

D E S I G N
R E V I E W
C O M M I T T E E
S T A F F R E P O R T

For Committee Decision
MAY 16, 2024

1598 UNIVERSITY AVENUE FINAL DESIGN REVIEW

Design Review #DRCF2024-0004 to demolish an existing non-residential structure and construct a 134,409 square-foot, eighth-story mixed-use residential building containing 207 dwelling units (21 Very Low-Income unit) and 5,787 square foot commercial space, with 39 automobile parking spaces and 92 bicycle parking spaces. This the project is seeking a 50% Density Bonus by providing 15% of the base project units as affordable to very-low income households.

I. Introduction

This eight-story mixed use project is located in the C-U University Avenue Commercial District within the South Side of University Node at the intersection of University and California.

The proposed demolition was brought before the Landmarks Preservation Commission (LPC) for review on December 1, 2022 where no action was taken. The project came before the Design Review Committee (DRC) on April 20, 2023 where it received a favorable recommendation to the Zoning Adjustments Board (ZAB) with direction for Final Design Review. A summary from that April 2023 DRC Meeting is further on in this report for your reference.

This project's Use Permit was approved by the Zoning Adjustments Board on May 11, 2023. The project was appealed on June 1, 2023 by concerned neighbors. On September 26, 2023, City Council voted to uphold ZAB's approval of the project and dismiss the appeal, as it was consistent with the State's Density Bonus Laws.

This project is returning this month for Final Design Review where the Committee will review final building details, final colors and material palette, and landscaping.

II. Background

The proposed project would demolish an existing commercial building and construct a new eight-story residential building with the following primary components:

- 207 dwelling units (38 two-bedroom, 20 one-bedroom, and 149 studios) for a total of 245 bedrooms
- 82 long-term bicycle parking spaces onsite and seven short-term spaces
- 39 automobile parking spaces
- 6,273 square foot garden/ open space on the ground floor
- Communal facilities on the ground floor (i.e. club room and fitness center)
- Communal lounges and decks located on every other floor
- 5,943 commercial floor area located along California Street and at the corner of University Avenue and California Street

III. Project Setting

A. Neighborhood/Area Description:

University Avenue is situated between West Berkeley and Downtown Berkeley – regional commercial centers. The project site is located within the University Avenue Specific Plan (UASP)¹ area in a local-serving avenue node with existing neighborhood services. The project site is located at the corner of University Avenue and California Street, two blocks south of Ohlone Park. The project site is located at an intersection that is composed of one to three story mixed use and commercial buildings and associated surface parking. The rear of the site abuts a residential district which is characterized by single-family, two-family, and multi-family residential buildings. The project site is proximate to several bus lines and is within half a mile of the North Berkeley Bart Station.

B. Site Conditions:

The project site spans three rectangular, contiguous lots. The 28,936 square foot site maintains about 180 feet of frontage along University Avenue and about 138 feet of frontage along California Street. The western portion of the site area is partially developed with a Chinese language school and the eastern portion of the lot maintains a restaurant. The majority of the site is dedicated to off-street surface parking. The site is accessed along University Avenue at three separate curb cuts and at one curb cut along California street.

¹ [University Avenue Specific Plan \(1996\)](#)

Figure 1: Vicinity Map

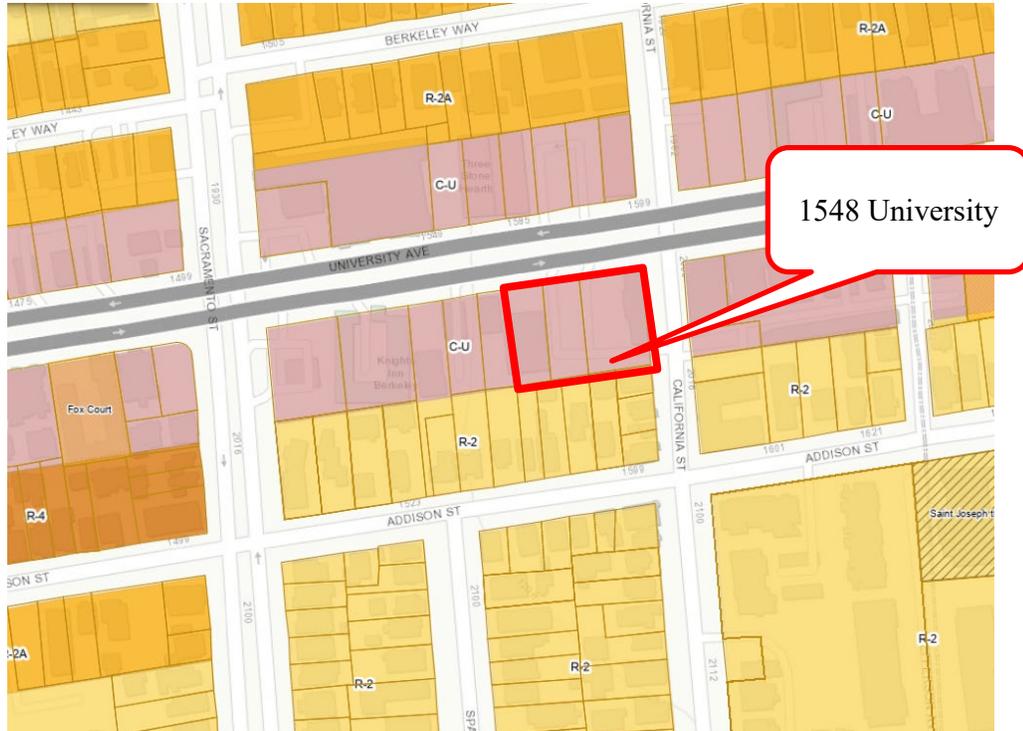


Table 1: Land Use Information

Location		Existing Use	Zoning District	General Plan Designation
Subject Properties		Restaurant (commercial); Chinese language school (personal services)	C-U	Avenue Commercial
Surrounding Properties	North	Mixed-use building (residential-commercial)		
	West	Multifamily building		
	East	Thrift store (commercial)		
	South (Rear)	Duplex	R-2	Low Medium Density Residential

IV. Summary from April 20, 2023 DRC Meeting

Preliminary Design Review received a favorable recommendation to ZAB with the following conditions and recommendations for Final Design Review (FDR): MOTION: (Tam, Kahn) VOTE (7-0-0-0).

Conditions

- *Refine Public Plaza on California.*
- *Resolve privacy and heat gain issues on south windows.*
- *Resolve any sound issues in the courtyard and present at FDR.*
- *Cornice and window shelves are too thin and should be further developed.*
- *Consider mural relocation for better integration in the building design.*
- *Consider an alternate material to the metal panels at FDR.*

Recommendations

- *Plaza should be wider, and better relate to the retail and sidewalk levels; recommend pushing the massing west and south to achieve this.*
- *Consider more articulation at the ground floor storefront.*
- *Consider reducing ceiling heights for the club and fitness rooms to reduce overall height/mass.*
- *Consider breaking the horizontal banding at the main entrance.*
- *Look carefully at gate and garage door details.*
- *Recommend bird safe glazing wherever possible.*
- *Add more interest to color palette at FDR.*
- *Provide strong parapets on rear façade, including lower portions.*
- *Consider different design accents – not so symmetrical and uniform.*

ZAB Issues

- *Consider live work units on south side of the California ground floor frontage.*
- *Photo documentation to be given to local historic societies.*

V. Issues and Analysis

A. Consistency with Approved Use Permit Design

An 8 ½ x 11 copy of the approved Use Permit drawings is attached for reference. This design submittal is consistent with the approved Use Permit design.

B. Current Submittal includes:

- Floor plans, exterior elevations, building sections, and perspective renderings;
 - Specific responses to DRC's April 2023 Summary are on Pages R1.0 – R1.2 in the plan set.

- Main entry canopy was eliminated so that there was a grander main entrance feel.
- Ornamental metalwork at parapet has been eliminated for a cleaner expression;
- Sunshades over individual windows have been eliminated in lieu of a greater variation in the metal siding patterns.
- Construction details, and wall and window sections;
- Landscape plans and plant palette.
- Colors and Materials Board
 - Material samples will be presented at the meeting.

C. Issues for Discussion:

- Building Details
- Landscape Plan
- Colors and Materials

VI. Recommendation

Staff recommends that the Committee discuss the issues outlined above and approve Final Design Review with Staff follow up as necessary.

Attachments:

1. Project Plans, received May 8, 2024
2. Approved Use Permit Drawings, Council upheld ZAB approval on September 26, 2023

Staff Planner: Anne Burns, aburns@ci.berkeley.ca.us, (510) 981-7410

1598 UNIVERSITY

FINAL DESIGN REVIEW SUBMISSION
 1598 UNIVERSITY AVE, BERKELEY, CA



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UNIVERSITY AVE LOOKING WEST

<p>VICINITY MAP 1" = 100'</p>	<p>PROJECT DESCRIPTION</p> <p>PROJECT ADDRESS CURRENT ADDRESS: 1548, 1554 & 1598 UNIVERSITY AVE, BERKELEY, CA 94703 PROPOSED ADDRESS: 1598 UNIVERSITY AVE, BERKELEY, CA 94703</p> <p>SCOPE OF WORK REMOVAL OF TWO EXISTING 1 STORY COMMERCIAL STRUCTURES & CONSTRUCTION OF A NEW 8-STORY MIXED-USE BUILDING WITH 207 DWELLING UNITS, GROUND LEVEL LOBBY AND AMENITIES, PRIVATE ROOF DECKS, COMMERCIAL SPACE, AND PARKING GARAGE CONTAINING 39 STALLS (INCLUDING SEMI-AUTOMATED PARKING). DEVELOPMENT ENTITLED WITH STATE OF CALIFORNIA DENSITY BONUS (SB330).</p>	<p>SHEET LIST</p> <p>PROJECT SUMMARY A0.0 - COVER SHEET A0.1 - ZONING INFORMATION & DIAGRAMS A0.2 - ZONING INFORMATION & DIAGRAMS A2.1 - LEVEL 1 A2.2 - LEVEL 2 A2.3 - LEVEL 3 A2.4 - LEVEL 4 A2.5 - LEVEL 5 A2.6 - LEVEL 6 A2.7 - LEVEL 7 A2.8 - LEVEL 8 A3.1 - EXTERIOR ELEVATIONS NORTH A3.2 - EXTERIOR ELEVATIONS EAST A3.3 - EXTERIOR ELEVATIONS SOUTH A3.4 - EXTERIOR ELEVATIONS WEST A3.5 - STREETSCAPE ELEVATIONS A4.1 - BUILDING SECTIONS NORTH/SOUTH</p>	<p>APPENDIX A - PROPOSED ALTERNATE MATERIALS APXS.0 - 3D VIEWS - UNIVERSITY LOOKING WEST APXS.1 - 3D VIEWS - UNIVERSITY AND CALIFORNIA APXS.2 - 3D VIEWS - CALIFORNIA AND UNIVERSITY APXS.3 - 3D VIEWS - ACROSS UNIVERSITY APXS.4 - 3D VIEWS - CAFE ENTRANCE APXS.5 - 3D VIEWS - CALIFORNIA LOOKING NORTHWEST</p> <p>APPENDIX B - SELECT PAGES AS REQUESTED FROM CONSTRUCTION DOCUMENTS (SELECTED DETAILS)</p>	<p>PROJECT TEAM</p> <p>OWNER 1598 University Avenue, LLC 9101 Burning Tree Road Bethesda, MD 20817 Contact: Nathan George 919.272.8061 nathan@ndgre.com</p> <p>ARCHITECT DJR Architecture, Inc. 333 Washington Avenue N Union Plaza, Suite 210 Minneapolis, MN 55401 Contact: Aron C. Johnson 206.307.6023 ajohnson@djir-inc.com</p>	<p>LANDSCAPE ARCHITECT Insideout 4000 Harwood Ave. Oakland, CA 94618 Contact: Penn Phillips 510.655.7674 penn@aboutinsideout.com</p> <p>CIVIL ENGINEER Luk and Associates 738 Alfred Nobel Drive Hercules, CA 94547 Contact: Jackie Luk, P.E., P.L.S. 510.724.3388 jackie@lukassociates.com</p>
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COVER SHEET

05/02/24



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PROJECT UPDATES:		
	PRELIMINARY DESIGN REVIEW	FINAL DESIGN REVIEW
BUILDING HEIGHT	89'-2"	88'-2-1/4"
FLOOR AREA RATIO	4.43	4.43
GROSS FLOOR AREA *	127,492 SF	125,100 SF
GROSS SQUARE FOOTAGE	137,780 SF	134,507 SF
SETBACKS:		
NORTH	0'	3"
SOUTH	12'-4"	11'-7" TO 11'-9"
EAST	5'-5" TO 17'-6"	5'-1" TO 16'-11"
WEST	3'-3" TO 8'-2"	1'-10" TO 8'-1"

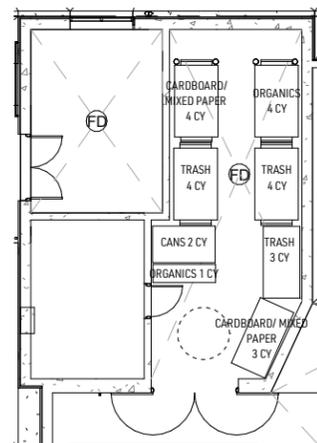
*PER BMC 23.106.030 GROSS FLOOR AREA

TRASH & RECYCLING CALCULATIONS

*SUBJECT TO SB 1383 AND ALMEDA COUNTY ORDINANCE 2012-01
 APPROVED BY ZERO WASTE 4/15/24

TOTAL # OF RESIDENTS: 245
 TOTAL WASTE VOLUME ESTIMATE - 20% EXCESS CAPACITY (CUBIC YARDS): 25
 TOTAL PROVIDED (CUBIC YARDS): 25

EST. CAPACITY IN CUBIC YARDS	20% EXCESS CAPACITY	PROVIDED
REFUSE 40%	10	10
CONTAINER RECYCLING 10%	2	2
CARDBOARD/PAPER RECYCLING 30%	7	7
COMPOST/ORGANICS 20%	5	5
TOTAL WASTE	25	25



TRASH ROOM PLAN

COLLECTION CONTAINER SCHEDULE

	SIZE (CUBIC YARDS)	TYPE	HEIGHT (IN)	WIDTH (IN)	DEPTH (IN)
CARDBOARD/MIXED PAPER	4	FRONT LOADER	53	82	50
CARDBOARD/MIXED PAPER	4	FRONT LOADER	53	82	50
TRASH	4	FRONT LOADER	53	82	50
TRASH	4	FRONT LOADER	53	82	50
TRASH	3	FRONT LOADER	53	82	42
ORGANICS	3	FRONT LOADER	53	82	42
CANS	2	REAR LOADER	42	60	42
ORGANICS	1	REAR LOADER	39	60	34

ZONING INFORMATION					
	STANDARD ZONING	ALLOWABLE W/ UP's & AUP's	APPROVED W/ DENSITY BONUS	PROPOSED W/ DENSITY BONUS	COMPLIANCE
ZONING	C-U UASP NODE OVERLAY				
LOT AREA	28,936*	28,936*	28,936*	28,873	
LOT AREA (ACRES)	0.66	0.66	0.66	0.66	
NUMBER OF DWELLING UNITS	N/A	N/A	207	207	
FRONT YARD SETBACK (CALIFORNIA)	NO MIN.	NO MIN.	5'-8" AVG.	5'-8" AVG.	COMPLIES
REAR YARD SETBACK (ABUTS COMMERCIAL/RESIDENTIAL)	20' AVG.	NO MIN.	5'-1" TO 16'-1"	5'-1" TO 16'-1"	COMPLIES W/ WAIVER
STREET SIDE YARD SETBACK (UNIVERSITY)	2' AVG.	2' AVG.	0'	0'	COMPLIES W/ WAIVER
INTERIOR SIDE YARD SETBACK (ABUTS RESIDENTIAL)	NO MIN.	NO MIN.	11'-11"	11'-11"	COMPLIES
BUILDING HEIGHT	48'	48'	83'-8 1/4"	84'-4 5/8"	COMPLIES W/ WAIVER
BUILDING STORIES	4	4	8	8	COMPLIES W/ WAIVER
LOT COVERAGE	100%	100%	63%	63%	COMPLIES
BUILDING FOOTPRINT	28,936	28,936	18,121	18,121	COMPLIES
FAR	3.0	3.0	4.43	4.43	COMPLIES W/ WAIVER
TOTAL GFA	86,808	86,808	127,492	125,100	COMPLIES W/ WAIVER
TOTAL GSF	-	-	137,780	134,507	COMPLIES W/ WAIVER
USABLE OPEN SPACE	200 sf / unit	modifiable w/ UP	10,396 SF	10,396 SF	COMPLIES W/ CONCESSION
PARKING	0	0	SEE TABLE	SEE TABLE	COMPLIES
BIKE PARKING	SEE TABLE	SEE TABLE	SEE TABLE	SEE TABLE	COMPLIES
UASP - COMMERCIAL AREA (MIN. % SITE AREA)	30%	30%	21%	21%	COMPLIES W/ CONCESSION
UASP - COMMERCIAL AREA (MIN. GSF)	8,681 SF	8,681 SF	5,943 SF	5,943 SF	SEE ABOVE
UASP - COMMERCIAL AREA MIN. FRONTAGE (UNIVERSITY)	75%	35% W/UP	35%	35%	COMPLIES W/ CONCESSION
UASP - OPEN SPACE ENHANCING ENTRY	10%	10%	10%	10%	COMPLIES
UASP - MIN. AREA OF PEDESTRIAN PLAZA OPEN SPACE	1%	1%	3%	3%	COMPLIES

* LOT AREA AT THE TIME OF ENTITLEMENTS. A LOT MERGER APPLICATION HAS BEEN SUBMITTED (IN PROCESSING) AND INCLUDES CLOSURES WHICH RESULT IN A LOT AREA OF 28,873 SF.

AREA & HEIGHT DATA													
Floor	Elevation (ft)	Clear Ht. (ft)	Flr. to Flr. (ft)	Cum. Ht. (ft)	GFA (sf)	GSF (sf)	Leasable ** (net sf)	GFA					Parking (sf)
								Residential (sf)	Common (sf)	Circulation (sf)	BOH (sf)	Commercial (sf)	
ROOF	199.7	N/A	N/A	87'-7 1/4"		18,835 (not in total)	N/A	N/A	N/A	N/A	N/A	N/A	
L8	190.1	8'-5 5/8"	9'-7 3/4"	74'-11 1/2"	14,761	15,205	11,554	12,373	164	2,072	152		
L7	179.74	8'-5 5/8"	10'-4 3/8"	64'-7 1/8"	16,632	17,066	13,012	13,925	380	2,176	152		
L6	169.38	8'-5 5/8"	10'-4 3/8"	54'-2 3/4"	17,251	17,685	13,803	14,808		2,292	152		
L5	159.01	8'-5 5/8"	10'-4 3/8"	43'-10 3/8"	17,632	18,024	13,803	14,808	380	2,292	152		
L4	148.65	8'-5 5/8"	10'-4 3/8"	33'-6"	17,251	17,685	13,803	14,808		2,292	152		
L3	137.03	9'-0"	11'-7 3/8"	21'-10 5/8"	17,591	18,024	13,676	14,767	380	2,292	152		
L2	127.37	9'-0"	9'-8"	12'-2 5/8"	12,853	13,312	6,767	7,499	1,279	1,287	1,322	1,466	
L1	115.15	11'-2 5/8"	12'-2 5/8"	0	11,129	17,506	-	-	3,955	1,113	1,741	4,320	6,377
TOTAL					125,100	134,507	86,418 **	92,985	6,538	15,816	3,975	5,786	6,377

** PER BMC 23.328, SEE AFFORDABLE HOUSING COMPLIANCE TABLE FOR LEASEABLE AREA

PARKING DATA												
	Vehicular Parking				Automated Stalls		EV Charging *			Bike Parking		
	Stalls	Standard	ADA	Compact	Stacker	Non-Stacker	EV Capable	EVSE Ready	EVSE Installed	Long-Term	Short-Term	
Provided	37	37	2	0	37	2	8	10	2	82	10	
Required	12		2				8 (20%)	10 (25%)	2 (5%)	82	10	

* PER CALIFORNIA GREEN BUILDING STANDARDS CODE 4.106.4.2.2 AND BMC CHAPTER 19.37

UNIT COUNT

UNIT TYPE	STUDIO	1 BR	2 BR	TOTAL	TOTAL SF
L8	20	3	5	28	11,554
L7	22	3	6	31	13,012
L6	24	3	6	33	13,803
L5	24	3	6	33	13,803
L4	24	3	6	33	13,803
L3	24	3	6	33	13,676
L2	11	2	3	16	6,767
L1				0	
TOTAL UNITS	149	20	38	207	86,418
%	72.0%	9.7%	18.4%	100%	
TOTAL BEDROOMS	149	20	76	245	
BMR UNITS *	18	1	2	21	
%	85.7%	4.8%	9.5%	100%	

PARKING - BICYCLE & VEHICULAR CALCULATIONS

	UNITS/SF	SPACES	PER	TOTAL REQ.	PROPOSED
NEW COMMERCIAL	5,943	1	2000	3	3
RESIDENTIAL (LONG TERM) (PER BEDROOM)	245	1	3	82	82
RESIDENTIAL (SHORT TERM) (PER BEDROOM)	245	1	40	7	7
TOTAL BICYCLE PARKING					92
RESIDENTIAL (ASSIGNED STALLS)	207	0	0	0	27
COMMERCIAL (ASSIGNED STALLS)	5,943	2	1000	12	12
ACCESSIBLE (UNASSIGNED STALLS)				2	2
TOTAL VEHICULAR PARKING					39

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ZONING INFORMATION
 & DIAGRAMS

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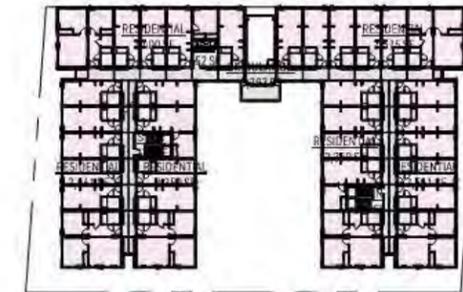


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OPEN SPACE TABLE						
	UNITS	RATIO	TOTAL SF	LANDSCAPE AREA (40%)	PROPOSED TOTAL SF	SHEET
REQUIRED OPEN SPACE	207	200	41,400			
TOTAL CONCESSION REQUESTED			31,035			
TOTAL AREA PROVIDED			10,365	4,537	10,384	G003
GROUND LEVEL GARDEN			9,145	4,537	8,039	G003
PRIVATE PATIOS	6	200	1,200	NA	2,345	G003



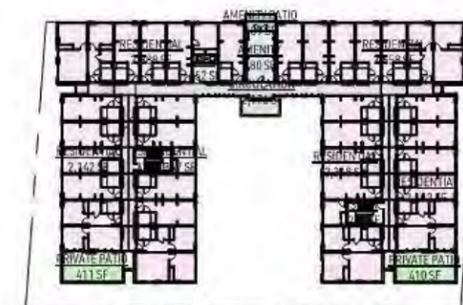
1 LEVEL 1 - FAR/OPEN SPACE
 1" = 80'-0"



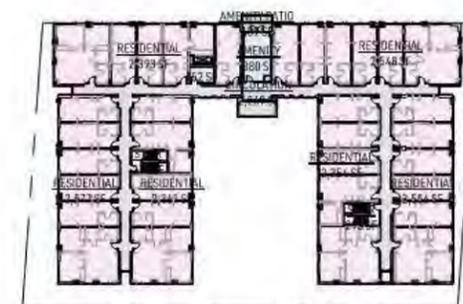
4 LEVEL 4-6 - FAR/OPEN SPACE
 1" = 80'-0"



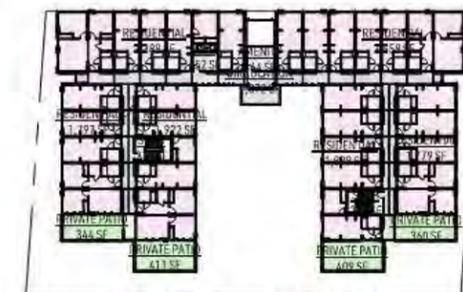
2 LEVEL 2 - FAR/OPEN SPACE
 1" = 80'-0"



5 LEVEL 7 - FAR/OPEN SPACE
 1" = 80'-0"



3 LEVEL 3 - FAR/OPEN SPACE
 1" = 80'-0"



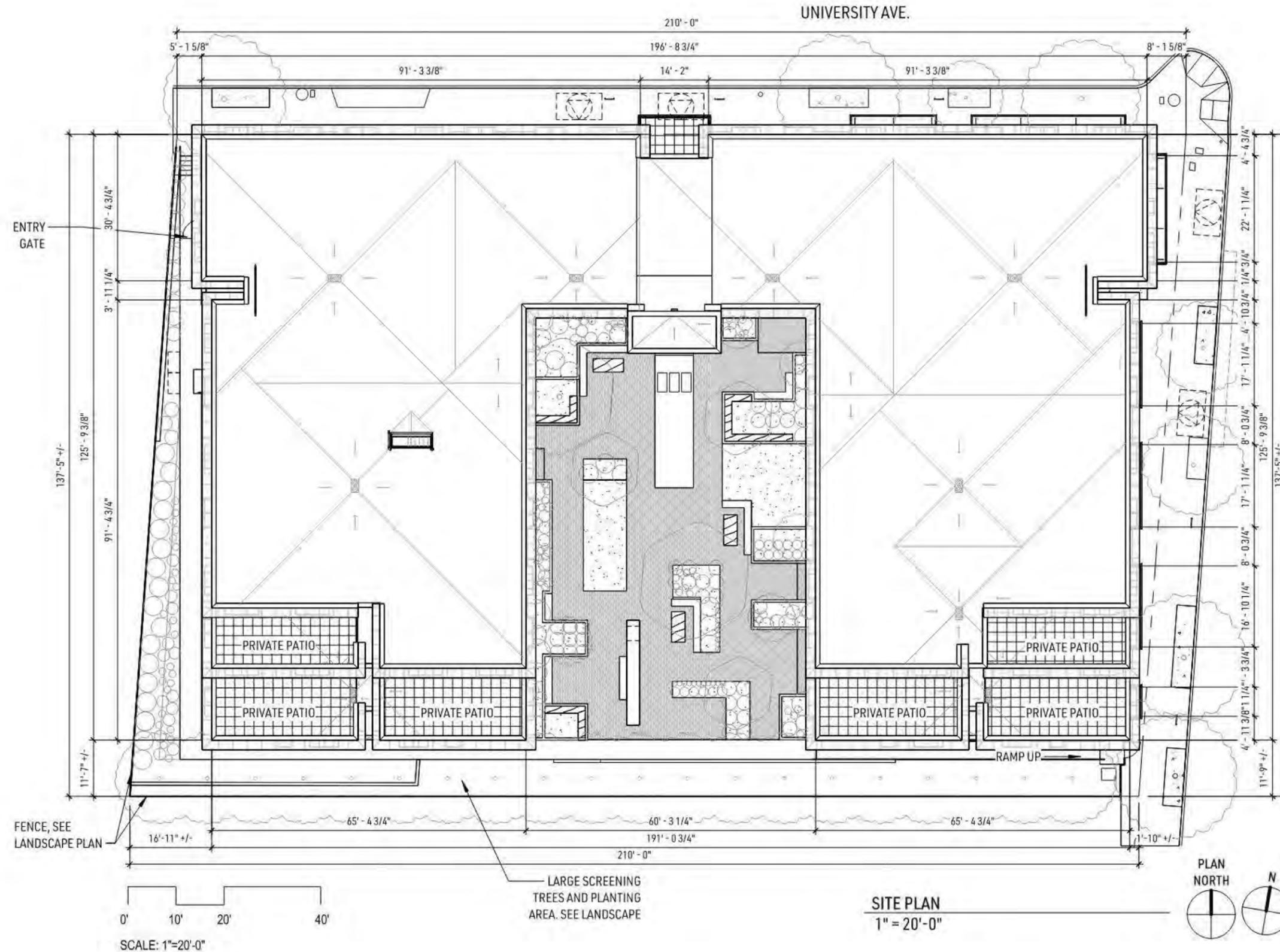
6 LEVEL 8 - FAR/OPEN SPACE
 1" = 80'-0"

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ZONING INFORMATION
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SITE PLAN

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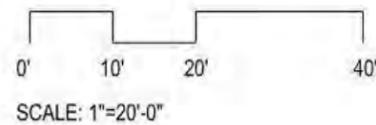
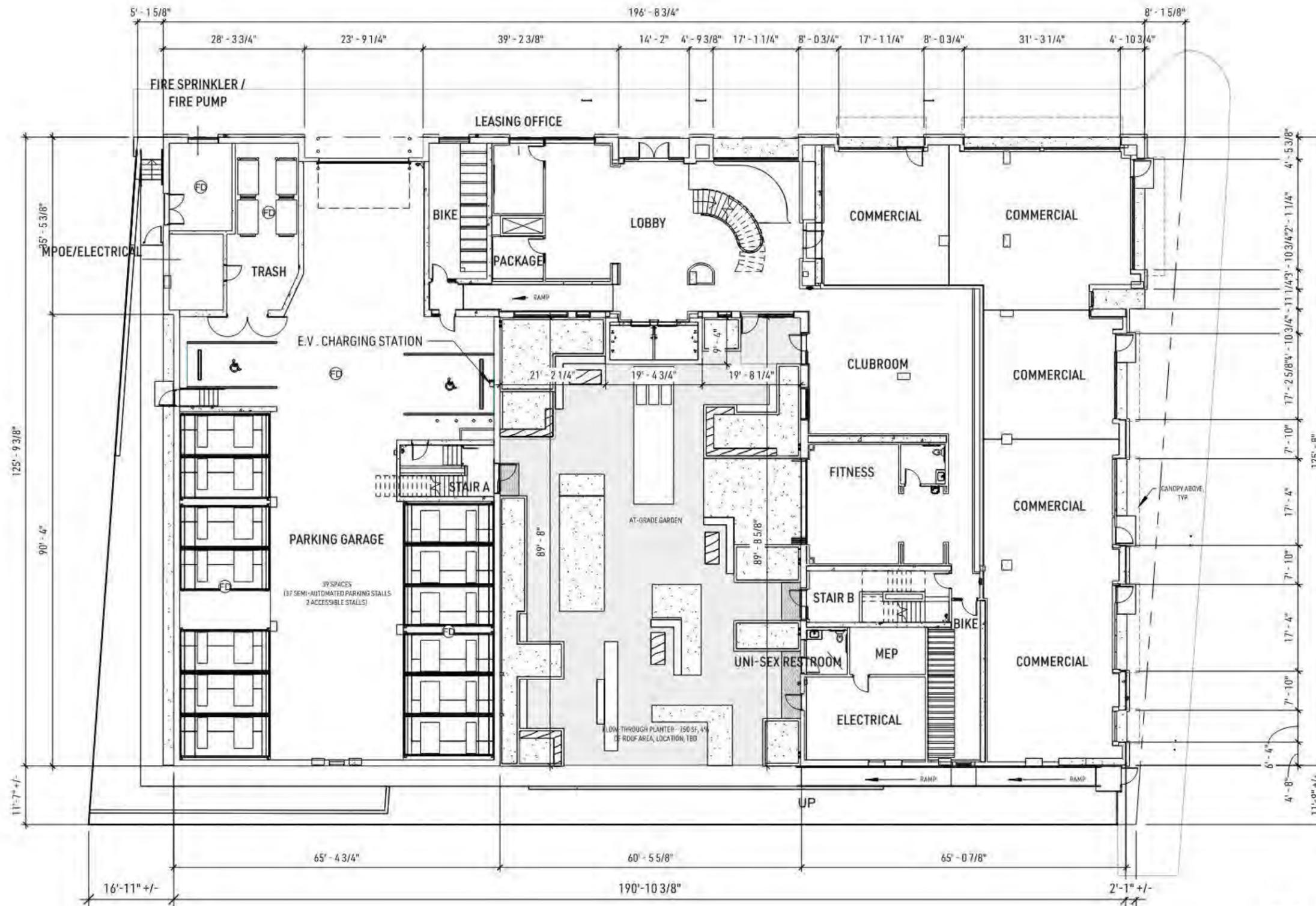
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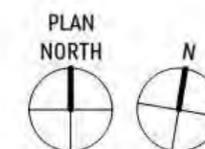
LEVEL 1

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FLOOR PLAN - LEVEL 1
 1" = 20'-0"





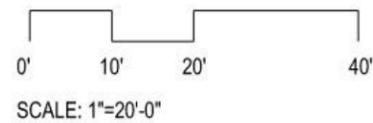
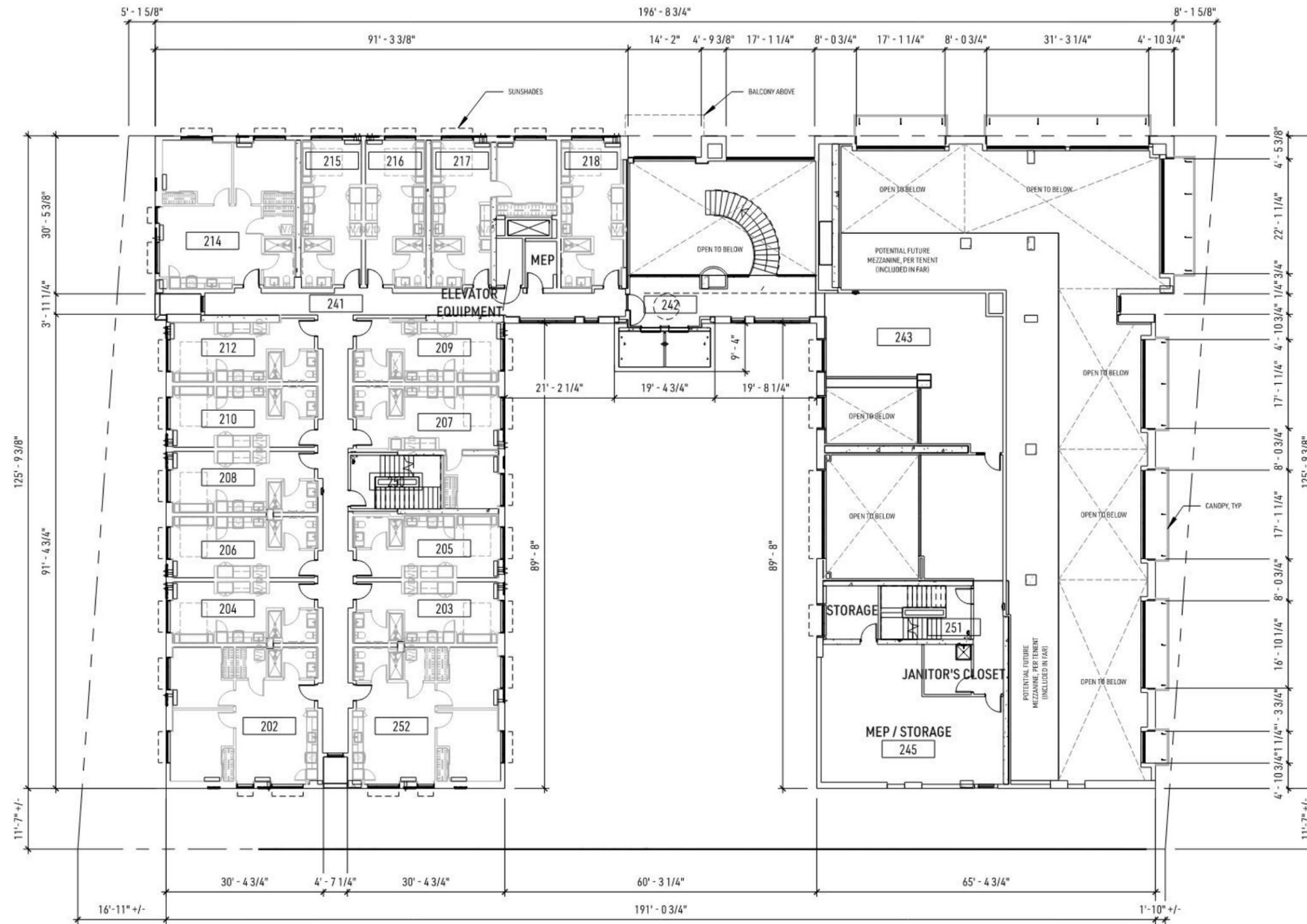
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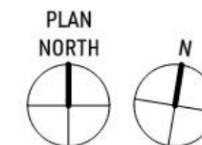
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LEVEL 2

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FLOOR PLAN - LEVEL 2
 1" = 20'-0"





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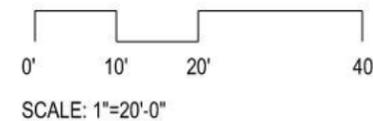
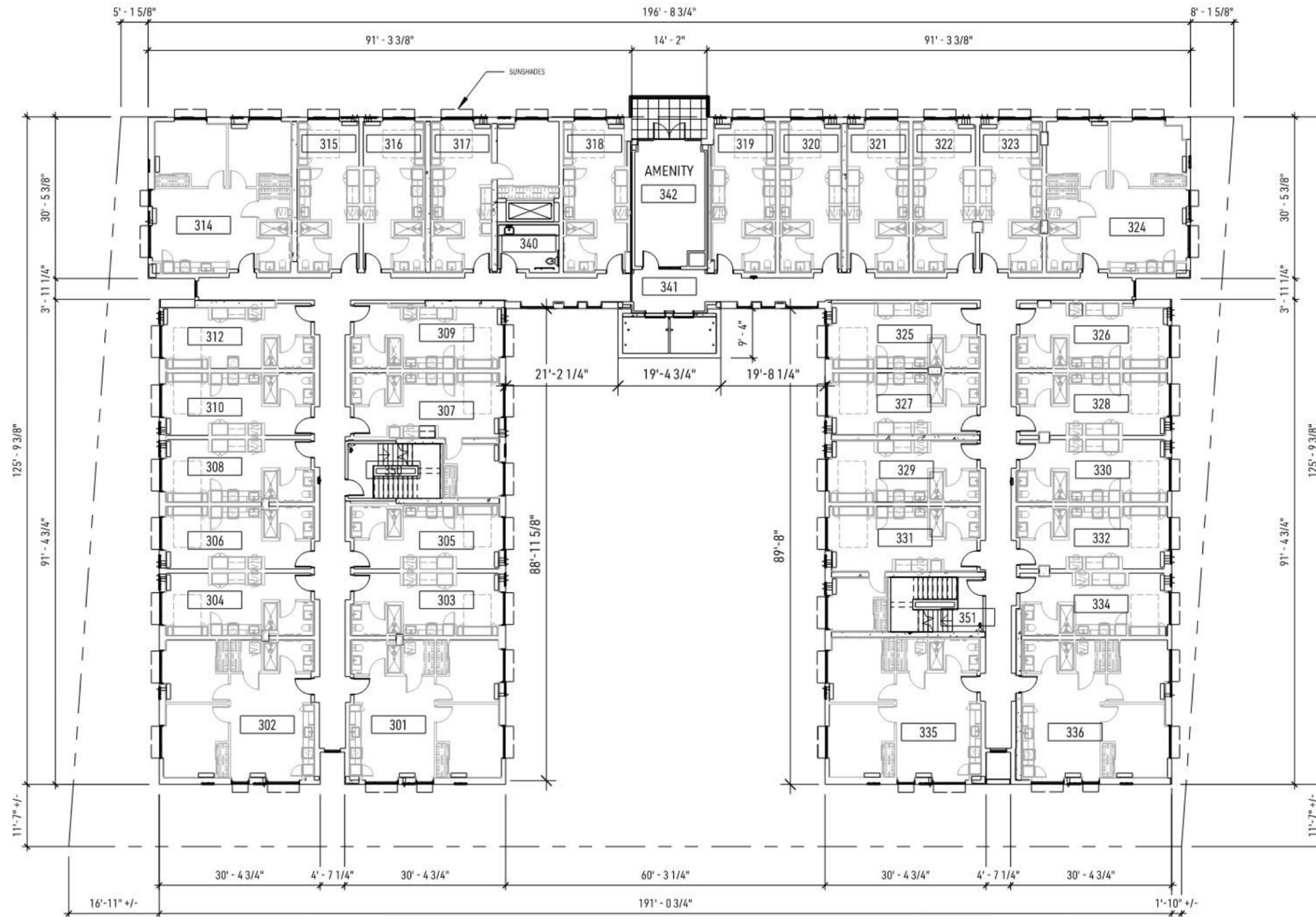
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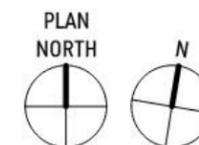
LEVEL 3

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FLOOR PLAN - LEVEL 3
1" = 20'-0"





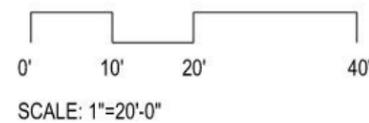
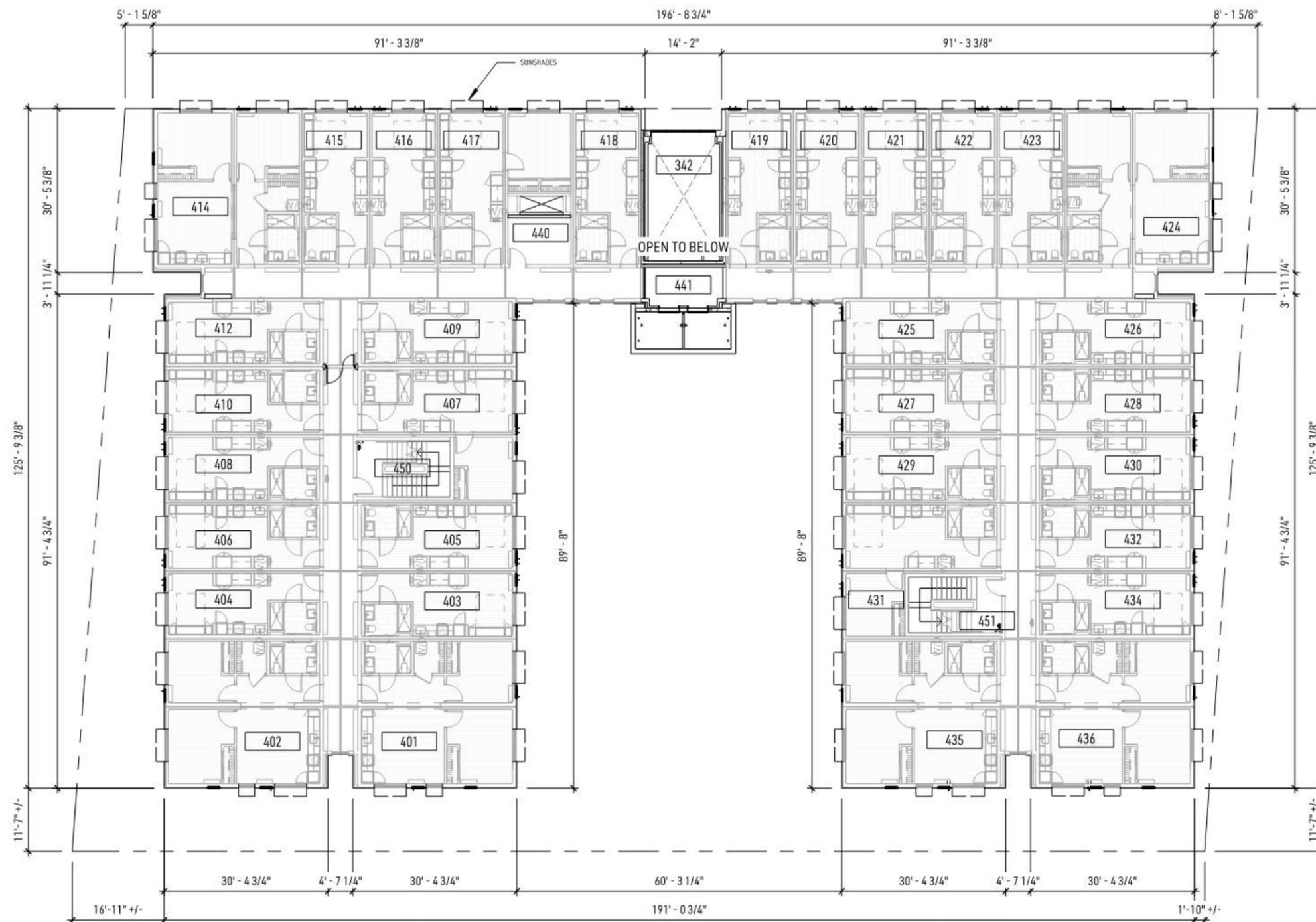
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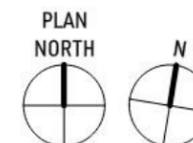
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LEVEL 4

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FLOOR PLAN - LEVEL 4
1" = 20'-0"





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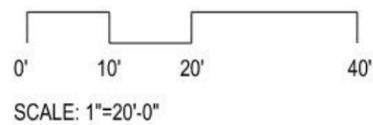
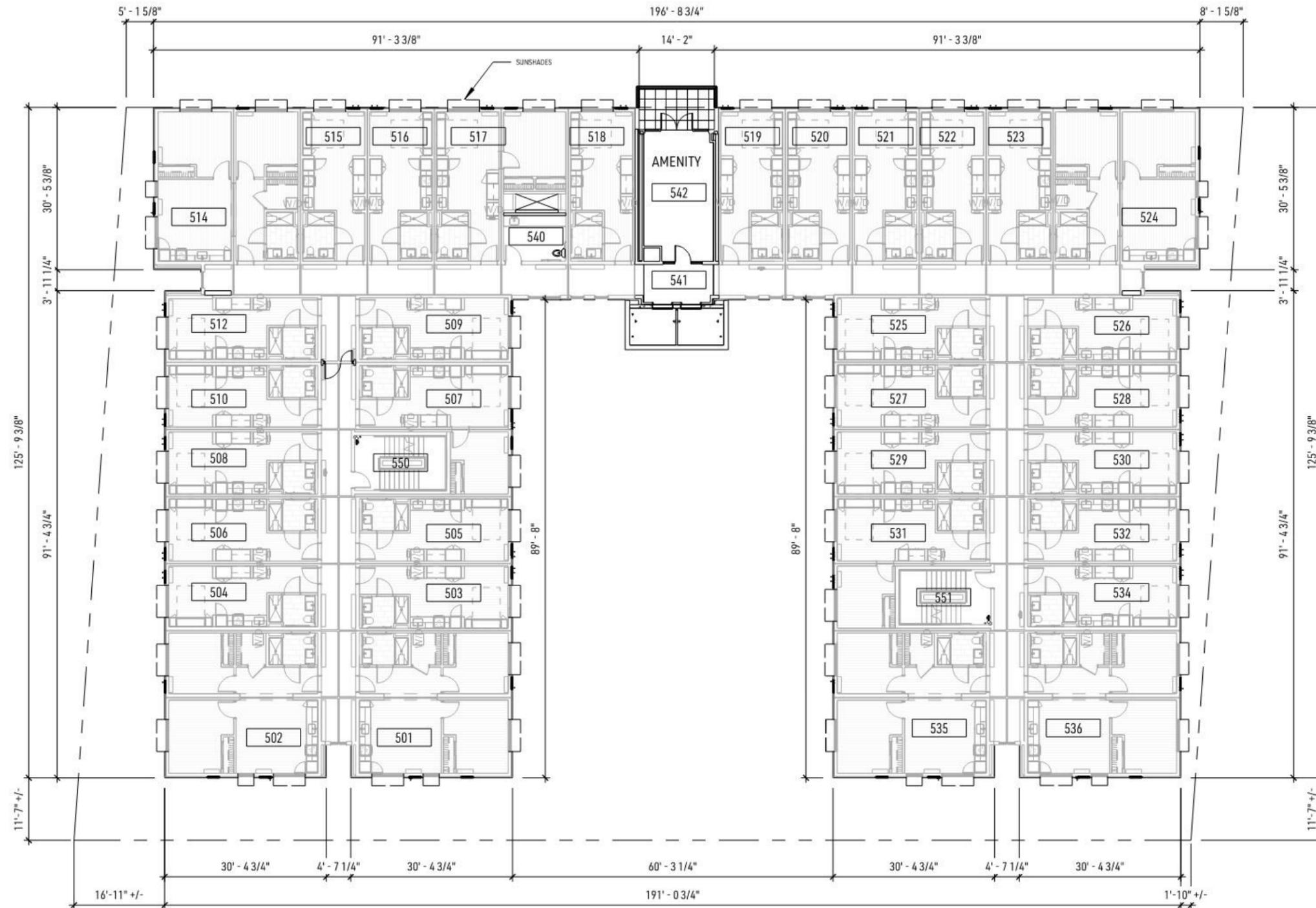
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A2.5

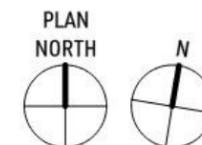
LEVEL 5

05/02/24

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FLOOR PLAN - LEVEL 5
1" = 20'-0"





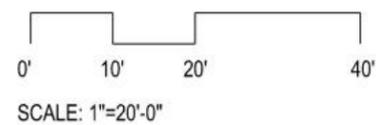
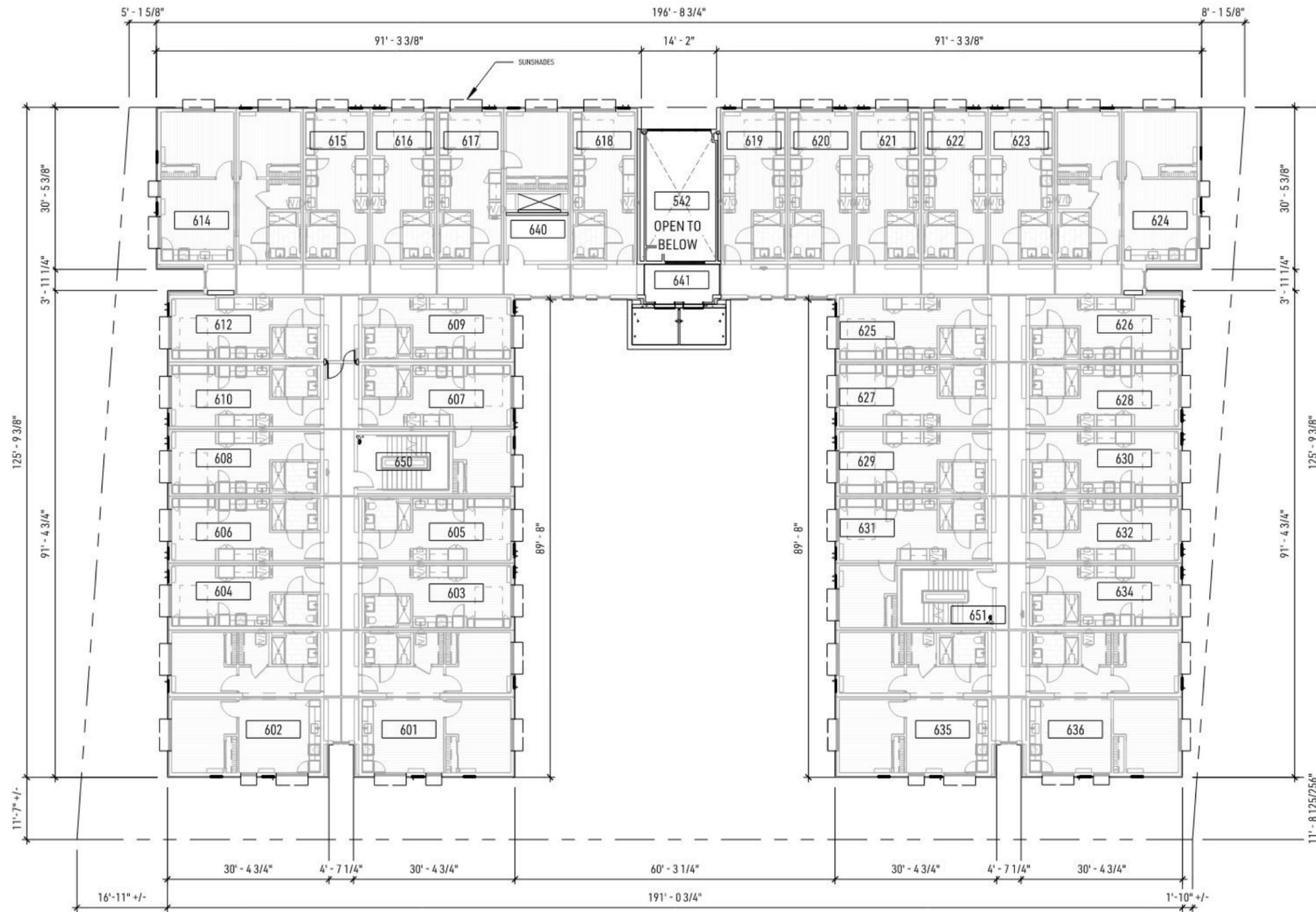
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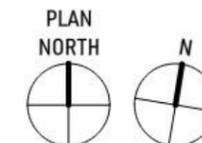
A2.6

LEVEL 6

05/02/24



FLOOR PLAN - LEVEL 6
1" = 20'-0"





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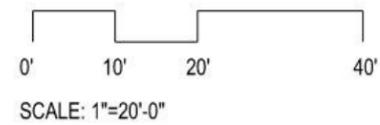
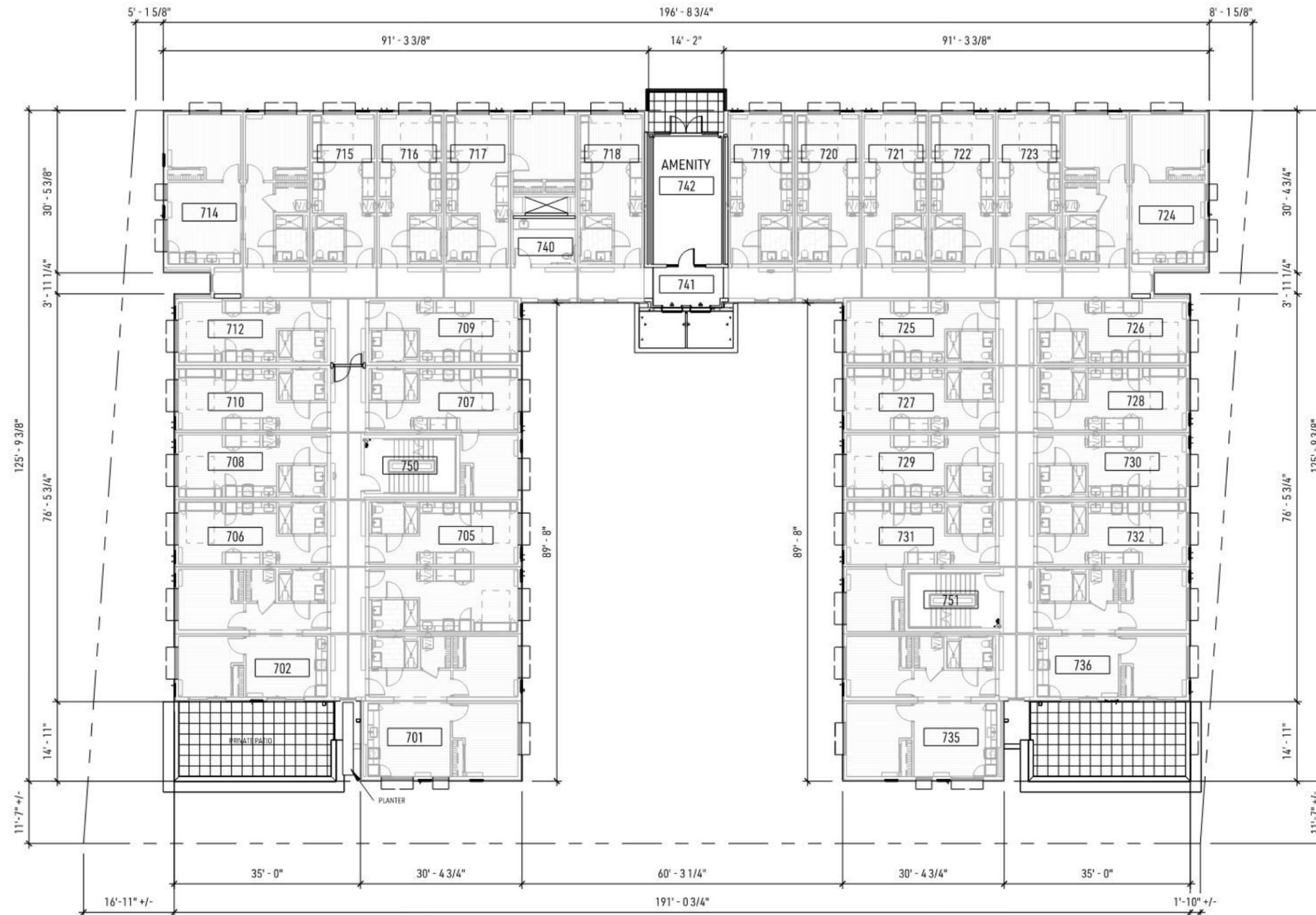
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A2.7

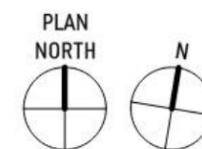
LEVEL 7

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FLOOR PLAN - LEVEL 7
1" = 20'-0"





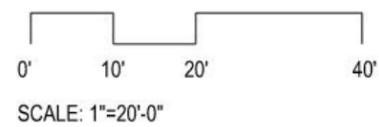
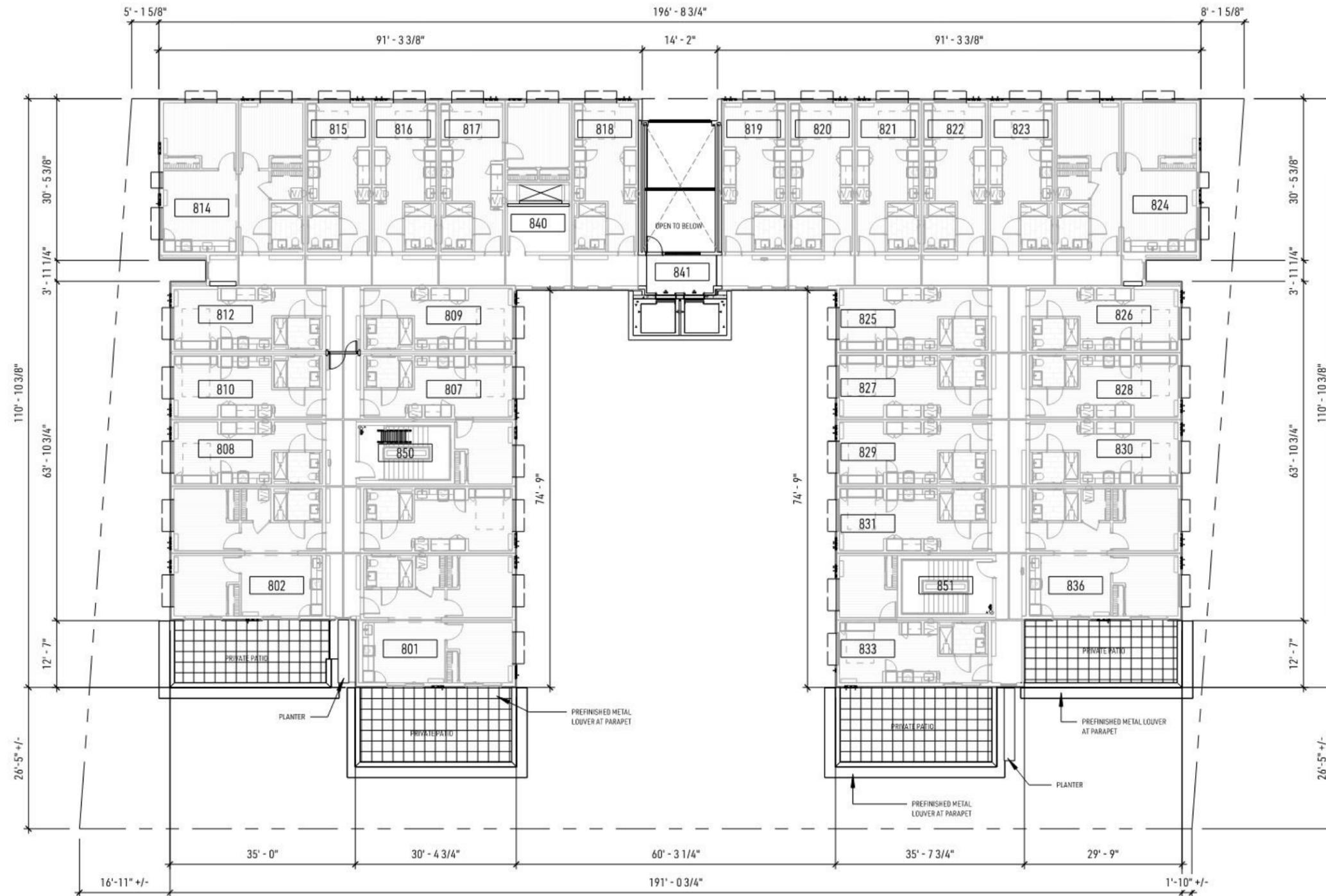
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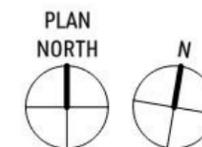
A2.8

LEVEL 8

05/02/24

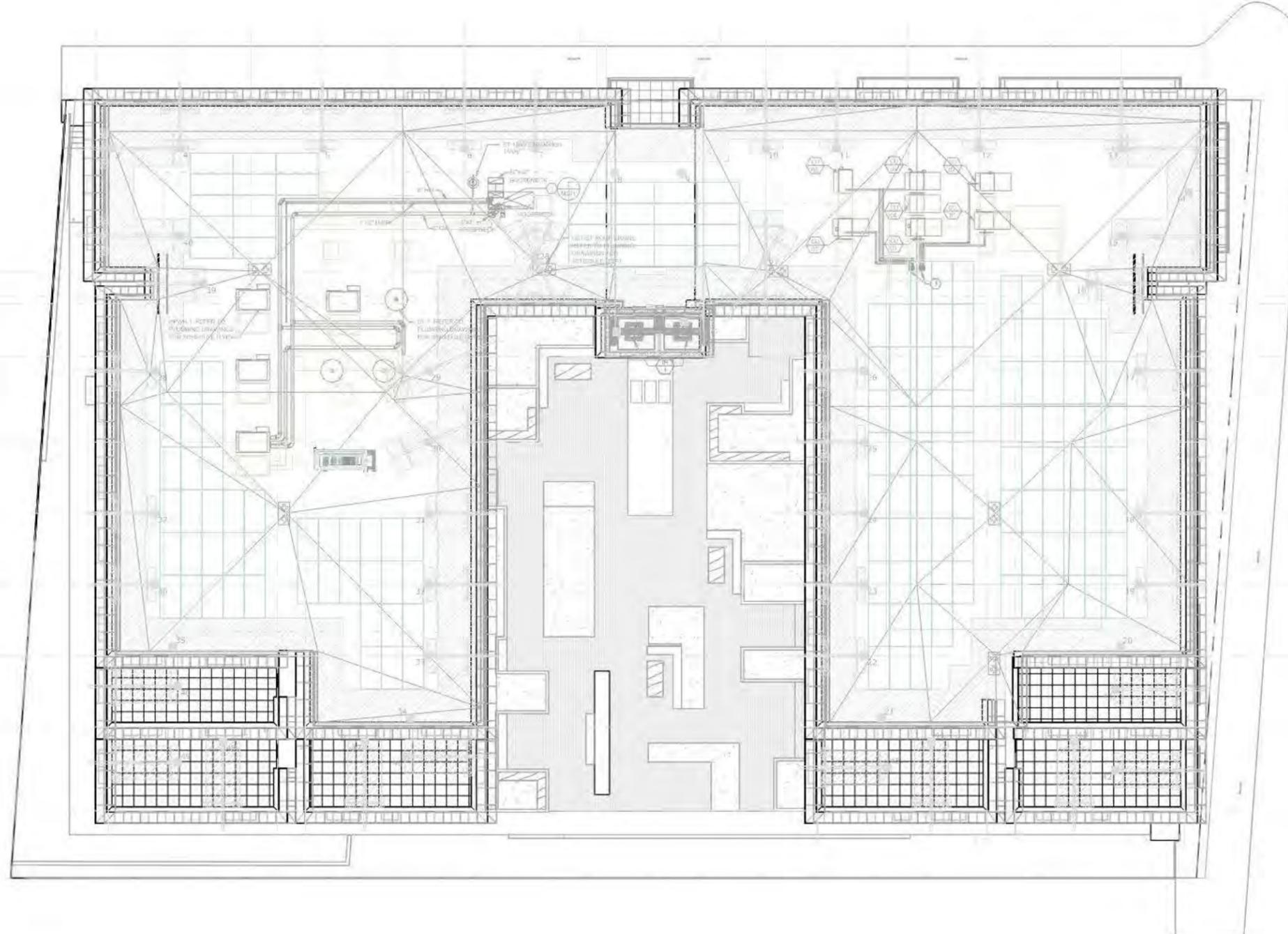


FLOOR PLAN - LEVEL 8
1" = 20'-0"

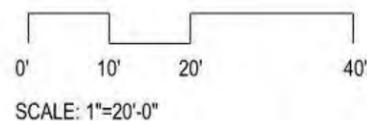


DJR

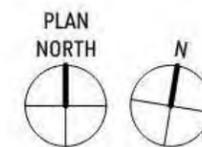
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CALIFORNIA ST



ROOF PLAN
1" = 20'-0"



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A2.9

ROOF PLAN

05/02/24

- Metal 1: Copper Penny 
 - Metal 2: Stone White 
 - Metal 3: Champagne 
 - Metal 4: Matte Black 
- NOTE: SIGNAGE TO BE A DEFERRED SUBMITTAL/ PERMIT BY OWNER



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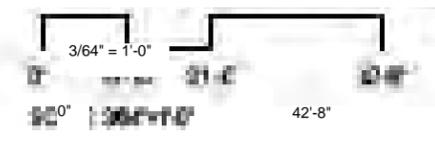
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A3.1

NORTH EXTERIOR ELEVATION

EXTERIOR ELEVATION - NORTH

05/02/24



- Metal 1: Copper Penny 
 - Metal 2: Stone White 
 - Metal 3: Champagne 
 - Metal 4: Matte Black 
- NOTE: SIGNAGE TO BE A DEFERRED SUBMITTAL/ PERMIT BY OWNER



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A3.2

EXTERIOR
 ELEVATION - EAST

05/02/24



EAST EXTERIOR ELEVATION



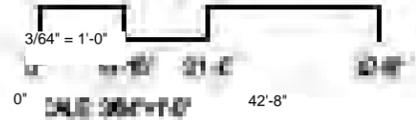
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- Metal 1: Copper Penny 
- Metal 2: Stone White 
- Metal 3: Champagne 
- Metal 4: Matte Black 

NOTE: SIGNAGE TO BE A DEFERRED SUBMITTAL/ PERMIT BY OWNER



SOUTH EXTERIOR ELEVATION



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A3.3

EXTERIOR ELEVATION - SOUTH

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- Metal 1: Copper Penny 
 - Metal 2: Stone White 
 - Metal 3: Champagne 
 - Metal 4: Matte Black 
- NOTE: SIGNAGE TO BE A DEFERRED SUBMITTAL/ PERMIT BY OWNER



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A3.4

EXTERIOR
 ELEVATION - WEST

WEST EXTERIOR ELEVATION

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A3.5

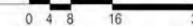
**STREETSCAPE
ELEVATIONS**

05/02/24

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2 STREET STRIP ELEVATION @ UNIVERSITY AVE
1/32" = 1'-0" @ 11X17 1/16" = 1'-0" @ 24X36

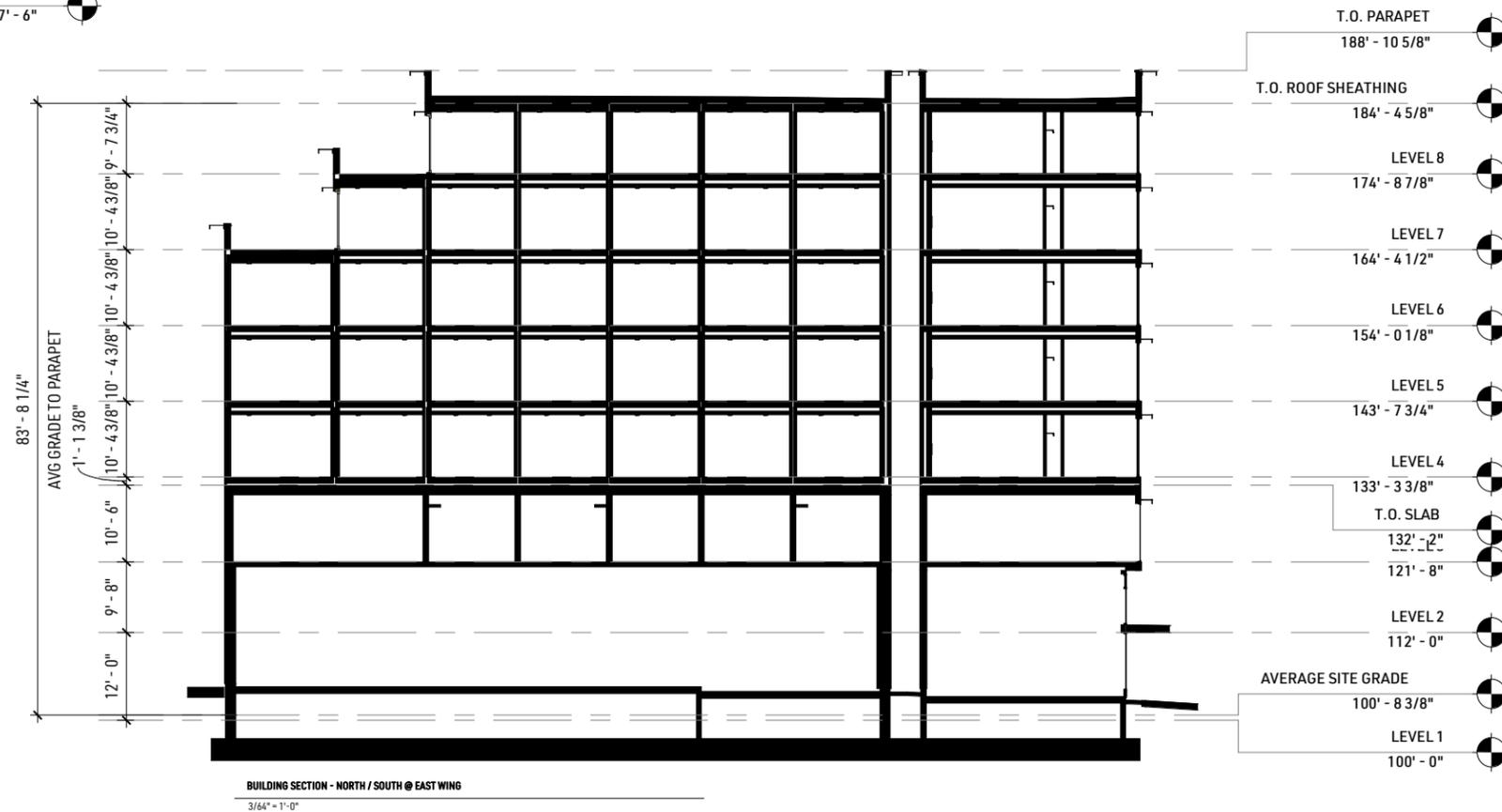
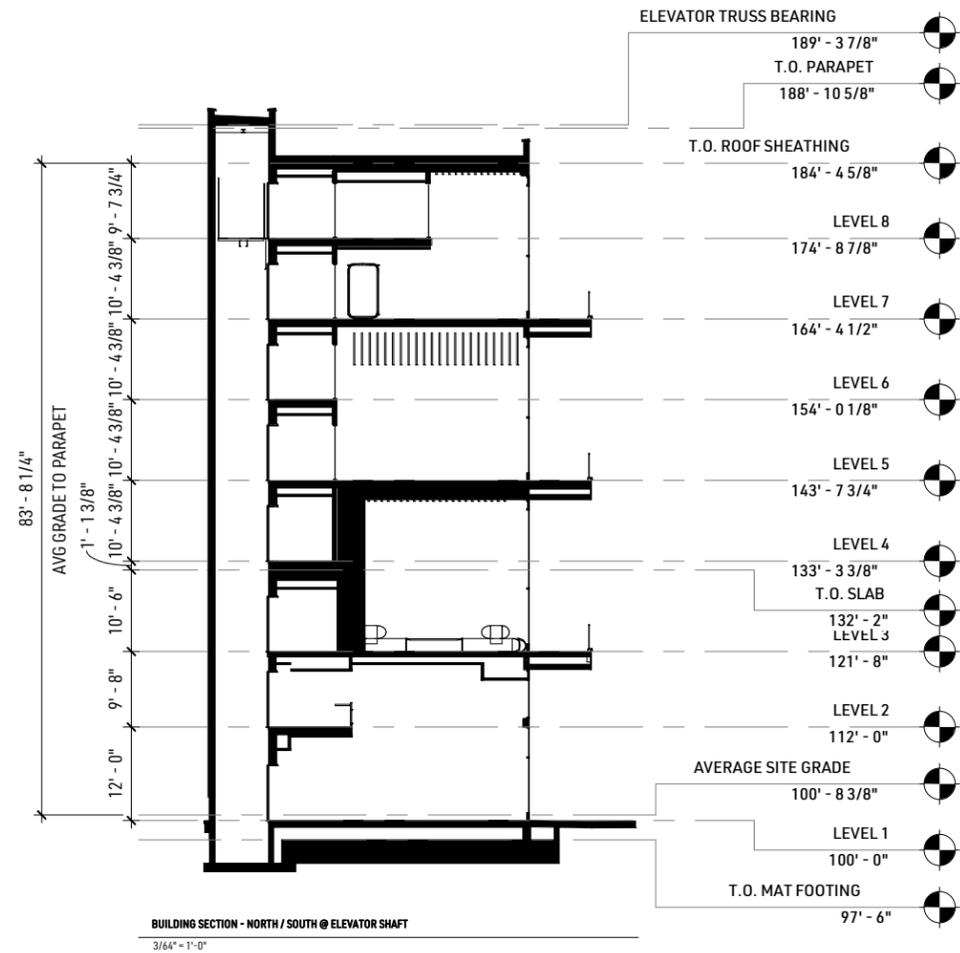


1 STREET STRIP ELEVATION @ CALIFORNIA ST
1/32" = 1'-0" @ 11X17 1/16" = 1'-0" @ 24X36





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A4.1

BUILDING SECTIONS
 NORTH/SOUTH

05/02/24





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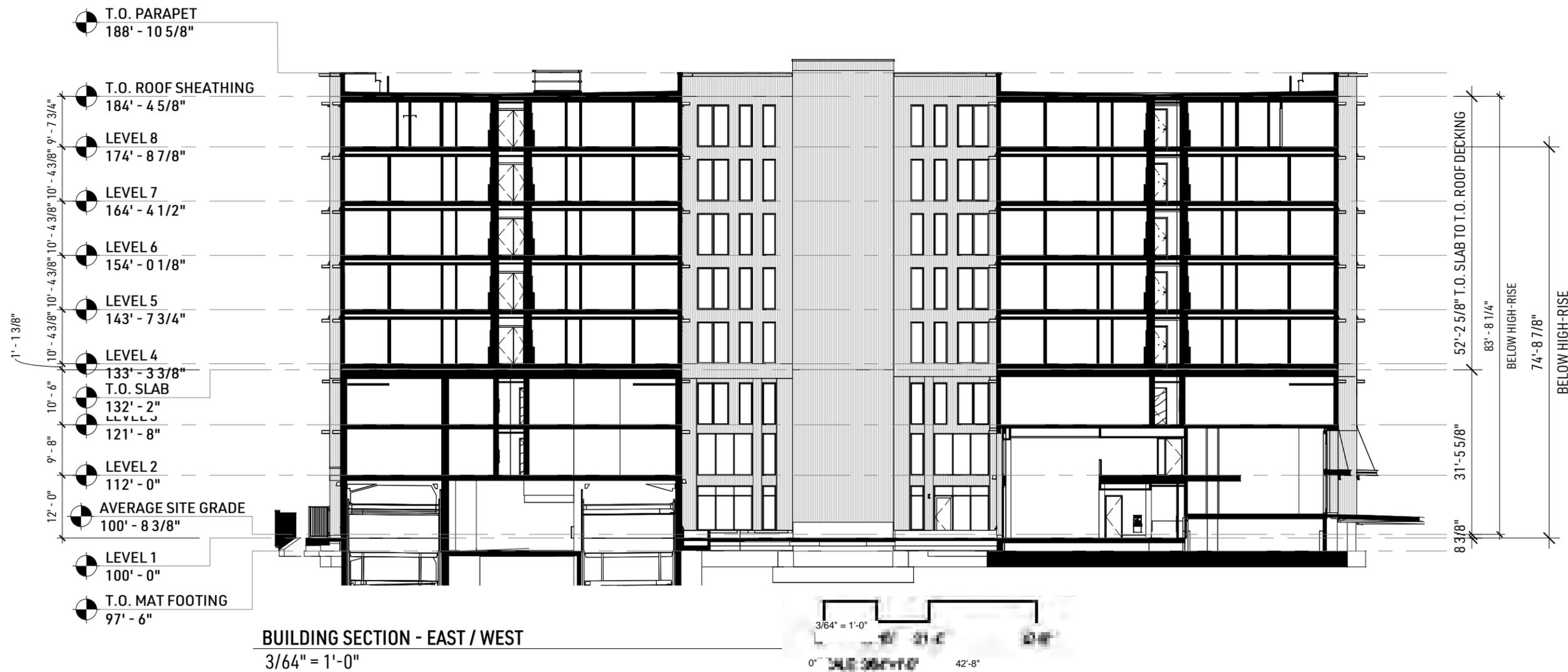
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A4.2

BUILDING SECTION
 EAST/WEST METAL 1:

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A5.0

3D VIEWS

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3D VIEW - UNIVERSITY LOOKING WEST



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3D VIEWS

3D VIEW - UNIVERSITY AND CALIFORNIA

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3D VIEWS

3D VIEW - CALIFORNIA AND UNIVERSITY

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3D VIEWS

3D VIEW - ACROSS UNIVERSITY

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3D VIEW - RETAIL ENTRANCE

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A5.4

3D VIEWS

05/02/24



3D VIEW - CALIFORNIA LOOKING NORTHWEST

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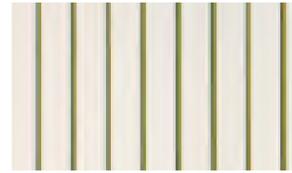
A5.5

3D VIEWS

05/02/24



Metal 1: Copper Penny
 MFR: Pac-Clad
 Panel: Highline S1
 1-3/8" depth, 12" width
 Color: Copper Penny



Metal 2: Stone White
 MFR: Pac-Clad
 Panel: Highline S1
 1-3/8" depth, 12" or 16" width
 Color: Stone White



Metal 3: Champagne
 MFR: Pac-Clad
 Panel: Box Rib 1
 1-3/8" depth, 12" width
 Color: Champagne



Metal 4: Matte Black
 MFR: Pac-Clad
 Panel: Flush panel - smooth
 1" depth, 12" width
 Color: Matte Black



Metal 5: Matte Black
 MFR: Pac-Clad
 Panel: Misc. Metal
 Color: MatteBlack



Metal 6: Light Oak
 MFR: Knotwood
 Panel: Flush Panel
 6" width
 Color: Light Oak



Alt Fiber Cement Panel 1: Copper Penny
 Panel: Cementitious Vertical Panel
 48" x 120"
 Color: Paint to match Metal 1: Copper Penny



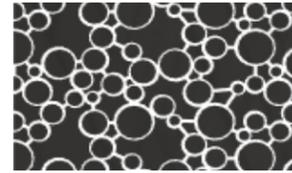
Alt Fiber Cement Panel 2: Stone White
 Panel: Cementitious Vertical Panel
 48" x 120"
 Color: Paint to match Metal 2: Stone White



Alt Fiber Cement Panel 3: Champagne
 Panel: Cementitious Vertical Panel
 48" x 120"
 Color: Paint to match Metal 3: Champagne



Sunshades:
 MFR: Revamp
 Style: Concealed Bracket Sunshade
 Pattern: Turbulence
 Color: Matte Black



Railing:
 MFR: Crusader Fence Company
 Style: Custom - Vertical Pickets
 Color: Matte Black



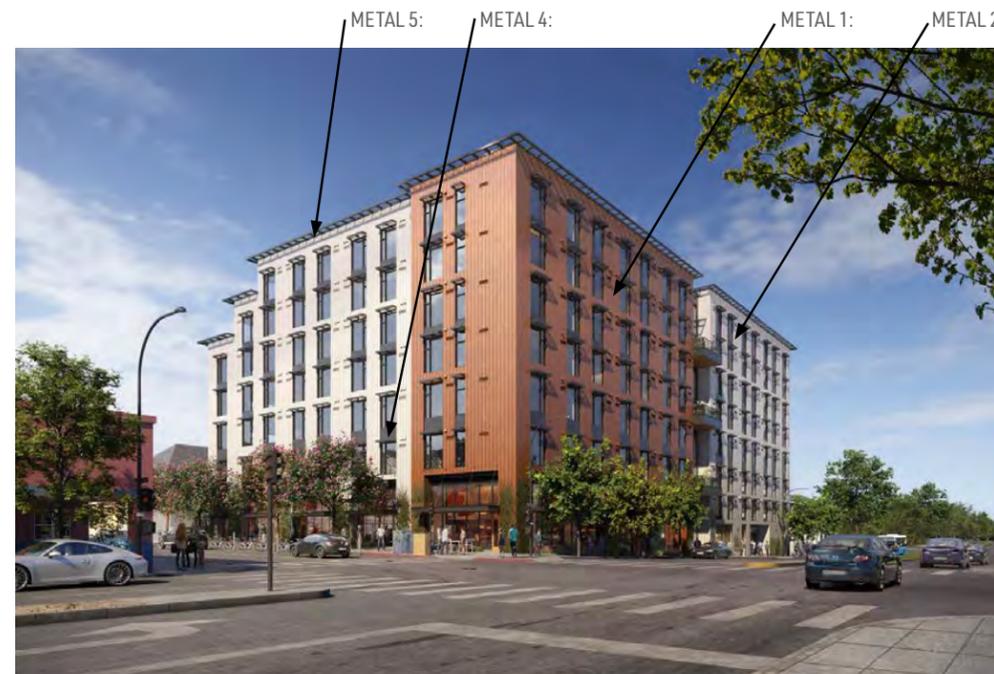
Fence/Gate:
 MFR: Azek Exteriors or Similar
 Style: Composite Privacy Fence
 Color: Matte Black



Exterior Light:
 MFR: Crusader Fence Company
 Style: Custom - Vertical Pickets
 Color: Matte Black



Wood 1: Light Oak
 Door Panel: WDD1
 Color: Stain to Match Metal 6 - Light Oak



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A6.0

MATERIAL BOARD

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**COURTYARD CONCEPT
 AND SITE FEATURES**

05/02/24

INSIDEOUT
 architects | interior | landscape
 6000 HARDWOOD AVE
 OAKLAND, CA 94618
 510.455.7474
 info@insideout.com



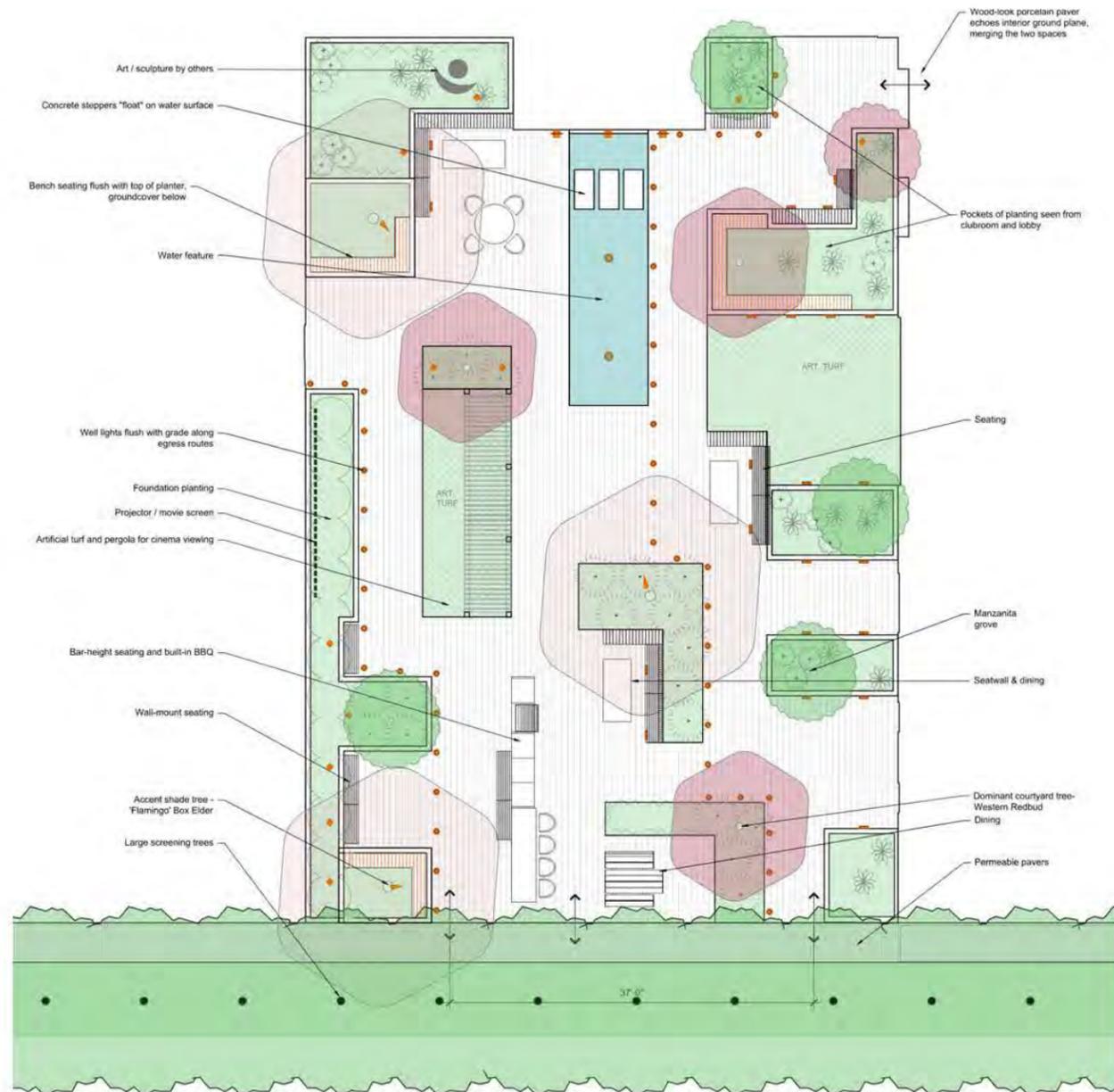
ISSUES:
 03.05.2024 PHASE I FOOTING AND FOUNDATION PERMIT SET
 04.04.2024 ADDENDUM A
 04.11.2024 PHASE II FULL BUILDING PERMIT SET
 05.02.2024 DRC SET

1598 University Avenue
 Berkeley, CA 94703

TITLE:
 Courtyard
 Concept and
 Site Features

SCALE: 3/16"=1'-0"
 DATE: 1 MAY 2024

DRAWING NO:
 L1.0



DRC SET

LANDSCAPE SHEET INDEX

- L1.0 Courtyard Concept and Site Features
- L2.0 Streetscape and Perimeter Plan
- L2.1 Courtyard Layout Plan; Lighting Plan
- L2.2 Materials Schedule; Lighting Schedule
- L2.3 Courtyard Planting Plan; Plant List
- L2.4 Details
- L2.5 Street Tree Notes and Details
- L3.0 Courtyard Imagery - Site Improvements
- L3.1 Courtyard Imagery - Site Furnishing
- L3.2 Courtyard Imagery - Planting

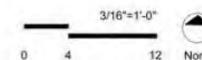
- I1.0 Irrigation Plan
- I2.0 Irrigation Notes, Legend, Schedules & Calcs.
- I3.0 Irrigation Details
- I4.0 Irrigation Details
- I5.0 Hydrozone Map

NOTES

1. CONTRACTOR SHALL VERIFY ALL GRADES, EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK. ALL DISCREPANCIES OR QUESTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION. REDIRECT WORK TO AVOID DELAY.
2. ALL CURVES AND ALL TRANSITIONS BETWEEN CURVES AND STRAIGHT EDGES SHALL BE SMOOTH.
3. TAKE ALL DIMENSIONS PERPENDICULAR TO ANY REFERENCE LINE, WORK LINE, FACE OF BUILDING, FACE OF WALL OR CENTERLINE.
4. S.A.D. FOR ALL INFORMATION ON WATERPROOFING, DRAINAGE & GRADINGS ON STRUCTURES.

SEE L2.3 FOR GENERAL PLANTING NOTES.

SEE L2.5 FOR STREET TREE NOTES AND DETAILS.





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STREETSCAPE AND PERIMETER PLAN

05/02/24

INSIDEOUT
 architects | interior | landscape
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 510.453.7674
 info@insideout.com



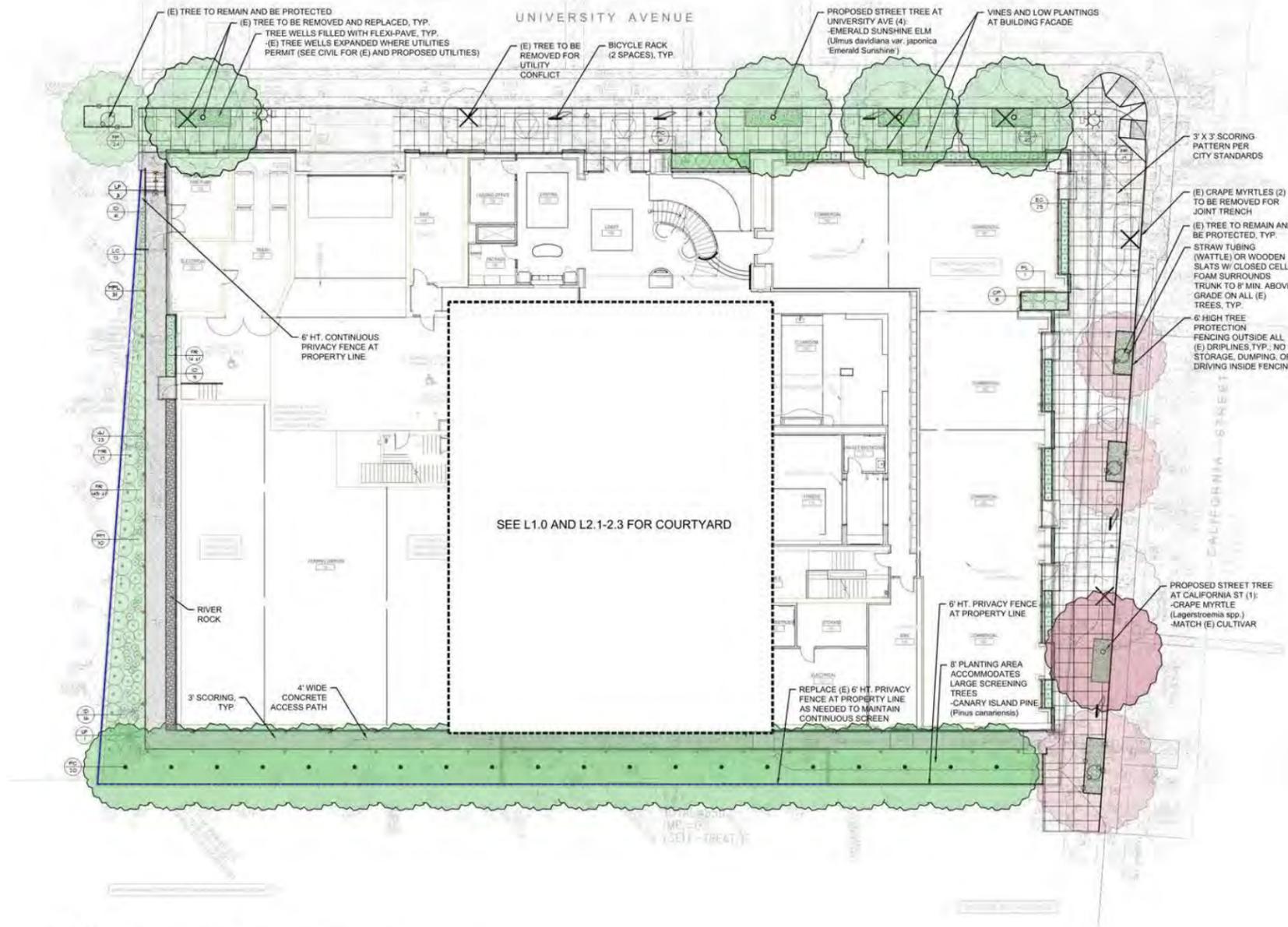
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 04.11.2024 PHASE II FULL BUILDING PERMIT SET
 05.02.2024 DRC SET

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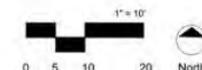
TITLE:
Streetscape and Perimeter Plan

SCALE: 1" = 10'
 DATE: 1 MAY 2024

DRAWING NO.
L2.0



NOTES:
 1. SEE L2.5 FOR STREET TREE PROTECTION AND PLANTING NOTES.
 2. PROPOSED STREET TREE SPECIES, LOCATION, AND CONDITIONS SUBJECT TO ONGOING REVIEW AND APPROVAL BY THE CITY OF BERKELEY'S MANAGING CONSULTING URBAN FORESTER AND ARBORIST. PROPOSED STREET TREES ARE CURRENT WITH PROPOSED UTILITIES AS OF 04.02.24.





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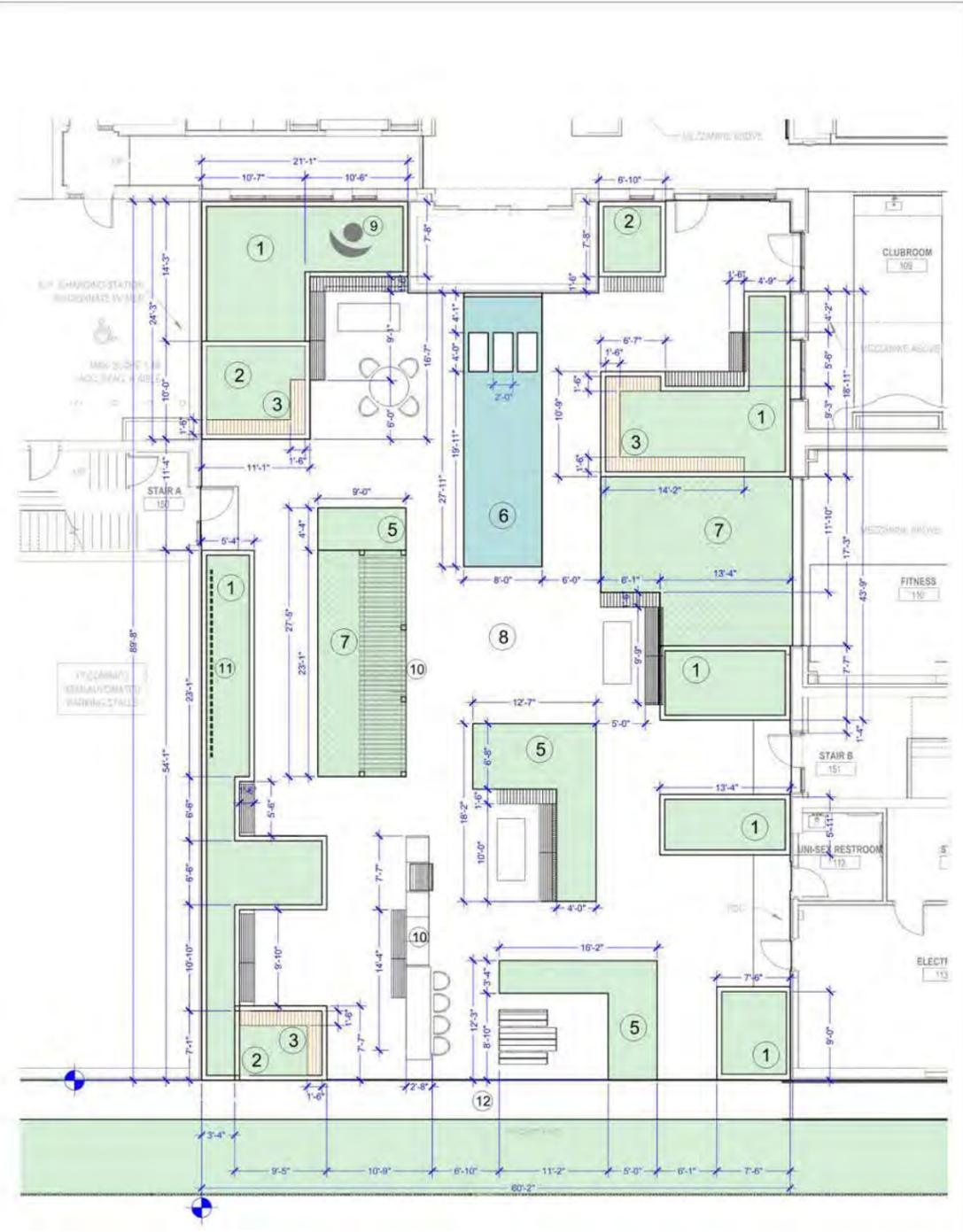
ISSUES:
 03.05.2024 PHASE I FOOTING AND FOUNDATION PERMIT SET
 04.04.2024 ADDENDUM A
 04.11.2024 PHASE II FULL BUILDING PERMIT SET
 05.02.2024 DRC SET

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TITLE:
 Courtyard
 Layout Plan;
 Lighting Plan

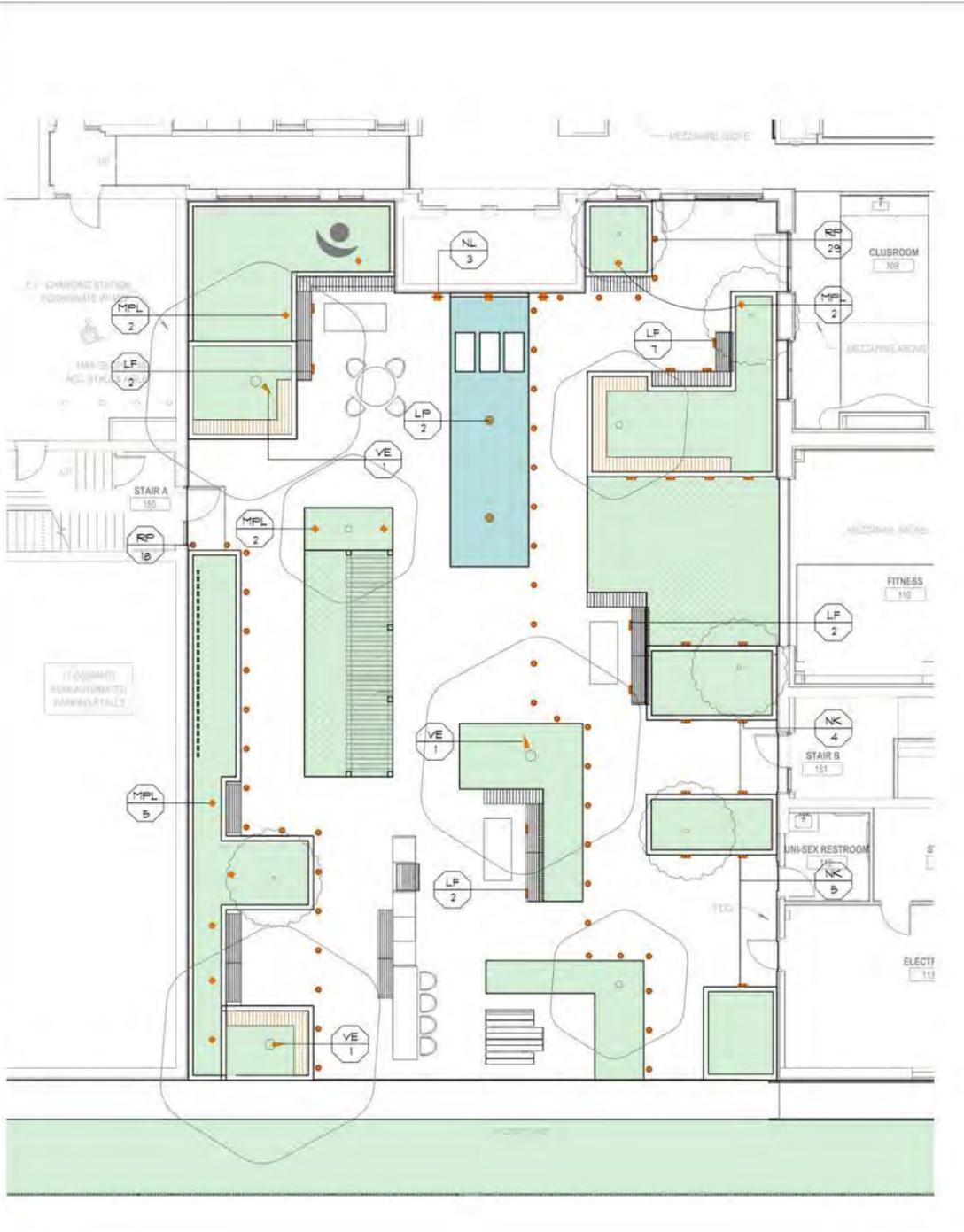
SCALE: 3/16" = 1'-0"
 DATE: 1 MAY 2024

DRAWING NO.
L2.1



COURTYARD LAYOUT PLAN

- | | | |
|--|--|--------------------------|
| 1 CONCRETE FLOW-THROUGH PLANTER, 18" HT., 6" THK. TYP. | 5 PLANTING AREA AT GRADE | 9 SCULPTURE |
| 2 CONCRETE PLANTER, 18" HT., 6" THK. TYP. | 6 WATER FEATURE W/ P.I.P. CONC. STEPPERS | 10 PERGOLA AND PROJECTOR |
| 3 TIMBERTECH BENCH FLUSH WITH TOP OF PLANTER | 7 ARTIFICIAL TURF AREA | 11 CINEMA SCREEN |
| 4 WOOD PLANTER COVER W/OTS LOUNGE SEATING | 8 WOOD-LOOK PORCELAIN TILE PAVERS | 12 PERMEABLE PAVERS |



COURTYARD LIGHTING PLAN

- RP FX LUMINAIRE WELL LIGHT MPL FX LUMINAIRE PATH LIGHT VE FX LUMINAIRE DOWN LIGHT LF FX LUMINAIRE STEP LIGHT NK FX LUMINAIRE WALL LIGHT

NOTES:
 1) SEE STREETScape FOR FIXTURE QUANTITIES OUTSIDE COURTYARD.
 2) ALL LANDSCAPE LIGHTING TO COMPLY WITH CITY OF BERKELEY DARK SKIES ORDINANCE AND BIRD SAFE REQUIREMENTS.

SCALE: 3/16" = 1'-0"
 0 4 12 North

L2.1

COURTYARD LAYOUT
 PLAN; LIGHTING PLAN

05/02/24



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L2.2
**MATERIALS SCHEDULE;
 LIGHTING SCHEDULE**

05/02/24



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 04.11.2024 PHASE II FULL BUILDING PERMIT SET
 05.02.2024 DRC SET

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 Berkeley, CA 94703

TITLE:
**Materials Schedule;
 Lighting Schedule**

SCALE: 3/16" = 1'-0"
 DATE: 1 MAY 2024

DRAWING NO:
L2.2



MATERIALS SCHEDULE							
CODE	SYMBOL (NTS)	ITEM / DESCRIPTION	MANUFACTURER	SIZE	MATERIAL / PRODUCT #	*COLOR / FINISH	NOTES / WEBSITE
		WATER FEATURE	-	REFER TO LAYOUT PLAN	C.I.P. CONCRETE	COLOR: DAVIS - SILVERSMOKE FINISH: TBD	https://www.daviscolors.com/
		STEEPERS	-	REFER TO LAYOUT PLAN	C.I.P. CONCRETE	COLOR: DAVIS - SILVERSMOKE FINISH: TBD	https://www.daviscolors.com/
		WATER FEATURE EDGE	-	FULL DEPTH OF WATER FEATURE	SAE 316 STAINLESS STEEL	1/4" THICKNESS - FINISH: TBD	-
		FLOW-THROUGH PLANTER	-	REFER TO LAYOUT PLAN	C.I.P. CONCRETE	COLOR: DAVIS - SILVERSMOKE FINISH: TBD	https://www.daviscolors.com/
		WOOD-LOOK PORCELAIN PAVER	TILE X DESIGN - ITALGRANITI	30 CM X 120 CM	ALLURE	ROVERE NATUREL SQ OUTDOOR 22MM	https://tilexdesign.com/product/allure-by-italgraniti/
		ARTIFICIAL TURF	HEAVENLY GREENS	FACE WEIGHT: 100 OZ. / PILE HEIGHT: 2" / DRAINAGE: FLOW-THROUGH W/ HOLE-PUNCHED	CORONADO	FIELD GREEN/OLIVE GREEN; NUTMEG BROWN/OLIVE GREEN	https://www.heavenlygreens.com/products/coronado
		TIMBERTECH BENCH	-	REFER TO LAYOUT PLAN	TIMBERTECH 2X4; MILD STEEL 2X2; CONCRETE FOOT.	FINISH TBD	TO BE ANCHORED SUCH THAT BENCH SEAT IS FLUSH WITH TOP OF PLANTER
		SEAT WITH BACK, WALL MOUNT / CAST IN GROUND	MAGLIN	WALL MOUNT 4' L WALL MOUNT 5' L C.I.G. 5' L	OGDEN	COORD. W/ DJR	https://www.maglin.com/collections/ogden/
		SEAT, WALL MOUNT	MAGLIN	4' L; 5' L; 6' L	OGDEN	COORD. W/ DJR	https://www.maglin.com/collections/ogden/
		SEAT, CAST IN GROUND	MAGLIN	4' L; 5' L; 6' L	OGDEN	COORD. W/ DJR	https://www.maglin.com/collections/ogden/
		PICNIC TABLE	VESTRE	70.8" x 67" x 29.1"	753H APRIL PICNIC TABLE L1500	COORD. W/ DJR	ADA MODEL WITH BACKREST 1 SIDE https://vestre.com/us/products/picnic-tables/april-picnic-table
		COFFEE TABLE	RESTORATION HARDWARE	76"W x 34"D x 15"H	VETRO RECTANGULAR COFFEE TABLE 10119245 CHNZ	CHENZA	https://rh.com/us/en/catalog/product/product.jsp?productId=prod26950004&sale=false&src=upsell&ct=true
		ROUND DINING TABLE	RESTORATION HARDWARE	48" DIAM., 30"H	BALMAIN ALUMINUM ROUND DINING TABLE	COORD. W/ DJR	https://rh.com/us/en/catalog/product/product.jsp?productId=prod20010056&layout=horizontal&ct=true
		DINING CHAIRS	RESTORATION HARDWARE	23"W X 23"D X 27 1/2"H (32"H WITH CUSHION)	BALMAIN ALUMINUM DINING ARMCHAIR	COORD. W/ DJR	https://rh.com/us/en/catalog/product/product.jsp?productId=prod20010058&swatch=920001&layout=vertical&ct=true
		COMMUNITY TABLE / BAR BBQ GRILL	BROWN JORDAN	COORD. LENGTH W/ DJR	ELEMENTS	COORD. W/ DJR	https://brownjordanoutdoorkitchens.com/elements/
		BAR CHAIR	RESTORATION HARDWARE	20 1/2"W X 20"D X 39 1/2"H (44"H WITH CUSHION)	BALMAIN ALUMINUM BAR STOOL	COORD. W/ DJR	https://rh.com/us/en/catalog/product/product.jsp?productId=prod20910369&swatch=254008&layout=vertical&ct=true
		CINEMA SCREEN	COORD. W/ DJR	**	**	**	**
		PROJECTOR	COORD. W/ DJR	**	**	**	**
		SCULPTURE	BY OTHERS	**	**	**	**
		PERIMETER FENCE	CRUSADER	6' HEIGHT	ALUMINUM VERTICAL PICKET	MATTE BLACK	https://crusaderfence.com/
		BIKE RACK	LANDSCAPE FORMS	6" x 24" x 36"	MultiCITY Bike Rack	WOOD AND FINISH TBD	https://www.landscapeforms.com/en-US/product/Pages/MultiCITY-Bike-Rack.aspx
LP		SUBMERSIBLE LIGHT	FX LUMINAIRE	-	LP - ZD - 3LEDT - VR - XL - BS	NATURAL BRASS	www.fx.com
RP		WELL LIGHT	FX LUMINAIRE	-	RP - LED20WFL - RG - NP	NICKEL PLATE	www.fx.com
MPL		PATH LIGHT	FX LUMINAIRE	-	M-PL - ZD - 1LED - FB	BLACK	www.fx.com
VE		TREE DOWN LIGHT	FX LUMINAIRE	-	VE - ZD - 3LED - PS - FB	BLACK	www.fx.com
LF		STEP LIGHT	FX LUMINAIRE	-	LF - ZD - 1LED - W - SS	STAINLESS STEEL	www.fx.com
NK		WALL LIGHT	FX LUMINAIRE	-	A-NK6 - SV - L07 - K30 - SV	SILVER	www.fx.com
NL		SCONCE (DOWN ONLY)	FX LUMINAIRE	-	NL - ZD - 3LEDT - D - FB	BLACK	www.fx.com
		TRANSFORMER	FX LUMINAIRE	-	LUXOR	-	https://www.fx.com/product/transformers/designer/luxor
		RIVER ROCK	AMERICAN SOIL & STONE	2" - 3"	RIVER ROCK	DARK GRAY	https://www.americansoil.com/
		MULCH	AMERICAN SOIL & STONE	-	FOREST FLOOR MULCH	-	https://www.americansoil.com/
		FLEXI-PAVE	-	-	-	-	PER CITY OF BERKELEY
		PERMEABLE PAVERS	UNILOCK	3" x 12"	ECO-PROMENADE	OPAL BLEND	https://uniunlock.com/product/eco-promenade-ontario/sub-base-and-installation-per-uniunlock

*NOTE: Wood species, material colors, and finishes of site features and furnishings to be coordinated with DJR and Owners.



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ISSUES:
 03.05.2024 PHASE I FOOTING AND FOUNDATION PERMIT SET
 04.04.2024 ADDENDUM A
 04.11.2024 PHASE II FULL BUILDING PERMIT SET
 05.02.2024 DRC SET

1598 University Avenue
 Berkeley, CA 94703

1598 UNIVERSITY
 BERKELEY, CALIFORNIA
 21-128.01

TITLE:
 Courtyard
 Planting Plan;
 Plant List

SCALE: 3/16"=1'-0"
 DATE: 1 MAY 2024

DRAWING NO.
L2.3

Index	Latin Name	Common Name	Size	Qty	Spacing	WUCOLS	Exposure	FTP	Notes	CA Native
FP	<i>Asar sagittalis</i> Fleming?	Flamingo Star Elder	24" tree 8'11"	3	As Shown	M	SU, P	X	Courtyard tree	C
AH	<i>Archibutyrus</i> (Mimulus) D. Hunt	D. Hunt Mimulus	15 gallon	4	As Shown	L	SU, P	X	Courtyard tree	C
CC	<i>Cotinus coggygria</i> 'Royal Purple'	Royal Purple Smoke Tree	15 gallon	1	As Shown	L	SU, P	X	Courtyard screen	X
CO	<i>Cercis occidentalis</i>	Western Redbud	24" tree 8'11"	3	As Shown	VL	SU, PA	X	Courtyard tree	X
LS	<i>Lagerströmia speciosa</i>	Cape May	24" tree	1	As Shown	L	SU	X	Street tree - California St.	X
LD	<i>Ulmus albus</i> var. <i>javanicus</i> Emerald Sunburst	Emerald Sunburst Elm	36" tree	4	As Shown	L	SU	X	Street tree - University Ave	X
PC	<i>Pinus castanensis</i>	Canary Island Pine	24" tree	10	10'-0" o.c.	L	SU, PA, SH	X	Screening tree	X

Index	Latin Name	Common Name	Size	Qty	Spacing	WUCOLS	Exposure	FTP	Notes	CA Native
SA	<i>Sansevieria zeylanica</i> 'Birds Nest	Birds Nest Sansevieria	1 gallon	8	36"	L	SU, P	X		C
CA	<i>Ceanothus velutinus</i>	Blue Anemone	1 gallon	2	36"	M	any	X		X
CH	<i>Chamaenerion</i> (Mimulus) 'Red	Red Mimulus	1 gallon	2	36"	M	any	X		C
CK	<i>Chamaenerion</i> (Mimulus) 'Yellow	Yellow Mimulus	1 gallon	2	36"	M	any	X		C
CL	<i>Chamaenerion</i> (Mimulus) 'White	White Mimulus	1 gallon	2	36"	M	any	X		C
CP	<i>Chamaenerion</i> (Mimulus) 'Pink	Pink Mimulus	1 gallon	2	36"	M	any	X		C
EC	<i>Echinacea purpurea</i> 'Coral Canyon'	Coral Canyon Echinacea	1 gallon	10	24"	L	SU, P	X		C
EM	<i>Erigeron philadelphicus</i>	White Flowering Head	1 gallon	8	36"	L	any	X		C
FR	<i>Fragaria vesca</i> 'Piedmont'	Piedmont Strawberry	1 gallon	10	18"	M	any	X		C
GM	<i>Gaura maculata</i> 'White	White Gaura	1 gallon	8	36"	L	any	X		C
MC	<i>Muhlenbergia laevis</i> 'Lemon	Lemon Muhlenbergia	1 gallon	10	36"	L	any	X		C
MR	<i>Muhlenbergia laevis</i> 'Red	Red Muhlenbergia	1 gallon	10	36"	L	any	X		C
PL	<i>Penstemon</i> (Mimulus) 'Mistake'	Mistake Mimulus	1 gallon	2	36"	M	any	X		C
RM	<i>Rudbeckia hirta</i>	Black-eyed Susan	1 gallon	20	24"	M	P, SH	X		X
ST	<i>Symphoricarpos alba</i> 'Lemon	Lemon Spicebush	1 gallon	2	36"	L	any	X		C
VF	<i>Viburnum</i> (Mimulus) 'White	White Mimulus	1 gallon	2	36"	L	SU, PA	X		C

Note: All plantings will be watered by an automated irrigation system compliant with City of Berkeley code. Water calculations will be documented and submitted to City for review. The proposed planting shall be WELCO compliant.

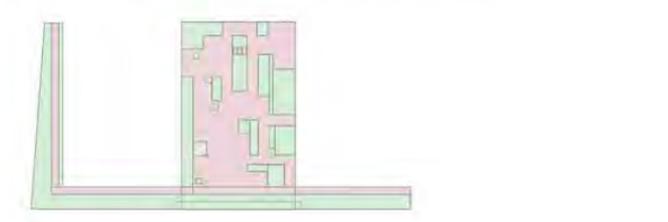
Note: approximately 90% of specified plants are California native and wildlife-supporting.
 X = California native; C = Cultivar of CA native; H = Hybrid of CA native

*Species selected for flow-through planters (FTP) per Stormwater C.3 Guidelines (Daziel et al. 2022) and San Francisco Stormwater Management Requirements and Design Guidelines (SMR)

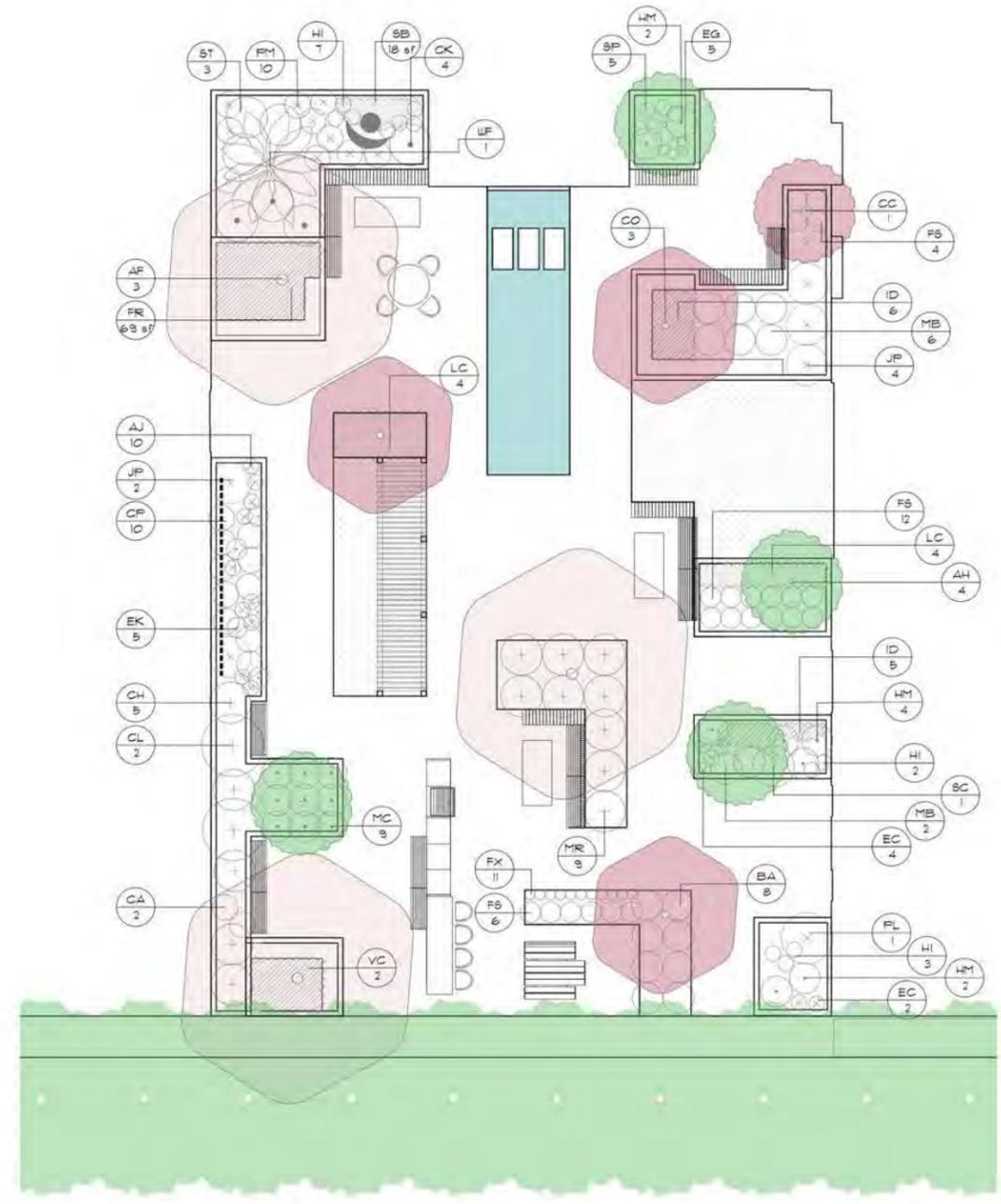
Note: all landscape lighting will comply with the City of Berkeley Dark Skies ordinance and Bird Safe requirements.

- GENERAL PLANTING NOTES**
- SOIL PREPARATION:** The Landscape Contractor shall be responsible for soil grading and all grading area drainage. Positive drainage away from the building as per city codes shall be maintained. No low spots which hold standing water will be accepted.
 - SOIL PREPARATION AMENDMENTS AND BACKFILL:** The Landscape Contractor shall amend existing soil per the soil report.
 - TREE PLANTING:** Trees shall be planted per detail on plan. Trees shall be planted at a minimum of 3' from curbs, walls, headers, buildings, and courtyard structures within the project. Backfill per soil report. Thoroughly water trees immediately after planting.
 - SHRUB PLANTING:** The shrubs shall be spotted as per plan. Shrub planting shall be approved by Landscape Architect prior to the digging of the holes. Shrub backfill shall be per soil report. Thoroughly water shrubs immediately after planting. Do not plant any shrub within 2 feet of any building wall.
 - MULCHING:** Contractor shall apply minimum 2" mulch depth and compact application to achieve a minimum 4% organic matter in soil composition based on MWELCO specified soil analysis results for the site soil. [COBSC 4.364]
 - MAINTENANCE:** The Contractor shall maintain this project for 90 days for as requested by owner following the approval to begin the maintenance period. During the entire maintenance period, watering, cultivating, weeding, mowing, repair/retaining of stakes and ties, restoration of banks, provision of supplemental water by hand in addition to irrigation system is required as necessary. No pre-emergent herbicides shall be applied - hand remove weeds. Only organic fertilizers shall be applied such as those specified, in-laid per manufacturer's recommendations. At the end of the 90 day maintenance period all areas are to be weed free and all gear removed shall be in a healthy, working condition. Integrated pest management protocols shall be implemented.
 - SUBSTITUTIONS:** Requests for plant substitutions shall be made to the Landscape Architect within 15 days after signing of contract.
 - GUARANTEE:** All construction items and shrubs by the Landscape Contractor and/or subcontractors shall be guaranteed for 11 months after each of maintenance period. The contractor shall, at no expense to the Owner, any and all landscape materials that are in an unacceptable condition for time of use, and trees to include those that are dead or in a vigorous, healthy growing condition, within six weeks of notification of such condition. Replacement shall be of the same kind and size as the originally specified item and shall be replaced as originally detailed on the drawings. The Contractor shall not be held liable for loss of plant materials during the guarantee period due to vandalism, accidental damage or acts of neglect by others than the Contractor, his agents and employees.
 - CLEAN UP:** At the end of each work day, all the inspection for substantial completion, and before acceptance of project - clean paved areas that are dirtied or stained by construction operations by sweeping or washing, and remove debris and dirt.
 - FERTILIZERS:** Available from California Organic Fertilizers, Inc. 1-800-288-9888 www.organicog.com.

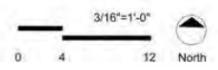
1598 University Hardscape / Softscape Breakdown



TOTAL USEABLE AREA =	9,165 SF
TOTAL HARDSCAPE =	4,692 SF
TOTAL LANDSCAPE AREA =	4,537 SF
TOTAL LANDSCAPE % =	(4,537 / 9,165) * 100
TOTAL LANDSCAPE % =	50%

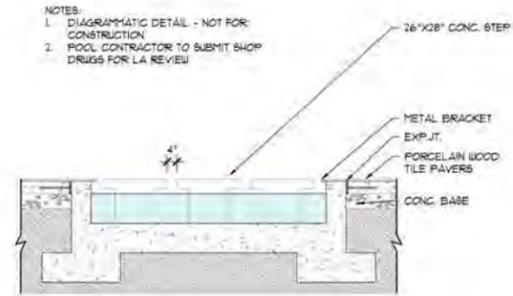


SEE L2.0 AND L3.2 FOR ADDITIONAL SCREENING TREE PLANTING INFORMATION



L2.3
 COURTYARD PLANTING PLAN; PLANT LIST

05/02/24



NOTES:
 1. DIAGRAMMATIC DETAIL - NOT FOR CONSTRUCTION
 2. POOL CONTRACTOR TO SUBMIT SHOP DRUGS FOR LA REVIEW

1 WATER FEATURE
 1/2" = 1'-0" NOT FOR CONSTRUCTION

NOTE: Details shown are for review only and are not for construction. See civil set for flow-through planter (FTP) details.

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ISSUES
 03.05.2024 PHASE I FOOTING AND FOUNDATION PERMIT SET
 04.04.2024 ADDENDUM A
 04.11.2024 PHASE II FULL BUILDING PERMIT SET
 05.02.2024 DRC SET

1598 University Avenue
 Berkeley, CA 94703

TITLE:
Details

SCALE: VARIES
 DATE: 1 MAY 2024

DRAWING NO:
L2.4

DJR

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 Minneapolis, Minnesota 55401
 612.676.2700 www.djr-inc.com

1598 UNIVERSITY
 BERKELEY, CALIFORNIA
 21-128.01

L2.4

DETAILS

05/02/24

STREET TREE COORDINATION NOTES:

- a) PROPOSED STREET TREE SPECIES, LOCATION, AND CONDITIONS SUBJECT TO ONGOING REVIEW AND APPROVAL BY THE CITY OF BERKELEY'S MANAGING CONSULTING URBAN FORESTER AND ARBORIST. PROPOSED STREET TREES ARE CURRENT WITH EXISTING UTILITIES AS OF 03/25/2024 AND WILL BE SUBJECT TO ADDITIONAL REVIEW AFTER PROPOSED UTILITIES ARE FINALIZED.
- b) TREE PROTECTION FENCING LOCATIONS AND DETAILS TO BE ADDED TO THE DEMOLITION PLAN IN BUILDING PERMIT SET.
- c) CLEARANCE PRUNING REQUIRES PRIOR APPROVAL OF THE CITY. APPROVED CLEARANCE PRUNING SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BEST MANAGEMENT PRACTICES FOR PRUNING (INTERNATIONAL SOCIETY OF ARBORICULTURE) AND THE AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS (2013) AND PRUNING (2002, PART 1). TREES SHALL NOT BE TOPPED OR HEADED BACK. TREE PRUNING SHALL BE COMPLETED TO REDUCE LIMBS FOR CLEARANCE WHILE MAKING THE SMALLEST CUTS POSSIBLE. TREE PRUNING SHOULD BE LIMITED TO MINOR BRANCHES. BRANCH REMOVAL OR REDUCTION CUTS (THINNING CUTS) ARE TO BE EMPLOYED RATHER THAN HEADING CUTS.
- d) ALL EXISTING STREET TREES (INCLUDING ANY OF THEIR BRANCHES) ADJACENT TO PLANNED CONSTRUCTION SCAFFOLDING MUST BE PROTECTED FROM MECHANICAL INJURY.
- e) ROOT PRUNING REQUIRES PRIOR APPROVAL OF THE CITY AND SHALL BE SUPERVISED BY THE PROJECT ARBORIST. SEE NOTES BELOW FOR MORE INFORMATION.

STREET TREE PROTECTION DURING CONSTRUCTION NOTES:

- a) ALL TREE PROTECTION REQUIREMENTS AND RESTRICTIONS SHALL BE INCLUDED IN THE CONSTRUCTION NOTES AND PRINTED ON ALL COPIES OF THE PLANS. INCLUDE THE NAME AND PHONE NUMBER OF THE PARTY THAT WILL MONITOR THE SITE AND ENSURE THE TREE PROTECTION MEASURES ARE BEING FOLLOWED, AND WHAT THE MONITORING SCHEDULE WILL BE: NAME / PHONE / SCHEDULE.
- b) TREE PROTECTION ZONES: THE CALCULATED TREE PROTECTION ZONE IS THE ENTIRE DRIPLINE OF THE TREES. THE SPECIFIED TREE PROTECTION ZONE IS THE ENTIRE PARKWAY (TREE WELL). NO GRADING, EXCAVATION, CONSTRUCTION OR STORAGE OF MATERIALS SHALL OCCUR WITHIN THE SPECIFIED TREE PROTECTION ZONE. NO UNDERGROUND SERVICES, INCLUDING UTILITIES, SUB-DRAINS, WATER OR SEWER SHALL BE PLACED IN THE TREE PROTECTION ZONE.
- c) TREE PROTECTIONS: ADD TREE PROTECTION FENCING TO PROTECT THE EXPOSED DRIPLINE WITHIN THE PARKWAY (FIGURE 2). INSTALL 6 FOOT CHAIN-LINK OR WOOD FENCING TO PROTECT THE AREA WITHIN THE TREE WELL OF ANY PROTECTED TREE IN THE DEVELOPMENT AREA. FENCING SHALL BE MOUNTED TO POSTS THAT ARE DRIVEN INTO THE GROUND (SEE FIGURES 2 AND 3). ALL STREET TREE PROTECTION FENCING MUST PROTECT ENTIRE EXPOSED SOIL AREA WITHIN EACH TREE WELL. WHERE THIS IS NOT POSSIBLE BECAUSE OF EXISTING STRUCTURES, TREE ROOTS, OR OTHER

OBSTACLES-CHAIN-LINK PANES MOUNTED TO STANCHIONS AND CONNECTED TO EACH OTHER MAY BE APPROVED- IN AREAS WHERE DIFFICULT TERRAIN MAKES THIS IMPRACTICAL- ORANGE CONSTRUCTION FENCING MAY BE APPROVED:

- i) ALL FENCING SHALL HAVE SIGNAGE STATING THE REQUIREMENTS AND RESTRICTIONS, AND THE CONTACT INFORMATION FOR THE PROJECT ARBORIST.
- ii) WHEN ANY APPROVED CONSTRUCTION ACTIVITY WILL OCCUR WITHIN THE DRIPLINE OF A PROTECTED TREE THAT IS NOT SURROUNDED BY PROTECTIVE FENCING, THE TRUNK SHALL BE PROTECTED BY WRAPPING IT WITH STRAW TUBES (WATTLE) OR VERTICAL WOOD SLATS (SEE EX-2) UP TO A MINIMUM OF 6 FEET FROM GRADE (SEE FIGURE 3, PAGE 4). SLATS SHALL BE ANGLED TO PROTECT THE ROOT FLARE AT THE BASE OF THE TREE AND EXPOSED KILL FOAM OR EQUIVALENT MATERIAL SHALL BE USED TO PROTECT THE TRUNK OF THE TREE WHERE IT CONTACTS THE SLATS. LATERAL BRANCHES BELOW 8 FEET SHALL ALSO BE PROTECTED. IN ADDITION, THE AREA SHALL BE COVERED WITH A 6-INCH LAYER OF MULCH TOPPED WITH 3/4-INCH PLYWOOD THAT IS FASTENED TOGETHER IF ANY LARGE OR MOTORIZED EQUIPMENT (MINI EXCAVATOR, BODYPART, POWER WHEELBARROW) WILL TRAVEL OVER THIS AREA. THE PLYWOOD MUST BE A MINIMUM OF 1 INCH AND ADEQUATE FOR THE WEIGHT OF THE EQUIPMENT THAT WILL TRAVEL OVER IT. IF LARGER EQUIPMENT (BACKHOE, TRACTOR) WILL BE USED, CONSULT THE CITY ARBORIST- CONSTRUCTION ACTIVITY REFERS TO ANY MOVEMENT OF PEOPLE, TOOLS, OR EQUIPMENT, OR STORAGE OF ANY TOOLS, EQUIPMENT, OR SUPPLIES.
- iii) IRRIGATION: ADD IRRIGATION TO WET THE SOIL IN THE PARKWAY TO A DEPTH OF 12 INCHES. ONCE SOIL IS AT FIELD CAPACITY, IRRIGATION CAN BE SCALED BACK TO REPLACE THE WATER LOST THROUGH EVAPOTRANSPIRATION (ET).
- iv) MULCH: ADD 4-6 INCHES OF COURSE ORGANIC MULCH. THE MULCH SHOULD NOT COME IN CONTACT WITH THE TRUNK BUT SHOULD BE 24 INCHES AWAY FROM THE TRUNK.
- v) LOCATE AND EXPOSE ANY ROOTS 2 INCHES IN DIAMETER OR GREATER THAT MAY NEED TO BE PRUNED TO FACILITATE THE PROJECT. THIS INCLUDES ANY TRENCHING THAT WILL BE DONE AS PART OF FOUNDATION OR UTILITY INSTALLATION. CONTACT THE CITY ARBORIST IN ADVANCE TO LESSEN THE AMOUNT OF TIME THAT THE ROOTS WILL BE EXPOSED. IF ROOTS MUST BE LEFT EXPOSED FOR MORE THAN THREE DAYS, CONSULT THE CITY ARBORIST. NOTE: THE 2 INCH DIAMETER THRESHOLD FOR ROOTS IS A GUIDELINE THAT MAY BE ADJUSTED BY THE CITY ARBORIST DEPENDING ON THE SIZE AND CONDITION OF THE TREE, AND THE LOCATION OF THE ROOTS. THE CITY ARBORIST MAY INCREASE THE TPD, OR IMPOSE OTHER RESTRICTIONS, WHEN THE DRIPLINE OF A TREE HAS BEEN ALTERED BY PRUNING OR UNUSUAL GROWTH PATTERNS. ANY ROOT PRUNING THAT WILL OCCUR WITHIN THE PARKWAY, ALL WORK IN THE AREA WILL REQUIRE PRIOR APPROVAL AND SHALL BE SUPERVISED BY THE PROJECT ARBORIST. ROOTS SHOULD BE CUT WITH A SAW TO PROVIDE A FLAT AND SMOOTH CUT. REMOVAL OF ROOTS LARGER THAN 2 INCHES IN DIAMETER SHOULD BE AVOIDED.
- vi) NO STORAGE OF BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS, OR DUMPING OF POISONOUS MATERIALS IS PERMITTED WITHIN THE DRIPLINE OF ANY PROTECTED TREE. POISONOUS MATERIALS INCLUDE, BUT ARE NOT LIMITED TO, PAINT, PETROLEUM PRODUCTS, CONCRETE OR STUCCO MIX, DIRTY WATER, OR ANY OTHER MATERIAL WHICH MAY BE DEleterious TO TREE HEALTH.

STREET TREE PLANTING NOTES:

- a. FOR NEW PLANTING:
 - i. THE CITY ARBORIST SHALL BE NOTIFIED, BY CALLING (510) 981-6660, PRIOR TO THE DELIVERY OF THE TREES FOR INSPECTION OF THEIR SIZE AND STRUCTURE.
 - ii. EACH TREE SHALL BE PROPERLY PLANTED AT OR JUST BELOW GRADE (<1"). SOIL AMENDMENT IS NOT RECOMMENDED. NO CONSTRUCTION RUBBLE OR NON-ORGANIC MATERIAL SHALL BE WITHIN THE TREE WELL. NATIVE SOIL IS PREFERRED.
 - iii. THE SURROUNDING SOIL OUTSIDE THE CONTAINER (ROOT BALL) SHOULD BE LIGHTLY COMPACTED TO ABOUT 4 INCHES BELOW GRADE WITH THE ROOT BALL HIGHER THAN THAT.
 - iv. 2 TO 2.5 INCHES OF BASE ROCK SHOULD BE APPLIED AROUND THE ROOT BALL LEAVING 1.5 TO 2 INCHES LEFT FOR THE MATERIAL.
 - v. 15G CONTAINERS ARE APPROXIMATELY 15-16 INCHES IN DIAMETER AND THE MATERIAL SHOULD BE APPLIED TO THE APPROXIMATE EDGE OF THE ROOT BALL WITH THE TOP GRADE OF THE ROOT BALL UP TO 1 INCH BELOW THE TOP OF THE MATERIAL THAT WILL BE APPLIED.
 - vi. EACH NEW TREE SHALL HAVE AUTOMATIC IRRIGATION INCLUDING TWO TREE BUBBLERS THAT CURVE OVER THE TOP OF THE TREES' ROOT BALL DRIP IRRIGATION (NETAFIM PREFERRED) AND PROVIDE A MINIMUM OF 20 GALLONS PER WEEK BETWEEN MARCH 15 AND OCTOBER 15 FOR THE FIRST THREE YEARS. LARGER TREES MAY REQUIRE ADDITIONAL BUBBLERS DRIP LINES AND/OR EMITTERS. BUBBLERS DRIP EMITTERS SHOULD BE LOCATED ON TOP OF THE ROOT BALL WITHIN THIS 15-16 INCH CIRCLE AND NOT BE COVERED WITH MATERIAL. WHERE POSSIBLE, DRIP LINES AND EMITTERS ARE TO BE INSTALLED IN CONCENTRIC CIRCLES, STARTING 24" AWAY FROM THE TRUNK, SPACED AT 18" APART, COVERING THE ENTIRE TREE WELL.
 - vii. EACH EXISTING TREE TO REMAIN SHALL HAVE AUTOMATIC IRRIGATION INCLUDING TWO TREE BUBBLERS THAT DRIP IRRIGATION (NETAFIM PREFERRED) AND PROVIDE A MINIMUM OF 20 GALLONS PER WEEK BETWEEN MARCH 15 AND OCTOBER 15 FOR THE FIRST THREE YEARS AFTER IT WAS PLANTED (PLANTING DATES AVAILABLE AT "CITY TREES" FROM CITY OF BERKELEY OPEN DATA. <https://data.cityofberkeley.info/NaturalResources/CityTrees/9k35-jm-in>). LARGER TREES MAY REQUIRE ADDITIONAL BUBBLERS DRIP LINES AND/OR EMITTERS. BUBBLERS DRIP EMITTERS SHOULD BE LOCATED AS FAR FROM THE TRUNKS OF MATURE TREES AS POSSIBLE. WHERE POSSIBLE, DRIP LINES AND EMITTERS ARE TO BE INSTALLED IN CONCENTRIC CIRCLES, STARTING 24" AWAY FROM THE TRUNK, SPACED AT 18" APART, COVERING THE ENTIRE TREE WELL.
- b. TREES THAT DIE WITHIN THE FIRST THREE YEARS MUST BE REPLACED AT THE PROPERTY OWNER'S EXPENSE.



TP2 TREE PROTECTION, TYPE 2

- NOTES:
1. DRIVE 4x4 POSTS 24" INTO GRADE AT CORNERS OF TREE WELL. SPACE POSTS NO FURTHER THAN 5' ON CENTER.
 2. SET HEIGHT OF FENCING AT 4'-6"
 3. SECURE 2x6 OR 2x8 CROSS BOARDS TO FORM BARRIER TO ENTRY.
 4. AFFIX LAMINATED SIGN TO CROSS BOARDS THAT READS "DO NOT ENTER, ADJUST, OR REMOVE FENCING. CONTACT CITY ARBORIST TO ADJUST OR MODIFY FENCING. (510) 981-6660 OR TREES@BERKELEY.CA.GOV"

Figure 1: Examples of Tree Trunk Protection

The following illustrations are examples of tree trunk protection measures. One of these examples shall be used when any approved construction activity takes place within the dripline of a protected tree that is not surrounded by protective fencing.

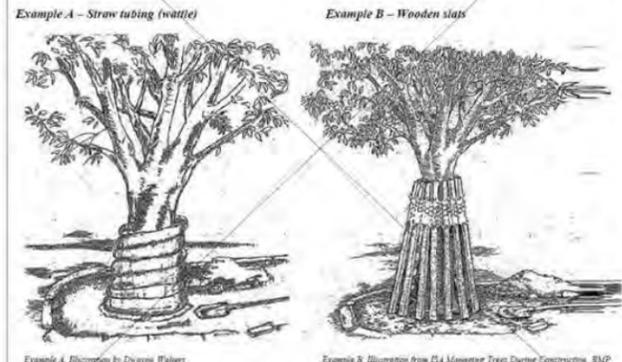


FIGURE 1 — TREE TRUNK PROTECTION EXAMPLES (via City of Berkeley)

NOTE: As of 3.25.24, no construction activities are approved within the tree wells of any existing trees to remain. See Figures 2 and 3 for examples of acceptable tree protection. All TPF to protect entire exposed soil area within each tree well.

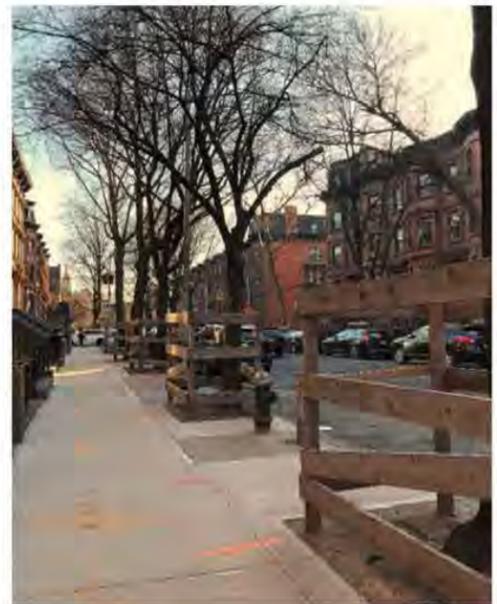


FIGURE 2 — TREE PROTECTION FENCE EXAMPLE (via City of Berkeley - SEE DETAIL TP2 FOR NOTES)



FIGURE 3 — TREE PROTECTION FENCE EXAMPLE



FIGURE 4 — FLEXI-PAVE EXAMPLE (via City of Berkeley)

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 info@insideout.com



ISSUES:

03.05.2024	PHASE I FOOTING AND FOUNDATION PERMIT SET
04.04.2024	ADDENDUM A
04.11.2024	PHASE II FULL BUILDING PERMIT SET
05.02.2024	DRC SET

1598 University Avenue
 Berkeley, CA 94703

TITLE:
 Street Tree Notes and Details

SCALE: VARIES
 DATE: 1 MAY 2024

DRAWING NO.
L2.5



333 Washington Ave N, Suite 210
 Minneapolis, Minnesota 55401
 612.676.2700 www.djr-inc.com

1598 UNIVERSITY
 BERKELEY, CALIFORNIA
 21-128.01

L2.5
 STREET TREE NOTES AND DETAILS

05/02/24

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ISSUES:
 02.05.2024 PHASE I FOOTING AND FOUNDATION PERMIT SET
 04.04.2024 ADDENDUM A
 04.11.2024 PHASE II FULL BUILDING PERMIT SET
 05.02.2024 DRC SET

1598 University Avenue
 Berkeley, CA 94703

TITLE:
 Courtyard Imagery
 Site Improvements

SCALE: N/A
 DATE: 1 MAY 2024

DRAWING NO:
L3.0

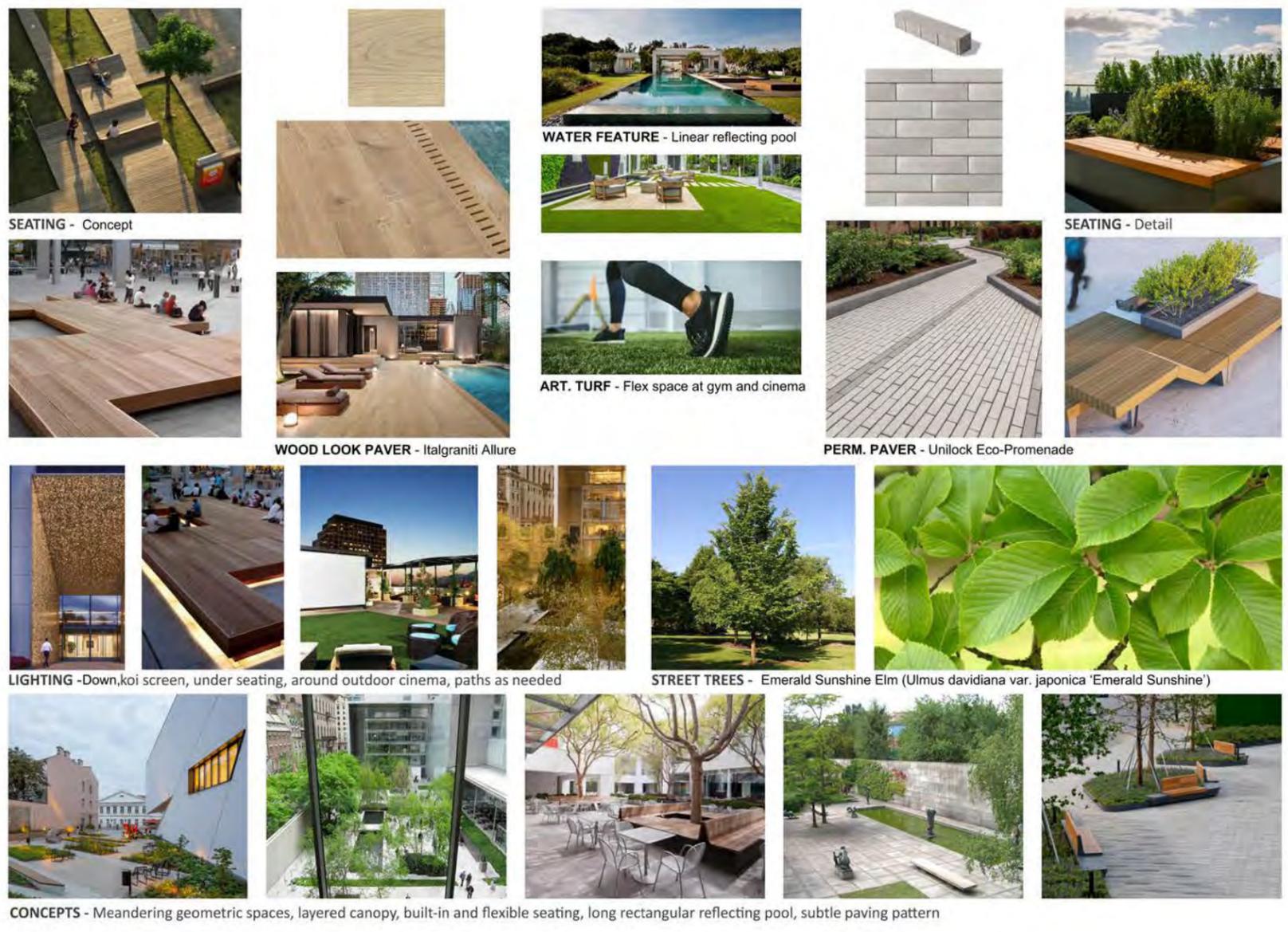
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L3.0

**COURTYARD IMAGERY,
 SITE IMPROVEMENTS**



CONCEPTS - Meandering geometric spaces, layered canopy, built-in and flexible seating, long rectangular reflecting pool, subtle paving pattern



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05.02.2024	DRC SET

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 Berkeley, CA 94703

TITLE:
 Courtyard Imagery
 Site Furnishing

SCALE: N/A
 DATE: 1 MAY 2024

DRAWING NO:
L3.1

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**COURTYARD IMAGERY,
 SITE FURNISHINGS**

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ACCENT SHADE TREE - 'Flamingo' Box Elder



MEDIUM - Giant Chain Fern, Dr. Hurd Manzanita



FLOWERING SHRUB - Hedgerow Gold Redtwig Dogwood, Blizzard Mock Orange



LARGE - Western Redbud



GROUND - 'Cool As Ice', Siskiyou Fescue, Lambs Ear, Douglas Iris



SHRUB AND ACCENT - Royal Purple Smoke Tree, Moonlight Dwarf Buttonbush, Pink Muhly Grass, Celestial Blue Sage, Blonde Ambition Blue Grama Grass, Western Sword Fern, Coral Canyon Fuschia



GROUND ACCENT - Island Heuchera, Erigeron, Maidenhair Fern, Plum Pudding Heuchera, Roger's Red Grape

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TITLE:
 Courtyard Imagery Planting

SCALE: N/A
 DATE: 1 MAY 2024

DRAWING NO:
L3.2

L3.2
 COURTYARD IMAGERY,
 PLANTING

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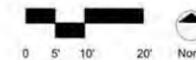
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11.0

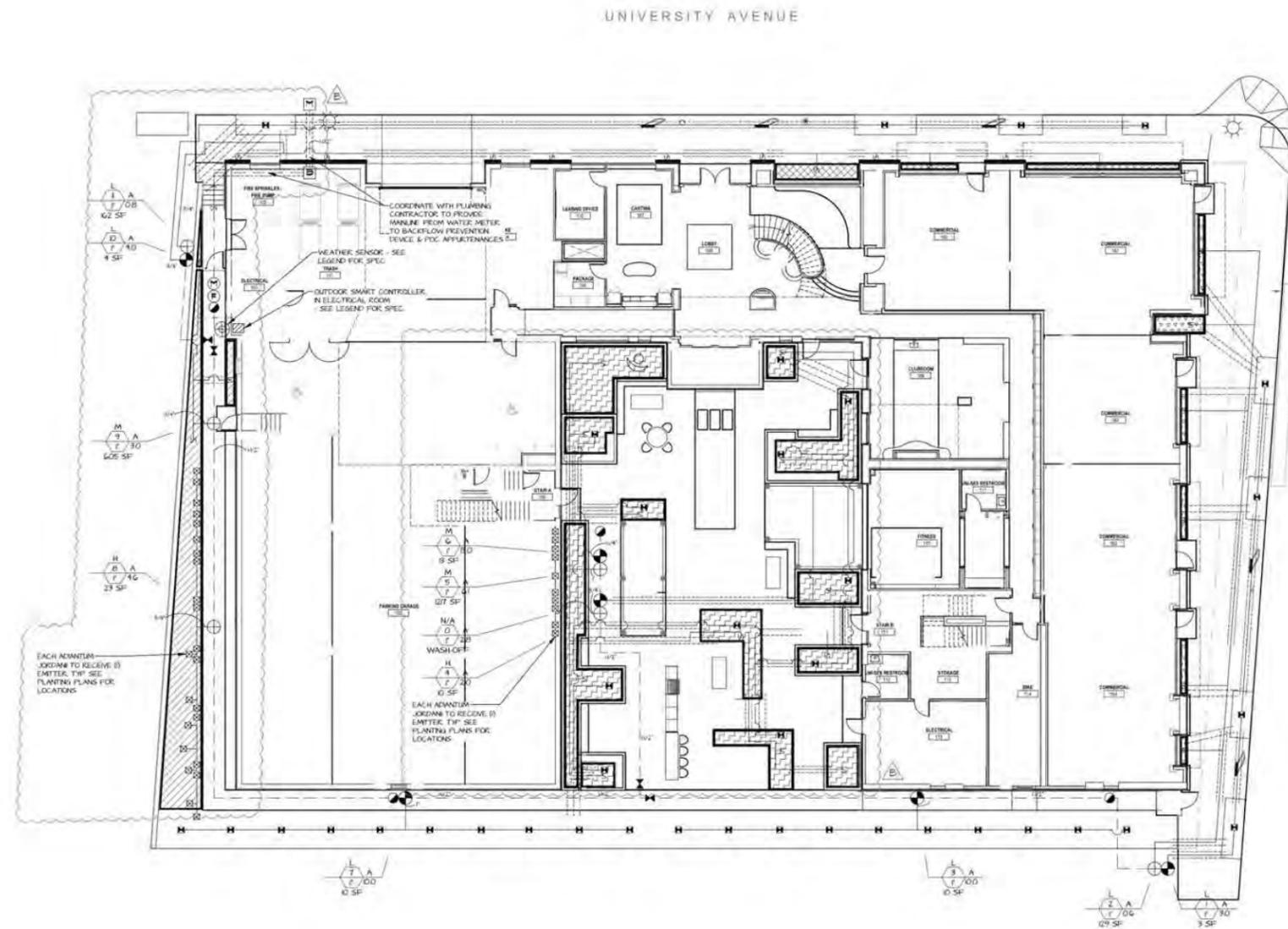
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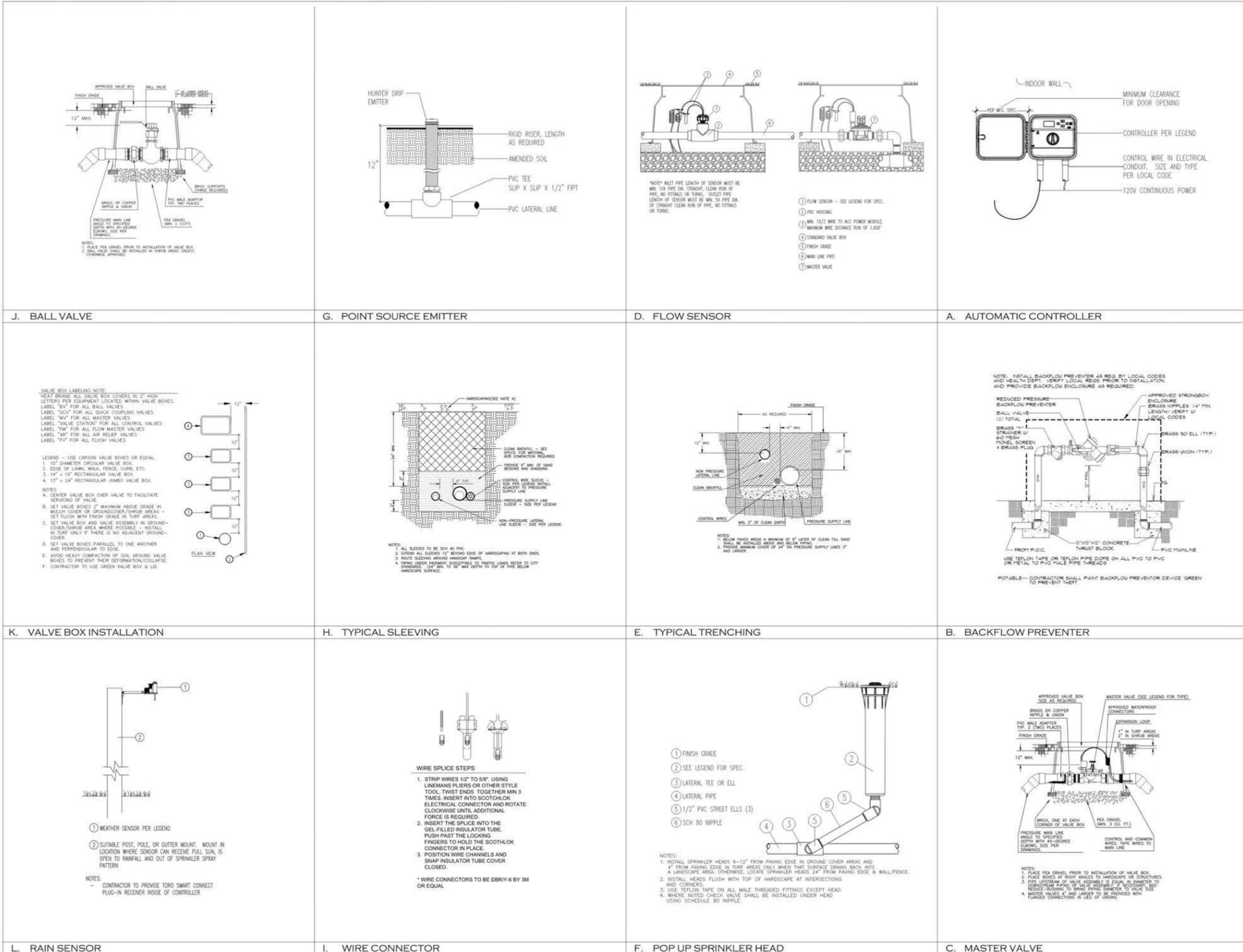
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DRAWING NO.
11.0



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LANDSCAPE ARCHITECT
 STATE OF CALIFORNIA

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TITLE:
 Irrigation Details

SCALE:
 DATE: 17 APR 2024

DRAWING NO:
13.0

13.0

IRRIGATION DETAILS

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ISSUES:
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 04.11.2024 PHASE II FULL BUILDING PERMIT SET
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TITLE:

Irrigation Details

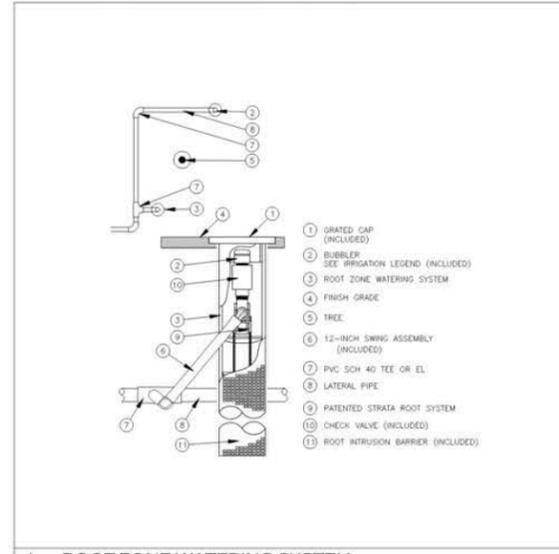
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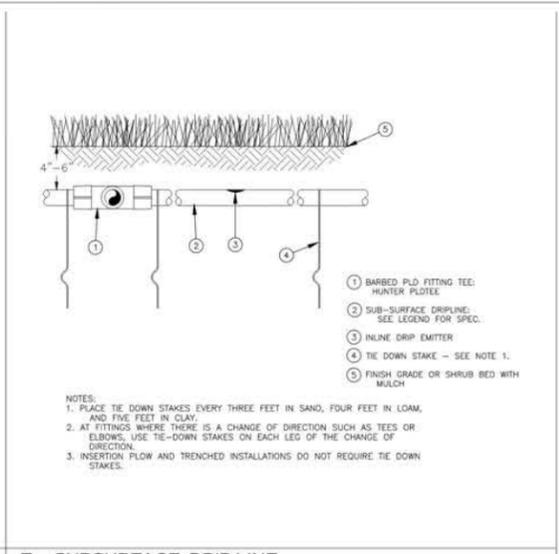
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IRRIGATION DETAILS

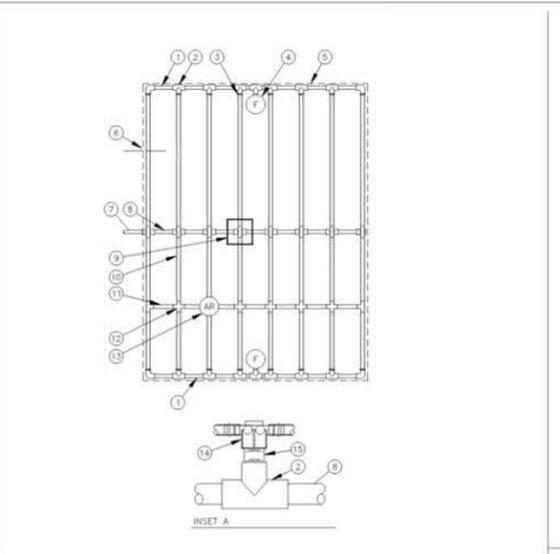
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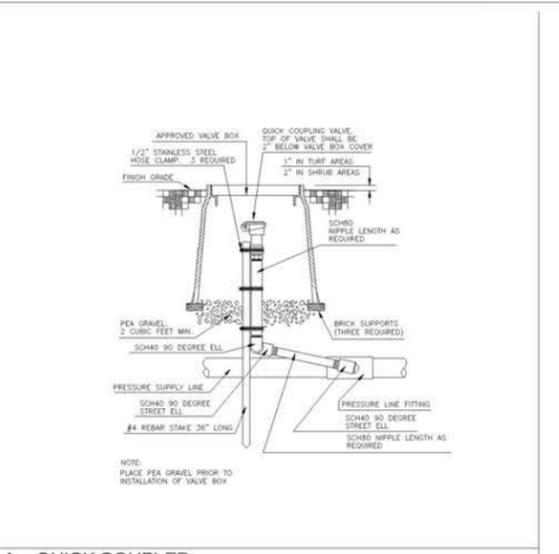
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F. SURSURFACE DRIP LINE



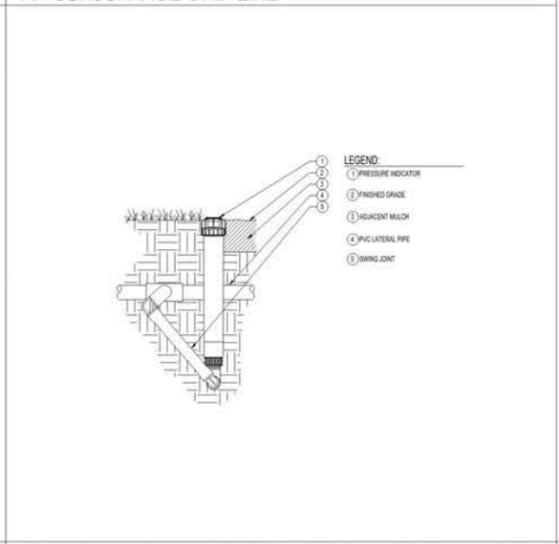
D. DRIP LINE LAYOUT



A. QUICK COUPLER



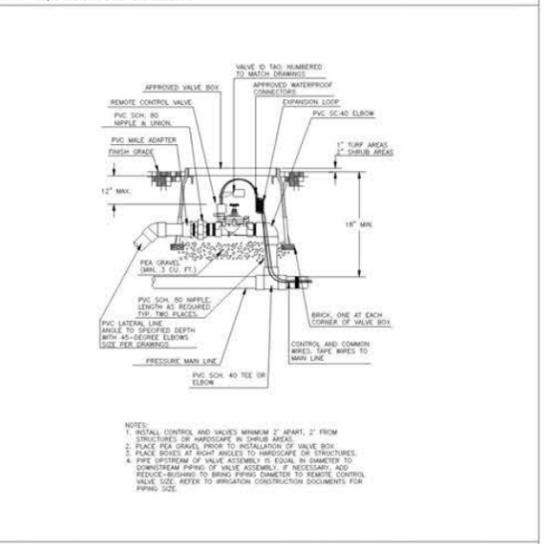
G. PRESSURE INDICATOR



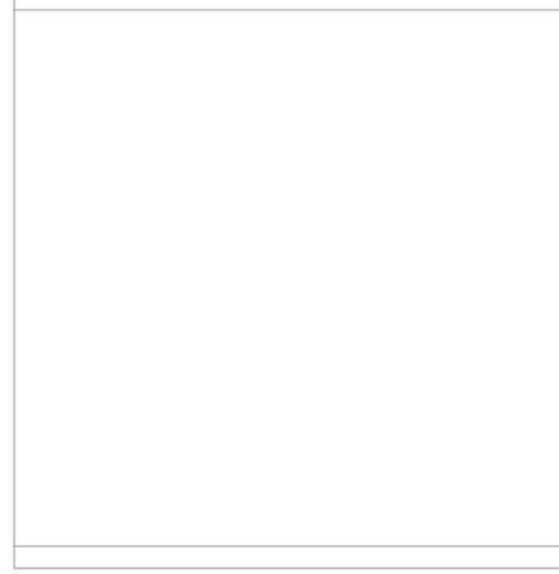
H. AIR RELIEF VALVE



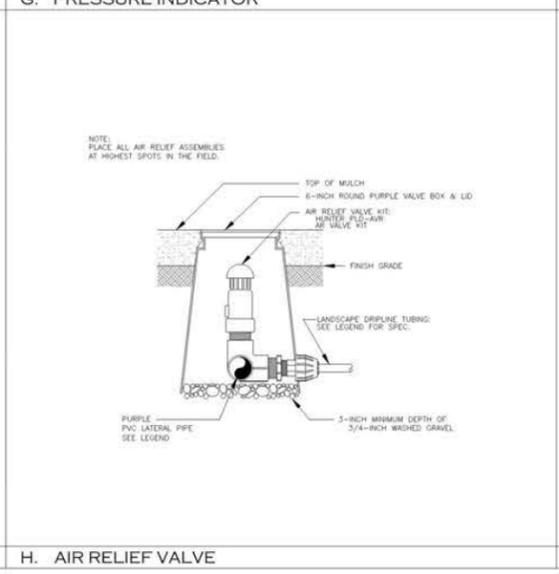
E. FLUSH VALVE ASSEMBLY



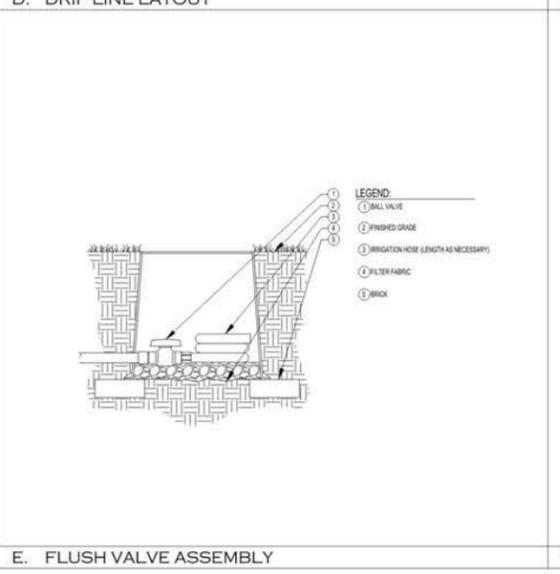
B. REMOTE CONTROL VALVE



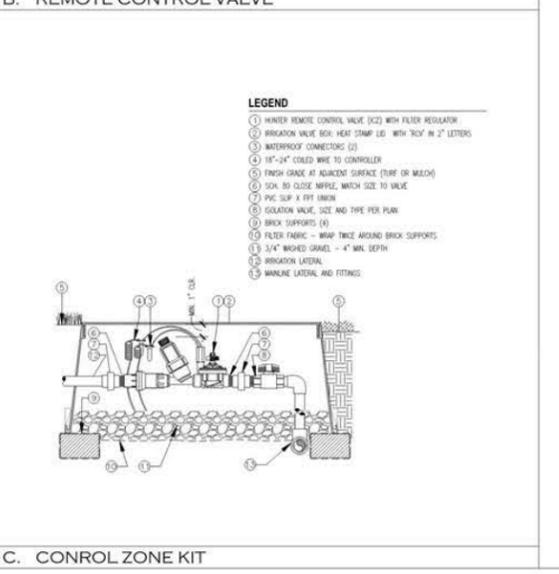
C. CONTROL ZONE KIT



H. AIR RELIEF VALVE



E. FLUSH VALVE ASSEMBLY



B. REMOTE CONTROL VALVE

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TITLE:

Hydrozone Map

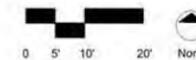
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 DATE: 17 APR 2024

DRAWING NO.
15.0



Hydrozone Legend

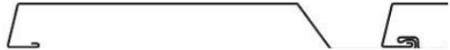
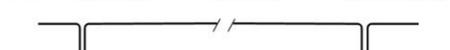
- HZ 1 - Shrub/GC - Shade - Low
- HZ 2 - Shrub/GC - Shade - Moderate
- HZ 3 - Water Feature
- HZ 4 - Non-Irrigated Area (Artificial Turf & Non-planted)
- HZ 5 - Tree - Sunny - Low
- HZ 6 - Tree - Shade - Low



15.0
 HYDROZONE MAP

05/02/24

DESIGN REVIEW REQUIREMENTS

COMMENT	RESPONSE	REFERENCE
CONDITION RESPONSE #1 <i>Refine Public Plaza on California</i>	<ul style="list-style-type: none"> The building is set back from the property line on California to allow more room for a public plaza The storefronts are recessed 2'-0" to create further space for pedestrians on California 	A2.0, A2.1, A5.0, A5.1, A5.2, L2.0
CONDITION RESPONSE #2 <i>Resolve privacy and heat gain issues on south windows</i>	<ul style="list-style-type: none"> Corridor windows adjacent to the elevator have been updated to be punched openings, reducing the solar heat gain and increasing privacy 	A3.3, A5.4
CONDITION RESPONSE #3 <i>Resolve any sound issues in the courtyard and present at FDR</i>	<ul style="list-style-type: none"> A privacy fence will be provided along the property line The landscape plan has shifted the active areas further into the courtyard to create more distance from large social gatherings to the property line Courtyard is designed to utilize multiple nook areas rather than a large gathering area 	A2.0, A2.1, L2.1, L2.0,
CONDITION RESPONSE #4 <i>Cornice and window shelves are too thin and should be further developed</i>	<ul style="list-style-type: none"> Sunshades to developed to be wrapped in metal with the pattern shown at the left 	A5.0, A5.1
CONDITION RESPONSE #5 <i>Consider mural relocation for better integration in the building design</i>	<ul style="list-style-type: none"> Owner to pay in-lieu fee for public art compliance option 	
CONDITION RESPONSE #6 <i>Consider an alternate material to the metal panel</i>	<ul style="list-style-type: none"> Metal panels to have three-dimensional pattern with a vertical emphasis. See profile. Metal Panels will be used as an upgrade to the alternate material in the courtyard. 	A5.0, A5.1, A5.3, A6.0 HIGHLINE S1  BOX RIB 1  FLUSH PANEL 
RECOMMENDATION #1 <i>Plaza should be wider, and better relate to retail and sidewalk levels; recommend pushing the massing west and south to achieve this</i>	<ul style="list-style-type: none"> The building is set back from the property line on California to allow more room for a public plaza The storefronts are recessed to create further space for pedestrians on California 	A2.0, A2.1, A5.0, A5.1, A5.2, L2.0



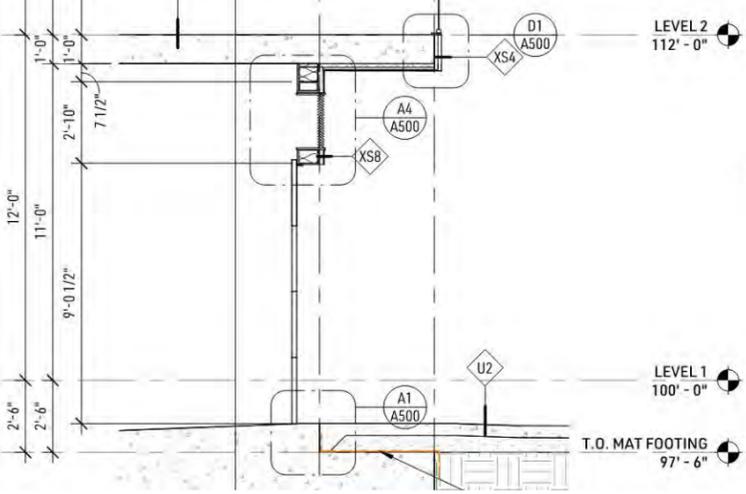
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R1.0

DESIGN REVIEW
REQUIREMENTS
RESPONSES

05/02/24

COMMENT	RESPONSE	REFERENCE
RECOMMENDATION #2 <i>Consider more articulation at the ground floor storefront</i>	<ul style="list-style-type: none"> The storefronts for the commercial areas are recessed to create further space for pedestrians and areas for landscape pockets Canopies extending 4'-0" beyond the property line to create a pedestrian scale while providing overhead weather protection Creeping fig will wrap each column break between the storefront 	A2.0, A2.1, A5.0, A5.1, A5.2, L2.0
RECOMMENDATION #3 <i>Consider reducing ceiling heights for the club and fitness rooms to reduce overall height/mass</i>	<ul style="list-style-type: none"> Building Height at Preliminary Design Review from Average Grade to Top of Parapet was 89'-2". The Building Height Proposed with Final Design has been reduced to 88'-2 1/4" from Average Grade to Top of Parapet 	A4.1, A4.2
RECOMMENDATION #4 <i>Consider breaking the horizontal banding at the main entrance</i>	<ul style="list-style-type: none"> Canopy is removed at entrance and balcony is provided at a higher level which provides a larger sense of scale at the entrance 	A5.3
RECOMMENDATION #5 <i>Look carefully at the gate and garage door details</i>	<ul style="list-style-type: none"> Garage door recessed to provide a setback from the sidewalk - See image for detail reference The controlled gate at the Northwest corner is a part of the privacy fence and it is set back from the sidewalk on University. See West Elevation 	A2.0, AA2.1, A3.1, A3.4 
RECOMMENDATION #6 <i>Recommend bird safe glazing wherever possible</i>	<ul style="list-style-type: none"> No uplighting will be used at the building No building feature-related hazard on the site or landscape feature to bring birds close to unprotected glazing Standard window sizing, spacing and percentage glazing incorporated to reduce risk. Balconies break up large portions of glass at the amenity areas 	A3.1, A3.2



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DESIGN REVIEW
 REQUIREMENTS
 RESPONSES

05/02/24

DESIGN REVIEW REQUIREMENTS

COMMENT	RESPONSE	REFERENCE
RECOMMENDATION #7 <i>Add more interest to color palette</i>	<ul style="list-style-type: none"> The metal panels have a variety of textures and profiles, including a three-dimensional pattern to emphasize its verticality. The Copper Penny and Champagne metal panels are premium metallic colors with depth in their sheen without being reflective. 	A5.0, A5.1, A5.3, A6.0
RECOMMENDATION #8 <i>Provide strong parapets on rear facade, including lower portions</i>	<ul style="list-style-type: none"> Tall parapets provided at residential patios. No railings will be needed in addition to the parapets. Lower portions will have a parapet and a flat roof with internal drainage 	A3.3, A5.4
RECOMMENDATION #9 <i>Consider different design accents - not so symmetrical and uniform</i>	<ul style="list-style-type: none"> Different accents have been implemented at the ground level for a varying pedestrian experience. West side of north elevation is a smaller scale with lower store fronts. East side of north elevation utilizes taller recessed storefronts, canopies, wall sconces and vegetation at ground. The west elevation along California is pulled off the property line for a bigger quasi-public area. 	A2.0, A2.1, A3.1, A3.2, A5.0, A5.1, A5.2, L2.0
OTHER REQUIREMENTS #2 <i>All exterior fixtures shall be downcast and not cause glare on the Public Right-of-Way or adjacent parcels</i>	<ul style="list-style-type: none"> Exterior wall sconces are down-ward facing only. 	A3.1, A3.2, A5.0, A5.1, A5.2
OTHER REQUIREMENTS #3 <i>All street trees shall have approval from Urban Forestry and Public Works.</i>	<ul style="list-style-type: none"> Street trees have been approved by Urban Forestry and Public Works on 4/12/24. 	
OTHER REQUIREMENTS #4 <i>All landscape improvements shall be consistent with the State's Water Efficient Landscape Ordinance (WELO)</i>	<ul style="list-style-type: none"> Landscape improvements are under review by Kurt Hurley on 4/23/24 	
OTHER REQUIREMENTS #5 <i>All exterior finishes shall be matte</i>	<ul style="list-style-type: none"> Exterior materials submitted do not produce glare that would infringe on other buildings or incoming traffic in the public ROW 	A6.0



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DESIGN REVIEW
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APPENDIX A
3D VIEWS

05/02/24

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3D VIEW - UNIVERSITY LOOKING WEST



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APPENDIX A
3D VIEWS

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3D VIEW - UNIVERSITY AND CALIFORNIA



3D VIEW - CALIFORNIA AND UNIVERSITY

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APPENDIX A
3D VIEWS

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APPENDIX A
3D VIEWS

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3D VIEW - ACROSS UNIVERSITY



3D VIEW - RETAIL ENTRANCE

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APPENDIX A
3D VIEWS

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3D VIEW - CALIFORNIA LOOKING NORTHWEST

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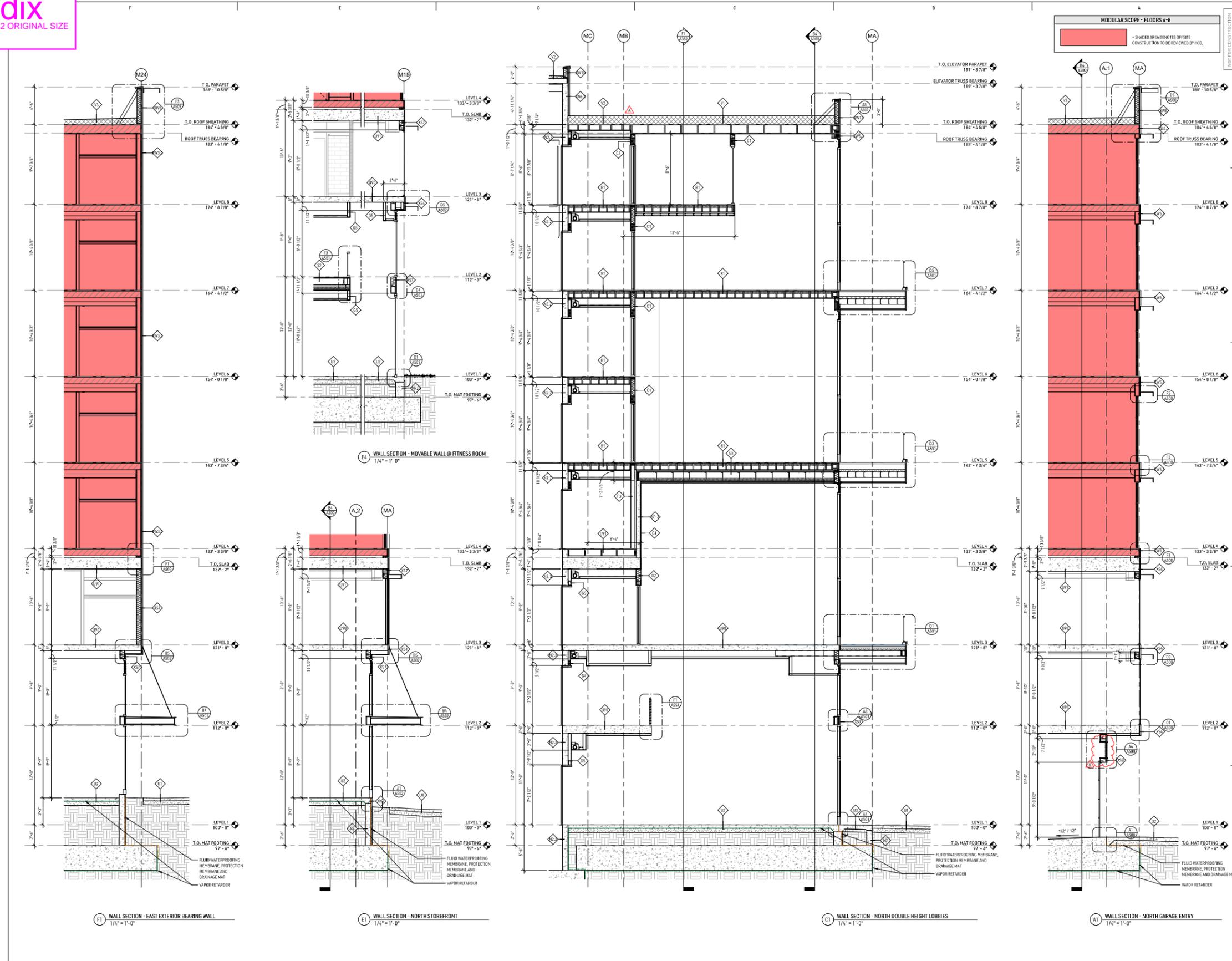
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APPENDIX A
3D VIEWS

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Appendix
 SCALES FOR 30X42 ORIGINAL SIZE



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NX VENTURES

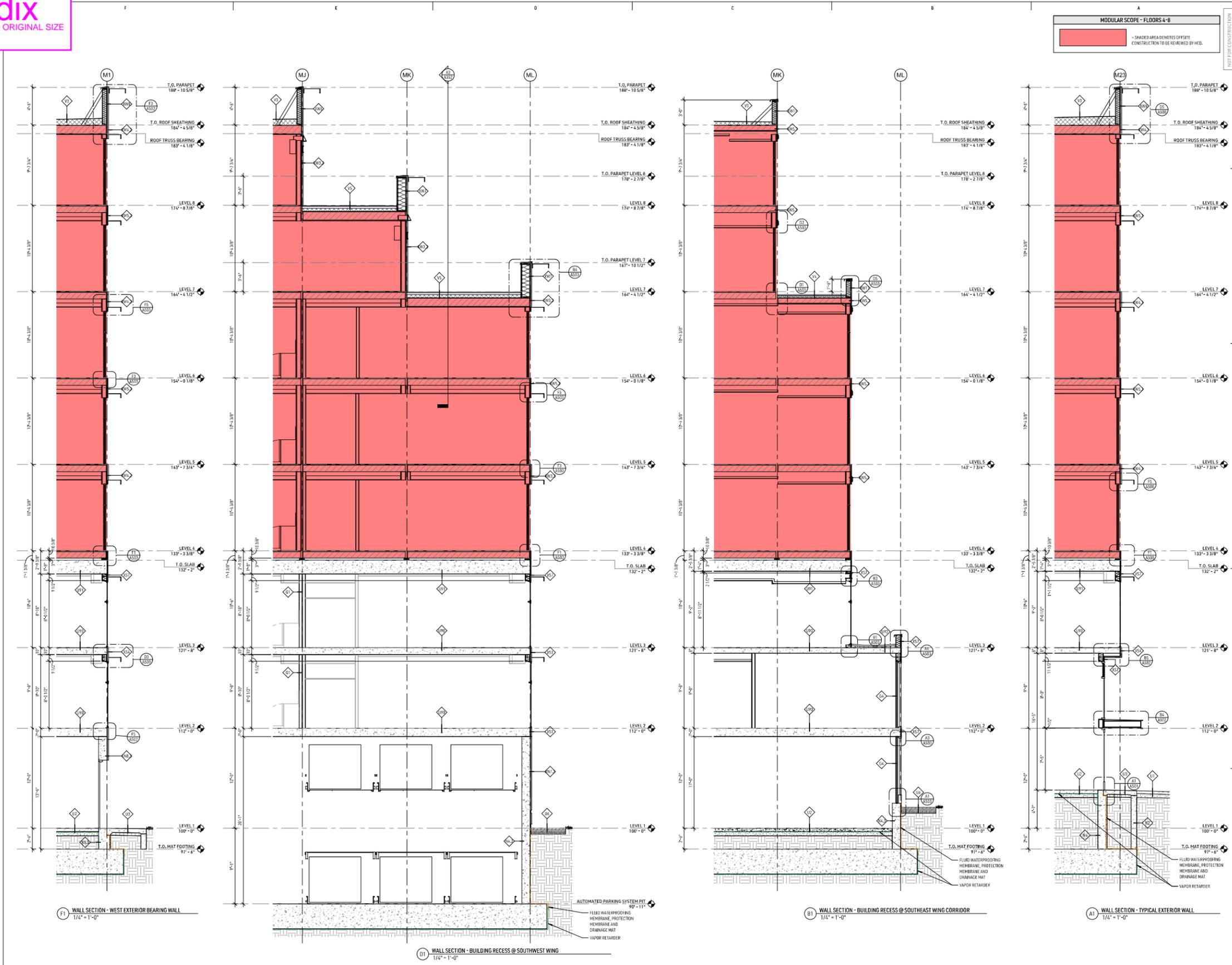


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Project #	21-128.01	
Date	02/05/2024	
Drawn by	JN	
Checked by	SB	
Issue		Date
A PHASE FOOTING AND FOUNDATION	02.05.2024	
B PHASE SET	04.24.2024	
C PHASE B FULL BUILDING PERMIT SET	04.11.2024	
D ADDENDUM B	05.01.2024	

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 WALL SECTIONS

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Appendix
 SCALES FOR 30X42 ORIGINAL SIZE



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NX VENTURES

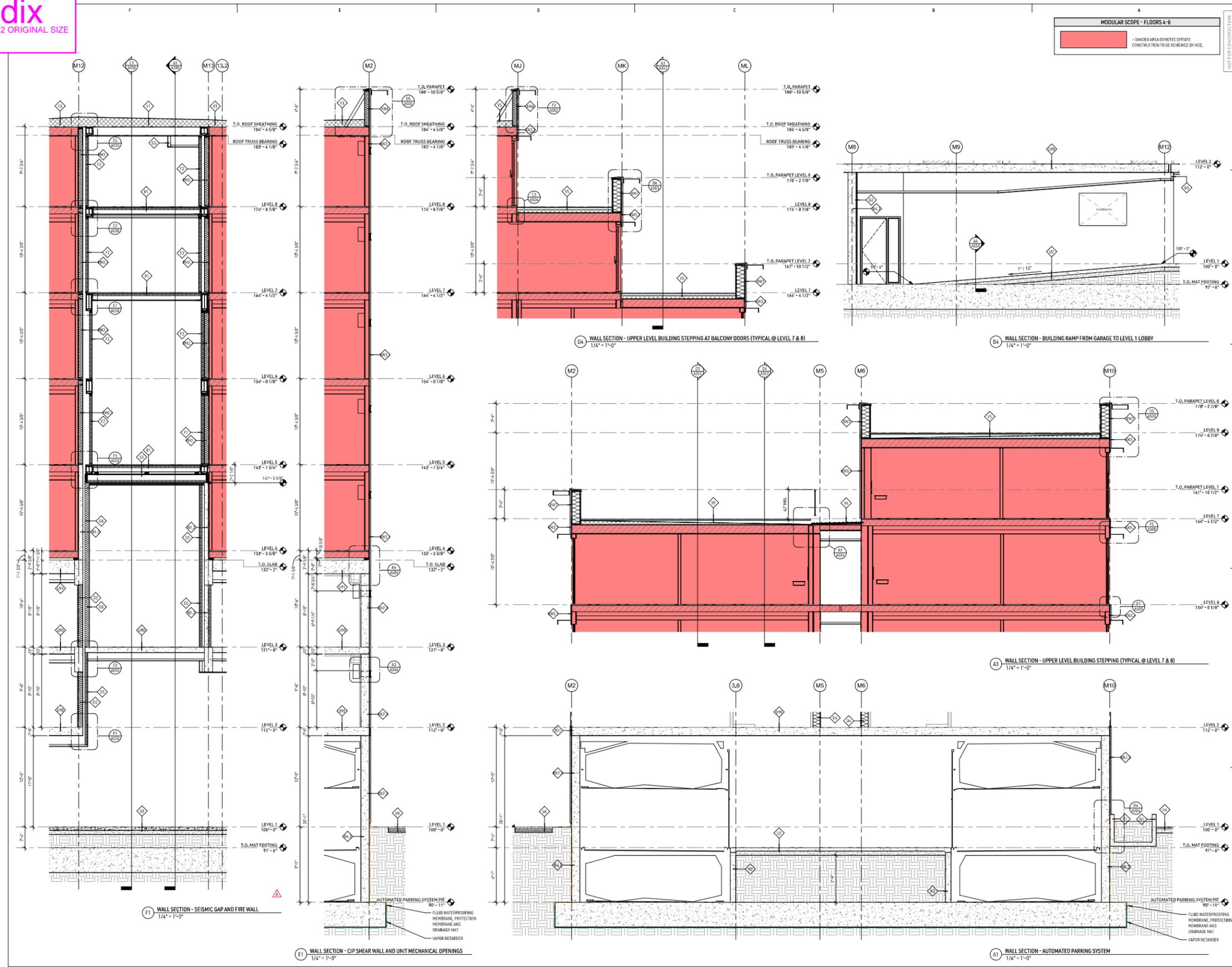


Project #	21-126.01
Date	02.05.2024
Drawn by	JN
Checked by	SB
Issue	Date
PHASE F FOOTING AND FOUNDATION PERMIT SET	02.05.2024
ADDENDUM A	04.04.2024
PHASE B FULL BUILDING PERMIT SET	04.11.2024

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WALL SECTIONS

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Appendix
 SCALES FOR 30X42 ORIGINAL SIZE



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NX VENTURES



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10/28/2024	DATE
Project #	21-128.01
Date	02/05/2024
Drawn by	JN
Checked by	SB
Book	DATE
PHASE I FOOTING AND FOUNDATION	02/05/2024
PRELIM SET	
ADDENDUM A	04/04/2024
PHASE II FULL BUILDING PERMIT SET	04/11/2024

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 WALL SECTIONS

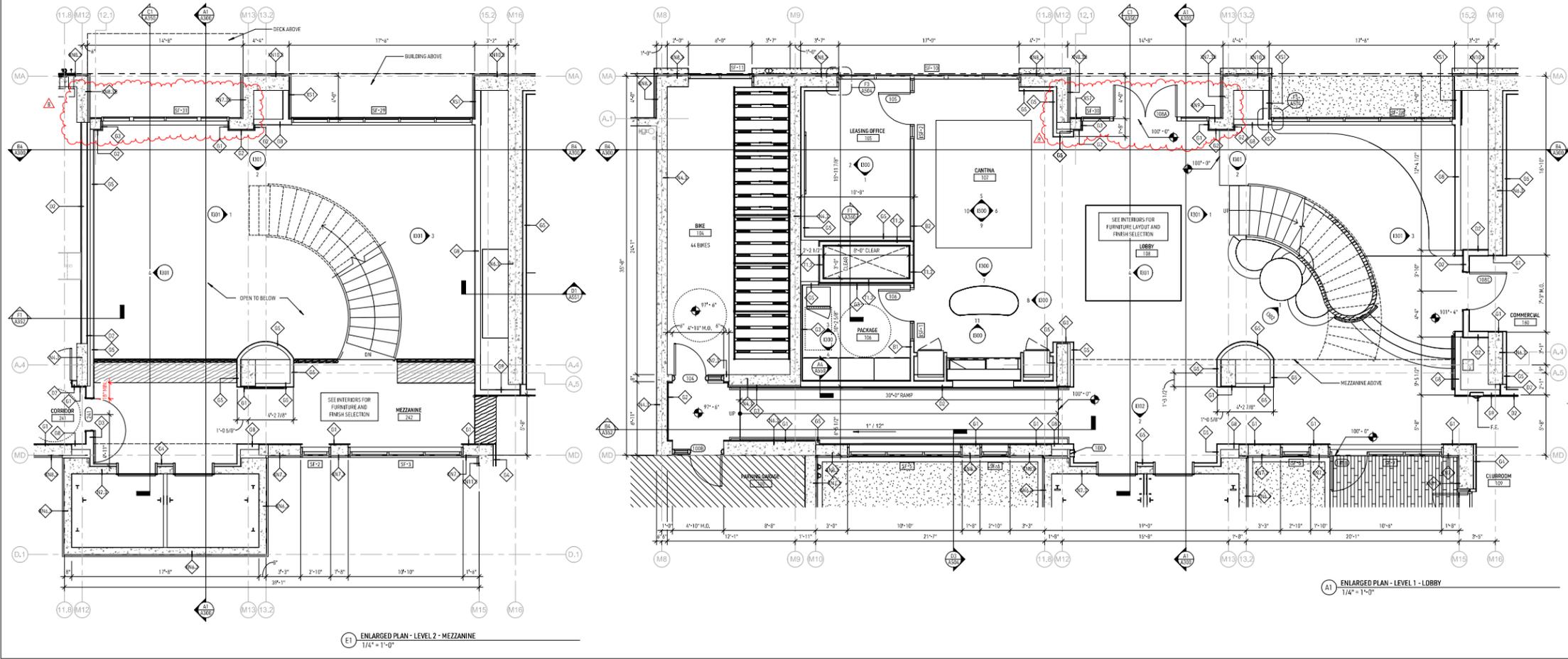
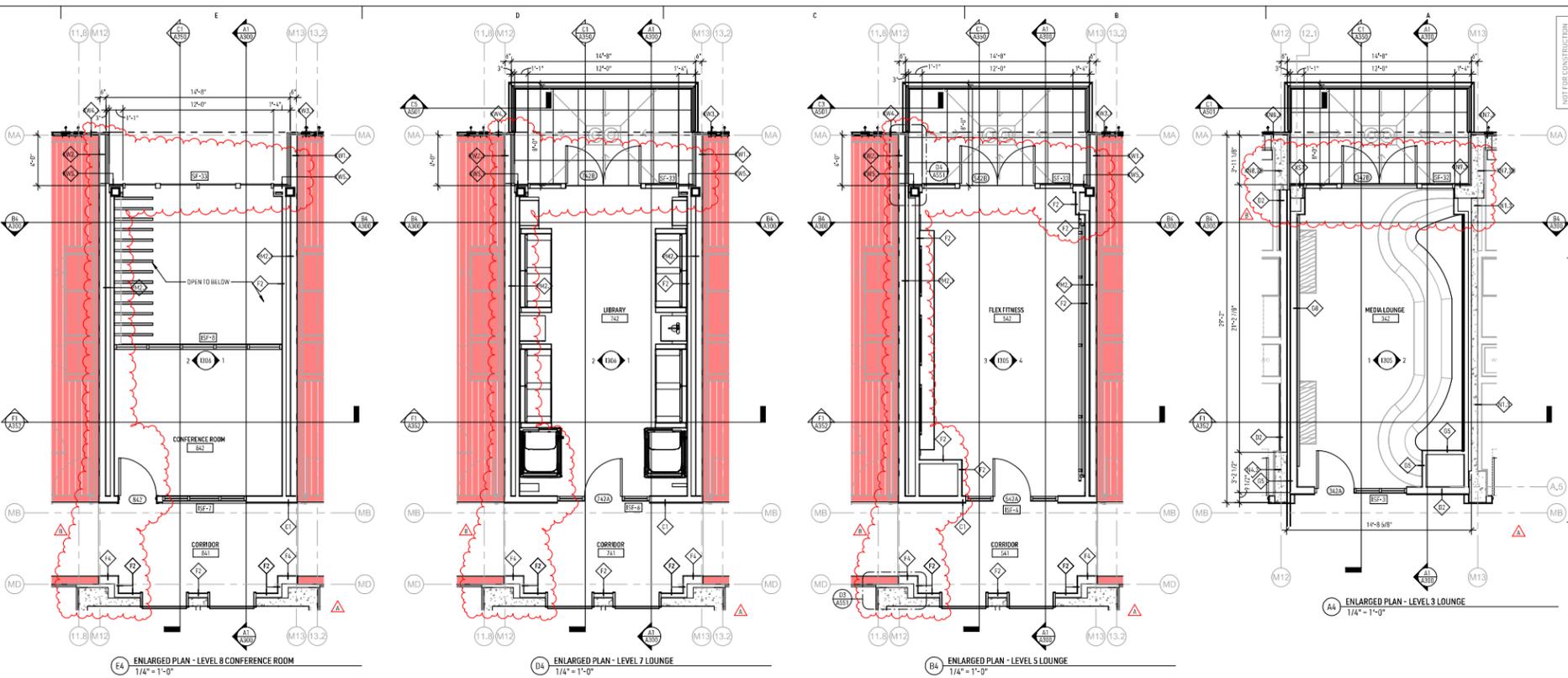
A352

Appendix
 SCALES FOR 30X42 ORIGINAL SIZE

MODULAR SCOPE - FLOORS 4-8

- SHADED AREA DENOTES OFFSITE CONSTRUCTION TO BE REVIEWED BY M.C.D.

Note #	Note
1	BASE CABINETS
2	UPPER CABINETS
3	PANTRY CABINET
5	REMOVABLE CABINET FRONT
9	COUNTERTOP
20	SINK
21	CULTURED MARBLE VANITY TOP W/ INTEGRAL BOWL
22	TOILET
23	CULTURED MARBLE VANITY COUNTERTOP
26	SHOWER PAN
27	SHOWER ENCLOSURE
29	SHOWER HEAD
31	SHOWER CONTROLS
48	UNDER CABINET LIGHTING
50	MIRROR
51	TOILET PAPER HOLDER
52	TOWEL BAR
53	HAND TOWEL BAR
54	WALL MOUNTED SHOWER CURTAIN ROD
80	REFRIGERATOR
81	RANGE
84	MICROWAVE HOOD
87	DISHWASHER
90	WASHER/ DRYER
96	TALL CABINET CLOSET
97	SINGLE HOOK
98	BUILT IN DESK
99	OPEN SHELF CABINET
100	KNOX BOX
117	SOFFIT ABOVE
118	FRAMED GYP BD OPENING
150	PTAC



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NX VENTURES



CAD009 02/05/2024
 DATE

Project #: 21-128.01
 Date: 02.05.2024

Drawn by: JN/NN
 Checked by: AJ

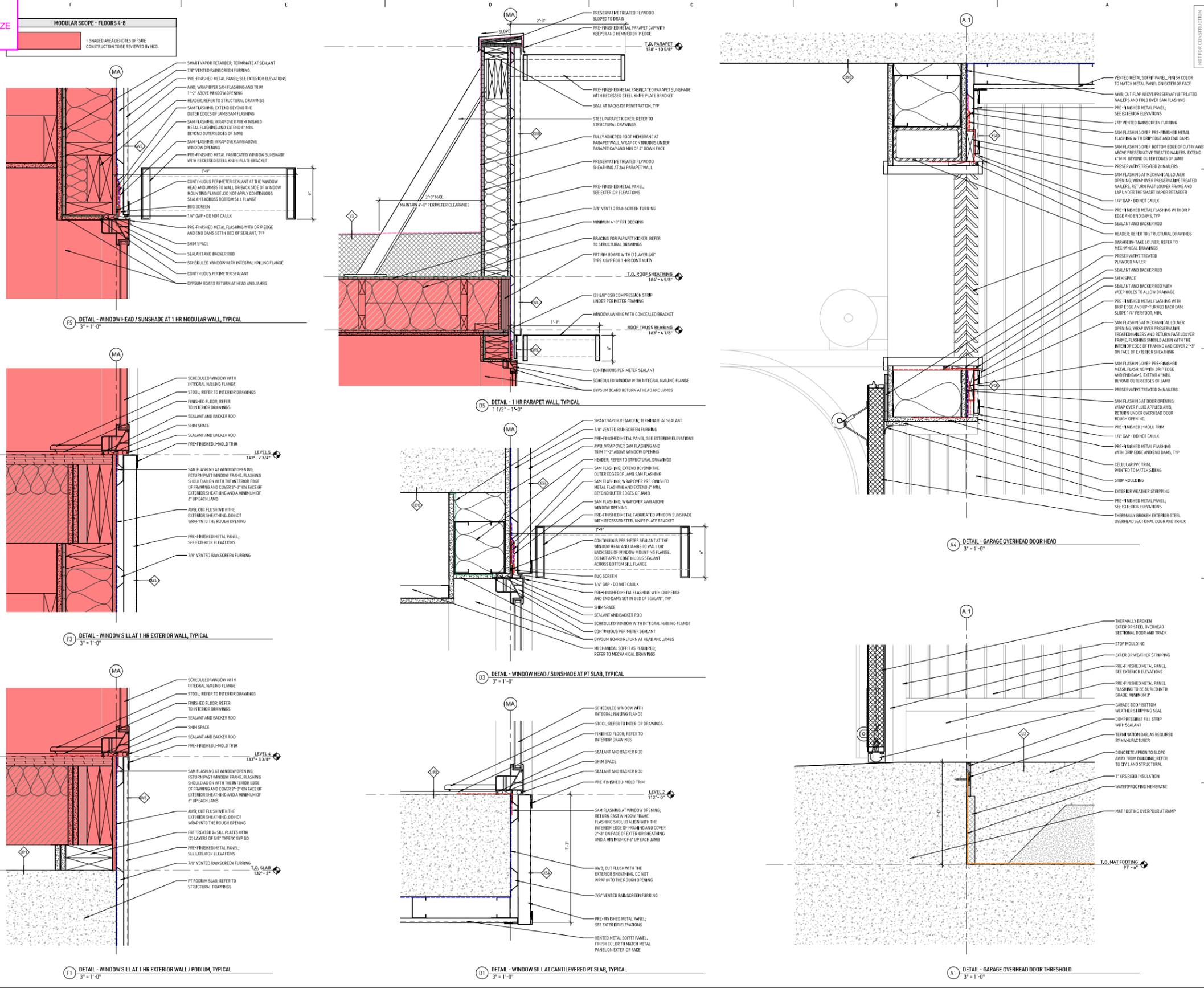
Issue: _____ Date: _____

PHASE F FOOTING AND FOUNDATION 02.05.2024
 PHASE G SET 04.04.2024
 PHASE H FULL BUILDING PERMIT SET 04.11.2024
 ADDENDUMS 04.04.2024

1598 UNIVERSITY
 BERKELEY, CALIFORNIA
 ENLARGED PLANS

A400

Appendix
 SCALES FOR 30X42 ORIGINAL SIZE



DJR

333 Washington Ave N, Suite 210
 Minneapolis, Minnesota 55401
 612.676.2700 www.djr-inc.com

NX VENTURES

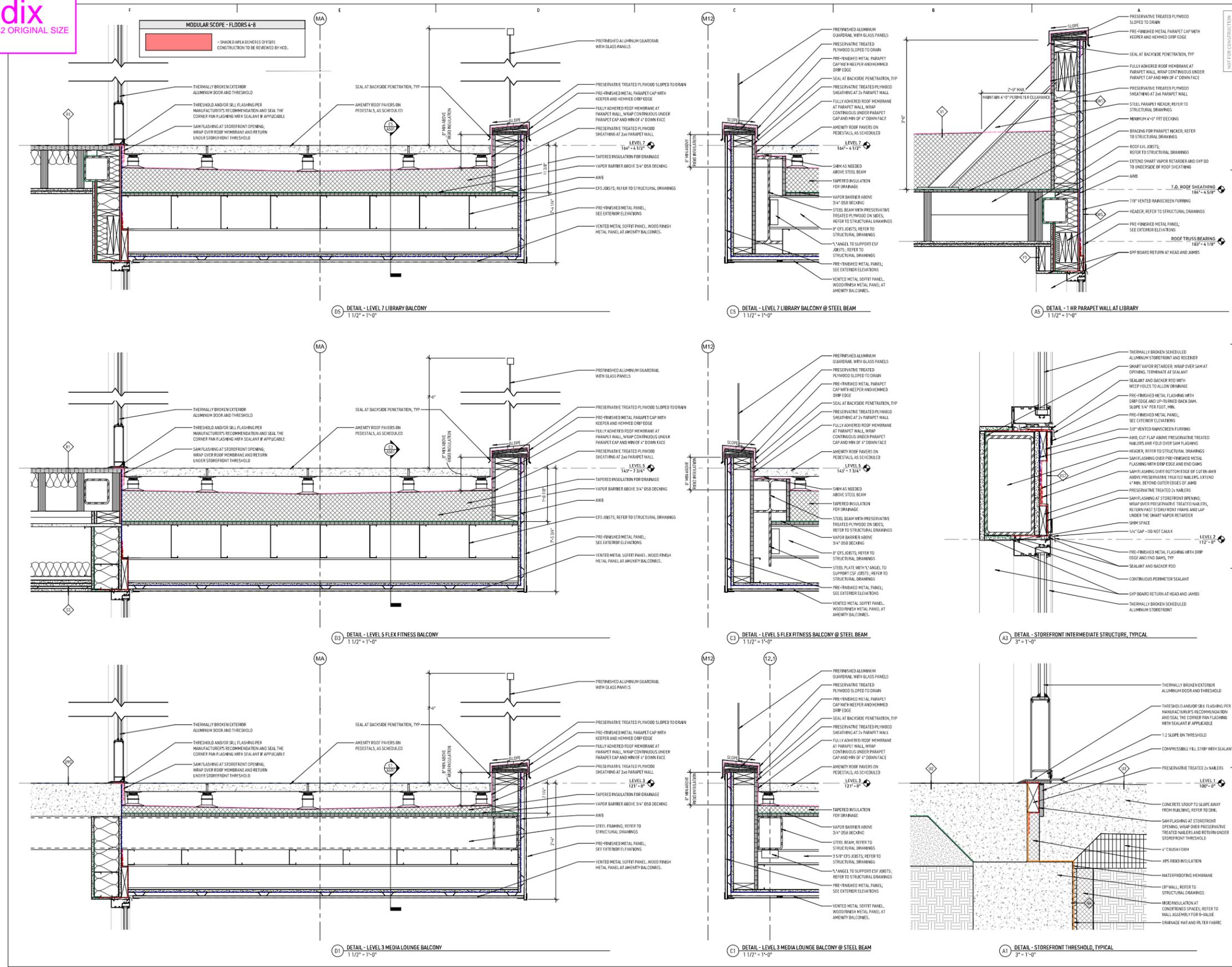


C 4009 02/05/2024
 21-128.01
 Date: XXXX.2024
 Drawn by: JN
 Checked by: SB
 Issue: _____ Date: _____

1598 UNIVERSITY
 BERKELEY, CALIFORNIA
 EXTERIOR DETAILS

A500

Appendix
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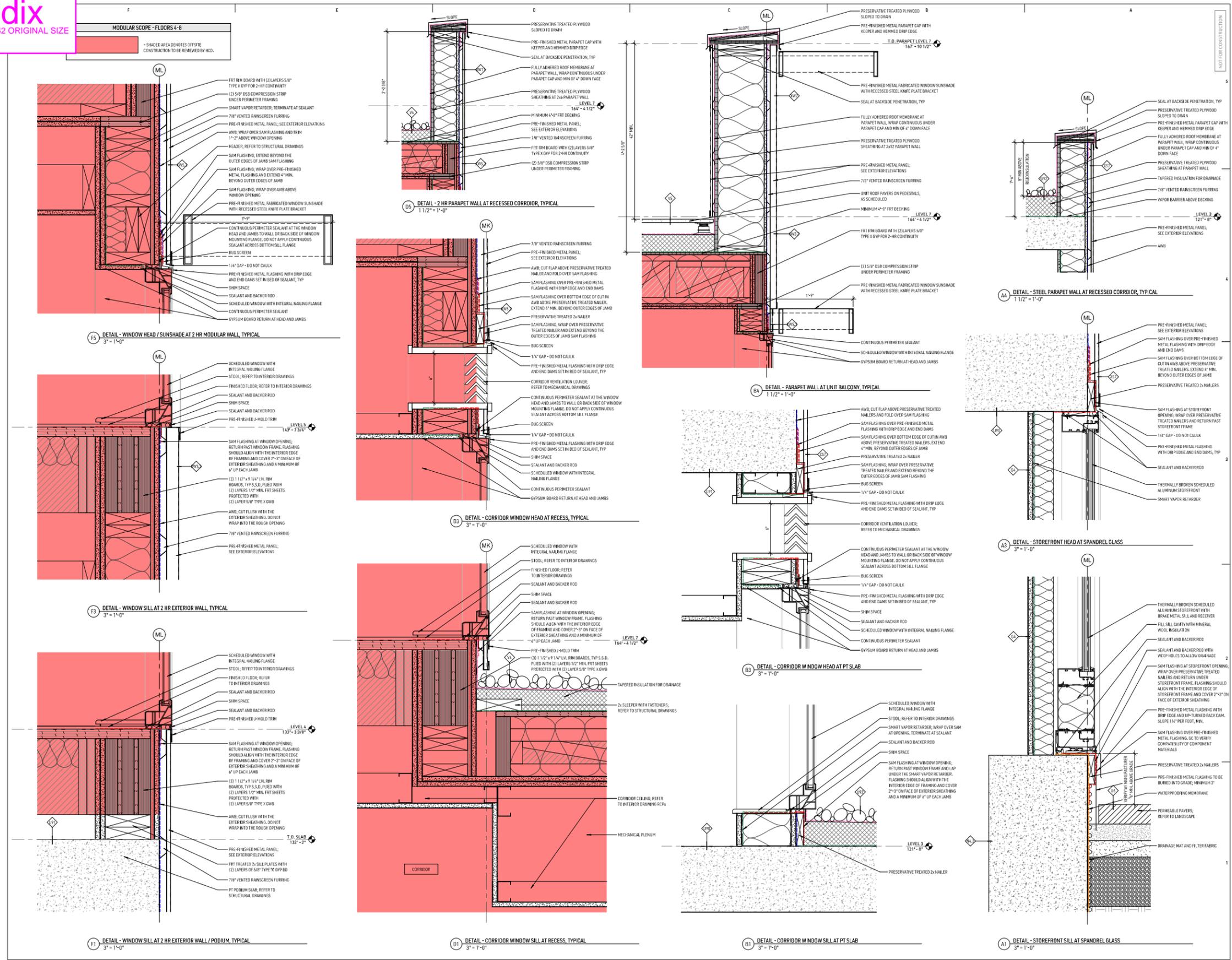


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 TO: 1598 UNIVERSITY DATE
 Project #: 21-128.01
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1598 UNIVERSITY
 MINNEAPOLIS, CALIFORNIA
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A501

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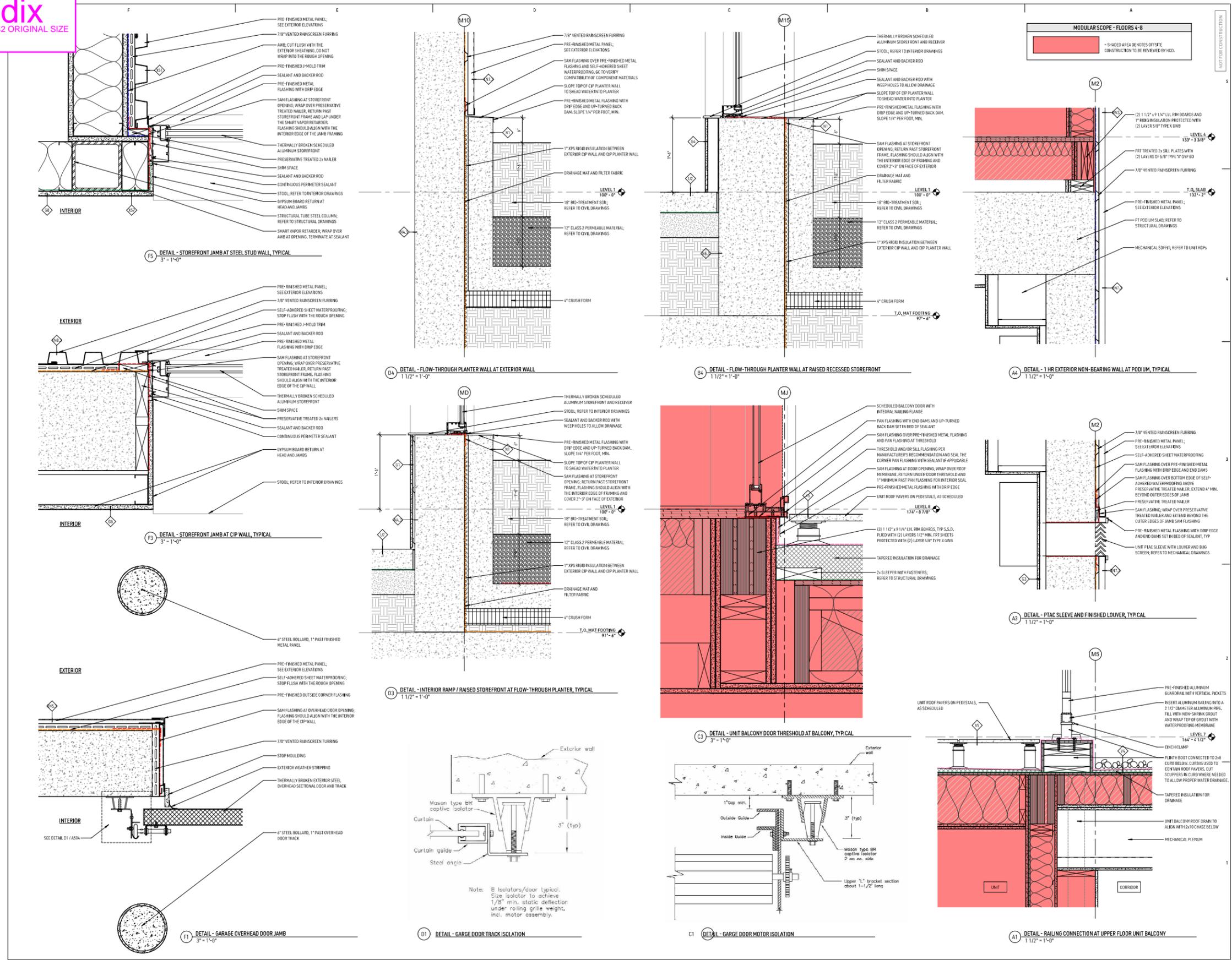


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1598 UNIVERSITY
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EXTERIOR DETAILS

A503

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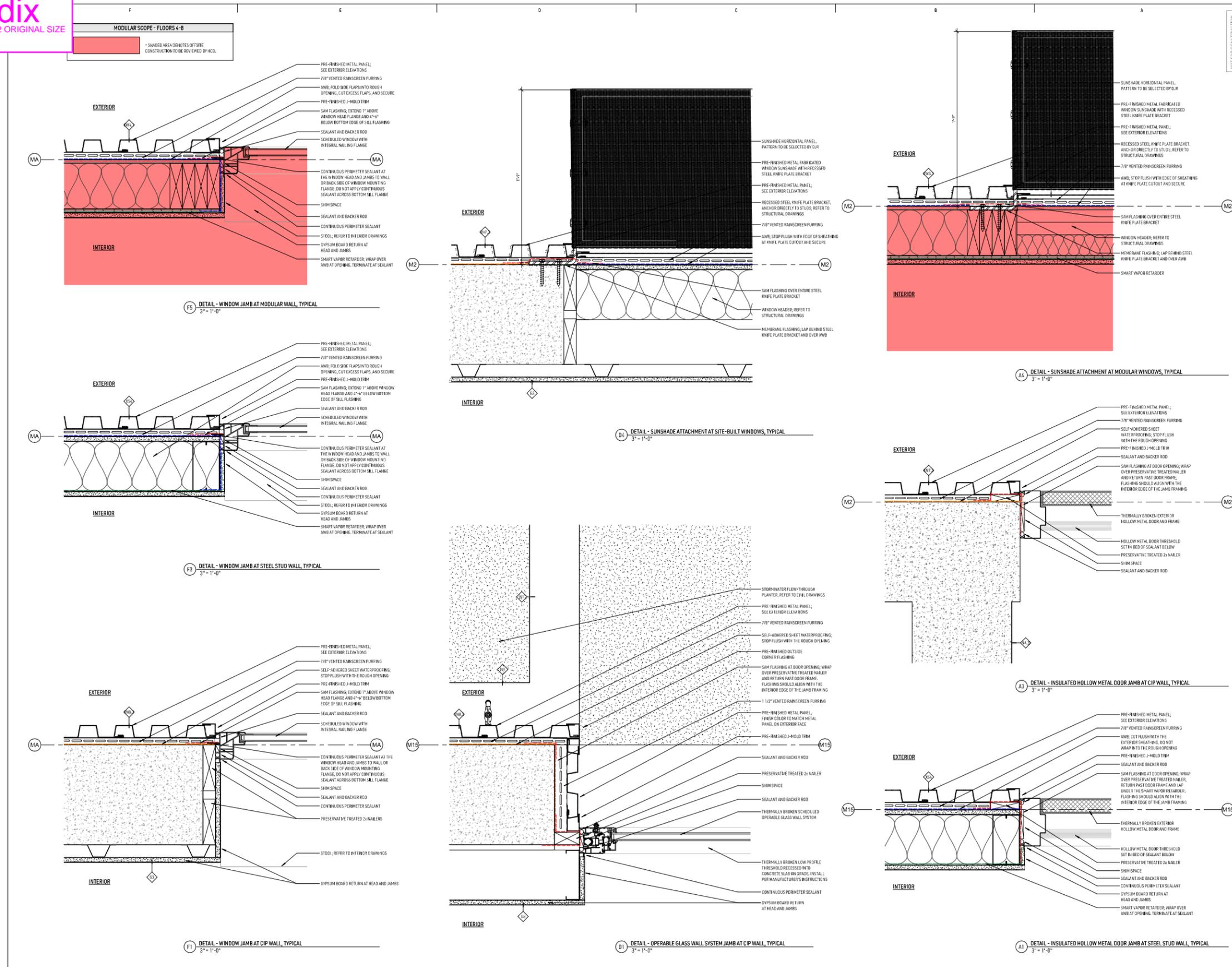


C 43000 02/05/2024
 10/28/2024
 Project #: 21-128.01
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1598 UNIVERSITY
 UNIVERSITY, CALIFORNIA
 EXTERIOR DETAILS

A504

Appendix
 SCALES FOR 30X42 ORIGINAL SIZE



NX VENTURES



Project #	21-128.81
Date	XX.XX.2024
Drawn by	JN
Checked by	SB
Issue	Date

1598 UNIVERSITY
 BUILDING, CALIFORNIA
 EXTERIOR DETAILS

A505

Appendix
 SCALES FOR 30X42 ORIGINAL SIZE

EXTERIOR STEEL STUD WALL		EXTERIOR STEEL STUD WALL		EXTERIOR WOOD STUD WALL		EXTERIOR WOOD STUD WALL																																																																																																																																																																					
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XN4.2	CIP CONCRETE	10 3/8\"/>	2HR	IBC TABLE 721.1(2)	N/A	METAL PANEL - CHAMPAGNE																																																																																																																																																																					
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XN5	CIP CONCRETE	9 3/8\"/>	NON-RATED	N/A	N/A	METAL PANEL - DARK BRONZE																																																																																																																																																																					
XN5.3	CIP CONCRETE	9 3/8\"/>	3HR	IBC TABLE 721.1(2)	N/A	METAL PANEL - DARK BRONZE																																																																																																																																																																					
XN7.3	CIP CONCRETE	1\"/>	3HR	IBC TABLE 721.1(2)	N/A	METAL PANEL - COPPER																																																																																																																																																																					
XN7.3B	CIP CONCRETE	1\"/>	3HR	IBC TABLE 721.1(2)	N/A	METAL PANEL - COPPER																																																																																																																																																																					
XN8.3	CIP CONCRETE	1\"/>	3HR	IBC TABLE 721.1(2)	N/A	METAL PANEL - WHITE																																																																																																																																																																					
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XN9.3	CIP CONCRETE	1\"/>	3HR	IBC TABLE 721.1(2)	N/A	METAL PANEL - DARK BRONZE																																																																																																																																																																					
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C 43009 02/05/2024
 10/18/2024 DJR
 Project # 21-126.01
 Date: 02/05/2024
 Drawn by: RW
 Checked by: SB
 Issue: Date:
 PHASE FOOTING AND FOUNDATION 02.05.2024
 PHASE SET 04.04.2024
 PHASE FULL BUILDING PERMIT SET 04.11.2024
 ADDENDUMS 04.04.2024

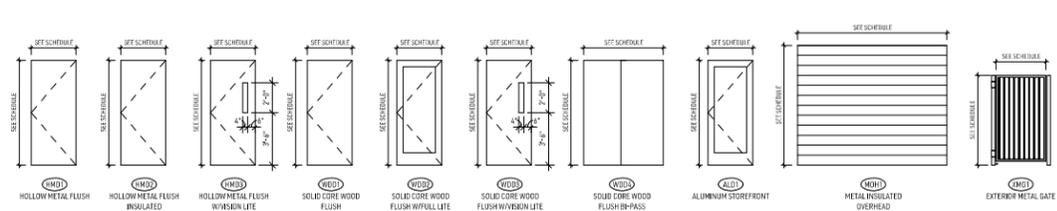
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 MINNEAPOLIS, CALIFORNIA
 CONSTRUCTION ASSEMBLIES - VERTICAL EXTERIOR

A601

Appendix
 SCALES FOR 30X42 ORIGINAL SIZE

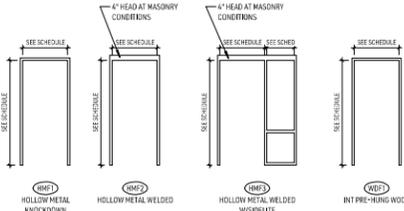
DOOR TYPES

NOTE: DOOR FIRE GLAZING RATING TO MEET REQUIREMENTS OF TABLE 716.1(2)



FRAME TYPES

NOTE: SIDELIGHT / TRANSOM FIRE GLAZING RATING TO MEET REQUIREMENTS OF TABLE 716.1(2)



GLAZING TYPES

- G-1: 1" THICK INSULATED GLASS
- G-2: 1" THICK INSULATED TEMPERED GLASS
- G-3: 1/4" FLOAT GLASS
- G-4: 1/4" CLEAR TEMPERED GLASS
- G-5: FIBRE LITE TEMPERED GLASS
- G-6: 1" INSULATED SPANDREL GLASS
- G-7: 3/8" CLEAR FLOAT TEMPERED GLASS AT SHOWER DOOR OR GLAZE WALL LOCATIONS

NOTE: DOOR FIRE GLAZING AND SIDELIGHT / TRANSOM FIRE GLAZING RATING TO MEET REQUIREMENTS OF TABLE 716.1(2)

DOOR SCHEDULE - COMMON AREA													
#	ROOM	DOORS			FRAMES			HARDWARE GROUP	HARDWARE FINISH	FIRE RATING	COMMENTS*		
		WIDTH	HEIGHT	PANEL TYPE	PANEL FINISH	ID - CODE	FRAME TYPE					FRAME FINISH	ID - CODE
LEVEL 1													
100A	PARKING GARAGE	18'-0"	8'-0"	MDFH	PREFN	PF-11	--	--	PF-11	24.0	-		
100B	PARKING GARAGE	8'-0"	8'-0"	HMD1	PANT	PF-11	HMF2	PANT	PF-11	8.0	-	SIDELIGHT WIDTH 1'-4"	
100C	PARKING GARAGE	8'-0"	8'-0"	HMD2	PANT	PF-11	HMF2	PANT	PF-11	8.0	-		
101	TRASH	8'-0"	8'-0"	HMD1	PANT	PF-11	HMF2	PANT	PF-11	12.0	45		
102	FIRE SPRINKLER / FIRE PUMP	4'-0"	8'-0"	HMD2	PANT	PF-11	HMF2	PANT	PF-11	11.0	40		
103	MISC ELECTRICAL	8'-0"	8'-0"	HMD1	PANT	PF-11	HMF2	PANT	PF-11	12.0	45		
104	BIKE	8'-0"	8'-0"	HMD1	PANT	PF-11	HMF2	PANT	PF-11	20.0	90	SIDELIGHT WIDTH 1'-4"	
105	LEASING OFFICE	3'-0"	8'-0"	ALD1	PREFN	BLACK	BF-2	PREFN	BLACK	13.0	-		
106	PACKAGE	3'-0"	8'-0"	ALD1	PREFN	BLACK	BF-1	PREFN	BLACK	13.0	-		
108A	LOBBY	8'-0"	8'-0"	WD02	STNVAR		SF-20	PREFN	2.0	-			
108B	LOBBY	8'-0"	8'-0"	WD02	STNVAR		SF-20	PREFN	2.0	-			
108C	LOBBY	3'-4"	8'-0"	WD02	PANT			PANT	WD-1	22.0	45		
109	CLUBROOM	3'-4"	8'-0"	ALD1	PREFN		SF-24	PREFN	1.0	-			
110	FITNESS	11'-0"	7'-0"	HMD1	PREFN		--	PREFN	24.0	-			
111	UNI-SEX RESTROOM	8'-0"	8'-0"	WD01	STNVAR	WD-1	HMF2	PANT	WD-1	23.0	-		
112	UNI-SEX RESTROOM	3'-0"	8'-0"	HMD2	PANT		HMF2	PANT	7.0	-		PANIC HARDWARE	
113	ELECTRICAL	3'-0"	8'-0"	HMD2	PANT		HMF2	PANT	10.0	40		PANIC HARDWARE	
114	BIKE	8'-0"	8'-0"	HMD1	PANT	PF-11	HMF2	PANT	PF-11	20.0	45	SIDELIGHT WIDTH 1'-4"	
115	MEP	3'-0"	8'-0"	HMD1	PANT		HMF2	PANT	6.0	-			
115A	STAIR A	3'-0"	8'-0"	HMD1	PANT	PF-11	HMF2	PANT	PF-11	9.0	180		
115B	STAIR B	3'-0"	8'-0"	ALD1	PREFN		SF-13	PREFN	1.0	-			
115A1	STAIR A	3'-0"	8'-0"	WD01	STNVAR	PF-11	HMF2	PANT	PF-11	18.0	180		
115B1	STAIR B	3'-0"	8'-0"	ALD1	PREFN		SF-24	PREFN	1.0	-			
140	COMMERCIAL	3'-4"	8'-0"	WD02	STNVAR		SF-27	PREFN	4.0	-			
141	COMMERCIAL	3'-4"	8'-0"	WD02	STNVAR		SF-23	PREFN	5.0	-			
142	COMMERCIAL	3'-4"	7'-11"	WD02	STNVAR		SF-20	PREFN	5.0	-			
143	COMMERCIAL	3'-4"	7'-3"	WD02	STNVAR		SF-18	PREFN	5.0	-			
144	COMMERCIAL	3'-4"	7'-3"	WD02	STNVAR		SF-16	PREFN	5.0	-			
140	STAIRBANK	3'-4"	8'-0"	HMD1	PREFN		--	--	25.0	-		PANIC HARDWARE	
171	EXTERIOR	3'-4"	8'-0"	HMD1	PREFN		--	--	25.0	-		PANIC HARDWARE	
LEVEL 2													
240	CORRIDOR	3'-0"	7'-0"	WD01	STNVAR		HMF1	PANT	WD-1	20.0	20		
241	CORRIDOR	3'-0"	7'-0"	WD01	STNVAR	WD-1	HMF1	PANT	WD-1	14.0	45		
244	WORK FROM HOME / GAME - MEZZANINE	3'-0"	7'-0"	HMD1	PANT	PF-11	HMF2	PANT	PF-11	19.0	-	SIDELIGHT WIDTH 1'-4"	
245	MEP / STORAGE	3'-0"	7'-0"	WD01	STNVAR		HMF1	PANT	20.0	20			
245A	STORAGE	3'-0"	7'-0"	HMD1	PANT		HMF1	PANT	21.0	20			
245B	FITNESS MEZZANINE	3'-0"	7'-0"	WD01	STNVAR		HMF1	PANT	20				
246	ELEVATOR EQUIPMENT	3'-0"	7'-0"	WD01	STNVAR		HMF1	PANT	6.0			PANIC HARDWARE	
250A	STAIR A	3'-0"	7'-0"	WD01	STNVAR		HMF2	PANT	16.0	180			
250B	STAIR B	3'-0"	7'-0"	WD01	STNVAR		HMF2	PANT	16.0	180			
LEVEL 3													
340	UNI-SEX RESTROOM	3'-0"	7'-0"	WD01	STNVAR		HMF1	PANT	23.0	20			
342A	MEDIA LUNGE	3'-0"	7'-0"	ALD1	PREFN		SF-23	PREFN	3.0	20			
342B	MEDIA LUNGE	8'-0"	8'-0"	WD02	STNVAR		SF-20	PREFN	14.0	-			
350A	STAIR A	3'-0"	7'-0"	WD01	STNVAR		HMF2	PANT	16.0	180			
350B	STAIR B	3'-0"	7'-0"	WD01	STNVAR		HMF2	PANT	16.0	180			
LEVEL 4													
442	CORRIDOR	5'-2"	7'-0"	HMD2	PANT		HMF2	PANT	28.1	180		LUNEVEN DOUBLE DOOR: (1) 3'-0" DOOR PANEL AND (1) 2'-2" DOOR PANEL	
LEVEL 5													
541	CORRIDOR	5'-2"	7'-0"	HMD2	PANT		HMF2	PANT	28.1	180		LUNEVEN DOUBLE DOOR: (1) 3'-0" DOOR PANEL AND (1) 2'-2" DOOR PANEL	
542A	FLEX FITNESS	3'-0"	7'-0"	ALD1	PREFN		BF-4	PREFN	3.0	20			
542B	FLEX FITNESS	8'-0"	8'-0"	WD02	STNVAR		SF-20	PREFN	14.0	-			
LEVEL 6													
641	CORRIDOR	5'-2"	7'-0"	HMD2	PANT		HMF2	PANT	28.1	180		LUNEVEN DOUBLE DOOR: (1) 3'-0" DOOR PANEL AND (1) 2'-2" DOOR PANEL	
LEVEL 7													
741	CORRIDOR	5'-2"	7'-0"	HMD2	PANT		HMF2	PANT	28.1	180		LUNEVEN DOUBLE DOOR: (1) 3'-0" DOOR PANEL AND (1) 2'-2" DOOR PANEL	
742A	LIBRARY	3'-0"	7'-0"	ALD1	PREFN	BLACK	BF-4	PREFN	BLACK	3.0	20		
742B	LIBRARY	8'-0"	8'-0"	WD02	STNVAR		SF-20	PREFN	14.0	-			
LEVEL 8													
841	CORRIDOR	5'-2"	7'-0"	HMD2	PANT		HMF2	PANT	28.1	180		LUNEVEN DOUBLE DOOR: (1) 3'-0" DOOR PANEL AND (1) 2'-2" DOOR PANEL	
842	CONFERENCE ROOM	3'-0"	7'-0"	WD01	STNVAR		HMF1	PANT	3.0	20			

DOOR SCHEDULE - UNITS													
TYPE	ROOM	DOOR			FRAME			HARDWARE GROUP	FIRE RATING	COMMENTS			
		WIDTH	HEIGHT	PANEL TYPE	PANEL FINISH	ID - CODE	FRAME TYPE				FRAME FINISH	ID - CODE	
1	UNIT ENTRY	3'-0"	7'-0"	WD01	STNVAR		HMF1	PREFN	24.0	20			
1A	UNIT ENTRY	3'-0"	7'-0"	WD01	STNVAR		HMF1	PREFN	24.0	20			
2	BATHROOM	3'-0"	7'-0"	WD01	STNVAR		HMF1	STNVAR	22.0	-			
3	BEDROOM	3'-0"	7'-0"	WD01	STNVAR		HMF1	STNVAR	22.0	-			
4	LAUNDRY	3'-0"	7'-0"	WD01	STNVAR		HMF1	STNVAR	22.0	-			
5	CLOSET	3'-4"	7'-0"	WD04	STNVAR		HMF1	STNVAR	22.0	-			



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C:\0000 02/05/2024
 10/18/2024
 Project #: 21-128.01
 Date: 02/05/2024
 Drawn by: JNR/W
 Checked by: AJ
 Issue: Date:
 PHASE F FOOTING AND FOUNDATION 02.05.2024
 PHASE SET 04.04.2024
 PHASE A ADDENDUM A 04.04.2024
 PHASE B FULL BUILDING PERMIT SET 04.11.2024
 ADDENDUM B 05.01.2024

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 MINNEAPOLIS, MINNESOTA
 DOOR TYPES, FRAMES AND SCHEDULES

A610

Appendix
 SCALES FOR 30X42 ORIGINAL SIZE



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C-4000	02/05/2024
TOURISM NUMBER	ERC
Project #:	21-128.01
Date:	02/05/2024
Drawn by:	RW
Checked by:	AJ
Issue:	Date:
PHASE FOOTING AND FOUNDATION	02.05.2024
PRIMER SET	04.04.2024
ADDITIONAL	04.11.2024
PHASE B FULL BUILDING PERMIT SET	04.11.2024
ADDITIONAL	04.11.2024

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 MARBETT, CALIFORNIA
 WINDOW AND STOREFRONT TYPES

A611

PLANS APPROVED BY ZONING ADJUSTMENTS BOARD


 SIGNATURE

May 11, 2023
 DATE

*** Findings and Conditions Attached**

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 ARCHITECTS**

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 Berkeley, California 94710
 510.649.1414
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1548-1598 University Ave
 Berkeley, CA

- 01.21.2022 SB-330 APPLICATION
- 03.03.2022 DESIGN STUDIES
- 03.18.2022 REVISED BASE PLANS
- 04.01.2022 ZONING APPLICATION
- 07.20.2022 ZONING APPLICATION
- 09.06.2022 ZONING RESUBMISSION
- 10.28.2022 ZONING RESUBMISSION
- 12.19.2022 ZONING RESUBMISSION
- 04.20.2023 DRC
- 05.11.2023 ZAB HEARING SET

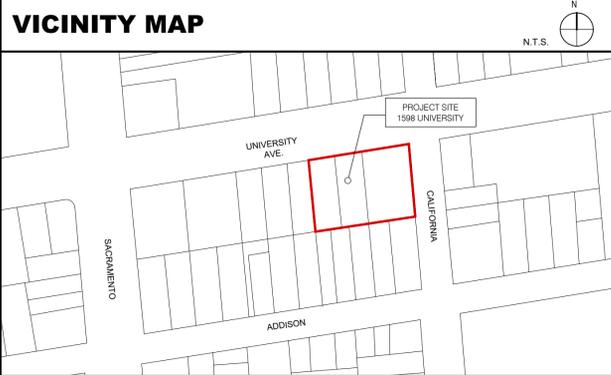
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JOB: 2030

SHEET:

**GENERAL
 INFORMATION**

A0.0



PROJECT DIRECTORY

OWNER/APPLICANT:
 1598 University Avenue, LLC
 NX VENTURES
 1958A University Ave
 Berkeley, CA 94704

ARCHITECT:
 David Trachtenberg, Principal
 TRACHTENBERG ARCHITECTS
 2421 Fourth Street
 Berkeley, CA 94710
 510.649.1414
 www.TrachtenbergArch.com

PROJECT DESCRIPTION

PROJECT ADDRESS: 1598 University Ave. Berkeley, CA 94703
 (APN: 056 200300100) (056 200302500) (056 200302401)

SCOPE OF WORK:
 REMOVAL OF TWO EXISTING 1 STORY COMMERCIAL STRUCTURES & CONSTRUCTION OF A NEW 8-STORY MIXED-USE BUILDING WITH 207 DWELLING UNITS, GROUND LEVEL LOBBIES, COMMERCIAL SPACE, AND PARKING GARAGE WITH STATE OF CALIFORNIA DENSITY BONUS.

DRAWING LIST

A0.0 GENERAL INFORMATION	A3.4 BUILDING ELEVATIONS	L3.1 COURTYARD PLANTING IMAGERY
A0.1 ZONING INFORMATION & DIAGRAMS	A3.5 STREETScape ELEVATIONS	11.0 IRRIGATION PLAN
A0.3A DENSITY BONUS DIAGRAMS	A3.6 PHOTO CONTEXT VIEWS	12.0 IRRIGATION NOTES, LEGEND, SCHEDULES, CALCS.
A0.4A SHADOW STUDIES	A3.7 PHOTO CONTEXT VIEWS	12.1 IRRIGATION DETAILS
A0.4B SHADOW STUDIES	A3.8 CONCEPTUAL RENDERING	12.2 IRRIGATION DETAILS
A0.4C SHADOW STUDIES	A3.9 CONCEPTUAL RENDERING	
A0.5 SITE CONTEXT PHOTOS	A3.10 CONCEPTUAL RENDERING	
A0.6 VICINITY MAP	A3.11 CONCEPTUAL RENDERING	
A1.1 SURVEY	A3.12 CONCEPTUAL RENDERING	
A1.2 SURVEY	A3.13 CONCEPTUAL RENDERING	
A2.1 FLOOR PLAN	A4.1 BUILDING SECTION	
A2.2 FLOOR PLAN	A4.2 BUILDING SECTION	
A2.3 FLOOR PLAN	MAT MATERIAL BOARD	
A2.4 FLOOR PLAN		
A2.5 FLOOR PLAN		
A2.6 ROOF PLAN	LANDSCAPE SHEETS	
A3.1 BUILDING ELEVATIONS	L1.0 COURTYARD LANDSCAPE CONCEPT PLAN&SITE FEATURES	
A3.2 BUILDING ELEVATIONS	L2.0 LANDSCAPE SITE PLAN	
A3.3 BUILDING ELEVATIONS	L2.1 COURTYARD LANDSCAPE PLAN	
	L3.0 COURTYARD SITE IMPROVEMENT IMAGERY	



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VICINITY MAP

A0.6

1
 -
 NTS
 VICINITY MAP



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EXISTING
 SITE PLAN

A2.0



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- 10.28.2022 ZONING RESUBMISSION
- 03.16.2023 DRC HEARING SET
- 04.27.2023 ZAB HEARING SET

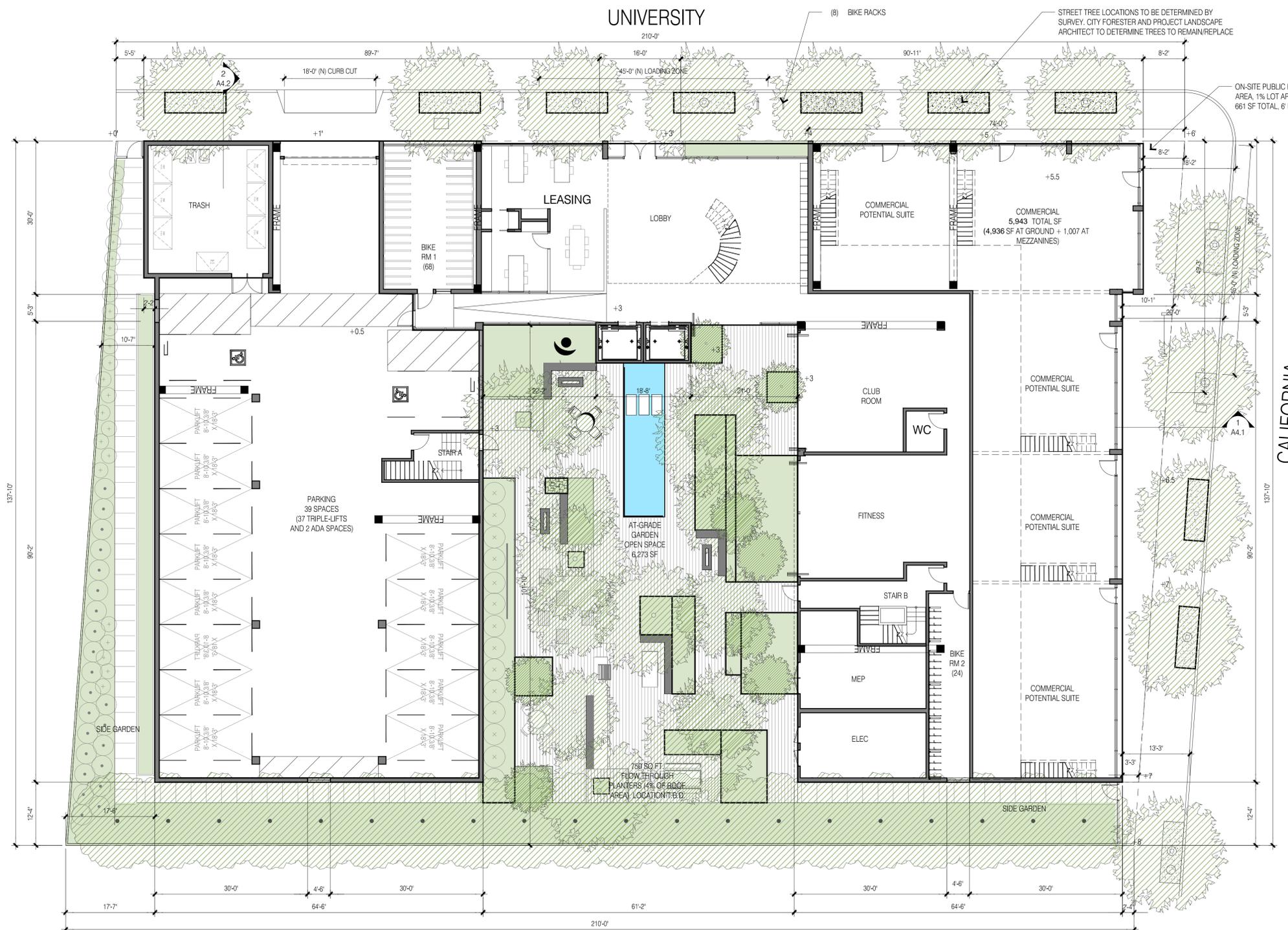
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 CONSENT OF TRACHTENBERG ARCHITECTS.

JOB: 2030

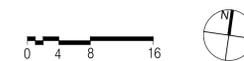
SHEET:

GROUND LEVEL
 FLOOR PLAN

A2.1



1 GROUND LEVEL PLAN
 3/64" = 1'-0" @ 11x17 3/32" = 1'-0" @ 24x36



TRACHTENBERG
 ARCHITECTS

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- 10.28.2022 ZONING RESUBMISSION
- 03.16.2023 DRC HEARING SET
- 04.27.2023 ZAB HEARING SET

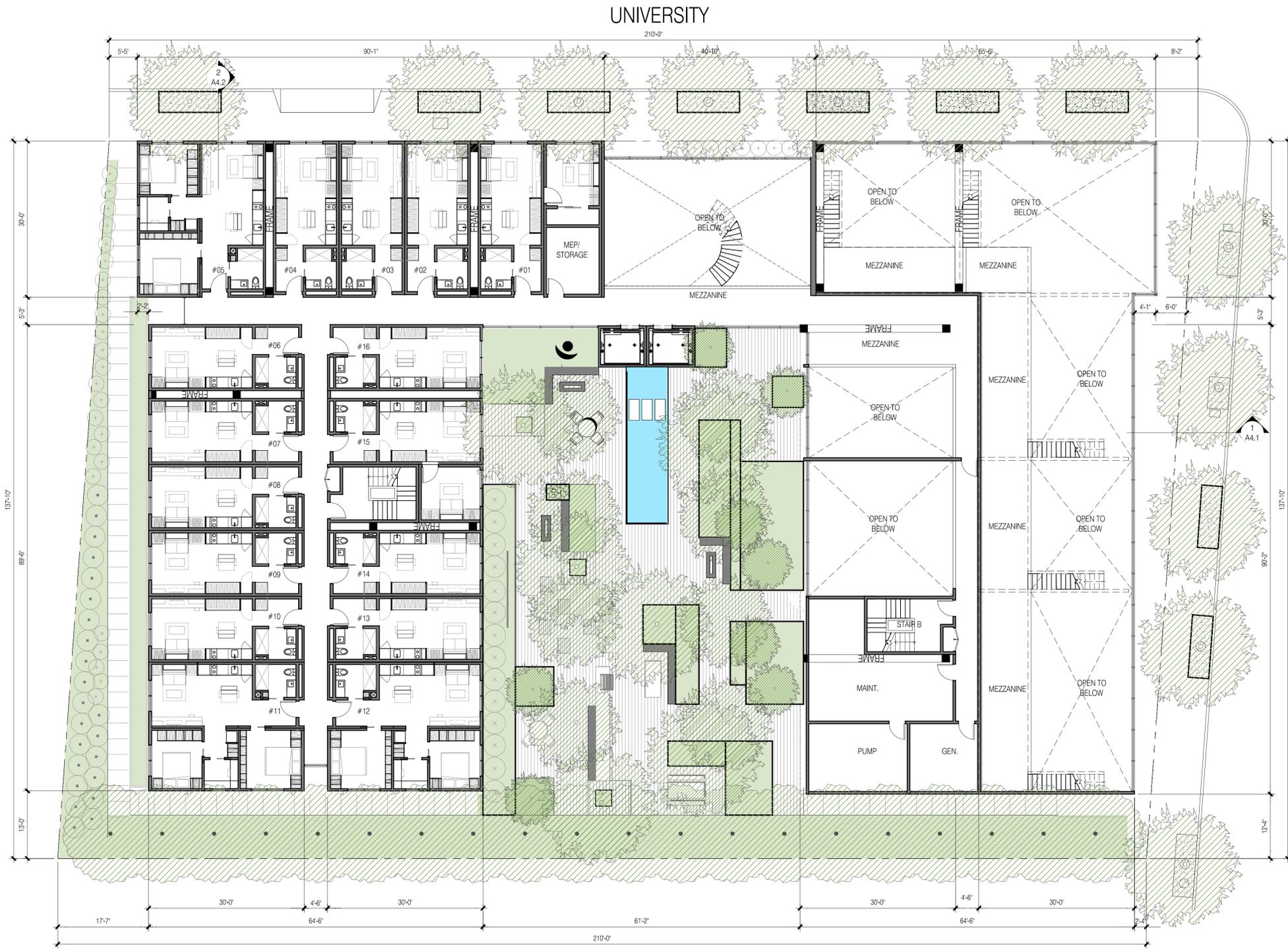
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JOB: 2030

SHEET:

LEVEL 2
 FLOOR PLAN

A2.2



1 PLAN AT LEVEL 2
 3/64"=1'-0" @ 11x17 3/32"=1'-0" @ 24x36

0 4 8 16



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JOB: 2030

SHEET:

LEVELS 3-6
 FLOOR PLANS

A2.3



1 PLAN AT LEVELS 3-6
 3/64"=1'-0" @ 11x17 3/32"=1'-0" @ 24x36



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JOB: 2030

SHEET:

LEVEL 7
 FLOOR PLANS

A2.4



1 PLAN AT LEVEL 7
 3/64"=1'-0" @ 11x17 3/32"=1'-0" @ 24x36



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JOB: 2030

SHEET:

PLAN AT
 LEVEL 8

A2.5



1 PLAN AT LEVEL 8
 3/64"=1'-0" @ 11x17 3/32"=1'-0" @ 24x36



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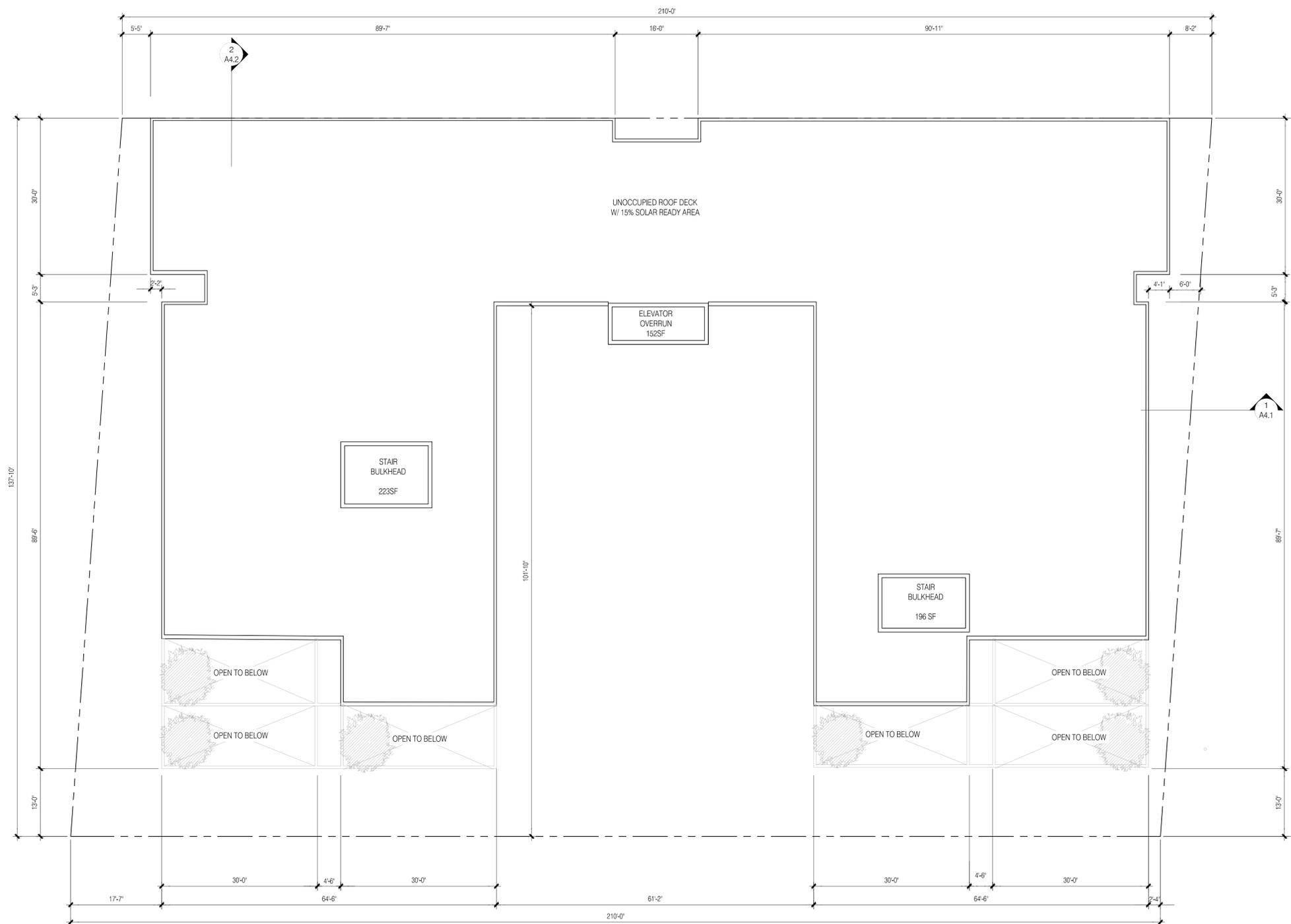
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JOB: 2030

SHEET:

ROOF PLAN



1 PLAN AT ROOF

3/64"=1'-0" @ 11x17 3/32"=1'-0" @ 24x36

0 4 8 16



A2.6

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JOB: 2030

SHEET:

BUILDING
 ELEVATIONS

A3.1



1 EAST ELEVATION
 1/16"=1'-0" @ 11X17 1/8"= 1'-0" @ 24X36



(UNIVERSITY AVE.)

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JOB: 2030

SHEET:

BUILDING
 ELEVATIONS

A3.2

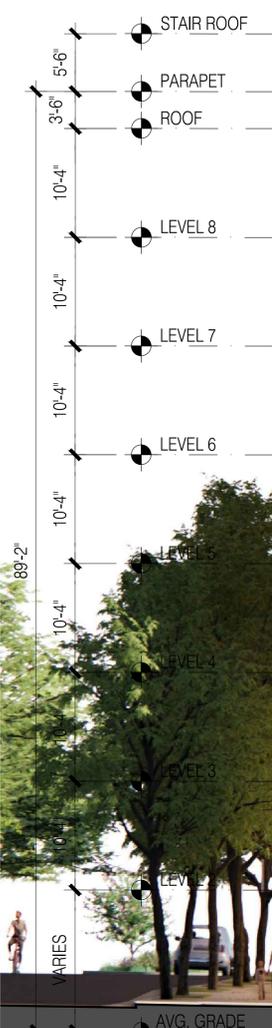
METAL INFILL
 PANEL

INSULATED METAL
 PANELS

DECORATIVE
 METAL SCREEN

ALUMINUM
 WINDOWS

INSULATED METAL
 PANELS



(CALIFORNIA ST.)



NORTH ELEVATION

1/16" = 1'-0" @ 11X17 1/8" = 1'-0" @ 24X36



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JOB: 2030

SHEET:

BUILDING
 ELEVATIONS

A3.3



1

WEST ELEVATION

1/16" = 1'-0" @ 11X17 1/8" = 1'-0" @ 24X36

0 4 8 16

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2

STREET STRIP ELEVATION @ UNIVERSITY AVE

1/32" = 1'-0" @ 11X17 1/16" = 1'-0" @ 24X36

0 4 8 16 32

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JOB: 2030

SHEET:

STREET STRIP
 ELEVATIONS

A3.5



1

STREET STRIP ELEVATION @ CALIFORNIA ST

1/32" = 1'-0" @ 11X17 1/16" = 1'-0" @ 24X36

0 4 8 16 32

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JOB: 2030

SHEET:

CONCEPTUAL
RENDERING

A3.8



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JOB: 2030

SHEET:

CONCEPTUAL
RENDERING

A3.9



1 PERSPECTIVE VIEW - UNIVERSITY AND CALIFORNIA

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JOB: 2030

SHEET:

CONCEPTUAL
RENDERING

A3.10



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JOB: 2030

SHEET:

CONCEPTUAL
RENDERING

A3.11



1

SIDEWALK VIEW - ACROSS UNIVERSITY

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JOB: 2030

SHEET:

CONCEPTUAL
RENDERING

A3.12



1

SIDEWALK VIEW - CAFE ENTANCE

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JOB: 2030

SHEET:

CONCEPTUAL
RENDERING

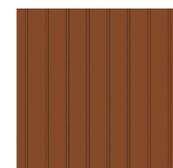
A3.13



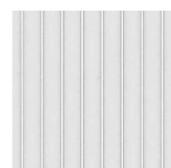
1 PERSPECTIVE VIEW - CALIFORNIA LOOKING NORTHWEST

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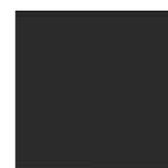
INSULATED METAL PANELS



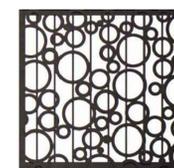
INSULATED METAL PANELS



INSULATED METAL PANELS



METAL INFILL PANEL



DECORATIVE METAL SCREEN

DECORATIVE METAL SCREEN

INSULATED METAL PANELS

ALUMINUM WINDOWS

METAL INFILL PANEL

DECORATIVE METAL SCREEN

INSULATED METAL PANELS

DECORATIVE METAL SCREEN



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JOB: 2030

SHEET:

MATERIAL
 BOARD

MAT

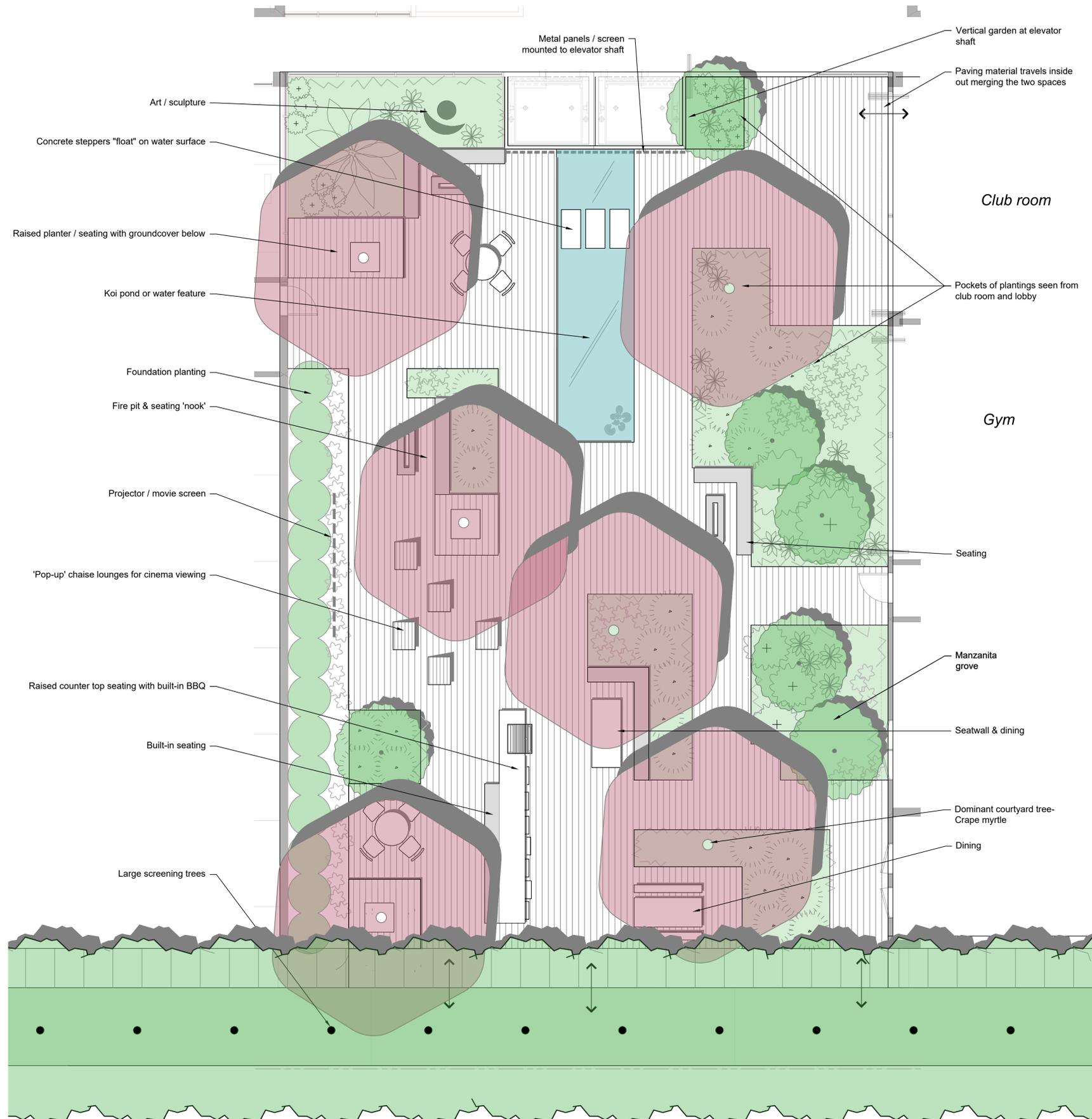


NORTH ELEVATION

1/16" = 1'-0" @ 11X17 1/8" = 1'-0" @ 24X36



(CALIFORNIA ST.)



**CITY OF BERKELEY
 DESIGN REVIEW COMMITTEE
 HEARING SET 04.20.2023**

LANDSCAPE SHEET INDEX

- L1.0 Courtyard Concept and Site Features
- L2.0 Landscape Plan at Streetscape
- L2.1 Courtyard Landscape Site Plan; Plant List
- L3.0 Courtyard Site Improvements Imagery
- L3.1 Courtyard Planting Imagery
- L3.2 Screening Tree Options
- I1.0 Irrigation Plan
- I2.0 Irrigation Notes, Legend, Schedules & Calcs.
- I2.1 Irrigation Details
- I2.2 Irrigation Details

NOTES

1. CONTRACTOR SHALL VERIFY ALL GRADES, EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK. ALL DISCREPANCIES OR QUESTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION. REDIRECT WORK TO AVOID DELAY.
2. ALL CURVES AND ALL TRANSITIONS BETWEEN CURVES AND STRAIGHT EDGES SHALL BE SMOOTH
3. TAKE ALL DIMENSIONS PERPENDICULAR TO ANY REFERENCE LINE, WORK LINE, FACE OF BUILDING, FACE OF WALL OR CENTERLINE.
4. S.A.D. FOR ALL INFORMATION ON WATERPROOFING, DRAINAGE & GRADING ON STRUCTURES.

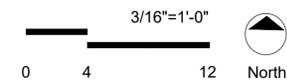
SEE L2.1 FOR GENERAL PLANTING NOTES.

STREET TREE PROTECTION NOTES:

1. ALL TREE PROTECTION REQUIREMENTS AND RESTRICTIONS SHALL BE INCLUDED IN THE CONSTRUCTION NOTES AND PRINTED ON ALL COPIES OF THE PLANS.
 - a) INCLUDE THE NAME AND PHONE NUMBER OF THE PARTY THAT WILL MONITOR THE SITE AND ENSURE THE TREE PROTECTION MEASURES ARE BEING FOLLOWED; AND WHAT THE MONITORING SCHEDULE WILL BE: **NAME / PHONE / SCHEDULE**
 - b) INSTALL 6 FOOT CHAIN-LINK FENCING TO PROTECT THE AREA WITHIN THE DRIP-LINE OF ANY PROTECTED TREE IN THE DEVELOPMENT AREA. FENCING SHALL BE MOUNTED TO POSTS THAT ARE DRIVEN INTO THE GROUND. WHERE THIS IS NOT POSSIBLE BECAUSE OF EXISTING STRUCTURES, TREE ROOTS, OR OTHER OBSTACLES, CHAIN-LINK PANELS MOUNTED TO STANCHIONS AND CONNECTED TO EACH OTHER MAY BE APPROVED. IN AREAS WHERE DIFFICULT TERRAIN MAKES THIS IMPRACTICAL, ORANGE CONSTRUCTION FENCING MAY BE APPROVED.
 - c) ALL FENCING SHALL HAVE SIGNAGE STATING THE REQUIREMENTS AND RESTRICTIONS, AND THE CONTACT INFORMATION FOR THE PROJECT ARBORIST.
 - d) WHEN ANY APPROVED CONSTRUCTION ACTIVITY WILL OCCUR WITHIN THE DRIP LINE OF A PROTECTED TREE THAT IS NOT SURROUNDED BY PROTECTIVE FENCING, THE TRUNK SHALL BE PROTECTED BY WRAPPING IT WITH STRAW TUBES (WATTLE) OR VERTICAL WOOD SLATS (EX. 2X4), UP TO A MINIMUM OF 8 FEET FROM GRADE (SEE FIGURE 1, PAGE 6). SLATS SHALL BE ANGLED TO PROTECT THE ROOT FLARE AT THE BASE OF THE TREE; AND CLOSED CELL FOAM OR EQUIVALENT MATERIAL SHALL BE USED TO PROTECT THE TRUNK OF THE TREE WHERE IT CONTACTS THE SLATS. LATERAL BRANCHES BELOW 8 FEET SHALL ALSO BE PROTECTED. IN ADDITION, THE AREA SHALL BE COVERED WITH A 6 INCH LAYER OF MULCH TOPPED WITH 3/4 INCH PLYWOOD THAT IS FASTENED TOGETHER. IF ANY LARGE OR MOTORIZED EQUIPMENT (MINI EXCAVATOR, BOBCAT, POWERED WHEELBARROW) WILL TRAVEL OVER THIS AREA, THE PLYWOOD MUST BE A MINIMUM OF 1 INCH AND ADEQUATE FOR THE WEIGHT OF THE EQUIPMENT THAT WILL TRAVEL OVER IT. IF LARGER EQUIPMENT (BACKHOE, TRACTOR) WILL BE USED, CONSULT THE CITY ARBORIST. **CONSTRUCTION ACTIVITY REFERS TO ANY MOVEMENT OF PEOPLE, TOOLS, OR EQUIPMENT; OR STORAGE OF ANY TOOLS, EQUIPMENT, OR SUPPLIES.**
 - f) LOCATE AND EXPOSE ANY ROOTS 2 INCHES IN DIAMETER OR GREATER THAT MAY NEED TO BE PRUNED TO FACILITATE THE PROJECT. THIS INCLUDES ANY TRENCHING THAT WILL BE DONE AS PART OF FOUNDATION OR UTILITY INSTALLATION. CONTACT THE CITY ARBORIST IN ADVANCE TO LESSEN THE AMOUNT OF TIME THAT THE ROOTS WILL BE EXPOSED. IF ROOTS MUST BE LEFT EXPOSED FOR MORE THAN THREE DAYS, CONSULT THE CITY ARBORIST. **NOTE: THE 2 INCH DIAMETER THRESHOLD FOR ROOTS IS A GUIDELINE THAT MAY BE ADJUSTED BY THE CITY ARBORIST DEPENDING ON THE SIZE AND CONDITION OF THE TREE, AND THE LOCATION OF THE ROOTS. THE CITY ARBORIST MAY INCREASE THE TPZ, OR IMPOSE OTHER RESTRICTIONS, WHEN THE DRIPLINE OF A TREE HAS BEEN ALTERED BY PRUNING OR UNUSUAL GROWTH PATTERNS.**
 - g) NO STORAGE OF BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS, OR DUMPING OF POISONOUS MATERIALS, IS PERMITTED WITHIN THE DRIP LINE OF ANY PROTECTED TREE. POISONOUS MATERIALS INCLUDE, BUT ARE NOT LIMITED TO, PAINT, PETROLEUM PRODUCTS, CONCRETE OR STUCCO MIX, DIRTY WATER, OR ANY OTHER MATERIAL WHICH MAY BE DELETERIOUS TO TREE HEALTH.

STREET TREE PLANTING NOTES:

1. FOR NEW PLANTING:
 - a. THE CITY ARBORIST SHALL BE NOTIFIED, BY CALLING (510) 981-6660, PRIOR TO THE DELIVERY OF THE TREES FOR INSPECTION OF THEIR SIZE AND STRUCTURE.
 - b. EACH TREE SHALL BE PROPERLY PLANTED AT OR JUST BELOW GRADE (<1"). SOIL AMENDMENT IS NOT RECOMMENDED. NO CONSTRUCTION RUBBLE OR NON-ORGANIC MATERIAL SHALL BE WITHIN THE TREE WELL.
 - c. THE SURROUNDING SOIL OUTSIDE THE CONTAINER (ROOT BALL) SHOULD BE LIGHTLY COMPACTED TO ABOUT 4 INCHES BELOW GRADE WITH THE ROOT BALL HIGHER THAN THAT.
 - d. 2 TO 2.5 INCHES OF BASE ROCK SHOULD BE APPLIED AROUND THE ROOT BALL LEAVING 1.5 TO 2 INCHES LEFT FOR THE MATERIAL.
 - e. 15G CONTAINERS ARE APPROXIMATELY 15-16 INCHES IN DIAMETER AND THE MATERIAL SHOULD BE APPLIED TO THE APPROXIMATE EDGE OF THE ROOT BALL WITH THE TOP GRADE OF THE ROOT BALL UP TO 1 INCH BELOW THE TOP OF THE MATERIAL THAT WILL BE APPLIED.
 - f. EACH NEW TREE SHALL HAVE AUTOMATIC IRRIGATION INCLUDING TWO TREE BUBBLERS THAT CURVE OVER THE TOP OF THE TREES' ROOT BALL AND PROVIDE A MINIMUM OF 20 GALLONS PER WEEK BETWEEN MARCH 15 AND OCTOBER 15 FOR THE FIRST THREE YEARS. LARGER TREES MAY REQUIRE ADDITIONAL BUBBLERS. THE BUBBLERS SHOULD BE LOCATED ON TOP OF THE ROOT BALL WITHIN THIS 15-16 INCH CIRCLE AND NOT BE COVERED WITH MATERIAL.
 - g. TREES THAT DIE WITHIN THE FIRST THREE YEARS MUST BE REPLACED AT THE PROPERTY OWNER'S EXPENSE.



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**1598
 UNIVERSITY**

1598 University Ave
 Berkeley, CA

- 07.15.2022 PROGRESS PLANS
- 04.20.2023 DRC HEARING
- 05.11.2023 ZAB HEARING

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JOB: 2104

SHEET:

**COURTYARD CONCEPT
 AND SITE FEATURES**

L1.0

Plant List

Index	Latin Name	Common Name	Size	Spacing	WELO	Notes	CA Native
Trees							
AH	Arctostaphylos densiflora 'Dr Hurd'	Dr. Hurd Manzanita	15 gallon	As Shown	L	Courtyard tree	X
CC	Cotinus coggygria	Smoke Tree	15 gallon	As Shown	L	Courtyard accent	
DA	Dicksonia antarctica	Tasmanian Tree Fern	5 gallon	As Shown	H	Shade accent	
L1	Lagerstroemia indica 'Watermelon Red'	Watermelon Crape Myrtle	24" box	As Shown	L	Courtyard tree	
UD	Ulmus davidiana var. japonica 'Emerald Sunshine'	Emerald Sunshine Elm	24" box	As Shown	L	Courtyard tree	
TBD	Pinus canariensis / Cupressus sempervirens / Sequoia sempervirens / Calceolarius decurrens	TBD	24" box	As Shown	TBD	Screening tree	TBD
Shrubs							
AD	Asparagus densiflorus 'Myers'	Foxtail Fern, Asparagus Fern	1 gallon	30"	M		
AK	Anigozanthos hybrids	Kangaroo Paw	1 gallon	36"	L		
AS	Asparagus densiflorus	Myer's asparagus	1 gallon	30"	M		
BA	Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama Grass	1 gallon	36"	L		X
BG	Blechnum gibbum 'Silver Lady'	Silver Lady Fern	5 gallon	as shown	M		
EC	Epilobium canum 'Coral Canyon'	Coral Canyon California Fuchsia	1 gallon	24"	L		X
CP	Carex pansa	Sand Dune Sedge	1 gallon	24"	M		X
CS	Calandrinia spp	Rock Purslane	1 gallon	36"	L	Accent	
DO	Daphne odora	Winter Daphne	5 gallon	36"	L		
HB	Hebe buxifolia	NCN	5 gallon	30"	M		
HG	Heuchera sanguinea	Coral Bells	1 gallon	18"	M		X
HM	Heuchera micrantha	Heuchera	1 gallon	36"	M		X
HP	Heuchera x 'Paprika'	Paprika Coral Bells	1 gallon	18"	M		X
HQ	Hydrangea quercifolia	Oakleaf Hydrangea	5 gallon	4'-0"	M		
JP	Juncus patens 'Carmen's gray'	Carmen's Gray Rush	1 gallon	24"	L	Flow-through-planter vegetation	X
CS	Cornus sericea 'Hedgegrow Gold'	Hedgegrow Gold Redtwig Dogwood	5 gallon	60"	H		X
FC	Festuca californica	California Fescue	1 gallon	24"	L		X
MC	Muhlenbergia capillaris 'Lenca'	Pink Muhly Grass	1 gallon	36"	L		
MR	Muhlenbergia rigens	Deer Grass	5 gallon	42"	L		X
PC	Phormium tenax 'Chocolate'	New Zealand Flax	5 gallon	48"	L		
PM	Polystichum munitum	Western Sword Fern	1 gallon	24"	M		X
RC	Rhamnus californica 'Eve Case'	Eve Case Coffeeberry	5 gallon	60"	L		X
MB	Mimulus bifidus 'White'	White Monkeyflower	5 gallon	30"	L		X
Groundcover							
ID	Iris douglasiana	Douglas Iris	1 gallon	as shown	L		X
EK	Erigeron karwinskianus	Fl seabane	4" pots	12"	L		
FX	Festuca glauca x 'Cool as Ice'	Cool as Ice Fescue	4" pots	12"	L		
FS	Festuca idahoensis 'Stinky Blue'	Stinky Blue Fescue	1 gallon	24"	L		X
LC	Leymus condensatus 'Canyon Prince'	Canyon Prince Blue Wild Rye	1 gallon	36"	L		X
FR	Fragaria chiloensis	Beach Strawberry	4" pots	12"	M		X
SA	Salvia 'Bee's Bliss'	Bee's Bliss Sage	1 gallon	36"	L	Accent	X
SB	Stachys byzantina	Lamb's Ear	1 gallon	12"	L		
SM	Senecio mandraliscae	Blue Finger	1 gallon	24"	L		
SP	Stipa pulchra	Purple Needle Grass	1 gallon	12"	L		X
CG	Ceanothus griseus horizontalis 'Carmel Creeper'	Carmel Creeper California Lilac	1 gallon	36"	L	Accent	X
VC	Vitis californica	California Grape	1 gallon	36"	L	Vine	X

Note: all plantings will be watered by an automated irrigation system compliant with the City of Berkeley code. As plans develop, water calculations will be documented and submitted to City for review. The proposed planting shall be WELO compliant.

Note: approximately 80% of specified plants are California native and wildlife-supporting.

Note: all landscape lighting will comply with the City of Berkeley Dark Skies ordinance and Bird Safe requirements.

GENERAL PLANTING NOTES

6. **SOIL PREPARATION:** The Landscape Contractor shall be responsible for finish grading and all planting area drainage. Positive drainage away from the building as per city codes shall be maintained. No low spots which hold standing water will be accepted.

The Landscape Contractor shall incorporate soil preparation amendment into planting areas as noted below. Where retrofit is not possible, incorporate soil amendments into top 6 inches with hand tools. After installation of irrigation system, all planting areas are to be finished to within 2 inches and slightly mounded away from edges of top of planter, curb, walk, header, etc. and raked smooth with all rocks and debris over 1/2 inch in diameter removed.

7. **SOIL PREPARATION AMENDMENTS AND BACKFILL:** The Landscape Contractor shall amend existing soil per the soils report.

8. **TREE PLANTING:** Trees shall be planted per detail on plan. Trees shall typically be located a minimum of 3' from curbs, walks, headers, buildings, and overhead structures within the project. Backfill per soils report. Thoroughly water trees immediately after planting.

9. **SHRUB PLANTING:** The shrubs shall be spotted as per plan, spotted at the shown locations, and approved by Landscape Architect prior to the drawing notes. Shrub backfill shall be per soils report. Thoroughly water shrubs immediately after planting. Do not plant any shrub within 2 feet of any building wall.

10. **MAINTENANCE:** The Contractor shall maintain the project for 90 days (or as requested by owner) following the approval to be in the maintenance period. During the entire maintenance period, watering, cultivation, weeding, mowing, repair, staking and ties, and restoration of basins, provision of supplemental water by hand in addition to irrigation system is required as

necessary. No pre-emergence herbicides shall be applied to hand remove weeds. Only organic fertilizers shall be applied such as those specified. Install per manufacturer's recommendations. At the end of the 90 day maintenance period all areas are to be weeded and all plant material shall be in a healthy, thriving condition. Irrigation pest management practices shall be implemented.

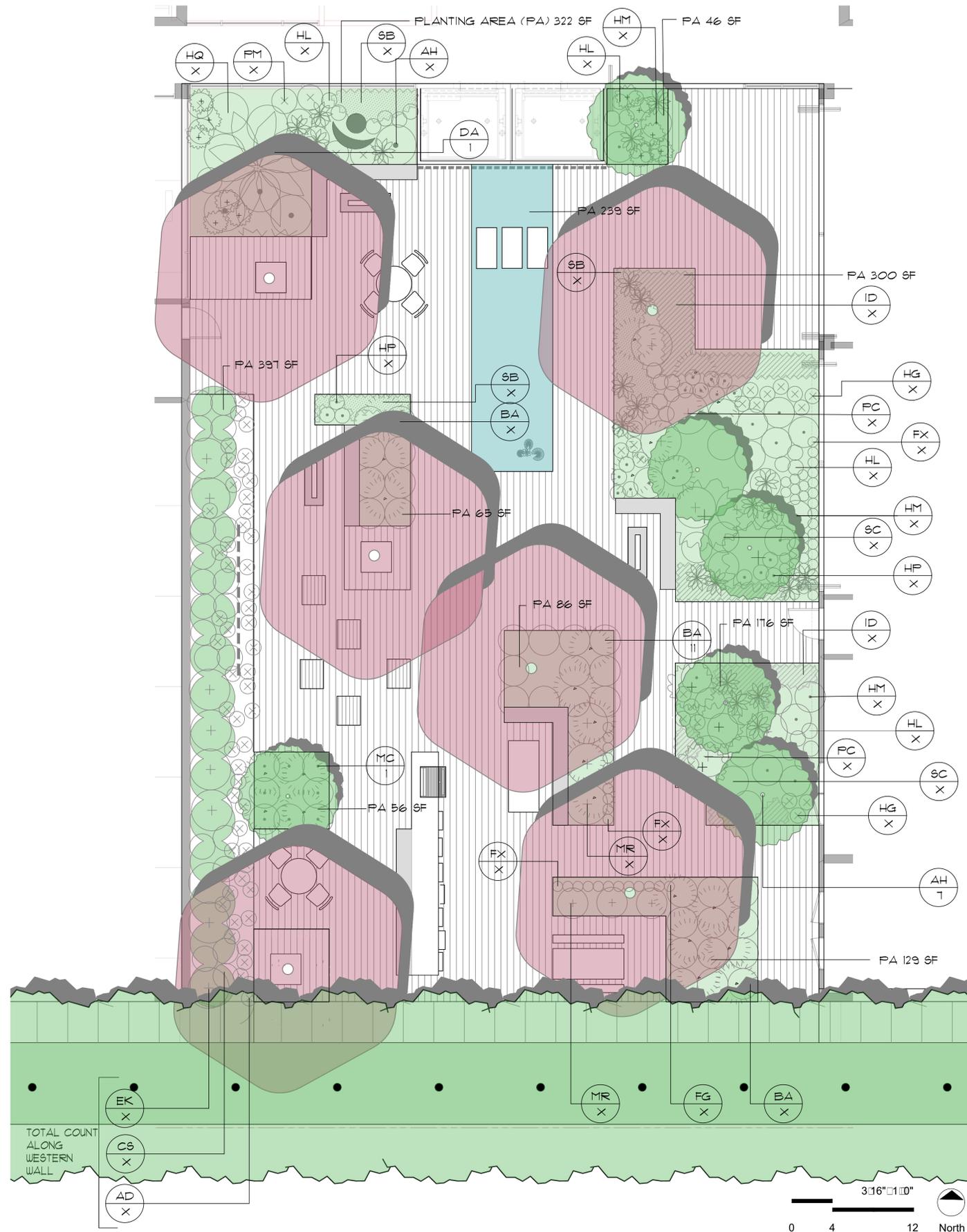
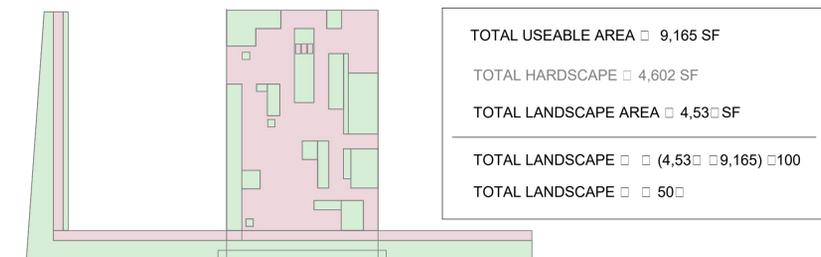
11. **SUBSTITUTIONS:** Requests for plant substitutions shall be made to the Landscape Architect within 15 days after signing of contract.

12. **GUARANTEE:** All construction, trees and shrubs by the Landscape Contractor and/or subcontractors shall be guaranteed for (1) one year after start of maintenance period. The contractor shall replace, at no expense to the Owner, any and all landscape materials that are in an unacceptable condition or time of use, and trees or shrubs that are dead or not in a vigorous, healthy growing condition, within two weeks of notification of such condition. Replacement shall be of the same kind and size as the originally specified item and shall be replaced as originally described on the drawings. The Contractor shall not be held liable for loss of plant materials during the guarantee period due to vandalism, accidental causes or acts of neglect by others than the Contractor, his agents and employees.

13. **CLEAN UP:** At the end of each work day, at the inspection or substantial completion, and before acceptance of project, clean paved areas that are dirtied or stained by construction operations by sweeping or washing, and remove debris and stains. Remove construction equipment, excess materials and tools. Haul from Owners property any debris resulting from construction, and dispose of it legally. Remove remaining temporary protection at time of acceptance by Owner unless otherwise agreed.

14. **FERTILIZERS:** Available from California Organic Fertilizers, Inc. 1.800.269.5690 www.organic.com.

1598 University Hardscape / Softscape Breakdown



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SHEET:

COURTYARD LANDSCAPE SITE PLAN

L2.1

