

D E S I G N
R E V I E W
C O M M I T T E E
S T A F F R E P O R T

For Committee Decision
APRIL 18, 2024

2127 DWIGHT WAY

FINAL DESIGN REVIEW

Design Review #DRCF2024-0002 to demolish two of the existing four residential buildings (demolish eight units and retain eight units) and replace with a new six-story residential building featuring 58 new units, for a combined total of 66 residential units.

I. Introduction

This six-story residential project is located on the north side of Dwight Way between Shattuck Avenue and Fulton Street in the C-SA commercial district.

This project is applying under the Housing Crisis Act, SB 330, which seeks to boost homebuilding throughout the State with a focus on urbanized zones by expediting the approval process for and suspending or eliminating restrictions on housing development and limiting the number of public meetings. Housing development is defined as a project that is: all residential; a mixed-use project with at least two-thirds of the square-footage residential; or for transitional or supportive housing.

It was last before the Design Review Committee for Preliminary Design Review on October 19, 2023 where the Committee forwarded a favorable recommendation to ZAB with direction for Final Design Review. The project went before the Zoning Adjustments Board on November 30, 2023 where it was awarded its Use Permit. The project is before the Design Review Committee this month for Final Design Review, where the Committee will discuss the building details, courtyard design, and landscaping.

II. Background

The project proposes demolition of the two interior existing four-unit residential buildings, both surface level parking lots, all existing landscaping with the exception of one protected Coast Live Oak, removal of the two on-site ingress and egress easements, removal of one curb cut to the west of the property, and construction of a new residential building with the following primary components:

- 66 dwelling units (eight one-bedroom, three two-bedroom, five four-bedroom, 30 five-bedroom, and 20 six-bedroom), including eight existing units to remain and eight replacement units, for a total of 304 bedrooms;
- A bicycle storage room on the ground floor providing 102 long-term bicycle parking stalls and eight short-term bicycle racks located on-site near the building entrance;
- Residential uses on the ground floor include a lobby and mail room, package room, residential courtyard, and unprogrammed amenity space;
- Trash chutes on each floor with a trash collection room and utilities on the ground floor;
- Five new street trees along Dwight Way; and
- 4,616 square feet of new landscaping, including 1,654 square feet of usable open space on the ground floor and landscape screening along the northeastern (rear) and the rear portion of the northwestern (right) and eastern (left) side property lines.

III. Project Setting

A. Neighborhood/Area Description:

The project site is located on the 2000 block of Dwight Way, bordered by Shattuck Avenue to the west and Fulton Street to the east. The surrounding area consists of a mix of commercial and residential uses ranging from two-story multi-family residences and small-scale restaurants to a six-story mixed-use project with ground floor commercial. Directly north of the project site is the Berkeley Dog and Cat Hospital. The Downtown Berkeley BART station is located to the west within walking distance from the project site (0.5 miles). In addition, bus service with 15-minute headways is available along Shattuck Avenue via AC Transit (route 18) and the University of California Berkeley (UC Berkeley) bus line (route F).

B. Site Conditions:

The approximately 24,300-square-foot development site consists of four distinct parcels, which will be combined into one via a lot merger. The project site is relatively flat and is developed with four two-story four-unit residential buildings, totaling 16 existing residential units onsite. Two on-site surface parking lots are located to the north of each existing building accommodating a total of 20 vehicular parking stalls (1.25 stalls per unit). There are two driveways with access to the parking lots on the project site: between 2127-2133 and 2137-2143 Dwight Way and between 2145- 2151 and 2153-2159 Dwight Way.

Figure 1: Vicinity Map

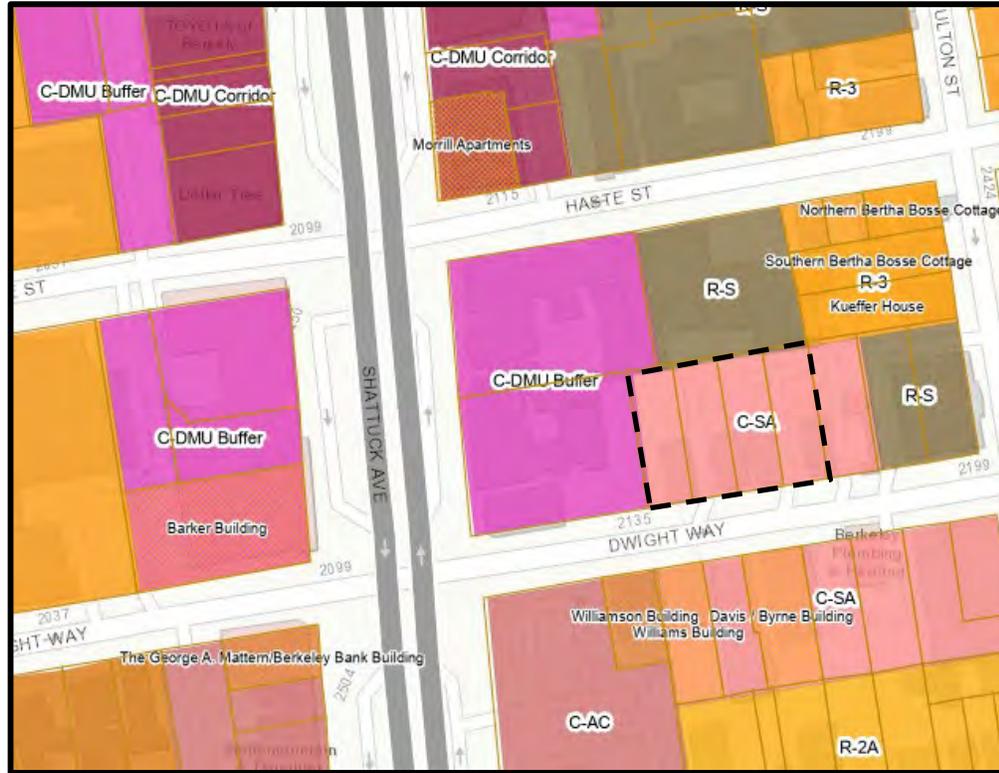


Table 1: Land Use Information

Location		Existing Use	Zoning District	General Plan Designation
Subject Property		Four 4-unit multi-family residential buildings	C-SA	High Density Residential (HDR)
Surrounding Properties	North	Animal Clinic (Berkeley Dog and Cat Hospital)	R-S	High Density Residential (HDR)
	South	Commercial/Retail (Restaurant and Massage)	C-SA	Avenue Commercial (AC)
	East	Multi-family Residential	R-S	High Density Residential (HDR)
	West	Mixed-use with Multi-family Residential and Commercial/Retail (Bank, Fitness Center, Pharmacy, Restaurant)	C-DMU Buffer	Avenue Commercial (AC)

IV. Summary from October 19, 2023 DRC Meeting

Preliminary Design Review received a favorable recommendation to ZAB with the following conditions and recommendations for Final Design Review (FDR): MOTION: (Kahn, Gaffney) VOTE (7-0-0-0).

Conditions

- *Refine main residential entry, including gate design, so it is more prominent.*
- *Look further at the east wing and resolve how it meets the street and works as a composition with the west wing.*
- *Refine elevations, and simplify and unify where possible.*
- *Program courtyard open space and present at FDR.*
- *Consider landscape in front yard with more height and presence.*
- *Integrate two existing buildings into final color and material palette.*
- *Consider more native plants, including pollinators.*

Recommendations

- *Central courtyard should be more active and side courtyards should be more passive.*
- *Gate could be an artistic element, in lieu of the murals.*
- *Study rooms could be an accent color, in lieu of a mural.*
- *Look at the study rooms and integrate into main entry design.*
- *DRC recommends larger tree wells, permeable pavers, and a reduction of concrete where possible. Staff will pass this on to Public Works.*
- *Strongly recommend no irrigated plants under the oak tree.*

V. Issues and Analysis

A. Consistency with Approved Use Permit Design

An 8 ½" x 11" copy of the approved Use Permit drawings is attached for reference. This design submittal is consistent with approved Use Permit design.

B. Current Submittal includes:

- Plans, elevations, sections, and renderings;
 - Dwight Street facades have been further developed per Committee comments, including a more defined lobby entrance and a more decorative security gate.
- Construction details, wall and window sections; and
- Landscape plans, plant palette and roof deck details.
 - Streetscape and courtyard design have been revised. See Sheet A3.00D.

C. Issues for Discussion:

- Building Details
- Landscape Plan
- Colors and Materials

VI. Recommendation

Staff recommends that the Committee discuss the issues outlined above and approve Final Design Review with Staff follow up as necessary.

Attachments:

1. Project Plans, received April 4, 2024
2. Lighting Cut Sheets, received April 4, 2024
3. Approved Use Permit Drawings, approved November 30, 2023

Staff Planner: Anne Burns, aburns@ci.berkeley.ca.us, (510) 981-7410

2127 Dwight Way BERKELEY, CA



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ABBREVIATIONS	LEGEND	GENERAL NOTES	PLANNING DATA	RENDERING																																																																																																				
<p>ADJ. ADJUSTABLE ABOVE FINISH FLOOR ALUM. ALUMINUM ALT. ALTERNATE ARCHITECT(URAL)</p> <p>BLDG. BUILDING BLDG. BLOCKING BOT. BOTTOM</p> <p>CL. CENTER LINE CAB. CABINET CLG. CEILING CLR. CLEAR C.M.U. CONCRETE MASONRY UNIT COL. COLUMN CONC. CONCRETE CONST. CONSTRUCTION CTR. CENTER</p> <p>DET. DETAIL DIA. DIAMETER DIM. DIMENSION DIM. DOWN DRAWING DWG. DOWN SPOUT DS.</p> <p>(E) EXISTING EA. EACH ELEC. ELECTRICAL EQ. EQUIPMENT EXT. EXTERIOR</p> <p>F.D. FLOOR DRAIN FIN. FINISH FL. FLOOR F.O.F. FACE OF FINISH FACE OF STUD F.O.S.</p> <p>GALV. GALVANIZED G.C. GENERAL CONTRACTOR GL. GLASS GR. GRADE GYP. BOARD</p> <p>H.B. HOSE BIB HDWR. HARDWARE HGT. HEIGHT H.W. HOT WATER</p> <p>JT. JOINT</p> <p>MAX. MAXIMUM M.D. MOTION DETECTOR MECH. MECHANICAL MIN. MINIMUM MTD. MOUNTED MTL. METAL</p> <p>(N) NEW N.I.C. NOT IN CONTRACT NO. NUMBER N.T.S. NOT TO SCALE</p> <p>O.C. ON CENTER OPNG. OPENING OPP. OPPOSITE</p> <p>PR. PAIR PTD. PAINTED PLYWD. PLYWOOD</p> <p>R.D. ROOF DRAIN REQ. REQUIRED RM. ROOM R.O. ROUGH OPENING</p> <p>S.C. SOLID CORE STOR. STORAGE SHT. SHEET SIM. SIMILAR STRL. STRUCTURAL</p> <p>T.O. TOP OF TYP. TYPICAL</p> <p>U.O.N. UNLESS OTHERWISE NOTED</p> <p>V.I.F. VERIFY IN FIELD</p> <p>WD. WOOD W.P. WATERPROOF</p>	<p>DETAIL REFERENCE NUMBER</p> <p>SHEET WHERE DETAIL IS LOCATED</p> <p>DIRECTION OF SECTION VIEW INTERIOR SECTION IDENTIFICATION/ SHEET WHERE SECTION IS LOCATED</p> <p>SHEET WHERE ELEVATION IS LOCATED</p> <p>ELEVATION REFERENCE NUMBER</p> <p>DOOR SYMBOL</p> <p>WINDOW SYMBOL</p> <p>WALL / FLOOR TYPE SYMBOL</p> <p>ELEVATION DATUM</p> <p>CEILING HEIGHT</p> <p>REVISION SYMBOL</p> <p>WALL-MOUNTED INCANDESCENT SCIENCE LIGHT FIXTURE</p> <p>RECESSED INCANDESCENT LIGHT FIXTURE AT CEILING</p> <p>RECESSED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING</p> <p>SURFACE-MOUNTED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING</p> <p>COMBINATION EXHAUST FAN AND COMPACT FLUORESCENT LIGHT FIXTURE, RECESSED AT CEILING</p> <p>SURFACE-MOUNTED FLUORESCENT STRIP LIGHT FIXTURE, CEILING-MOUNTED (WITH LENGTH AS INDICATED)</p> <p>SURFACE-MOUNTED TRACK LIGHT FIXTURE, CEILING-MOUNTED (WITH LENGTH AS INDICATED)</p> <p>EMERGENCY LIGHT FIXTURE WITH BATTERY PACK, CEILING OR WALL-MOUNTED</p> <p>EXIT LIGHT FIXTURE WITH BATTERY BACK-UP CEILING OR WALL-MOUNTED (WITH DIRECTIONAL ARROWS AS REQUIRED)</p>	<p>GENERAL CONDITIONS: AIA DOCUMENT A201, GENERAL CONDITIONS FOR THE PERFORMANCE OF THE CONTRACT IS HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF THE WORK.</p> <p>EXISTING CONDITIONS: CONDITIONS SHOWN OF THE DRAWINGS ARE AS SHOWN ON THE ORIGINAL DRAWINGS AND AS OBSERVED ON THE SITE, BUT THEIR ACCURACY IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. NOTE: DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF THE DRAWINGS.</p> <p>PERMITS: THE CONTRACTOR SHALL OBTAIN AND PAY ALL CITY AND/OR COUNTY FEES RELATING TO PROJECT, EXCEPTING THE GENERAL PERMIT, WHICH IS THE RESPONSIBILITY OF THE OWNERS' AND IS REBURSABLE TO THE G.C.</p> <p>CODES: ALL WORK SHALL BE DONE IN COMPLIANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO: UNIFORM BUILDING CODES, NATIONAL ELECTRICAL, MECHANICAL, AND PLUMBING CODES, HEALTH DEPARTMENT REGULATIONS, FIRE AND SAFETY CODES, CITY AND/OR COUNTY ORDINANCES AND REGULATIONS AND OTHER CODES GOVERNING CONSTRUCTION.</p> <p>SITE RESPONSIBILITY: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING HEALTH AND SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR TO LIMIT TRAFFIC AND ACCESS TO THOSE AREAS WHERE WORK IS PERFORMED.</p> <p>CLEAN UP AND REPAIRS: THE CONSTRUCTION SITE SHALL BE MAINTAINED IN AN ORDERLY MANNER AT ALL TIMES WITH ALL DEBRIS REMOVED AT THE END OF EACH DAY. AT THE COMPLETION OF THE CONSTRUCTION REMOVE ALL EXCESS MATERIALS AND REFUSE FROM SITE. LEAVE ALL SURFACES WITHIN CONSTRUCTION SITE FREE FROM DUST, DIRT AND STAINS. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT AND OWNER.</p> <p>PATCHING: PROPERLY PREPARE SURFACES FOR RECEIVING THE SPECIFIED FINISHES INCLUDING PATCHING OF SURFACES ALTERED BY CONSTRUCTION. ON PATCHED AREAS OR AREAS WHERE A FINISH IS NOT SPECIFIED, THE FINISH SHALL MATCH ADJACENT MATERIAL IN CONSTRUCTION, COLOR AND TEXTURE.</p> <p>ALL WORK NOTED "N.I.C." OR NOT IN CONTRACT IS TO BE PROVIDED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR.</p> <p>"ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES ON THE SAME PLANE.</p> <p>"TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.</p> <p>DETAILS ARE USUALLY KEYS AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR, AND ARE REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.</p> <p>SCHEDULE: UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE CONTRACTOR SHALL ALSO SUBMIT A CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUBCONTRACTORS AND CONTRACTORS WORK AND A COST-BY-TRADE BREAKDOWN FOR USE IN SCHEDULING AND EVALUATING PAY REQUESTS.</p> <p>SUBSTITUTIONS: SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE APPROVAL BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.</p> <p>DAMAGE: THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT OR OWNER.</p> <p>GUARANTEES: THE CONTRACTOR SHALL GUARANTEE THAT THE PROJECT WILL BE FREE OF DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTES WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNERS' OR ARCHITECTS FAILURE TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTS OF WORKMANSHIP OR MATERIALS REVEALED WITHIN A PERIOD OF ONE YEAR FROM THE ACCEPTANCE SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT AT NO COST TO THE OWNER. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK.</p> <p>COLUMN CENTERLINES (ALSO REFERRED TO AS GRIDLINES) ARE SHOWN FOR DIMENSIONAL PURPOSES. (REFER TO BASE BUILDING DRAWINGS FOR EXACT LOCATIONS).</p> <p>CONSTRUCTION HOURS: VERIFY WITH CITY OF BERKELEY FOR CONSTRUCTION HOURS</p> <p>ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION. THE BUILDING OWNER, PROJECT DESIGNER AND/OR CONTRACTOR MUST SUBMIT A REVISION TO THE CITY FOR ANY WORK NOT GRAPHICALLY ILLUSTRATED ON THE JOB COPY OF THE PLANS PRIOR TO PERFORMING THE WORK.</p> <p>AN OSHA PERMIT TO BE OBTAINED FOR THE SHORING AT THE EXCAVATION IN THE BASEMENT PER CAL/OSHA REQUIREMENTS. SEE CAL/OSHA HANDBOOK.</p> <p>*CONSTRUCTION SAFETY ORDERS: CHAPTER 4, SUBCHAPTER 4, ARTICLE 6, SECTION 1541.1.</p> <p>GRADING PERMIT, IF REQUIRED, TO BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.</p> <p>WHEN PLANS ARE SUBMITTED FOR BUILDING CODE PLAN CHECK, THEY WILL INCLUDE A COMPLETE UNDERGROUND PLUMBING PLAN INCLUDING COMPLETE DETAILS FOR THE LOCATION OF ALL REQUIRED GREASE TRAPS AND CITY-REQUIRED BACKWATER PREVENTION DEVICES.</p>	<p>ADDRESS: 2127 DWIGHT WAY, BERKELEY, CA 94704</p> <p>PARCEL NUMBER: 55-1890-7, 55-1890-8, 55-1890-9, 55-1890-10</p> <p>LOT SIZE: ±24,300 SQ. FT.</p> <p>CONSTRUCTION TYPE: I-A & III-A</p> <p>FIRE RATINGS:</p> <table border="1"> <thead> <tr> <th>TYPE I-A (CBC TABLE 601)</th> <th>TYPE III-A (CBC TABLE 601)</th> </tr> </thead> <tbody> <tr> <td>PRIMARY STRUCTURAL FRAME: 3-HOUR (CBC TABLE 601)</td> <td>PRIMARY STRUCTURAL FRAME: 1-HOUR (CBC TABLE 601)</td> </tr> <tr> <td>BEARING EXTERIOR WALLS: 3-HOUR (CBC TABLE 601)</td> <td>BEARING EXTERIOR WALLS: 2-HOUR (CBC TABLE 601)</td> </tr> <tr> <td>BEARING INTERIOR WALLS: 3-HOUR (CBC TABLE 601)</td> <td>BEARING INTERIOR WALLS: 1-HOUR (CBC TABLE 601)</td> </tr> <tr> <td>NON-BEARING EXTERIOR WALLS: VARIES (CBC TABLE 601)</td> <td>NON-BEARING EXTERIOR WALLS: NO RATING (CBC TABLE 601)</td> </tr> <tr> <td>NON-BEARING INTERIOR WALLS: NO RATING (CBC TABLE 601)</td> <td>NON-BEARING INTERIOR WALLS: NO RATING (CBC TABLE 601)</td> </tr> <tr> <td>FLOOR CONSTRUCTION: 2-HOUR (CBC TABLE 601)</td> <td>FLOOR CONSTRUCTION: 1-HOUR (CBC TABLE 601)</td> </tr> <tr> <td>ROOF CONSTRUCTION: 1.5-HOUR (CBC TABLE 601)*</td> <td>ROOF CONSTRUCTION: 1-HOUR (CBC TABLE 601)</td> </tr> </tbody> </table> <p>*HORIZONTAL BUILDING SEPARATION TO BE 2-HOUR RATED ** FULLY SPRINKLERED WITH SPRINKLER SYSTEM PER 2022 CBC 903.3.1.1</p> <table border="1"> <thead> <tr> <th>LOCATION</th> <th>BUILDING 01 (GROUND FLOOR)</th> <th>BUILDING 02 (2ND-6TH FLOOR)</th> <th>BUILDING 03 (2ND-6TH FLOOR)</th> </tr> </thead> <tbody> <tr> <td>PROPOSED OCCUPANCY</td> <td>R-2 (RESIDENTIAL)</td> <td>R-2 (RESIDENTIAL)</td> <td>R-2 (RESIDENTIAL)</td> </tr> <tr> <td>CONSTRUCTION*</td> <td>TYPE I-A</td> <td>TYPE III-A</td> <td>TYPE III-A</td> </tr> <tr> <td>SPRINKLERED</td> <td>YES</td> <td>YES</td> <td>YES</td> </tr> <tr> <td>AREA</td> <td></td> <td></td> <td></td> </tr> <tr> <td>ALLOWABLE AREA PER STORY (2022 CBC TABLE 506.2)</td> <td>UNLIMITED</td> <td>24,000 SF x 2 = 48,000 SF**</td> <td>24,000 SF x 2 = 48,000 SF**</td> </tr> <tr> <td>TOTAL PROPOSED AREA</td> <td>12,865 SF</td> <td>43,415 SF</td> <td>17,615 SF</td> </tr> <tr> <td>HEIGHT & STORES</td> <td></td> <td></td> <td></td> </tr> <tr> <td>ALLOWABLE HEIGHT (2022 CBC TABLE 504.3)</td> <td>UNLIMITED</td> <td>85'-0" (S WITHOUT AREA INCREASE**)</td> <td>85'-0" (S WITHOUT AREA INCREASE**)</td> </tr> <tr> <td>PROPOSED HEIGHT</td> <td>UNLIMITED</td> <td>68'-0" TO T.O. 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TO INCLUDE: (88) NEW RESIDENTIAL UNITS, (8) EXISTING RESIDENTIAL UNITS, GROUND FLOOR AMENITY SPACES, AND OPEN SPACE.</p> <p>SUMMARY / SCOPE OF WORK</p> <table border="1"> <thead> <tr> <th>REQUIRED</th> <th>PROVIDED</th> </tr> </thead> <tbody> <tr> <td>1 space/3BR</td> <td>83</td> </tr> <tr> <td>1 space/40BR</td> <td>7</td> </tr> <tr> <td>83</td> <td>83</td> </tr> <tr> <td>7</td> <td>7</td> </tr> <tr> <td>N/A</td> <td>N/A</td> </tr> <tr> <td>102</td> <td>102</td> </tr> <tr> <td>102</td> <td>102</td> </tr> <tr> <td>8</td> <td>8</td> </tr> <tr> <td>8</td> <td>8</td> </tr> </tbody> </table>	REQUIRED	PROVIDED	1 space/3BR	83	1 space/40BR	7	83	83	7	7	N/A	N/A	102	102	102	102	8	8	8	8	<p>2127 DWIGHT WAY BERKELEY, CA</p> <p>PROJECT NO. 17-12.10</p> <p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>04-24-2023</td> <td>PLANNING SUBMITTAL</td> <td></td> </tr> <tr> <td>06-30-2023</td> <td>PLANNING RESUBMITTAL</td> <td></td> </tr> <tr> <td>09-29-2023</td> <td>PLANNING REV. 01</td> <td></td> </tr> <tr> <td>04-18-2024</td> <td>FINAL DESIGN REVIEW</td> <td></td> </tr> </tbody> </table> <p>CONTACT: TOBY LEVY</p> <p>(415) 777-0561 P (415) 777-5117 F</p> <p>SCALE: AS NOTED</p> <p>COVER SHEET</p> <p>GO.00</p>	REV	DATE	DESCRIPTION	04-24-2023	PLANNING SUBMITTAL		06-30-2023	PLANNING RESUBMITTAL		09-29-2023	PLANNING REV. 01		04-18-2024	FINAL DESIGN REVIEW	
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<p>APPLICABLE CODES AND REGULATIONS</p> <p>2022 CBC CHAPTER 35: PROVIDE ALL THE APPLICABLE/ADOPTED STANDARDS, WHERE A PARTICULAR STANDARD IS REFERENCED IN THE CODE BUT DOES NOT APPEAR AS AN ADOPTED STANDARD IT STILL MAY BE USED. APPLY ONLY THE PORTION OF THE STANDARD THAT IS APPLICABLE TO THE CODE SECTION WHERE STANDARD IS REFERENCED, NOT THE ENTIRE SECTION.</p> <p>APPLICABLE CODES:</p> <ul style="list-style-type: none"> 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24, CCR 2022 CALIFORNIA BUILDING CODE, PART 2, TITLE 24, CCR 2022 CALIFORNIA ELECTRICAL CODE, PART 3, TITLE 24, CCR 2022 CALIFORNIA MECHANICAL CODE, PART 4, TITLE 24, CCR 2022 CALIFORNIA PLUMBING CODE, PART 5, TITLE 24, CCR 2022 CALIFORNIA ENERGY CODE, PART 6, TITLE 24, CCR 2022 CALIFORNIA SAFETY CODE FOR ELEVATORS AND ESCALATORS (ASME A17.1-2010) 2022 CALIFORNIA HISTORICAL BUILDING CODE, PART 8, TITLE 24, CCR 2022 CALIFORNIA FIRE CODE, PART 9, TITLE 24, CCR 2022 CALIFORNIA EXISTING BUILDING CODE, PART 10, TITLES 24 CCR 2022 CALIFORNIA "GREEN" BUILDING REQUIREMENTS, PART 11, TITLE 24 CCR 2022 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 CCR TITLE 8 CCR CH. 4 SUB-CH. 9 - ELEVATOR SAFETY ORDERS TITLE 19 CCR, PUBLIC SAFETY - STATE FIRE MARSHAL REGULATIONS THIS DESIGN IS IN COMPLIANCE WITH THE FAIR HOUSING ACT DESIGN REFERENCE MANUAL. CALIFORNIA CODE OF REGULATIONS TITLE 8 ELEVATOR SAFETY ORDERS UNIFORM FEDERAL ACCESSIBILITY STANDARDS INCLUDING ANY AMENDMENTS AS ADOPTED IN ORDINANCE 1856-2010 AS WELL AS ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS <p>APPLICABLE STANDARDS:</p> <ul style="list-style-type: none"> NFPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHERS, 2022 EDITION NFPA 13 AUTOMATIC SPRINKLER SYSTEMS, 2022 EDITION NFPA 14 STANDPIPE SYSTEMS, 2022 EDITION NFPA 17 DRY CHEMICAL EXTINGUISHING SYSTEMS, 2021 EDITION NFPA 17a WET CHEMICAL SYSTEMS, 2021 EDITION NFPA 20 STATIONARY PUMPS, 2022 EDITION NFPA 24 PRIVATE FIRE MAINS, 2022 EDITION NFPA 72 NATIONAL FIRE ALARM CODE, 2022 EDITION NFPA 253 CRITICAL RADIANT FLUX OF FLOOR COVERING SYSTEMS, 2023 EDITION NFPA 2001 CLEAN AGENT FIRE EXTINGUISHING SYSTEMS, 2022 EDITION ASME 17.1 ELEVATOR STANDARD, 2019 EDITION ASME/ANSI A18.5 SAFETY STANDARD FOR PLATFORM LIFTS AND STAIRWAY CHAIR LIFTS ADA STANDARDS FOR ACCESSIBLE DESIGN, ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG), (28 CFR PART 36, APPENDIX A) 		<p>BUILDING DATA</p> <p>ADDRESS: 2127 DWIGHT WAY, BERKELEY, CA 94704</p> <p>PARCEL NUMBER: 55-1890-7, 55-1890-8, 55-1890-9, 55-1890-10</p> <p>LOT SIZE: ±24,300 SQ. FT.</p> <p>CONSTRUCTION TYPE: I-A & III-A</p> <p>FIRE RATINGS:</p> <table border="1"> <thead> <tr> <th>TYPE I-A (CBC TABLE 601)</th> <th>TYPE III-A (CBC TABLE 601)</th> </tr> </thead> <tbody> <tr> <td>PRIMARY STRUCTURAL FRAME: 3-HOUR (CBC TABLE 601)</td> <td>PRIMARY STRUCTURAL FRAME: 1-HOUR (CBC TABLE 601)</td> </tr> <tr> <td>BEARING EXTERIOR WALLS: 3-HOUR (CBC TABLE 601)</td> <td>BEARING EXTERIOR WALLS: 2-HOUR (CBC TABLE 601)</td> </tr> <tr> <td>BEARING INTERIOR WALLS: 3-HOUR (CBC TABLE 601)</td> <td>BEARING INTERIOR WALLS: 1-HOUR (CBC TABLE 601)</td> </tr> <tr> <td>NON-BEARING EXTERIOR WALLS: VARIES (CBC TABLE 601)</td> <td>NON-BEARING EXTERIOR WALLS: NO RATING (CBC TABLE 601)</td> </tr> <tr> <td>NON-BEARING INTERIOR WALLS: NO RATING (CBC TABLE 601)</td> <td>NON-BEARING INTERIOR WALLS: NO RATING (CBC TABLE 601)</td> </tr> <tr> <td>FLOOR CONSTRUCTION: 2-HOUR (CBC TABLE 601)</td> <td>FLOOR CONSTRUCTION: 1-HOUR (CBC TABLE 601)</td> </tr> <tr> <td>ROOF CONSTRUCTION: 1.5-HOUR (CBC TABLE 601)*</td> <td>ROOF CONSTRUCTION: 1-HOUR (CBC TABLE 601)</td> </tr> </tbody> </table> <p>*HORIZONTAL BUILDING SEPARATION TO BE 2-HOUR RATED ** FULLY SPRINKLERED WITH SPRINKLER SYSTEM PER 2022 CBC 903.3.1.1</p> <table border="1"> <thead> <tr> <th>LOCATION</th> <th>BUILDING 01 (GROUND FLOOR)</th> <th>BUILDING 02 (2ND-6TH FLOOR)</th> <th>BUILDING 03 (2ND-6TH FLOOR)</th> </tr> </thead> <tbody> <tr> <td>PROPOSED OCCUPANCY</td> <td>R-2 (RESIDENTIAL)</td> <td>R-2 (RESIDENTIAL)</td> <td>R-2 (RESIDENTIAL)</td> </tr> <tr> <td>CONSTRUCTION*</td> <td>TYPE I-A</td> <td>TYPE III-A</td> <td>TYPE III-A</td> </tr> <tr> <td>SPRINKLERED</td> <td>YES</td> <td>YES</td> <td>YES</td> </tr> <tr> <td>AREA</td> <td></td> <td></td> <td></td> </tr> <tr> <td>ALLOWABLE AREA PER STORY (2022 CBC TABLE 506.2)</td> <td>UNLIMITED</td> <td>24,000 SF x 2 = 48,000 SF**</td> <td>24,000 SF x 2 = 48,000 SF**</td> </tr> <tr> <td>TOTAL PROPOSED AREA</td> <td>12,865 SF</td> <td>43,415 SF</td> <td>17,615 SF</td> </tr> <tr> <td>HEIGHT & STORES</td> <td></td> <td></td> <td></td> </tr> <tr> <td>ALLOWABLE HEIGHT (2022 CBC TABLE 504.3)</td> <td>UNLIMITED</td> <td>85'-0" (S WITHOUT AREA INCREASE**)</td> <td>85'-0" (S WITHOUT AREA INCREASE**)</td> </tr> <tr> <td>PROPOSED HEIGHT</td> <td>UNLIMITED</td> <td>68'-0" TO T.O. 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2127-2159 DWIGHT WAY
BERKELEY, CA

NOT FOR CONSTRUCTION



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2127-2159 DWIGHT WAY
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2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-12.10

REV	DATE	DESCRIPTION
04-24-2023	04-24-2023	PLANNING SUBMITTAL
06-30-2023	06-30-2023	PLANNING RESUBMITTAL
09-29-2023	09-29-2023	PLANNING REV. 01
04-18-2024	04-18-2024	FINAL DESIGN REVIEW

CONTACT: TOBY LEVY

(415) 777-0561 P
 (415) 777-5117 F

SCALE:
 AS NOTED

EXISTING SITE
 CONDITIONS

G0.02



1. SITE (LOOKING NORTH-WEST FROM DWIGHT WAY)



2. SITE (LOOKING NORTH FROM DWIGHT WAY)



3. SITE (LOOKING NORTH-EAST FROM DWIGHT WAY)



4. 2121 DWIGHT WAY



5. 2161, 2175, 2185 DWIGHT WAY



6. 2201 DWIGHT WAY



7. 2104 DWIGHT WAY



8. 2122, 2126 DWIGHT WAY



9. 2132, 2138 DWIGHT WAY



10. 2150, 2160, 2170 DWIGHT WAY



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SCALE:
 AS NOTED

SITE PLAN:
 NEW

A1.01

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL, & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE G5 SERIES FOR ADDITIONAL CLEARANCES NOT SHOWN.
- SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS.
- SEE A5 SERIES FOR UNIT DIMENSIONS, UNIT WALL TYPES, UNIT DOOR TAGS, AND UNIT REFLECTED CEILING PLANS.
- SEE A8 SERIES FOR WALL, FLOOR, & ROOF ASSEMBLIES.
- SEE A9 SERIES FOR DOOR, WINDOW & FINISH SCHEDULE.
- SEE A10 SERIES FOR TYPICAL FOUNDATION DETAILS.
- SEE A11 SERIES FOR GENERAL ACOUSTICAL DETAILS.
- SEE A11 SERIES FOR PENETRATION DETAILS (2022 CBC SECTION 714).
- PER PLANS, PROVIDE 1-HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (2022 CBC SECTION 1206).
- CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
- S.M.D. FOR EXHAUST SHAFTS PENETRATIONS REQUIRING FIRE DAMPERS (2022 CBC SECTION 713).
- PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL & FIRE LINES THROUGHOUT.
- ALL STRUCTURAL COLUMNS AND POSTS AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS ARE TO BE FIRE RATED. IF COLUMNS & POSTS ARE WITHIN WALL, COLUMNS & POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMNS & POSTS ARE EXPOSED, COLUMNS & POSTS ARE TO BE SPRAYED WITH INTUMESCENT PAINT UNLESS NOTED AS HEAVY TIMBER OR GLU-LAM. SEE A8 SERIES FOR ADDITIONAL INFORMATION.
- 5LB. CLASS ABA FIRE EXTINGUISHER SPACED SO THAT EVERY INTERIOR SPACE IS WITHIN 75' OF ANY EXTINGUISHER. CABINET TO NOT PROTRUDE MORE THAN 4" OF WALKWAYS. SEE A11 SERIES FOR RECESS CABINET INSTALLATION DETAIL.

SHEET NOTES

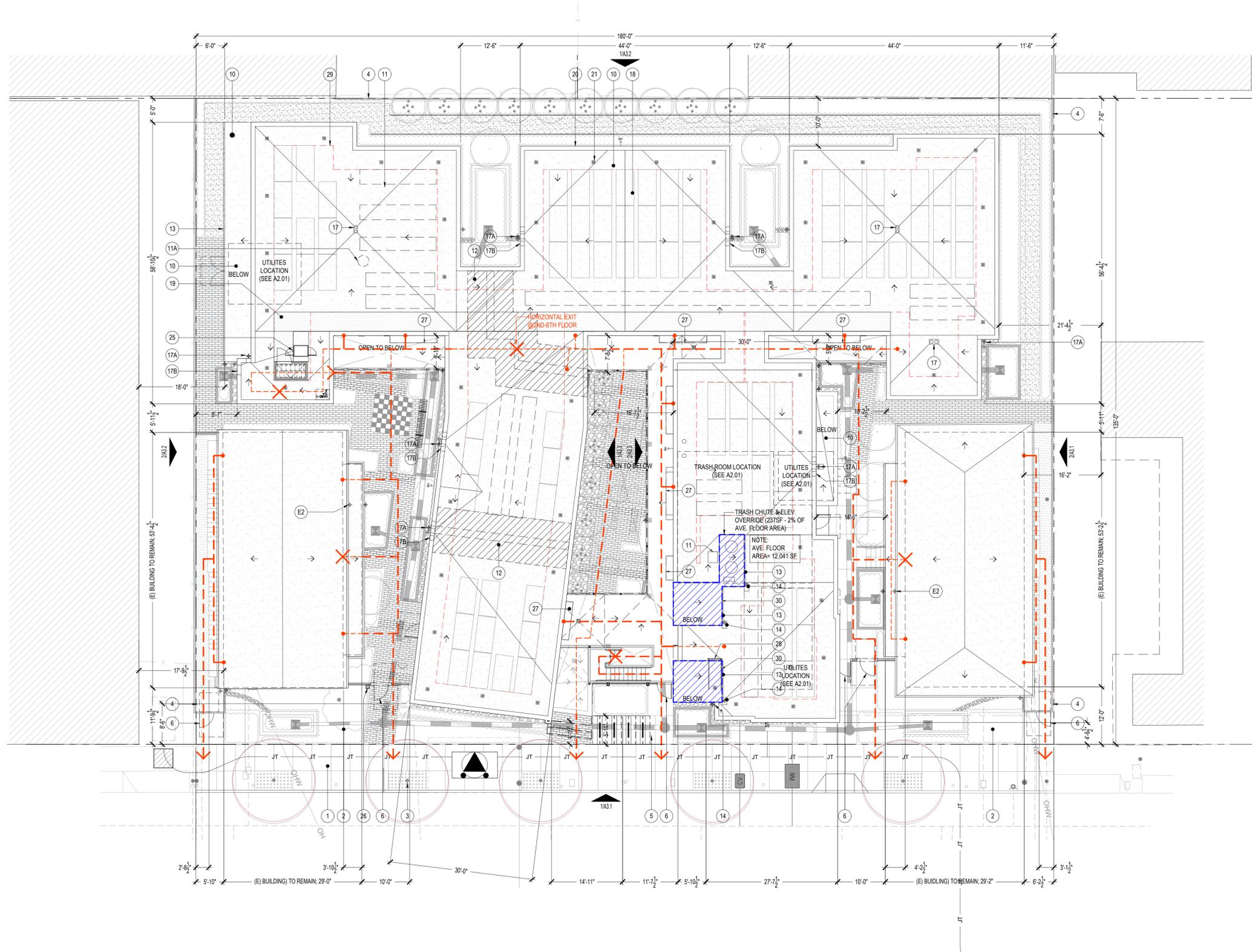
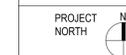
- | | |
|-----|---|
| 1 | REPLACE (E) SIDEWALK CONCRETE, CURB & GUTTER, S.C.D. & S.L.D. |
| 2 | (N) LANDSCAPING, S.L.D. |
| 3 | (N) & (E) STREET TREE TYP., S.L.D. |
| 4 | (N) FENCING, S.L.D. |
| 5 | (N) BIKE RACKS, S.L.D. |
| 6 | (N) PEDESTRIAN GATE, DOOR SCHEDULE & S.L.D. |
| 10 | ROOF, SLOPE MIN. 1/4" PER FT TO DRAIN; SEE A8 SERIES. |
| 11 | MECHANICAL AND/OR PLUMBING EQUIPMENT; S.M.D. & S.P.D. SEE 9/A10.07B FOR CURB |
| 11A | MECHANICAL AND/OR PLUMBING EQUIPMENT; S.M.D. & S.P.D. SEE 10/A10.07B FOR CURB |
| 12 | NO ROOF OPENINGS WITHIN 4' OF FIREWALL. ALL ROOF SHEATHING WITHIN 4' OF FIREWALL TO BE FRT |
| 13 | GSM GUTTER, PAINT, SEE 1/A10.07A |
| 14 | RAIN WATER LEADER (GALVANIZED); PAINT TO MATCH ADJACENT FINISH, SEE 56/A10.07B |
| 17 | ROOF DRAIN W/ OVERFLOW, SEE 7/A10.07B |
| 17A | EXTERIOR ROOF SCUPPER TO DOWNSPOUT, SEE 11/A10.07A |
| 17B | OVERFLOW PARAPET ROOF SCUPPER, SEE 12/A10.07A |
| 17C | ROOF OVERFLOW DRAIN |
| 18 | SOLAR PANELS; SEE SOLAR DRAWINGS, SEE 10/A10.07B |
| 19 | ROOFTOP WALK PADS, 4" MIN. WIDTH, TYP. |
| 20 | ROOF PARAPET, 42" A.F.F.; SEE 12/A10.07B |
| 21 | EXTERIOR BUILDING MAINTENANCE TIEBACK ANCHOR; SEE EBM DRAWINGS, SEE 9/A10.07B, TYP. |
| 23 | CLASS A (2-A-10-B-C) FIRE EXTINGUISHER IN RECESSED CABINET, 4" CLR. BTWN. FLR. & B.O. EXTINGUISHER, SEE 6&7/A11.048 & SEE SPECS |
| 24 | ELECTRICAL PANELS, S.E.D. |
| 25 | ERRCS OUTDOOR ENCLOSURE O/ ROOF CURB |
| 26 | KNOX BOX KEY BOX, 3200 SERIES, 6'-0" A.F.F.; CONTRACTOR TO COORDINATE WITH FIRE DEPARTMENT. |
| 27 | EXTRUDED ALUMINUM ARCHITECTURAL CANOPY BELOW, SEE 3/A11.06B |
| 28 | OSHA COMPLIANT ACCESS LADDER W/ 42" HIGH OSHA COMPLIANT GUARDRAIL EXTENSIONS FOR MAINTENANCE; SEE 17/A11.01A |
| 29 | 4" CLR. PERIMETER AROUND THE EDGES OF ROOF PER CFC 1205.3.1 EXC. |
| 30 | EXTERIOR FIRE RATED ACCESS ENCLOSURE FOR SMOKE DETECTOR AT ELEVATOR |
| E2 | RELOCATE DOWNSPOUT AT (E) BUILDING TO (N) C3 PLANTER; S.P.D., S.L.D. |

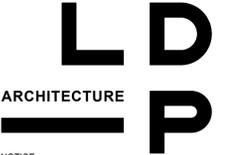
LEGEND

- NON-OCCUPIABLE ROOF; SEE A8 SERIES
- ROOF SLOPE; MIN. 1:48
- PROPERTY LINE
- 1-HR FIRE RATED WALL
- 2-HR FIRE RATED WALL
- 3-HR FIRE RATED WALL
- PATH FROM RESIDENTIAL TO PUBLIC RIGHT OF WAY
- STRUCTURES ABOVE HEIGHT LIMIT (2% OF AVG. FLOOR AREA)

DIMENSION NOTES

- WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD; U.O.N.
- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.





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2127-2159 DWIGHT WAY
 BERKELEY, CA

NOT FOR
 CONSTRUCTION

2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-12-10

REV	DATE	DESCRIPTION
04-24-2023	PLANNING SUBMITTAL	
06-30-2023	PLANNING RESUBMITTAL	
09-29-2023	PLANNING REV. 01	
04-18-2024	FINAL DESIGN REVIEW	

CONTACT: TOBY LEVY

(415) 777-0561 P
 (415) 777-5117 F

SCALE:
 AS NOTED

FLOOR PLAN:
 GROUND FLOOR

A2.01

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL, & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE G5 SERIES FOR ADDITIONAL CLEARANCES NOT SHOWN.
- SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS.
- SEE A5 SERIES FOR UNIT DIMENSIONS, UNIT WALL TYPES, UNIT DOOR TAGS, AND UNIT REFLECTED CEILING PLANS.
- SEE A8 SERIES FOR WALL, FLOOR, & ROOF ASSEMBLIES.
- SEE A9 SERIES FOR DOOR, WINDOW & FINISH SCHEDULE.
- SEE A10 SERIES FOR TYPICAL FOUNDATION DETAILS.
- SEE A11 SERIES FOR GENERAL ACOUSTICAL DETAILS.
- SEE A11 SERIES FOR PENETRATION DETAILS (2022 CBC SECTION 714).
- PER PLANS, PROVIDE 1-HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (2022 CBC SECTION 1206).
- CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
- S.M.D. FOR EXHAUST SHAFTS PENETRATIONS REQUIRING FIRE DAMPERS (2022 CBC SECTION 713).
- PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL & FIRE LINES THROUGHOUT.
- ALL STRUCTURAL COLUMNS AND POSTS AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS ARE TO BE FIRE RATED. IF COLUMNS & POSTS ARE WITHIN WALL, COLUMNS & POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMNS & POSTS ARE EXPOSED, COLUMNS & POSTS ARE TO BE SPRAYED WITH INTUMESCENT PAINT UNLESS NOTED AS HEAVY TIMBER OR GLU-LAM. SEE A8 SERIES FOR ADDITIONAL INFORMATION.
- 5LB. CLASS ABA FIRE EXTINGUISHER SPACED SO THAT EVERY INTERIOR SPACE IS WITHIN 75' OF ANY EXTINGUISHER. CABINET TO NOT PROTRUDE MORE THAN 4" OF WALKWAYS. SEE A11 SERIES FOR RECESS CABINET INSTALLATION DETAIL.

SHEET NOTES

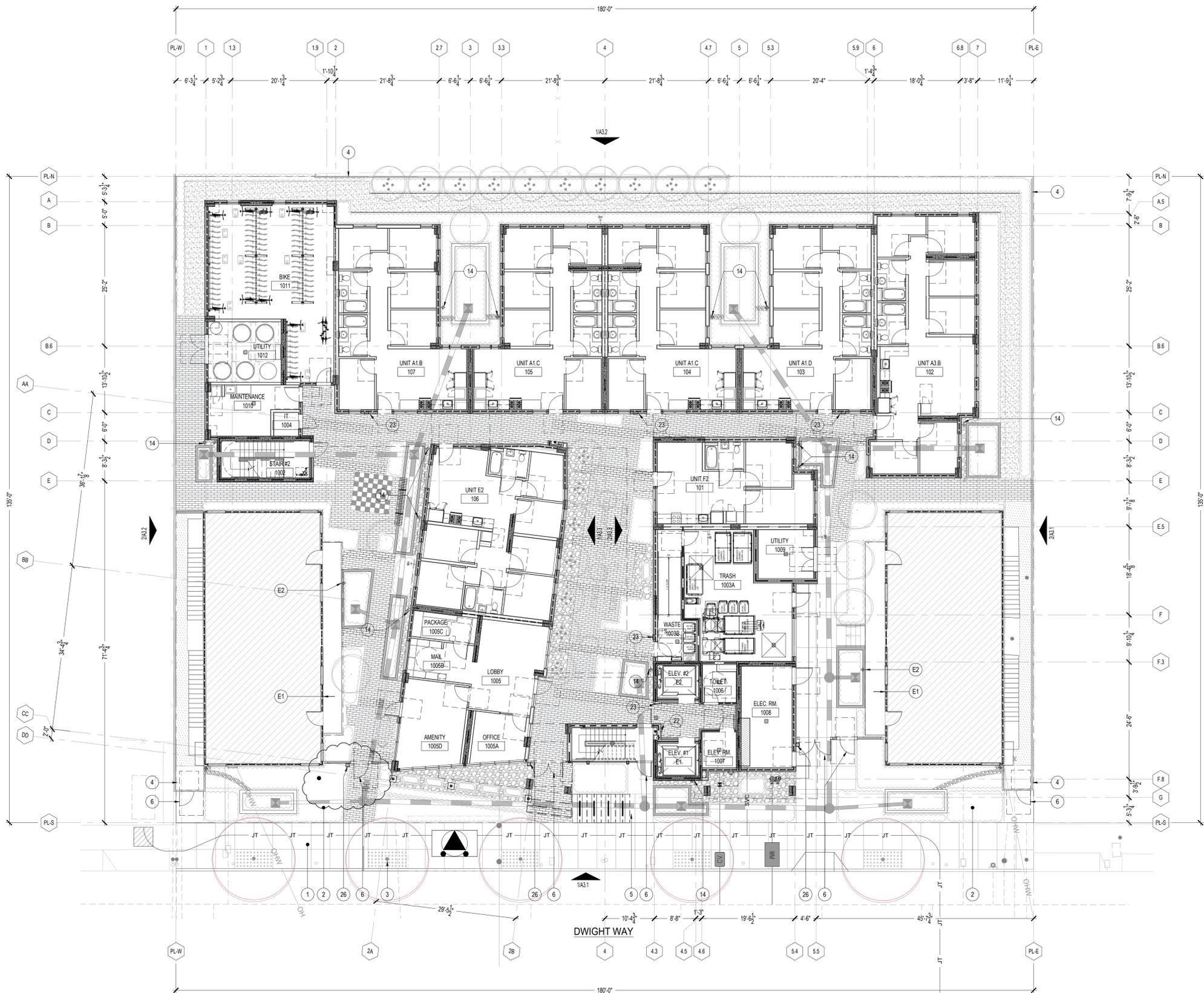
1	REPLACE (E) SIDEWALK CONCRETE, CURB & GUTTER, S.C.D. & S.L.D.
2	(N) LANDSCAPING, S.L.D.
3	(N) & (E) STREET TREE TYP.: S.L.D.
4	(N) FENCING, S.L.D.
5	(N) BIKE RACKS, S.L.D.
6	(N) PEDESTRIAN GATE, DOOR SCHEDULE & S.L.D.
14	RAIN WATER LEADER (GALVANIZED); PAINT TO MATCH ADJACENT FINISH, SEE 586/A10/07B
22	2-WAY COMMUNICATION
23	CLASS A (2-A-10-B-C) FIRE EXTINGUISHER IN RECESSED CABINET, 4" CLR. BTWN. FLR. & B.O. EXTINGUISHER. SEE 687/A11.04B & SEE SPECS
24	ELECTRICAL PANELS, S.E.D.
26	KNOX BOX KEY BOX, 3200 SERIES. ± 6'-0" A.F.F. CONTRACTOR TO COORDINATE WITH FIRE DEPARTMENT.
E1	REPAINT EXTERIOR WALL & TRIM AT EXISTING BUILDING
E2	RELOCATE DOWNSPOUT AT (E) BUILDING TO (N) C3 PLANTER, S.P.D., S.L.D.

LEGEND

- NON-OCCUPIABLE ROOF; SEE A8 SERIES
- ROOF SLOPE; MIN. 1:48
- PROPERTY LINE
- 1-HR FIRE RATED WALL
- 2-HR FIRE RATED WALL
- 3-HR FIRE RATED WALL

DIMENSION NOTES

- WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.





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2127-2159 DWIGHT WAY
 BERKELEY, CA

NOT FOR
 CONSTRUCTION

2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-12-10

REV	DATE	DESCRIPTION
04-24-2023	PLANNING SUBMITTAL	
06-30-2023	PLANNING RESUBMITTAL	
09-29-2023	PLANNING REV. 01	
04-18-2024	FINAL DESIGN REVIEW	

CONTACT: TOBY LEVY

(415) 777-0561 P
 (415) 777-5117 F

SCALE: AS NOTED

FLOOR PLAN:
 SECOND FLOOR

A2.02

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL, & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE G6 SERIES FOR ADDITIONAL CLEARANCES NOT SHOWN.
- SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS.
- SEE A5 SERIES FOR UNIT DIMENSIONS, UNIT WALL TYPES, UNIT DOOR TAGS, AND UNIT REFLECTED CEILING PLANS.
- SEE A8 SERIES FOR WALL, FLOOR, & ROOF ASSEMBLIES.
- SEE A9 SERIES FOR DOOR, WINDOW & FINISH SCHEDULE.
- SEE A10 SERIES FOR TYPICAL FOUNDATION DETAILS.
- SEE A11 SERIES FOR GENERAL ACOUSTICAL DETAILS.
- SEE A11 SERIES FOR PENETRATION DETAILS (2022 CBC SECTION 714).
- PER PLANS, PROVIDE 1-HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (2022 CBC SECTION 1206).
- CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
- S.M.D. FOR EXHAUST SHAFTS PENETRATIONS REQUIRING FIRE DAMPERS (2022 CBC SECTION 713).
- PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL & FIRE LINES THROUGHOUT.
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- SLB, CLASS ABA FIRE EXTINGUISHER SPACED SO THAT EVERY INTERIOR SPACE IS WITHIN 75' OF ANY EXTINGUISHER. CABINET TO NOT PROTRUDE MORE THAN 4" OF WALKWAYS. SEE A11 SERIES FOR RECESS CABINET INSTALLATION DETAIL.

SHEET NOTES

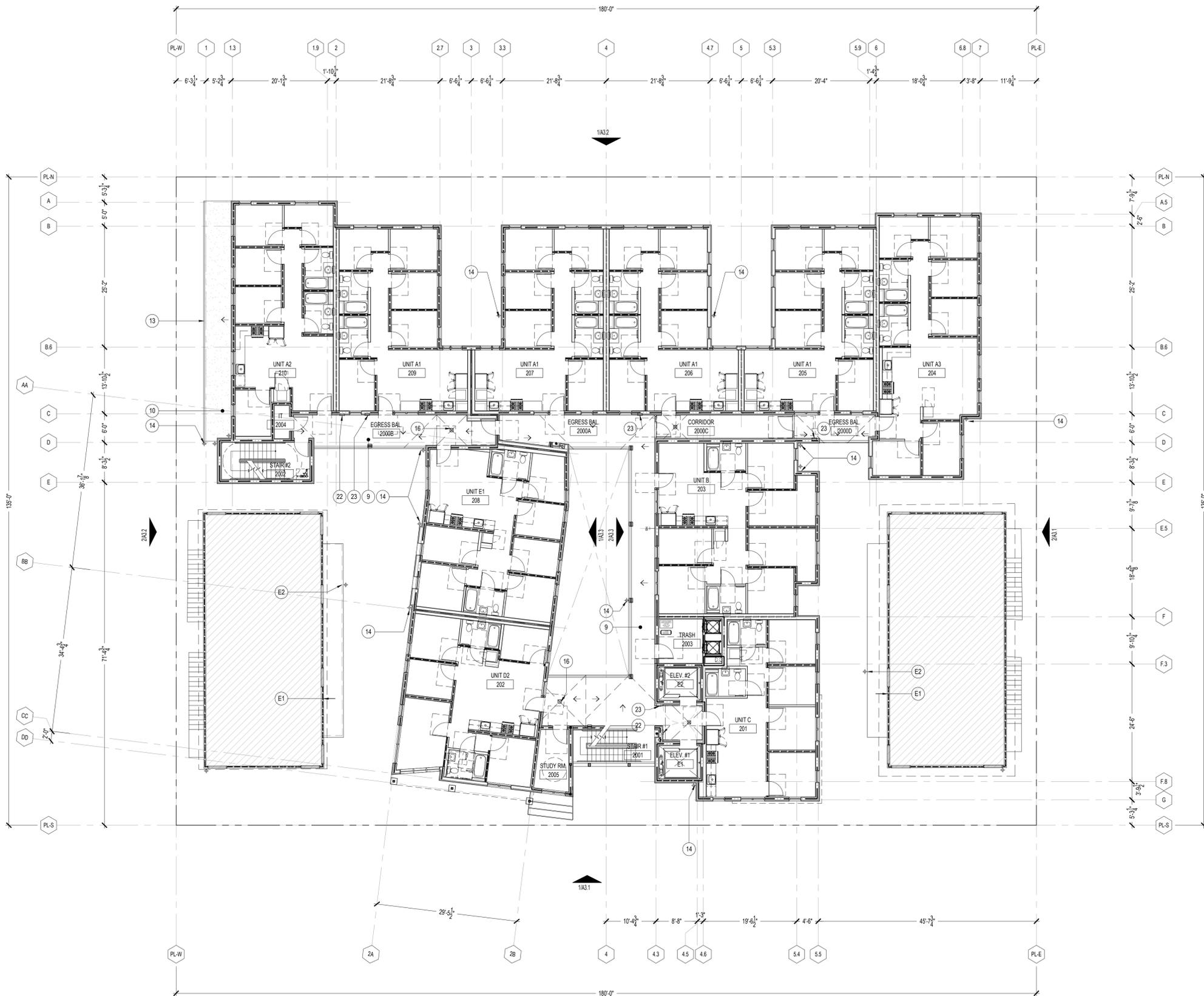
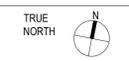
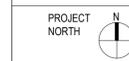
9	ACCESSIBLE EXTERIOR WALKWAY
10	ROOF, SLOPE MIN. 1/4" PER FT TO DRAIN, SEE A8 SERIES.
13	GSM GUTTER, PAINT, SEE 1/A10.07A
14	RAIN WATER LEADER (GALVANIZED); PAINT TO MATCH ADJACENT FINISH, SEE 586/A10.07B
16	FLOOR DRAIN WITH OVERFLOW WHERE OCCURS, S.P.D.
22	2-WAY COMMUNICATION
23	CLASS A (2-A-10-B-C) FIRE EXTINGUISHER IN RECESSED CABINET, 4" CLR. BTWN. FLR. & B.O. EXTINGUISHER. SEE 6&7/A11.04B & SEE SPECS
E1	REPAINT EXTERIOR WALL & TRIM AT EXISTING BUILDING
E2	RELOCATE DOWNSPOUT AT (E) BUILDING TO (N) C3 PLANTER; S.P.D., S.L.D.

LEGEND

- NON-OCCUPIABLE ROOF; SEE A8 SERIES
- ROOF SLOPE; MIN. 1:48
- PROPERTY LINE
- 1-HR FIRE RATED WALL
- 2-HR FIRE RATED WALL
- 3-HR FIRE RATED WALL

DIMENSION NOTES

- WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.





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2127-2159 DWIGHT WAY
 BERKELEY, CA

NOT FOR
 CONSTRUCTION

2127 DWIGHT WAY
 BERKELEY, CA

PROJECT NO. 17-12.10

REV	DATE	DESCRIPTION
04-24-2023	PLANNING SUBMITTAL	
06-30-2023	PLANNING RESUBMITTAL	
09-29-2023	PLANNING REV. 01	
04-18-2024	FINAL DESIGN REVIEW	

CONTACT: TOBY LEVY

(415) 777-0561 P
 (415) 777-5117 F

SCALE:
 AS NOTED

FLOOR PLAN:
 THIRD FLOOR

A2.03

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL, & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE G6 SERIES FOR ADDITIONAL CLEARANCES NOT SHOWN.
- SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS.
- SEE A5 SERIES FOR UNIT DIMENSIONS, UNIT WALL TYPES, UNIT DOOR TAGS, AND UNIT REFLECTED CEILING PLANS.
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- PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL & FIRE LINES THROUGHOUT.
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- 5LB. CLASS ABA FIRE EXTINGUISHER SPACED SO THAT EVERY INTERIOR SPACE IS WITHIN 75' OF ANY EXTINGUISHER. CABINET TO NOT PROTRUDE MORE THAN 4" OF WALKWAYS. SEE A11 SERIES FOR RECESS CABINET INSTALLATION DETAIL.

SHEET NOTES

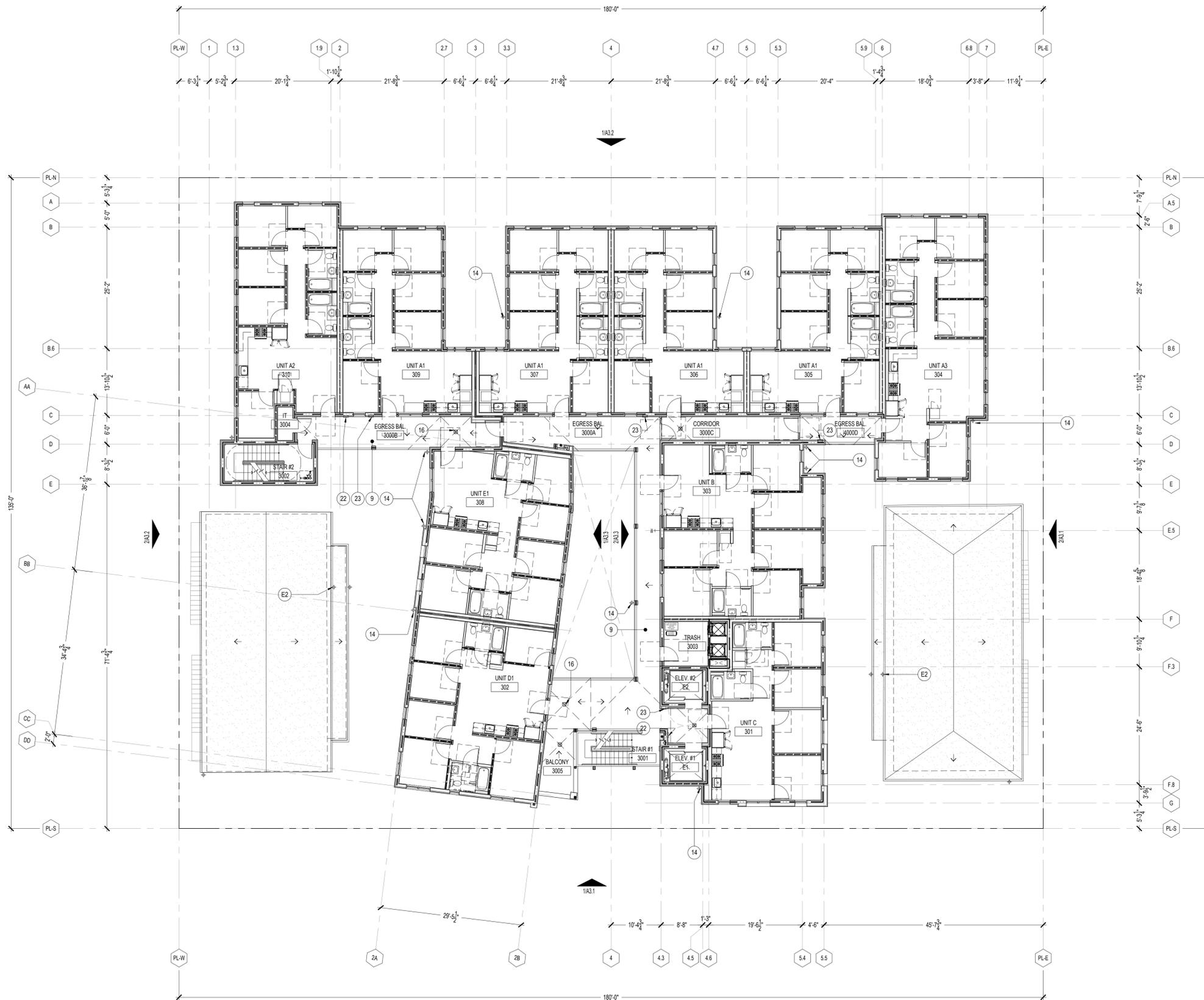
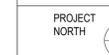
9	ACCESSIBLE EXTERIOR WALKWAY
10	ROOF, SLOPE MIN. 1/4" PER FT TO DRAIN; SEE A8 SERIES.
13	GSM GUTTER, PAINT, SEE 1/A10.07A
14	RAIN WATER LEADER (GALVANIZED); PAINT TO MATCH ADJACENT FINISH, SEE 5/6/A10.07B
16	FLOOR DRAIN WITH OVERFLOW WHERE OCCURS, S.P.D.
22	2-WAY COMMUNICATION
23	CLASS A (2-A-10-B-C) FIRE EXTINGUISHER IN RECESSED CABINET. 4" CLR. BTWN. FLR. & B.O. EXTINGUISHER. SEE 6/87/A11.04B & SEE SPECS
E1	REPAINT EXTERIOR WALL & TRIM AT EXISTING BUILDING
E2	RELOCATE DOWNSPOUT AT (E) BUILDING TO (N) C3 PLANTER; S.P.D., S.L.D.

LEGEND

	NON-OCCUPIABLE ROOF; SEE A8 SERIES
	ROOF SLOPE, MIN. 1:48
	PROPERTY LINE
	1-HR FIRE RATED WALL
	2-HR FIRE RATED WALL
	3-HR FIRE RATED WALL

DIMENSION NOTES

- WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD; U.O.N.
- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.





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2127-2159 DWIGHT WAY
 BERKELEY, CA

NOT FOR
 CONSTRUCTION

2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-12.10

REV	DATE	DESCRIPTION
04-24-2023	PLANNING SUBMITTAL	
06-30-2023	PLANNING RESUBMITTAL	
09-29-2023	PLANNING REV. 01	
04-18-2024	FINAL DESIGN REVIEW	

CONTACT: TOBY LEVY

(415) 777-0561 P
 (415) 777-5117 F

SCALE:
 AS NOTED

FLOOR PLAN:
 FOURTH FLOOR

A2.04

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL, & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE G5 SERIES FOR ADDITIONAL CLEARANCES NOT SHOWN.
- SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS.
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- SEE A11 SERIES FOR GENERAL ACOUSTICAL DETAILS.
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- CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
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- 5LB. CLASS ABA FIRE EXTINGUISHER SPACED SO THAT EVERY INTERIOR SPACE IS WITHIN 15' OF ANY EXTINGUISHER. CABINET TO NOT PROTRUDE MORE THAN 4" OF WALKWAYS. SEE A11 SERIES FOR RECESS CABINET INSTALLATION DETAIL.

SHEET NOTES

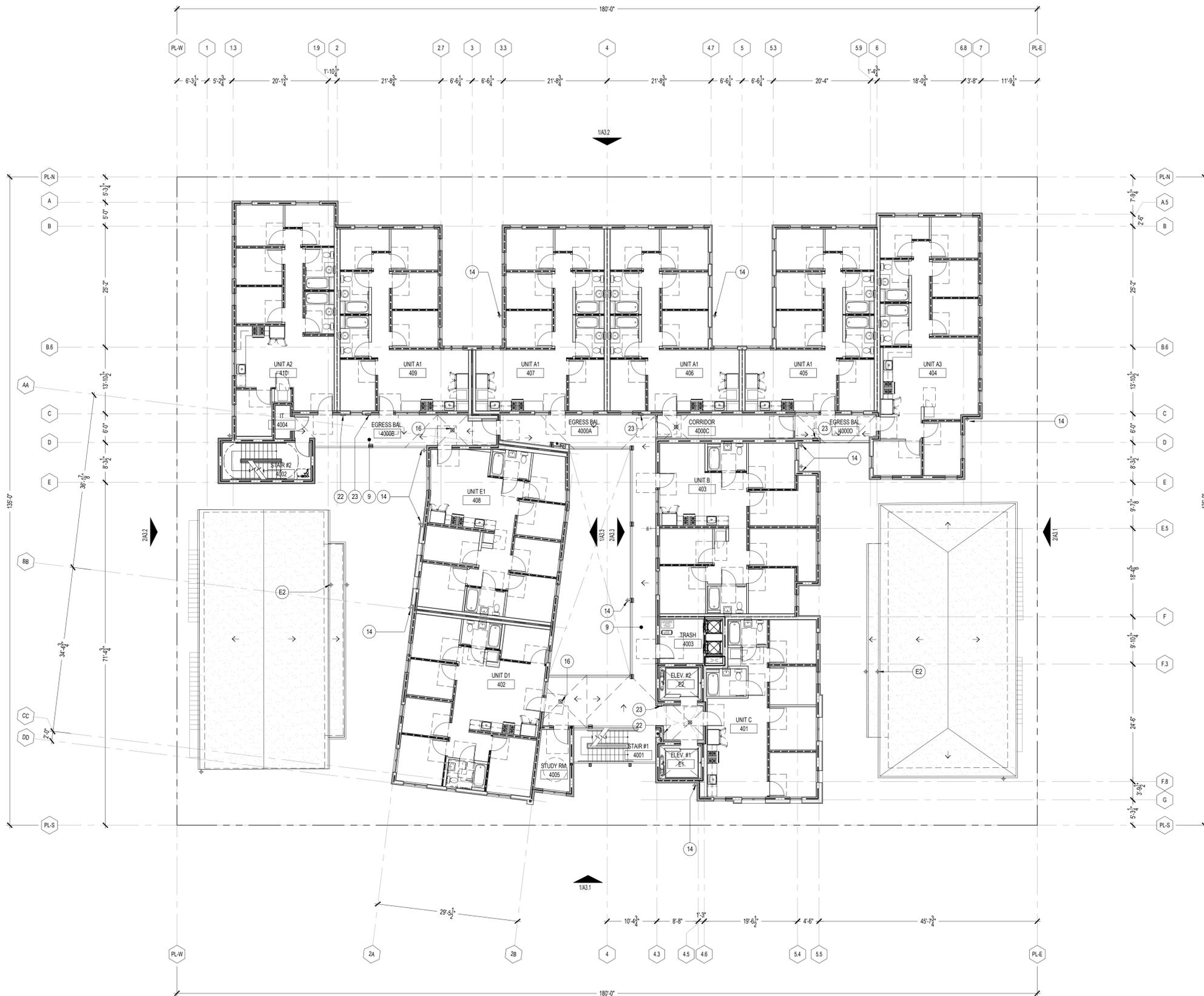
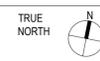
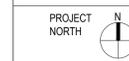
9	ACCESSIBLE EXTERIOR WALKWAY
10	ROOF, SLOPE MIN. 1/4" PER FT TO DRAIN. SEE A8 SERIES.
13	GSM GUTTER, PAINT. SEE 1/A10.07A
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22	2-WAY COMMUNICATION
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E2	RELOCATE DOWNSPOUT AT (E) BUILDING TO (N) C3 PLANTER; S.P.D., S.L.D.

LEGEND

	NON-OCCUPIABLE ROOF; SEE A8 SERIES
	ROOF SLOPE: MIN. 1:48
	PROPERTY LINE
	1-HR FIRE RATED WALL
	2-HR FIRE RATED WALL
	3-HR FIRE RATED WALL

DIMENSION NOTES

- WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
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2127-2159 DWIGHT WAY
 BERKELEY, CA

NOT FOR
 CONSTRUCTION

2127 DWIGHT WAY
 BERKELEY, CA

PROJECT NO. 17-12.10

REV	DATE	DESCRIPTION
04-24-2023	PLANNING SUBMITTAL	
06-30-2023	PLANNING RESUBMITTAL	
09-29-2023	PLANNING REV. 01	
04-18-2024	FINAL DESIGN REVIEW	

CONTACT: TOBY LEVY

(415) 777-0561 P
 (415) 777-5117 F

SCALE:
 AS NOTED

FLOOR PLAN:
 FIFTH FLOOR

A2.05

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL, & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
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SHEET NOTES

9	ACCESSIBLE EXTERIOR WALKWAY
10	ROOF, SLOPE MIN. 1/4" PER FT TO DRAIN; SEE A8 SERIES.
13	GSM GUTTER, PAINT, SEE 1/A10.07A
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16	FLOOR DRAIN WITH OVERFLOW WHERE OCCURS, S.P.D.
22	2-WAY COMMUNICATION
23	CLASS A (2-A-10-B-C) FIRE EXTINGUISHER IN RECESSED CABINET. 4" CLR. BTWN. FLR. & B.O. EXTINGUISHER. SEE 6/87/A11.04B & SEE SPECS
E1	REPAINT EXTERIOR WALL & TRIM AT EXISTING BUILDING
E2	RELOCATE DOWNSPOUT AT (E) BUILDING TO (N) C3 PLANTER; S.P.D., S.L.D.

LEGEND

- NON-OCCUPIABLE ROOF; SEE A8 SERIES
- ROOF SLOPE, MIN. 1:48
- PROPERTY LINE
- 1-HR FIRE RATED WALL
- 2-HR FIRE RATED WALL
- 3-HR FIRE RATED WALL

DIMENSION NOTES

- WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD; U.O.N.
- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.



1 PLAN: FIFTH FLOOR
 3/32"=1'-0"



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2127-2159 DWIGHT WAY
 BERKELEY, CA

NOT FOR
 CONSTRUCTION

2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-12.10

REV	DATE	DESCRIPTION
04-24-2023		PLANNING SUBMITTAL
06-30-2023		PLANNING RESUBMITTAL
09-29-2023		PLANNING REV. 01
04-18-2024		FINAL DESIGN REVIEW

CONTACT: TOBY LEVY

(415) 777-0561 P
 (415) 777-5117 F

SCALE:
 AS NOTED

FLOOR PLAN:
 SIXTH FLOOR

A2.06

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL, & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE G6 SERIES FOR ADDITIONAL CLEARANCES NOT SHOWN.
- SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS.
- SEE A5 SERIES FOR UNIT DIMENSIONS, UNIT WALL TYPES, UNIT DOOR TAGS, AND UNIT REFLECTED CEILING PLANS.
- SEE A8 SERIES FOR WALL, FLOOR, & ROOF ASSEMBLIES.
- SEE A9 SERIES FOR DOOR, WINDOW & FINISH SCHEDULE.
- SEE A10 SERIES FOR TYPICAL FOUNDATION DETAILS.
- SEE A11 SERIES FOR GENERAL ACOUSTICAL DETAILS.
- SEE A11 SERIES FOR PENETRATION DETAILS (2022 CBC SECTION 714).
- PER PLANS, PROVIDE 1-HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (2022 CBC SECTION 1206).
- CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
- S.M.D. FOR EXHAUST SHAFTS PENETRATIONS REQUIRING FIRE DAMPERS (2022 CBC SECTION 713).
- PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL & FIRE LINES THROUGHOUT.
- ALL STRUCTURAL COLUMNS AND POSTS AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS ARE TO BE FIRE RATED. IF COLUMNS & POSTS ARE WITHIN WALL, COLUMNS & POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMNS & POSTS ARE EXPOSED, COLUMNS & POSTS ARE TO BE SPRAYED WITH INTUMESCENT PAINT UNLESS NOTED AS HEAVY TIMBER OR GLU-LAM. SEE A8 SERIES FOR ADDITIONAL INFORMATION.
- 5LB. CLASS ABA FIRE EXTINGUISHER SPACED SO THAT EVERY INTERIOR SPACE IS WITHIN 75' OF ANY EXTINGUISHER. CABINET TO NOT PROTRUDE MORE THAN 4" OF WALKWAYS. SEE A11 SERIES FOR RECESS CABINET INSTALLATION DETAIL.

SHEET NOTES

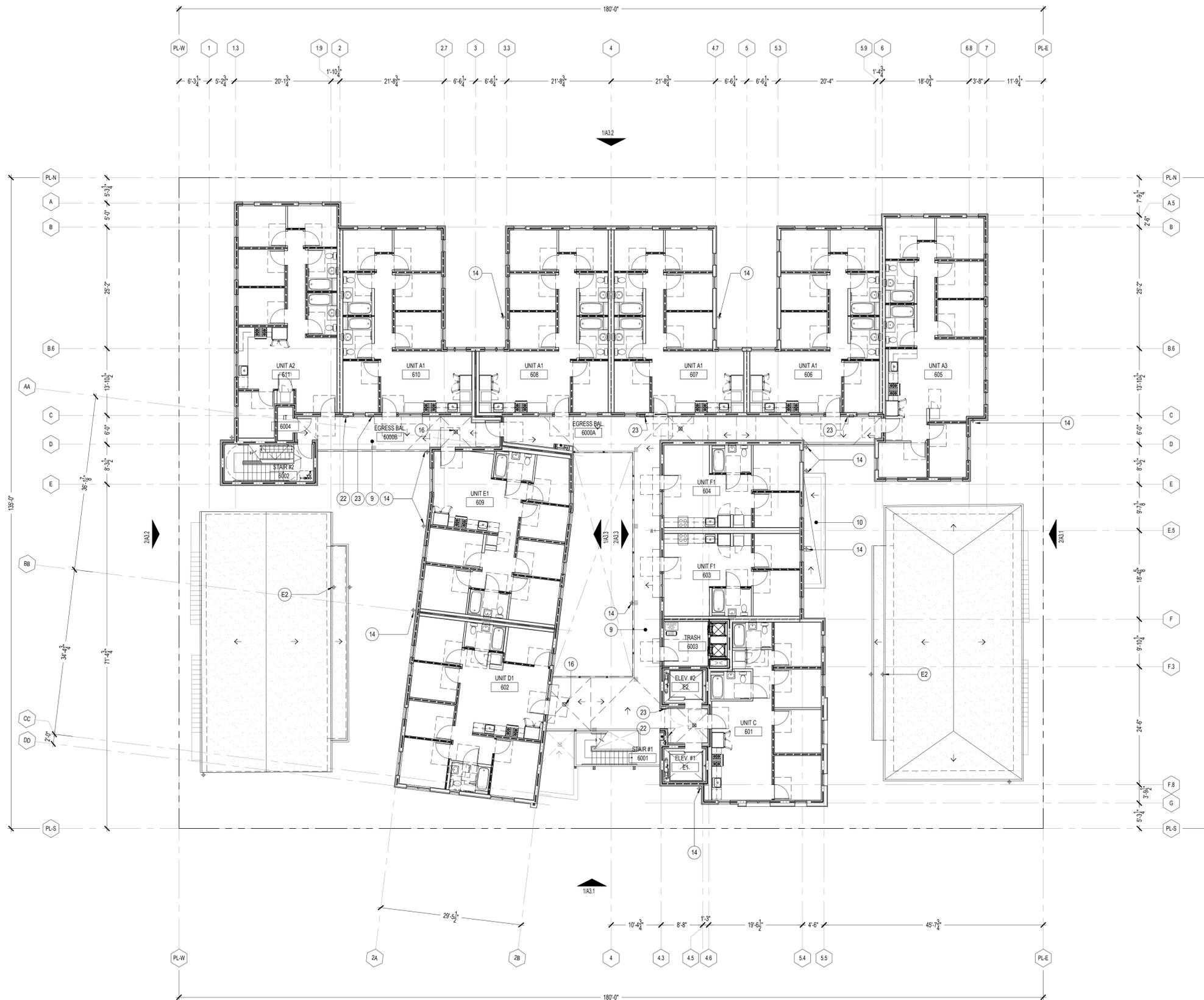
9	ACCESSIBLE EXTERIOR WALKWAY
10	ROOF, SLOPE MIN. 1/4" PER FT TO DRAIN; SEE A8 SERIES.
13	GSM GUTTER, PAINT, SEE 1/A10.07A
14	RAIN WATER LEADER (GALVANIZED); PAINT TO MATCH ADJACENT FINISH, SEE 5/6/A10.07B
16	FLOOR DRAIN WITH OVERFLOW WHERE OCCURS, S.P.D.
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LEGEND

- NON-OCCUPIABLE ROOF; SEE A8 SERIES
- ROOF SLOPE, MIN. 1:48
- PROPERTY LINE
- 1-HR FIRE RATED WALL
- 2-HR FIRE RATED WALL
- 3-HR FIRE RATED WALL

DIMENSION NOTES

- WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD; U.O.N.
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1 PLAN: SIXTH FLOOR
 3/32"=1'-0"



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2127-2159 DWIGHT WAY
 BERKELEY, CA

NOT FOR
 CONSTRUCTION

2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-12.10

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04-18-2024	FINAL DESIGN REVIEW	

CONTACT: TOBY LEVY

(415) 777-0561 P
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SCALE:
 AS NOTED

ROOF PLAN

A2.07

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL, & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE G6 SERIES FOR ADDITIONAL CLEARANCES NOT SHOWN.
- SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS.
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SHEET NOTES

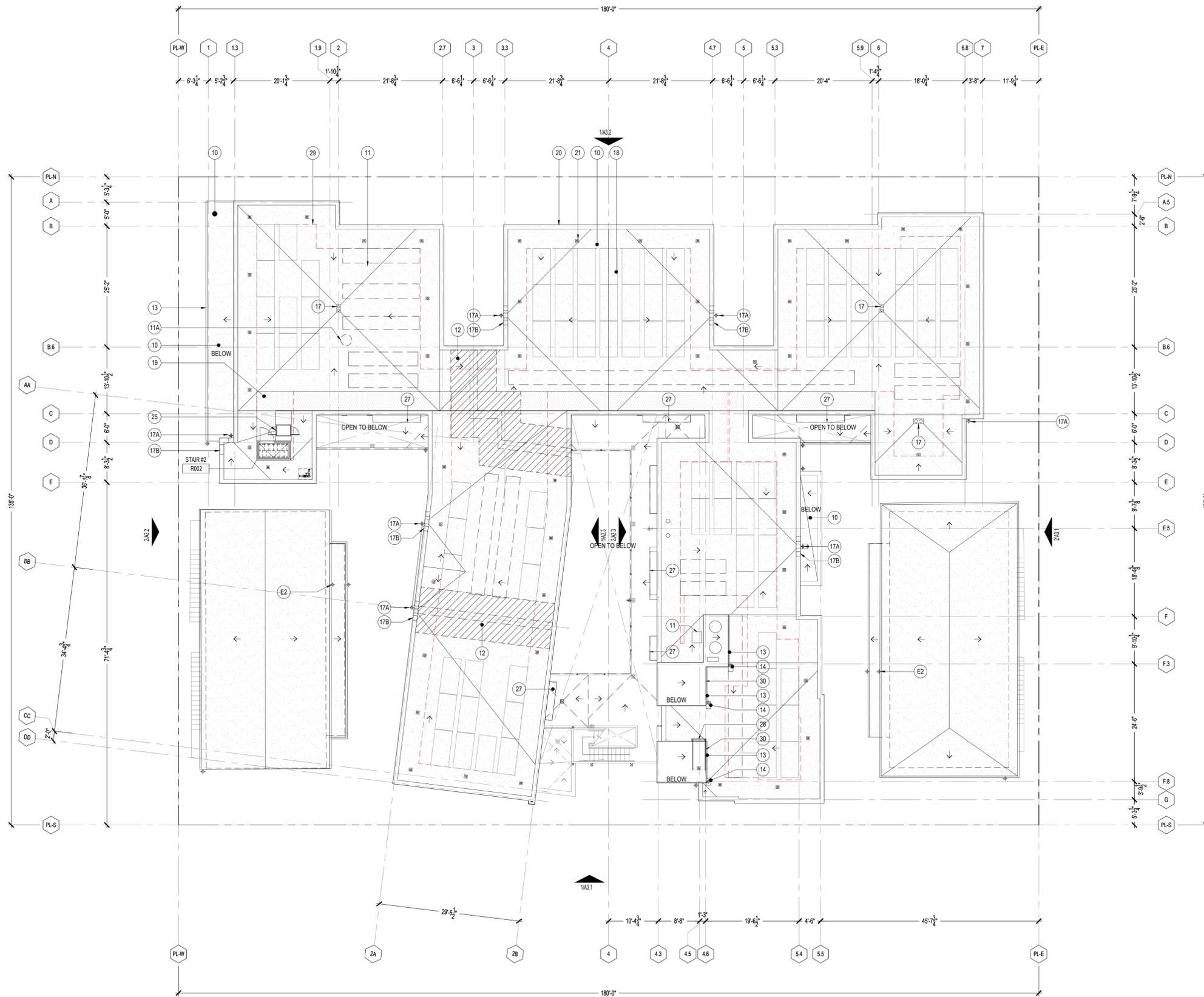
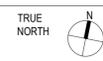
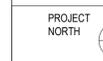
10	ROOF, SLOPE MIN. 1/4" PER FT TO DRAIN; SEE A8 SERIES.
11	MECHANICAL AND/OR PLUMBING EQUIPMENT; S.M.D. & S.P.D. SEE 9/A10.07B FOR CURB
11A	MECHANICAL AND/OR PLUMBING EQUIPMENT; S.M.D. & S.P.D. SEE 10/A10.07B FOR CURB
12	NO ROOF OPENINGS WITHIN 4' OF FIREWALL. ALL ROOF SHEATHING WITHIN 4' OF FIREWALL TO BE FRIT
13	GSM GUTTER, PAINT, SEE 1/A10.07A
14	RAIN WATER LEADER (GALVANIZED); PAINT TO MATCH ADJACENT FINISH, SEE 5/6/A10.07B
17	ROOF DRAIN W/ OVERFLOW, SEE 7/A10.07B
17A	EXTERIOR ROOF SCUPPER TO DOWNSPOUT, SEE 11/A10.07A
17B	OVERFLOW PARAPET ROOF SCUPPER, SEE 12/A10.07A
17C	ROOF OVERFLOW DRAIN
18	SOLAR PANELS; SEE SOLAR DRAWINGS, SEE 10/A10.07B
19	ROOFTOP WALK PADS, 4" MIN. WIDTH, TYP.
20	ROOF PARAPET, 42" A.F.F.; SEE 12/A10.07B
21	EXTERIOR BUILDING MAINTENANCE TIEBACK ANCHOR, SEE EBM DRAWINGS, SEE 9/A10.07B, TYP.
25	ERRCS OUTDOOR ENCLOSURE O/ ROOF CURB
27	EXTRUDED ALUMINUM ARCHITECTURAL CANOPY BELOW, SEE 3/A11.06B
28	OSHA COMPLIANT ACCESS LADDER W/ 42" HIGH OSHA COMPLIANT GUARDRAIL EXTENSIONS FOR MAINTENANCE, SEE 17/A11.01A
29	4" CLR. PERIMETER AROUND THE EDGES OF ROOF PER CFC 1205.3.1 EXC.
30	EXTERIOR FIRE RATED ACCESS ENCLOSURE FOR SMOKE DETECTOR AT ELEVATOR
E2	RELOCATE DOWNSPOUT AT (E) BUILDING TO (N) C3 PLANTER; S.P.D., S.L.D.

LEGEND

- NON-OCCUPIABLE ROOF; SEE A8 SERIES
- ROOF SLOPE, MIN. 1/48
- PROPERTY LINE
- 1-HR FIRE RATED WALL
- 2-HR FIRE RATED WALL
- 3-HR FIRE RATED WALL

DIMENSION NOTES

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LEGENDS

	PROPERTY LINE
	1A CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR 01: DUNN-EDWARDS SILVER SPOON (DE6366)
	1B CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR 02: BENJAMIN MOORE IRON MOUNTAIN (2134-30)
	1C CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR 03: BENJAMIN MOORE PROVINCE BLUE (2135)
	1D CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR 04: BENJAMIN MOORE SILVER LAKE (1598)
	1E CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES 4 ACCENT COLORS
	2 HARDIE HORIZONTAL LAPSIDING; SEE 2/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR: EVENING BLUE
	3 VPI VINYL WINDOW COLOR: STEEL GRAY EXTERIOR / WHITE INTERIOR
	4 McNICHOLS EXPANDED METAL PANEL; SEE 3/G1.52 FOR MATERIAL REFERENCE IMAGES
	5 CUSTOM METAL RAILING; SEE 4/G1.52 FOR MATERIAL REFERENCE IMAGES
	6 GLAZING

2127 DWIGHT WAY
 BERKELEY, CA

NOT FOR
 CONSTRUCTION

2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-12.10

REV	DATE	DESCRIPTION
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CONTACT: TOBY LEVY

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 (415) 777-5117 F

SCALE:
 AS NOTED

RENDERING

A3.00



1 3D VIEW (DWIGHT WAY - LOOKING WEST)



2 3D VIEW (DWIGHT WAY - LOOKING EAST)

DRC SUMMARY - OCTOBER 19, 2023

APPLICANT RESPONSE

CONDITIONS			
C1	Refine main residential entry, including gate design, so it is more prominent.	Residential entrance location revised with study rooms stacked above.	A3.00B
C2	Look further at the east wing and resolve how it meets the street and works as a composition with the west wing.	Volumes revised to a more cohesive design complementing the West wing of the building.	A3.00B
C3	Refine elevations, and simplify and unify where possible.	Revised side and rear elevations with a simplification of window patterns and color updates.	A3.00C
C4	Program courtyard open space and present at FDR.	Chess board paving added at West courtyard space, accent sphere lights added to refined plantings and raised planter. Furniture revised to include additional table seating.	A3.00D
C5	Consider landscape in front yard with more height and presence.	Landscape revised with raised planters for additional height and interest.	A3.00B
C6	Integrate two existing buildings into final color and material palette.	Existing building color palette revised. Lighter paint colors were used per the Design Review board recommendation.	A3.00B
C7	Consider more native plants, including pollinators.	Planting plan is based on AB-1573, providing a minimum of 25%, and up to 75% maximum low water use CA native planting. Project provides 66% drought tolerant CA native planting, and of that, 77% are pollinator plants.	A3.00D
RECOMMENDATIONS			
R1	Central courtyard should be more active and side courtyards should be more passive.	Chess board paving added at West courtyard space, accent sphere lights added to refined plantings and raised planter. Furniture revised to include additional table seating.	A3.00D
R2	Gate could be an artistic element, in lieu of the murals.	Gates revised to accentuate main building entry while providing visual interest along the Project's frontage. Murals are part of the Applicant's overall brand and will be provided outside of the Public Art for Private Development program.	A3.00E
R3	Study rooms could be an accent color, in lieu of a mural.	Study room location and finishes revised.	A3.00B
R4	Look at the study rooms and integrate into main entry design.	Study room location has been revised to be located over entry	A3.00B
R5	DRC recommends larger tree wells, permeable pavers, and a reduction of concrete where possible. Staff will pass this on to Public Works.	Tree wells and streetscape design per coordination with Public Works	-
R6	Strongly recommend no irrigated plants under the oak tree.	Design provides about a 4-foot zone around the existing Oak tree trunk clear of new plantings or new irrigation	-



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2127 DWIGHT WAY
 BERKELEY, CA

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2127 DWIGHT WAY
 BERKELEY, CA
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SCALE: AS NOTED

DESIGN
 REVISIONS

A3.00A



ORIGINAL DESIGN



REVISED DESIGN



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1 SOUTH ELEVATION (DWIGHT WAY)
 1/8"=1'-0"

ORIGINAL DESIGN



1 SOUTH ELEVATION (DWIGHT WAY)
 1/8"=1'-0"

REVISED DESIGN

2127 DWIGHT WAY
 BERKELEY, CA

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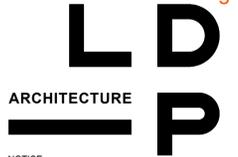
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 SCALE: AS NOTED

DESIGN
 REVISIONS

A3.00B



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SCALE:
 AS NOTED

DESIGN
 REVISIONS

A3.00C



2 EAST ELEVATION
 1/8"=1'-0" ORIGINAL DESIGN



2 EAST ELEVATION
 1/8"=1'-0" REVISED DESIGN

LEGENDS

- PROPERTY LINE
- 1A CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR 01: DUNN-EDWARDS SILVER SPOON (DE6366)
- 1B CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR 02: BENJAMIN MOORE IRON MOUNTAIN (2134-30)
- 1C CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR 03: BENJAMIN MOORE GENTLEMAN'S GRAY (2062-20)
- 1D CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR 04: BENJAMIN MOORE OVERCOAT (CC-544)
- 2 HARDIE HORIZONTAL LAPSING; SEE 2/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR: EVENING BLUE
- 3 VPI VINYL WINDOW COLOR: STEEL GRAY EXTERIOR / WHITE INTERIOR
- 4 MNICHOLS EXPANDED METAL PANEL; SEE 3/G1.52 FOR MATERIAL REFERENCE IMAGES
- 5 CUSTOM METAL RAILING; SEE 4/G1.52 FOR MATERIAL REFERENCE IMAGES
- 6 GLAZING

LEGENDS

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- 1E CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES 4 ACCENT COLORS
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2127 DWIGHT WAY
 BERKELEY, CA

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SCALE:
 AS NOTED

DESIGN
 REVISIONS

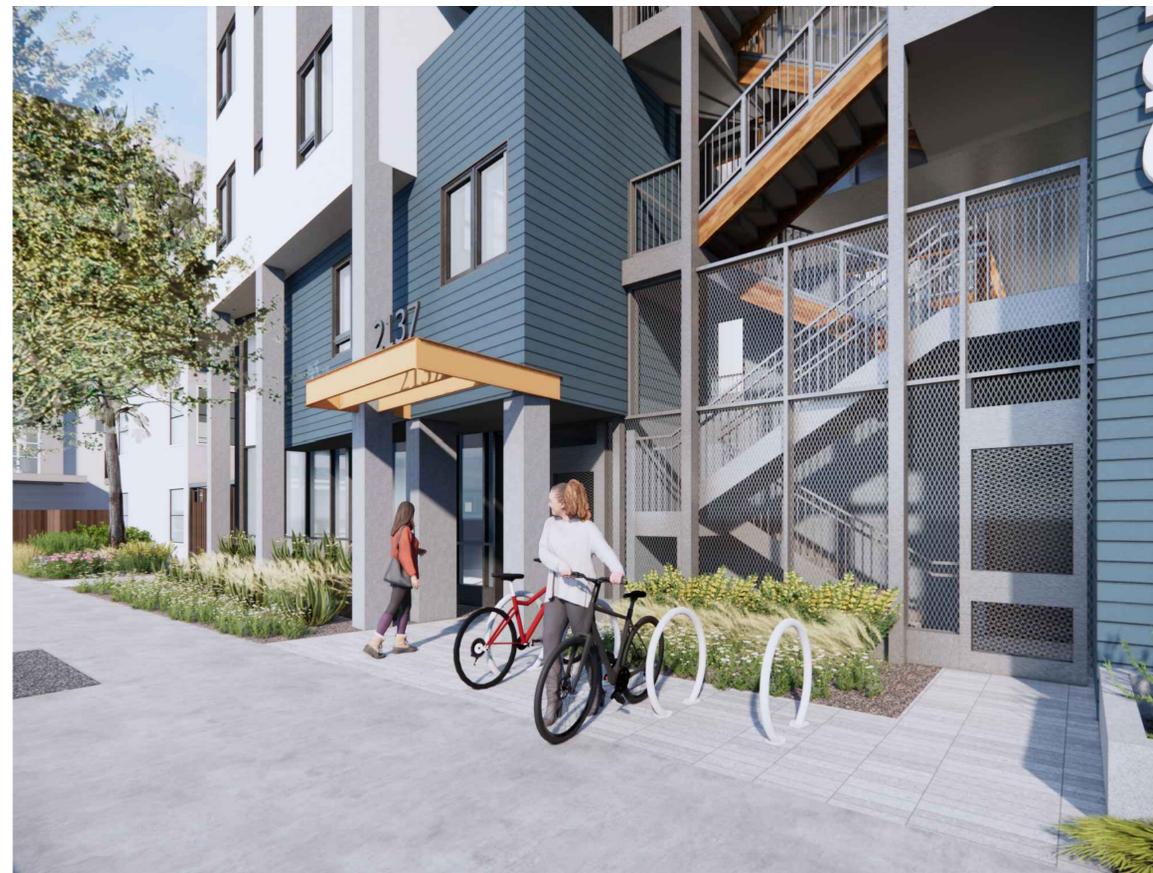
A3.00D



ORIGINAL DESIGN



REVISED DESIGN





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2127-2159 DWIGHT WAY
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SCALE:
 AS NOTED

ELEVATIONS

A3.01



2 EAST ELEVATION
 1/8"=1'-0"



1 SOUTH ELEVATION (DWIGHT WAY)
 1/8"=1'-0"



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SCALE: AS NOTED

ELEVATIONS

A3.02



LEGENDS

- PROPERTY LINE
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- 4 M/NICHOLS EXPANDED METAL PANEL; SEE 3/G1.52 FOR MATERIAL REFERENCE IMAGES
- 5 CUSTOM METAL RAILING; SEE 4/G1.52 FOR MATERIAL REFERENCE IMAGES
- 6 GLAZING

2 WEST ELEVATION
 1/8"=1'-0"



1 NORTH ELEVATION (REAR)
 1/8"=1'-0"



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 CONSTRUCTION

2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-12.10

REV	DATE	DESCRIPTION
04-24-2023		PLANNING SUBMITTAL
06-30-2023		PLANNING RESUBMITTAL
09-29-2023		PLANNING REV. 01
04-18-2024		FINAL DESIGN REVIEW

CONTACT: TOBY LEVY

(415) 777-0561 P
 (415) 777-5117 F

SCALE:
 AS NOTED

ELEVATIONS

A3.03

LEGENDS

- PROPERTY LINE
- 1A CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR 01: DUNN-EDWARDS SILVER SPOON (DE6366)
- 1B CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR 02: BENJAMIN MOORE IRON MOUNTAIN (2134-30)
- 1C CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR 03: BENJAMIN MOORE PROVINCE BLUE (2135)
- 1D CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR 04: BENJAMIN MOORE SILVER LAKE (1598)
- 1E CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES 4 ACCENT COLORS
- 2 HARDIE HORIZONTAL LAPSIDING; SEE 2/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR: EVENING BLUE
- 3 VPI VINYL WINDOW COLOR: STEEL GRAY EXTERIOR / WHITE INTERIOR
- 4 M/NICHOLS EXPANDED METAL PANEL; SEE 3/G1.52 FOR MATERIAL REFERENCE IMAGES
- 5 CUSTOM METAL RAILING; SEE 4/G1.52 FOR MATERIAL REFERENCE IMAGES
- 6 GLAZING



2 WEST ELEVATION - COURTYARD
 1/8"=1'-0"



1 EAST ELEVATION - COURTYARD
 1/8"=1'-0"



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2127-2159 DWIGHT WAY
 BERKELEY, CA

NOT FOR
 CONSTRUCTION

2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-12.10

REV	DATE	DESCRIPTION
04-24-2023		PLANNING SUBMITTAL
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04-18-2024		FINAL DESIGN REVIEW

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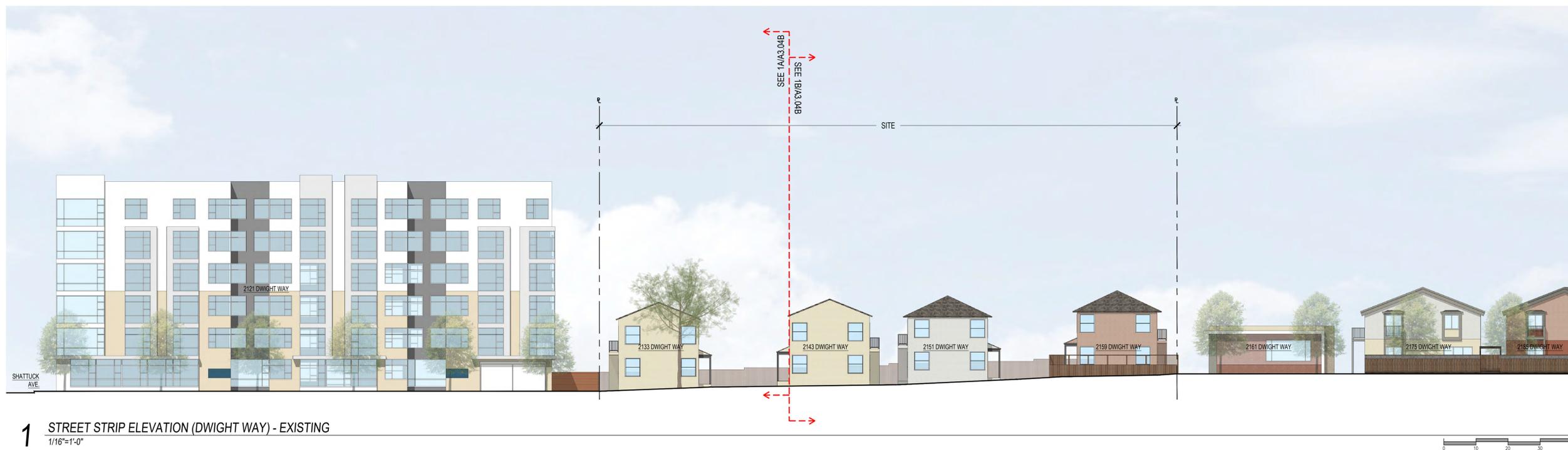
SCALE: AS NOTED

STREET STRIP
 ELEVATION

A3.04A



2 STREET STRIP ELEVATION (DWIGHT WAY) - PROPOSED
 1/16"=1'-0"



1 STREET STRIP ELEVATION (DWIGHT WAY) - EXISTING
 1/16"=1'-0"



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1B STREET STRIP ELEVATION (DWIGHT WAY) - EXISTING
 1/8"=1'-0"



1A STREET STRIP ELEVATION (DWIGHT WAY) - EXISTING
 1/8"=1'-0"

2127-2159 DWIGHT WAY
 BERKELEY, CA

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 CONSTRUCTION

2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-12.10

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09-29-2023		PLANNING REV. 01
04-18-2024		FINAL DESIGN REVIEW

CONTACT: TOBY LEVY

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SCALE: AS NOTED

STREET STRIP
 ELEVATION:
 EXISTING

A3.04B



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1B STREET STRIP ELEVATION (DWIGHT WAY) - PROPOSED
 1/8"=1'-0"



1A STREET STRIP ELEVATION (DWIGHT WAY) - PROPOSED
 1/8"=1'-0"

2127-2159 DWIGHT WAY
 BERKELEY, CA

NOT FOR
 CONSTRUCTION

2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-12.10

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09-29-2023		PLANNING REV. 01
04-18-2024		FINAL DESIGN REVIEW

CONTACT: TOBY LEVY

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SCALE:
 AS NOTED

STREET STRIP
 ELEVATION:
 PROPOSED

A3.04C



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2127-2159 DWIGHT WAY
 BERKELEY, CA

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2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-12.10

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06-30-2023		PLANNING RESUBMITTAL
09-29-2023		PLANNING REV. 01
04-18-2024		FINAL DESIGN REVIEW

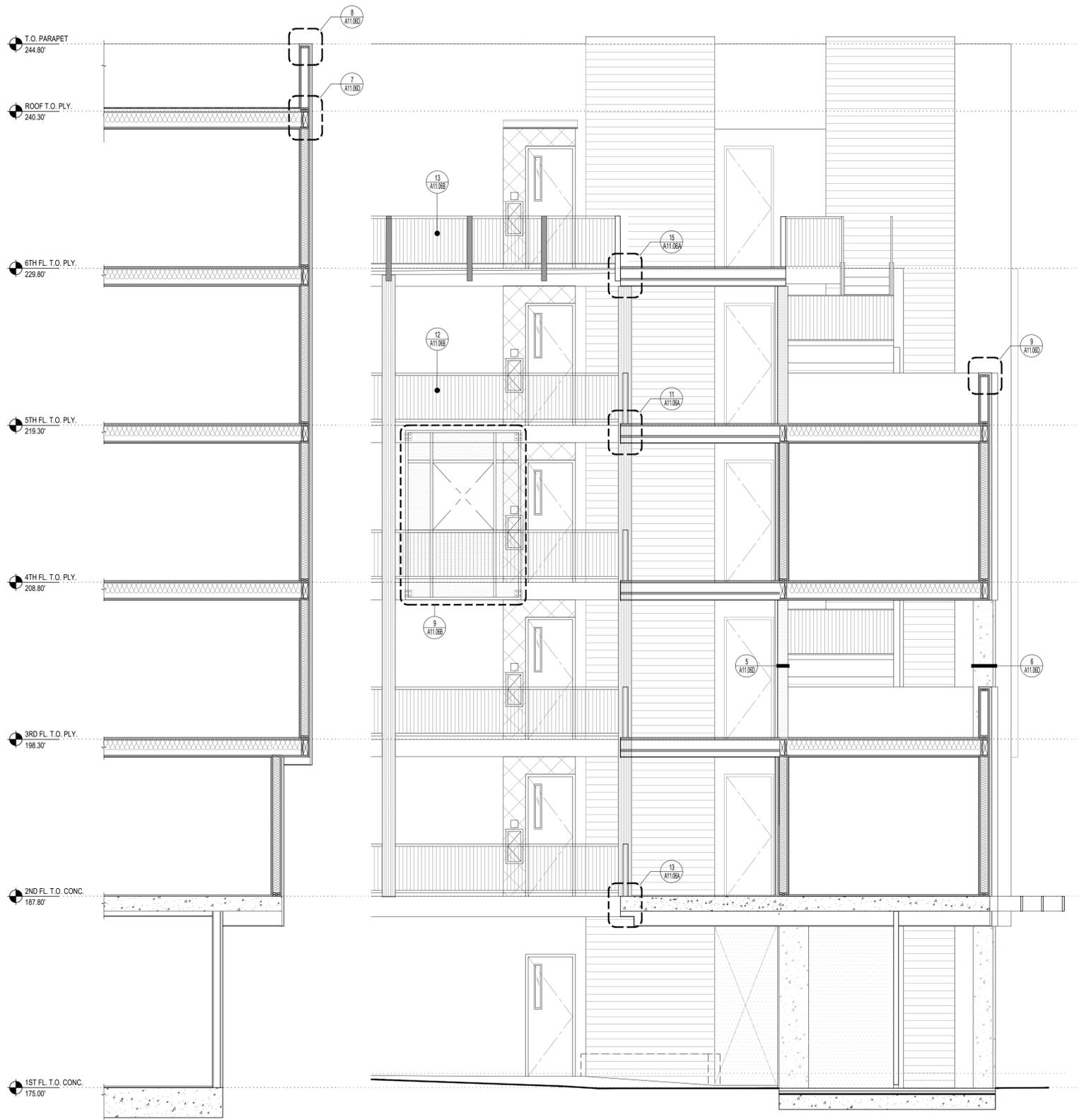
CONTACT: TOBY LEVY

(415) 777-0561 P
 (415) 777-5117 F

SCALE:
 AS NOTED

SECTIONS:
 WALL SECTIONS

A4.01

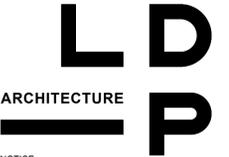


1 WALL SECTION - DWIGHT WAY
 1/4"=1'-0"

2 WALL SECTION - DWIGHT WAY
 1/4"=1'-0"



3 DETAIL ELEVATION - DWIGHT WAY
 1/4"=1'-0"



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2127-2159 DWIGHT WAY
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2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-12.10

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09-29-2023		PLANNING REV. 01
04-18-2024		FINAL DESIGN REVIEW

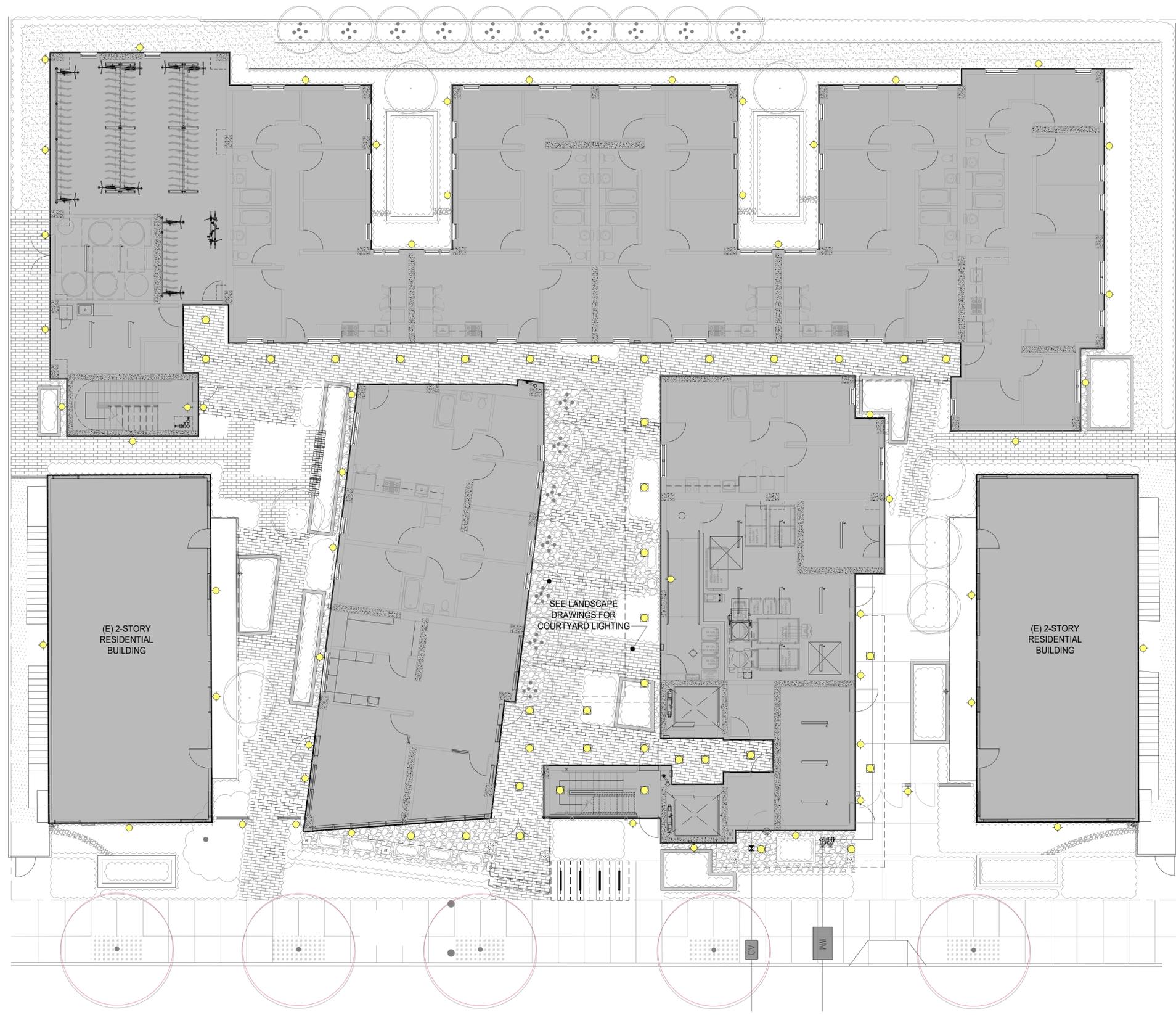
CONTACT: TOBY LEVY

(415) 777-0561 P
 (415) 777-5117 F

SCALE:
 AS NOTED

EXTERIOR
 LIGHTING PLAN

A6.00



--- PROPERTY LINE

◆ WALL-MOUNTED LIGHT
 FIXTURE, TYP.

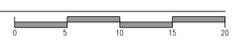
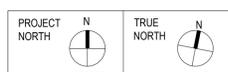


Manufacturer: Lithonia Lighting
 Model: WDG2 LED
 Size:
 Depth 1: 7"
 Depth 2: 1.5"
 Height: 9"
 Width: 11.5"
 Color: Black
 Lamp Type: LED
 Listing: CSA & PIR listed
 for wet location

■ SURFACE MOUNT DOWNLIGHT
 FIXTURE, TYP.



Manufacturer: Halo
 Model: SLD6129SE010MWR
 Size:
 Width: 7.75"
 Height: 0.69"
 Color: WHITE
 Lamp Type: LED
 Listing: CSA & PIR listed
 for wet location



1 EXTERIOR LIGHTING PLAN: GROUND FLOOR
 1/8"=1'-0"



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2127-2159 DWIGHT WAY
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REV	DATE	DESCRIPTION
04-24-2023		PLANNING SUBMITTAL
06-30-2023		PLANNING RESUBMITTAL
09-29-2023		PLANNING REV. 01
04-18-2024		FINAL DESIGN REVIEW

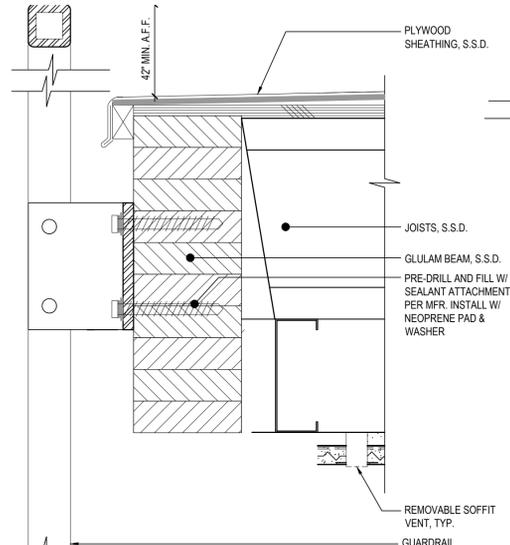
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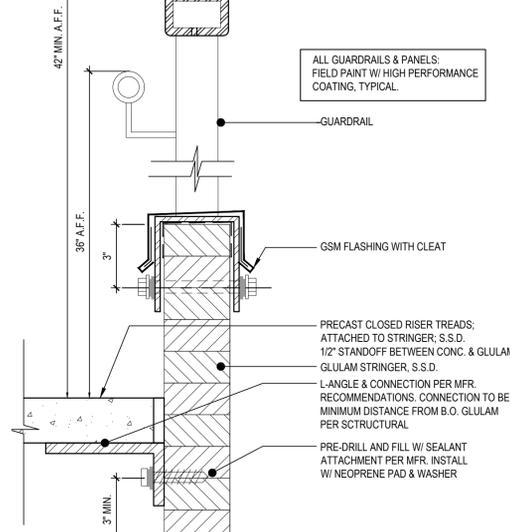
SCALE:
 AS NOTED

BUILDING
 DETAILS

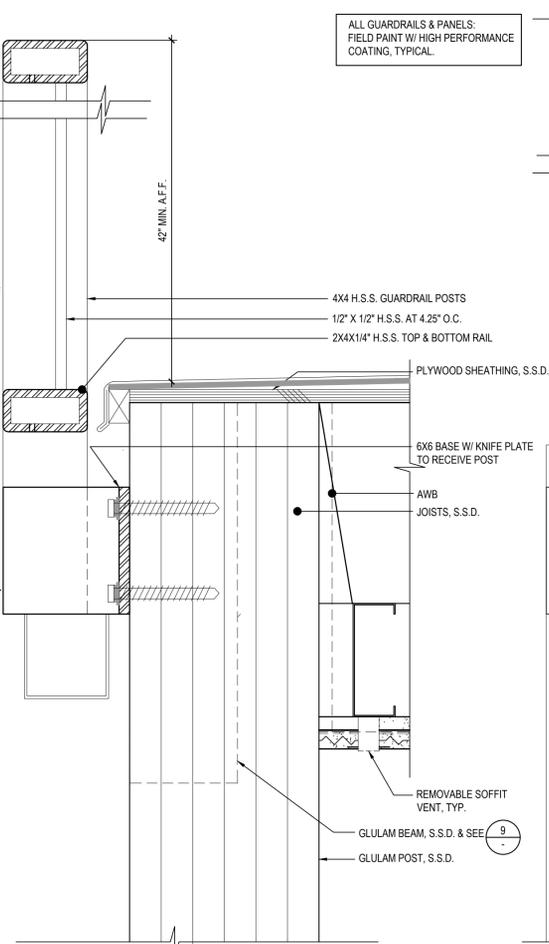
A11.06A



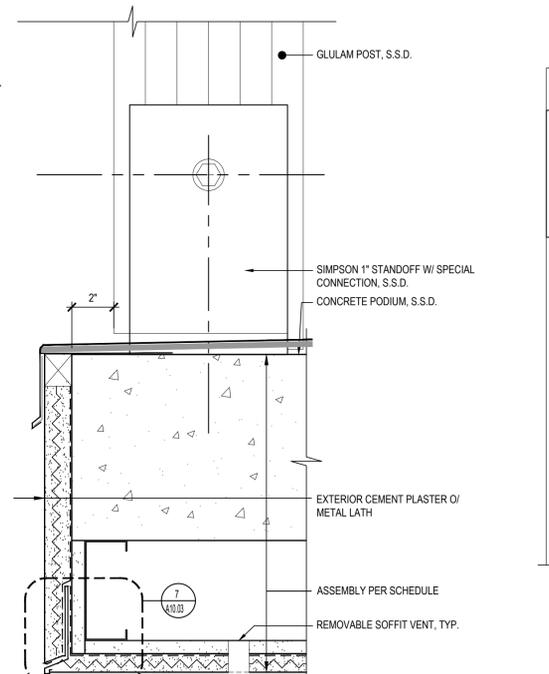
18 EXTERIOR WALKWAY FRAMING @ POST
 3"=1'-0" FLOORS 3-5



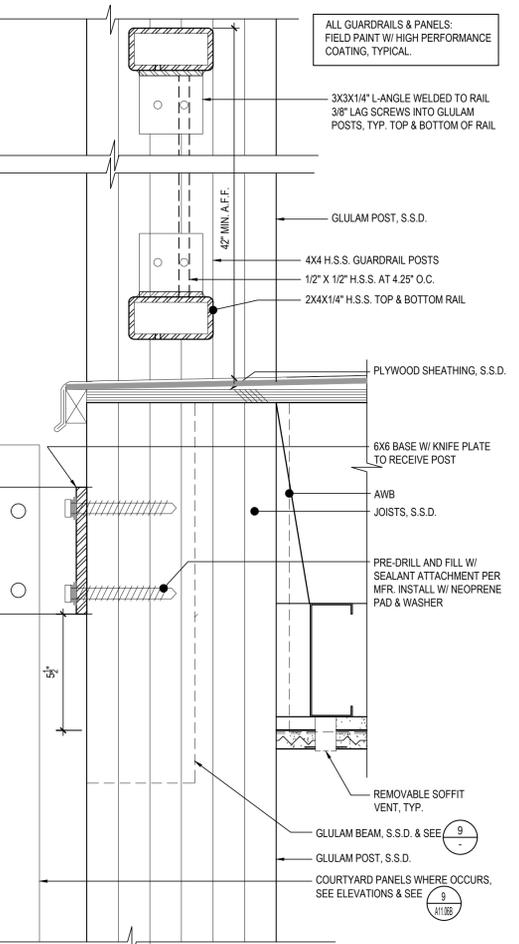
17 TOP MOUNTED GUARDRAIL @ STAIR GLULAM
 3"=1'-0"



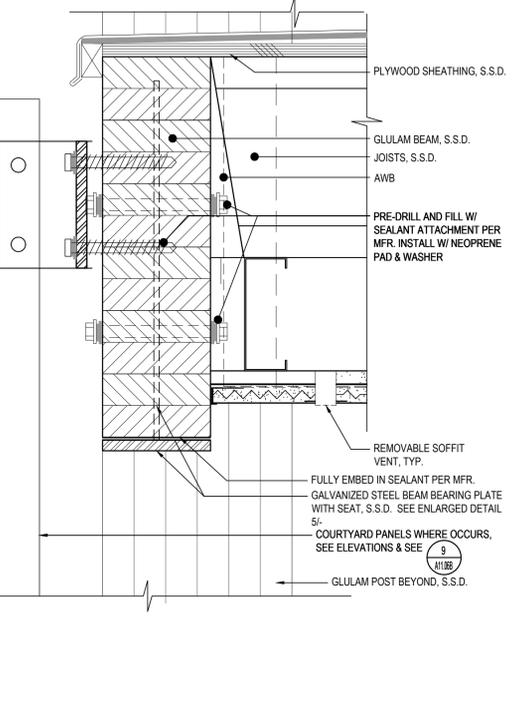
15 EXTERIOR WALKWAY FRAMING @ GUARDRAIL
 3"=1'-0" FLOOR 6



13 EXTERIOR WALKWAY FRAMING - PODIUM
 3"=1'-0"



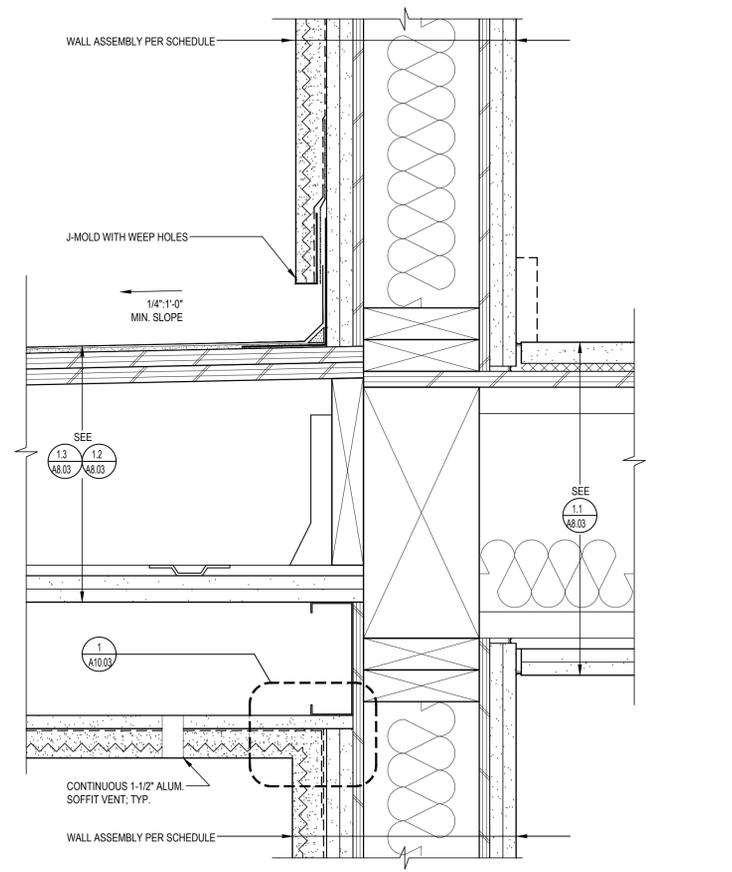
11 EXTERIOR WALKWAY FRAMING @ POST
 3"=1'-0" FLOORS 3-5



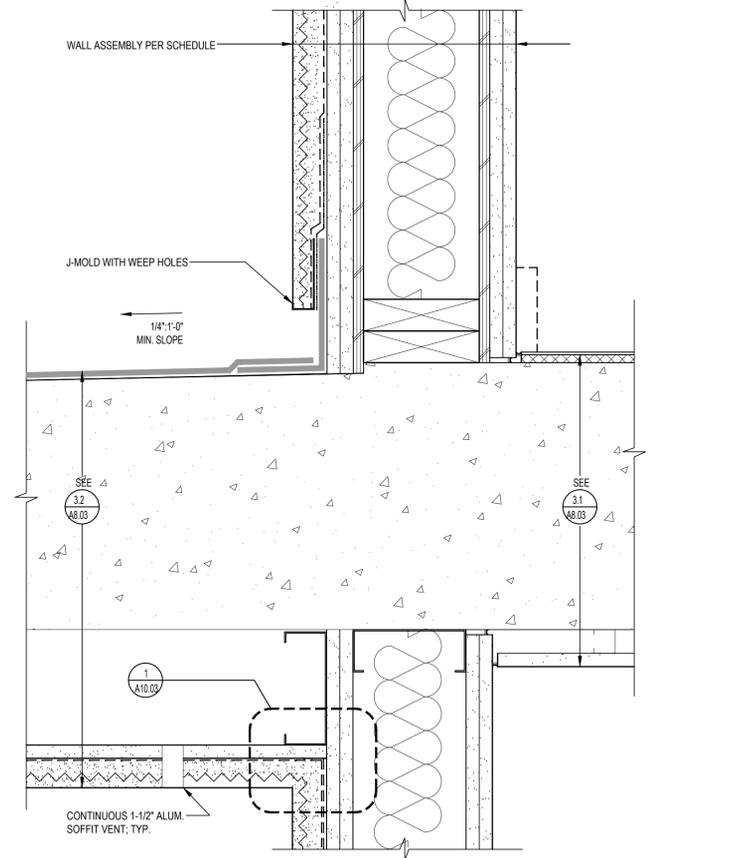
9 EXTERIOR WALKWAY FRAMING
 3"=1'-0" FLOORS 3-5



5 BEARING PLATE W/ SEAT
 3"=1'-0"



3 2-HR. WALL AT WALKWAY
 3"=1'-0" FLOOR/CLG. ASSEMBLY



1 2-HR. WALL AT WALKWAY
 3"=1'-0" FLOOR/CLG. ASSEMBLY



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2127-2159 DWIGHT WAY
 BERKELEY, CA

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2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-12.10

REV	DATE	DESCRIPTION
04-24-2023		PLANNING SUBMITTAL
06-30-2023		PLANNING RESUBMITTAL
09-29-2023		PLANNING REV. 01
04-18-2024		FINAL DESIGN REVIEW

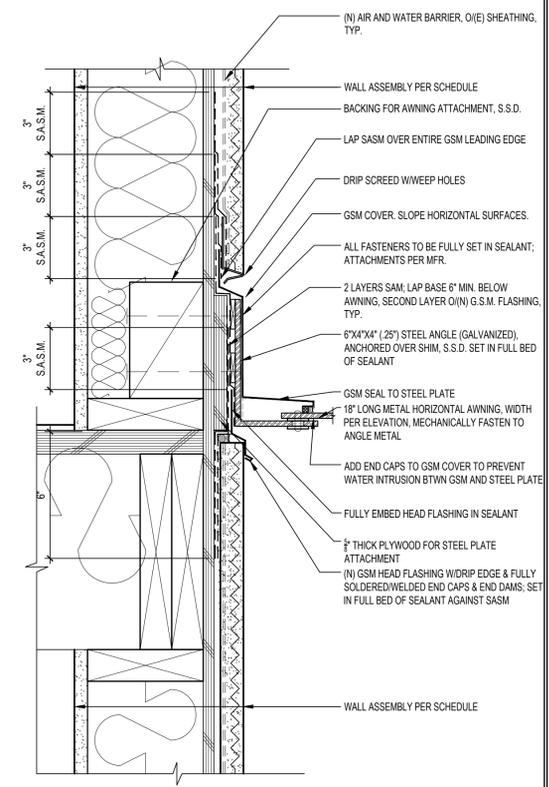
CONTACT: TOBY LEVY

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 (415) 777-5117 F

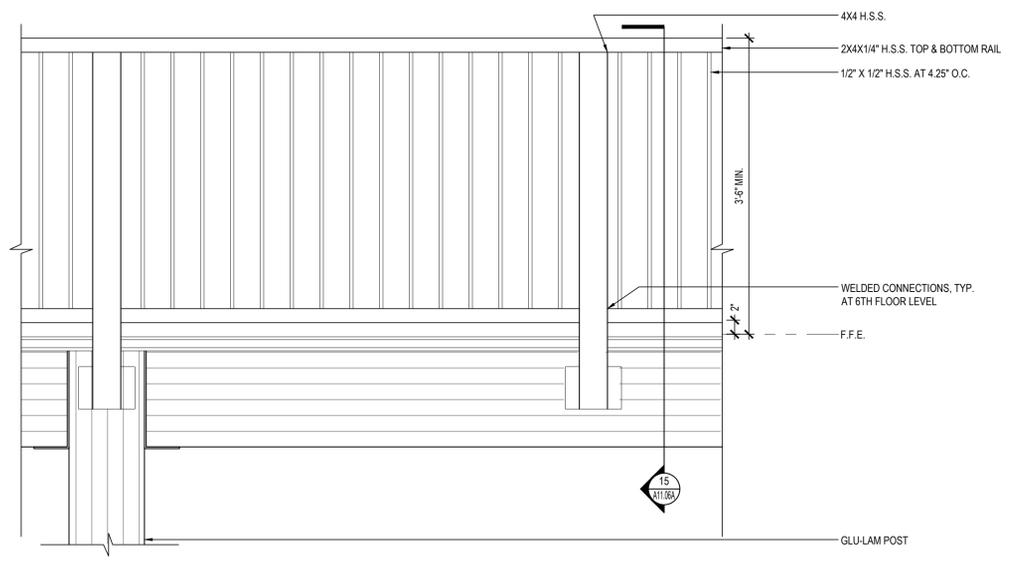
SCALE:
 AS NOTED

BUILDING
 DETAILS

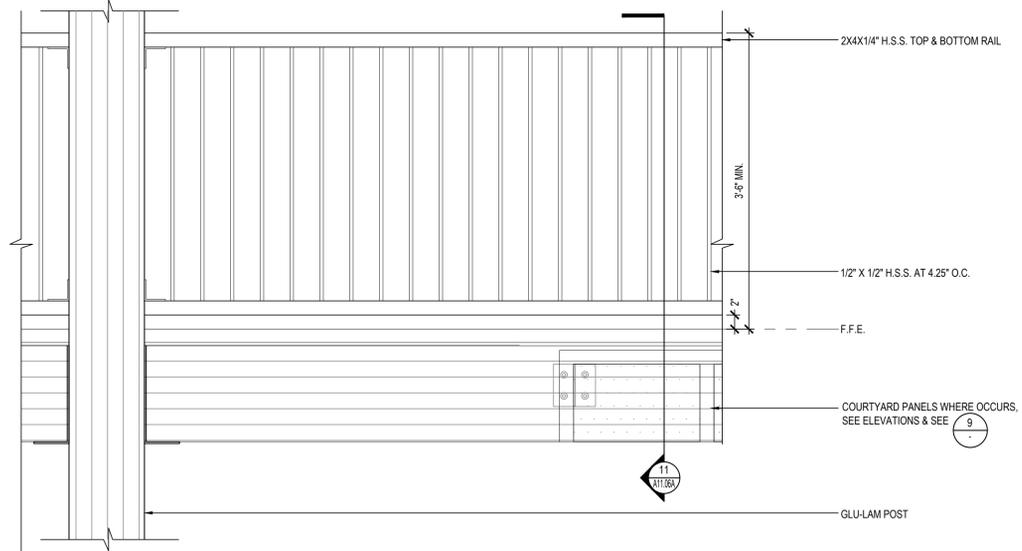
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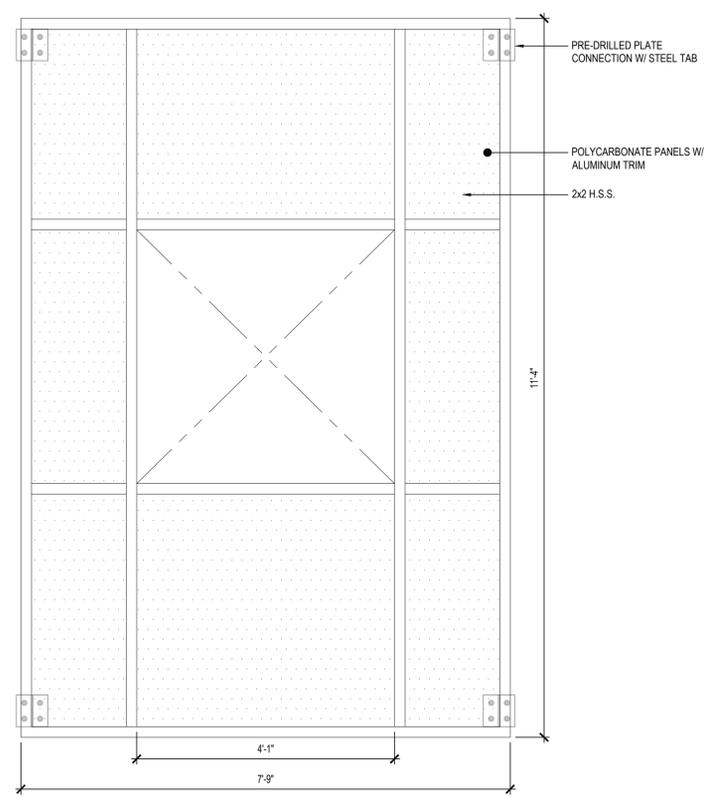
3 ANCHOR DETAIL @ HORIZONTAL AWNING
 3/4"=1'-0" CEMENT PLASTER



13 GUARDRAIL ELEVATION
 1/2"=1'-0" FLOOR 6



12 GUARDRAIL ELEVATION
 1/2"=1'-0" FLOORS 2-5



9 COURTYARD PANELS
 3/4"=1'-0"



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2127-2159 DWIGHT WAY
 BERKELEY, CA



2127-2159 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-12-10

REV	DATE	DESCRIPTION
01-24-2024	BUILDING PERMIT	
04-03-2024	BLDG PERMIT REV01 (P-J)	
04-18-2024	FINAL DESIGN REVIEW	

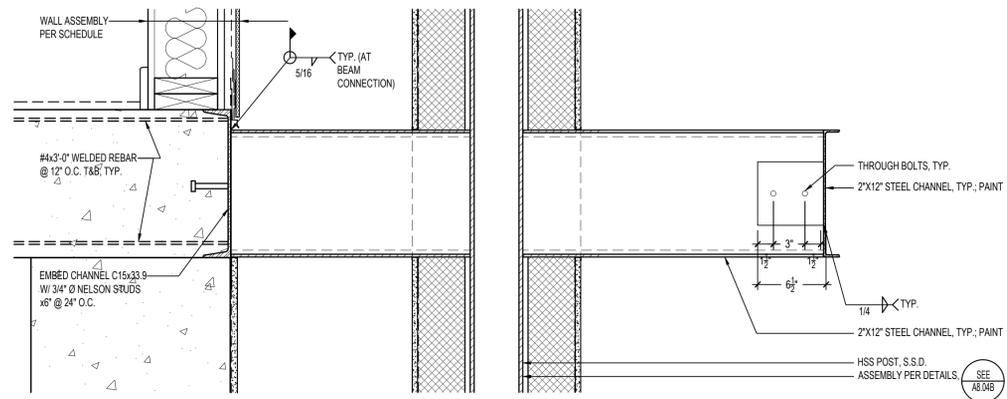
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 (415) 777-5117 F

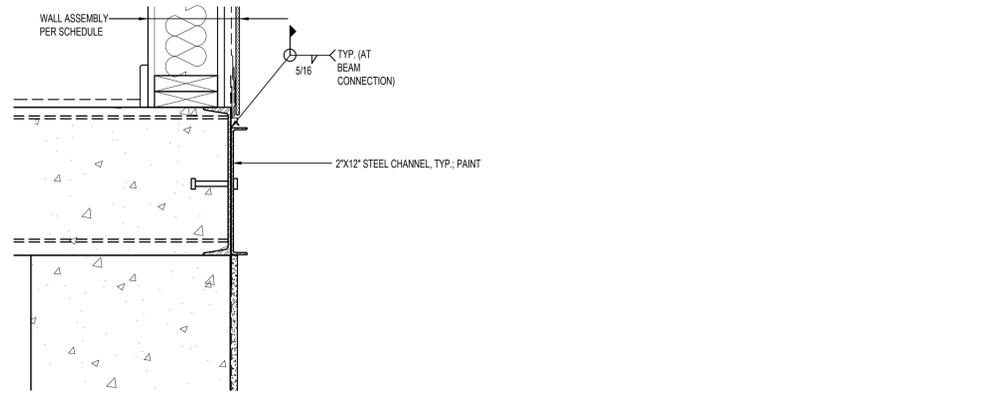
SCALE: AS NOTED

BUILDING DETAILS

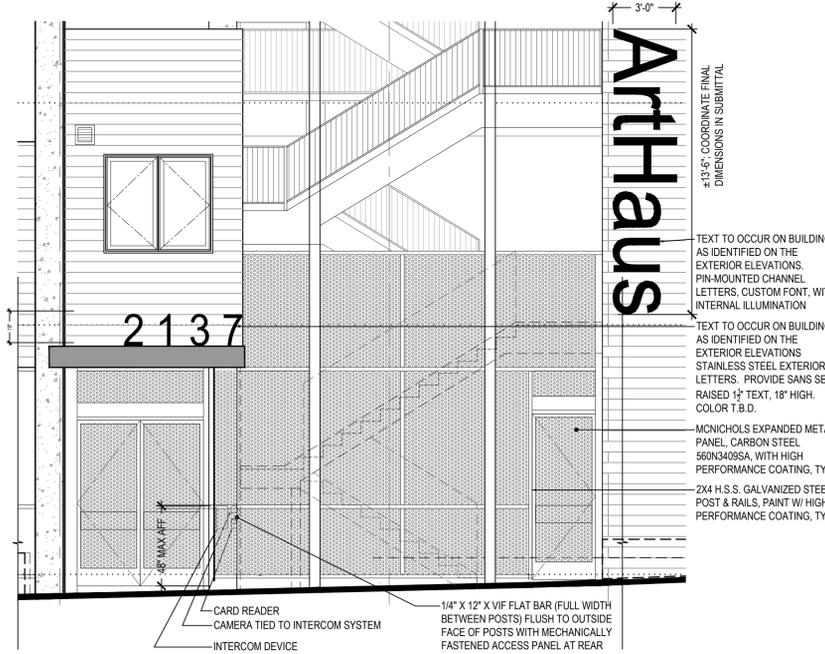
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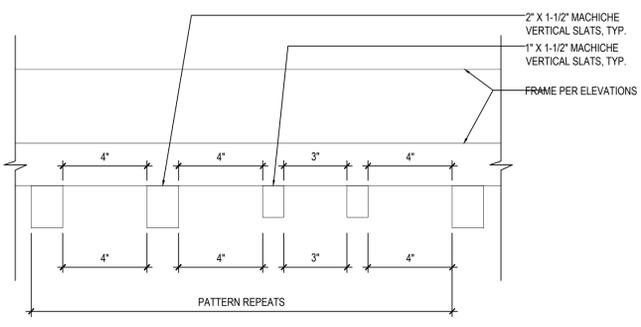
16 SECTION: AWNING
 1-1/2"=1'-0"



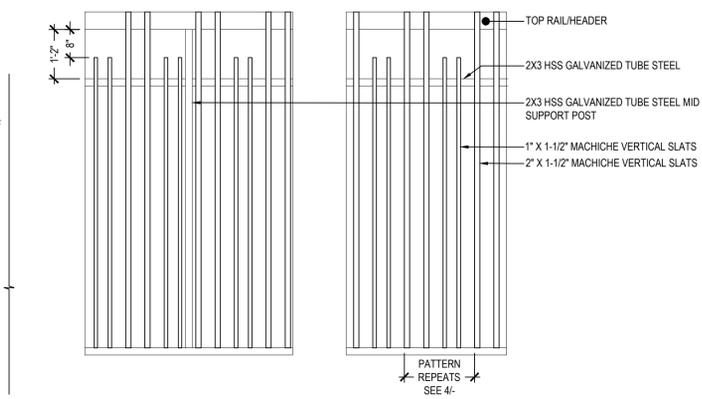
15 SECTION: AWNING
 1-1/2"=1'-0"



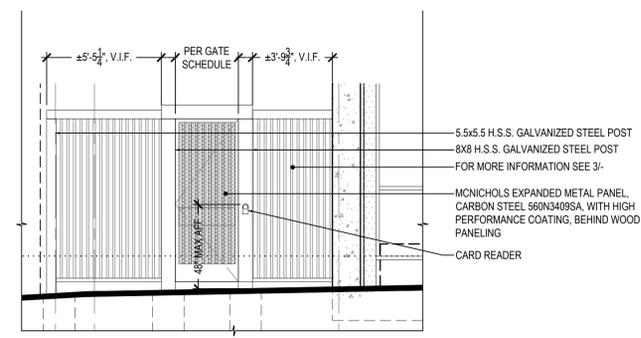
11 ENLARGED GATE ELEVATION - GATE G01
 1/4"=1'-0"



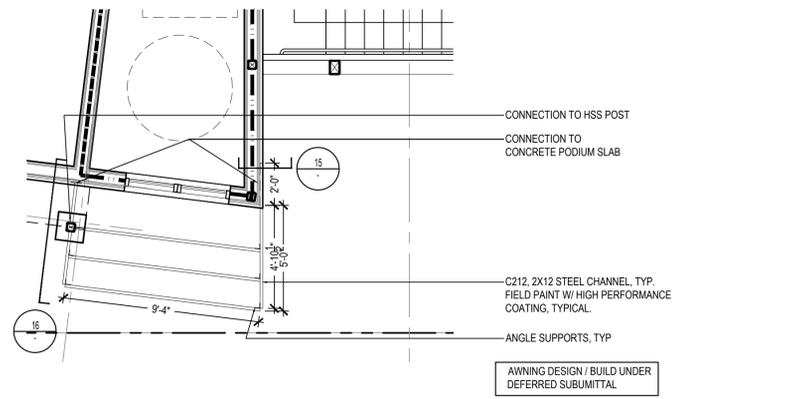
4 ENLARGED GATE DETAIL PATTERN
 3"=1'-0"



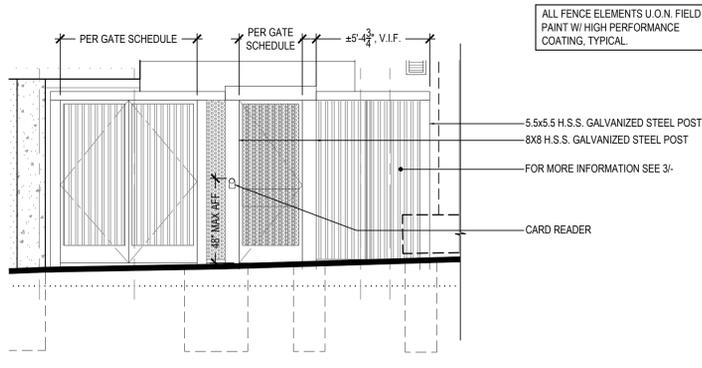
3 ENLARGED FENCE/GATE PATTERN
 1/2"=1'-0"



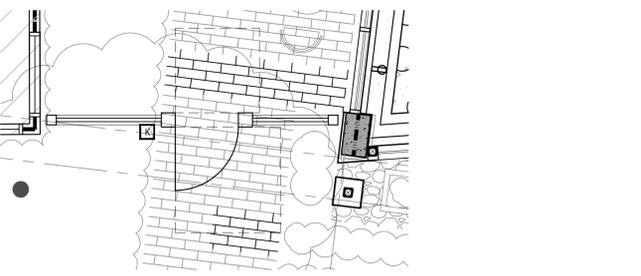
14 ENLARGED GATE ELEVATION - GATE G02
 1/4"=1'-0"



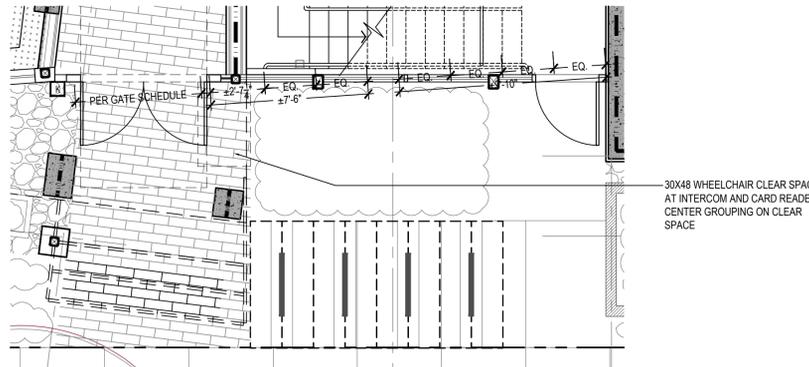
10 ENLARGED ENTRY AWNING
 1/4"=1'-0"



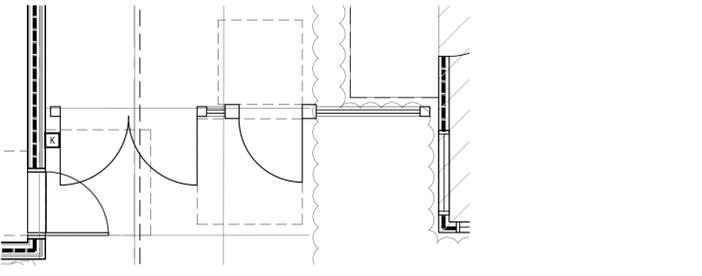
2 ENLARGED GATE ELEVATION - GATE G03 & G04
 1/4"=1'-0"



13 ENLARGED GATE PLAN - GATE G02
 1/4"=1'-0"



9 ENLARGED GATE PLAN - GATE G01
 1/4"=1'-0"



1 ENLARGED GATE PLAN - GATE G03 & G04
 1/4"=1'-0"



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2127-2159 DWIGHT WAY
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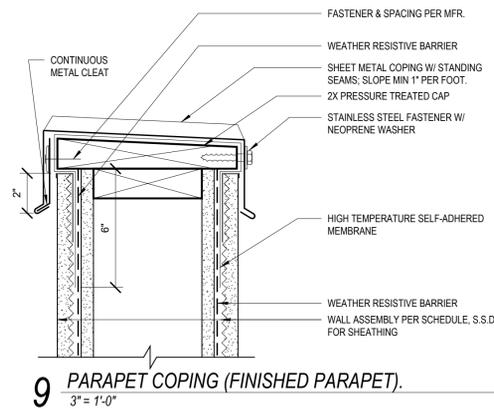
CONTACT: TOBY LEVY

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 (415) 777-5117 F

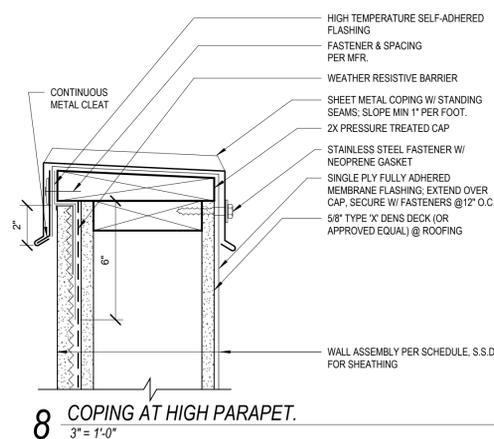
SCALE:
 AS NOTED

BUILDING
 DETAILS

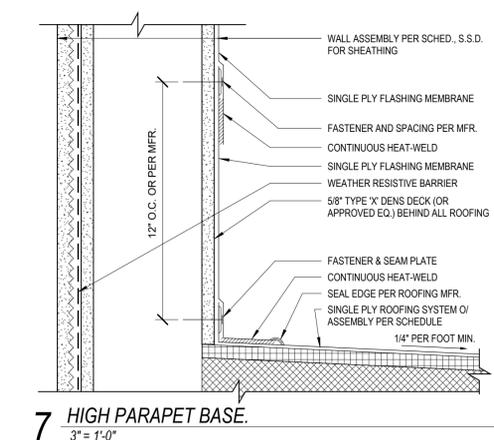
A11.06D



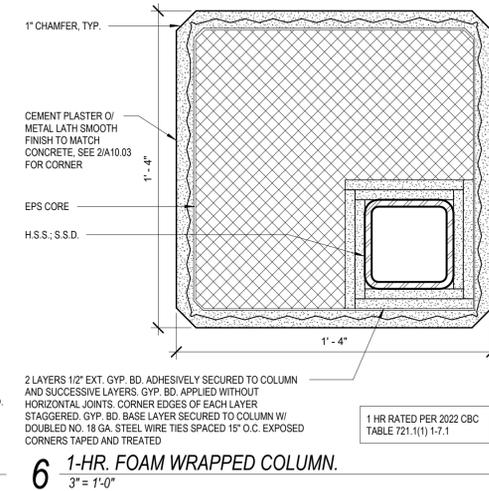
9 PARAPET COPING (FINISHED PARAPET).
 3" = 1'-0"



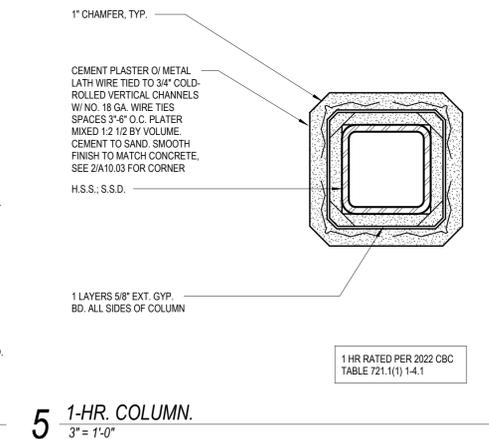
8 COPING AT HIGH PARAPET.
 3" = 1'-0"



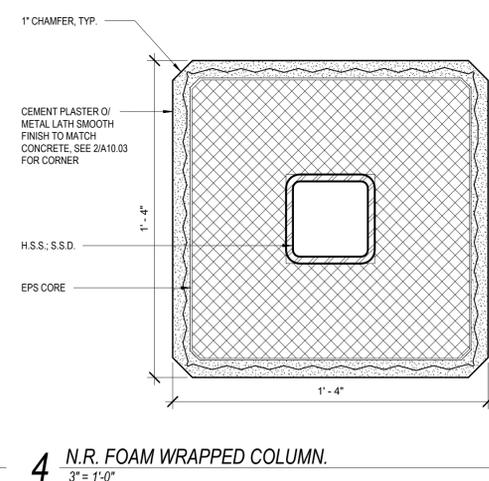
7 HIGH PARAPET BASE.
 3" = 1'-0"



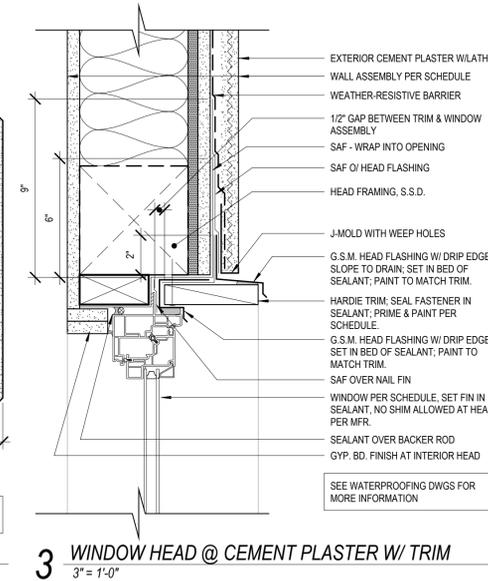
6 1-HR. FOAM WRAPPED COLUMN.
 3" = 1'-0"



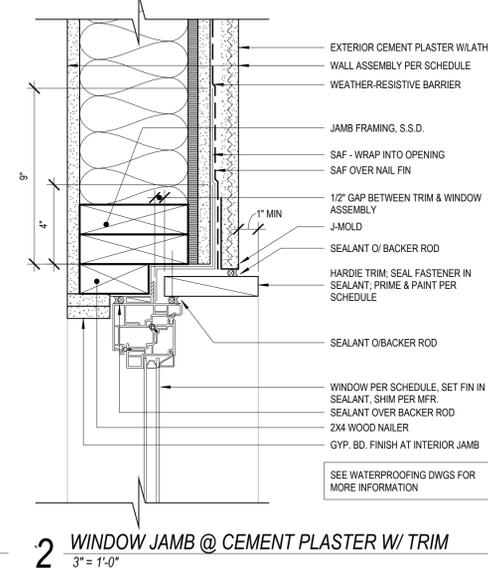
5 1-HR. COLUMN.
 3" = 1'-0"



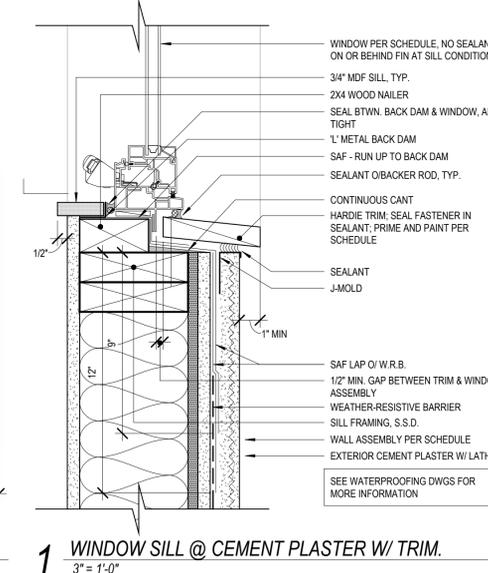
4 N.R. FOAM WRAPPED COLUMN.
 3" = 1'-0"



3 WINDOW HEAD @ CEMENT PLASTER W/ TRIM
 3" = 1'-0"



2 WINDOW JAMB @ CEMENT PLASTER W/ TRIM
 3" = 1'-0"



1 WINDOW SILL @ CEMENT PLASTER W/ TRIM.
 3" = 1'-0"

LAYOUT LEGEND

	Ground Cover		Pedestrian/ Vehicular Accent Paving
	Pedestrian/ Vehicular Concrete Paving		
	Detail Number		
	Sheet Number		
	Property Line		
	Center Line		
	Match Line		
	Align		
	Start Point		
	Below-grade utilities as noted, S.C.D.		
S.C.F.S.	See Color and Finish Schedule		
S.F.C.F.S.	See Fountain Color and Finish Schedule		
E.J.	Expansion Joint		
V.I.F.	Verify in Field		
S.A.D.	See Architect's Drawings		
S.C.D.	See Civil Engineer's Drawings		
S.E.D.	See Electrical Engineer's Drawings		
S.M.D.	See Mechanical Engineer's Drawings		
S.P.D.	See Plumbing Engineer's Drawings		
S.M.E.P.	See M.E.P. Drawings		

LAYOUT NOTES

- The Contractor shall verify all distances and dimensions in the field and bring any discrepancies to the attention of the Landscape Architect for a decision before proceeding with the work.
- The Contractor is to take all necessary precautions to protect buildings and waterproof membranes from damage. Any damage caused by the Contractor or the Contractor's representatives during their activities shall be repaired at no cost to the Owner.
- All written dimensions supersede all scaled distances and dimensions. Dimensions shown are from the face of building wall, face of curb, edge of walk, property line, or centerline of column unless otherwise noted on the drawings.
- Walk scoring, expansion joints and paving shall be located as indicated on the Layout Plans, Landscape Construction Details, in the Specifications, or as field adjusted under the direction of the Landscape Architects.
- All building and garage information is based on drawings prepared by:
 - Architect: Levy Design Partners
 - Contact: Casey Feeser
 - 415.777.0561
 - Casey@ldparchitecture.com
- All site civil information is based on drawings prepared by:
 - Civil: CBG Civil Engineers
 - 2633 Camino Ramon, Suite 350
 - San Ramon, CA 94583
 - Contact: Matt Bevan
 - 925.866.0322 x286
 - mbevan@cbandg.com
- All Joint Trench information is based on drawings prepared by:
 - Joint Trench Engineer: Tarrar
 - 813 First Street
 - Brentwood, CA 94513
 - 925.250.2595
 - kpedersen@tarrar.com
- The Contractor is to verify location of all on-site utilities before commencing with the work. The Contractor shall be responsible for the repair of any damage to utilities caused by the activities of the Contractor or the Contractor's representatives. Any utilities shown on Landscape Drawings are for reference and coordination purposes only.
- All uprights are to be directed upward into the trees or objects they are intended to illuminate. Upright positioning is subject to field modification by the Landscape Architect.
- Protect all existing construction from damage. The Contractor shall be responsible for the repair of any damage to existing construction caused by the activities of the Contractor or the Contractor's representatives.
- Expansion joints shall be located no less than 16' o.c. nor greater than 20' o.c. and/or as indicated on the Layout Plans, Landscape Construction Details, in Specifications, or as field adjusted under the direction of the Landscape Architect.

FINE GRADING AND DRAINAGE LEGEND

00.0	Finish Surface / Finish Grade Elevation
FF 00.0	Finish Floor Elevation - Per Civil Engineer's Drawings, Verify
TC (00.0)	Top of Curb Elevation - Per Civil Engineer's Drawings, Verify
TCI (00.0)	Top of Curb Elevation Interpolated - Per Civil Engineer's Drawings, Verify
HP 00.0	Relative High Point
TS 00.0	Top of Step Elevation
BS 00.0	Bottom of Step Elevation
TR 00.0	Top of Ramp Elevation
BR 00.0	Bottom of Ramp Elevation
TW 00.0	Top of Wall Elevation
BW 00.0	Bottom of Wall Elevation
TF 00.0	Top of Fence
TP 00.0	Top of Plaster
TG 00.0	Top of Guardrail
AD 00.00	Area Drain Rim Elevation
	On-Grade Paving Drain: NDS 4" 910B (Brushed)
	On-Grade Planter Drain: NDS Spee-D Catch Basin with Atrium Grate, Color Black
	On-Structure Planter Drain: Dome-top drain per detail, Size to fit drainline, S.P.D.
	On-Grade Catch Basin - See Civil Engineer's Drawings
	Direction of Surface Water Flow
	Direction of Surface Water Flow in Swale (2% Minimum)
	Grade Break (Ridge Line)
	Subsurface Drainpipe: PVC SA34, by Acme Industries. (4" & 6" dia.)
	Perforated Drainpipe: PVC AS987 by Acme Industries 4".
	Diagrammatic 1' Contours

FINE GRADING NOTES

- The Landscape Contractor is responsible for fine grading and positive surface drainage in all landscape areas. The Contractor shall verify all rough grades in the field and bring any discrepancies to the attention of the Landscape Architect and Civil Engineer for a decision before proceeding with the work.
- See Civil Engineer's drawings for road surface elevations, roadway sections, catch basins, top of curb elevations, and finish floor elevations. Top of curb and finish floor elevations shown on Landscape drawings are for reference and coordination purposes only.
- Earth mounds are shown diagrammatically for form and location. Shaping of mounds to be reviewed and approved in the field by the Landscape Architect.
- Contractors are to exercise extreme care in backfilling and compacting any excavation or trenching in areas previously compacted for other aspects of the work.
- The Landscape Contractor shall remove from the site all debris and unsuitable material generated by the Contractor's operations.
- Catch basins, area drains, planter drains, and perforated drain lines are to be connected to the storm drain system as specified in the Civil Engineer's plans. See Civil Engineer's drawings for all connections.
- All catch basins and other drains are to be free of obstructions and maintained open and free running during and upon completion of the Contractor's work.
- All on-grade planted areas are to be received by the fine grading Contractor within a tenth of a foot of final grade. The Landscape Contractor shall rip compacted rough graded soil to a depth of 8 inches, then till in the soil amendment. Soil amendment shall be determined by an Agricultural Suitability Analysis conducted by a licensed soils laboratory with sample(s) taken from the rough graded soil. This analysis shall be conducted and paid for by the General Contractor.
- See structural soils report for recommendations on soil type, grading procedures, soil compaction, maximum allowable slopes, flatwork base material, etc.
- Minimum paving slope to be 2% typically with a maximum cross slope of 2%. Minimum planting area slope to be 2% typically. Bring any discrepancies to the attention of the Landscape Architect for a decision prior to fine grading.
- All slopes 2-1/2:1 and greater shall have jute mesh erosion control netting installed per manufacturer's specifications. Lap netting minimum 2'-0" and stake.
- Grading shall be in conformance with all local codes and ordinances. Swales shall be a minimum of four (4) feet from all structures.
- Grades to be constant and uniform between spot elevations.

COLOR AND FINISH SCHEDULE

	PEDESTRIAN AND VEHICULAR CONCRETE PAVING Type 1 Natural gray concrete with light broom finish. Sweep perpendicular to path of travel. Scoring @ 7' O.C. max or as shown on plans.
	PEDESTRIAN PERMEABLE ACCENT PAVING Precast Concrete Paving Units w/ dual mix design using Duraface/Face-Mix technology. Integral through colors not acceptable. By Calstone, contact Kevin Tidwell tel. 408-594-4067
	Type 1 Mission Permeable 12x6 and 6x6 60mm: color: White, finish: standard, pattern: running bond (12x6 only field pavers), basket weave (12x6 and 6x6 chess pavers, see details).
	Type 2 Mission Permeable 12x6 and 6x6 60mm color: Charcoal, finish: standard, pattern: running bond (12x6 only field pavers), basket weave (12x6 and 6x6 chess pavers, see details).
	Note: Paver symbols do not accurately reflect paver shapes. *Contractor to submit samples and field mockup to Landscape Architect for approval prior to acquisition or installation.
	PAVING EDGING By Permaloc, tel. (800) 356-9660 Aluminum Paver Restraint - StructurEdge, Model: 3/16" x 2 1/4" w/ 0.210" top lip, finish: SS.
	DECORATIVE GRAVEL By: Lyngso Garden Materials, tel. (650) 364-1730 Green Aqua Cove Pebbles, 1"-2" Ø *Contractor to submit sample to Landscape Architect for review.
	CMU WALL ON GRADE (TREATMENT PLANTER) By Calstone, Kevin Tidwell tel. 408-594-4067 Type 1 6x8x16 blocks, color: 600 w/ matching color grout, finish: ground face, scored w/ single square score, stacked pattern. Wall cap: 3100 WC to mach / size to match wall. Type 2 8x8x16 blocks, color: standard gray

FENCES / GATES / GUARDRAILS / RAILINGS
 Good Neighbor Fence: vertical wood slats, lattice.
 Wood: Red Cedar, Clear stain color.
 Gate Hardware: to be silver (not painted) / by others.

Prime all metal work with one (1) coat of rust-inhibiting paint. Apply two (2) coats finish paint to all exposed metal work except gate hardware. Provide shop drawings for all fences and shade str. prior to fabrication.

	PLANTER POTS All by Tournesol, tel. (800) 542-2282. TYPE 1 Willshire, Model: WR-482424, FRP, size: 24x48x24h; color: Royal, with Drainage Holes & Irrigation Sleeves. QTY (6) TYPE 2 Willshire, Model: WR-724824, FRP, size: 48x72x24h; color: Royal, with Drainage Holes & Irrigation Sleeves. QTY (2)
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BIKE RACK
 By Maglin, contact: Sarah McKellar, tel. 800.716.5506 x 1265
 Series: 500, Model: 500 Bike Rack, color/finish: silver gloss, direct burial.
 QTY: (4)

SEAT ELEMENT
 All by IAP, tel. 510.536.4886.
 Series: Qbert Collection, Model: 031-Qbert, fiberglass, size: 23x16x20, color: navy blue
 QTY: (7)

LIGHTING FIXTURES
 All fixtures below: See Electrical Drawings for full specifications. See manuf. specifications for installation. Contact ALR, Tim Haley, tel. 925-997-5934

 **Catenary Light:**
 Structura VOLTA Ring w/ exterior catenary cable mounting, Model: VOLTA-RNG-D-5'-L30-MO-s7-CA-STD, SIZE: 5' diam, color/finish: textured silver, stainless steel cables, mounting to bldg columns and overhead walk, S.A.D. S.S.D.
 QTY: (3)

 **DECORATIVE GLOBES**
 All by 1-World Globes tel. 877-884-2402.
 Garden Globes, Stainless Steel, sizes: 22", 16" and 10"
 QTY: (13 total) (3-22", 5-16", 5-10")

BENCH
 By Maglin, contact: Sarah McKellar, tel. 800.716.5506 x 1265
 Ogden Collection Bench, Model: OGM1900-SS5-W2FB straight, 10' long ((2) x 5' long sections), backless, no arms, top of wall mount support, front to back wood slats, (2) skate deterrents style 2 (mid sections), color/finish: silver powdercoat metal finish, thermally modified ash wood w/o finish.
 QTY: (1)

 **CITY OF BERKELEY STREET TREE WELLS (PER CITY ARBORIST)**
 www.rubberway.com; (877)288-0045
 Flexi-Pave product by Rubberway - Model: Rubberway Pervious Tree Wells.
 Color: Gray
 Install per manufacturer details and specifications. Contractor to provide samples for Owner's and Landscape Architect's review prior to acquisition.



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2127-2159 DWIGHT WAY
 BERKELEY, CA

NOT FOR CONSTRUCTION

2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-12-10

REV	DATE	DESCRIPTION
01-24-2024		BUILDING PERMIT
04-03-2024		BLDG PERMIT REV01 (P-1)

CONTACT:

SCALE:

LANDSCAPE NOTES AND LEGENDS

L-1.1





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CONTACT:

SCALE:

PLANTING
 NOTES AND
 LEGENDS

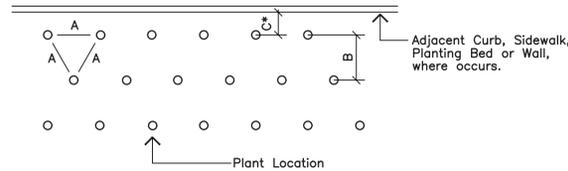
L-1.2



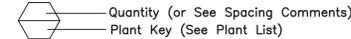
PLANTING NOTES

- All work shall be performed by persons familiar with planting work and under supervisions of a qualified planting foreman.
- Plant material locations shown are diagrammatic and may be subject to change in the field by the Landscape Architect before the maintenance period begins.
- All trees are to be staked as shown in the staking diagrams.
- All tree stakes shall be cut 6" above tree ties after stakes have been installed to the depth indicated in the staking diagrams. Single stake all conifers per tree staking diagram.
- Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows nor impede access. The Landscape Architect reserves the right to make minor adjustments in tree locations after planting at no cost to the Owner. All planting located adjacent to signs shall be field adjusted so as not to interfere with visibility of the signs.
- The Landscape Architect reserves the right to make substitutions, additions, and deletions in the planting scheme as felt necessary while work is in progress. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary and subject to the Owner's approval.
- The contractor is to secure all vines to walls and columns with approved fasteners, allowing for two (2) years growth. Submit sample of fastener to Landscape Architect for review prior to ordering.
- All planting areas, except lawns and storm water treatment zones (as defined by the civil engineer), shall be top-dressed with a 3" layer of recycled wood mulch, "Colored Wood Chip" by Vision Recycling (510.429.1300; www.visionrecycling.com) or approved equal. Planter pots shall be top-dressed with "Colored Lumber Fines" mulch by Vision Recycling. Mulch shall be brown in color. Submit sample to Landscape Architect for review prior to ordering. Hold all mulch six (6) inches from all plants where mulch is applied over the rootball.
- All street trees to be installed in accordance with the standards and specifications of the City of Berkeley. Contractor to contact the city arborist to confirm plant type, plant size (at installation), installation detailing and locations prior to proceeding with installation of street trees. Contractor is to obtain street tree planting permit from the city, if a permit is required, prior to installation of street trees. Contractor is to consult with the Landscape Architect during this process.
- Plants shall be installed to anticipate settlement. See Tree and Shrub Planting Details.
- All trees noted with 'deep root' and those planted within 5'-0" of concrete paving, curbs, and walls shall have deep root barriers installed per manufacturer's specifications. See specifications and details for materials, depth of material, and location of installation.
- The Landscape Contractor shall arrange with a nursery to secure plant material noted on the drawings and have those plants available for review by the Owner and Landscape Architect within thirty (30) days of award of contract. The Contractor shall purchase the material and have it segregated and grown for the job upon approval of the plant material. The deposit necessary for such contract growing is to be born by the Contractor.
- The project has been designed to make efficient use of water through the use of drought tolerant plant materials. Deep rooting shall be encouraged by deep watering plant material as a part of normal landscape maintenance. The irrigation for all planting shall be limited to the amount required to maintain adequate plant health and growth. Water usage should be decreased as plants mature and become established. The irrigation controllers shall be adjusted as necessary to reflect changes in weather and plant requirements.
- The Landscape Contractor shall verify the location of underground utilities and bring any conflicts with plant material locations to the attention of the Landscape Architect for a decision before proceeding with the work. Any utilities shown on the Landscape drawings are for reference and coordination purposes only. See Civil Drawings.
- The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shaping and, in some cases, removal of trees and shrubs as an on-going maintenance procedure.
- Install all plants per plan locations and per patterns shown on the plans. Install all shrubs to ensure that anticipated, maintained plant size is at least 2'-0" from the face of building(s) unless shown otherwise on the plans. Refer to Plant Spacing Diagram for plant masses indicated in a diagrammatic manner on the plans. Refer to Plant Spacing Diagram for spacing of formal hedge rows.
- Contractor to provide one (1) Reference Planting Area for review by Landscape Architect prior to installation of the project planting. The Reference Planting Area shall consist of a representative portion of the site of not less than 900 (nine hundred) square feet. Contractor to set out plants, in containers, in the locations and patterns shown on the plans, for field review by the Landscape Architect. The Reference Planting Area will be used as a guide for the remaining plant installation.
- The Maintenance Period(s) shall be for 90 (ninety) days. Portions of the installed landscape of a project may be placed on a maintenance period prior to the completion of the project at the Owner's request and with the Owner's concurrence.
- Contractor to verify drainage of all tree planting pits. See Planting Specifications. Install drainage well per specifications and Tree Planting Detail(s) if the tree planting pit does not drain at a rate to meet the specifications.
- Contractor shall remove all plant and bar code labels from all installed plants and landscape materials prior to arranging a site visit by the Landscape Architect.
- VersiCell drainage board or approved equal is to be installed in all pre-cast planters/pots as shown in the drawings. Material available through: TourneSol SiteWorks, Union City, CA 800.542.2282. Allow at least 4 weeks lead time for ordering product. All VersiCell board shall be completed covered with filter fabric as shown in the drawings and per manufacturer's specifications.
- All tree rootballs shall be irrigated by water jet during the sixty (60) day maintenance period established by specifications. This irrigation shall occur each time normal irrigation is scheduled.
- The Landscape Contractor shall, as a part of this bid, provide for a planting allowance for the amount of \$5,000,000 (Five Thousand Dollars) to be used for supplying and installing additional plant material as directed by the Landscape Architect and approved by the Owner in writing. The unused portion of the allowance shall be returned to the Owner at the beginning of the maintenance period.

PLANT SPACING DIAGRAM



PLANT CALLOUT SYMBOL

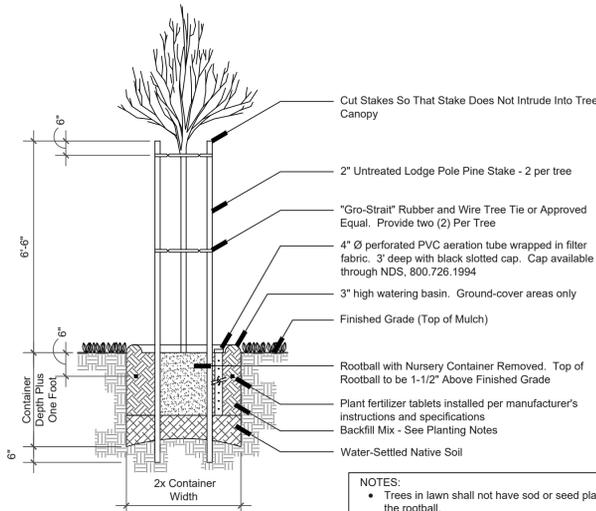


PLANT QUANTITY DIAGRAM

SPACING 'A'	SPACING 'B'	SPACING 'C'	NO. OF PLANTS/SQUARE FOOT
6" O.C.	5.20"	2.60"	4.60
8" O.C.	6.93"	3.47"	2.60
9" O.C.	7.79"	3.90"	1.78
10" O.C.	8.66"	4.33"	1.66
12" O.C.	10.40"	5.20"	1.15
15" O.C.	13.00"	6.50"	0.74
18" O.C.	15.60"	7.80"	0.51
24" O.C.	20.80"	10.40"	0.29
30" O.C.	26.00"	13.00"	0.18
36" O.C.	30.00"	15.00"	0.12
42" O.C.	36.37"	18.19"	0.09
48" O.C.	40.00"	20.00"	0.07
60" O.C.	52.00"	26.00"	0.05
72" O.C.	62.35"	31.18"	0.04

See Plant Spacing Diagram for maximum triangular spacing 'A'. This chart is to be used to determine number of ground cover required in a given area and spacing between shrub massings. Where shrub massings are shown, calculate shrub mass areas before utilizing spacing chart to determine plant quantities.

* Where curb, sidewalk, adjacent planting bed or wall condition occurs, utilize spacing 'C' to determine plant distance from wall, sidewalk, adjacent planting bed or back of curb, where C=1/2 B.

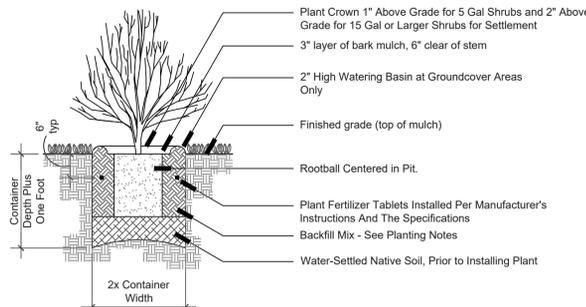


NOTE:
 DETAIL TO BE USED FOR STREET TREES PLANTING, PER CITY OF BERKELEY ARBORIST. NO TREE ROOT BARRIERS TO BE USED.

- NOTES:
- Trees in lawn shall not have sod or seed placed over the rootball.
 - Hold all mulch 6" (six inches) from trunk of tree where mulch is applied over rootball.

Tree Staking Diagram

NTS



Shrub Planting Detail

NTS

PLANT PALETTE

TREES								
QTY	KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS	CA native	POLLINATOR
8	CER OCC	24"box	<i>Cercis occidentalis</i>	Western Redbud		Low	YES	YES
17	BAM GOL	24"box	<i>Bambusa multiplex 'Golden Goddess'</i>	Golden Goddess Bamboo		Medium		
25	PRU ILL	15 gal	<i>Prunus ilicifolia ssp. lyonii</i>	Catalina Cherry		Low	YES	YES
5	QUE HYP	24"box	<i>Quercus hypoleucoides</i>	Silver Leaf Oak	standard	Low	YES	YES

SHRUBS								
QTY	KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS	CA native	POLLINATOR
14	AKS	5 gal	<i>Agave attenuata 'Kara's Stripes'</i>	Lord's candle	x	Low		
5	DHA	15 gal	<i>Dendromecon harfordii</i>	Island Bush Poppy	60" o.c.	Low	YES	YES
17	DSU	5 gal	<i>Dietes grandiflora 'Sunstripe'</i>	Fortnight Lily	36" o.c. (wt)	Low		YES
22	CKZ	5 gal	<i>Ceanothus griseus 'Kurt Zadnik'</i>	Carmel ceanothus	48" o.c.	Low	YES	YES
15	MAC	5 gal	<i>Mahonia aquifolium 'Compacta'</i>	Oregon Grape	30" o.c. (wt)	Low	YES	YES
16	MAH	5 gal	<i>Mahonia eurybracteata 'Soft Caress'</i>	'Soft Caress' Mahonia	36" o.c.	Low		YES
38	RLS	5 gal	<i>Rhamnus 'Little Sur'</i>	'Little Sur' Coffeeberry	36" o.c. (wt)	Low	YES	YES
29	RAU	5 gal	<i>Ribes aureum</i>	Golden Currant	36" o.c. (wt)	Low	YES	YES

GRASSES / PERENNIALS/GROUNDCOVERS								
QTY	KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS	CA native	POLLINATOR
36	AMO	1 gal	<i>Achillea 'Moonshine'</i>	Yellow Yarrow	18" o.c. (wt)	Low	YES	YES
48	CTU	1 gal	<i>Carex tumilicola</i>	Berkeley Sedge	24" o.c. (wt)	Low	YES	
36	CLN	5 gal	<i>Calamagrostis foliosa x nutkaensis 'Little Nootka'</i>	'Little Nootka' Reed Grass	30" o.c. (wt)	Low	YES	
17	EKA	5 gal	<i>Erigeron karvinskianus</i>	Santa Barbara Daisy	x	Low	YES	YES
89	LLT	5 gal	<i>Lomandra longifolia 'Lime Tuff'</i>	Dwarf Mat Rush	24" o.c.	Low		
42	MCP	5 gal	<i>Muhlenbergia capillaris 'Pink Flamingo'</i>	Pink Muhly	36" o.c.	Low		
66	PMU	5 gal	<i>Polystichum munitum</i>	Western Sword Fern	30" o.c.	Med	YES	
46	SBE	3 gal	<i>Sisyrinchium bellum</i>	Blue-eyed Grass	18" o.c. (wt)	Low	YES	YES

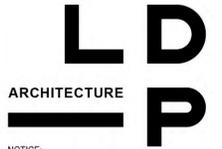
(wt) - Stormwater treatment plants (bioretention and flow-through planters, per SWPPP guidelines)

TOTAL PLANTS: 573
 CALIFORNIA NATIVE PLANTS: 376 (66%)

% Low Water Use plants proposed: 89% (Bay-Friendly Basics Landscape Checklist requires > 75% drought tolerant plant quantity)

- Planting plan includes more than 75% low-water use/drought tolerant plant count to satisfy Bay-Friendly Landscape Design Checklist requirement.
- WUCOLS value (Water Use Classification of Landscape Species) per WUCOLS IV, 2014 edition.
- No invasive plant species are specified per Cal-IPC Inventory. Source: cal-ipc.org/plants/inventory
- All planting areas shall be top-dressed with a 3" layer of mulch depth and compost application to achieve a minimum 6% organic matter in soil composition based on a MWEL0 specified soil analysis results for the site soil. (CGBSC 4.304).
- California Native Plants selection has been verified with CalScape.

**FOR CONTRACTORS: Plant quantity provided in this plant palette is for reference only. Refer to Planting Plan sheet L4.1 for final plant quantity take-offs.



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2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-1210

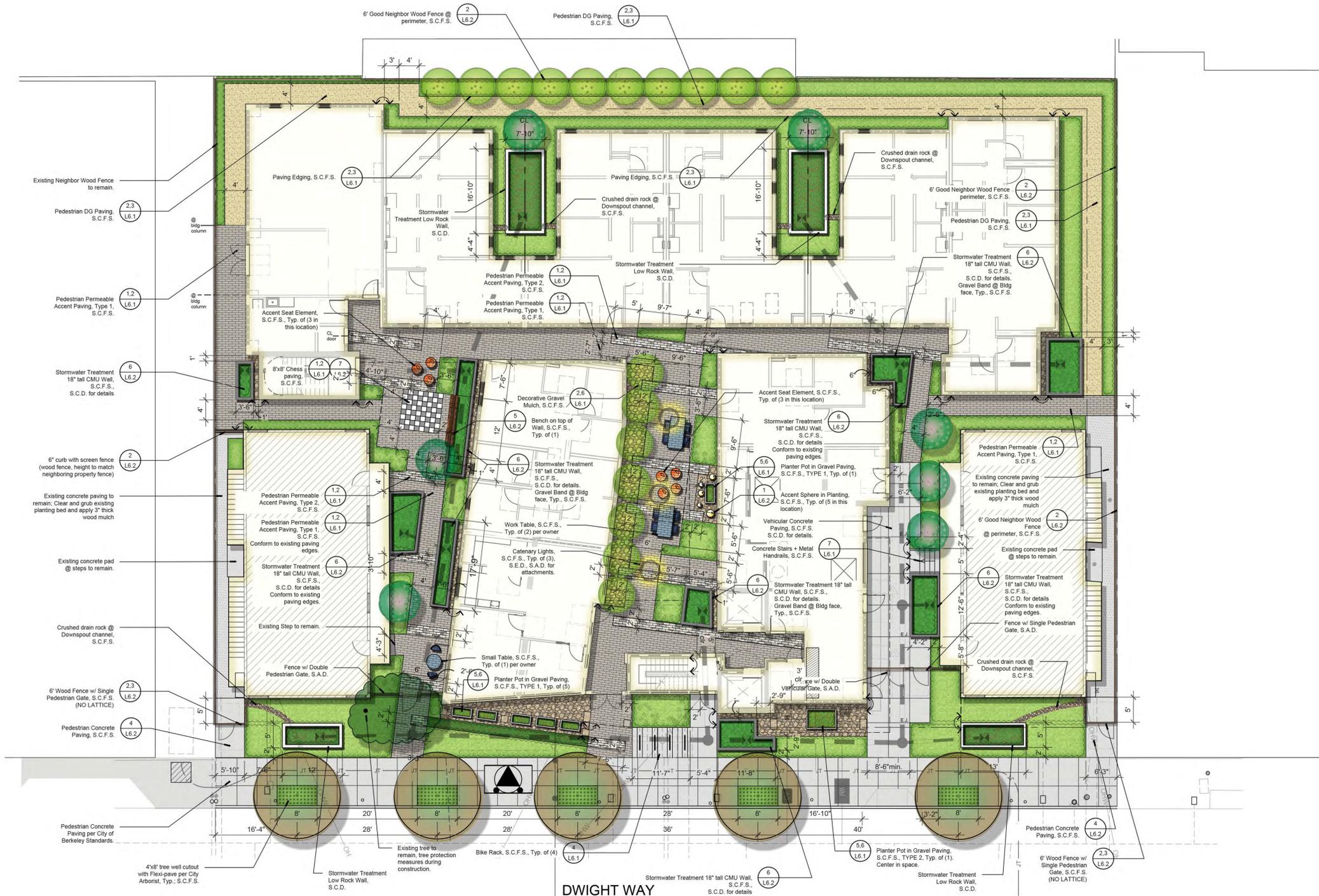
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01-24-2024	BUILDING PERMIT	
04-03-2024	BLDG PERMIT REV01 (P-1)	

CONTACT:

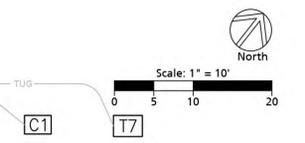
SCALE:

LANDSCAPE
 LAYOUT PLAN

L-2.1



DWIGHT WAY





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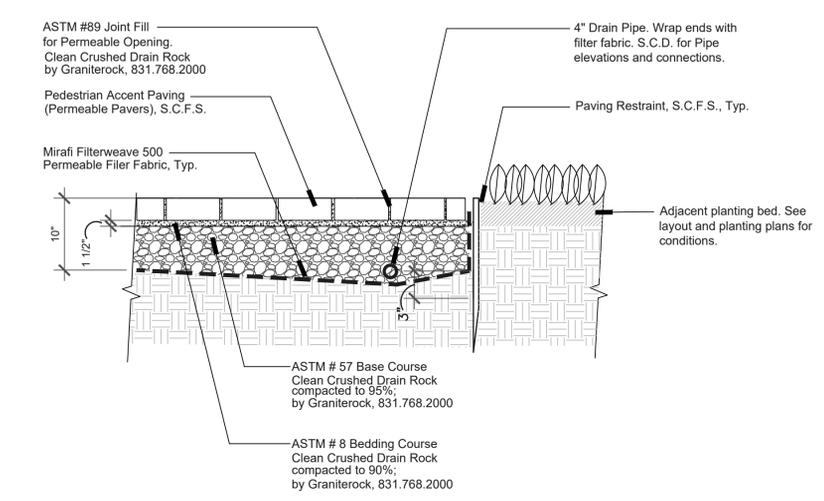
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CONTACT:

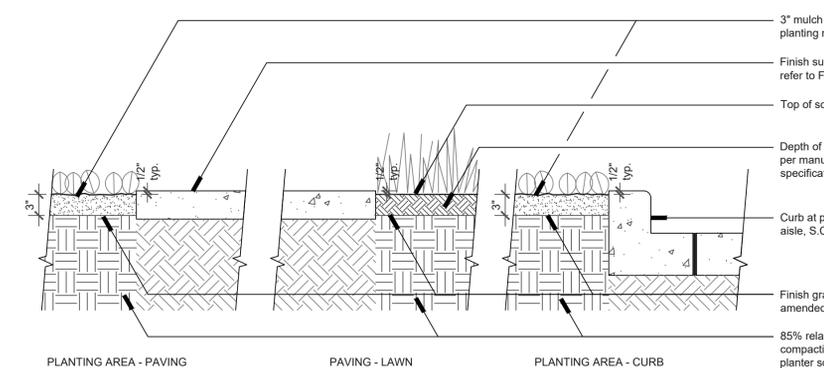
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LANDSCAPE CONSTRUCTION DETAILS

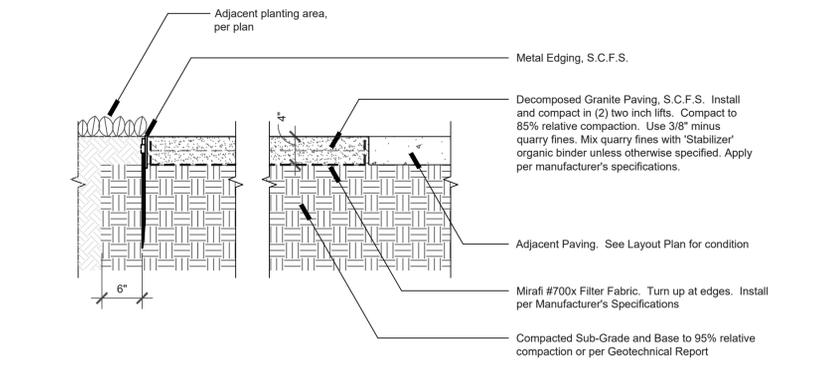
L-6.1



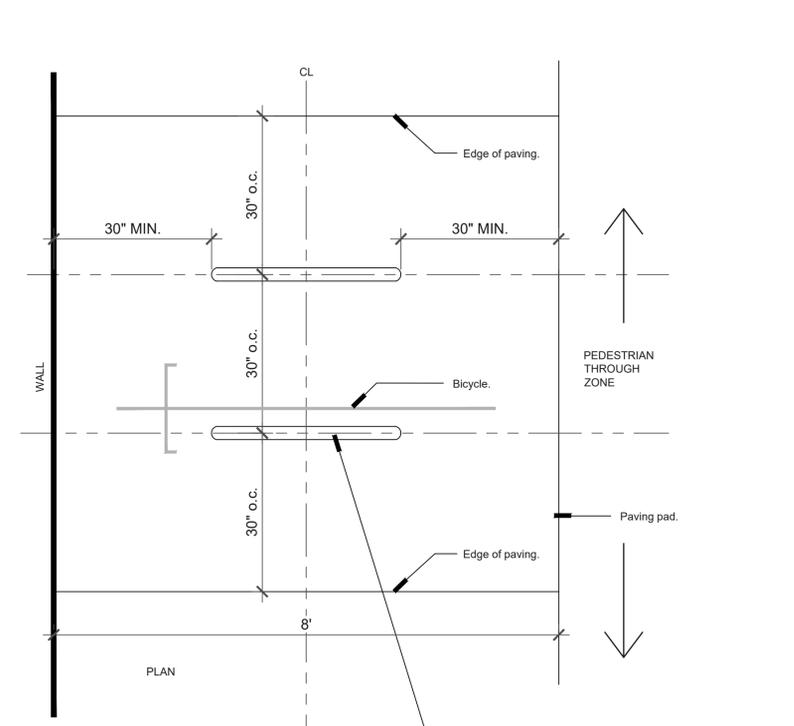
1 Permeable Accent Paving on Grade
 scale: 1" = 1'-0"



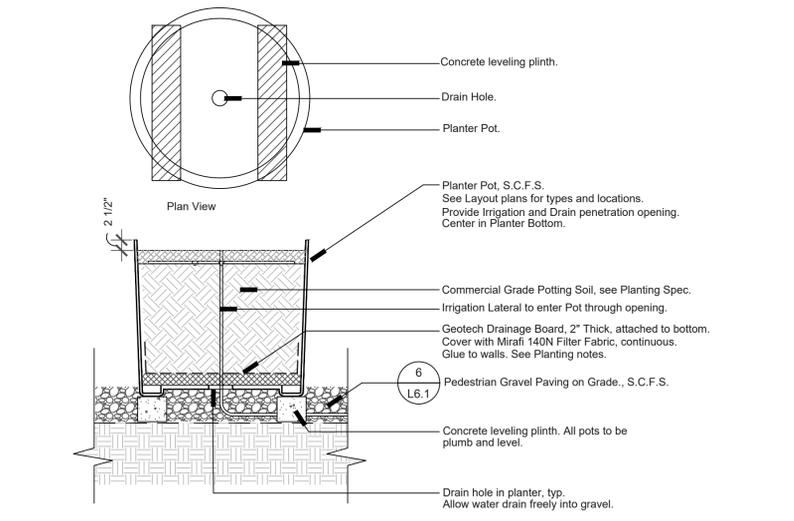
2 Fine Grading at Paving Edges
 scale: 1" = 1'-0"



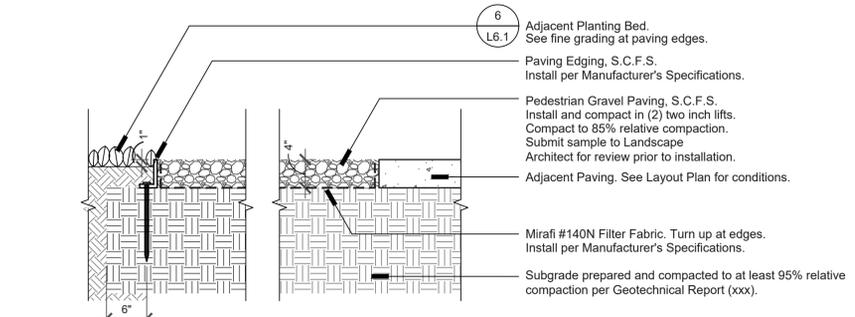
3 Pedestrian DG Paving - Stabilized
 scale: 1" = 1'-0"



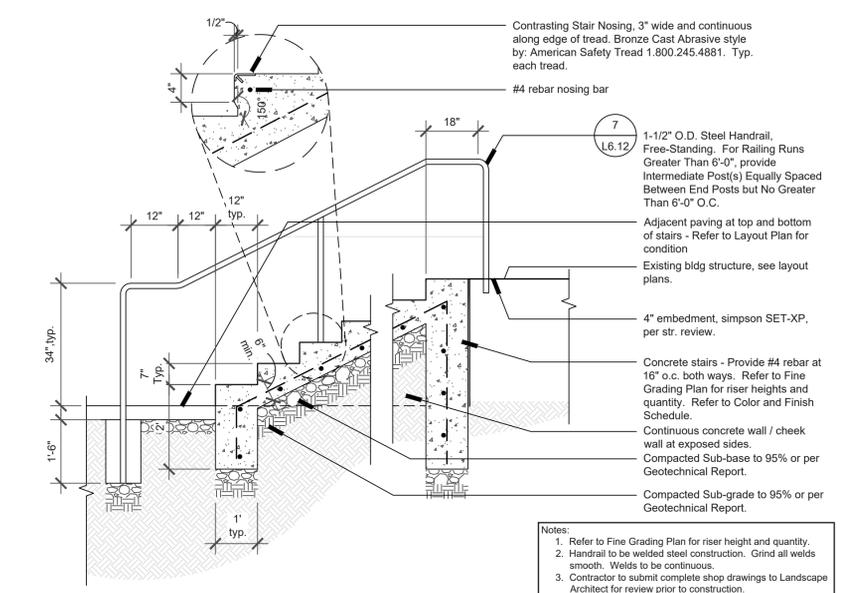
4 Bike Rack on Pavers on Grade
 scale: 3/4" = 1'-0"



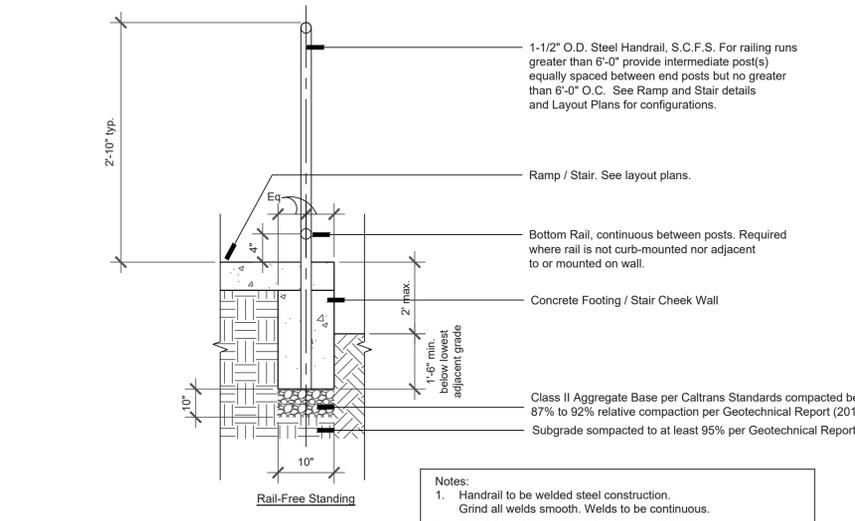
5 Planter Pot in Gravel Paving on Grade
 scale: 3/4" = 1'-0"



6 Pedestrian Gravel Paving on Grade
 scale: 1" = 1'-0"



7 Stairs and Handrail - On Grade
 scale: 1/2" = 1'-0"



8 Handrail on Grade
 scale: 1" = 1'-0"





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2127-2159 DWIGHT WAY
 BERKELEY, CA

NOT FOR
 CONSTRUCTION

2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-12.10

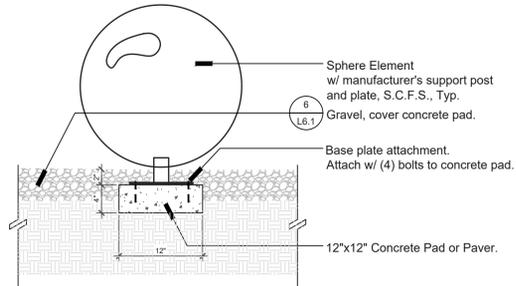
REV	DATE	DESCRIPTION
01-24-2024	BUILDING PERMIT	
04-03-2024	BLDG PERMIT REV01 (P-1)	

CONTACT:

SCALE:

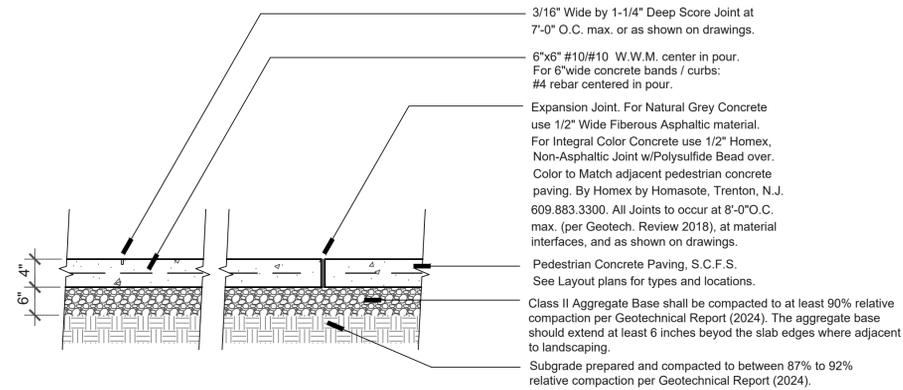
LANDSCAPE
 CONSTRUCTION
 DETAILS

L-6.2



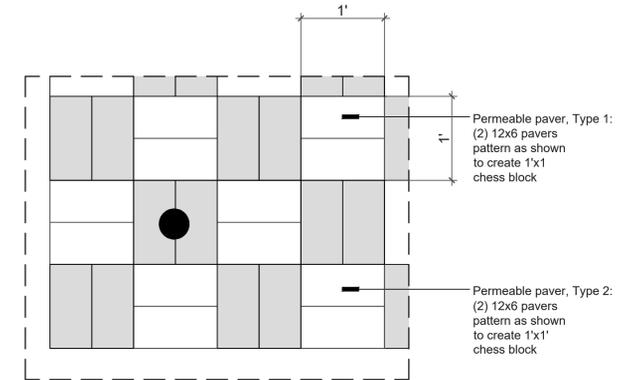
1 Accent Sphere in Gravel Paving

scale: 1" = 1'-0"



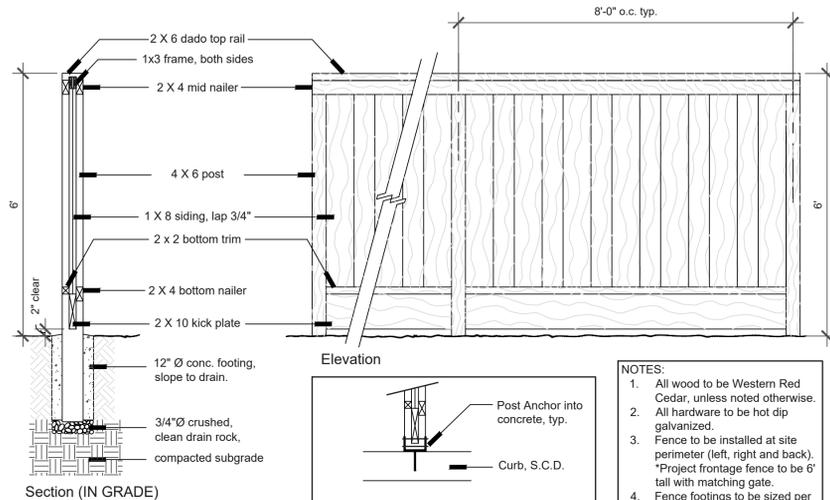
4 Pedestrian Concrete Paving on Grade

Scale: 1" = 1'-0"



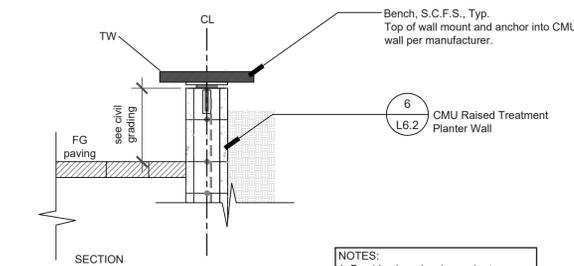
7 Chess Paving Pattern Enlargement

scale: 1" = 1'-0"



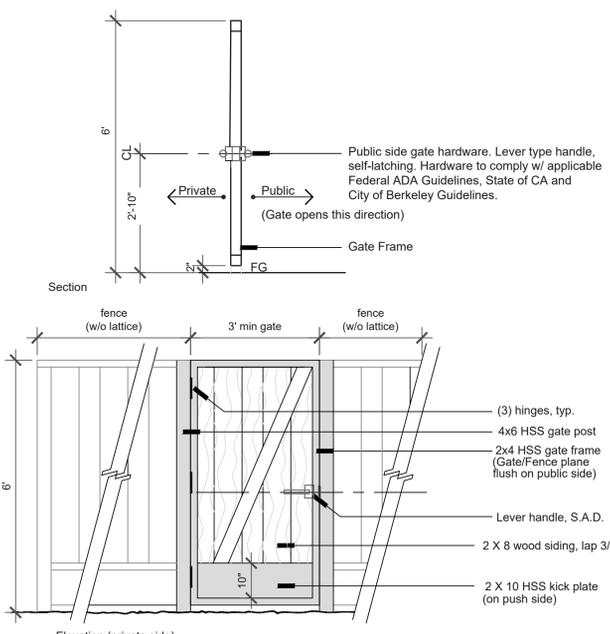
2 Good Neighbor Fence

Scale: 1/2" = 1'-0"



5 Bench on Wall

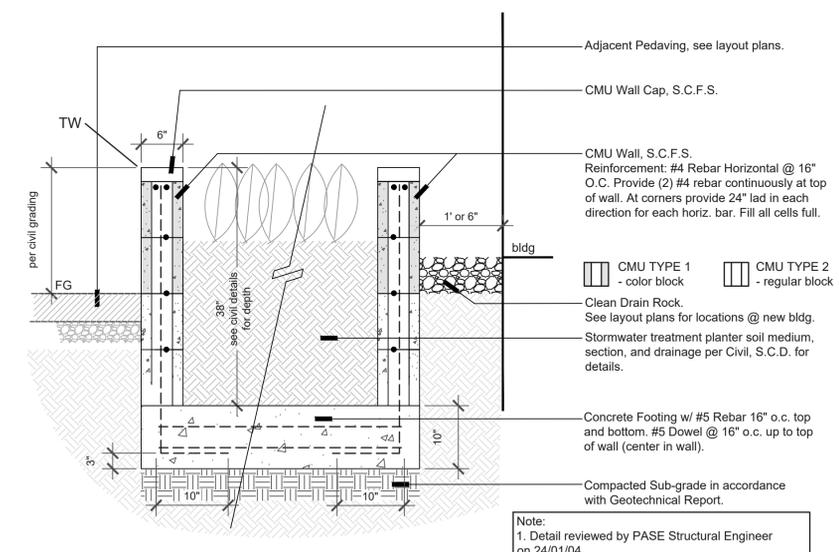
Scale: 3/4" = 1'-0"



Notes:
 1. Contractor to supply complete shop drawings to Landscape Architect for review prior to construction. These will include elevation views for those areas where the fence steps to meet grade changes.
 2. All wood component should be Western Red Cedar - Clear Grade, Rough Cut, unless otherwise noted.
 3. Wood (fence panel & gate) to receive (2) coats semi-transparent stain.
 4. All metal components should be welded steel, hot dip galvanized.
 5. Provide self-closing hinges and self-latching hardware. The force required to operate the gate/door shall meet all applicable access codes and regulations. Maximum effort to operate gates to comply with California Building Code Section 1132A.
 6. At public side of 6' tall Site Fence Gate provide Key Fob swipe pad, mounted at 48" max. Provide Knox Box for Fire Dept. access. See arch. hardware schedule and elec. drwgs for connections.
 7. All hardware final specs to be provided by hardware consultant and contractor via shop drawings.

3 Good Neighbor Fence Gate

Scale: 1/2" = 1'-0"



6 Raised CMU Treatment Wall On-Grade

Scale: 1" = 1'-0"



WDGE2 LED

Architectural Wall Sconce

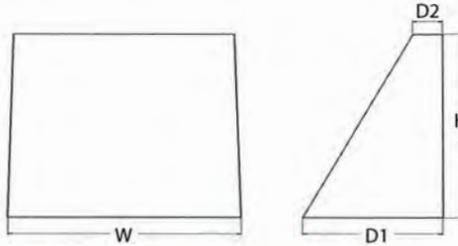
Visual Comfort Optic



Catalog Number
Notes
Type

Specifications

- Depth (D1):** 7"
- Depth (D2):** 1.5"
- Height:** 9"
- Width:** 11.5"
- Weight:** 13.5 lbs (without options)



Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE2 delivers up to 6,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

WDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	6,000	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	Precision Refractive			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting	
WDGE2 LED	P1 ¹ P1SW	27K 2700K	80CRI	VF Visual comfort forward throw	MVOLT	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ¹	
	P2 ¹ P2SW	30K 3000K	90CRI		347 ¹		Shipped separately AWS 3/8inch Architectural wall spacer PBBW Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available.
	P3 ¹ P3SW	35K 3500K		VW Visual comfort wide	480 ¹		
	P4 ¹	Door with small window (SW) is required to accommodate sensors. See page 2 for more details.	40K 4000K				
	P5 ¹		50K ² 5000K				

Options

E4WH	Emergency battery backup, Certified in CA Title 20 MAEDBS (4W, 0°C min)	Standalone Sensors/Controls (only available with P1SW, P2SW & P3SW) PIR Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching. PIRH Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching. PIR1FC3V Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation. PIRH1FC3V Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.	DDBXD	Dark bronze	
E10WH	Emergency battery backup, Certified in CA Title 20 MAEDBS (10W, 5°C min)		NLTAIR2 PIR nLightAIR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights.	DBLXD	Black
E20WC	Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min)		NLTAIR2 PIRH nLightAIR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights.	DNAXD	Natural aluminum
PE	Photocell, Button Type ³		NLTAIR2 PIR924 nLight AIR Wireless enabled, UL924 Listed motion/ ambient sensor for 8-15' mounting heights ²	DWHXD	White
DS	Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details) ⁴		NLTAIR2 PIRH924 nLight AIR Wireless enabled, UL924 Listed motion/ ambient sensor for 15-30' mounting heights ²	DSSXD	Sandstone
DMG	0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) ⁵	See page 4 for out of box functionality	DOBTXD	Textured dark bronze	
BCE	Bottom conduit entry for back box (PBBW). Total of 4 entry points.		DBLBXD	Textured black	
BAA	Buy America(n) Act Compliant		DNATXD	Textured natural aluminum	
DSLE	Dual Switching (1 Driver, 2 Light Engines)		DWHGXD	Textured white	
CCE	Coastal Construction		DSSTXD	Textured sandstone	



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WDGE2 LED
 Rev. 03/27/24

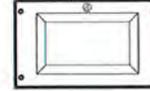
Accessories

Ordered and shipped separately.

- WDGEAWS DDBXD WDGE 3/8inch Architectural Wall Spacer (specify finish)
- WDGE2P8BW DDBXD U WDGE2 surface-mounted back box (specify finish)

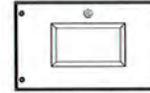
NOTES

- P1-P5 not available with sensors/controls. Sensors/controls only available with P15W, P25W and P35W.
- 50K not available in 90CRI.
- 347V and 480V not available with E4WH, E10WH, E20WC, DS or DSLE.
- Not qualified for DLC. Not available with emergency battery backup or sensors/controls.
- PE not available in 480V or with sensors/controls.
- DS option not available with E4WH, E10WH, E20WC or sensors/controls.
- DMG option not available with sensors/controls.
- Available with MVOLT only and only rated to 25C ambient.



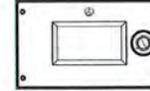
Default configuration with no sensors/controls.

Power Packages: P1, P2, P3, P4, P5



Small Window (SW) configuration

Power Packages: P15W, P25W, P35W



Configuration with sensors/controls

Power Packages: P15W, P25W, P35W

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 80 CRI)					30K (3000K, 80 CRI)					35K (3500K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P1 / P15W	10W	VF	1,166	119	0	0	0	1,209	123	0	0	0	1,251	128	0	0	0	1,256	128	0	0	0	1,254	128	0	0	0
		VW	1,197	122	0	0	0	1,241	126	0	0	0	1,284	131	0	0	0	1,289	131	0	0	0	1,286	131	0	0	0
P2 / P25W	15W	VF	1,878	129	1	0	0	1,947	134	1	0	0	2,015	139	1	0	0	2,023	139	1	0	0	2,019	139	1	0	0
		VW	1,927	133	1	0	0	1,997	137	1	0	0	2,067	142	1	0	0	2,075	143	1	0	0	2,071	143	1	0	0
P3 / P35W	23W	VF	2,908	129	1	0	0	3,015	134	1	0	0	3,119	138	1	0	0	3,132	139	1	0	0	3,126	139	1	0	0
		VW	2,983	132	1	0	0	3,093	137	1	0	0	3,200	142	1	0	0	3,213	143	1	0	0	3,206	142	1	0	0
P4	35W	VF	4,096	117	1	0	1	4,247	121	1	0	1	4,394	126	1	0	1	4,412	126	1	0	1	4,403	126	1	0	1
		VW	4,202	120	1	0	0	4,357	125	1	0	1	4,508	129	1	0	1	4,526	129	1	0	1	4,517	129	1	0	1
P5	48W	VF	5,567	115	1	0	1	5,772	119	1	0	1	5,972	123	1	0	1	5,996	124	1	0	1	5,984	124	1	0	1
		VW	5,711	118	1	0	1	5,921	122	1	0	1	6,127	126	1	0	1	6,151	127	1	0	1	6,139	127	1	0	1

Electrical Load

Performance Package	System Watts	Current (A)					
		120V	208V	240V	277V	347V	480V
P1 / P15W	10W	0.082	0.049	0.043	0.038	--	--
	13W	--	--	--	--	0.046	0.033
P2 / P25W	15W	0.132	0.081	0.072	0.064	--	--
	18W	--	--	--	--	0.056	0.041
P3 / P35W	23W	0.195	0.114	0.100	0.088	--	--
	26W	--	--	--	--	0.079	0.058
P4	35W	0.302	0.175	0.152	0.134	--	--
	38W	--	--	--	--	0.115	0.086
P5	48W	0.434	0.241	0.211	0.184	--	--
	52W	--	--	--	--	0.157	0.119

Lumen Multiplier for 90CRI

CCT	Multiplier
27K	0.845
30K	0.867
35K	0.845
40K	0.885
50K	0.898

Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	Dist. Type	Lumens
E4WH	VF	646
	VW	647
E10WH	VF	1,658
	VW	1,701
E20WC	VF	2,840
	VW	2,913

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C / 32°F	1.03
10°C / 50°F	1.02
20°C / 68°F	1.01
25°C / 77°F	1.00
30°C / 86°F	0.99
40°C / 104°F	0.98

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.95	>0.91



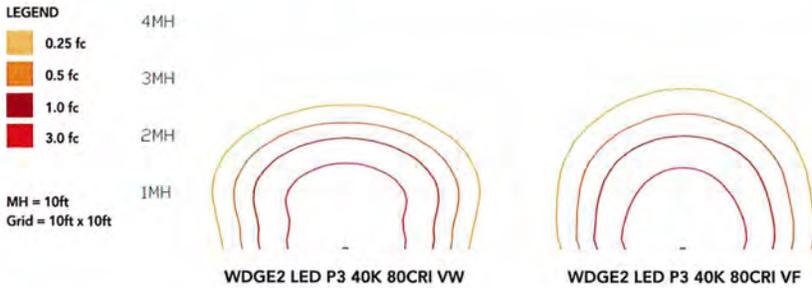
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WDGE2 LED
Rev. 03/27/24

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDG2 LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.



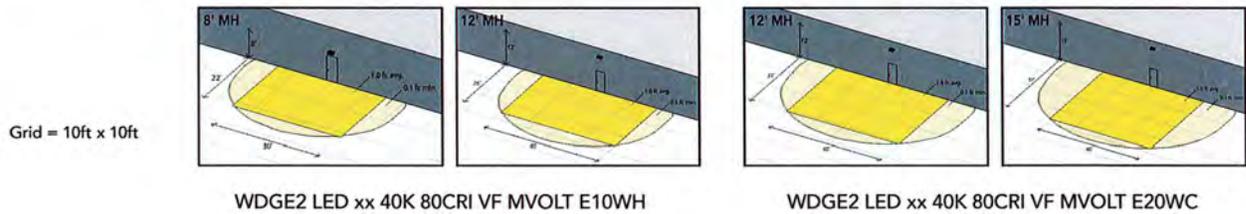
Emergency Egress Options

Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

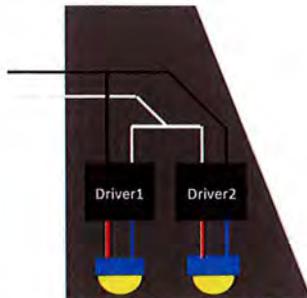
The examples below show illuminance of 1 fc average and 0.1 fc minimum in emergency mode with E10WH or E20WC and VF distribution.



Dual Switching (DS) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with two drivers and two light engines. These work completely independent to each other so that a failure of any individual component does not cause the whole luminaire to go dark.

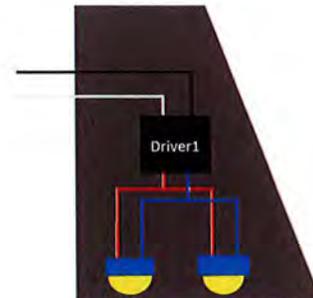
Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9



Dual Switching Light Engine (DSLE) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with one driver and two light engines. These work completely independent to each other so that a failure of either light engine does not cause the whole luminaire to go dark.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9



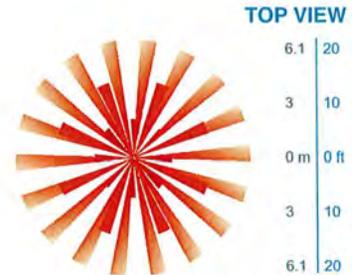
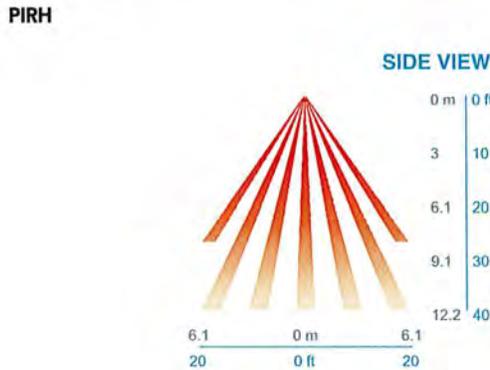
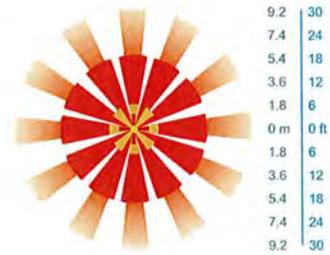
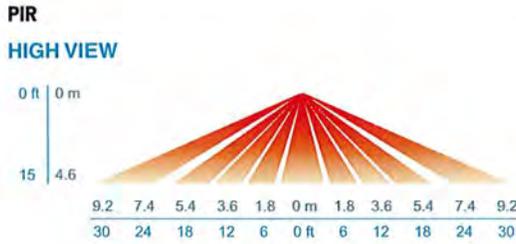
Control / Sensor Options

Motion/Ambient Sensor (PIR, PIRH)

Motion/Ambient sensor (Sensor Switch MSOD) is integrated into the the luminaire. The sensor provides both Motion and Daylight based dimming of the luminaire. For motion detection, the sensor utilizes 100% Digital Passive Infrared (PIR) technology that is tuned for walking size motion while preventing false tripping from the environment. The integrated photocell enables additional energy savings during daytime periods when there is sufficient daylight. Optimize sensor coverage by either selecting PIR or PIRH option. PIR option comes with a sensor lens that is optimized to provide maximum coverage for mounting heights between 8-15ft, while PIRH is optimized for 15-40ft mounting height.

Networked Control (NLTAIR2)

nLight® AIR is a wireless lighting controls platform that allows for seamless integration of both indoor and outdoor luminaires. Five-tier security architecture, 900 MHz wireless communication and app (CLAIRITY™ Pro) based configurability combined together make nLight® AIR a secure, reliable and easy to use platform.



Option	Dim Level	High Level (when triggered)	Photocell Operation	Motion Time Delay	Ramp-down Time	Ramp-up Time
PIR or PIRH	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
PIR1FC3V, PIRH1FC3V	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 1fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
NLTAIR2 PIR, NLTAIR2 PIRH (out of box)	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	7.5 min	5 min	Motion - 3 sec Photocell - 45 sec

Mounting, Options & Accessories



**NLTAIR2 PIR – nLight AIR
Motion/Ambient Sensor**

D = 7"
H = 11"
W = 11.5"



PBBW – Surface-Mounted Back Box
Use when there is no junction box available.

D = 1.75"
H = 9"
W = 11.5"



AWS – 3/8inch Architectural Wall Spacer

D = 0.38"
H = 4.4"
W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0-10v dimmable driver.

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

GOVERNMENT PROCUREMENT

BAA – Buy America(n) Act: Product qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product also qualifies as manufactured in the United States under DOT Buy America regulations.
BABA – Build America Buy America: Product qualifies as produced in the United States under the definitions of the Build America, Buy America Act.
Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Project		Catalog #		Type	
Prepared by		Notes		Date	



HALO

SLD6 1200 Series

6" Round Surface LED Downlight
 SeleCCTable color temperature
 1200 Lumen Series

Typical Applications
 Residential

Interactive Menu

- Order Information page 2
- Product Specification page 3
- Energy Data page 4
- Photometric Data page 4
- Product Warranty

Top Product Features

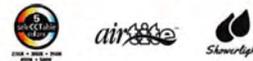
- Ultra-low profile surface luminaire with wide distribution
- Ceiling or wall mounting in compatible junction boxes
- 120V with phase dim or 120V-277V UNV with 0-10V dim
- Select from 5 CCTs via switch; 2700K, 3000K, 3500K, 4000K, 5000K CCT
- Wet location listed for showers and protected ceilings
- 90 CRI; Dimmable to 5%

Product Certification

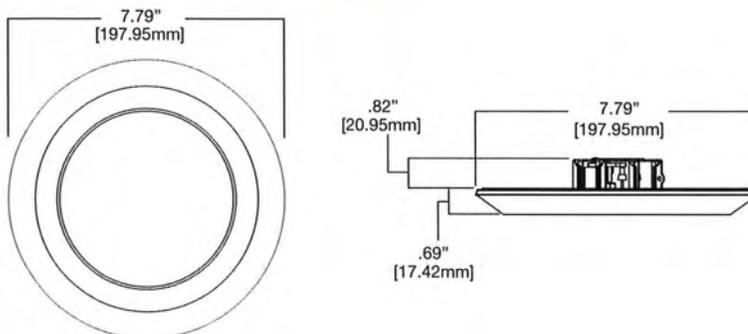


Refer to ENERGY STAR® Certified Products List.
 Can be used to comply with California Title 24 High Efficacy requirements.
 Certified to California Appliance Efficiency Database under JAB.

Product Features



Dimensional and Mounting Details



HALO **SLD6 1200 Series**

Order Information

SAMPLE NUMBER: **SLD6129S1EMWR** = 6" Surface Mount LED Downlight, 90CRI, Selectable CCT, 120V, Matte White
 Junction Box Installation: Order junction box separately, as supplied by others, to complete installation.
 Recessed Installation: Order HALO recessed housing and SLDACCKIT separately to complete installation.

Models	Lumens	CRI / CCT	Driver	Finish	Packaging
SLD6 = 6" Surface LED downlight	12 = 1200 lumen (nominal)	9S = 90 CRI minimum, white tuning, selectable CCT 2700K-5000K	1E = 120V 60Hz leading or trailing edge phase cut 5% dimming E010 = 120V-277V 60Hz 0-10V dimming down to 5%	MW = Matte White	R = recyclable 4-color unit carton suitable for point of purchase merchandising display
Notes	Notes	Notes	Notes	Notes	Notes

Accessories (Order Separately)

Accessories (Order Separately)
<p>Designer Trims Fit over the SLD6 for a designer finish SLD6TRMSN=6" SLD Satin Nickel SLD6TRMTBZ=6" SLD Tuscan Bronze SLD6TRMWH=6" SLD White (paintable)</p> <p>J-Box Spacer Extension Ring Add 15/16" depth when SLD driver cannot fit into installed junction box SLD6EXT=6" Surface LED J-Box Extender, 9.5" O.D.</p> <p>RAD Adapters When junction box is mounted flat on a ceiling or beam surface (not recessed in ceiling) SLD6RAD=6" SLD Round Surface J-Box Adapter, 7.92" O.D. (For 4-inch round or octagon junction boxes)</p> <p>Spare Parts SLDACCKIT=SLD Accessory Parts Replacement Kit (Screwbase adapter, torsion springs, friction blades) SLD6BRKT=6" Junction Box Bracket & Screws</p> <p>Refer to SLD Accessories specification sheet for further information.</p>
Notes

Accessories (Order Separately)

Designer Trims



SLD6TRMSN
Satin Nickel



SLD6TRMTBZ
Tuscan Bronze



SLD6TRMWH
White (Paintable)

J-box Spacer Extension Ring

SLD6EXT
6" Surface LED Space Ring



RAD Adapter

SLD6RAD
6" SLD Round Surface J-box Adapter
For 4" round and octagon junction boxes.



HALO

SLD6 1200 Series

Product Specifications

Construction

- Die cast aluminum trim ring and die formed aluminum frame

Optics

- Light guide provides uniform luminance from a low profile flat lens
- Directional control for the "cone-of-light" beam distribution of a traditional downlight
- Precision molded lens features high transmission polymer with UV stabilized protecting film

Designer Trims

Accessories (sold separately)

- SLD designer trims are accessory rings that attach to the SLD for a permanent finish. Refer to SLD accessories specification sheet for details.
 - White (Paintable)
 - Satin Nickel
 - Tuscan Bronze

Electrical Junction Box Mounting

- SLD may be used in compatible electrical junction boxes in direct contact with insulation including spray foam insulation
- Suitable for installation in 3-1/2" and 4" square, octagon, and round electrical junction boxes (some require SLD6EXT)
- Installer must ensure compatibility of fit, wiring and proper mounting in the electrical junction box. This includes all applicable national and local electrical and building codes
- Proprietary Slot-N-Lock quick installation system for junction box installation
- T-bracket with Slot-N-Lock mounting tabs included.

LED

- Trilateral linear LED assembly is integrated in trim perimeter.
- Field selectable color temperature; select 2700K, 3000K, 3500K, 4000K or 5000K CCT
- 90 CRI can be used for California Title 24 compliance/certified
- L70 at 50,000 hours projected in accordance with TM-21

LED Chromaticity

- A tight chromaticity specification ensures LED color uniformity, sustainable Color Rendering Index (CRI) and Correlated Color Temperature (CCT) over the useful life of the LED
- LED chromaticity of 3 SDCM exceeds ENERGY STAR® color standards per ANSI.
- 90 CRI model features high color performance with R9 greater than 50
- Every Halo LED is quality tested, measured, and serialized in a permanent record to register lumens, wattage, CRI and CCT.
- Halo LED serialized testing and measurement ensures color and lumen consistency on a per-unit basis, and validates long-term product consistency over time.

Electrical Connections

Junction Box

- Compatible with many 3-1/2" x 2" and 4" x 1-1/2" round and octagon boxes (2-1/8" deep boxes recommended)
- Supply Wire Adapter with LED quick connector included
- For recessed housings use SLDACCKIT (sold separately)

LED Driver

- Driver is a 120V input high efficiency, dimmable electronic power supply providing DC power to the LED array
- Driver features high power factor, low THD, and has integral thermal protection in the event of over temperature or internal failure.
- Driver is replaceable if it should be required

120V Dimming – Phase Control

- Designed for continuous dimming capability to nominally 5% with many 120V Leading Edge (LE) and Trailing Edge (TE) phase control dimmers.
- Dimming to 5% is best assured using dimmers with low end trim adjustment.
- Consult dimmer manufacturer for compatibility and conditions of use.
- Note:** Some dimmers require a neutral in the wallbox.

UNV Dimming – 0-10V

- 120V-277V UNV dimming capability to nominally 5% with 0-10V control dimmers only .
- 0-10V DC dimmers operate using two low voltage dimming wires (color coded violet and gray). The low voltage dimming wires are separate from the 120V AC or 277V AC power.
- Switching on/off is controlled via the line voltage (120V AC or 277V AC) power, and dimming is controlled via the 2-wire 0-10V DC low voltage wiring.
- UNV SLD does not phase dim, only 0-10V.**

Compliance

- UL Certified for use in US and Canada
- UL Certified Damp and Wet location listed.
- Suitable for use in closets, compliant with NFPA® 70, NEC® Section 410.16 (A)(3) and 410.16 (C)(5)
- SLD may be used in compatible electrical junction boxes in direct contact with insulation including spray foam insulation
- May be installed in IC recessed housings in direct contact with insulation (Not for use in recessed housings in direct contact with spray foam insulation. Refer to NEMA LSD 57-2013)
- UL Classified when used in retrofit with listed housings (See Housing Compatibility)
- EMI/RFI: meets FCC 47CFR Part 15 Class B limits, and is suitable for use in residential and commercial installations
- Airtight certified per ASTM E283 (not exceeding 2.0 CFM under 57 Pascals pressure difference)
- 90 CRI: Can be used to comply with California Title 24 High Efficacy requirements.
- Can be used for International Energy Conservation Code (IECC) and Washington State Energy Code high efficiency luminaire compliance
- ENERGY STAR® certified luminaire - consult ENERGY STAR® Certified Product List
- Contains no mercury or lead and RoHS compliant.
- Photometric testing in accordance with IES LM-79 - Lumen maintenance projections in accordance with IES LM-80 and TM-21

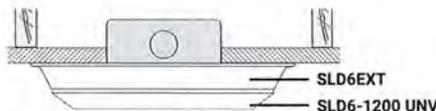
Warranty

- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

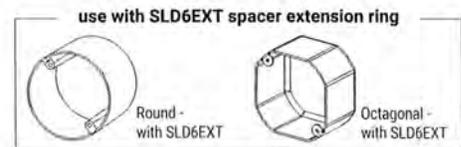
Junction Box Compatibility



4" square deep steel box
 4" x 4" x 2-1/8"
 (102mm x 102mm x 54mm)



Compatible with other boxes when used with SLD6EXT extension spacer ring.



*This is a representative list of compatible junction boxes only. Information contained in this literature about other manufacturers' products is from published information made available by the manufacturer and is deemed to be reliable, but has not been verified. Cooper Lighting Solutions makes no specific recommendation on product selection and there are no warranties of performance or compatibility implied. Installer must determine that site conditions are suitable to allow proper installation of the mounting bracket in the box.

HALO

SLD6 1200 Series

Energy Data

Energy Data @ 3000K	
Lumens	1200 Series
Input Voltage	120V
Input Current	74 (mA)
Input Power	15.6 (W)
Efficiency	85.7 (LPW)
Inrush (A)	2.1 (A)
THD:	≤ 20%
PF:	≥ 0.90
T Ambient	-30° - +40°C
Sound Rating	≤ 20 dba

Photometric Data

SLD6129S1EMWR-2700K
Spacing criterion: (0-180) 1.22
(90-270) 1.22
(Diagonal) 1.38
Beam Angle: 121.4°
Field Angle: 162.4°
Lumens: 1304
Input Watts: 15.6 W
Efficacy: 83.6 LPW
Test Report:
SLD6129S1EMWR-2700K.ies

Zonal Lumen	Lumens	% Lumens
0-30	334.3	25.3
0-40	562.7	42.6
0-60	1032	78.1
0-90	1314	100

TM-30-15	Rf = 94
	Rg = 100
CRI/CIE	Ra = 98.1
	R9 = 67

CCT - Range of 2700K - 5000K

112°

SLD612 120V	CCT	Lumens	Power (W)	LPW
Field Selectable CCT	2700K	1273	15.6	81.6
	3000K	1304	15.6	83.6
	3500K	1337	15.6	85.7
	4000K	1365	15.6	87.5
	5000K	1402	15.6	89.9

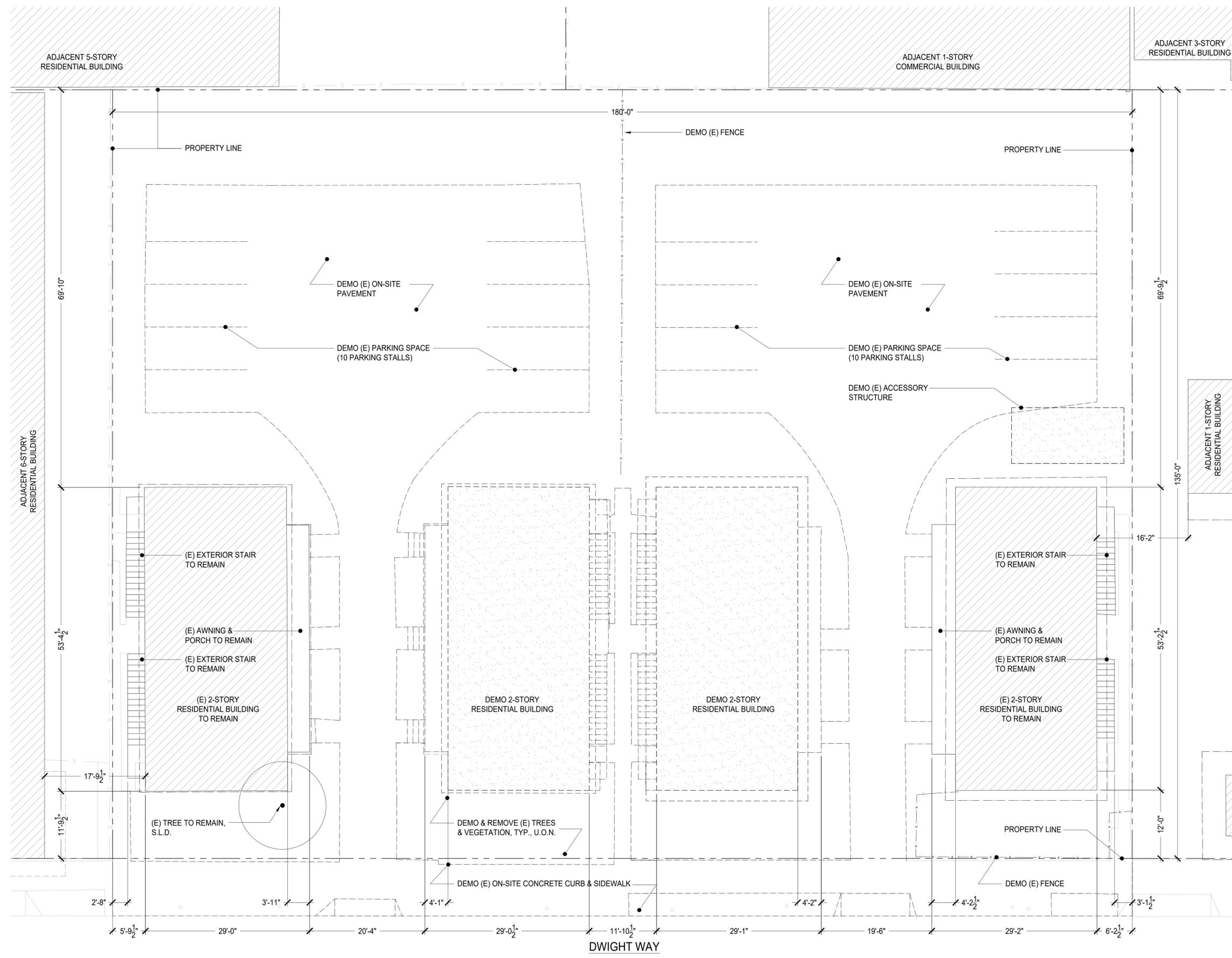
SLD612 UNV	CCT	Lumens	Power (W)	LPW
Field Selectable CCT	2700K	1240	15.5	80.0
	3000K	1270	15.5	81.9
	3500K	1300	15.5	83.9
	4000K	1326	15.5	85.5
	5000K	1353	15.5	87.3

SLD6129S1EMWR - 3000K

PRODUCT SPECIFICATIONS	
Lumens	1304
Watts	15.6
Lumens Per Watt (Efficacy)	85.7
Color Accuracy (CRI)	94
Light Color (CCT)	3000K
Correlated Color Temperature (CCT)	
2700K	3000K
4500K	6500K



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2127 DWIGHT WAY
 BERKELEY, CA



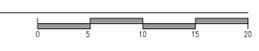
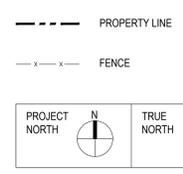
2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-12.10

REV	DATE	DESCRIPTION
04-24-2023	PLANNING SUBMITTAL	
06-30-2023	PLANNING RESUBMITTAL	

CONTACT: TOBY LEVY
 (415) 777-0561 P
 (415) 777-5117 F
 SCALE: AS NOTED

SITE PLAN:
 DEMO

A1.00





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2127 DWIGHT WAY
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NOT FOR
 CONSTRUCTION

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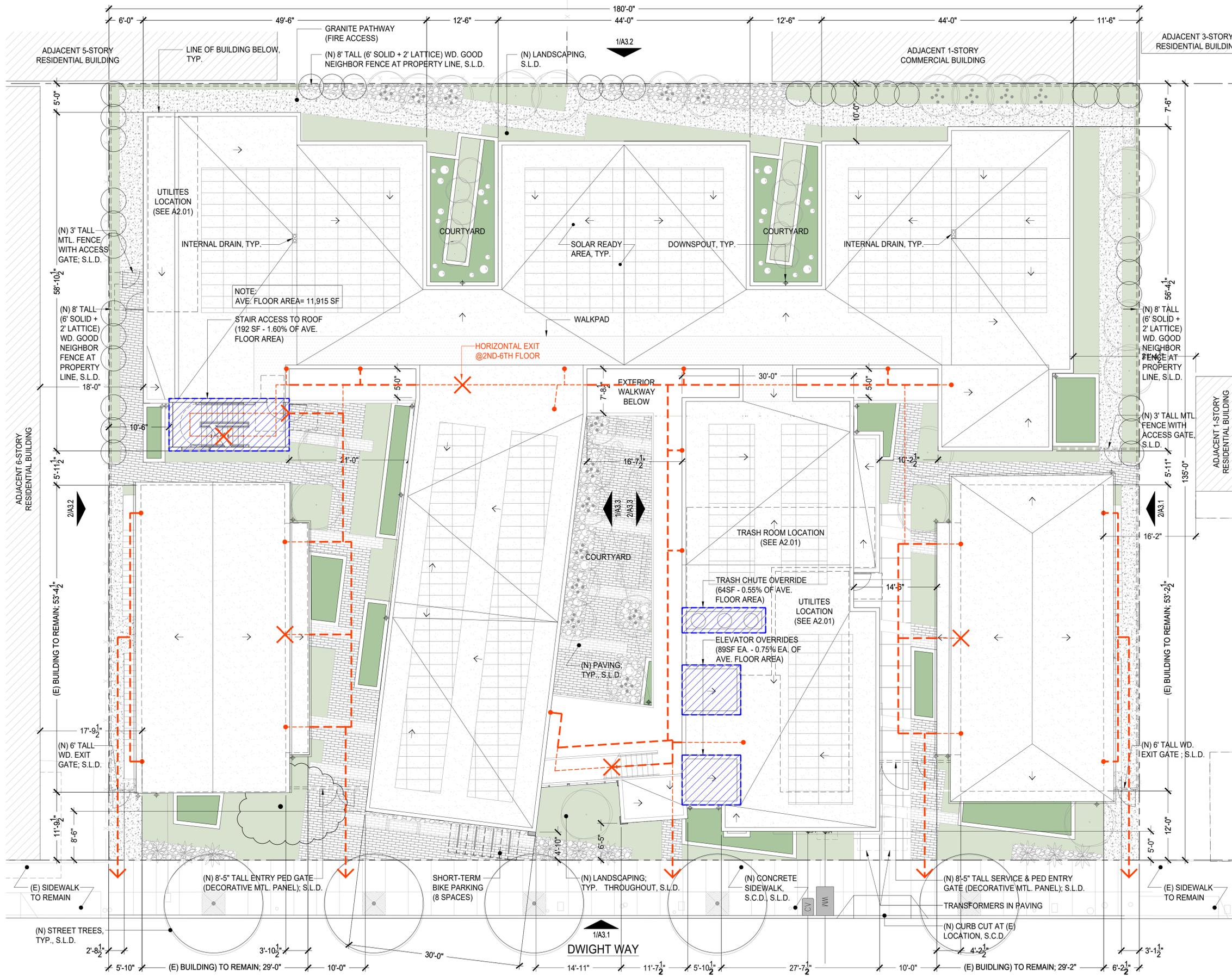
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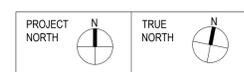
SCALE: AS NOTED

SITE PLAN:
 NEW

A1.01



- PATH FROM RESIDENTIAL TO PUBLIC RIGHT OF WAY
- PROPERTY LINE
- NON-OCCUPIABLE ROOF
- ROOF SLOPE (MIN 1:48)
- STRUCTURES ABOVE HEIGHT LIMIT (3.65% OF AVG. FLOOR AREA)
- (N) LANDSCAPING; S.L.D.





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2127 DWIGHT WAY
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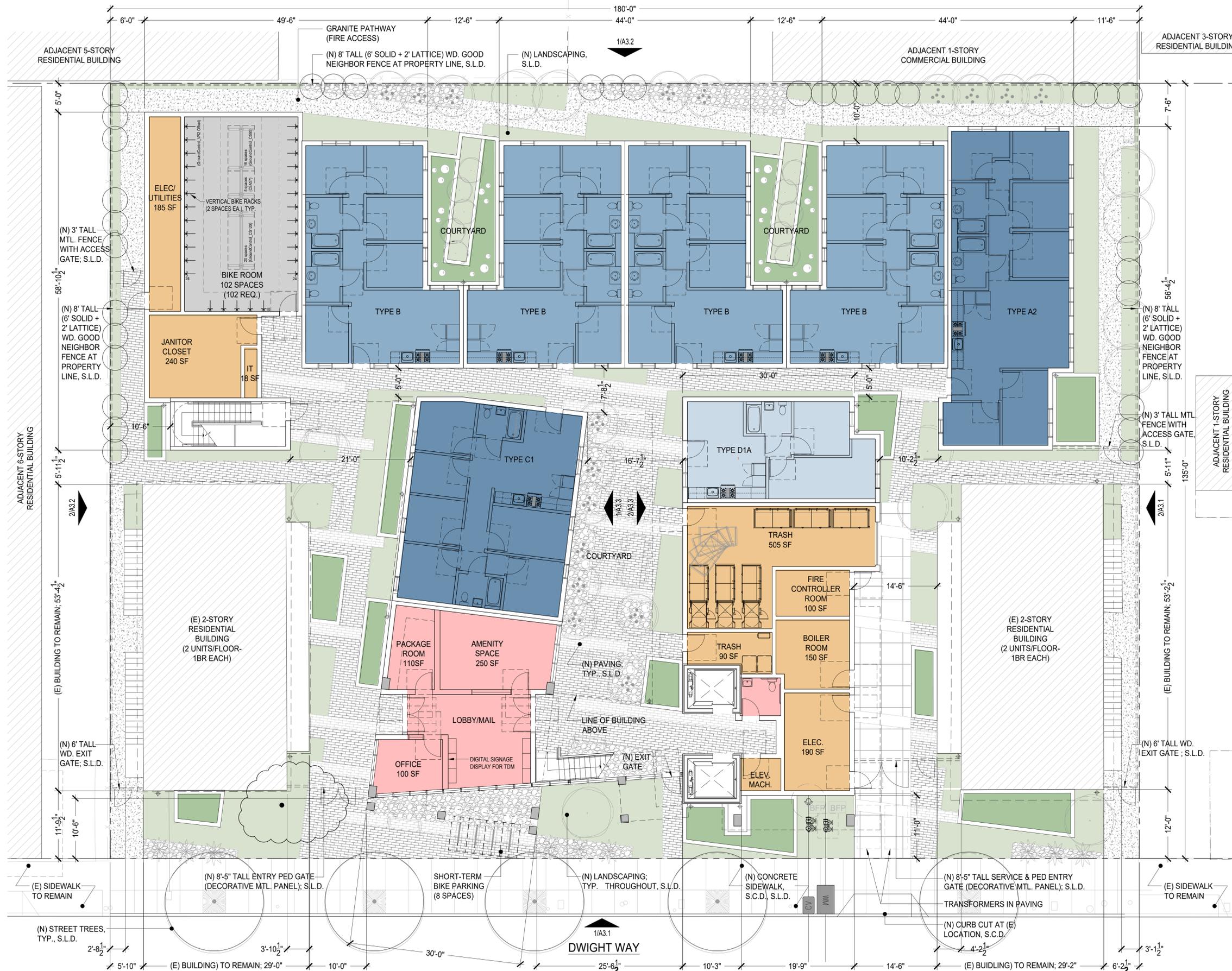
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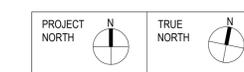
SCALE: AS NOTED

FLOOR PLAN:
 GROUND FLOOR

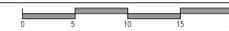
A2.01



- PROPERTY LINE
- NON-OCCUPIABLE ROOF
- ROOF SLOPE (MIN 1:48)
- STRUCTURES ABOVE HEIGHT LIMIT (3.65% OF AVG. FLOOR AREA)
- (N) LANDSCAPING; S.L.D.
- RESIDENTIAL AMENITIES
- UTILITIES
- BIKE PARKING
- 2 BEDROOM
- 4 BEDROOM
- 5 BEDROOM
- 6 BEDROOM



1 PLAN: GROUND FLOOR
 1/8"=1'-0"





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2127 DWIGHT WAY
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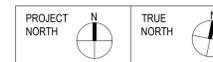
SCALE: AS NOTED

FLOOR PLAN:
 FLOOR 02

A2.02



- PROPERTY LINE
- NON-OCCUPIABLE ROOF
- ROOF SLOPE (MIN. 1:48)
- STRUCTURES ABOVE HEIGHT LIMIT (3.65% OF AVG. FLOOR AREA)
- (N) LANDSCAPING, S.L.D.
- RESIDENTIAL AMENITIES
- UTILITIES
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- 6 BEDROOM



1 PLAN: FLOOR 02
 1/8"=1'-0"



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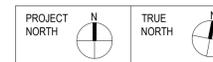
SCALE: AS NOTED

FLOOR PLAN:
 FLOOR 03-05

A2.03



- PROPERTY LINE
- NON-OCCUPIABLE ROOF
- ROOF SLOPE (MIN. 1:48)
- STRUCTURES ABOVE HEIGHT LIMIT (3.65% OF AVG. FLOOR AREA)
- (N) LANDSCAPING, S.L.D.
- RESIDENTIAL AMENITIES
- UTILITIES
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- 5 BEDROOM
- 6 BEDROOM



1 PLAN: FLOOR 03-05
 1/8"=1'-0"



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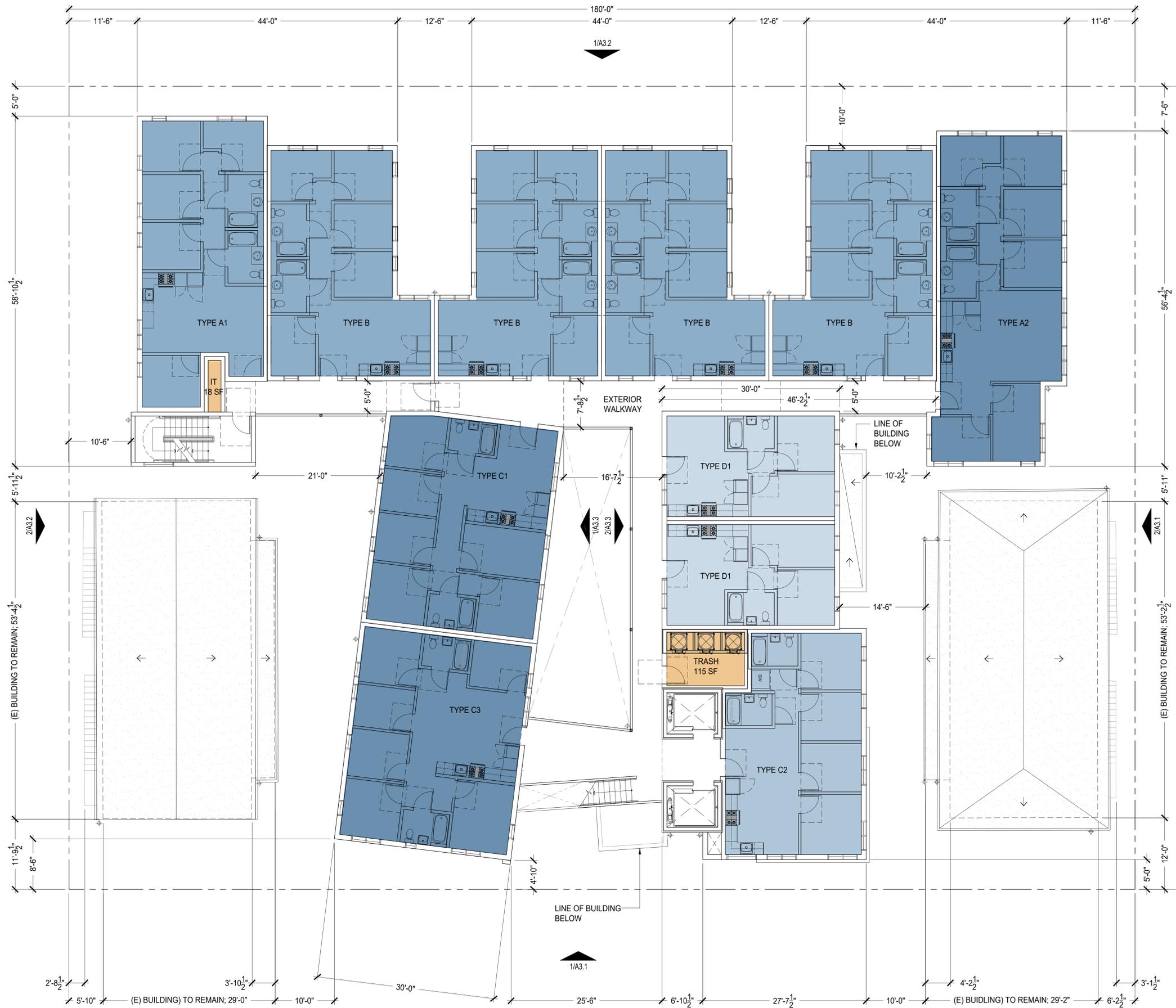
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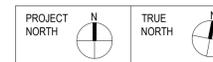
SCALE: AS NOTED

FLOOR PLAN:
 FLOOR 06

A2.04



- PROPERTY LINE
- NON-OCCUPIABLE ROOF
- ROOF SLOPE (MIN. 1:48)
- STRUCTURES ABOVE HEIGHT LIMIT (3.65% OF AVG. FLOOR AREA)
- (N) LANDSCAPING, S.L.D.
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- UTILITIES
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- 6 BEDROOM



1 PLAN: FLOOR 06
 1/8"=1'-0"



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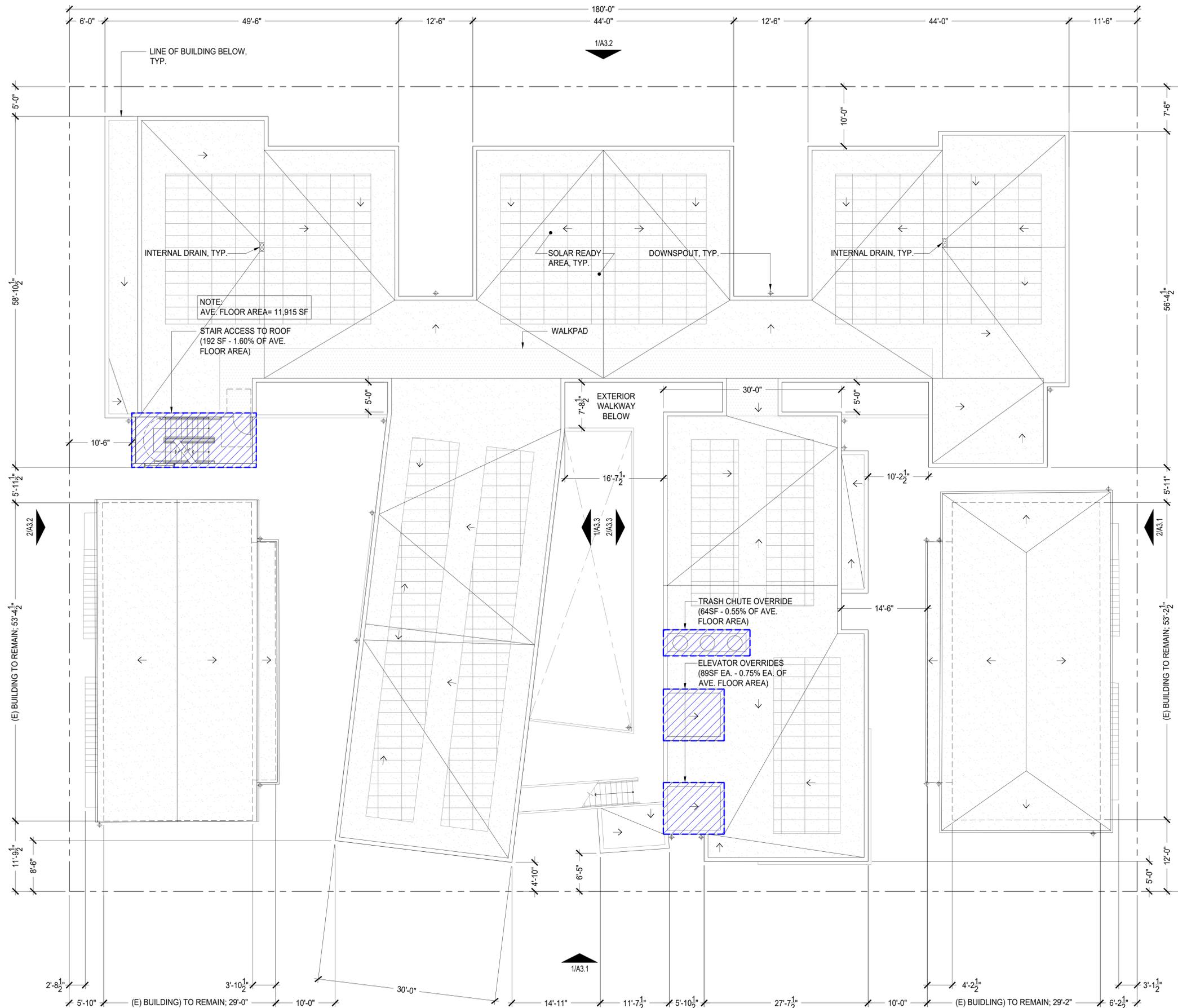
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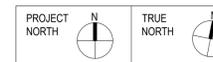
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 AS NOTED

ROOF PLAN

A2.05

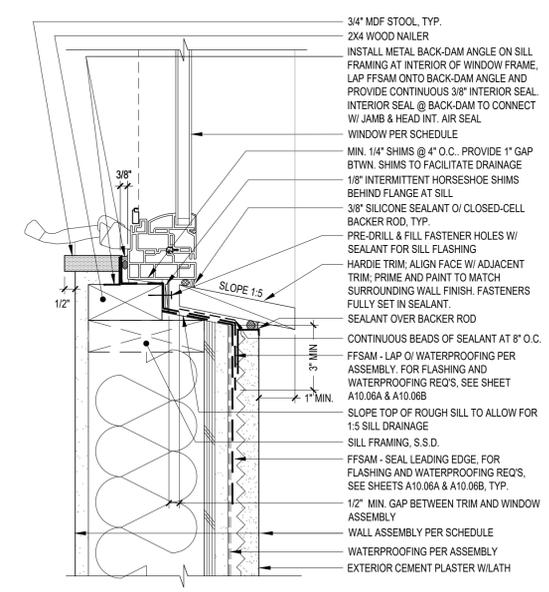


- PROPERTY LINE
- NON-OCCUPIABLE ROOF
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3 TYPICAL WINDOW DETAIL @ SILL
 3'-11" 0" CEMENT PLASTER

LEGENDS

- PROPERTY LINE
- 1A CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR 01: DUNN-EDWARDS SILVER SPOON (DE6366)
- 1B CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR 02: BENJAMIN MOORE IRON MOUNTAIN (2134-30)
- 1C CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR 03: BENJAMIN MOORE GENTLEMAN'S GRAY (2062-20)
- 1D CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR 04: BENJAMIN MOORE OVERCOAT (CC-544)
- 2 HARDIE HORIZONTAL LAPSIDING; SEE 2/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR: EVENING BLUE
- 3 VPI VINYL WINDOW COLOR: STEEL GRAY EXTERIOR / WHITE INTERIOR
- 4 McNICHOLS EXPANDED METAL PANEL; SEE 3/G1.52 FOR MATERIAL REFERENCE IMAGES
- 5 CUSTOM METAL RAILING; SEE 4/G1.52 FOR MATERIAL REFERENCE IMAGES
- 6 GLAZING

2127 DWIGHT WAY
 BERKELEY, CA



2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-12.10

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10-19-2023	PLANNING REV. 02	

CONTACT: TOBY LEVY

(415) 777-0561 P
 (415) 777-5117 F

SCALE: AS NOTED

RENDERING

A3.00



1 3D VIEW (DWIGHT WAY - LOOKING WEST)



2 3D VIEW (DWIGHT WAY - LOOKING EAST)



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2127 DWIGHT WAY
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PROJECT NO. 17-12.10

REV	DATE	DESCRIPTION
04-24-2023	PLANNING SUBMITTAL	
06-30-2023	PLANNING RESUBMITTAL	
09-29-2023	PLANNING REV. 01	
10-19-2023	PLANNING REV. 02	

CONTACT: TOBY LEVY

(415) 777-0561 P
 (415) 777-5117 F

SCALE: AS NOTED

ELEVATIONS

A3.01



LEGENDS

- PROPERTY LINE
- 1A CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR 01: DUNN-EDWARDS SILVER SPOON (DE6366)
- 1B CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR 02: BENJAMIN MOORE IRON MOUNTAIN (2134-30)
- 1C CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR 03: BENJAMIN MOORE GENTLEMAN'S GRAY (2062-20)
- 1D CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR 04: BENJAMIN MOORE OVERCOAT (CC-544)
- 2 HARDIE HORIZONTAL LAPSIDING; SEE 2/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR: EVENING BLUE
- 3 VPI VINYL WINDOW COLOR: STEEL GRAY EXTERIOR / WHITE INTERIOR
- 4 McNICHOLS EXPANDED METAL PANEL; SEE 3/G1.52 FOR MATERIAL REFERENCE IMAGES
- 5 CUSTOM METAL RAILING; SEE 4/G1.52 FOR MATERIAL REFERENCE IMAGES
- 6 GLAZING

2 EAST ELEVATION
 1/8"=1'-0"



1 SOUTH ELEVATION (DWIGHT WAY)
 1/8"=1'-0"



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2127 DWIGHT WAY
 BERKELEY, CA



2127 DWIGHT WAY
 BERKELEY, CA

PROJECT NO. 17-12.10

REV	DATE	DESCRIPTION
04-24-2023	PLANNING SUBMITTAL	
06-30-2023	PLANNING RESUBMITTAL	
09-29-2023	PLANNING REV. 01	
10-19-2023	PLANNING REV. 02	

CONTACT: TOBY LEVY

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 (415) 777-5117 F

SCALE: AS NOTED

ELEVATIONS

A3.02



2 WEST ELEVATION
 1/8"=1'-0"



1 NORTH ELEVATION (REAR)
 1/8"=1'-0"



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2127 DWIGHT WAY
 BERKELEY, CA



2127 DWIGHT WAY
 BERKELEY, CA

PROJECT NO. 17-12.10

REV	DATE	DESCRIPTION
04-24-2023	PLANNING SUBMITTAL	
06-30-2023	PLANNING RESUBMITTAL	
09-29-2023	PLANNING REV. 01	
10-19-2023	PLANNING REV. 02	

CONTACT: TOBY LEVY

(415) 777-0561 P
 (415) 777-5117 F

SCALE: AS NOTED

ELEVATIONS

A3.03

LEGENDS

- PROPERTY LINE
- 1A CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR 01: DUNN-EDWARDS SILVER SPOON (DE6366)
- 1B CEMENT PLASTER; SEE 1/G1.52 FOR MATERIAL REFERENCE IMAGES COLOR 02: BENJAMIN MOORE IRON MOUNTAIN (2134-30)
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- 5 CUSTOM METAL RAILING; SEE 4/G1.52 FOR MATERIAL REFERENCE IMAGES
- 6 GLAZING



2 WEST ELEVATION - COURTYARD
 1/8"=1'-0"



1 EAST ELEVATION - COURTYARD
 1/8"=1'-0"



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2127 DWIGHT WAY
 BERKELEY, CA



2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-12-10

REV	DATE	DESCRIPTION
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06-30-2023	PLANNING RESUBMITTAL	
09-29-2023	PLANNING REV. 01	
10-19-2023	PLANNING REV. 02	

CONTACT: TOBY LEVY

(415) 777-0561 P
 (415) 777-5117 F

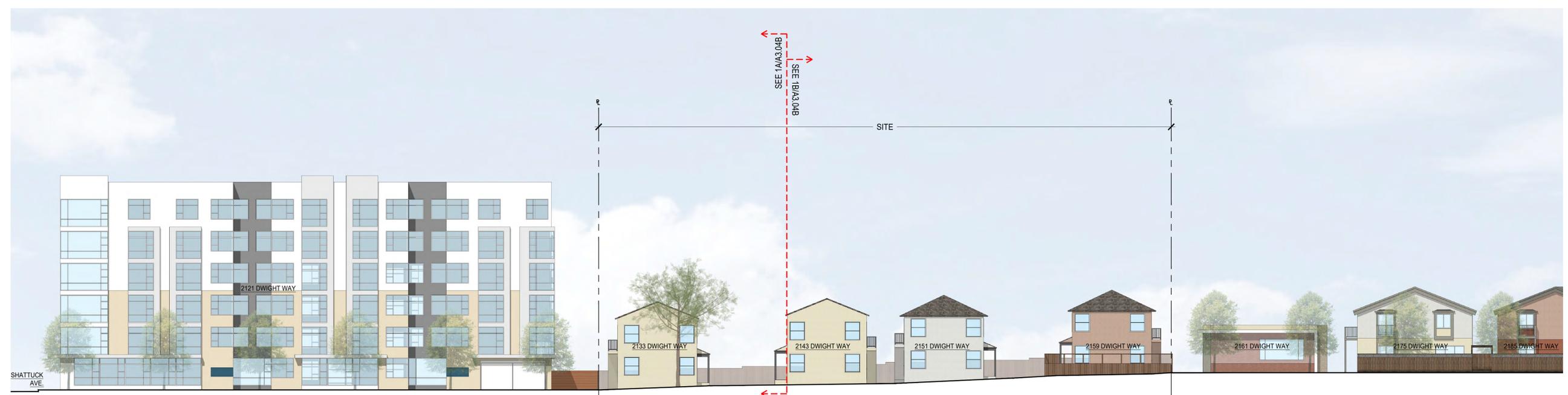
SCALE: AS NOTED

STREET STRIP ELEVATION

A3.04A



2 STREET STRIP ELEVATION (DWIGHT WAY) - PROPOSED
 1/16"=1'-0"



1 STREET STRIP ELEVATION (DWIGHT WAY) - EXISTING
 1/16"=1'-0"



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1B STREET STRIP ELEVATION (DWIGHT WAY) - EXISTING
 1/8"=1'-0"



1A STREET STRIP ELEVATION (DWIGHT WAY) - EXISTING
 1/8"=1'-0"

2127 DWIGHT WAY
 BERKELEY, CA



2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-12.10

REV	DATE	DESCRIPTION
04-24-2023		PLANNING SUBMITTAL
06-30-2023		PLANNING RESUBMITTAL

CONTACT: TOBY LEVY

(415) 777-0561 P
 (415) 777-5117 F

SCALE: AS NOTED

STREET STRIP
 ELEVATION:
 EXISTING

A3.04B



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1B STREET STRIP ELEVATION (DWIGHT WAY) - PROPOSED
 1/8"=1'-0"



1A STREET STRIP ELEVATION (DWIGHT WAY) - PROPOSED
 1/8"=1'-0"

2127 DWIGHT WAY
 BERKELEY, CA



2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-12.10

REV	DATE	DESCRIPTION
04-24-2023		PLANNING SUBMITTAL
06-30-2023		PLANNING RESUBMITTAL
09-29-2023		PLANNING REV. 01
10-19-2023		PLANNING REV. 02

CONTACT: TOBY LEVY

(415) 777-0561 P
 (415) 777-5117 F

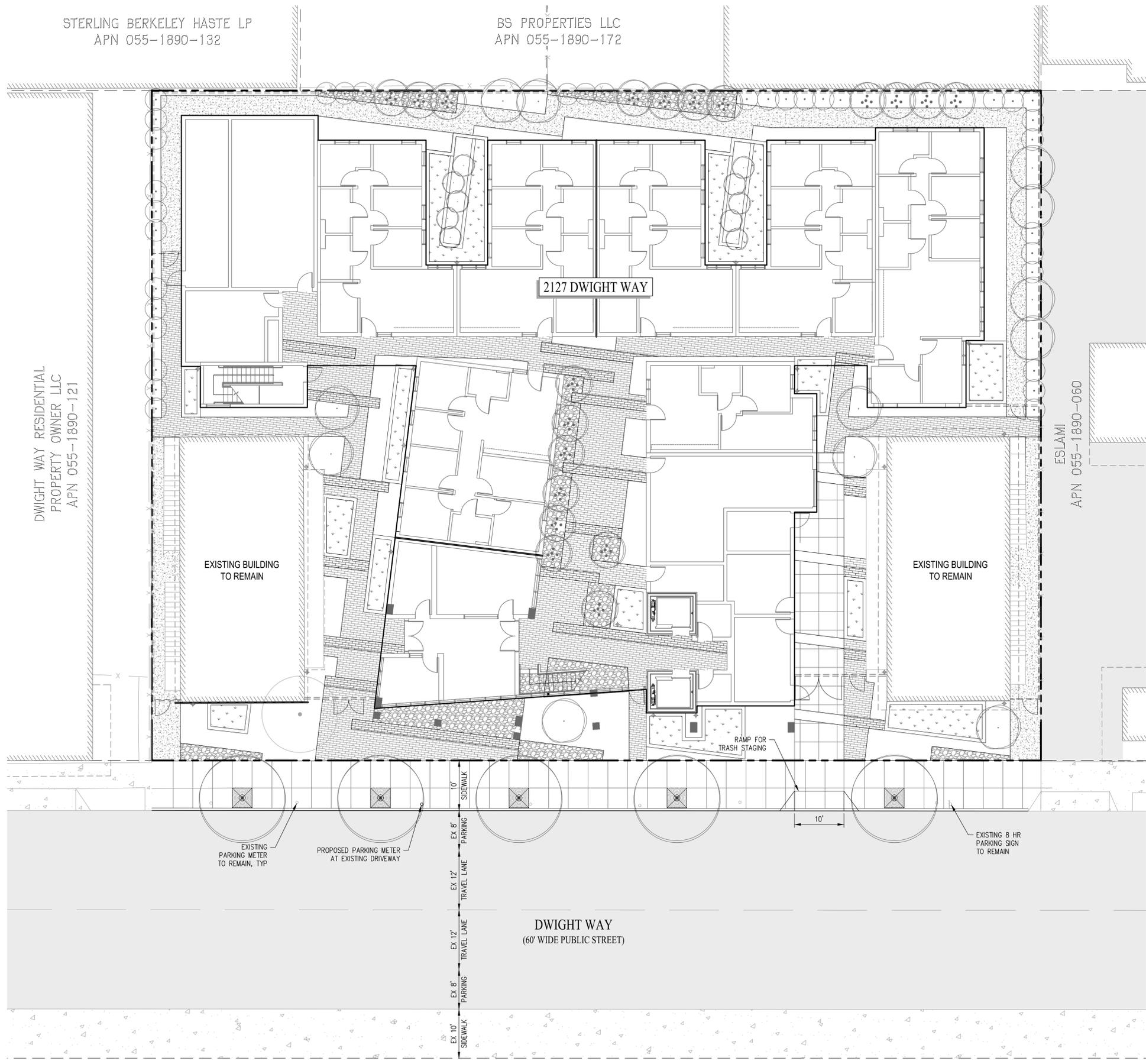
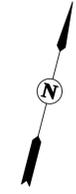
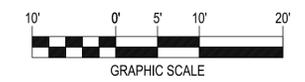
SCALE: AS NOTED

STREET STRIP ELEVATION:
 PROPOSED

A3.04C



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LEGEND

- PROJECT BOUNDARY
- ADJACENT PROPERTY LINE
- BIORETENTION PLANTER
- PROPOSED SIDEWALK
- PROPOSED PERVIOUS PAVERS
- PROPOSED DECOMPOSED GRANITE
- EXISTING PAVEMENT TO REMAIN
- EXISTING SIDEWALK TO REMAIN

NOTES

1. EXISTING PARKING METERS ALONG PROJECT FRONTAGE ARE TO REMAIN.
2. THE CITY OF BERKELEY OR THEIR CONTRACTOR SHALL INSTALL PARKING PAY STATIONS AND/OR PARKING METER HEADS. COORDINATION IS REQUIRED FOR THIS WORK AND FEES WILL BE ASSESSED BY THE CITY OF BERKELEY TO COMPLETE THIS WORK. COORDINATE INSTALLATION OF PARKING PAY STATION AND PARKING METER HEADS WITH SAMANTHA BAKER. COORDINATE PAYMENT OF PARKING PAY STATION INSTALLATION FEES AND/OR PARKING METER HEAD INSTALLATION FEES WITH SAMANTHA BAKER (510) 981-6472 / SBAKER@CITYOFBERKELEY.INFO. THE APPROXIMATE FEE TO INSTALL ONE PAY STATION IS \$950. PARKING METER HEAD INSTALLATION SHALL BE CHARGED AT A RATE OF APPROXIMATELY \$150/HOUR PER CITY STAFFER.
3. TRASH BINS TO BE STAGED WITHIN THE STREET IN FRONT OF THE TRASH RAMP ON COLLECTION DAYS. BINS WILL NOT BLOCK PARKING SPACES.

2127 DWIGHT WAY
 BERKELEY, CA



2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 3617-000

REV	DATE	DESCRIPTION
04-24-2023	PLANNING SUBMITTAL	
06-30-2023	PLANNING RESUBMITTAL	

CONTACT: ANGELO OBERTELLO

(925) 866-0322 P

SCALE: 1"=10'

SITE PLAN

C5.0

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**2127 DWIGHT WAY
 BERKELEY, CA**



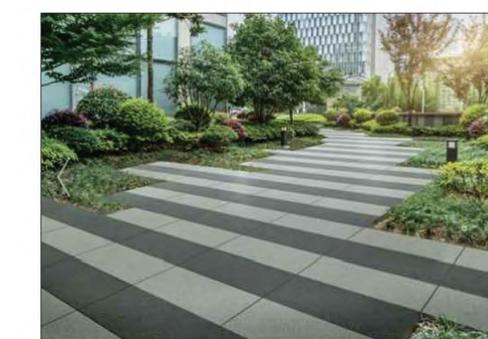
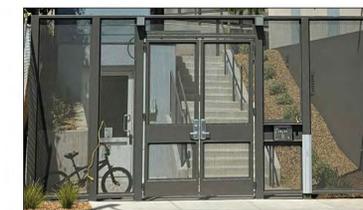
2127 DWIGHT WAY
 BERKELEY, CA
 PROJECT NO. 17-12.10

REV	DATE	DESCRIPTION
04-24-2023	PLANNING SUBMITTAL	
06-30-2023	PLANNING RESUBMITTAL	

CONTACT:

SCALE:

**ILLUSTRATIVE
 LANDSCAPE
 PLAN**





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REV	DATE	DESCRIPTION
04-24-2023		PLANNING SUBMITTAL
06-30-2023		PLANNING RESUBMITTAL

CONTACT:

SCALE:

CONCEPTUAL
 PLANTING PLAN

PLANT PALETTE

TREES						
KEY	QTY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS CA native
ARB MAR	13	24"box	Arbutus 'Marina'	Marina Strawberry Tree		Low YES
ACE RUB	5	24"box	Acer rubrum 'Armstrong'	Red Maple	standard	Medium
CYC REV	-	15 gal	Cycas revoluta	Sygo Palm		Low
CER OCC	-	24"box	Cercis occidentalis	Western Redbud		Low YES
BAM GOL	-	24"box	Bambusa multiplex 'Golden Goddess'	Golden Goddess Bamboo		Medium
POD MAK	15 gal		Podocarpus macrophyllus 'Maki'	Yew	60" o.c.	Low
PRU ILL	15 gal		Prunus illicifolia ssp. lyonii	Catalina Cherry		Low YES

SHRUBS						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS CA native	
APM	5 gal	Arctostaphylos 'Pacific Mist'	Pacific Mist Manzanita	48" o.c.	Low YES	
AST	5 gal	Aspidistra elatior 'Spek-tacular'	Spek-tacular Cast Iron Plant	30" o.c.	Low	
BPI	5 gal	Baccharis pilularis	Dwarf Coyote Bush	30" o.c.	Low YES	
COC	5 gal	Cephalanthus occidentalis	Buttonbush	48" o.c.	Low YES	
CCO	5 gal	Ceanothus 'Centennial'	California Lilac	48" o.c.	Low YES	
CCA	5 gal	Cornus californica	California Dogwood	36" o.c. (wt)	Low YES	
DLD	5 gal	Dietsia 'Lemon Drops'	Fortnight Lily	30" o.c.	Low	
DHA	5 gal	Dendromecon harfordii	Island Bush Poppy	60" o.c.	Low YES	
HEA	15 gal	Heteromeles arbutifolia	Toyon	60" o.c.	Low YES	
FPS	15 gal	Fremontodendron 'Pacific Sunset'	Flannel Bush	60" o.c.	Low YES	
GEE	15 gal	Garrya elliptica 'Evie'	Coast Silk-tassel	60" o.c.	Low YES	
LHS	15 gal	Leucadendron 'Hawaii Sunrise'	Sunrise Royal Hawaiian Cone Bush	30" o.c.	Low	
LCS	5 gal	Loropetalum chinense 'Suzanne'	Suzanne Fringe Flower	36" o.c.	Low	
MCA	5 gal	Myrica californica	Pacific Wax Myrtle	60" o.c.	Low YES	
PRM	5 gal	Phormium 'Rainbow Maiden'	'Rainbow Maiden' New Zealand Flax	30" o.c.	Low	
PRQ	5 gal	Phormium 'Rainbow Queen'	'Rainbow Queen' New Zealand Flax	36" o.c.	Low	
RAU	5 gal	Ribes aureum	Golden Currant	36" o.c. (wt)	Low YES	
RCA	5 gal	Rhamnus californica	Coffeeferry	36" o.c.	Low YES	

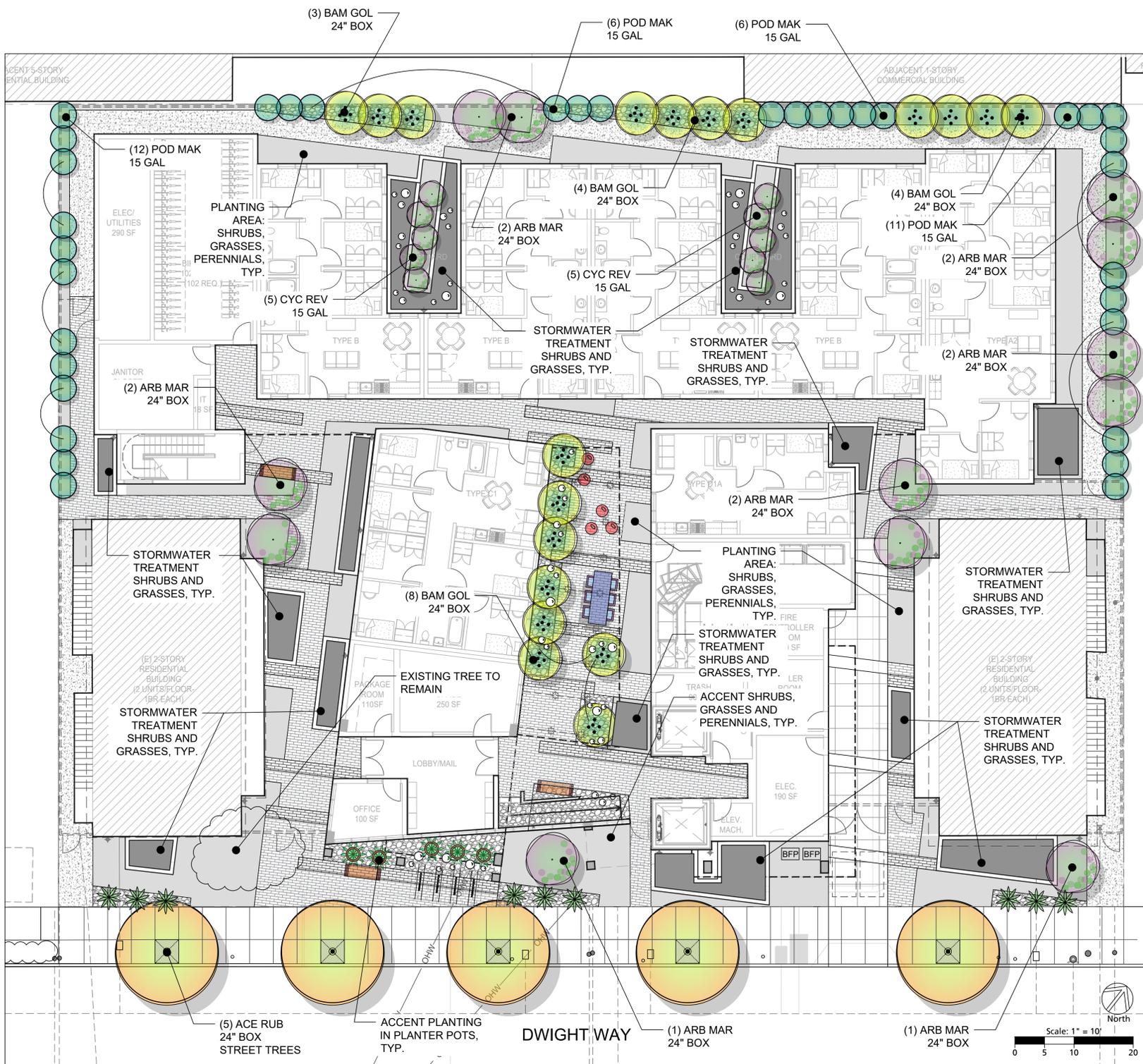
GRASSES / PERENNIALS						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS CA native	
ABG	5 gal	Anigozanthos 'Bush Gold'	Yellow Kangaroo Paw	18" o.c.	Low	
AMI	1 gal	Achillea millefolium 'Sonoma Coast'	Yarrow	18" o.c.	Low YES	
CPR	1 gal	Carex praegracilis	California Field Sedge	18" o.c. (wt)	Low YES	
HCA	1 gal	Helianthella californica	California helianthella	18" o.c.	Low YES	
IDO	5 gal	Iris douglasiana	Douglas Iris	18" o.c. (wt)	Low YES	
JPA	5 gal	Juncus patens	California Gray Rush	18" o.c. (wt)	Low YES	
ESC	1 gal	Epilobium 'Schieffelin's Choice'	California Fushia	24" o.c. (wt)	Low YES	
ECA	5 gal	Epilobium canum 'Catalina'	California Fushia	36" o.c. (wt)	Low YES	
LLT	5 gal	Lomandra longifolia 'Lime Tuff'	Dwarf Mat Rush	24" o.c.	Low	
LUA	5 gal	Lupinus albus	Silver Bush Lupine	36" o.c.	Low YES	
MRI	5 gal	Muhlenbergia rigens	Deer Grass	30" o.c. (wt)	Low YES	
MRM	5 gal	Muhlenbergia c. 'Regal Mist'	Pink Muhly	30" o.c.	Low	
SSO	5 gal	Salvia clevelandii 'Winnifred Gilman'	Fragrant Sage	36" o.c. (wt)	Low YES	

GROUNDCOVERS						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS CA native	
LBE	3 gal	Lotus berthelotii	'Amazon Sunset' Parrot's Beak	18" o.c.	Low	
ROP	5 gal	Rosmarinus o. 'Prostratus'	Prostrate Rosemary	30" o.c.	Low	
SBB	5 gal	Salvia leucantha 'Bees' Bliss'	Creeping Sage	48" o.c.	Low YES	
SBE	3 gal	Sisyrinchium bellum	Blue-eyed Grass	18" o.c. (wt)	Low YES	

(ca) - California Native Plants
 (wt) - Stormwater treatment plants (bioretention and flow-through planters, per SWPPP guidelines)

- NOTES:
- The above plants have been selected as being representative of the overall planting design intent. This plant palette is suggested for use, but does not preclude use of other appropriate plant material. Water-conserving plants and other climate appropriate varieties of trees, shrubs and ground covers have been selected to complement the character of the project.
 - All planted areas are to be watered with an approved automatic underground irrigation system. The system shall be designed to make efficient use of water through conservation techniques, and be in compliance with the State and Water District's water conservation ordinance. Rain sensor shall be specified whose signal is compatible with the master control valve (CGBSC 4.304).
 - The final construction documents will provide the contractor with an understanding of the design intent for the maintenance of the planting areas regarding care and pruning of the site. The maintenance contractor shall furnish all labor, equipment, materials and supervision required to properly maintain the landscaped areas in an attractive condition and as described in the project maintenance specifications.
 - Full planting plan & plant quantity will be provided in the design development/construction document phase of the project. Final planting plan will include more than 75% low-water use/drought tolerant plant count to satisfy Bay-Friendly Landscape Design Checklist requirement.
 - WUCOLS value (Water Use Classification of Landscape Species) per WUCOLS IV, 2014 edition.
 - No invasive plant species are specified per Cal-IPC Inventory. Source: cal-ipc.org/plants/inventory
 - All planting areas shall be top-dressed with a 3" layer of mulch depth and compost application to achieve a minimum 6% organic matter in soil composition based on a MWELo specified soil analysis results for the site soil. (CGBSC 4.304).
 - This project will provide a minimum of 25%, and up to 75% maximum CA Low Water Use Native plantings. (AB-1573).

WELO Landscape Requirement Compliance Note:
 Final WELO-compliant landscape documentation including planting, fine grading (per Civil Engineer), irrigation plan, and water budget calculations will be provided in the Construction documentation phase of the project and will be submitted at Building Permit review.





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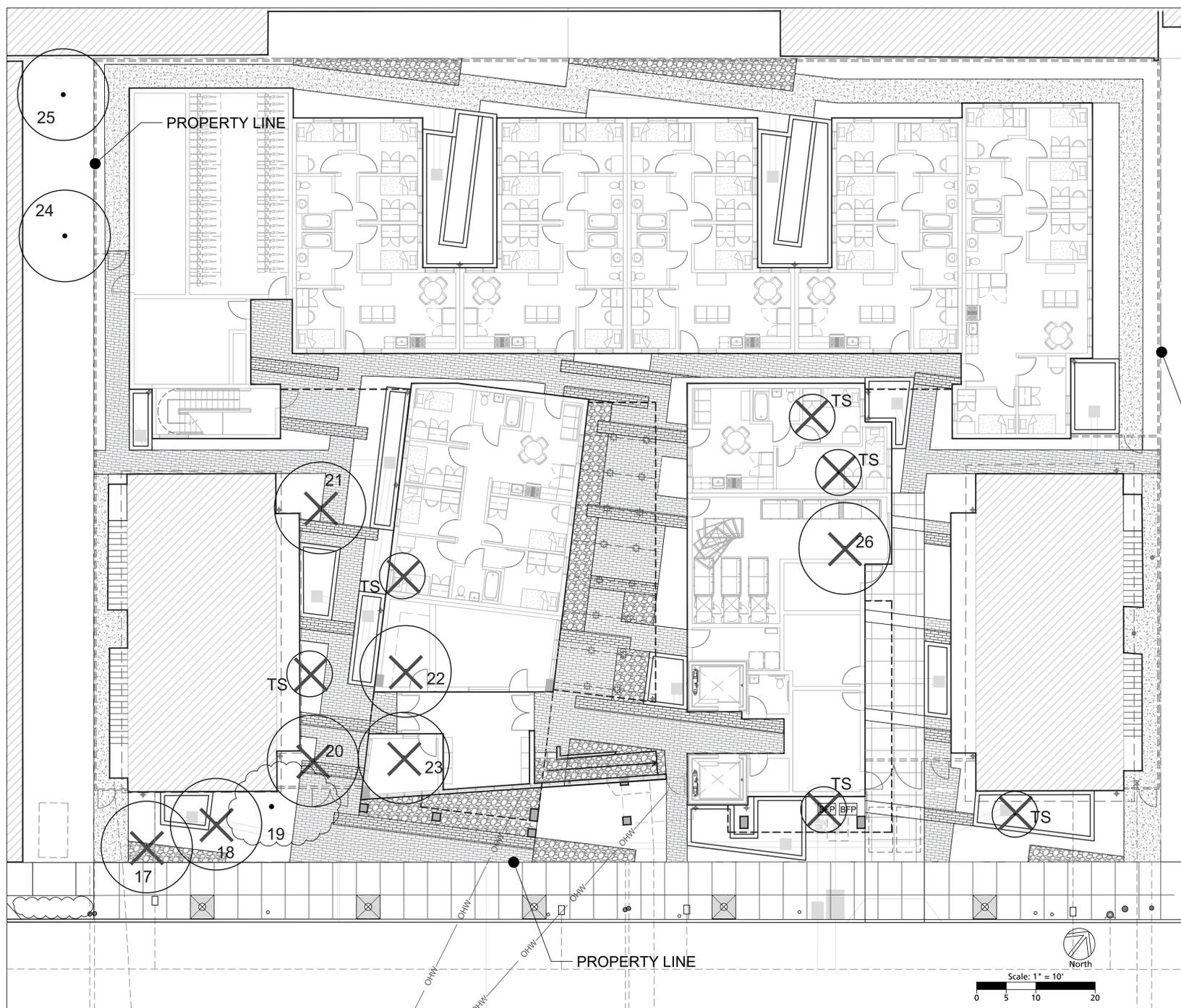
REV	DATE	DESCRIPTION
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06-30-2023		PLANNING RESUBMITTAL

CONTACT:

SCALE:

EXISTING
 PLANTING & TREE
 DISPOSITION
 PLAN

L-5



- Tree Disposition Plan Notes:**
1. Tree assessment is provided by HortScience | Bartlett Consulting, arborist report dated January 26, 2023. Project Arborist Contact: Amber Graves Alvares WE-13131A.
 2. Refer to Arborist report page 7-8 for tree preservation and tree protection guidelines.
 3. All on-site existing trees & shrubs, (except for Tree #19 Coast Live Oak), to be removed.
 4. Tree #24 & 25 are off-site trees to remain.

TREE DISPOSITION LEGEND

- Tree to remain (On property)
- Tree to remain (Off property)
- TS - Too small (Tree less than 6" in diameter) Not included in assessment
- Tree to be removed (Refer to Arborist report for assessment)

TREE REMOVAL TABULATION

TOTAL # OF EXISTING TREES:	10
TREES TO BE REMOVED:	7
TREES TO REMAIN (OFF PROPERTY; TREE #24, 25):	2
TREES TO REMAIN (ON PROPERTY; TREE #19):	1
TOTAL # OF PROTECTED TREE PER CITY OF BERKELEY ORDINANCE (COAST LIVE OAK) - TO REMAIN (#19)	1

TREE NUMBER	SPECIES (BOTANICAL NAME)	COMMON NAME	TRUNK DIAMETER (INCHES)	NOTES
17	Pittosporum undulatum	Victorian Box	19	
18	Prunus ilicifolia	Hollyleaf Cherry	9,8,8	
19	Quercus agrifolia	Coast Live Oak	18	Berkeley Ordinance Protected Species
20	Melaleuca citrinus	Lemon Bottlebrush	8,7,6	
21	Melaleuca citrinus	Lemon Bottlebrush	12	
22	Persea americana	Avocado	9	
23	Jacaranda mimosifolia	Jacaranda	11,9	
24	Lophostemon confertus	Brisbane Box	6	
25	Acer rubrum	Red Maple	6	
26	Persea americana	Avocado	8	