

D E S I G N
R E V I E W
C O M M I T T E E
S T A F F R E P O R T

For Committee Decision
FEBRUARY 15, 2024

2018 Blake Street CONTINUED FINAL DESIGN REVIEW

Design Review #DRCF2023-0004 for east and west elevations on a six-story, multi-family residential building as a Use Permit Condition.

I. Introduction

The project site is located on the south side of Blake Street between Shattuck Avenue and Milvia Street. This parcel is located in a Multi-Family Residential (R-4) zoning district.

This project was before the Zoning Adjustments Board (ZAB) on May 26, 2022 where it was approved with a condition to come to the Design Review Committee (DRC) for Final Design Review for the side elevations. The project was appealed by neighbors, but City Council affirmed ZAB's approval of the Use Permit on November 15, 2022.

The project was last before the Design Review Committee for Final Design Review on December 21, 2023 where the Committee provided comments for further refinement of the window detail, the color and materials palette, and courtyard design. A summary from that December 2023 DRC Meeting is further on in this report for your reference. The project is returning this month for continued Final Design Review.

II. Background

The proposed project would involve the construction of a residential building with the following main components:

- Six stories and 64 feet, 6 inches in height (measured to the top of railing);
- 12 dwelling units – 1 one-bedroom, 5 four-bedroom and 6 five-bedroom;
- 51 bedrooms in total;
- Two Low-Income (LI) units;
- 2,433 square feet of usable open space – ground-floor landscape, patio areas and two roof decks; and
- 17-space bike room and two outdoor bike racks.

Following is a link to the submittal materials reviewed at the on May 26, 2022 ZAB Meeting: [2022-05-26 ZAB Item 6 2018 Blake.pdf \(berkeleyca.gov\)](https://www.berkeleyca.gov/2022-05-26_ZAB_Item_6_2018_Blake.pdf)

III. Project Setting

A. Neighborhood/Area Description:

The project site is located on the south side of Blake Street. Adjacent parcels to the north are occupied by one-story commercial/industrial buildings; parcels to the west, immediately east (R-4 Multi-Family Residential District) and to the south (R-2A, Restricted Multi-Family Residential District) are occupied by one- and two-story, single- and multi-family dwellings. Parcels beyond the R-4 district, further east of the site are occupied by one- and two-story commercial buildings (C-AC, Adeline Corridor Commercial District). The parcel across the street and to the northeast at 2029 Blake Street (C-AC) is occupied by a recently-constructed, five-story, 82-unit, mixed-use building. Use permits for other large projects were approved within the past two years on the same block: a six-story, 113-unit, community care facility for seniors at 2000 Dwight Way, and a seven-story, 155-unit, multi-family building at 2015 Blake.

B. Site Conditions:

The project site is a rectangular parcel that is generally flat, with a frontage measuring 40 feet and length measuring 140 feet. The site is occupied by the remnants of a single-family dwelling and accessory structure that were damaged by fire in 2019. A Notice of Violation was issued on April 15, 2020, wherein the City Building Official deemed the building unstable, unsafe, and an immediate threat to health and safety. Hazardous portions of the building were demolished in response to the Notice shortly after. The dwelling is considered fully demolished.

Figure 1: Vicinity Map

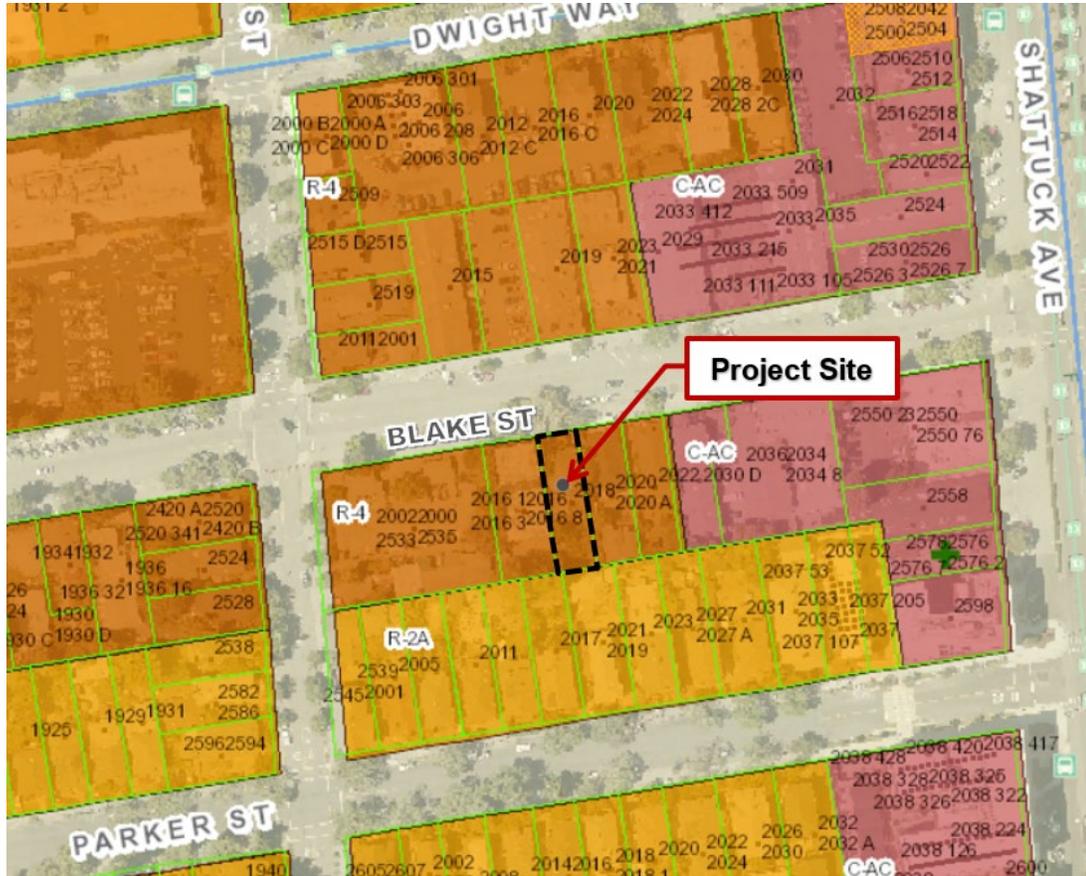


Table 1: Land Use Information

Location		Existing Use	Zoning District	General Plan Designation
Subject Property		Vacant (remnants of fire-damaged Single-Family dwelling)	R-4	HDR
Surrounding Adjacent Properties	North	Skylight Manufacturing		
	East	Multi-Family Residential		
	South	Single / Multi-Family Residential	R-2A	MDR
	West	Multi-Family Residential	R-4	HDR

IV. Summary from December 21, 2023 Meeting

Final Design Review was continued with the following conditions and recommendations): MOTION: (Kahn, Tam) VOTE (7-0-0-0).

Recommendations

- *Strongly recommend adding more windows on the east and west facades.*
- *Recommend greater depth for the windows; provide more details for further review.*
- *Look carefully at the Hardiplank pattern on the east and west facades for more detail and interest.*
- *Strongly recommend additional color; there are additional colors on the north and south facades that could work on the west and east elevations as well.*
- *Consider any additional details or colors that could add a more residential feel to the east and west facades.*
- *Courtyard should be more activated, if not with windows than at least color.*
- *Recommend any additional details or color that could break up the uniformity of the walkways.*
- *Consider shading devices for the windows.*
- *Consider a solid wall at the stairwell so windows could be added for the inner corner units.*

V. Issues and Analysis

A. Consistency with Approved Use Permit Design

This design submittal is consistent with the approved Use Permit design, including the changes made to the east and west facades in response to Use Permit Condition #15 (below). The approved east and west elevations were included in the project plans in the December 2023 DRC meeting materials for reference.

The Project was referred by ZAB to the Design Review Committee (DRC) for design review. The applicant shall obtain approval of a Final Design Review (FDR) application by the DRC. The applicant shall present plans at FDR that incorporate visual enhancements to the east and west facades of the building.

B. Current Submittal Includes:

- Cement fiber panel pattern was added on the east and west elevations;
- Deep red accent panels added to the grey and white panels throughout the project to enliven the design;
- Windows added to corner bedrooms on floors 3-6.
- Structures are now deep red, while the walkways remain dark bronze; and
- Unit was flipped to the street side of the north tower to allow residential windows to enliven the street facade. Planters have been placed in front of these ground floor windows.

C. Issues for Discussion

- Facade Design
- Colors and Materials

VI. Recommendation

Staff recommends that the DRC discuss the issues above and approve Final Design Review with any direction for Staff follow-up as necessary.

Attachments:

1. Project Plans, received February 1, 2024

Prepared by: Desiree Dougherty, DDougherty@Berkeleyca.gov, (510)981-7410

Reviewed by: Anne Burns, ABurns@Berkeleyca.gov, (510) 981-7415

2018 BLAKE STREET APARTMENTS

BERKELEY, CA



www.dnmarchitecture.com

DNM ARCHITECTURE
 DNM Architecture • 1A, Gate 5 Road • Sausalito, CA 94965
 T: 415.346.8910 • E: info@dnmarchitecture.com



NORTH FACADE



EAST FACADE



SOUTH FACADE



WEST FACADE

FINAL DESIGN REVIEW

RENDERINGS

230301
 2018 BLAKE STREET
 2018 BLAKE STREET
 BERKELEY, CA 94704

APN: 55-1821-21

REVISIONS

#	REASON	DATE
1.		
2.		
3.		
4.		
5.		
6.		

FEBRUARY 1, 2024

1A



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



www.dnmarchitecture.com

DNM ARCHITECTURE

DNM Architecture • 1A Gate 5 Road • Sausalito, CA 94965
 T: 415.348.8910 • E: info@dnmarchitecture.com



FINAL DESIGN REVIEW

RENDERINGS

230301
 2018 BLAKE STREET
 2018 BLAKE STREET
 BERKELEY, CA 94704

APN: 55-1821-21

REVISIONS

#	REASON	DATE
1.		
2.		
3.		
4.		
5.		
6.		

FEBRUARY 1, 2024

1B

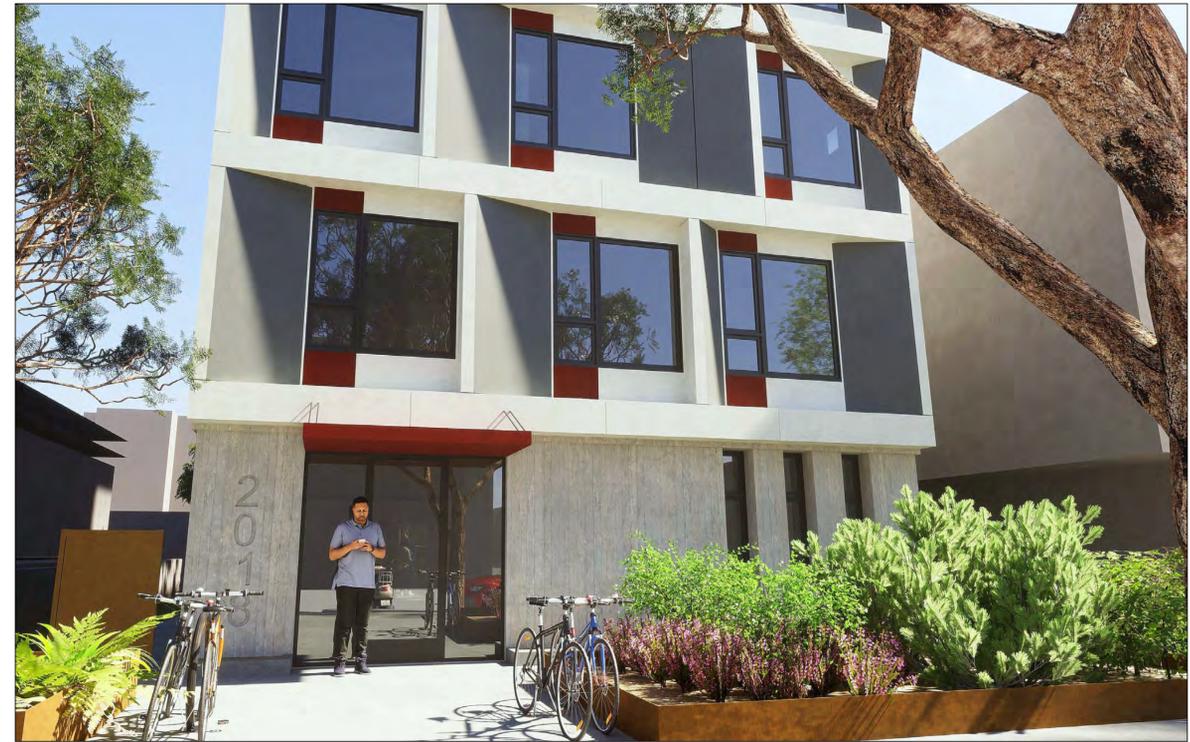


www.dnmarchitecture.com

DNM ARCHITECTURE
 DNM Architecture • 1 A. Care & Road • Sausalito, CA 94965
 T: 415.348.8910 • E: info@dnmarchitecture.com



GUARDRAIL 1



NORTH ELEVATION CLOSE UP



GUARDRAIL 2



GUARDRAIL 3

FINAL DESIGN REVIEW

RENDERINGS

230301
 2018 BLAKE STREET
 2018 BLAKE STREET
 BERKELEY, CA 94704

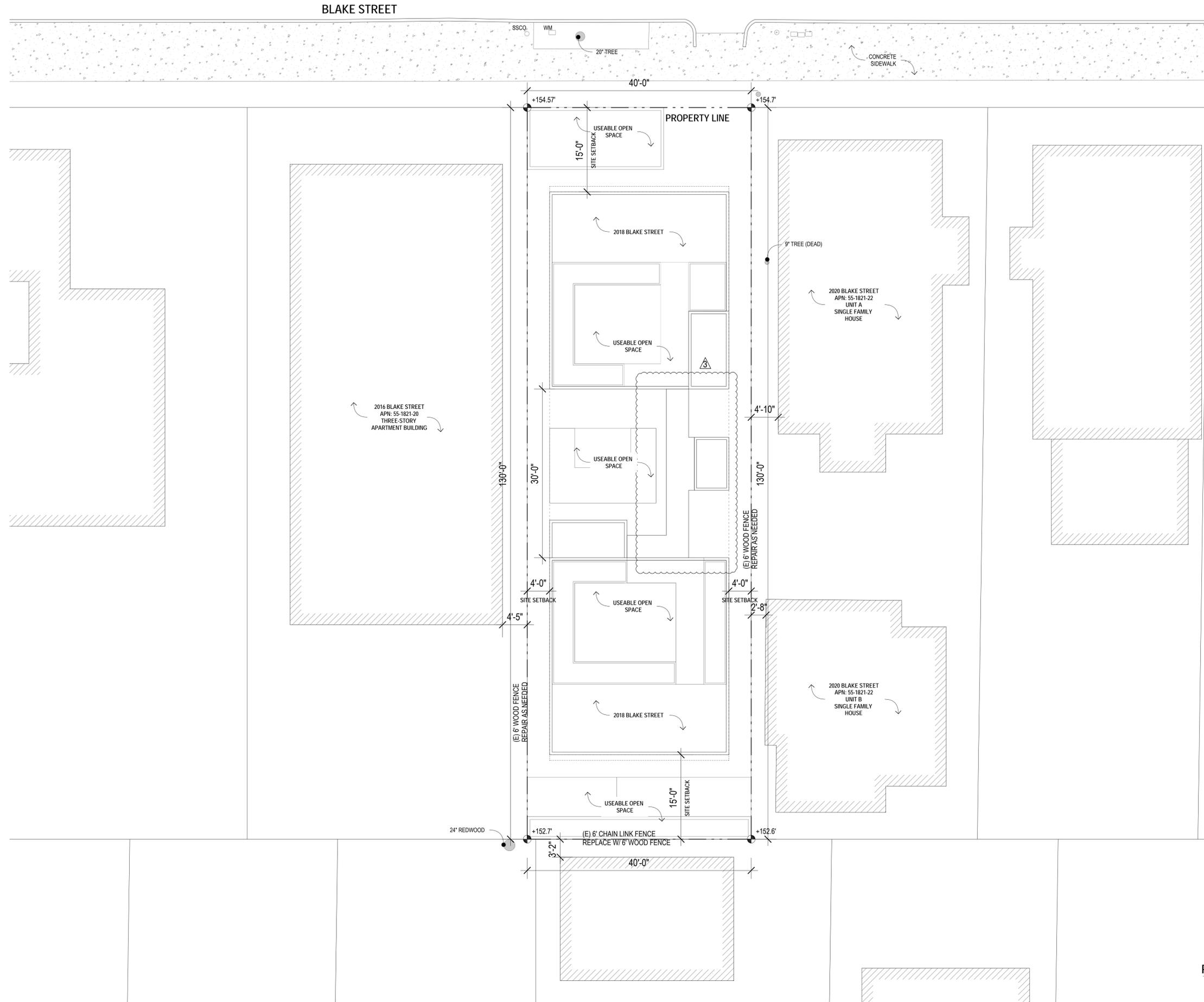
APN: 55-1821-21

REVISIONS

#	REASON	DATE
1.		
2.		
3.		
4.		
5.		
6.		

FEBRUARY 1, 2024

1C



PROPOSED SITE PLAN
 SCALE: 1/8" = 1'-0"

1



PROPOSED SITE PLAN

DATE: 11/15/2022
 DRAWING BY: YZ

ISSUES & REVISIONS

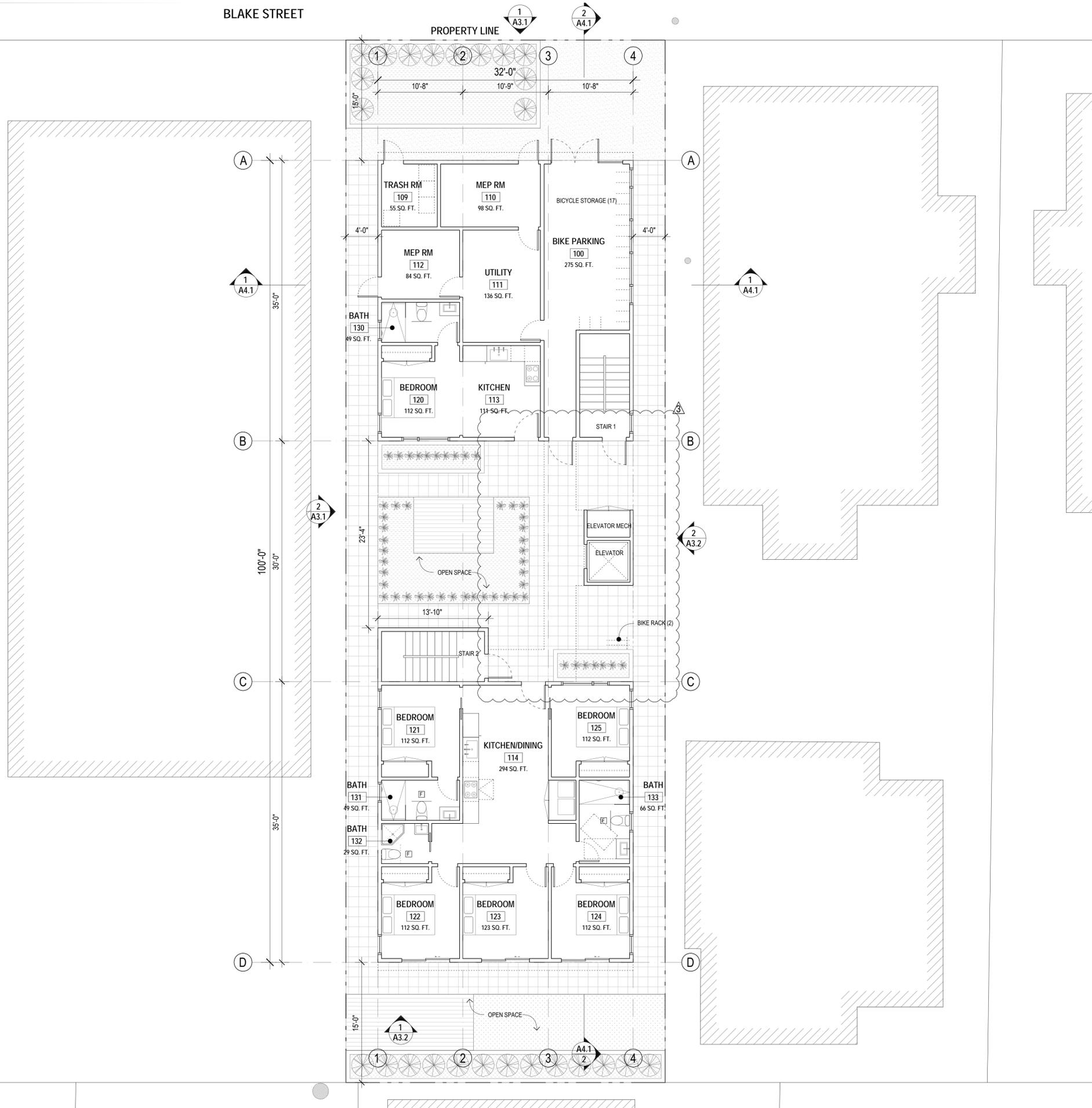
NO.	DATE	DESCRIPTION
	04/28/2021	PLANNING APPROVAL SUBMITTAL
△	07/05/2021	PLANNING APPROVAL 1ST COMMENTS
△	09/25/2021	PLANNING APPROVAL 2ND COMMENTS
△	12/20/2021	PLANNING APPROVAL 3RD COMMENTS

PROJECT
 2018 BLAKE STREET
 2018 BLAKE STREET
 BERKELEY, CA 94704

2018 BLAKE STREET
 2018 BLAKE STREET
 BERKELEY, CA 94704

BLAKE STREET

PROPERTY LINE



SHEET NOTES:

1. ALL NEW WINDOWS AND GLASS DOORS SHALL BE DOUBLE PANED, INSULATED W/ MAX U-VALUES AS STATED ON THE CALIFORNIA TITLE-24 REPORT. TEMP. MFGR LABELS SHOWING NEW GLAZING U-VALUES SHALL NOT BE REMOVED UNTIL BLDG. INSPECTOR AUTHORIZES TO DO SO.
2. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED W/ A NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FT. ABV. THE FLOOR PER CRC R307.2.

LEGEND

- EXISTING WALL / ELEMENT TO REMAIN
- - - EXISTING WALL / ELEMENT TO REMOVE
- ▬ (N) PROPOSED WALL
- ▬ (N) 1-HR PROPOSED WALL
- F FAN (PER 2013 CGC §4.506)



PROJECT
 2018 BLAKE STREET
 2018 BLAKE STREET
 BERKELEY, CA 94704

ISSUES & REVISIONS	
NO.	DATE
1	04/28/2021
2	07/05/2021
3	09/25/2021
4	12/20/2021

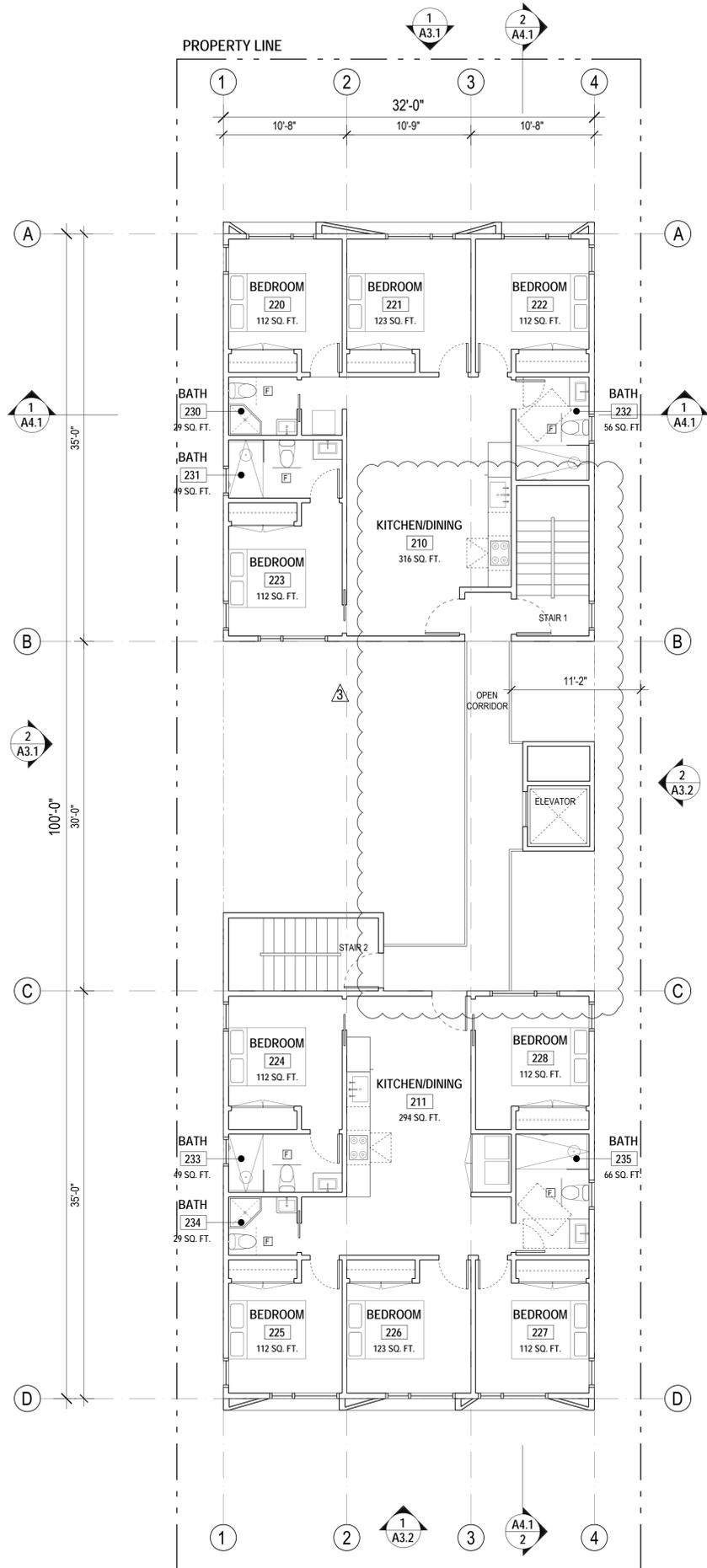
GROUND FLOOR PLAN
 DATE: 11/5/2022
 DRAWING BY: YZ

GROUND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

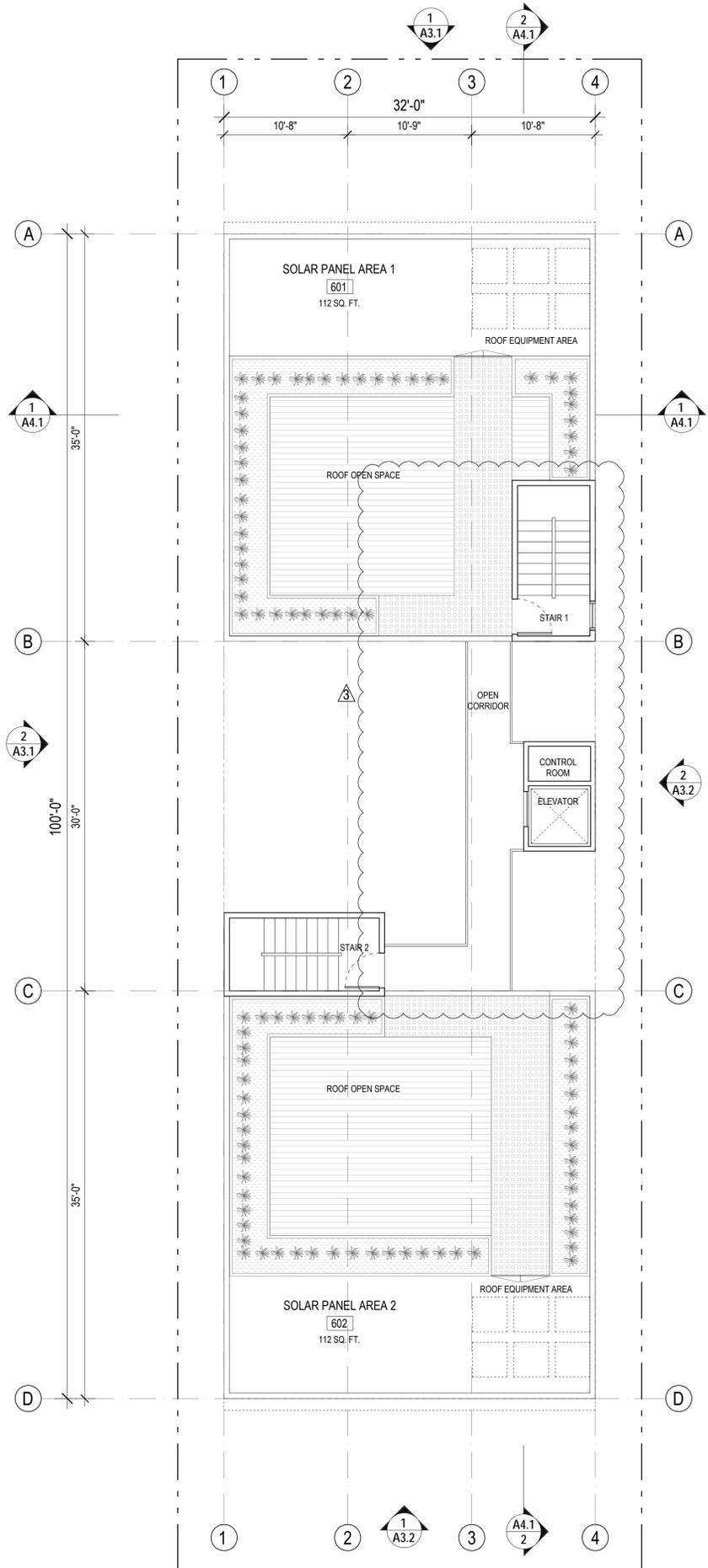
1



A2.1



2ND - 6TH FLOOR PLAN
 SCALE: 1/8" = 1'-0" **1**



ROOF PLAN
 SCALE: 1/8" = 1'-0" **2**

SHEET NOTES:

1. ALL NEW WINDOWS AND GLASS DOORS SHALL BE DOUBLE PANED, INSULATED W/ MAX U-VALUES AS STATED ON THE CALIFORNIA TITLE-24 REPORT. TEMP. MFG. LABELS SHOWING NEW GLAZING U-VALUES SHALL NOT BE REMOVED UNTIL BLDG. INSPECTOR AUTHORIZES TO DO SO.
2. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED W/ A NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FT. ABV. THE FLOOR PER CRC R307.2.

LEGEND

- EXISTING WALL / ELEMENT TO REMAIN
- - - EXISTING WALL / ELEMENT TO REMOVE
- ▬ (N) PROPOSED WALL
- ▬ (N) 1-HR PROPOSED WALL
- F FAN (PER 2013 CGC §4.506)

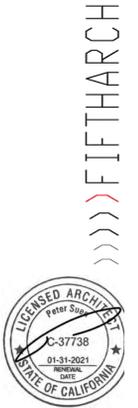
ISSUES & REVISIONS

NO.	DATE	DESCRIPTION
1	04/28/2021	PLANNING APPROVAL SUBMITTAL
2	07/05/2021	PLANNING APPROVAL 1ST COMMENTS
3	09/25/2021	PLANNING APPROVAL 2ND COMMENTS
4	12/20/2021	PLANNING APPROVAL 3RD COMMENTS

PROJECT
 2018 BLAKE STREET
 2018 BLAKE STREET
 BERKELEY, CA 94704

LEVEL 2 - 6 FLOOR PLAN & ROOF PLAN

DATE: 11/15/2022
 DRAWING BY: YZ



MATERIAL

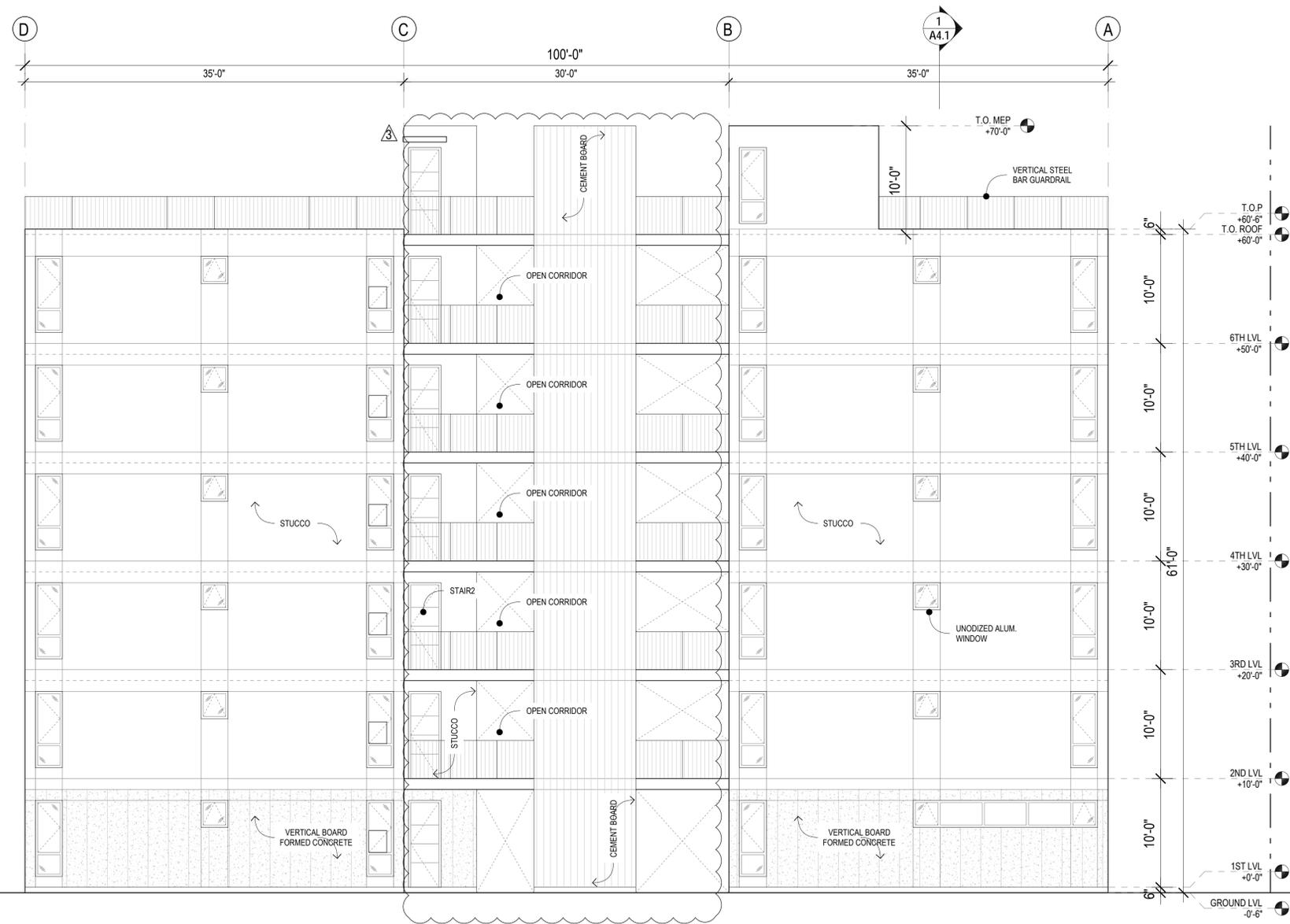
-  STUCCO
-  CEMENT BOARD
-  VERTICAL STEEL BAR GUARDRAIL
-  VERTICAL BOARD FORMED CONCRETE

SHEET NOTES:

1. ALL NEW WINDOWS AND GLASS DOORS SHALL BE DOUBLE PANED, INSULATED W/ MAX U-VALUES AS STATED ON THE CALIFORNIA TITLE-24 REPORT. TEMP. MFR LABELS SHOWING NEW GLAZING U-VALUES SHALL NOT BE REMOVED UNTIL BLDG. INSPECTOR AUTHORIZES TO DO SO.

LEGEND

 EGRESS WINDOW, MAX 44" ABV. F.F., 20" MIN. CLEAR WIDTH & 24" MIN. NET CLEAR OPENING HEIGHT



WEST ELEVATION
 SCALE: 1/8" = 1'-0" **2**



NORTH ELEVATION
 SCALE: 1/8" = 1'-0" **1**

PROJECT
 2018 BLAKE STREET
 2018 BLAKE STREET
 BERKELEY, CA 94704

ISSUES & REVISIONS	
NO.	DESCRIPTION
1	PLANNING APPROVAL SUBMITTAL
2	PLANNING APPROVAL 1ST COMMENTS
3	PLANNING APPROVAL 2ND COMMENTS
4	PLANNING APPROVAL 3RD COMMENTS

PROPOSED BUILDING ELEVATIONS
 DATE: 11/15/2022
 DRAWING BY: YZ

A3.1



MATERIAL

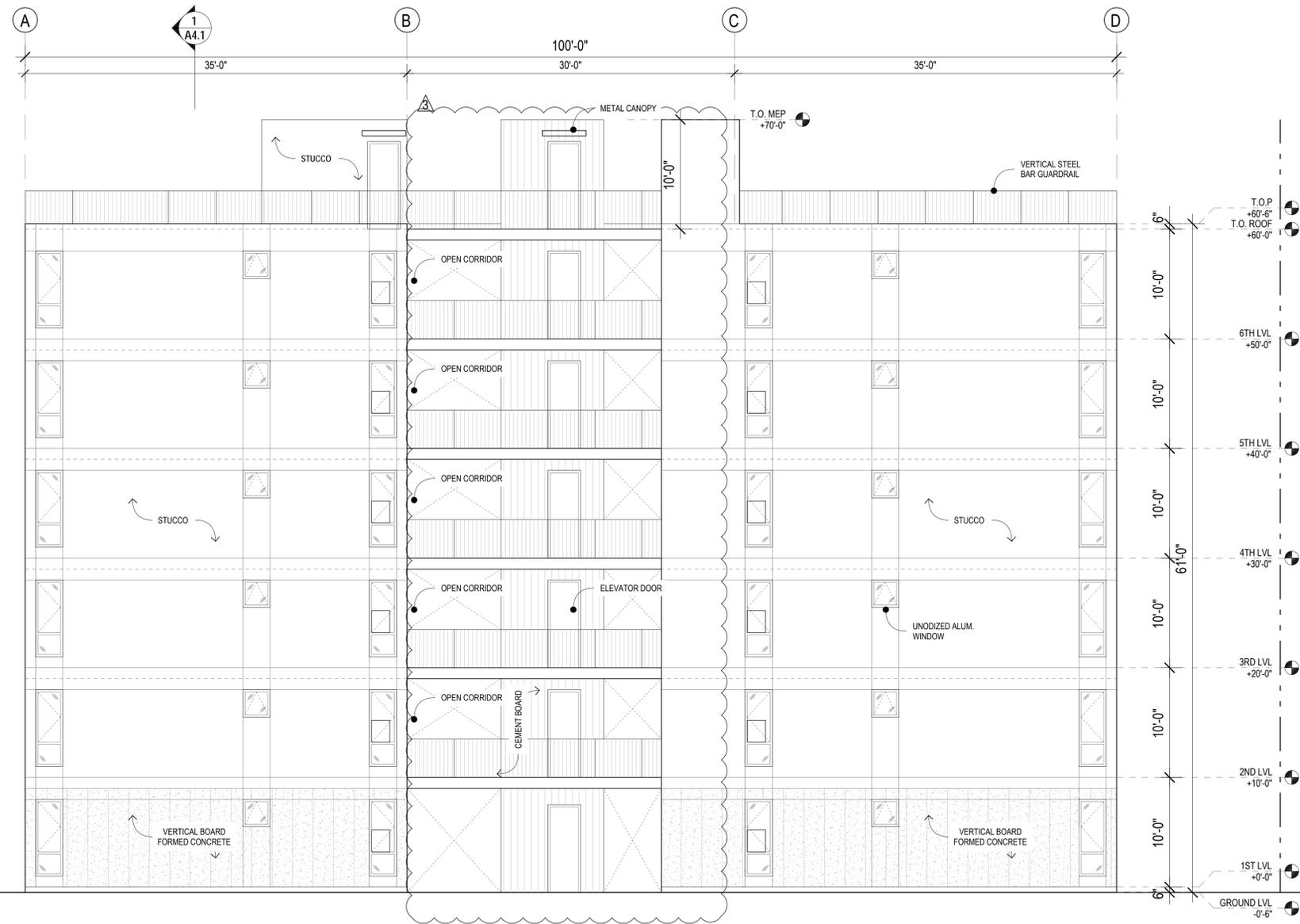
-  STUCCO
-  CEMENT BOARD
-  VERTICAL STEEL BAR GUARDRAIL
-  VERTICAL BOARD FORMED CONCRETE

SHEET NOTES:

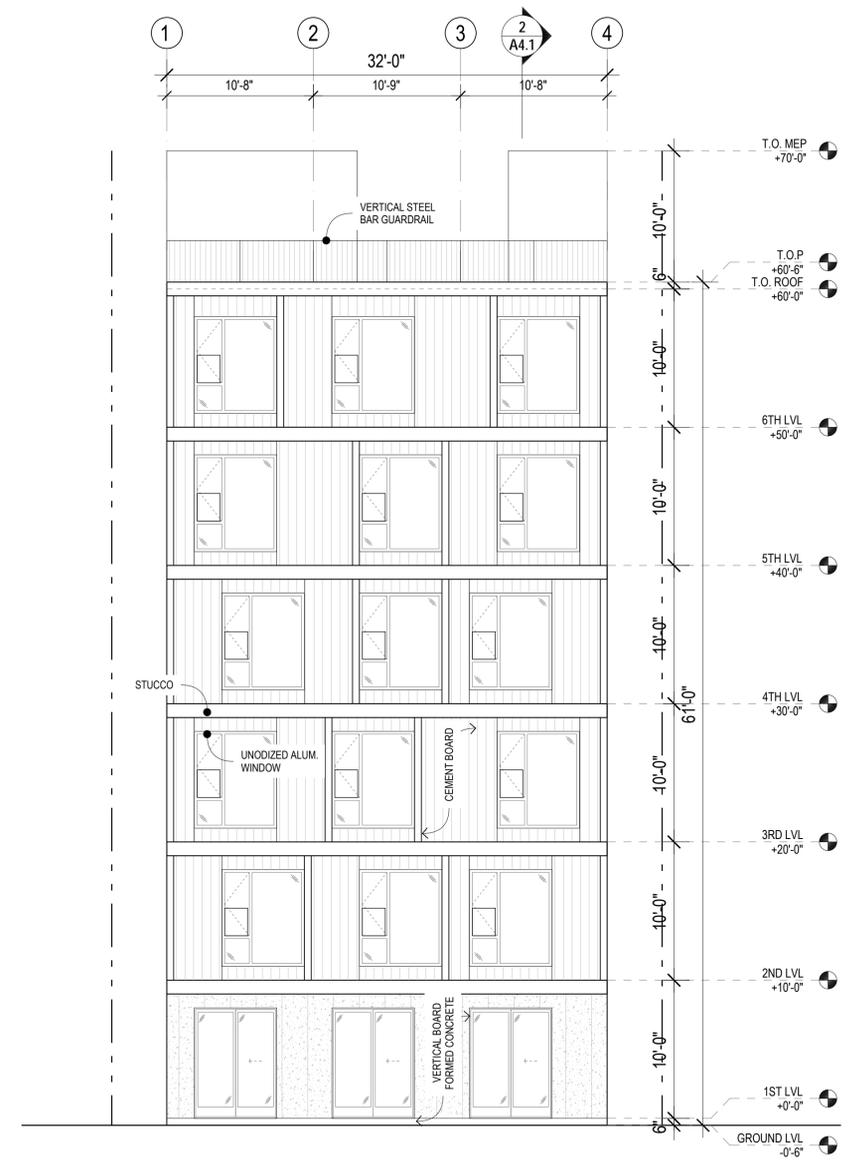
1. ALL NEW WINDOWS AND GLASS DOORS SHALL BE DOUBLE PANED, INSULATED W/ MAX U-VALUES AS STATED ON THE CALIFORNIA TITLE-24 REPORT. TEMP. MFR LABELS SHOWING NEW GLAZING U-VALUES SHALL NOT BE REMOVED UNTIL BLDG. INSPECTOR AUTHORIZES TO DO SO.

LEGEND

 EGRESS WINDOW, MAX 44" ABV. F.F., 20" MIN. CLEAR WIDTH & 24" MIN. NET CLEAR OPENING HEIGHT



EAST ELEVATION 2
 SCALE: 1/8" = 1'-0"



SOUTH ELEVATION 1
 SCALE: 1/8" = 1'-0"

PROJECT
 2018 BLAKE STREET
 2018 BLAKE STREET
 BERKELEY, CA 94704

ISSUES & REVISIONS	
NO.	DATE
1	04/28/2021
2	07/05/2021
3	09/25/2021
4	12/20/2021

DESCRIPTION
 PLANNING APPROVAL SUBMITTAL
 PLANNING APPROVAL 1ST COMMENTS
 PLANNING APPROVAL 2ND COMMENTS
 PLANNING APPROVAL 3RD COMMENTS

PROPOSED BUILDING ELEVATIONS
 DATE: 11/15/2022
 DRAWING BY: YZ
A3.2

FIBER CEMENT PANEL INSPIRATION IMAGES



RAILING INSPIRATION IMAGES



VERTICAL BOARD FORM CONCRETE



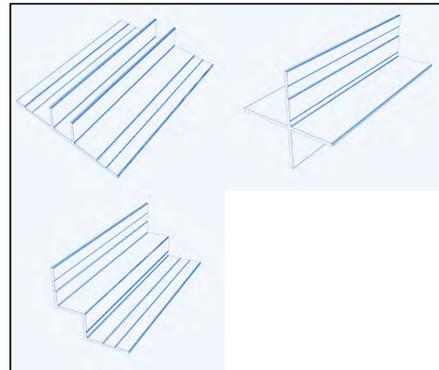
CORTEN STEEL PLANTERS



SEIHO SFX VENT



FRY REGLET CHANNEL - WHITE



IMPROVED DESIGN SUMMARY SINCE DRC DEC 2023

- 1 -Redesigned the cement fiber layout on the east & west facades to carry the same patterning as the north & south. This adds rhythm & visual interest while uniting the architecture.
- 2 -Introduced deep red accent panels to the grey & white CF panels to enliven the design.
- 3 -Added windows in the corner bedrooms on floors 3-6 which are above the neighboring buildings. The window sizes are limited by the requirement to maintain shear wall.
- 4 -Changed the steel stair structures to deep red & kept the bridge color as dark bronze.
- 5 - Rearranged the north tower ground floor plan to locate Unit A on the street facade & introduce windows on that facade to add interest & light to the Unit.
- 6 -Added planter strips against the north facade to soften facade and protect windows.

MATERIALS SPECS

- 1 -WALL PANELS :
Hardie Architectural Collection - White, Grey, & Red
Fry Reglet 1/2" U Channels - White
- 2 -CONCRETE FINISH :
Board Form Concrete
- 3 -GUARDRAIL :
Jakob Rope Systems
- 4 -WINDOWS :
Aluminum
- 5 -VENTS :
Seiho SFX
- 6 -PLANTERS :
Corten Steel Finish



DNM ARCHITECTURE
 DNM Architecture • 1A Gate 5 Road • Sausalito, CA 94965
 T: 415.348.8910 • E: info@dnmarchitecture.com



FINAL DESIGN REVIEW

DESIGN IMPROVEMENTS SUMMARY

230301
 2018 BLAKE STREET
 2018 BLAKE STREET
 BERKELEY, CA 94704

APN: 55-1821-21

REVISIONS

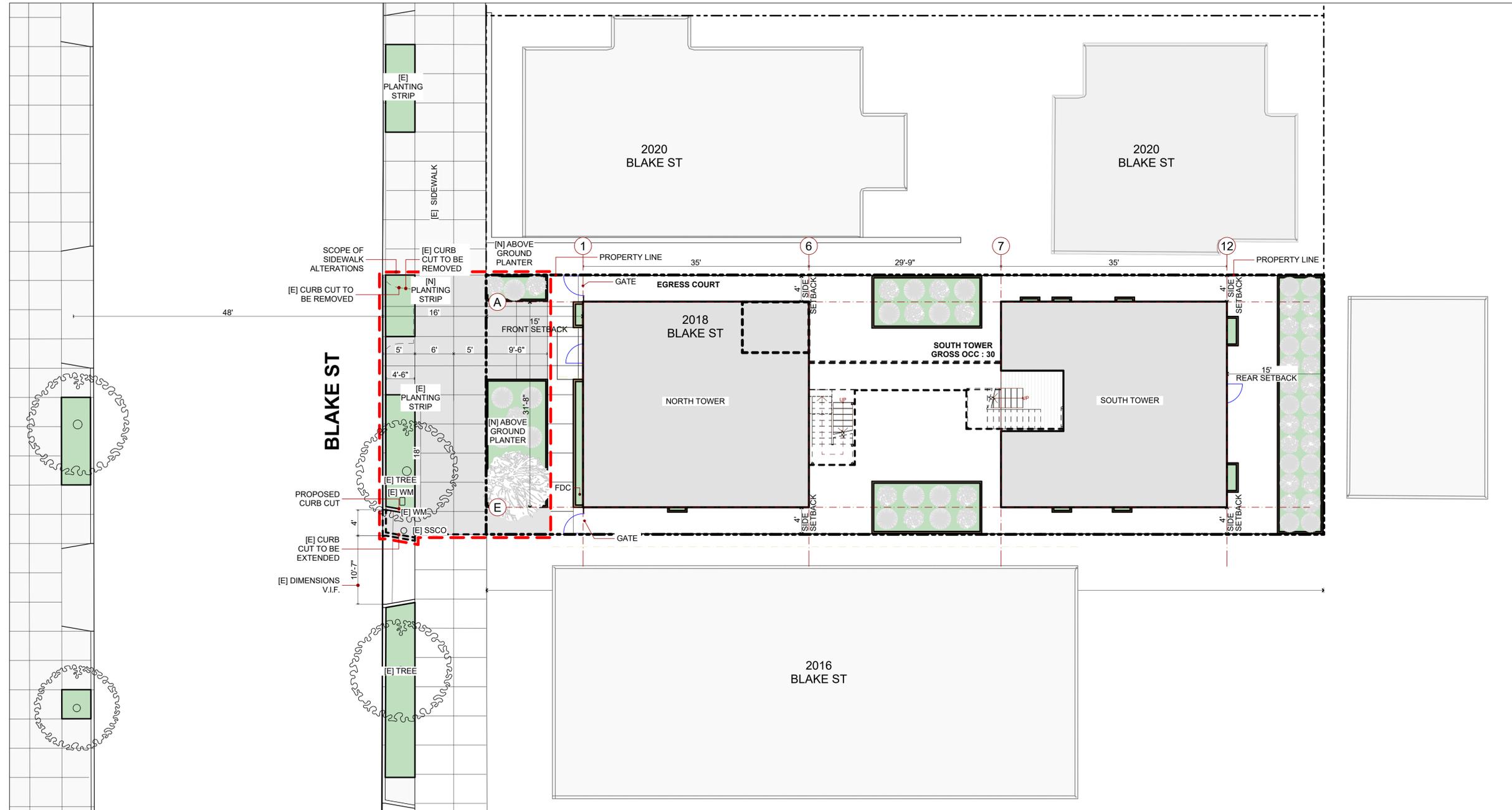
#	REASON	DATE
1.		
2.		
3.		
4.		
5.		
6.		

FEBRUARY 1, 2024



www.dnmarchitecture.com

DNM ARCHITECTURE
 DNM Architecture • 1 A. Gate 5 Road • Sausalito, CA 94965
 T: 415.348.8910 • E: info@dnmarchitecture.com



FINAL DESIGN REVIEW

SITE PLAN

230301
 2018 BLAKE STREET
 2018 BLAKE STREET
 BERKELEY, CA 94704

APN: 55-1821-21

REVISIONS		
#	REASON	DATE
1.		
2.		
3.		
4.		
5.		
6.		

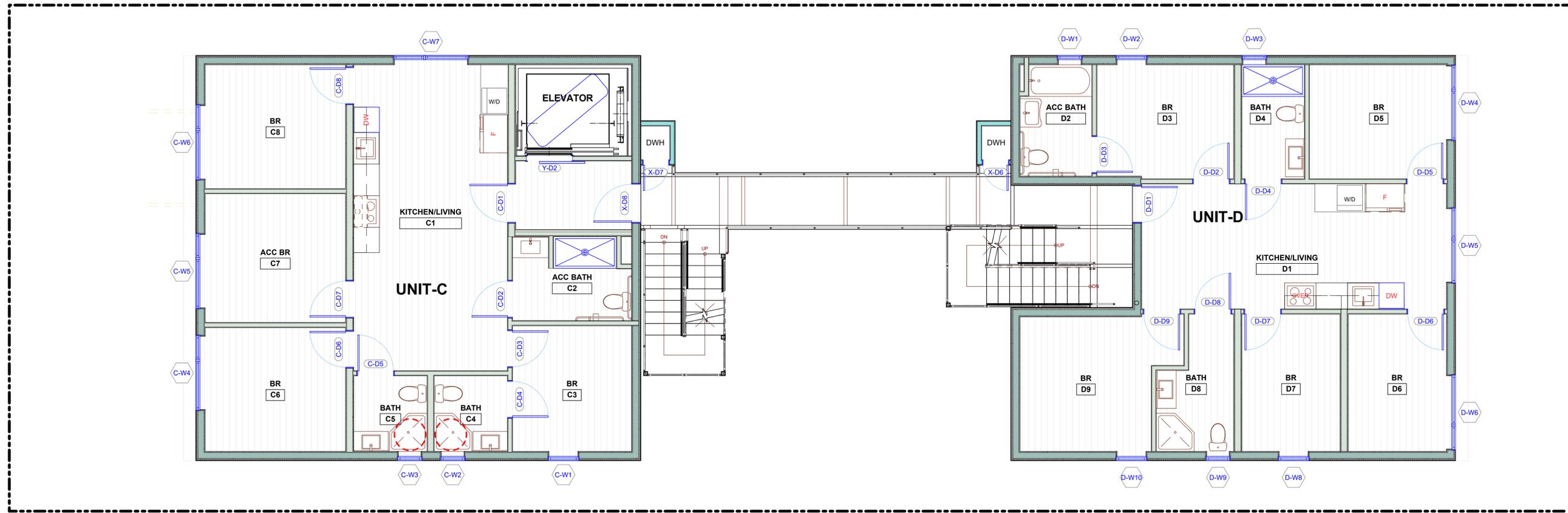
FEBRUARY 1, 2024

SITE PLAN 1
 SCALE: 1/8" = 1'-0"



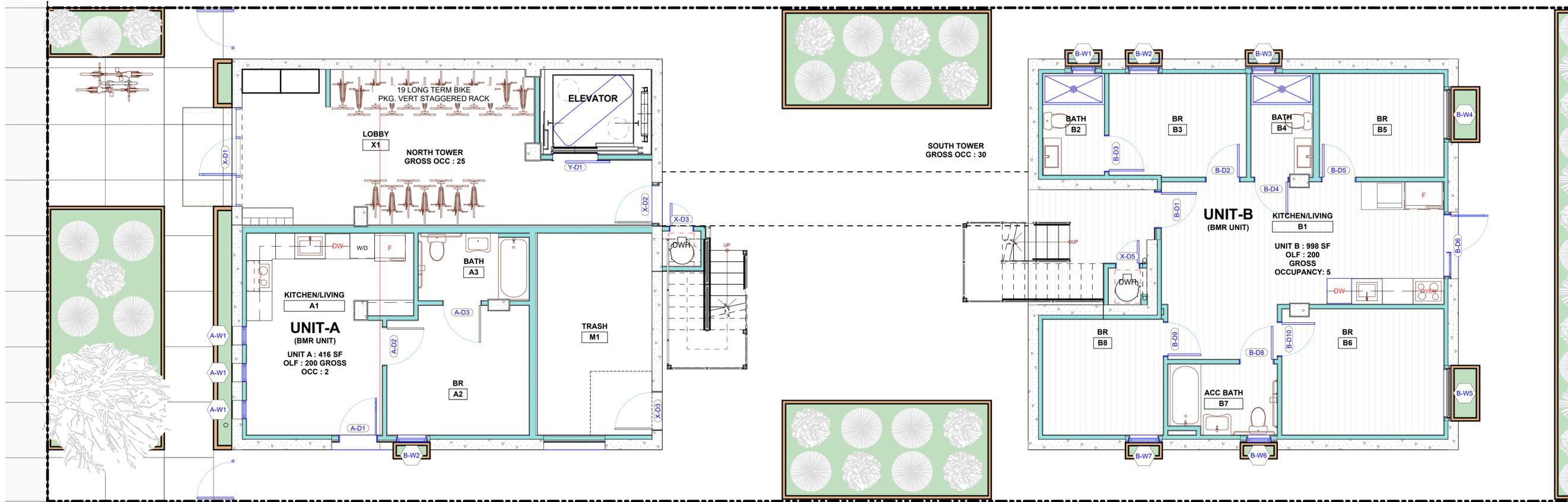
www.dnmarchitecture.com

DNM ARCHITECTURE
 DNM Architecture • 1A Gate 5 Road • Sausalito, CA 94965
 T: 415.346.8910 • E: info@dnmarchitecture.com



PROPOSED 2nd - 6th STORY 2

SCALE: 1/4" = 1'-0"



PROPOSED 1st STORY 1

SCALE: 1/4" = 1'-0"

FINAL DESIGN REVIEW

FLOOR PLANS

230301
 2018 BLAKE STREET
 2018 BLAKE STREET
 BERKELEY, CA 94704

APN: 55-1821-21

REVISIONS		
#	REASON	DATE
1.		
2.		
3.		
4.		
5.		
6.		

FEBRUARY 1, 2024



www.dnmarchitecture.com

DNM ARCHITECTURE
 DNM Architecture • 1 A. Gore Road • Sausalito, CA 94965
 T: 415.348.8910 • E: info@dnmarchitecture.com



FINAL DESIGN REVIEW

ROOF PLAN

230301
 2018 BLAKE STREET
 2018 BLAKE STREET
 BERKELEY, CA 94704

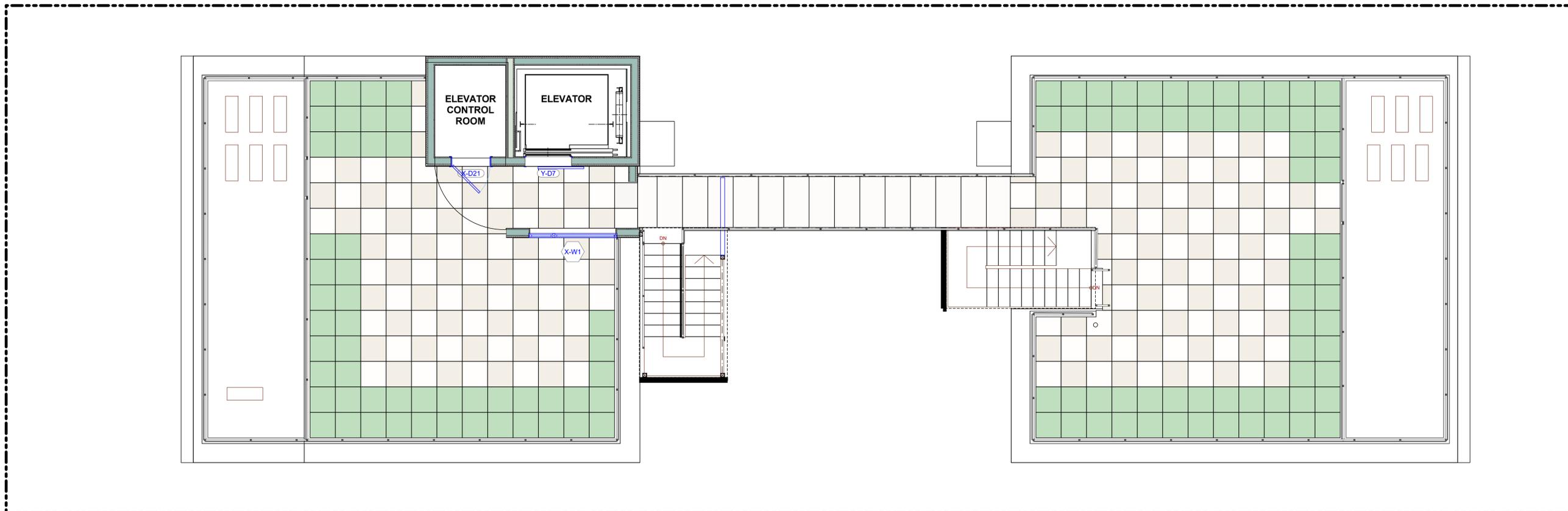
APN: 55-1821-21

REVISIONS

#	REASON	DATE
1.		
2.		
3.		
4.		
5.		
6.		

FEBRUARY 1, 2024

10



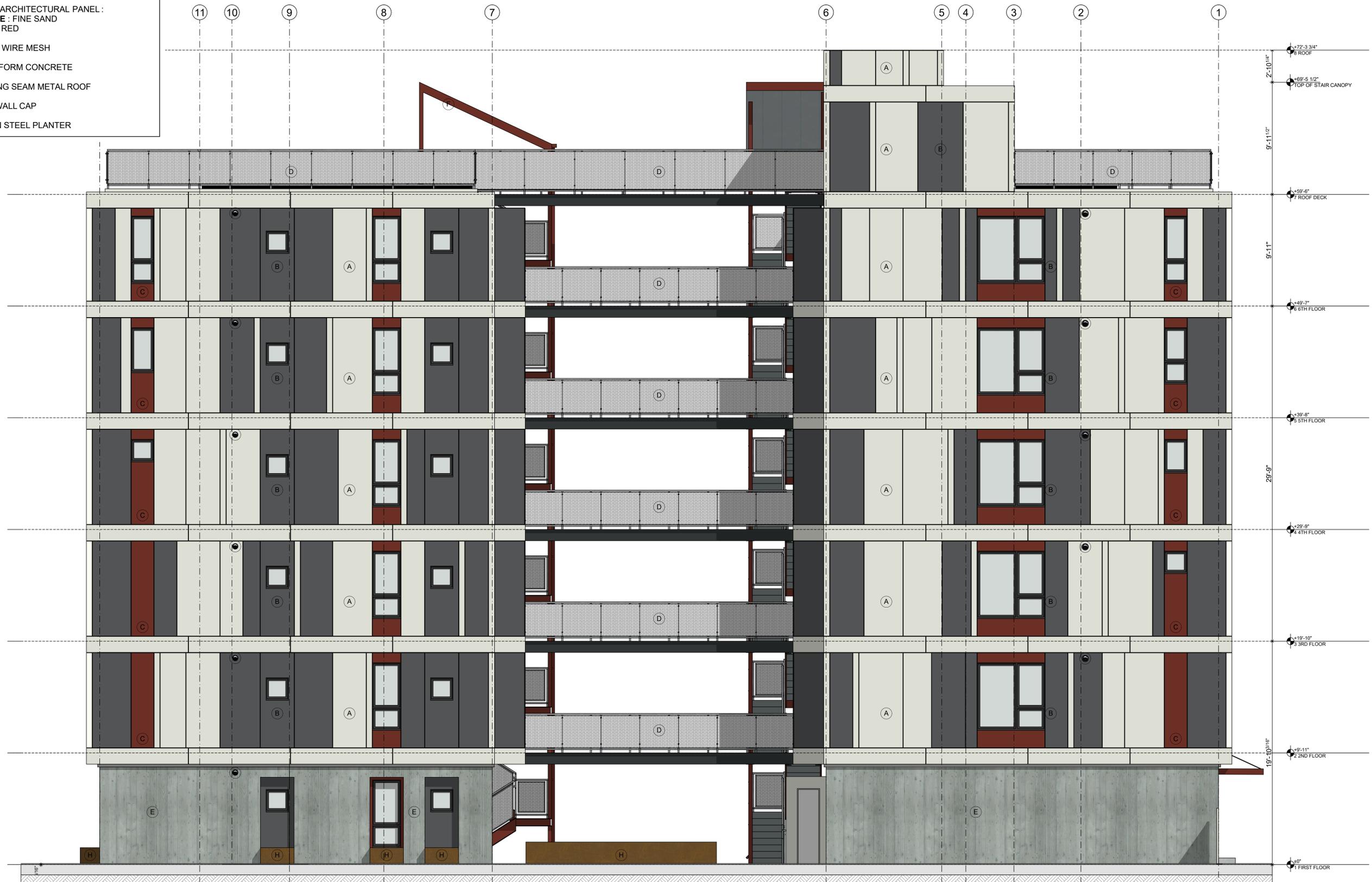
ROOF PLAN

1

SCALE: 1/4" = 1'-0"

MATERIAL KEY

- (A) HARDIE ARCHITECTURAL PANEL :
 TEXTURE : FINE SAND
 COLOR: WHITE
- (B) HARDIE ARCHITECTURAL PANEL :
 TEXTURE : FINE SAND
 COLOR: GREY
- (C) HARDIE ARCHITECTURAL PANEL :
 TEXTURE : FINE SAND
 COLOR: RED
- (D) JAKOBS WIRE MESH
- (E) BOARD FORM CONCRETE
- (F) STANDING SEAM METAL ROOF
- (G) SEHIO WALL CAP
- (H) CORTEN STEEL PLANTER



EAST ELEVATION ①
 SCALE: 1/4" = 1'-0"



DNN ARCHITECTURE
 DNM Architecture • 1A Gate 5 Road • Sausalito, CA 94965
 T: 415.348.8910 • E: info@dnmarchitecture.com



FINAL DESIGN REVIEW
IMPROVED EAST FACADE

230301
 2018 BLAKE STREET
 2018 BLAKE STREET
 BERKELEY, CA 94704

APN: 55-1821-21

REVISIONS

#	REASON	DATE
1.		
2.		
3.		
4.		
5.		
6.		

FEBRUARY 1, 2024

MATERIAL KEY

- (A) HARDIE ARCHITECTURAL PANEL :
TEXTURE : FINE SAND
COLOR: WHITE
- (B) HARDIE ARCHITECTURAL PANEL :
TEXTURE : FINE SAND
COLOR: GREY
- (C) HARDIE ARCHITECTURAL PANEL :
TEXTURE : FINE SAND
COLOR: RED
- (D) JAKOBS WIRE MESH
- (E) BOARD FORM CONCRETE
- (F) STANDING SEAM METAL ROOF
- (G) SEHIO WALL CAP
- (H) CORTEN STEEL PLANTER




 www.dnmarchitecture.com
DNM ARCHITECTURE
 DNM Architecture • 1A Gate 5 Road • Sausalito, CA 94965
 T: 415.348.8910 • E: info@dnmarchitecture.com



FINAL DESIGN REVIEW

IMPROVED WEST FACADE

230301
 2018 BLAKE STREET
 2018 BLAKE STREET
 BERKELEY, CA 94704

APN: 55-1821-21

REVISIONS

#	REASON	DATE
1.		
2.		
3.		
4.		
5.		
6.		

FEBRUARY 1, 2024

WEST ELEVATION ①
 SCALE: 1/4" = 1'-0"



www.dnmarchitecture.com

DNM ARCHITECTURE
 DNM Architecture • 1 A. Cate Road • Sausalito, CA 94965
 T: 415.348.8910 • E: info@dnmarchitecture.com



FINAL DESIGN REVIEW
IMPROVED NORTH & SOUTH FACADES

230301
 2018 BLAKE STREET
 2018 BLAKE STREET
 BERKELEY, CA 94704

APN: 55-1821-21

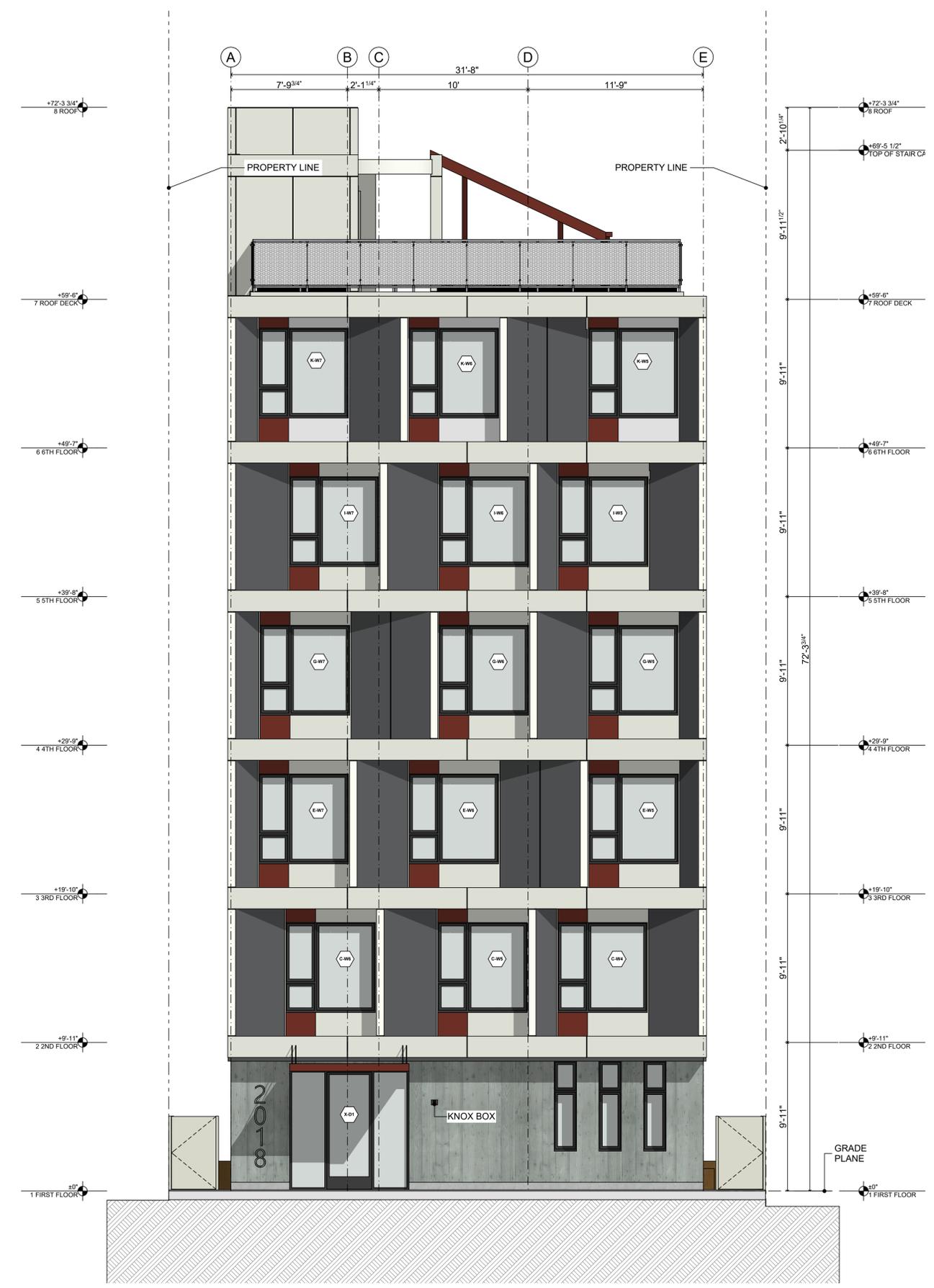
REVISIONS		
#	REASON	DATE
1.		
2.		
3.		
4.		
5.		
6.		

FEBRUARY 1, 2024



SOUTH ELEVATION ②

SCALE: 1/4" = 1'-0"



NORTH ELEVATION ①

SCALE: 1/4" = 1'-0"



www.dnmarchitecture.com

DNM ARCHITECTURE
 DNM Architecture • 1 A. Care & Road • Sausalito, CA 94965
 T: 415.348.8910 • E: info@dnmarchitecture.com



FINAL DESIGN REVIEW

DETAILS

230301
 2018 BLAKE STREET
 2018 BLAKE STREET
 BERKELEY, CA 94704

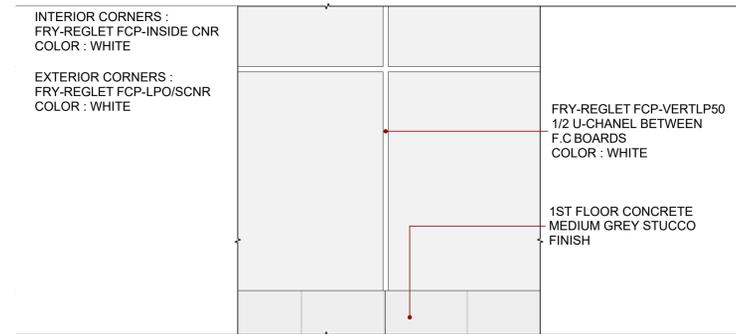
APN: 55-1821-21

REVISIONS

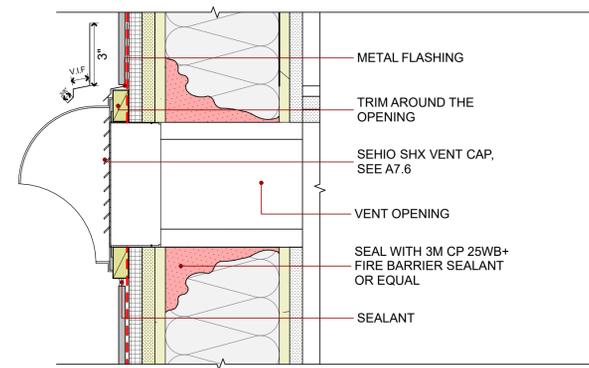
#	REASON	DATE
1.		
2.		
3.		
4.		
5.		
6.		

FEBRUARY 1, 2024

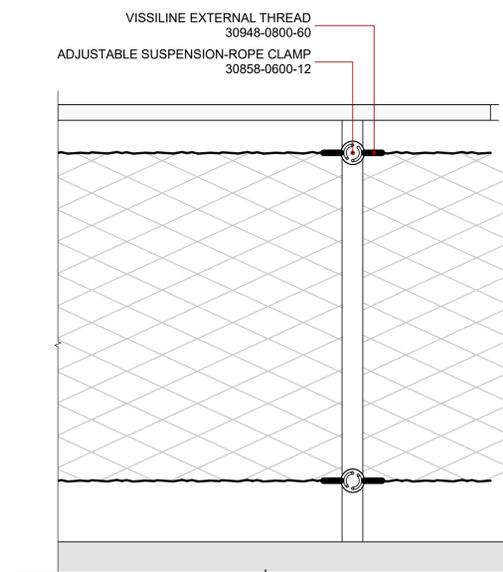
14



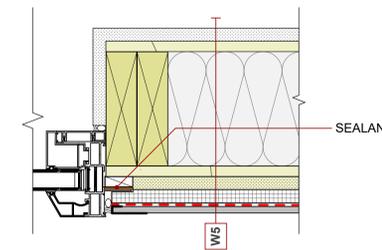
TYPICAL WALL SECTION E/W FACADES 7



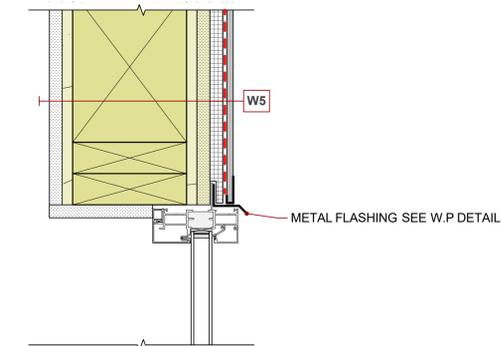
VENT DETAIL 6



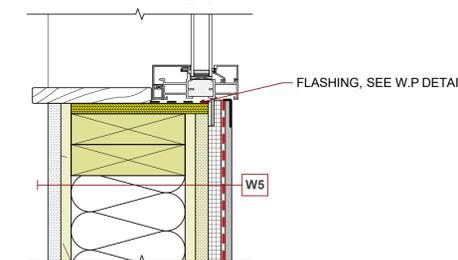
TYP GUARDRAIL ELEVATIONS VIEW 2



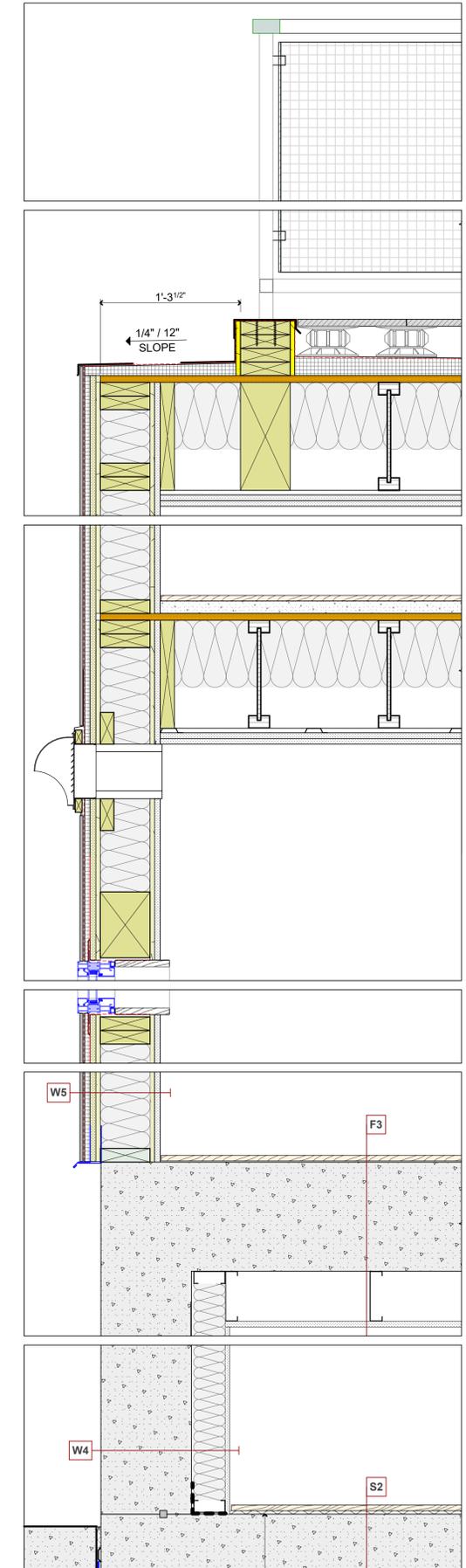
TYP WINDOW JAMB 5



TYP WINDOW HEADER 4



TYP WINDOW SILL 3



TYPICAL WALL SECTION E/W FACADES 1



DNM ARCHITECTURE
 DNM Architecture • 1A Gate 5 Road • Sausalito, CA 94965
 T: 415.348.8910 • E: info@dnmarchitecture.com



FINAL DESIGN REVIEW

CUTSHEETS

230301
 2018 BLAKE STREET
 2018 BLAKE STREET
 BERKELEY, CA 94704

APN: 55-1821-21

REVISIONS

#	REASON	DATE
1.		
2.		
3.		
4.		
5.		
6.		

FEBRUARY 1, 2024

PRODUCT DETAIL / INSTALLATION DETAIL / Cross Section

OC5 SLEEK OUTSIDE CORNER

USAGE
 The Sleek Outside Corner creates a contemporary reveal at outside corners of 5/16" fiber cement panels. The exposed reveal allows for easy installation and minimal extrusion exposed for a clean aesthetic. The Sleek Outside Corner is available in 10' lengths and a variety of finishes.

GUIDE SPECIFICATION
 Where indicated on drawings, Fry Reglet Sleek Outside Corner, as manufactured by Fry Reglet Corporation, shall be installed. Aluminum shall be extruded alloy 6063 T5. Available in primed, clear anodized, powder coated, or custom finish. Refer to finish section on page 73.

NOTE
 To be used in a vertical application. Attach panel in accordance with the manufacturer's fastening schedule.

SIZES

REVEAL DEPTH	NUMBER
OC5 7/16"	FCP-LPO/SCNR

36 | FRY REGLET www.fryreglet.com

PRODUCT DETAIL / INSTALLATION DETAIL / Cross Section

IC1 INSIDE CORNER

USAGE
 The Inside Corner creates a square and true termination at inside corners of 5/16" fiber cement panels. This allows for easy installation and minimal extrusion exposed for a clean aesthetic. The Inside Corner is available in 10' lengths and a variety of finishes.

GUIDE SPECIFICATION
 Where indicated on drawings, Fry Reglet Inside Corner, as manufactured by Fry Reglet Corporation, shall be installed per manufacturer's recommendations. Aluminum shall be extruded alloy 6063 T5. Available in primed, clear anodized, powder coated, or custom finish. Refer to finish section on page 73.

NOTE
 To be used in a vertical application. Attach panel in accordance with the manufacturer's fastening schedule.

SIZES

REVEAL DEPTH	NUMBER
IC1 1/2"	FCP-INSIDE CNR

30 | FRY REGLET www.fryreglet.com

PRODUCT DETAIL / INSTALLATION DETAIL / Cross Section

V6 / V7 DOUBLE T

USAGE
 The Double T 1/4" and 1/2" create a contemporary reveal between vertical 5/16" fiber cement panels. The exposed reveal allows for easy installation and minimal extrusion exposed for a clean aesthetic. This can also be used in soffit applications. The Double T 1/4" and 1/2" are available in 10' lengths and a variety of finishes.

GUIDE SPECIFICATION
 Where indicated on drawings, Fry Reglet Double T 1/2" or 1/4", as manufactured by Fry Reglet Corporation, shall be installed. Aluminum shall be extruded alloy 6063 T5. Available in primed, clear anodized, powder coated, or custom finish. Refer to finish section on page 73.

NOTE
 To be used in vertical applications. Do not install horizontally where moisture can accumulate. Attach panel in accordance with the panel manufacturer's fastening schedule.

SIZES

DIM. A	DIM. B	NUMBER
V6 NOM. 7/16"	NOM. 1/4"	FCP-VERTLP25
V7 NOM. 7/16"	NOM. 1/2"	FCP-VERTLP50

16 | FRY REGLET www.fryreglet.com

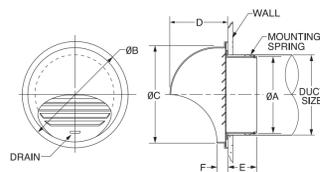
SEIHO SUBMITTAL SHEET
 Seiho International Inc. www.seiho.com

Model: SFX

Aluminum Vent Cap

- Fresh Air Intake/Exhaust Outlet
- For Interior and Exterior Location
- Optional Insect Screen (SFX-N)

- Material: Aluminum
- Standard Finish: Clear Anodized



MODEL	DUCT SIZE	A	B	C	D	E	F	FREE AREA
SFX 3	3	2 29/32	4 3/4	3 29/32	2 1/16	1 9/16	9/16	0.02 sq. ft.
SFX 4	4	3 13/16	6 3/32	5 1/4	3 1/2	1 9/16	3/4	0.04 sq. ft.
SFX 5	5	4 3/4	6 29/32	5 29/32	3 1/16	1 3/16	3/4	0.05 sq. ft.
SFX 6	6	5 29/32	8 1/16	7 1/16	4 1/16	2 1/16	3/4	0.08 sq. ft.
SFX 7	7	6 1/16	9 1/32	8 3/32	5 1/4	2 1/16	3/4	0.11 sq. ft.
SFX 8	8	7 1/16	10 1/8	9 1/16	5 29/32	2 3/16	3/4	0.14 sq. ft.

Product information is subject to change without notice. All dimensions in inches.

JOB NAME:	SUBMITTED BY:	DATE:	Model SFX Aluminum Vent Cap Form No.402-22
LOCATION:			
ARCHITECT:			
ENGINEER:			
CONTRACTOR:			