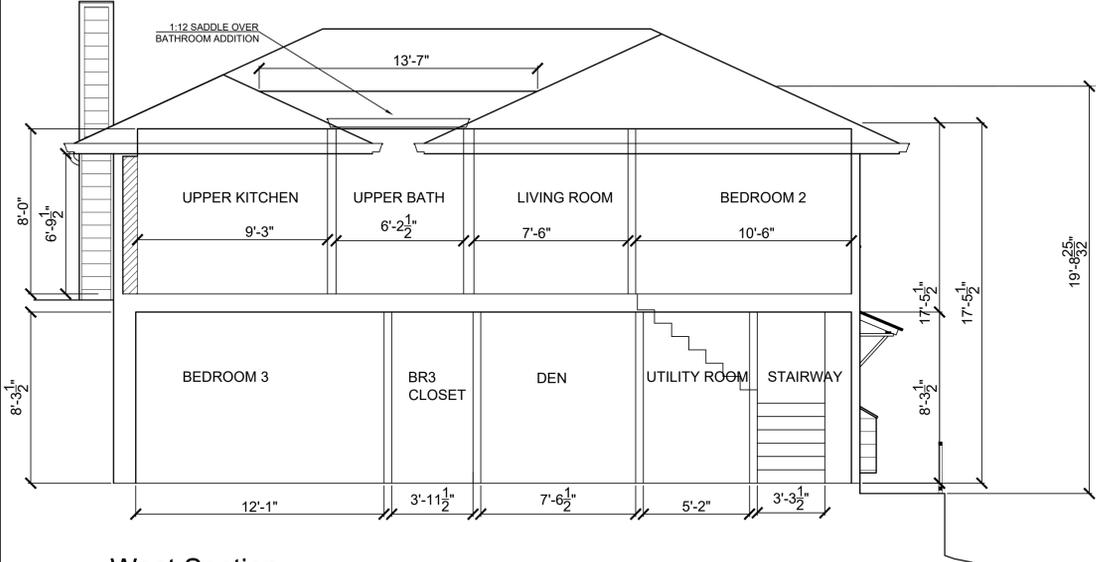
No.	Revision/Issue	Date

Firm Name and Address
Home Healing Renovations Inc.
 Dylan Sang
 2342 Shattuck Ave., #325
 Berkeley CA 94704

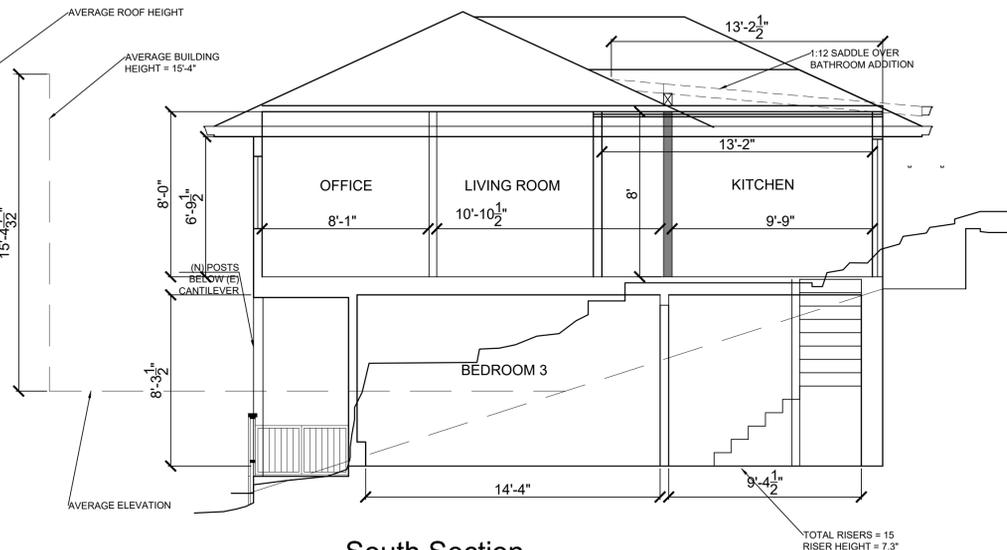
Dylan Sang

Project Name and Address
 Cheryl Yagi
 1101 Euclid Ave.
 Berkeley, CA 94708

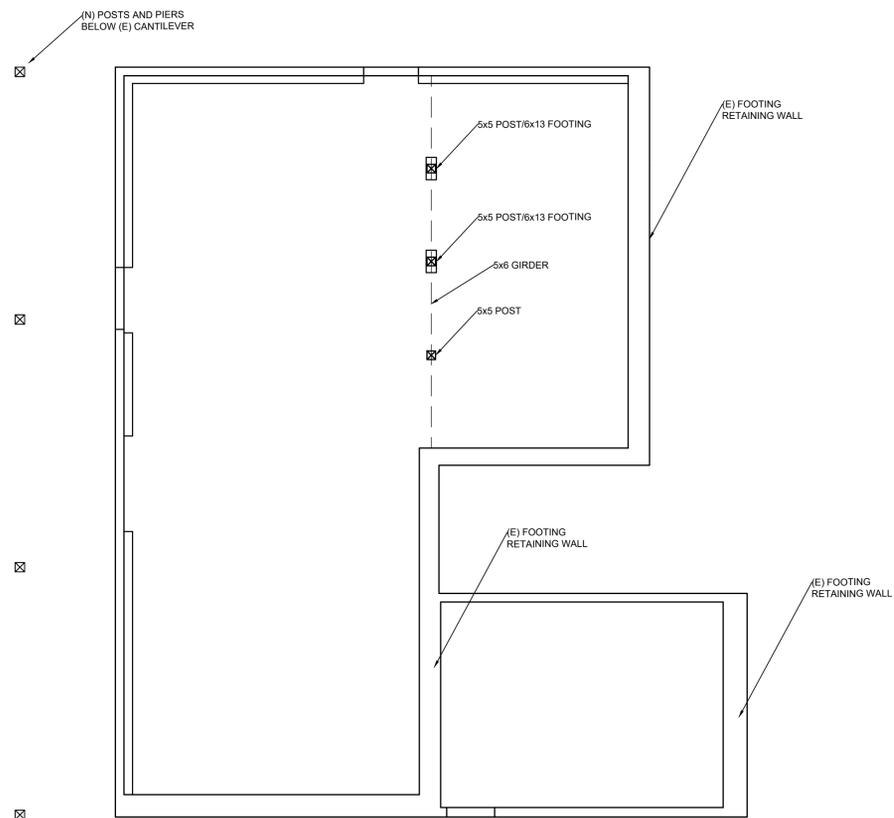
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Date 9/28/2023	A3.0
Scale ¼" = 1'	



West Section
Existing



South Section
Existing



Foundation Plan
Existing



**Yagi
Addition
2023**

1101 Euclid Ave.
Berkeley CA
94708

63-2988-21

Details 1

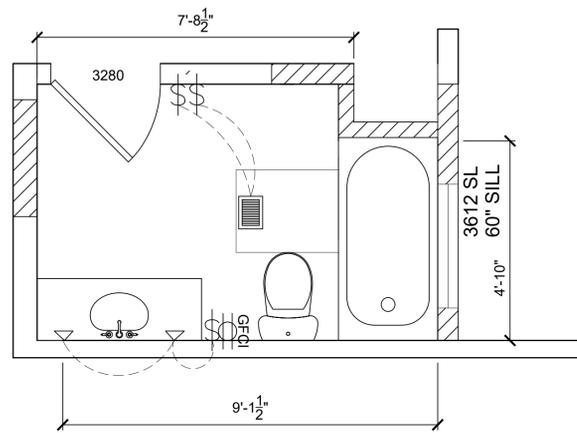
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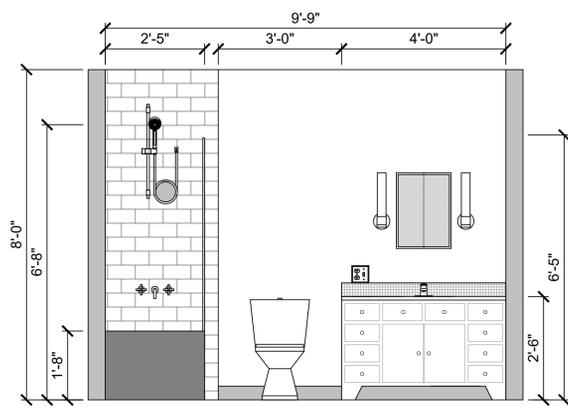
Dylan Sang

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 Berkeley, CA 94708

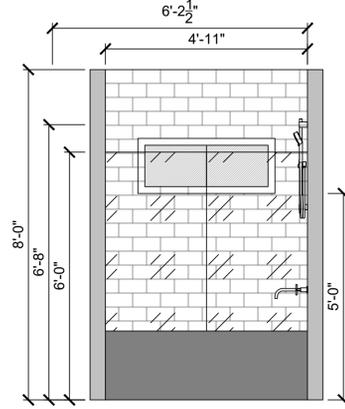
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<small>Date</small> 9/28/2023	A4.0
<small>Scale</small> as shown	



Upper Bathroom

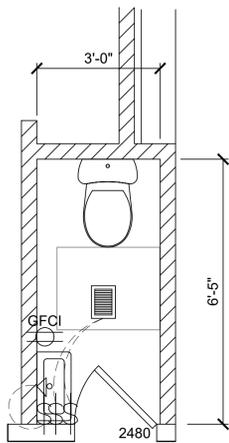


Upper Bathroom
South Elevation

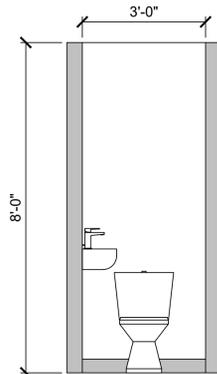


Upper Bathroom
East Elevation

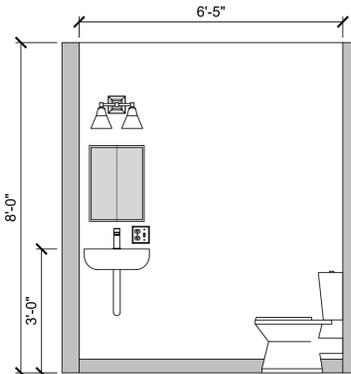
- SWITCH
- 3 WAY SWITCH w/ DIMMER
- DUAL RECEPTACLE
- GFCI RECEPTACLE
- CAN LIGHT
- SURFACE MOUNTED LIGHT
- WALL MOUNTED LIGHT
- CHANDALIER
- PENDENT LIGHT
- FAN
- SMOKE ALARM/
CARBON MONOXIDE
DETECTOR
- SMOKE ALARM



Upper Half Bath



Upper Half Bath
North Elevation



Upper Half Bath
West Elevation

BATHROOM & LAUNDRY REQUIREMENTS

- 1) WATER CLOSET SETTING: WATER CLOSET SHALL BE SET NO CLOSER THAN 15 INCHES FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION NOR CLOSER THAN 30 INCHES CENTER TO CENTER TO ANY OTHER PLUMBING FIXTURE. [CPC §402.5]
- 2) WATER CLOSET CLEARANCE: THE MINIMUM CLEAR SPACE IN FRONT OF THE WATER CLOSET SHALL BE NOT LESS THAN 24 INCHES. [CPC §402.5]
- 3) SHOWER SIZE: SHOWER COMPARTMENT SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1,024 SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER CIRCLE. THE MINIMUM REQUIRED AREA AND DIMENSIONS SHALL BE MEASURED AT A HEIGHT EQUAL TO THE TOP OF THRESHOLD. THE AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT OF NOT LESS THAN 70 INCHES ABOVE THE SHOWER DRAIN OUTLET WITH NO PROTRUSIONS OTHER THAN THE FIXTURE VALVE OR VALVES, SHOWERHEAD, SOAP DISHES, SHELVES AND SAFETY GRAB BARS OR RAILS. [CPC §408.6]
- 4) SHOWER DOORS: SHOWER DOORS SHALL OPEN OUTWARD SO AS TO MAINTAIN A 22 INCH UNOBSTRUCTED OPENING WIDTH. [CPC §408.5]
- 5) BACKING BOARD MATERIALS: SHOWER AND TUBSHOWER WALLS SHALL BE PROVIDED WITH A MOISTURE RESISTANT UNDERLAYMENT (E.G. FIBER-CEMENT BACKER BOARD, FIBER-REINFORCED GYPSUM PANEL, GLASS MAT GYPSUM BACKING PANEL, OR FIBER MAT REINFORCED CEMENTITIOUS BACKER UNITS) TO A MINIMUM HEIGHT OF 72 INCHES ABOVE THE FLOOR. [CRC SEC. R307.2, R702.4].
- 6) WATER CONSERVING PLUMBING FIXTURES:
 - MAXIMUM FLOW RATE FOR WATER CLOSETS IS 1.28 GALLONS PER FLUSH. [CGBC 4.303.1.1]
 - MAXIMUM FLOW RATE FOR SHOWERHEADS IS 1.8 GALLONS PER MINUTE. FOR MULTIPLE SHOWERHEADS SERVING ONE SHOWER, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 POUNDS PER SQUARE INCH, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. A HANDHELD SHOWER IS CONSIDERED A SHOWERHEAD. [CGBC 4.303.1.3]
 - FLOW RATE FOR LAVATORY FAUCETS IS 1.2 GALLONS PER MINUTE MAXIMUM AND 0.8 GALLONS PER MINUTE MINIMUM. [CGBC 4.303.1.4.1]
- PRIOR TO FINAL INSPECTION ALL NON-COMPLIANT PLUMBING FIXTURES SHALL BE UPGRADED WITH WATER-CONSERVING FIXTURES AS REQUIRED BY CIVIL CODE §1011.1.
- 7) ELECTRICAL REQUIREMENTS:
 - AT LEAST ONE 120-VOLT, 20-AMP CIRCUIT SHALL BE PROVIDED FOR BATHROOM RECEPTACLE OUTLETS OR PROVIDE A DEDICATED 20-AMP CIRCUIT FOR EACH INDIVIDUAL BATHROOM BEING ALTERED. BATHROOM LIGHTING SHALL NOT BE ON AN OUTLET CIRCUIT. [CEC §210.11(C)3]
 - AT LEAST ONE 20-AMP CIRCUIT SHALL BE PROVIDED FOR LAUNDRY APPLIANCES. LAUNDRY LIGHTING SHALL NOT BE ON AN OUTLET CIRCUIT. [CEC §210.11(C)2]
 - AT LEAST ONE RECEPTACLE OUTLET SHALL BE PROVIDED WITHIN 3 FEET OF THE OUTSIDE EDGE OF EACH BASIN. THE RECEPTACLE OUTLET SHALL BE LOCATED ON A WALL THAT IS ADJACENT TO THE BASIN, OR ON THE SIDE OR FACE OF THE BASIN CABINET NOT MORE THAN 12 INCHES BELOW THE COUNTER TOP. [CEC §210.8(D)]
 - ALL RECEPTACLE OUTLETS IN THE REMODELED BATHROOM(S) AND IN LAUNDRY AREA SHALL BE GFCI PROTECTED. GROUND FAULT CIRCUIT INTERRUPTERS SHALL BE LOCATED IN A READILY ACCESSIBLE LOCATION. [CEC §210.8(A)]
 - RECEPTACLES ARE INSTALLED WITHIN 6 FEET OF THE OUTSIDE EDGE OF A SINK, BATHTUB OR SHOWER STALL SHALL BE GFCI PROTECTED. [CEC §210.8(A)]
 - ALL ADDED/REPLACED RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT [CEC §406.12]
- 8) LIGHTING REQUIREMENTS:
 - ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY. [CENC §150.0(K)1A AND TABLE 150.0-A]
 - IN BATHROOMS AND LAUNDRY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR. [CENC §150.0(K)2]
 - LUMINAIRES RECESSED INTO INSULATED CEILINGS: (A) SHALL BE LISTED FOR ZERO CLEARANCE INSULATION COVER (IC RATED); (B) SHALL INCLUDE A LABEL CERTIFYING AIR TIGHT (AT) WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS; (C) SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING; (D) IF RECESSED LIGHTS ARE EQUIPPED WITH BALLASTS, SHALL ALLOW BALLAST MAINTENANCE AND REPLACEMENT WITHOUT REQUIRING CUTTING OF HOLES IN THE CEILING; AND (E) SHALL NOT CONTAIN SCREW BASE SOCKETS. [CECS SEC. 150(K)12]
 - ALL LUMINAIRES INSTALLED IN DAMP LOCATIONS SHALL BE MARKED "SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS". [CEC §410.10 (D)]
- 9) VENTILATION REQUIREMENTS: EACH BATHROOM CONTAINING A BATHTUB, SHOWER OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING: [CRC §R303.3, CMC §402.5 AND CGBC §4.506.1]
 - FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 - BATHROOM EXHAUST FAN(S) MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
 - A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E., BUILT IN).
 - EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM. [CENC §150.0(K)2B]
 - TOILET ROOMS, WHICH ARE NOT EQUIPPED WITH A WINDOW THAT PROVIDES A VENTILATION OPENING OF AT LEAST 1.5 SQUARE FEET, SHALL BE PROVIDED WITH MECHANICAL VENTILATION WITH AN EXHAUST CAPACITY OF AT LEAST 50 CUBIC FEET PER MINUTE. [CRC §R303.3]
 - TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS (E.G., BATH FAN, DRYER VENT, ETC.) SHALL BE AT LEAST 3 FEET FROM A PROPERTY LINE AND FROM OPENINGS INTO THE BUILDING, AND 10 FEET FROM A FORCED AIR INLET. [CMC §502.2.1]
 - DRYER MOISTURE EXHAUST: MOISTURE EXHAUST DUCT SHALL TERMINATE TO THE OUTSIDE AND SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER. EXHAUST DUCT LENGTH IS LIMITED TO A COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET WITH 2 ELBOWS.
 - TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO. [CMC §504.4.2.1 AND §504.1.1]
- 10) LAUNDRY MAKEUP AIR: A MINIMUM OPENING OF 100 SQUARE INCHES FOR MAKEUP AIR SHALL BE PROVIDED IN THE LAUNDRY CLOSET DOOR OR BY OTHER APPROVED MEANS. [CMC §504.4.1]
- 11) BUILDING ENVELOPE MODIFICATIONS: EXTERIOR WALL, FLOOR AND ROOF FRAMING SPACES OPENED UP DURING THE COURSE OF REMODEL SHALL BE INSULATED. R-13 (2X4 WALL), R-19 (2X6 WALL), R-19 (FLOOR), R-30 (ATTIC ROOF), AND R-19 (CATHEDRAL CEILING) INSULATION. [CENC §150.0 (A)(C)(D)]
- 12) GLAZING AND WET SURFACES: SAFETY GLAZING SHALL BE PROVIDED IN WALLS OR ENCLOSURES CONTAINING BATHTUBS OR SHOWERS, OR FACING TUBS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE. EXCEPTION: GLAZING THAT IS MORE THAN 60 INCHES MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA OR WHIRLPOOL. [CRC §R308.4.5]
- 13) WINDOW MODIFICATIONS: REPLACEMENT AND NEW WINDOWS SHALL HAVE A U-FACTOR EQUAL TO 0.32 OR LOWER. EXCEPTIONS: REPLACEMENT SKYLIGHTS, OR NEW SKYLIGHTS UP TO 16 SQUARE FEET, MAY HAVE A U-FACTOR OF 0.55, WHEN 75 SQUARE FEET OR LESS OF FENESTRATION IS REPLACED WINDOWS MAY HAVE A U-FACTOR OF 0.40. [CENC §150.2(B)]

General Notes



Yagi
Addition
2023

1101 Euclid Ave.
Berkeley CA
94708

63-2988-21

Details 2

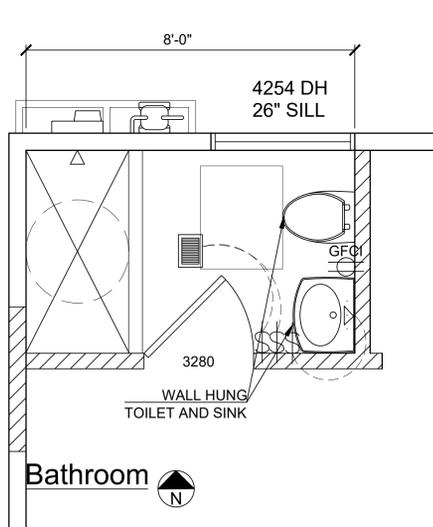
No.	Revision/Issue	Date

Firm Name and Address
Home Healing Renovations Inc.
Dylan Sang
2342 Shattuck Ave., #325
Berkeley CA 94704

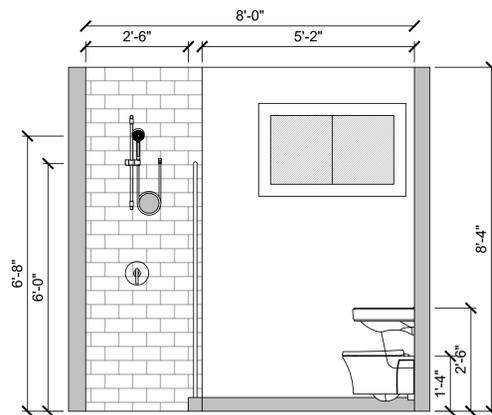
Dylan Sang

Project Name and Address
Cheryl Yagi
1101 Euclid Ave.
Berkeley, CA 94708

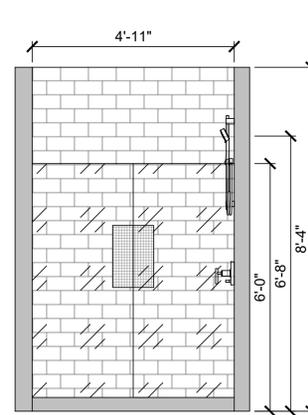
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Date 9/28/2023	A4.1
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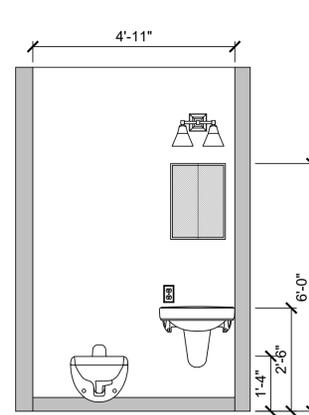
Bathroom



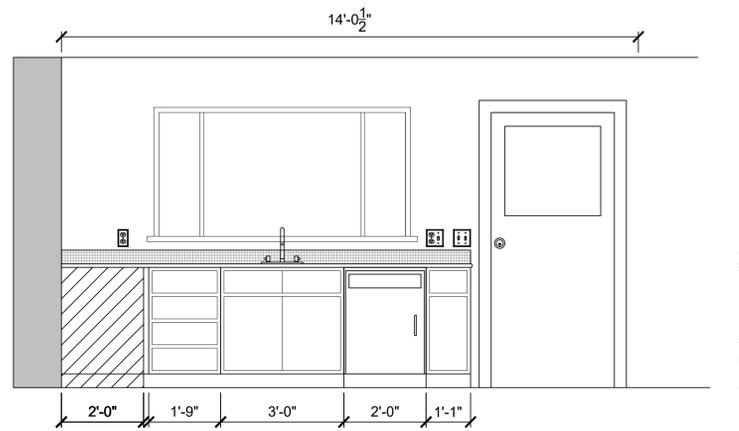
Lower Bathroom
North Elevation



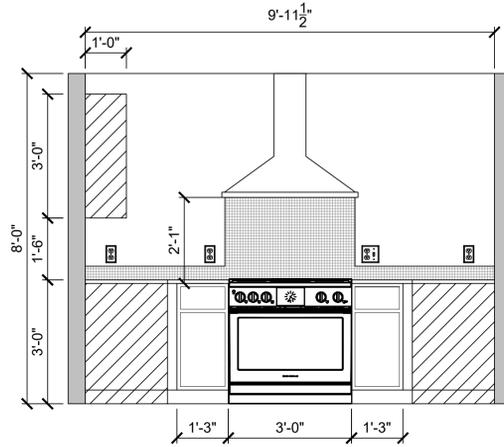
Lower Bathroom
West Elevation



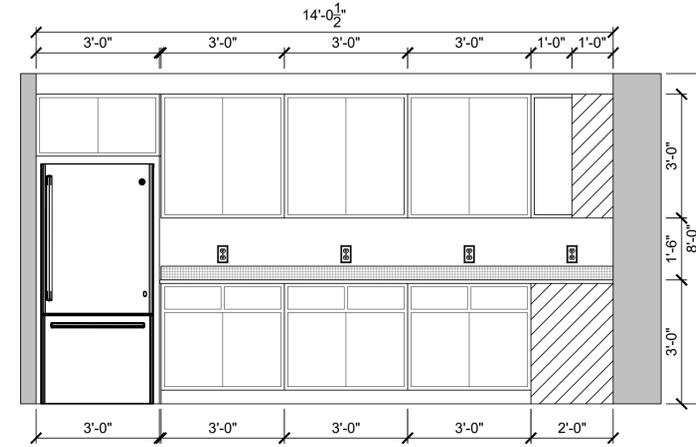
Lower Bathroom
East Elevation



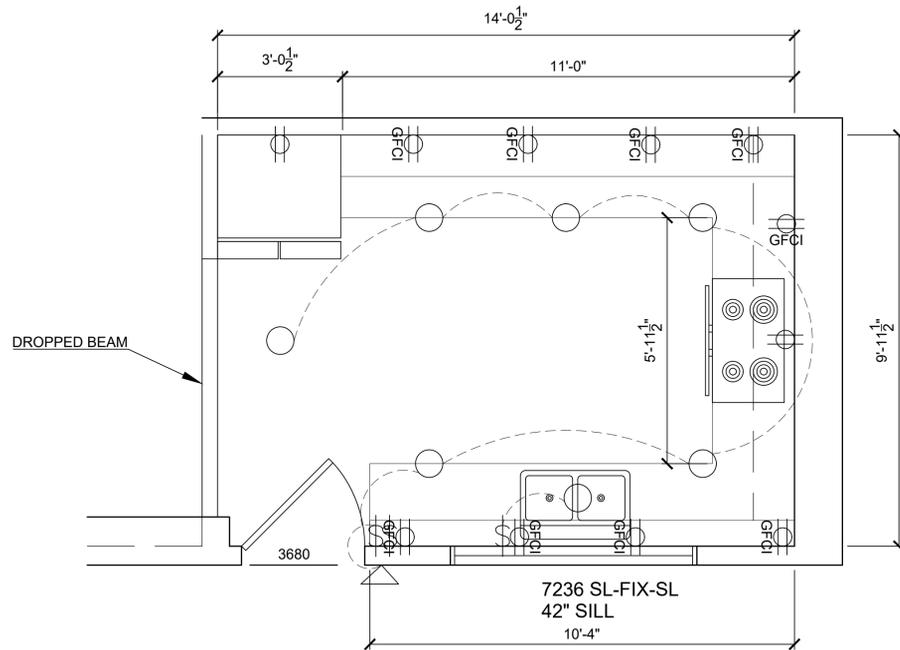
Kitchen
South Elevation



Kitchen
East Elevation



Kitchen
North Elevation



Kitchen

- ⌘ SWITCH
- ⌘ 3 WAY SWITCH w/ DIMMER
- ⌘ DUAL RECEPTACLE
- ⌘ GFCI RECEPTACLE
- CAN LIGHT
- SURFACE MOUNTED LIGHT
- △ WALL MOUNTED LIGHT
- ⊗ CHANDALIER
- ⊗ PENDENT LIGHT
- FAN
- SMOKE ALARM/ CARBON MONOXIDE DETECTOR
- SMOKE ALARM

KITCHEN REQUIREMENTS

- 1) WATER CONSERVING PLUMBING FIXTURES REQUIREMENTS:
 - KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE. FLOW MAY TEMPORARILY INCREASE TO 2.2 GALLONS PER MINUTE, BUT MUST DEFAULT TO A MAXIMUM OF 1.8 GALLONS PER MINUTE [CGBC § 4.303.1.4.4]
 - PRIOR TO FINAL INSPECTION ALL NON-COMPLIANT PLUMBING FIXTURES SHALL BE UPGRADED WITH WATER-CONSERVING FIXTURES AS REQUIRED BY CIVIL CODE § 1101.1.
 - 2) ELECTRICAL REQUIREMENTS:
 - RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL, COUNTERTOP IS MORE THAN 24 INCHES FROM A RECEPTACLE IN THAT SPACE. [CEC § 210.52(C)(1)]
 - RECEPTACLE OUTLETS SHALL BE INSTALLED AT EACH KITCHEN COUNTER SPACE WIDER THAN 12 INCHES. [CEC § 210.52(C)(1)]
 - AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND OR PENINSULAR COUNTER SPACE WITH A LONG DIMENSION OF 24 INCHES OR GREATER AND A SHORT DIMENSION OF 12 INCHES OR GREATER. [CEC § 210.52(C)(2) AND § 210.52(C)(3)]
 - ALL ELECTRICAL OUTLETS SERVING KITCHEN COUNTERTOPS AND DISHWASHERS SHALL BE GFCI PROTECTED. GROUND FAULT CIRCUIT INTERRUPTERS SHALL BE LOCATED IN A READILY ACCESSIBLE LOCATION. [CEC § 210.8(A)(D)]
 - AT LEAST TWO SEPARATE 20-AMPERE BRANCH CIRCUITS SHALL BE PROVIDED FOR SMALL KITCHEN APPLIANCES. THESE CIRCUITS ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS ONLY AND CANNOT SERVE DISHWASHER, MICROWAVE, RANGE HOOD, GARBAGE DISPOSAL, ETC. [CEC § 210.11(C)(1) AND § 210.52(B)(3)]
 - ALL ADDED/REPLACED RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES AND SHALL BE ARC FAULT PROTECTED. [CEC § 406.12]
 - 3) LIGHTING REQUIREMENTS:
 - ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY. [CEC § 150.0(K)(2)] - UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS. [CEC § 150.0(K)(2)]
 - LUMINAIRES RECESSED INTO INSULATED CEILINGS: (A) SHALL BE LISTED FOR ZERO CLEARANCE INSULATION COVER (IC RATED); (B) SHALL INCLUDE A LABEL CERTIFYING AIR TIGHT (AT) WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS; (C) SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINARY HOUSING AND CEILING; (D) IF RECESSED LIGHTS ARE EQUIPPED WITH BALLASTS, SHALL ALLOW BALLAST MAINTENANCE AND REPLACEMENT WITHOUT REQUIRING CUTTING OF HOLES IN THE CEILING; AND (E) SHALL NOT CONTAIN SCREW BASE SOCKETS. [CECS SEC. 150(K)(2)]
 - BUILDING ENVELOPE MODIFICATIONS: EXTERIOR WALL, FLOOR AND ROOF FRAMING SPACES OPENED UP DURING THE COURSE OF REMODEL SHALL BE INSULATED. R-13 (2X4 WALL), R-19 (2X6 WALL), R-19 (FLOOR), AND R-19 (ATTIC/ROOF) INSULATION. [CEC § 150.0(A)(C)(D)]
 - WINDOW MODIFICATIONS: REPLACEMENT AND NEW WINDOWS SHALL HAVE A U-FACTOR EQUAL TO 0.32 OR LOWER. EXCEPTIONS: REPLACEMENT SKYLIGHTS, OR NEW SKYLIGHTS UP TO 16 SQUARE FEET, MAY HAVE A U-FACTOR OF 0.55. WHEN 75 SQUARE FEET OR LESS OF FENESTRATION IS REPLACED WINDOWS MAY HAVE A U-FACTOR OF 0.40. [CEC § 150.2(B)]
 - 4) VENTILATION REQUIREMENTS:
 - TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE AT LEAST 3 FEET FROM PROPERTY LINE AND FROM OPENINGS INTO THE BUILDING, AND 10 FEET FROM A FORCED AIR INLET. [CMC § 502.2.1]
 - WHOLE-BUILDING VENTILATION: KITCHENS REQUIRE VENTILATION AIR FLOW AT 100 CUBIC FEET PER MINUTE OR MORE FOR INTERMEDIATE SYSTEMS OR 5 AIR CHANGES PER HOUR FOR CONTINUOUS SYSTEMS. [ASHREA 62.2]
- HOOD VENT REQUIREMENTS**
- MIN 100 CFM
 - HERS RATER MUST VERIFY THAT NEW RANGE HOOD IS LISTED IN THE HVI CERTIFIED HOME VENTILATING PRODUCTS DIRECTORY AND HAVE BEEN HVI-CERTIFIED AS MEETING ASHRAE 62.2 VENTILATION AND SOUND REQUIREMENT. COORDINATE INFORMATION WITH CERTIFICATE OF COMPLIANCE FORM CF1R. SEE CITY OF SAN LEANDRO RESIDENTIAL KITCHEN REMODEL REQUIREMENTS FOR PERMIT SUBMITTAL.

General Notes



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Addition
2023**

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Details 3

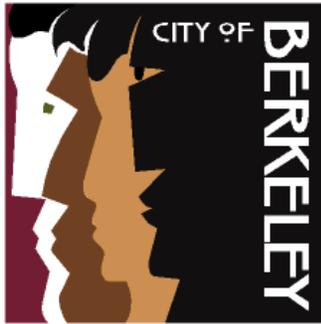
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 Dylan Sang
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Dylan Sang

Project Name and Address
 Cheryl Yagi
 1101 Euclid Ave.
 Berkeley, CA 94708

Project	Sheet
Date 9/28/2023	A4.2
Scale as shown	



Z O N I N G A D J U S T M E N T S B O A R D

NOTICE OF PUBLIC HEARING

1101 Euclid Avenue

Use Permit #ZP2023-0135 to construct a single-story 60 square foot residential addition (maximum height of approximately 10 feet) to the rear unit on a lot that is nonconforming to residential density.

The Zoning Adjustments Board of the City of Berkeley will hold a public hearing on the above matter, pursuant to Zoning Ordinance, Section [23.404.050 \(Public Hearings and Decisions\)](#)

When: Thursday, February 8, 7:00 pm

Where: Berkeley Unified School District meeting room, 1231 Addison Street, (wheelchair accessible) with remote/hybrid option (via Zoom).

Please visit: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board> and click on the hearing date to access the most up-to-date meeting information, or call the Land Use Planning division (510) 981-7410.

PUBLIC ADVISORY: THIS MEETING WILL BE CONDUCTED IN A HYBRID MODEL WITH BOTH IN-PERSON ATTENDANCE AND VIRTUAL PARTICIPATION AVAILABLE FOR MEMBERS OF THE PUBLIC.

For in-person attendees, face coverings or masks that cover both the nose and mouth are encouraged. If you're feeling sick, please do not attend the meeting in-person as a public health precaution.

Currently, there are no physical distancing requirements in place by the State of California or the Local Health Officer for an indoor event similar to a Commission meeting. However, all attendees are requested to be respectful of the personal space of other attendees. An area of the public seating area will be designated as "distanced seating" to accommodate persons that need to distance for personal health reasons.

A. Land Use Designations:

- General Plan: Low Density Residential (LDR)
- Zoning: Single-Family Residential District- Hillside Overlay (R-1H)

B. Zoning Permits Required:

- **Use Permit** pursuant to Berkeley Municipal Code (BMC) Section 23.324.050(D)(3)(a) to permit an addition to and/or enlargement of a building on a lot that exceeds the maximum residential density.

- **Administrative Use Permit**, pursuant to BMC Section 23.324.050(D)(2)(a) to permit an addition that vertically or horizontally extend a building wall projecting into a minimum setback.

C. CEQA Recommendation: Categorically exempt pursuant to Section 15301 of the CEQA Guidelines (“Existing Facilities”).

D. Parties Involved:

- Applicant Dylan Sang (Home Healing Renovations, Inc., 2342 Shattuck Avenue., #325, Berkeley, CA 94704

- Property Owner Cheryl Yagi, 1101 Euclid Avenue., Berkeley, CA 94708

Further Information:

All application materials are available online at:
<https://aca.cityofberkeley.info/CitizenAccess/Welcome.aspx>.

The Zoning Adjustments Board final agenda and staff reports will be available online 6 days prior to this meeting at: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board>.

Questions about the project should be directed to the project planner, Waqar Shah, at (510) 981-7469 or wshah@berkeleyca.gov.

Written comments or a request for a Notice of Decision should be directed to the Zoning Adjustments Board Secretary at zab@berkeleyca.gov.

Communication Disclaimer:

Communications to Berkeley boards, commissions or committees are public record and will become part of the City’s electronic records, which are accessible through the City’s website. **Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, will become part of the public record.** If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service or in person to the secretary of the relevant board, commission or committee. If you do not want your contact information included in the public record, please do not include that information in your communication. Please contact the secretary to the relevant board, commission or committee for further information.

Written Comments, Communications, and Reports:

Written comments must be directed to the ZAB Secretary at the Land Use Planning Division (Attn: ZAB Secretary), or via e-mail to: zab@berkeleyca.gov. All materials will be made available via the Zoning Adjustments Board Agenda page online at this address: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board>

All persons are welcome to attend the hearing and will be given an opportunity to address the Board. Comments may be made verbally at the public hearing and/or in writing before the hearing. The Board may limit the time granted to each speaker.

Correspondence received by 5:00 PM, eight days before this public hearing, will be provided with the agenda materials provided to the Board. Note that if you submit a hard copy document of more than 10 pages, or in color, or with photos, you must provide 15 copies. Correspondence received after this deadline will be conveyed to the Board in the following manner:

- **Correspondence received by 5:00 PM two days before** this public hearing, will be conveyed to the Board in a Supplemental Communications and Reports, which is released around noon one day before the public hearing; or
- **Correspondence received after 5:00 PM two days before** this public hearing will be saved in the project administrative record.



Accessibility Information / ADA Disclaimer:

To request a disability-related accommodation(s) to participate in the meeting, including auxiliary aids or services, please contact the Disability Services specialist at 981-6342 (V) or 981-6345 (TDD) at least three business days before the meeting date.

SB 343 Disclaimer:

Any writings or documents provided to a majority of the Commission regarding any item on this agenda will be made available to the public. Please contact the Land Use Planning Division (zab@berkeleyca.gov) to request hard-copies or electronic copies.

Notice Concerning Your Legal Rights:

If you object to a decision by the Zoning Adjustments Board regarding a land use permit project, the following requirements and restrictions apply:

1. If you challenge the decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice.
2. You must appeal to the City Council within 14 days after the Notice of Decision of the action of the Zoning Adjustments Board is mailed. It is your obligation to notify the Land Use Planning Division in writing of your desire to receive a Notice of Decision when it is completed.
3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than 90 days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that 90-day period will be barred.
4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
5. If you believe that this decision or any condition attached to it denies you any reasonable economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a "taking" of property for public use without just compensation under the California or United States Constitutions, the following requirements apply:
 - a. That this belief is a basis of your appeal.
 - b. Why you believe that the decision or condition constitutes a "taking" of property as set forth above.
 - c. All evidence and argument in support of your belief that the decision or condition constitutes a "taking" as set forth above. If you do not do so, you will waive any legal right to claim that your property has been taken, both before the City Council and in court.