



Office of the City Manager

INFORMATION CALENDAR  
July 9, 2024

To: Honorable Mayor and Members of the City Council  
From: Dee Williams-Ridley, City Manager  
Submitted by: Jordan Klein, Director, Planning and Development Department  
Subject: LPO NOD: 1401 Le Roy Avenue, #LMSAP2024-0002

INTRODUCTION

The attached Landmarks Preservation Commission Notice of Decision (NOD) is presented to the Mayor and City Council pursuant to Berkeley Municipal Code/Landmarks Preservation Ordinance (BMC/LPO) Section 3.24.240.A, which requires that “a copy of the Notice of Decision shall be filed with the City Clerk and the City Clerk shall present said copy to the City Council at its next regular meeting.”

CURRENT SITUATION AND ITS EFFECTS

The Landmark Preservation Commission (LPC/Commission) approved a Structural Alteration Permit (SAP) to make alterations to the subject City Landmark property. This action is subject to a 15-day appeal period, which began on June 25, 2024.

BACKGROUND

BMC/LPO Section 3.24.300 allows City Council to review any action of the Landmarks Preservation Commission in granting or denying a Structural Alteration Permit. For Council to review the decision on its merits, Council must appeal the NOD. To do so, a Council member must move this Information Item to Action and then move to set the matter for hearing on its own. Such action must be taken within 15 days of the mailing of the Notice of Decision, or by July 9, 2024. Such certification to Council shall stay all proceedings in the same manner as the filing of an appeal.

If the Council chooses to appeal the action of the Commission, then a public hearing will be set. The Council must then rule on the designation within 30 days of closing the hearing, otherwise the decision of the Commission is automatically deemed affirmed.

Unless the Council wishes to review the determination of the Commission and make its own decision, the attached NOD is deemed received and filed.

ENVIRONMENTAL SUSTAINABILITY & CLIMATE IMPACTS

Landmark designation provides opportunities for the adaptive re-use and rehabilitation of historic resources within the City. The rehabilitation of these resources, rather than their removal, achieves construction and demolition waste diversion, and promotes investment in existing urban centers.

POSSIBLE FUTURE ACTION

The Council may choose to certify or appeal the decision, setting the matter for public hearing at a future date.

FISCAL IMPACTS OF POSSIBLE FUTURE ACTION

There are no known fiscal impacts associated with this action.

CONTACT PERSON

Fatema Crane, Principal Planner/LPC Secretary; Planning and Development Department, 510-981-7410  
Reina Kapadia, AICP, Senior Planner; Planning and Development Department, 510-981-7485

Attachments:

1: Notice of Decision – 1401 Le Roy Avenue, #LMSAP2024-0002



L A N D M A R K S  
 P R E S E R V A T I O N  
 C O M M I S S I O N

N o t i c e o f D e c i s i o n

**DATE OF BOARD DECISION: May 2, 2024**  
**DATE NOTICE MAILED: June 24, 2024**  
**APPEAL PERIOD EXPIRATION: July 9, 2024**  
**EFFECTIVE DATE (Barring Appeal or Certification): July 10, 2024<sup>1</sup>**

## 1401 Le Roy Avenue – John Galen Howard House

**Structural Alteration Permit (#LMSAP2024-0002) to alter the roofing material and to complete an exterior façade restoration at a City Landmark property.**

The Landmarks Preservation Commission of the City of Berkeley, after conducting a public hearing, **APPROVED** the Structural Alteration Permit request.

- **Property Owner:** Michael Greenwald & Ronna Bach  
1401 Le Roy Avenue  
Berkeley, CA 94708
- **Project Applicant & Architect:** Denise Hall Montgomery, Architect  
Denise Hall Montgomery Architecture  
1769 Alcatraz Avenue  
Berkeley, CA 94703

**ZONING DISTRICT:** Single Family Residential, Hillside Overlay (R-1H)

**ENVIRONMENTAL REVIEW STATUS:** The project is categorically exempt from further

<sup>1</sup> Pursuant to BMC Chapter 3.24, the City Council may “certify” any decision of the LPC for review, which has the same effect as an appeal. In most cases, the Council must certify the LPC decision during the 14-day appeal period. However, pursuant to BMC Section 1.04.070, if any portion of the appeal period falls within a Council recess, the deadline for Council certification is suspended until the first Council meeting after the recess, plus the number of days of the appeal period that occurred during the recess, minus one day. If there is no appeal or certification, the Use Permit becomes effective the day after the certification deadline has passed.

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environmental review in accordance with CEQA Guidelines Section 15331 for *Historical Resource Restoration/Rehabilitation*.

**The application materials for this project is available online at:**

<https://berkeleyca.gov/construction-development/land-use-development/zoning-projects> or  
<https://permits.cityofberkeley.info/CitizenAccess/Default.aspx>

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**FINDINGS AND CONDITIONS OF APPROVAL AND APPLICATION MATERIALS ARE ATTACHED TO THIS NOTICE**

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**COMMISSION VOTE: 5-0-0-4**

**YES:** CRANDALL, FINACOM, LINVILL, SCHWARTZ, TWU

**NO:** NONE

**ABSTAIN:** NONE

**ABSENT:** ENCHILL, LEUSCHNER, MONTGOMERY (*due to recusal*), ORBUCH

**TO APPEAL THIS DECISION (see Section 3.24.300 of the Berkeley Municipal Code):**

To appeal a decision of the Landmarks Preservation Commission to the City Council you must:

1. Submit a letter clearly and concisely setting forth the grounds for the appeal to the City Clerk, located at 2180 Milvia Street, 1<sup>st</sup> Floor, Berkeley. The City Clerk's telephone number is (510) 981-6900.
  - a. Pursuant to BMC Section 3.24.300.A, an appeal may be taken to the City Council by the application of the owners of the property or their authorized agents, or by the application of at least fifty residents of the City aggrieved or affected by any determination of the commission made under the provisions of Chapter 3.24.
2. Submit the required fee (checks and money orders must be payable to 'City of Berkeley'):
  - a. The basic fee for persons other than the applicant is \$1,500. This fee may be reduced to \$500 if the appeal is signed by persons who lease or own at least 50 percent of the parcels or dwelling units within 300 feet of the project site, or at least 25 such persons (not including dependent children), whichever is less. Signatures collected per the filing requirement in BMC Section 3.24.300.A may be counted towards qualifying for the reduced fee, so long as the signers are qualified. The individual filing the appeal must clearly denote which signatures are to be counted towards qualifying for the reduced fee.

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- b. The fee for appeals of affordable housing projects (defined as projects which provide 50 percent or more affordable units for households earning 80% or less of Area Median Income) is \$500, which may not be reduced.
- c. The fee for all appeals by Applicants is \$5,520.
3. The appeal must be received prior to 5:00 p.m. on the "APPEAL PERIOD EXPIRATION" date shown above (if the close of the appeal period falls on a weekend or holiday, then the appeal period expires the following business day).

If no appeal is received, the Landmark designation will be final on the first business day following expiration of the appeal period.

#### **NOTICE CONCERNING YOUR LEGAL RIGHTS:**

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If you object to this decision, the following requirements and restrictions apply:

1. If you challenge this decision in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Landmarks Preservation Commission at, or prior to, the public hearing.
2. You must appeal to the City Council within fifteen (15) days after the Notice of Decision of the action of the Landmarks Preservation Commission is mailed. It is your obligation to notify the Land Use Planning Division in writing of your desire to receive a Notice of Decision when it is completed.
3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than ninety (90) days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that ninety (90) day period will be barred.
4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
5. If you believe that this decision or any condition attached to it denies you any reasonable economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a "taking" of property for public use without just compensation under the California or United States Constitutions, your appeal of this decision must include the following information:
  - A. That this belief is a basis of your appeal.
  - B. Why you believe that the decision or condition constitutes a "taking" of property as set forth above.

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C. All evidence and argument in support of your belief that the decision or condition constitutes a “taking” as set forth above.

If you do not do so, you will waive any legal right to claim that your property has been taken, both before the City Council and in court.

**PUBLIC COMMENT:**

Communications to Berkeley boards, commissions or committees are public record and will become part of the City’s electronic records, which are accessible through the City’s website. **Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, will become part of the public record.** If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service or in person to the secretary of the relevant board, commission or committee. If you do not want your contact information included in the public record, please do not include that information in your communication. Please contact the secretary to the relevant board, commission or committee for further information.

**FURTHER INFORMATION:**

Questions about the project should be directed to the project planner, Reina Kapadia, at (510) 981-7485 or [rkapadia@berkeleyca.gov](mailto:rkapadia@berkeleyca.gov). All project application materials may be viewed at the Permit Service Center (Zoning counter), 1947 Center Street, 3<sup>rd</sup> Fl., during regular business hours.

**ATTACHMENTS:**

1. Findings and Conditions
2. Project Plans



ATTEST: \_\_\_\_\_

Fatema Crane, Secretary  
Landmarks Preservation Commission

cc: City Clerk

Property Owner: Michael Greenwald & Ronna Bach

Project Applicant & Architect: Denise Hall Montgomery, Architect

# Attachment 1, Part 2

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## DRAFT Findings and Conditions

### 1401 Le Roy Avenue – John Galen Howard House

**Structural Alteration Permit (#LMSAP2024-0002) to alter the roofing material and to complete an exterior façade restoration at a City Landmark property.**

#### **FINDINGS REQUIRED UNDER CEQA**

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1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15331 of the CEQA Guidelines (“Historic Resource Restoration/Rehabilitation”). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, and (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5.

#### **FINDINGS RELATED TO THE SECRETARY OF THE INTERIOR’S STANDARDS**

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Regarding the Secretary of the Interior’s Standards (SOI) for Rehabilitation, the Landmarks Preservation Commission of the City of Berkeley makes the following findings:

1. The proposed project does not involve a change of use. The property will retain its historic single-family residential use.
2. The historic character of the property will be preserved and retained. No spaces or spatial relationships will be altered as part of this project. Distinctive materials will be replaced in kind only where deteriorated. No distinctive features will be permanently removed as part of the project.
3. No changes that are part of the project create a false sense of history and no conjectural features or elements are proposed. The restoration includes the replacement of deteriorated features to match the original in material, detail, and profile. The only change that is part of the project is the introduction of a new roofing material. The new standing seam and sheet metal roofing material, as designed, expresses itself as a contemporary material that does not attempt to mimic a historic material, while integrating harmoniously with the historic roof design.
4. The change to the property that has acquired significance in its own right is the 1927 library addition designed by architect Julia Morgan. The form of this addition is not affected by this project and only the deteriorated exterior features (i.e., leaded glass

windows and library balcony) will be replaced in kind. The physical form and spatial relationship of the addition to the original residence will not be impacted by the project.

5. Distinctive characteristics of the property will be preserved. Only those distinctive materials, features, and finishes that are deteriorated beyond repair will be replaced (to match the historic condition) in order to preserve the craftsmanship that characterizes the property.
6. The project carefully identifies which historic features are deteriorated and as a first approach, proposes repairs to the reparable features (e.g., wood and leaded glass windows). As a second approach, the project proposes to replace only those features which are deteriorated beyond repair (i.e., window frames, sashes, and trims; wood shake siding; and one balcony). These are designed to match the old in design, color, texture, and materials.
7. The only chemical treatment that is part of the project includes application of a fire-retardant coating to the restored exterior wood shakes. This treatment is not visible and will not impact the appearance of the material or the property as a whole. Additionally, standard conditions of Structural Alteration Permit approval would require any chemical or physical treatments to be undertaken using the gentlest means possible.
8. The project does not have the potential to affect any archaeological resources because the project proposal does not necessitate any excavation.
9. No new additions or new construction are part of the project scope. The only exterior alteration would be the introduction of a new, contemporary roofing material (sheet and standing-seam metal), which has been selected for its fire-resistance and architectural compatibility with the building design. The installation has been carefully designed to be setback from the roof edge so as not to detract from the scale, proportions, and appearance of the roof historic form. While the low-pitched gable roof is a character-defining feature, the existing tar-and-gravel roof covering is not a character-contributing historic material. The proposed metal roofing is found to be a compatible material with the First Bay Tradition style of the residence because: its thin profile and setback placement will continue the low-pitched historic appearance of the roof; the deep tones and matte finish are harmonious with the patina that the redwood siding will weather into; and the linear shape of the standing seams and the flat metal panels echo the straight lines found in the ribbon coursing of the wood shingle pattern of the exterior facades.
10. No new additions or new construction are a part of this project. Should the new roofing material be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**FINDINGS REQUIRED UNDER LANDMARKS PRESERVATION ORDINANCE**

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1. As required by Section 3.24.260 of the Landmarks Preservation Ordinance, the Commission finds that the proposed work is appropriate for and consistent with the purposes of the Ordinance, and will preserve the characteristics and features specified in the designation for this property. Specifically:
  - A. The proposed project will not adversely affect the architectural design of the City Landmark. It has been carefully designed to preserve existing historic features and materials that are in good condition and replace only those materials which are deteriorated, in a manner to match the historic materials and details. This project achieves the applicant's objectives to ensure longevity of the historic property and increase insulation and fire proofing without adversely affecting any of the exterior architectural features of the landmark.
  - B. The project extends the lifespan of the historic landmark through appropriate preservation, restoration, and rehabilitation, without adversely affecting the special character or any of the historical, architectural, and aesthetic interest and value of the landmark and its site.

## STANDARD CONDITIONS

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The following conditions, as well as all other applicable provisions of the Landmarks Preservation Ordinance, apply to this Permit:

### 1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Permit, under the title 'Structural Alteration Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

### 2. Plans and Representations Become Conditions

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

### 3. Subject to All Applicable Laws and Regulations

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Zoning Adjustments Board or Zoning Officer, Building and Safety Division, Public Works Department and other affected City divisions and departments.

### 4. Exercise and Lapse of Permits

- A. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- B. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

### 5. Indemnification Agreement

The permittee agrees as a condition of approval of this application to indemnify, protect, defend with counsel selected by the City, and hold harmless, the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents, from and against any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorney's fees and disbursements (collectively, "Claims") arising out of or in any way relating to the approval of this application, any actions taken by the City related to this entitlement, or any environmental review conducted under the

California Environmental Quality Act, Public Resources Code Section 210000 et seq., for this entitlement and related actions. The indemnification shall include any Claims that may be asserted by any person or entity, including the permittee, arising out of or in connection with the approval of this application, whether or not there is concurrent, passive or active negligence on the part of the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents. The permittee's duty to defend the City shall not apply in those instances when the permittee has asserted the Claims, although the permittee shall still have a duty to indemnify, protect and hold harmless the City. (City Attorney).

## **6. Halt Work/Unanticipated Discovery of Tribal Cultural Resources**

In the event that cultural resources of Native American origin are identified during construction, all work within 50 feet of the discovery shall be redirected. The project applicant and project construction contractor shall notify the City Planning Department within 24 hours. The City will again contact any tribes who have requested consultation under AB 52, as well as contact a qualified archaeologist, to evaluate the resources and situation and provide recommendations. If it is determined that the resource is a tribal cultural resource and thus significant under CEQA, a mitigation plan shall be prepared and implemented in accordance with State guidelines and in consultation with Native American groups. If the resource cannot be avoided, additional measures to avoid or reduce impacts to the resource and to address tribal concerns may be required.

## **7. Archaeological Resources** (*Ongoing throughout demolition, grading, and/or construction*)

Pursuant to CEQA Guidelines Section 15064.5(f), "provisions for historical or unique archaeological resources accidentally discovered during construction" should be instituted. Therefore:

- A. In the event that any prehistoric or historic subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant and/or lead agency shall consult with a qualified archaeologist, historian or paleontologist to assess the significance of the find.
- B. If any find is determined to be significant, representatives of the project proponent and/or lead agency and the qualified professional would meet to determine the appropriate avoidance measures or other appropriate measure, with the ultimate determination to be made by the City of Berkeley. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by the qualified professional according to current professional standards.
- C. In considering any suggested measure proposed by the qualified professional, the project applicant shall determine whether avoidance is necessary or feasible in light of factors such as the uniqueness of the find, project design, costs, and other considerations.
- D. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery) shall be instituted. Work may proceed on other parts of the project site while mitigation measures for cultural resources is carried out.
- E. If significant materials are recovered, the qualified professional shall prepare a report on the findings for submittal to the Northwest Information Center.

**8. Human Remains** *(Ongoing throughout demolition, grading, and/or construction)*

In the event that human skeletal remains are uncovered at the project site during ground-disturbing activities, all work shall immediately halt and the Alameda County Coroner shall be contacted to evaluate the remains, and following the procedures and protocols pursuant to CEQA Guidelines Section 15064.5 (e)(1). If the County Coroner determines that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to Health and Safety Code Section 7050.5(c), and all excavation and site preparation activities shall cease within a 50-foot radius of the find until appropriate arrangements are made. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance and avoidance measures (if applicable) shall be completed expeditiously.

**9. Paleontological Resources** *(Ongoing throughout demolition, grading, and/or construction)*

In the event of an unanticipated discovery of a paleontological resource during construction, excavations within 50 feet of the find shall be temporarily halted or diverted until the discovery is examined by a qualified paleontologist (per Society of Vertebrate Paleontology standards [SVP 1995,1996]). The qualified paleontologist shall document the discovery as needed, evaluate the potential resource, and assess the significance of the find. The paleontologist shall notify the appropriate agencies to determine procedures that would be followed before construction is allowed to resume at the location of the find. If the City determines that avoidance is not feasible, the paleontologist shall prepare an excavation plan for mitigating the effect of the project on the qualities that make the resource important, and such plan shall be implemented. The plan shall be submitted to the City for review and approval.

**ADDITIONAL CONDITIONS**

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The following additional conditions are attached to this Permit:

10. No changes can be made to these approved plans without prior approval.
11. **CITY PERMITS.** This Structural Alteration Permit (SAP) approval is contingent upon approval of the requisite Use Permit and Public Work Permit for the project scope.
12. **PLANS COMPLIANCE.** Construction and building permit plans shall substantially conform to the Structural Alteration Permit (SAP) project plans dated/received March 26, 2024.
13. **REPAIR AND REPLACEMENT OF CHARACTER-DEFINING FEATURES.** Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old or historic feature in design, color, texture, and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.

14. Chemical or physical treatments, if appropriate, shall be undertaken using the gentlest means possible. Treatments that cause damage to historic materials shall not be used.
15. **COLORS.** Prior to Landmarks plan checker sign-off of the Building Permit set of drawings, the applicant shall submit color and materials information for review and approval by Landmarks staff, in coordination with the LPC Chair as needed.
16. **CLEAR GLASS.** All glass is assumed to be clear glass. Any proposed glass that is not clear glass, or includes signage, shall be indicated on all drawings, and shall be reviewed for approval by Landmarks staff.
17. **DETAILS.** Prior to Landmarks plan checker sign-off of the Building Permit set of drawings, the applicant shall submit window, door, base, and trim details for review and approval by the Landmarks plan checker.
18. **SIGNAGE.** Prior to Landmarks plan checker sign-off of the building permit set of drawings, the applicant shall submit complete signage details, including colors, materials, letter heights, dimensions, placement on building, and installation details. All materials will be matte unless otherwise noted. All non-temporary signage and awnings not previously approved and not listed in this application are prohibited.
19. **LIGHTING.** Prior to Landmarks plan checker sign-off of the building permit set of drawings, the applicant shall submit lighting details showing all existing and proposed site and building lighting. Exterior lighting, including for signage, shall be downcast and not cause glare on the public right-of-way and adjacent parcels.
20. **LANDSCAPE PLANS.** Prior to Landmarks plan checker sign-off of the Building Permit set of drawings, the applicant shall submit a Landscape plan including the number, location, and species of all proposed plantings, and which existing plantings shall be removed. The applicant shall provide irrigation for all landscaped areas or provide drought tolerant plant palette. This shall be called out on Landscape building permit drawings.
21. **LANDSCAPE IRRIGATION.** The applicant shall provide irrigation for all landscaped areas. This shall be called out on Landscape building permit drawings. (Add alternative per R-district requirement)
22. **CURB CUTS.** All curbs and curb cuts shall be constructed per the standards and specifications of the Public Works Department. Curb cuts no longer utilized shall be restored per the Public Works Department specifications.
23. The applicant shall be responsible for identifying and securing all applicable permits from the Building and Safety Division and all other affected City divisions/departments prior to the start of work.
24. The applicant is responsible for complying with all the above conditions. Failure to comply with any condition could result in construction work being stopped, issuance of citations, as well as further review by the Landmarks staff, which may modify or impose additional conditions, or revoke approval.

- 25.** All building permit drawings and subsequent construction shall substantially conform to the approved plans as outlined in Condition #1. Any modifications must be reviewed by the Landmarks plan checker to determine whether the modification requires approval.
- 26.** The applicant shall hold harmless, defend, and indemnify the City of Berkeley and its officers, agents, and employees against any and all liability, damages, claims, demands, judgments or other losses (including without limitation, attorney's fees, expert witness and consultant fees and other litigation expenses), referendum or initiative relating to, resulting from or caused by, or alleged to have resulted from, or caused by, any action or approval associated with the project. The indemnity includes without limitation, any legal or administrative challenge, referendum or initiative filed or prosecuted to overturn, set aside, stay or otherwise rescind any or all approvals granted in connection with the Project, any environmental determination made for the project and granting any permit issued in accordance with the project. This indemnity includes, without limitation, payment of all direct and indirect costs associated with any action specified herein. Direct and indirect costs shall include, without limitation, any attorney's fees, expert witness and consultant fees, court costs, and other litigation fees. City shall have the right to select counsel to represent the City at Applicant's expense in the defense of any action specified in this condition of approval. City shall take reasonable steps to promptly notify the Applicant of any claim, demand, or legal actions that may create a claim for indemnification under these conditions of approval.

GENERAL NOTES

1. THE CONTRACTOR SHALL EXECUTE THE WORK OF THIS PROJECT IN FULL COMPLIANCE WITH THE FOLLOWING CODE EDITIONS: 2022 CALIFORNIA RESIDENTIAL CODE (CRC), 2022 CALIFORNIA BUILDING CODE (CBC), 2022 CALIFORNIA HISTORICAL BUILDING CODE (CHBC), 2022 CMC, 2022 CPC, 2022 CFC & 2022 CEC AS AMENDED BY THE CITY OF BERKELEY AND 2022 TITLE 24 ENERGY STANDARDS. THE CBC IS BASED ON THE 2022 IBC, 2022 UMC, 2022 UPC, 2022 IFC & 2022 NEC. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL APPLICABLE REGULATIONS, LAWS, ORDINANCES AND ORDERS BY ANY PUBLIC AUTHORITY HAVING JURISDICTION OVER THE PROJECT. THE CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT IN A TIMELY FASHION ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF APPLICABLE CODES AND THE DRAWINGS OF WHICH THE CONTRACTOR IS OR BECOMES AWARE.

2. THE CONTRACTOR SHALL STUDY THE CONTRACT DOCUMENTS AND REPORT TO THE ARCHITECT IN WRITING ALL INCONSISTENCIES AND OMISSIONS HE FINDS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING CONDITIONS OF THE SITE AND PROJECT PRIOR TO COMMENCING WORK. IF THE CONTRACTOR PROCEEDS WITH ANY OF THE WORK WITHOUT INSTRUCTIONS OF THE ARCHITECT, WHERE SUCH INSTRUCTIONS ARE REQUIRED BY THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL MAKE GOOD AT HIS OWN COST ANY RESULTING ERROR, DAMAGE, OR DEFECTS.

3. WRITTEN DIMENSIONS ON DRAWINGS SHALL TAKE PRECEDENCE OVER DIMENSIONS SCALED FROM DRAWINGS. CONTRACTOR SHALL NOT SCALE DRAWINGS. IF A DIMENSION(S) HAS BEEN OMITTED THE CONTRACTOR SHALL BRING THIS TO THE ATTENTION OF THE ARCHITECT IN A TIMELY FASHION.

4. CONTRACTOR SHALL VERIFY DIMENSIONS AND DETAILS OF ALL PROJECT COMPONENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION CLEARANCES OF ALL ITEMS, INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL EQUIPMENT, AND CABINET WORK, TO BE INSTALLED IN THE PROJECT.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTION PROGRAMS IN CONNECTION WITH WORK, AND FOR MAINTAINING APPROPRIATE INSURANCE TO PROTECT THE CONTRACTOR, THE OWNER AND THE ARCHITECT.

6. CONTRACTOR SHALL PROTECT THE ADJACENT PROPERTY, THE PUBLIC AND SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY DUE TO HIS NEGLIGENCE.

7. THE ARCHITECT WILL ASSIST THE OWNER IN SUBMITTING PLANS TO THE DEPARTMENT OF BUILDINGS FOR BUILDING PERMIT APPLICATION. ARCHITECT WILL ANSWER BUILDING DEPARTMENT'S PLAN CHECK COMMENTS AND RE SUBMIT AS REQUIRED. THE OWNER WILL SECURE AND PAY FOR THE BUILDING PERMIT. CONTRACTOR WILL PAY FOR ALL OTHER PERMITS (INCLUDING ANY REQUIRED SIDEWALK SHED PERMITS, PARKING OR DUMPSTER PERMITS), LICENSES, INSPECTIONS AND THE LIKE REQUIRED TO EFFECT THE WORK OF THE CONTRACT DOCUMENTS THROUGH RECEIPT OF A CERTIFICATE OF OCCUPANCY.

8. CONTRACTOR SHALL CONSULT WITH REPRESENTATIVES OF APPLICABLE UTILITIES, INCLUDING BUT NOT LIMITED TO GAS, WATER, POWER, SEWER, TELEPHONE, AND CABLE TELEVISION, DETERMINE EXACT LOCATIONS AND AVAILABILITY OF UTILITIES, AND DETERMINE CONDITION OF EXISTING SERVICE PRIOR TO COMMENCING WORK. CONTRACTOR SHALL ADVISE ARCHITECT AND OWNER OF UNANTICIPATED CHANGES TO THE EXISTING SERVICES REQUIRED FOR THE SUCCESSFUL COMPLETION AND OPERATION OF THE PROJECT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.

9. CONTRACTOR SHALL ERECT AND MAINTAIN TEMPORARY BARRICADES AND DUST-PROOF PARTITIONS AS NEEDED FOR PROTECTION AGAINST NUISANCE AND ACCIDENT, AND SHALL CONTINUOUSLY MAINTAIN ADEQUATE PROTECTION OF HIS WORK AND THE OWNER'S PROPERTY FROM DAMAGE OR LOSS ARISING IN CONNECTION WITH THE WORK OF THIS PROJECT.

10. IMPROVEMENTS ON THE SITE, WORK IN PROGRESS, STORED MATERIALS ON PROPERTY SHALL BE PROTECTED BY THE CONTRACTOR FROM DAMAGE ARISING FROM THE WORK AND FROM NORMAL USE OF THE SITE DURING THE COURSE OF THE WORK WHETHER BY THE CONTRACTOR OR ANY OTHER PARTY. ALL ITEMS DAMAGED DUE TO INSUFFICIENT PROTECTION SHALL BE FULLY RESTORED TO THEIR PRIOR CONDITION BY THE CONTRACTOR AT NO COST TO THE OWNER.

11. PARTITION DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. OTHER COMPONENTS ARE DIMENSIONED TO DIMENSION POINTS SHOWN ON DETAILS, OR AS NOTED ON THE DRAWINGS.

12. NO PART OF THE STRUCTURE SHALL BE OVERLOADED BEYOND ITS SAFE CARRYING CAPACITY BY THE PLACING OF MATERIALS, EQUIPMENT, TOOLS, MACHINERY OR ANY OTHER ITEMS DURING THE COURSE OF THE CONTRACTOR'S WORK.

13. AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN HIS AND THE SURROUNDING AREA, REMOVE ALL WASTE MATERIALS AND RUBBISH FROM THE PROJECT AS WELL AS HIS OR HER TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SURPLUS MATERIALS. THE CONTRACTOR SHALL REMOVE PUTTY AND PAINT FROM ALL GLASS, MIRRORS, AND WASH AND POLISH SAME; REMOVE ALL LABELS, TAGS, GREASE, DIRT, STAINS, ETC. AND CLEAN ALL FIXTURES AND EQUIPMENT TO THE EXTENT OF RESTORING THEM TO THE ORIGINAL FINISH.

14. THE CONTRACTOR SHALL MAINTAIN A CURRENT COPY OF THE CBC & CRC ON SITE.

15. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE, CONSTRUCTION-IN-PROGRESS, AND STORED MATERIALS AND EQUIPMENT, WHETHER ON- OR OFF-SITE.

16. THE OWNER SHALL PAY FOR TESTING OF ANY MATERIALS DISCOVERED ON THE SITE BY THE ARCHITECT, OWNER OR CONTRACTOR SUSPECTED OF CONTAINING TOXIC SUBSTANCES REQUIRING SPECIAL REMOVAL AND DISPOSAL. CHANGES TO THE CONTRACT RESULTING FROM THE DISCOVERY, TESTING, OR REMOVAL OF SUCH MATERIALS (IF ANY) SHALL BE EFFECTED BY A CHANGE ORDER.

17. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ANY AND ALL WORK PROVIDED BY ANY AND ALL SUBCONTRACTORS. GENERAL NOTES THAT REFER TO "CONTRACTOR" INCLUDE ALL WORK PROVIDED BY SUBCONTRACTORS. CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, DIMENSIONS, AND CONDITIONS IN FIELD PRIOR TO THE START OF PROJECT AND AT APPROPRIATE TIMES DURING THE COURSE OF CONSTRUCTION BEFORE RELATED PROJECT PHASES.

18. EACH SUBCONTRACTOR IS CONSIDERED A SPECIALIST IN HIS RESPECTIVE FIELD AND SHALL, PRIOR TO THE SUBMISSION OF HIS BID AND THE PERFORMANCE OF WORK, NOTIFY THE CONTRACTOR OF ANY WORK CALLED OUT IN THE CONSTRUCTION DOCUMENTS WHICH CANNOT BE EXECUTED AS INDICATED OR CANNOT BE FULLY GUARANTEED. THE CONTRACTOR WILL THEN NOTIFY THE OWNER AND ARCHITECT PRIOR TO ACCEPTANCE OF SUBCONTRACTOR'S BID.

19. THE ARCHITECT HAS MADE THE ASSUMPTION THAT EXISTING CONCEALED CONDITIONS ARE STANDARD. THE CONTRACTOR WILL BE EXPECTED TO PERFORM THE NECESSARY WORK TO COMPLETE THE INDICATED CONSTRUCTION. IN THE EVENT THAT DEMOLITION REVEALS UNEXPECTED CONDITIONS, THE CONTRACTOR MUST INFORM THE OWNER AND ARCHITECT OF ANTICIPATED CHANGE ORDERS IN ADVANCE.

20. CONTRACTOR IS TO PROVIDE SAMPLES OF REQUESTED SUBMITTALS AND OF ALL PROPOSED MATERIAL SUBSTITUTIONS TO THE ARCHITECT FOR REVIEW. THE ARCHITECT WILL REQUIRE FIVE WORKING DAYS FOR REVIEW OF ALL SUBMITTALS INCLUDING SHOP DRAWINGS. SHOP DRAWINGS AND MATERIALS TO THE ARCHITECT WILL HAVE BEEN REVIEWED AND APPROVED BY THE CONTRACTOR. BY SUBMITTING SHOP DRAWINGS AND SUBMITTALS TO THE ARCHITECT, THE CONTRACTOR REPRESENTS THAT THE CONTRACTOR HAS DETERMINED AND VERIFIED MATERIAL, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION RELATED THERETO, AND HAS CHECKED AND COORDINATED THE INFORMATION CONTAINED WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND OF THE CONTRACT DOCUMENTS. THE ARCHITECT'S REVIEW OF SUBMITTALS AND SHOP DRAWINGS IS FOR CONFIRMATION OF DESIGN INTENT ONLY.

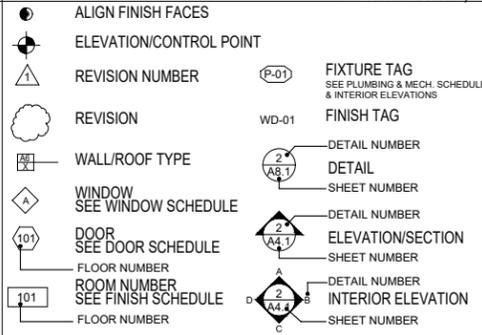
21. CONTRACTOR WILL BE RESPONSIBLE FOR PERMITS REQUIRED FOR CONSTRUCTION STAGING, PARKING, SIDEWALK, DRAINAGE AND/OR SEWER WORK IN THE PUBLIC RIGHT-OF-WAY.

22. THESE CONTRACT DOCUMENTS INTEND TO DESCRIBE A FINISHED PROJECT READY FOR LEGAL USE.

ABBREVIATIONS

&	AND	JT.	JOINT
L	ANGLE		
@	AT	LAM.	LAMINATE
CL	CENTER LINE	LT.	LIGHT
#	POUND OR NUMBER		
d	PENNY	M.B.	MACHINE BOLT
		MAX.	MAXIMUM
ACOUS.	ACOUSTIC	MECH.	MECHANICAL
ADJ.	ADJUSTABLE	MEMB.	MEMBRANE
APPROX.	APPROXIMATE	MET./MTL.	METAL/METAL
A.F.F.	ABOVE FINISH FLOOR	MFR.	MANUFACTURER
ALT.	ALTERNATE	MIN.	MINIMUM
ALLUM.	ALUMINUM	MISC.	MISCELLANEOUS
A.B.	ANCHOR BOLT	M.O.	MASONRY OPENING
		MTD.	MOUNTED
BD.	BOARD	MUL.	MULLION
BITUM.	BITUMINOUS		
BLDG.	BUILDING	(N)	NEW
BLK.	BLOCK	N	NORTH
BLKG.	BLOCKING	N.L.C.	NOT IN CONTRACT
B.O.T.	BOTTOM OF TRUSS	NO.	NUMBER
		N.T.S.	NOT TO SCALE
CLG.	CEILING	O.C.	ON CENTER
C.T.	CERAMIC TILE	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
CLKG.	CAULKING		
CLR.	CLEAR		
CONC.	CONCRETE	P. LAM.	PLASTIC LAMINATE
CONN.	CONNECTION	PLYWD.	PLYWOOD
CONSTR.	CONSTRUCTION	P.T.	PRESSURE-TREATED
C.J.	CONTROL JOINT	PTD.	PAINTED
CONT.	CONTINUOUS	PTN.	PARTITION
CTSK.	COUNTERSUNK		
CMU	CONCRETE MASONRY UNIT	Q.T.	QUARRY TILE
		R.	RISER
D	DEPTH	RAD.	RADIUS
DBL	DOUBLE	REF.	REFRIGERATOR
DET./DTL.	DETAIL	REINF.	REINFORCED
D.F.	DOUGLAS FIR	REQ.	REQUIRED
DIA.	DIAMETER	RESIL.	RESILIENT
DIM.	DIMENSION	RM.	ROOM
DN.	DOWN	R.O.	ROUGH OPENING
DWG.	DRAWING	RWD.	REDWOOD
		RWL.	RAINWATER LEADER
EA.	EACH	SASM	SELF ADHERED SHEET MEMB.
ELEC.	ELECTRICAL	SQ. FT.	SQUARE FEET
ELEV.	ELEVATION	SHT.	SHEET
E.P.	ELECTRICAL PANEL	SQ. IN.	SQUARE INCH
EQ.	EQUAL	SIM.	SIMILAR
(E)	EXISTING	S.L.D.	SEE LANDSCAPE DRAWING
EXP./JT.	EXPANSION JOINT	S.M.D.	SEE MECHANICAL DRAWING
EXT.	EXTERIOR	SPEC.	SPECIFICATIONS
		SQ.	SQUARE
F.D.	FLOOR DRAIN	S.S.	STAINLESS STEEL
F.E.	FIRE EXTINGUISHER	STD.	STANDARD
F.F.	FINISH FLOOR	STL.	STEEL
F.F.E.	FINISH FLOOR ELEVATION	STOR.	STORAGE
FIN.	FINISH	S.S.D.	SEE STRUCTURAL DRAWING
FL.	FLOOR		
F.O.C.	FACE OF CONCRETE	TEL.	TELEPHONE
F.O.F.	FACE OF FINISH	T&G	TONGUE AND GROOVE
F.O.M.	FACE OF MASONRY	T.	TREAD
F.O.S.H.	FACE OF STUD	THK.	THICK
FT.	FACE OF SHEATHING	TYP.	TYPICAL
FTG.	FOOTING	T.O.	TOP OF
FURR.	FURRING	T.O.C.	TOP OF CONCRETE
		T.O.O.	TOP OF OUTRIGGER
GA.	GAUGE	T.O.P.	TOP OF PLATE
G.C.	GENERAL CONTRACTOR	T.O.S.	TOP OF SLAB
GL.	GLASS	T.O.T.	TOP OF TRUSS
GSM.	GALVANIZED SHEET METAL		
GYP. BD./GWB.	GYP. WALL BOARD	U.O.N.	UNLESS OTHERWISE NOTED
		VERT.	VERTICAL
H	HEIGHT	V.I.F.	VERIFY IN FIELD
H.B.	HOSE BIB	V.G.	VERTICAL GRAIN
H.C.	HOLLOW CORE		
HDWD.	HARDWOOD	W	WIDTH
HW.	HARDWOOD	WD.	WOOD
HR.	HORIZONTAL	WDW.	WINDOW
HR.	HOUR	W/O	WITHOUT
HW	HARDWOOD	WP	WATERPROOF
IN.	INCH	WRC	WESTERN RED CEDAR
INTM.	INTERMEDIATE		
INSUL.	INSULATION		
INT.	INTERIOR		

SYMBOL LEGEND



GREEN BUILDING NOTES

**MOISTURE CONTENT OF BUILDING MATERIALS.** BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING:

- MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR CONTACT-TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE CITY OF BERKELEY AND SHALL SATISFY REQUIREMENTS FOUND IN CALGREEN SECTION 101.8.
- MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET TO 4 FEET FROM THE GRADE STAMPED END OF EACH PIECE TO BE VERIFIED.
- AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE CITY OF BERKELEY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING.

**INSULATION PRODUCTS.** INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURER'S DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.

CALIFORNIA HISTORICAL BUILDING CODE

THE AUTHORITY OF USE OF THE CHBC IS VESTED IN SECTIONS 18950 THROUGH 18961 OF THE HEALTH AND SAFETY CODE. **SECTION 18954. STATES** "THE BUILDING DEPARTMENT OF EVERY CITY OR COUNTY SHALL APPLY THE PROVISIONS OF ALTERNATIVE BUILDING STANDARDS AND BUILDING REGULATIONS ADOPTED BY THE CHBC BOARD PURSUANT TO SECTION 18959.5 IN PERMITTING REPAIRS, ALTERATIONS AND ADDITIONS NECESSARY FOR PRESERVATION, RESTORATION, REHABILITATION, MOVING OR CONTINUED USE OF AN HISTORICAL BUILDING OR STRUCTURE. A STATE AGENCY SHALL APPLY THE ALTERNATIVE BUILDING REGULATIONS ADOPTED BY THE CHBC BOARD PURSUANT TO SECTION 18959.5 IN PERMITTING REPAIRS, ALTERATIONS AND ADDITIONS NECESSARY FOR PRESERVATION, RESTORATION, REHABILITATION, MOVING OR CONTINUED USE OF AN HISTORICAL BUILDING OR STRUCTURE."

SCOPE OF WORK

- REPLACE SELECT WINDOWS, TRIM TO MATCH EXISTING MATERIAL AND COLOR
- RESTORE LEADED GLASS WINDOWS
- INSTALL NEW STANDING SEAM METAL ROOFING WITH INSULATION
- REPLACE REDWOOD SHAKES WITH NEW REDWOOD SHAKES W/ FIRE RETARDANT
- RESTORE ROOF FASCIA AND GUTTER TO MATCH EXISTING MATERIAL AND COLOR
- RETROFIT LIBRARY BALCONY AND REPLACE GUARDRAIL

PROJECT DESCRIPTION

**TABULATION FORM**

PROJECT ADDRESS: 1401 LE ROY AVENUE  
ASSESSOR'S PARCEL NO: 058 224400100

DESCRIPTION OF WORK:  
THE APPLICATION IS FOR

- REPLACE OF SELECT WINDOWS;
- RESTORE LEADED GLASS WINDOWS;
- NEW METAL ROOFING W/ INSULATION
- REPLACE SHAKE SHINGLES

THE TOTAL FOOTPRINT AND AREA OF THE BUILDING IS UNCHANGED.

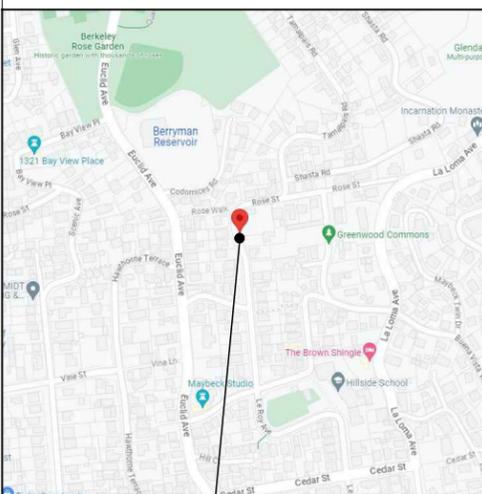
OCCUPANCY: RESIDENTIAL R-3  
CONSTRUCTION: TYPE VB  
ZONING: R-1H  
GENERAL PLAN AREA: LDR

TABULATION FORM:

	EXISTING	PROPOSED	ALLOWED/REQ.
DWELLING UNITS	1	1	1
PARKING SPACES	2	2	
FRONT YARD SETBACK	23'10"	NO CHANGE	
SIDE YARD SETBACK			
LEFT	99"	NO CHANGE	
RIGHT	50'9"	NO CHANGE	
REAR YARD SETBACK	62'0"	NO CHANGE	
BUILDING HT. - STORIES	3	NO CHANGE	3
AVERAGE	24'10"	NO CHANGE	28'0"
MAXIMUM	31'3"	NO CHANGE	35'0"
LOT AREA	20,298 SF	NO CHANGE	
GROSS FLOOR AREA	4,063 SF	NO CHANGE	
BUILDING FOOTPRINT	2,014 SF	NO CHANGE	
LOT COVERAGE	10%	NO CHANGE	

RELATED INFORMATION

- PERMIT B2023-01935 ISSUED 4/18/23 APPROVED TO ADD SOLAR PANELS.

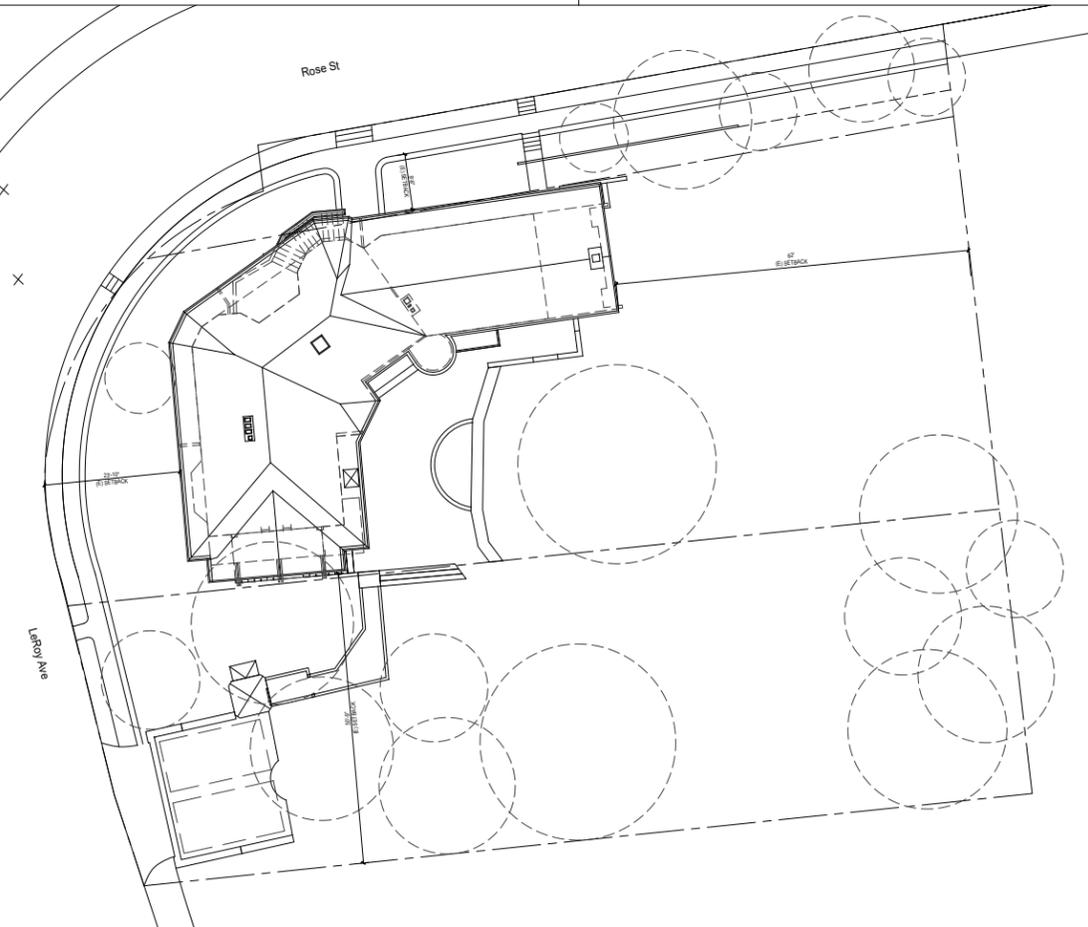


PROJECT SITE  
1401 LeRoy Avenue

VICINITY MAP  
FROM GOOGLE MAPS - NTS

DRAWING INDEX

SHEET NO. & TITLE	SUBMISSION & DATE
A0.0 GENERAL INFORMATION, SITE PLANS	X
A0.3 SITE PHOTOS	X
A0.31 SITE PHOTOS	X
A0.6 SCHEDULES & WALL TYPES	X
A0.7 MATERIAL PALETTE	X
A1.0 SITE PLAN EXISTING	X
A2.0 BASEMENT FLOOR PROPOSED	X
A2.1 FIRST FLOOR PLAN EXISTING / DEMO & PROPOSED	X
A2.2 SECOND FLOOR PLAN EXISTING / DEMO & PROPOSED	X
A2.3 ROOF PLAN EXISTING / DEMO	X
A2.4 ROOF PLAN PROPOSED	X
A3.0 EXTERIOR BUILDING ELEVATIONS - EXISTING & PROPOSED	X
A3.1 EXTERIOR BUILDING ELEVATIONS - EXISTING & PROPOSED	X
A3.2 EXTERIOR BUILDING ELEVATIONS - EXISTING & PROPOSED	X
A3.3 EXTERIOR BUILDING ELEVATIONS - EXISTING & PROPOSED	X
A3.4 EXTERIOR BUILDING ELEVATIONS - EXISTING & PROPOSED	X
A8.1 EXTERIOR DETAILS - ROOF	X
A8.2 EXTERIOR DETAILS - WALL	
A8.3 EXTERIOR DETAILS - WINDOWS	X
A8.4 EXTERIOR DETAILS - LIBRARY BALCONY	X



SITE PLAN  
FROM SANDBORN MAPS & TAX ASSESSORS PARCEL MAP  
1/16" = 10' (@ 24 x 36) 1/32" = 10' (@11 x 17)

ARCHITECT

architecture  
denise hall montgomery

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berkeley, ca 94703  
t 510.547.3040  
c 510.504.9394  
dhm@dhamarchitecture.com



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TITLE 24 ENERGY ANALYSIS

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DATE: 26.MAR.2024	SCALE: AS NOTED
JOB: 23003	DRAWN BY: dhm/ma

SHEET

GENERAL INFORMATION

A0.0



SUBJECT PROPERTY : EAST SIDE FACADE



SUBJECT PROPERTY : NORTH FRONT FACADE



SUBJECT PROPERTY : NORTH WEST CORNER FACADE



SUBJECT PROPERTY : WEST FRONT FACADE



SUBJECT PROPERTY : SOUTH SIDE FACADE

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SHEET

SITE PHOTOS

**A0.3**



SUBJECT PROPERTY : EAST INTERIOR FACADE



SUBJECT PROPERTY : SOUTH INTERIOR FACADE

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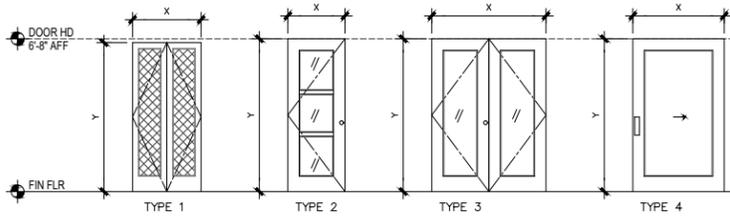
SITE PHOTOS

**A0.31**

# DOOR SCHEDULE

ID	ROOM NUM - NAME	TYPE	CONSERVATION		MANUFACTURER	DOOR CONFIG	DOOR SIZE			DOOR FINISH		FRAME FINISH		REMARKS	SAFETY GLAZING	
			STATUS	ISSUE			X - WIDTH	Y - HEIGHT	THK	EXT	INT	EXT	INT			HDWR
01	LIBRARY 200	1	f	1/2/4	CUSTOM	OUTSWING	3'-0"	6'-8"	1 3/4"	-	-	-	-	A	-	PRESERVE LEADED GLASS & RESTORE PER DOOR DETAIL
02	LIBRARY 200	1	f	1/2/4	CUSTOM	OUTSWING	3'-0"	6'-8"	1 3/4"	-	-	-	-	A	-	PRESERVE LEADED GLASS & RESTORE PER DOOR DETAIL
03	BEDROOM 3 - 219	2	g	3/4	-	OUTSWING	2'-8"	6'-8"	1 3/4"	-	-	-	-	C	-	
04	DINING 107	3	g	2/5	-	INSWING	4'-6"	6'-8"	1 3/4"	-	-	-	-	C	-	
05	LIVING ROOM 116	3	g	2/5	-	INSWING	5'-0"	6'-8"	1 3/4"	-	-	-	-	C	-	
06	STUDY 112	4	f	4	-	SLIDING	V.I.F.	V.I.F.	V.I.F.	-	-	-	-	A	-	REUSE EXISTING SLIDING DOOR
07	BEDROOM 1 - 010	NA	f	3	-	-	-	-	-	-	-	-	-	B	-	REPAIR EXISTING DOOR AS REQUIRED

## DOOR TYPES



## HARDWARE SCHEDULE

- ALL DOORS RECEIVE 2 HINGES, LATCHSET OR LOCKSET, FLOOR STOP, WALL BUMPER IF APPLICABLE, CLOSER OR HOLD OPEN AS NOTED.
- HARDWARE TYPE:
  - A. SALVAGE & PRESERVE EXISTING
  - B. PRIVACY LOCK
  - C. SECURITY LOCK

## MATERIAL AND FINISH KEY

- PTD: PAINTED
- CLR: CLEAR SEALED
- ST/SL: STAINED & SEALED
- SGC: STAIN GRADE CEDAR
- PGW: PAINT GRADE WOOD
- SGDF: PAINT GRADE DOUG. FIR
- PRWT: PRIMED WHITE
- BRZ AL: BRONZE ANODIZED ALUMINUM
- SGM: HOLLOW METAL
- GALV: GALVANIZED
- AL: ALUMINUM
- WD: WOOD
- ST. STL: STAINLESS STEEL
- GL: GLAZED
- SN: SATIN NICKEL

## GENERAL DOOR NOTES

- VERIFY ALL WALL THICKNESSES IN FIELD PRIOR TO ORDER.
- VERIFY ALL R.O. AND FRAME DIMS WITH PROPRIETARY DOOR FRAME MANUFACTURER'S STANDARDS AND REQUIREMENTS.
- DIMENSIONS OF ALL DOOR STILE AND RAILS ARE FROM LEAF EDGE TO PANEL DAYLIGHT EDGE, TYP.
- ALL GLASS DOOR PANELS SHALL BE CLEAR TEMPERED GLASS, U.O.N.
- SEE HARDWARE SCHEDULES FOR DOOR HARDWARE GROUPS.
- PROVIDE LOW-E INSULATED DOUBLE GLAZING FOR LITES IN ALL EXTERIOR DOORS, U.O.N.

## GENERAL WINDOW NOTES

- VERIFY QUANTITY OF WINDOWS WITH FLOOR PLANS.
- VERIFY DIRECTION OF SWING / ACTION WITH ELEVATIONS
- DIMENSIONS SHOWN ON WINDOW TYPE DIAGRAMS ARE FRAME OPENING, U.O.N.
- VERIFY ALL ROUGH OPENING DIMENSIONS IN FIELD PRIOR TO WINDOW FABRICATION.
- PROVIDE SAFETY GLAZING AS REQUIRED PER CBC 2406.4
- ALL EXTERIOR GLAZING TO BE DOUBLE-PANED, CLEAR, LOW-E INSULATED GLAZING UNITS, U.O.N.
- ALL OPERABLE WINDOWS TO BE "ROTO" STYLE.
- T = TEMPERED GLAZING
- PROVIDE 4" OPENING RESTRICTORS FOR OPERABLE WINDOWS W/ ILL BELOW 42"
- CONFIRM FINAL FINISH W/ ARCHITECT

## CALIFORNIA HISTORICAL BUILDING CODE

- REPAIRS TO ANY PORTION OF A QUALIFIED HISTORICAL BUILDING OR PROPERTY MAY BE IN-KIND WITH HISTORICAL MATERIALS AND THE USE OF ORIGINAL OR EXISTING HISTORICAL METHODS OF CONSTRUCTION, SUBJECT TO CONDITIONS OF THE CHBC, PER CHBC 8-105

## CONSERVATION STATUS KEY NOTE

- a. HISTORIC WINDOW TO REMAIN
- b. HISTORIC WINDOW TO BE REPLACED
- c. HISTORIC WINDOW TO BE RESTORED
- d. NON-HISTORIC WINDOW TO REMAIN
- e. NON-HISTORIC WINDOW TO BE REPLACED
- f. HISTORIC DOOR TO BE RESTORED
- g. HISTORIC DOOR TO BE REPLACED
- h. HISTORIC DOOR TO REMAIN
- j. NON-HISTORIC DOOR TO REMAIN

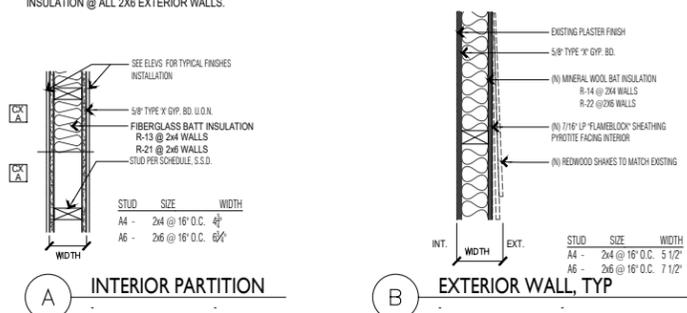
## CONSERVATION ISSUE KEY NOTE

- LEADED GLASS PULLING AWAY FROM SASH AND GLASS
- WATER DAMAGE
- DRY ROT
- OPERABILITY DAMAGED
- REPLACE TO MATCH

## WALL TYPES

### WALL ASSEMBLY NOTES:

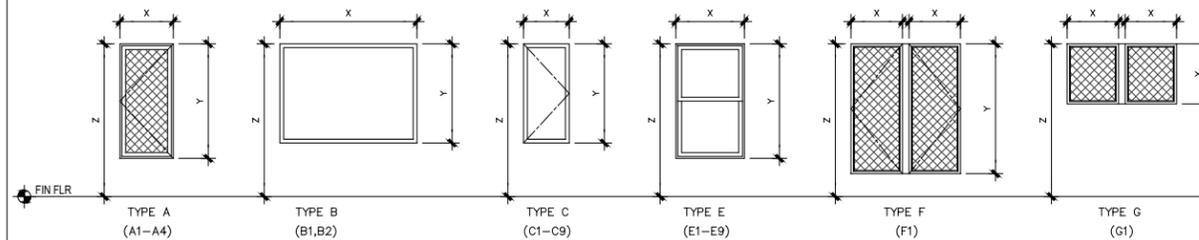
- INSTALL R-13 FIBERGLASS BATT INSULATION @ ALL 2X4 EXTERIOR WALLS. INSTALL R-19 FIBERGLASS BATT INSULATION @ ALL 2X6 EXTERIOR WALLS.



# WINDOW SCHEDULE

ID	LOCATION	ID	LOCATION	ROOM	TYPE	CONSERVATION		OPERATION	MANUFACTURER	FRAME OPENING			MATERIAL		FINISH		HARDWARE		REMARKS
						STATUS	ISSUE			WIDTH X	HEIGHT Y	FROM FF Z	EXT	INT	EXT	INT	STYLE	FINISH	
A1	LIVING ROOM	A1	LIVING ROOM	116	A	c	1/5	CASEMENT	CUSTOM	2'-4"	5'-0"	6'-10"	-	-	-	-	-	-	PRESERVE LEADED GLASS & RESTORE PER A8.3 / 1,2,3
A2	LIVING ROOM	A2	LIVING ROOM	116	A	c	1/5	CASEMENT	CUSTOM	2'-4"	5'-0"	6'-10"	-	-	-	-	-	-	PRESERVE LEADED GLASS & RESTORE PER A8.3 / 1,2,3
A3	LIVING ROOM	A3	LIVING ROOM	116	A	c	1/5	CASEMENT	CUSTOM	2'-4"	5'-0"	6'-10"	-	-	-	-	-	-	PRESERVE LEADED GLASS & RESTORE PER A8.3 / 1,2,3
A4	LIVING ROOM	A4	LIVING ROOM	116	A	c	1/5	CASEMENT	CUSTOM	2'-4"	5'-0"	6'-10"	-	-	-	-	-	-	PRESERVE LEADED GLASS & RESTORE PER A8.3 / 1,2,3
B1	LIVING ROOM	B1	LIVING ROOM	116	B	b	4/5	FIXED	MARVIN CUSTOM WOOD	6'-0"	4'-4"	6'-1"	-	-	-	-	-	-	
B2	STUDY	B2	STUDY	112	B	b	4/5	FIXED	MARVIN CUSTOM WOOD	5'-0"	5'-0"	6'-10"	-	-	-	-	-	-	
B3	BEDROOM 5	B3	BEDROOM 5	214	B	b	4/5	FIXED	MARVIN CUSTOM WOOD	2'-0"	4'-5"	6'-4"	-	-	-	-	-	-	
C1	LIVING ROOM	C1	LIVING ROOM	116	C	b	2/4/5	CASEMENT	MARVIN CUSTOM WOOD	2'-0"	4'-4"	6'-1"	-	-	-	-	-	-	
C2	LIVING ROOM	C2	LIVING ROOM	116	C	b	2/4/5	CASEMENT	MARVIN CUSTOM WOOD	2'-0"	4'-4"	6'-1"	-	-	-	-	-	-	
C3	BEDROOM 5	C3	BEDROOM 5	214	C	e	5/6	CASEMENT	MARVIN CUSTOM WOOD	2'-0"	4'-5"	6'-4"	-	-	-	-	-	-	
C4	BEDROOM 5	C4	BEDROOM 5	214	C	e	5/6	CASEMENT	MARVIN CUSTOM WOOD	2'-0"	4'-5"	6'-4"	-	-	-	-	-	-	
C5	BEDROOM 5	C5	BEDROOM 5	214	C	b	2/5	CASEMENT	MARVIN CUSTOM WOOD	2'-0"	4'-5"	6'-4"	-	-	-	-	-	-	
C7	BEDROOM 5	C7	BEDROOM 5	214	C	b	2/5	CASEMENT	MARVIN CUSTOM WOOD	2'-0"	4'-5"	6'-4"	-	-	-	-	-	-	
C8	KITCHENETTE	C8	KITCHENETTE	007	C	e	2/5	DOUBLE CASEMENT	MARVIN CUSTOM WOOD	3'-0"	3'-3"	6'-6.5"	-	-	-	-	-	-	
C9	KITCHENETTE	C9	KITCHENETTE	007	C	e	2/5	DOUBLE CASEMENT	MARVIN CUSTOM WOOD	3'-0"	3'-3"	6'-6.5"	-	-	-	-	-	-	
E1	DINING	E1	DINING	107	E	b	5/3	DOUBLE HUNG	MARVIN CUSTOM WOOD	3'-0"	2'-10.5"	6'-10"	-	-	-	-	-	-	
E2	DINING	E2	DINING	107	E	b	5/3	DOUBLE HUNG	MARVIN CUSTOM WOOD	2'-10"	5'-0"	6'-10"	-	-	-	-	-	-	
E3	DINING	E3	DINING	107	E	b	5/3	DOUBLE HUNG	MARVIN CUSTOM WOOD	2'-10"	5'-0"	6'-10"	-	-	-	-	-	-	
E4	BATH 3	E4	BATH 3	220	E	b	5/3	DOUBLE HUNG	MARVIN CUSTOM WOOD	2'-0"	4'-5"	6'-4"	-	-	-	-	-	-	
E5	BATH 3	E5	BATH 3	220	E	b	5/3	DOUBLE HUNG	MARVIN CUSTOM WOOD	2'-0"	4'-5"	6'-4"	-	-	-	-	-	-	
E6	BEDROOM 3	E6	BEDROOM 3	219	E	b	5/3	DOUBLE HUNG	MARVIN CUSTOM WOOD	2'-0"	4'-5"	6'-4"	-	-	-	-	-	-	
E7	BATH 5	E7	BATH 5	215	E	b	5/3	DOUBLE HUNG	MARVIN CUSTOM WOOD	2'-0"	4'-0"	6'-4"	-	-	-	-	-	-	
E10	BEDROOM 1	E10	BEDROOM 1	010	E	b	5/3	DOUBLE HUNG	MARVIN CUSTOM WOOD	3'-2"	4'-0"	6'-6.5"	-	-	-	-	-	-	
E11	BEDROOM 1	E11	BEDROOM 1	010	E	b	5/3	DOUBLE HUNG	MARVIN CUSTOM WOOD	3'-2"	4'-0"	6'-6.5"	-	-	-	-	-	-	
E12	BEDROOM 1	E12	BEDROOM 1	010	E	b	5/3	DOUBLE HUNG	MARVIN CUSTOM WOOD	3'-2"	4'-0"	6'-6.5"	-	-	-	-	-	-	
E13	BEDROOM 1	E13	BEDROOM 1	010	E	b	5/3	DOUBLE HUNG	MARVIN CUSTOM WOOD	2'-5"	4'-0.5"	7'-2.5"	-	-	-	-	-	-	
E14	BEDROOM 1	E14	BEDROOM 1	010	E	b	5/3	DOUBLE HUNG	MARVIN CUSTOM WOOD	2'-5"	4'-0.5"	7'-2.5"	-	-	-	-	-	-	
E15	BATH 1	E15	BATH 1	011	E	b	5/3	CASEMENT	MARVIN CUSTOM WOOD	-	-	7'-2.5"	-	-	-	-	-	-	
E20	STUDY	E20	STUDY	112	E	b	5/3	DOUBLE HUNG	MARVIN CUSTOM WOOD	3'-0"	5'-0"	6'-10"	-	-	-	-	-	-	
E21	STUDY	E21	STUDY	112	E	b	5/3	DOUBLE HUNG	MARVIN CUSTOM WOOD	2'-10"	5'-0"	6'-10"	-	-	-	-	-	-	
E22	1/2 BATH	E22	1/2 BATH	110	E	b	5/3	DOUBLE HUNG	MARVIN CUSTOM WOOD	1'-6.5"	3'-0"	6'-10"	-	-	-	-	-	-	
E23	STAIR	E23	STAIR	003	E	b	5/3	DOUBLE HUNG	MARVIN CUSTOM WOOD	2'-0"	3'-0"	6'-10"	-	-	-	-	-	-	
E30	REAR HALL	E30	REAR HALL	202	E	b	5/3	DOUBLE HUNG	MARVIN CUSTOM WOOD	3'-0"	4'-4.5"	6'-4.5"	-	-	-	-	-	-	
E31	BATH 2	E31	BATH 2	205	E	b	3/5/6	DOUBLE HUNG	MARVIN CUSTOM WOOD	2'-0"	3'-0"	6'-7"	-	-	-	-	-	-	
E32	BATH 2	E32	BATH 2	205	E	b	3/5	DOUBLE HUNG	MARVIN CUSTOM WOOD	2'-0"	3'-0"	6'-7"	-	-	-	-	-	-	
F1	STAIR 4	F1	STAIR 4	111	F	c	1/2/4	CASEMENT	CUSTOM	4'-9.5"	5'-8"	-	-	-	-	-	-	-	PRESERVE LEADED GLASS & RESTORE PER A8.3 / 1,2,3
G1	STAIR 4	G1	STAIR 4	111	G	c	1/2/4	FIXED	CUSTOM	4'-9.5"	2'-7.5"	-	-	-	-	-	-	-	PRESERVE LEADED GLASS & RESTORE PER A8.3 / 1,2,3

## WINDOW TYPES



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DATE: 26.MAR.2024 SCALE: AS NOTED  
JOB: 23003 DRAWN BY: dhm/ma

SHEET

SCHEDULES &  
WALL TYPES

A0.6

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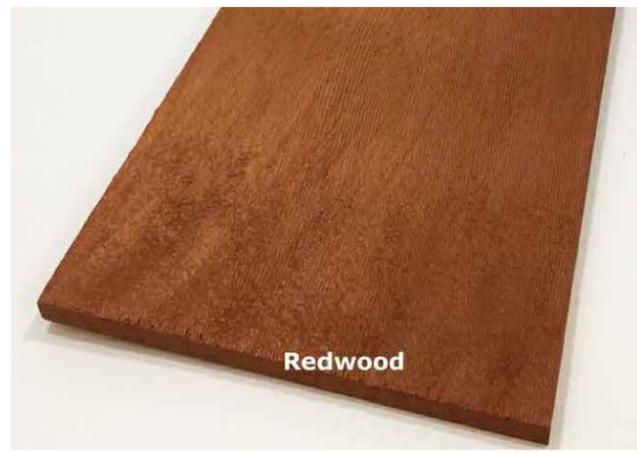
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SHEET

**MATERIAL PALETTE**

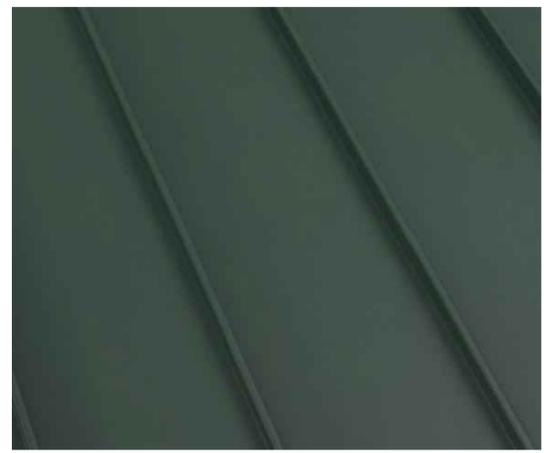
**A0.7**



EXTERIOR FINISHES:  
REDWOOD SHAKES TO MATCH EXISTING



EXTERIOR FINISHES:  
STANDING SEAM METAL ROOF IN PINE GREEN OR MEDIUM BRONZE



GUARDRAIL:  
LIBRARY BALCONY GUARDRAIL TO MATCH  
INTERIOR TOWER STAIR GUARDRAIL



WINDOW REPLACEMENT:  
NEW CUSTOM MARVIN DOUBLE HUNG PRIMED  
WOOD WINDOW TO MATCH EXISTING  
EXTERIOR: GREEN SASH AND REDWOOD FRAME  
INTERIOR: WHITE SASH AND FRAME



WINDOW REPLACEMENT:  
NEW CUSTOM WOOD WINDOW SASH TO  
ACCOMMODATE LEADED GLASS AND NEW  
DOUBLE PANE GLASS  
EXTERIOR: GREEN SASH AND REDWOOD FRAME  
INTERIOR: WHITE SASH AND FRAME



EXTERIOR FINISHES:  
WINDOW RESTORATION TO MATCH EXISTING GREEN  
SASH AND REDWOOD FRAME



INTERIOR FINISHES:  
LEADED GLASS WINDOW RESTORATION TO  
MATCH EXISTING WHITE SASH AND FRAME



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SHEET

**SITE PLAN  
EXISTING**

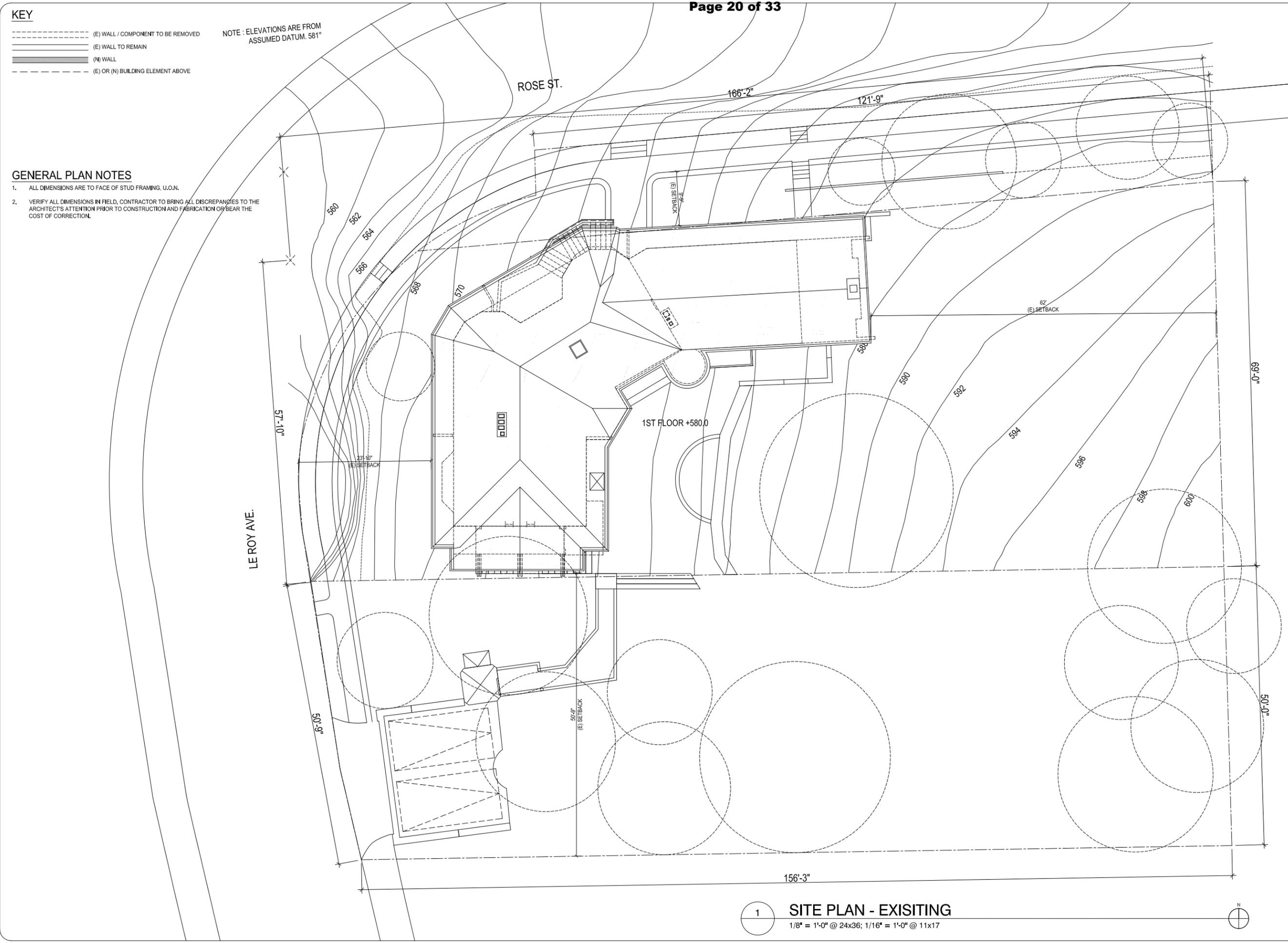
**A1.0**

- KEY**
- (E) WALL / COMPONENT TO BE REMOVED
  - \_\_\_\_\_ (E) WALL TO REMAIN
  - ===== (N) WALL
  - (E) OR (N) BUILDING ELEMENT ABOVE

NOTE : ELEVATIONS ARE FROM  
ASSUMED DATUM. 581'

**GENERAL PLAN NOTES**

1. ALL DIMENSIONS ARE TO FACE OF STUD FRAMING, U.O.N.
2. VERIFY ALL DIMENSIONS IN FIELD. CONTRACTOR TO BRING ALL DISCREPANCIES TO THE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION AND FABRICATION OR BEAR THE COST OF CORRECTION.



1 **SITE PLAN - EXISITING**  
1/8" = 1'-0" @ 24x36; 1/16" = 1'-0" @ 11x17



KEY

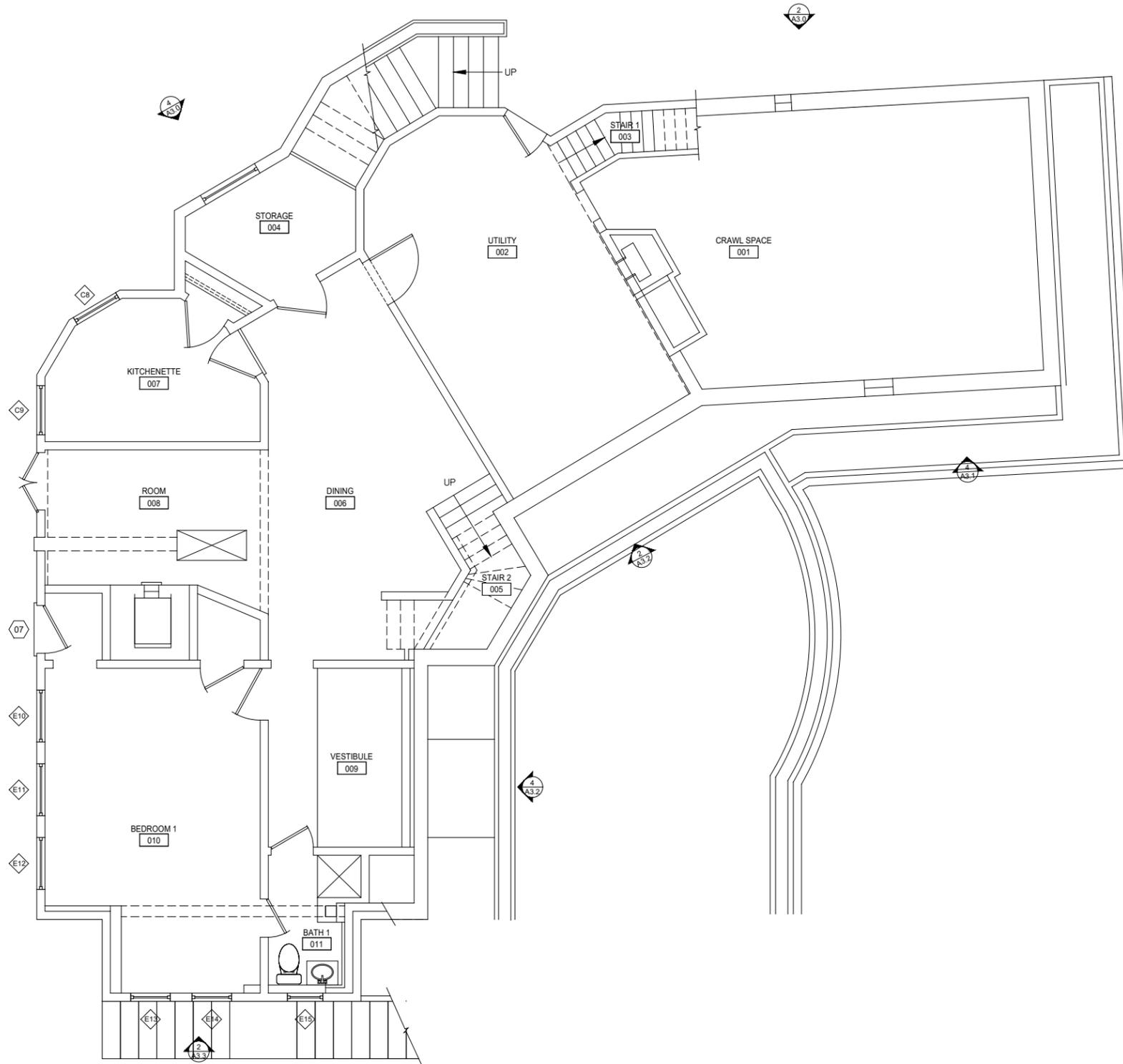
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SHEET NOTES

1 xxxxxxxxxxxx



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SHEET

**BASEMENT FLOOR PLAN  
PROPOSED**

**A2.0**

KEY

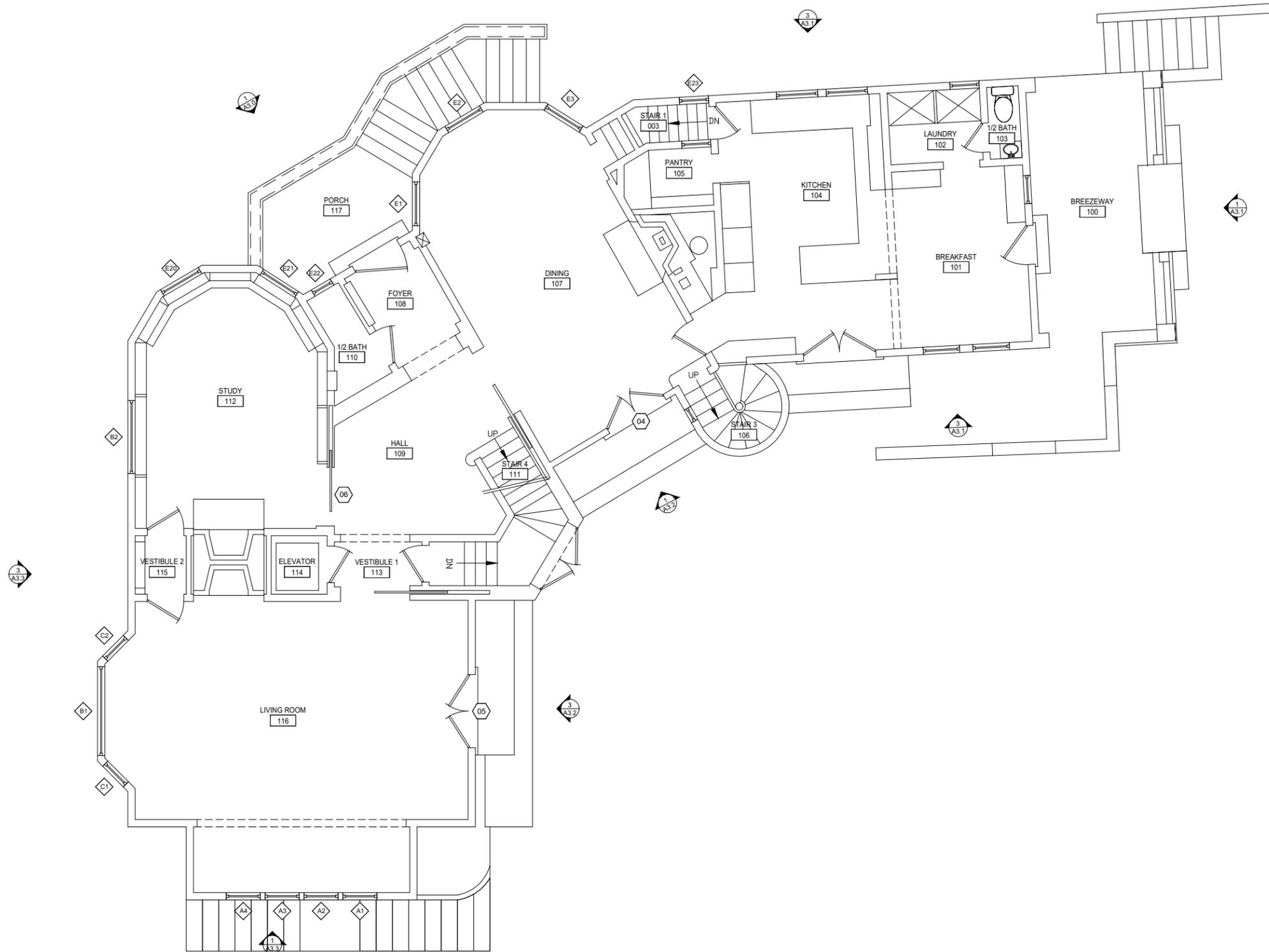
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- \_\_\_\_\_ (E) WALL TO REMAIN
- ▬ (N) WALL
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SHEET NOTES

1 xxxxxxxxxxxx



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SHEET

**FIRST FLOOR PLAN  
EXISTING/DEMO  
& PROPOSED**

**A2.1**

1 **FIRST FLOOR PLAN - PROPOSED - NO CHANGE**  
1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17



KEY

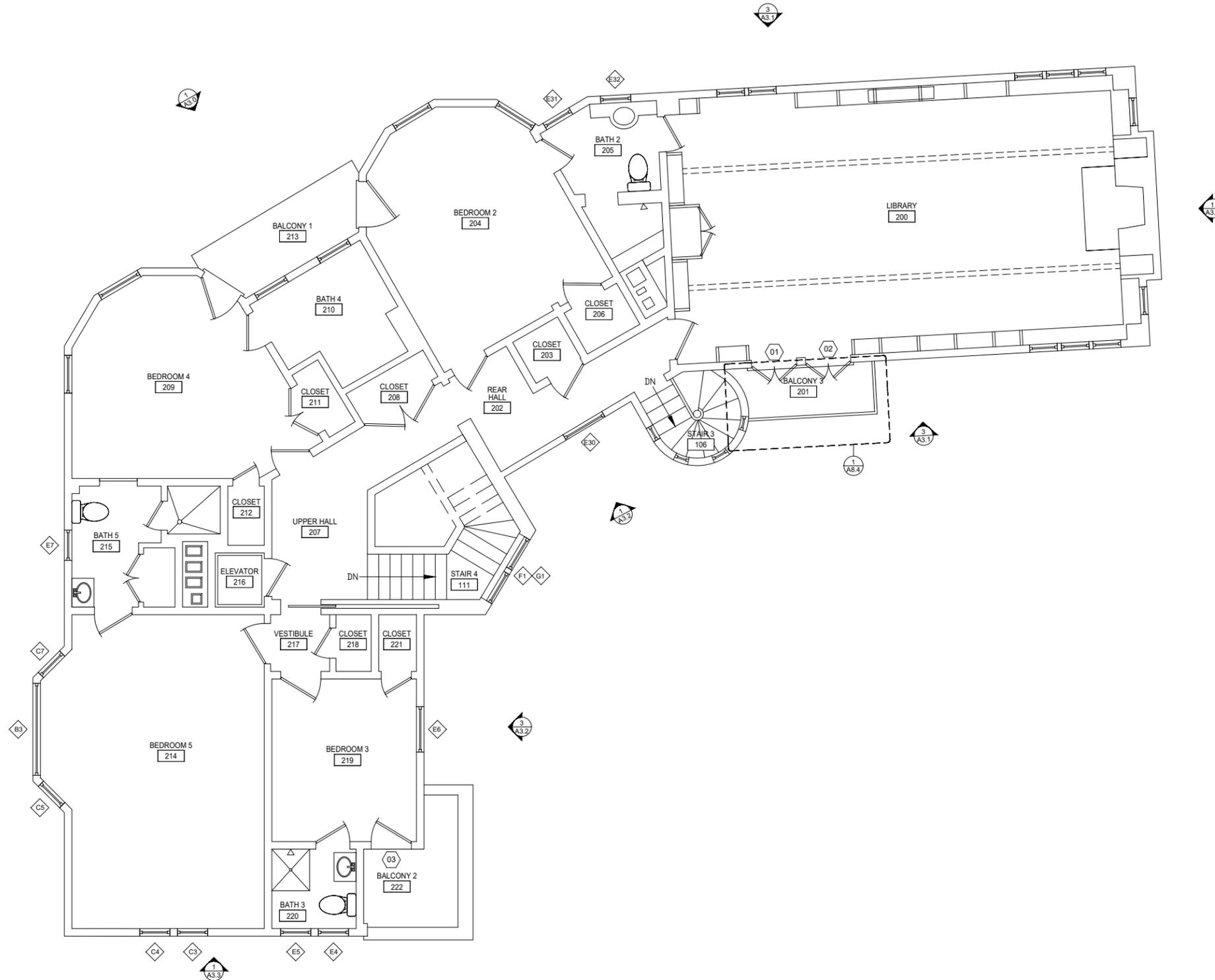
- (E) WALL / COMPONENT TO BE REMOVED
- \_\_\_\_\_ (E) WALL TO REMAIN
- ▬ (N) WALL
- (E) OR (N) BUILDING ELEMENT ABOVE

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SHEET NOTES

1 xxxxxxxxxxxx



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SHEET

**SECOND FLOOR PLAN  
EXISTING/DEMO  
& PROPOSED**

**A2.2**

1 SECOND FLOOR PLAN - PROPOSED  
1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17



**KEY**

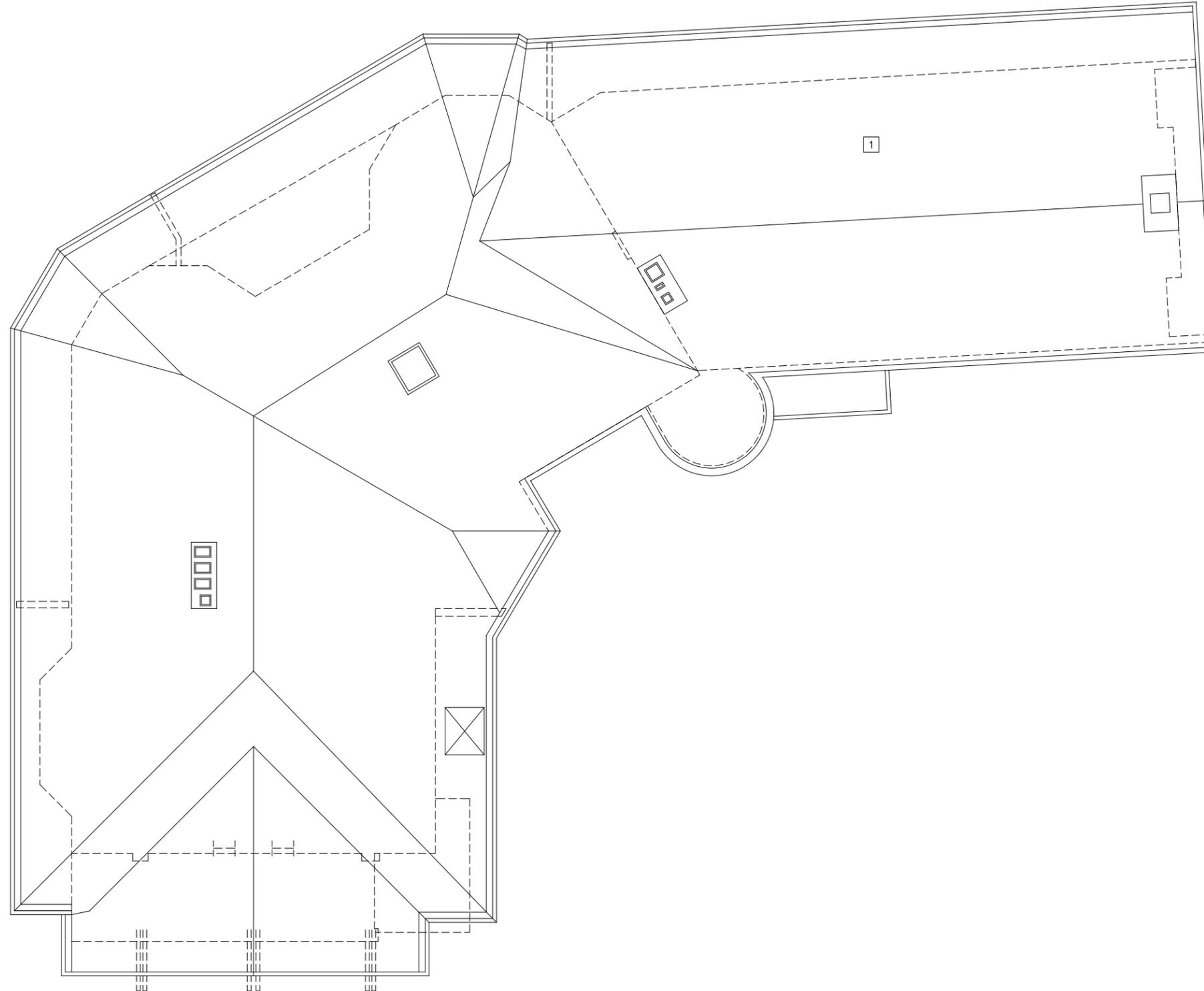
- (E) WALL / COMPONENT TO BE REMOVED
- ===== (E) WALL TO REMAIN
- ===== (N) WALL
- (E) OR (N) BUILDING ELEMENT ABOVE

**GENERAL PLAN NOTES**

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2. VERIFY ALL DIMENSIONS IN FIELD. CONTRACTOR TO BRING ALL DISCREPANCIES TO THE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION AND FABRICATION OR BEAR THE COST OF CORRECTION.

**SHEET NOTES**

- 1 EXISTING CAP SHEET ROOF MATERIAL



1 **ROOF PLAN - EXISTING**  
 1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17



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SHEET

**ROOF PLAN EXISTING**

**A2.3**

**KEY**

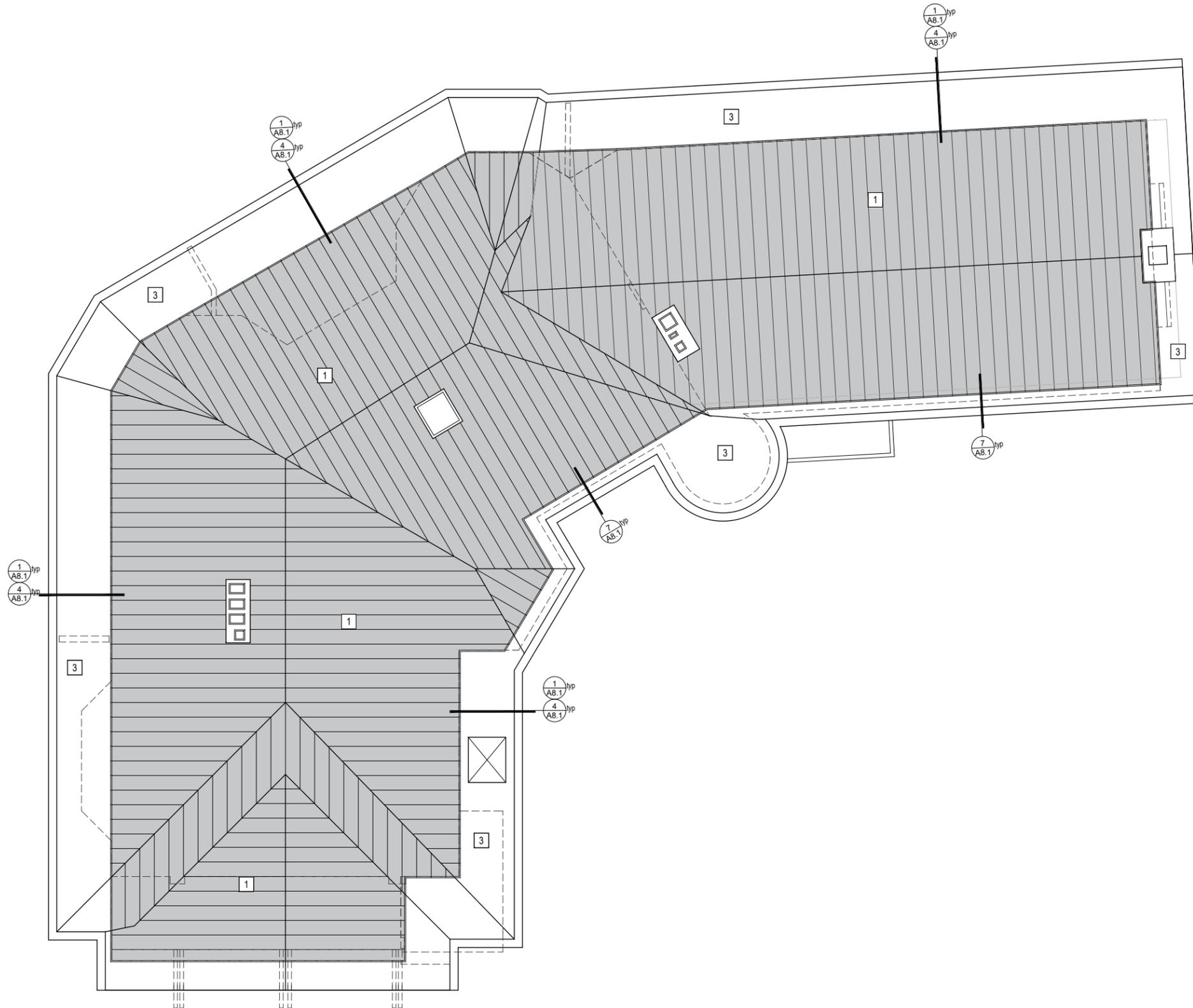
- (E) WALL / COMPONENT TO BE REMOVED
- ===== (E) WALL TO REMAIN
- - - - - (E) OR (N) BUILDING ELEMENT ABOVE
- (N) INSULATED ROOF

**GENERAL PLAN NOTES**

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**SHEET NOTES**

- 1 NEW INSULATED, STANDING SEAM METAL ROOF
- 2 SHADED AREA INDICATES EXTENT OF ROOF INSULATION
- 3 NEW SHEET METAL ROOF



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TITLE 24 ENERGY ANALYSIS

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DATE:	26.MAR.2024	SCALE:	AS NOTED
JOB:	23003	DRAWN BY:	dhm/ma

SHEET

**ROOF PLAN  
PROPOSED**

**A2.4**

1 **ROOF PLAN - PROPOSED**  
1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17



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**denise hall montgomery**

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c 510.504.9394  
dhm@dnhmarchitecture.com



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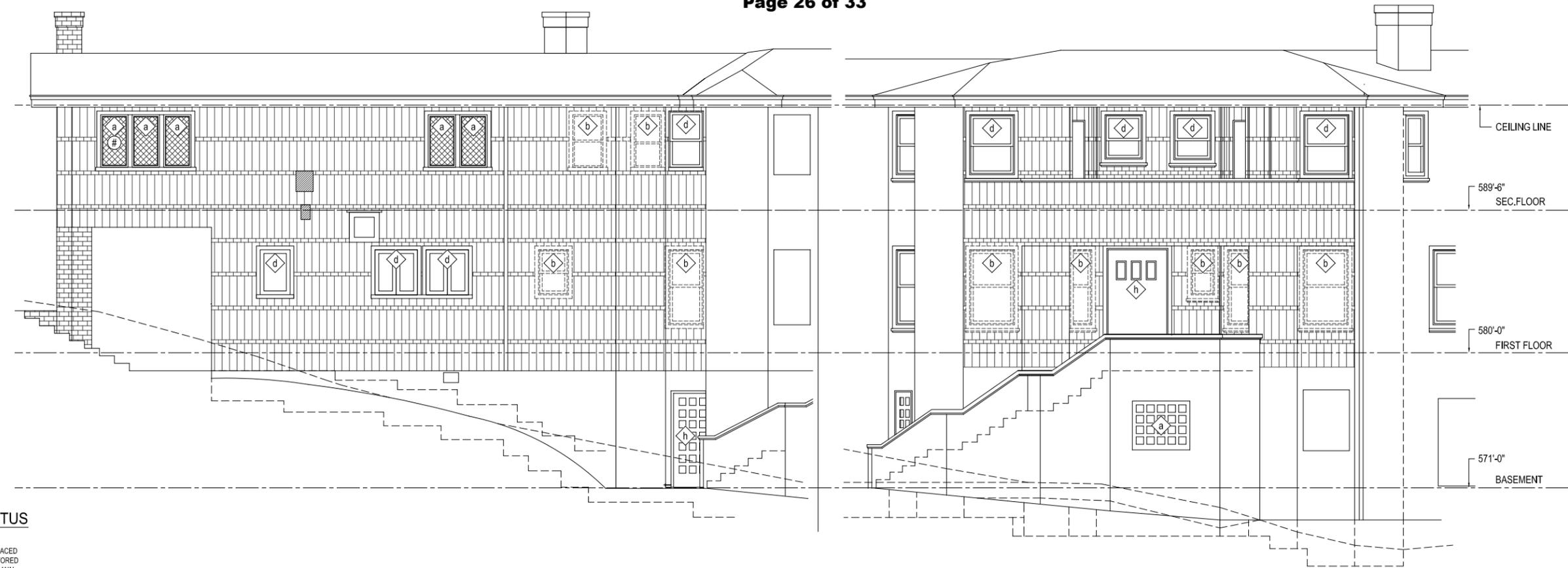
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SHEET

**EXTERIOR BUILDING ELEV. EXISTING & PROPOSED**

**A3.0**



**4 NORTH (FRONT) ELEV EXISTING**  
1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17

**2 NORTH - WEST (FRONT) ELEV EXISTING**  
1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17

- CONSERVATION STATUS**
- a. HISTORIC WINDOW TO REMAIN
  - b. HISTORIC WINDOW TO BE REPLACED
  - c. HISTORIC WINDOW TO BE RESTORED
  - d. NON-HISTORIC WINDOW TO REMAIN
  - e. NON-HISTORIC WINDOW TO BE REPLACED
  - f. HISTORIC DOOR TO BE RESTORED
  - g. HISTORIC DOOR TO BE REPLACED
  - h. HISTORIC DOOR TO REMAIN
  - i. HISTORIC DOOR TO REMAIN
  - j. NON-HISTORIC DOOR TO REMAIN

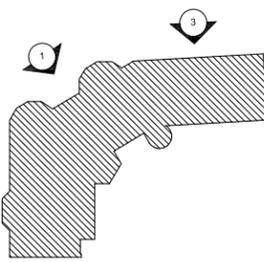


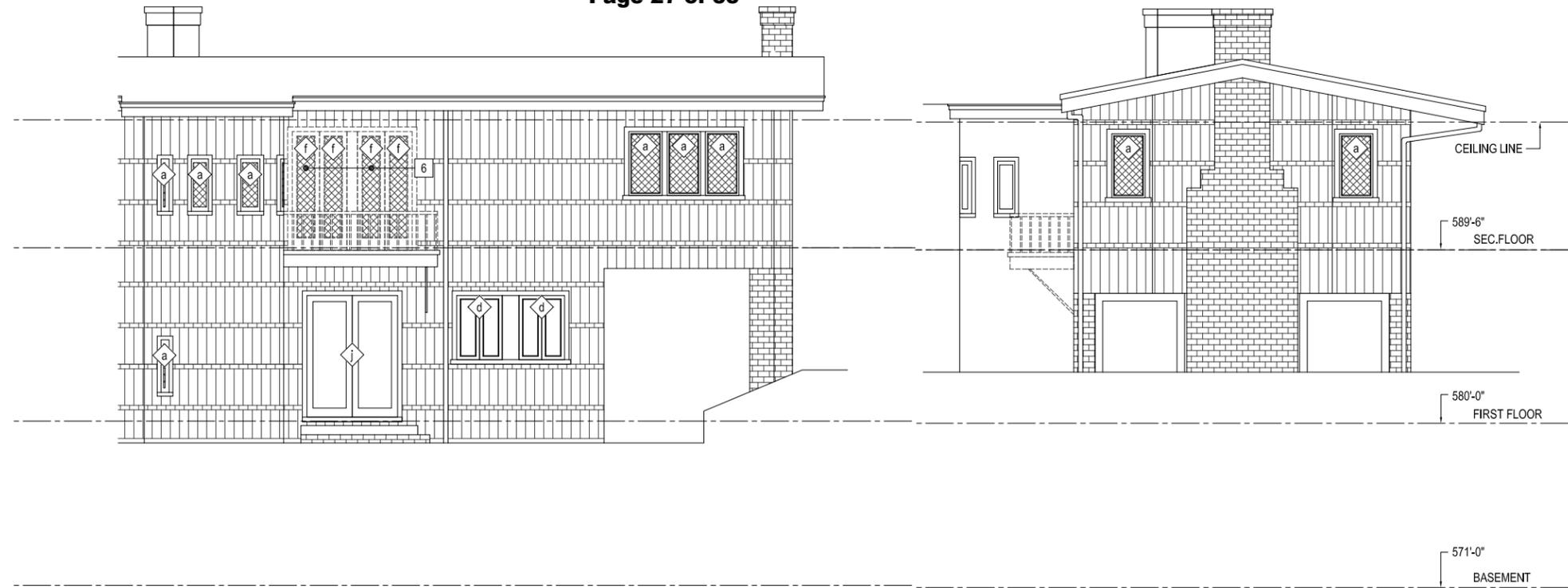
**3 NORTH (FRONT) ELEV PROPOSED**  
1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17

**1 NORTH - WEST (FRONT) ELEV PROPOSED**  
1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17

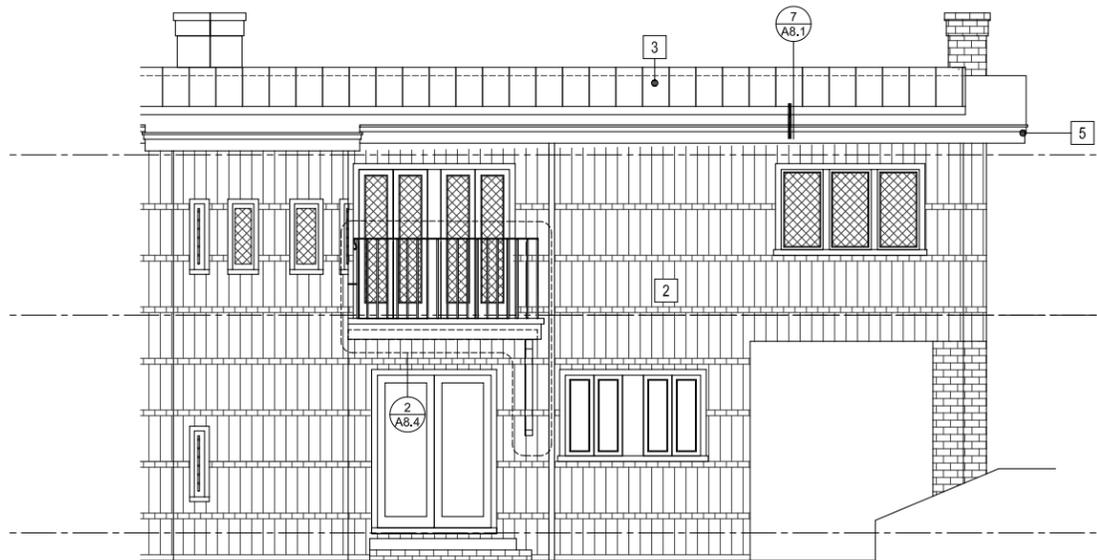
- KEY**
- - - - - ELEMENT TO REMOVE

- SHEET NOTES**
- 1 REMOVE METAL PATCH
  - 2 REPLACE REDWOOD SHAKES WITH REDWOOD SHAKES W/FIRE RETARDANT, HISTORIC MATERIAL, PER WALL TYPE B
  - 3 NEW STANDING SEAM METAL ROOF WITH INSULATION
  - 4 WINDOW TRIM TO MATCH EXISTING MATERIAL AND COLOR, HISTORIC MATERIAL
  - 5 ROOF FASCIA AND GUTTER TO MATCH EXISTING MATERIAL AND COLOR, HISTORIC MATERIAL
  - 6 SALVAGE AND PROTECT LEADED GLASS WINDOWS TO BE RESTORED



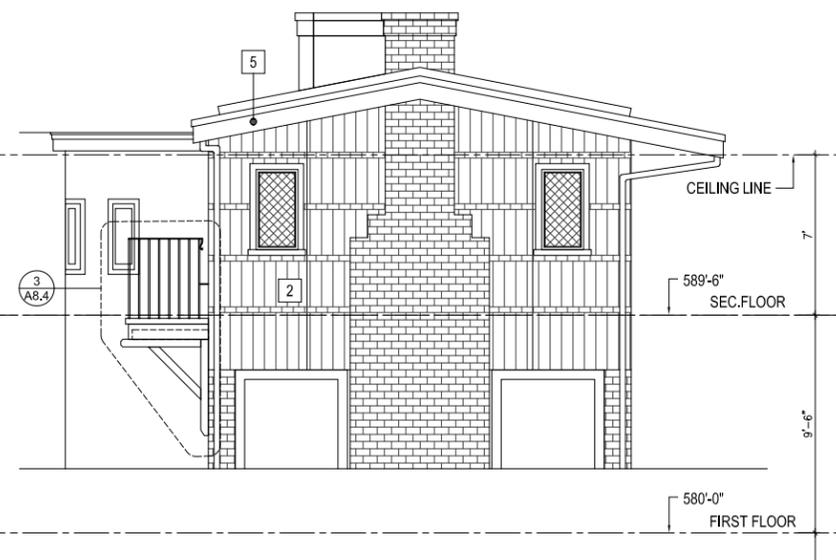


**4 SOUTH (SIDE) ELEV EXISTING**  
 1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17



**3 SOUTH (BACK) ELEV PROPOSED**  
 1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17

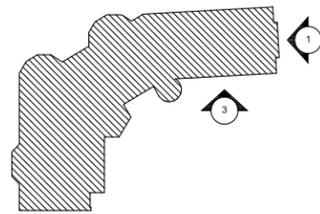
**2 EAST (SIDE) ELEV EXISTING**  
 1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17



**1 EAST (SIDE) ELEV PROPOSED**  
 1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17

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- c. HISTORIC WINDOW TO BE RESTORED
- d. NON-HISTORIC WINDOW TO REMAIN
- e. NON-HISTORIC WINDOW TO BE REPLACED
- f. HISTORIC DOOR TO BE RESTORED
- g. HISTORIC DOOR TO BE REPLACED
- h. HISTORIC DOOR TO REMAIN
- i. HISTORIC DOOR TO BE RESTORED
- j. NON-HISTORIC DOOR TO REMAIN



**KEY**

--- ELEMENT TO REMOVE

**SHEET NOTES**

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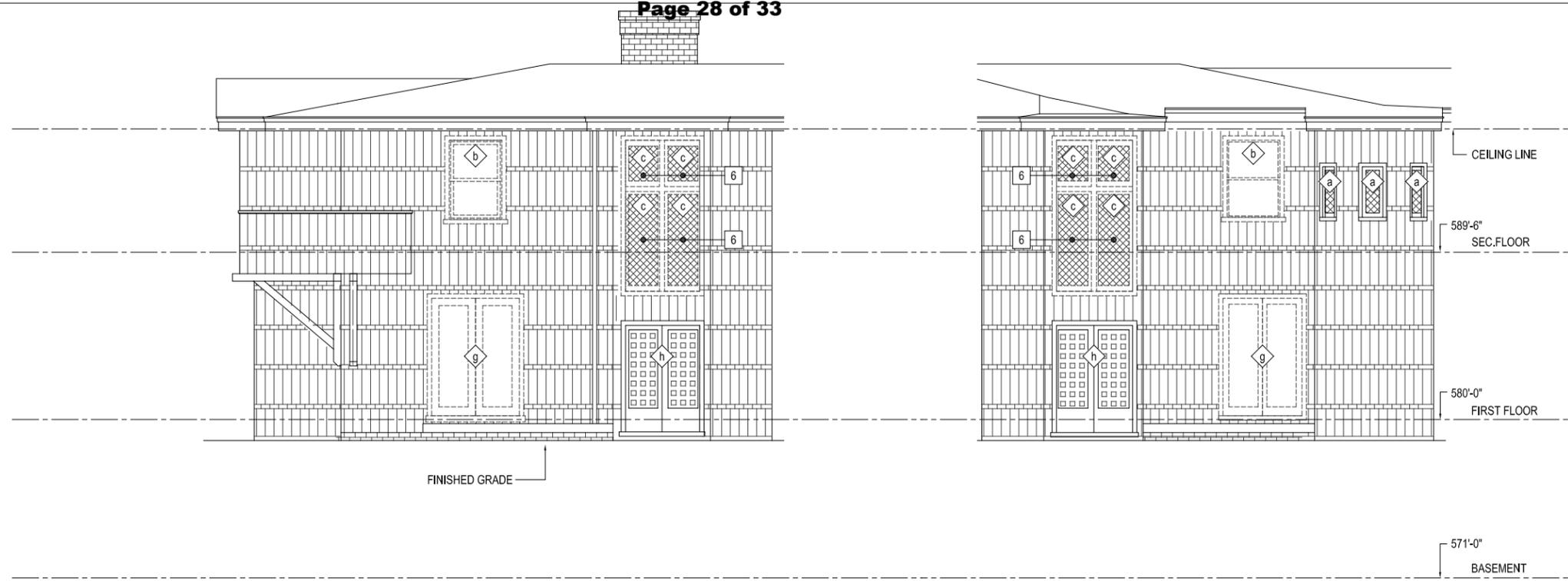
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SHEET

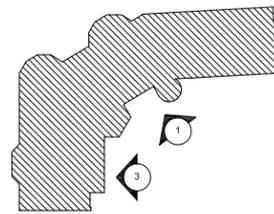
**EXTERIOR BUILDING ELEV. EXISTING & PROPOSED**

**A3.1**

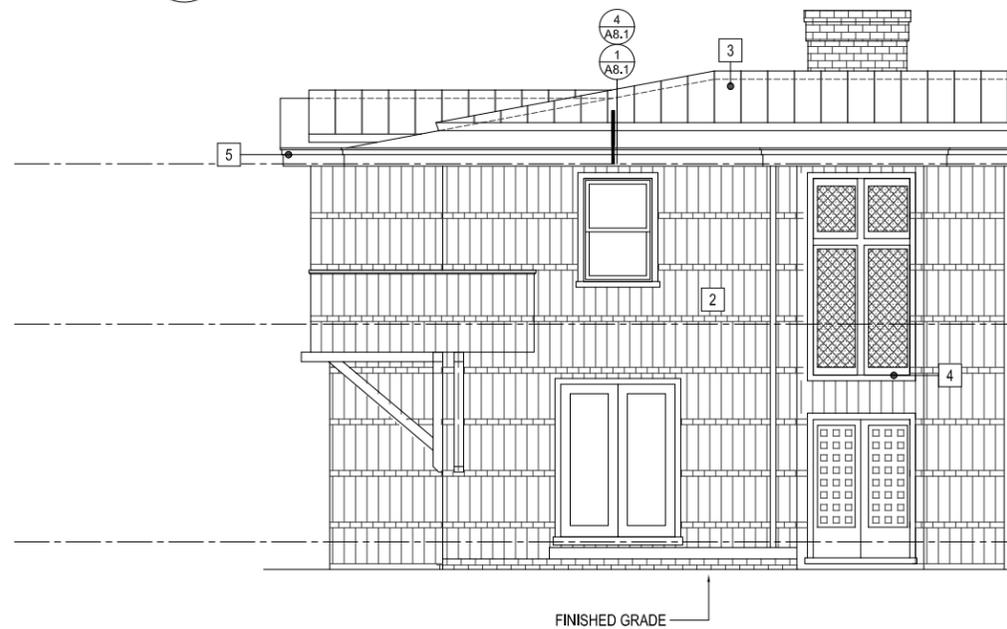


**CONSERVATION STATUS**

- a. HISTORIC WINDOW TO REMAIN
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- c. HISTORIC WINDOW TO BE RESTORED
- d. NON-HISTORIC WINDOW TO REMAIN
- e. NON-HISTORIC WINDOW TO BE REPLACED
- f. HISTORIC DOOR TO BE RESTORED
- g. HISTORIC DOOR TO BE REPLACED
- h. HISTORIC DOOR TO REMAIN
- i. HISTORIC DOOR TO BE RESTORED
- j. NON-HISTORIC DOOR TO REMAIN

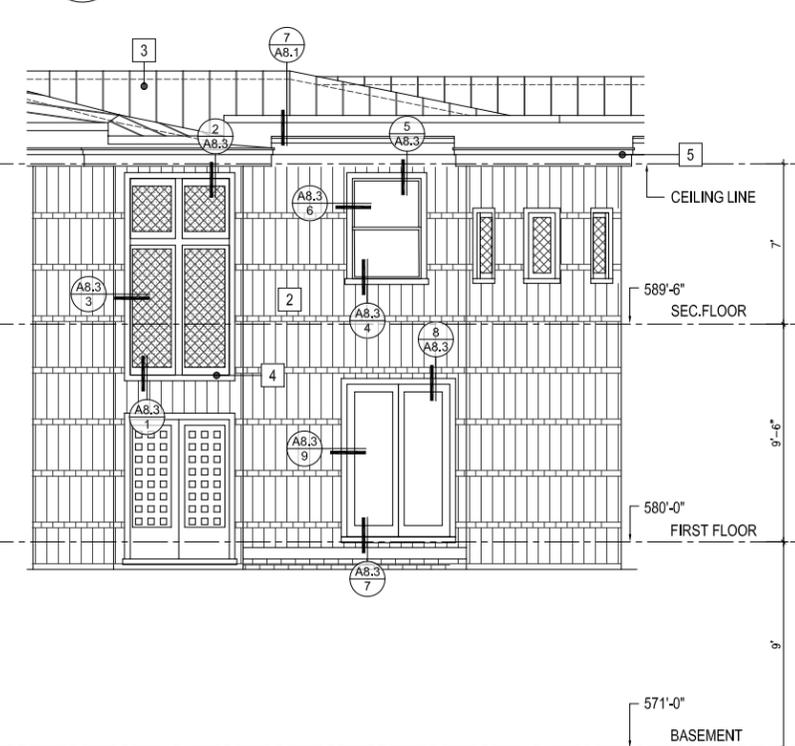


**4 EAST (BACK) ELEV EXISTING**  
 1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17



**3 EAST (BACK) ELEV PROPOSED**  
 1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17

**2 SOUTH - EAST (BACK) ELEV EXISTING**  
 1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17



**1 SOUTH - EAST (BACK) ELEV PROPOSED**  
 1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17

**KEY**

--- ELEMENT TO REMOVE

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SHEET

**EXTERIOR  
BUILDING  
ELEV. EXISTING  
& PROPOSED**

**A3.2**

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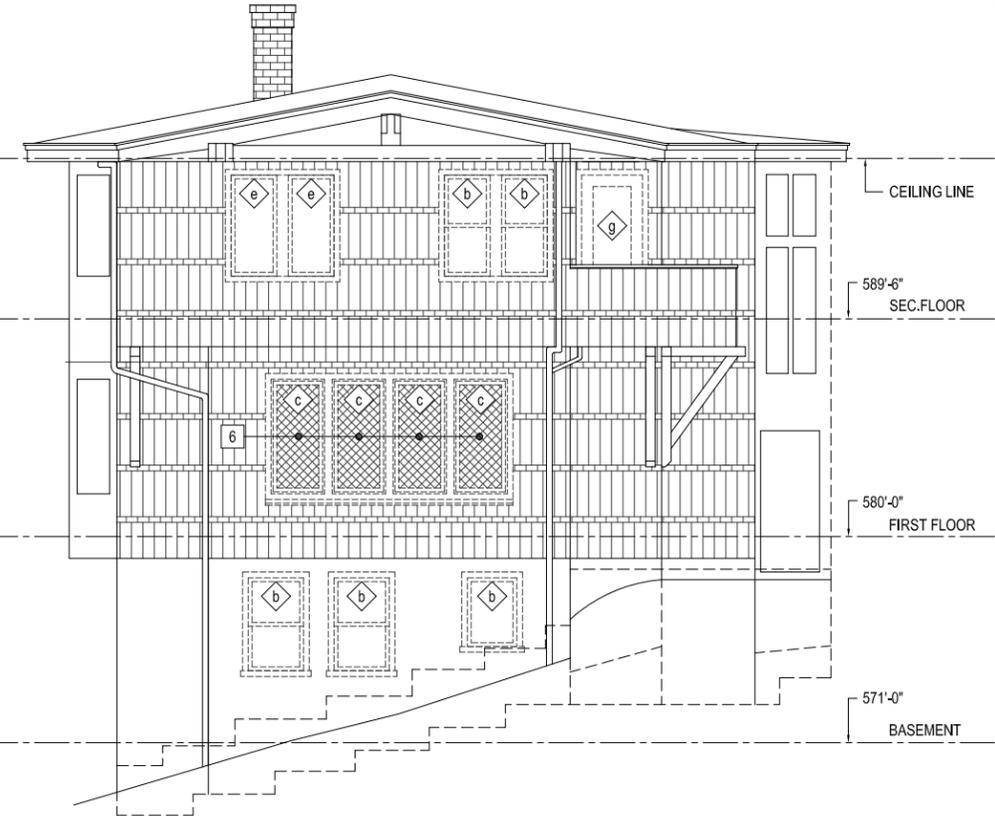
SHEET

**EXTERIOR  
BUILDING  
ELEV. EXISTING  
& PROPOSED**

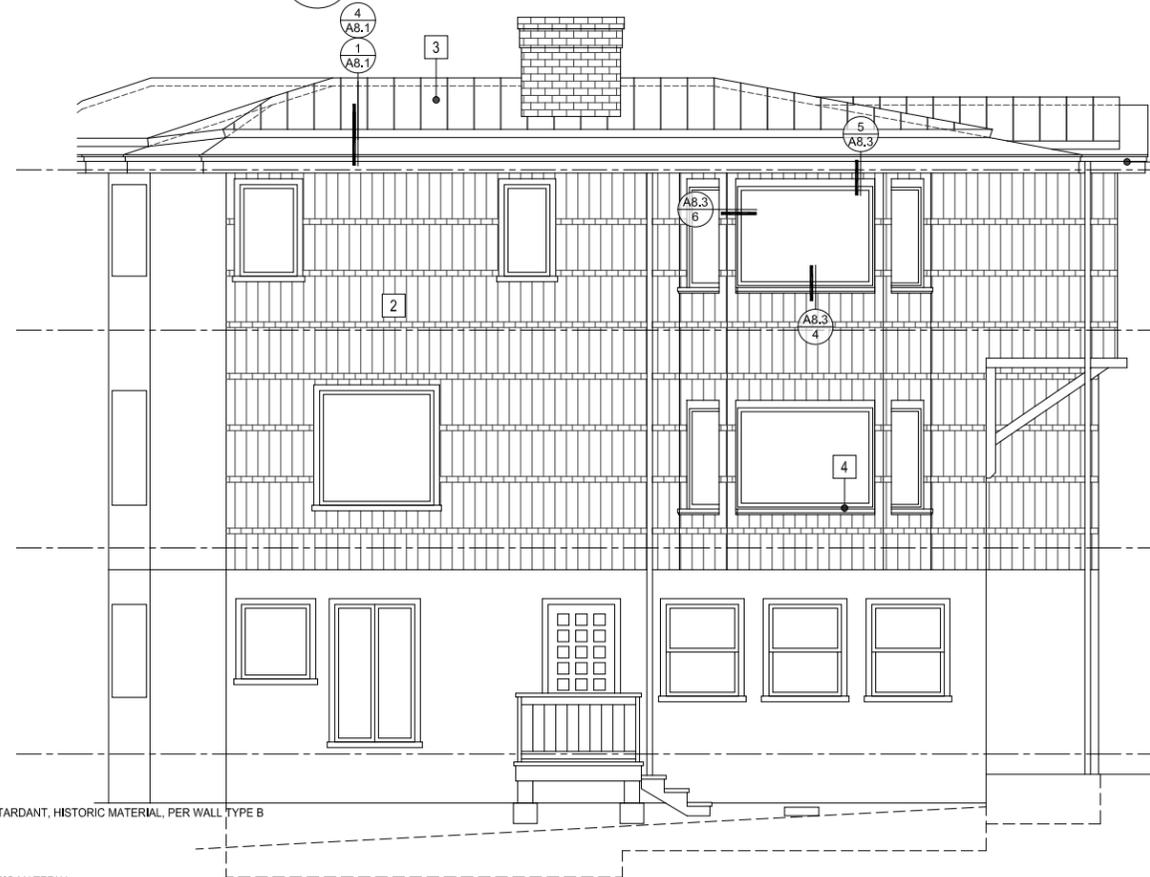
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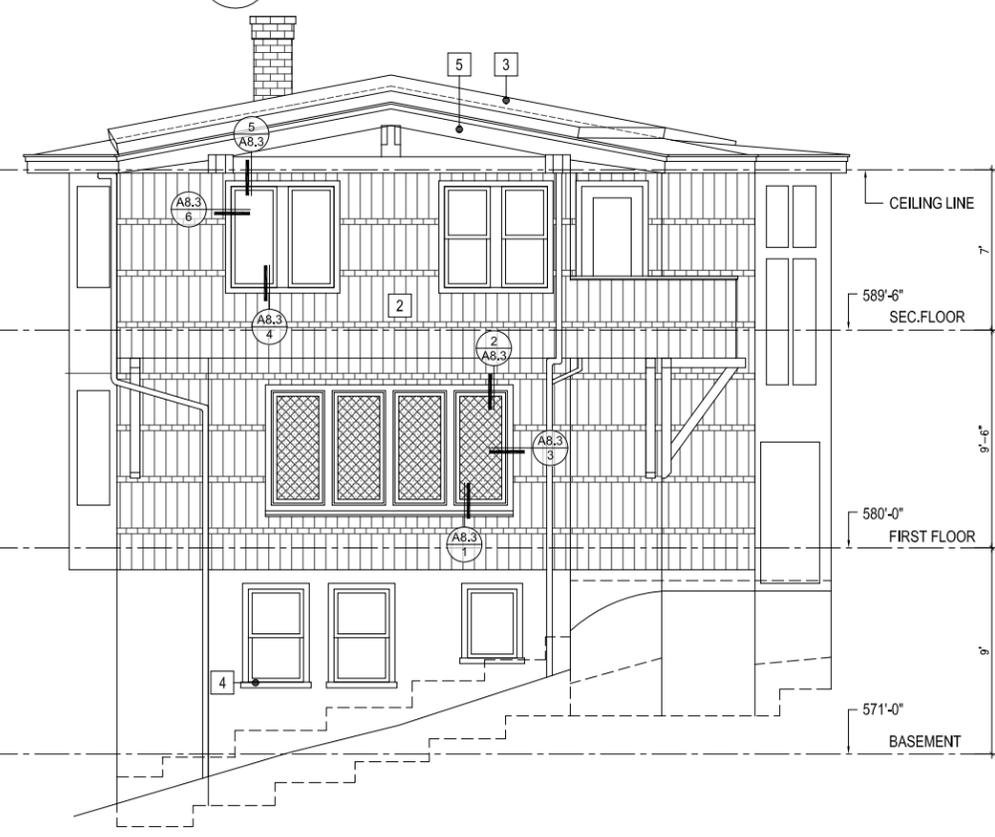
**4 WEST (FRONT) ELEV EXISTING**  
1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17



**2 SOUTH (SIDE) ELEV EXISTING**  
1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17



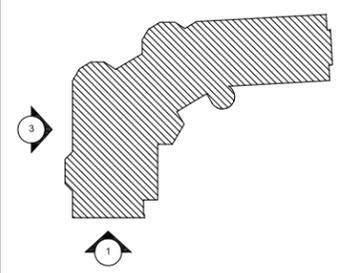
**3 WEST (FRONT) ELEV PROPOSED**  
1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17



**1 SOUTH (SIDE) ELEV PROPOSED**  
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- c. HISTORIC WINDOW TO BE RESTORED
- d. NON-HISTORIC WINDOW TO REMAIN
- e. NON-HISTORIC WINDOW TO BE REPLACED
- f. HISTORIC DOOR TO BE RESTORED
- g. HISTORIC DOOR TO BE REPLACED
- h. HISTORIC DOOR TO REMAIN
- i. HISTORIC DOOR TO BE RESTORED
- j. NON-HISTORIC DOOR TO REMAIN



**KEY**

--- ELEMENT TO REMOVE

**SHEET NOTES**

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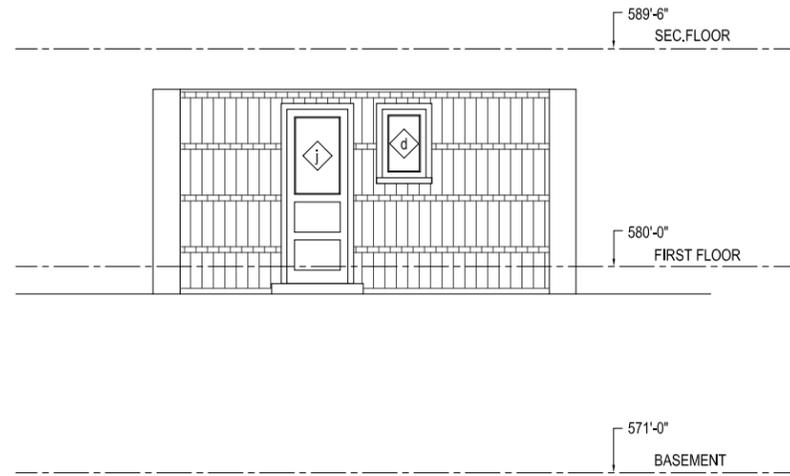
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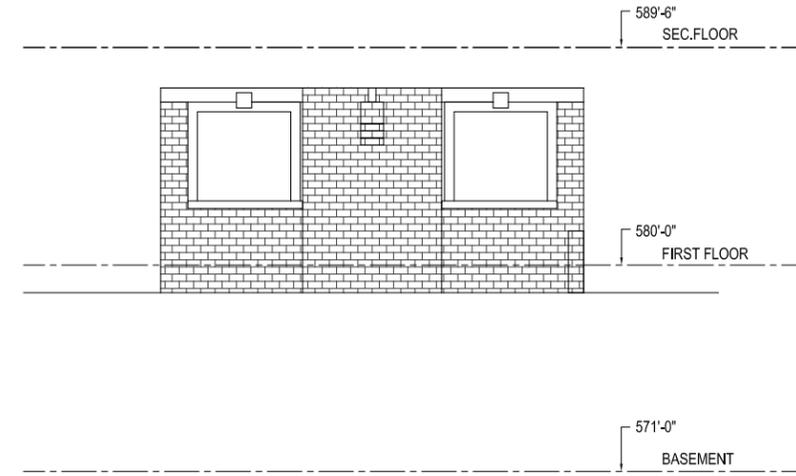
**EXTERIOR  
BUILDING  
ELEV. EXISTING  
& PROPOSED**

**A3.4**



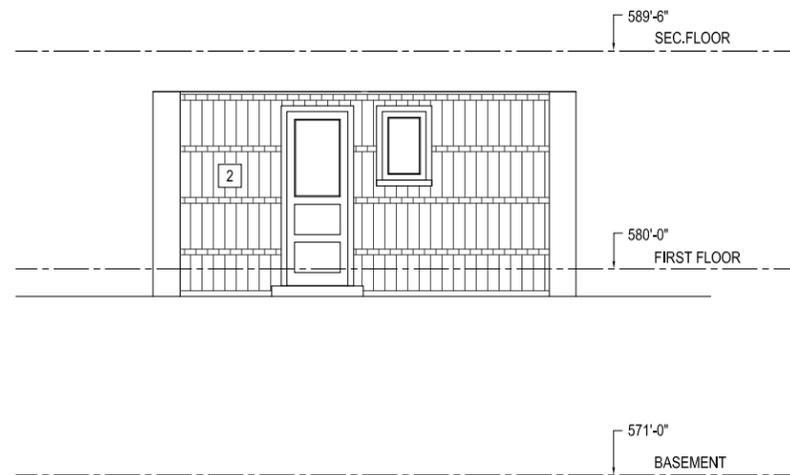
**4 INNER EAST (SIDE) ELEV EXISTING**

1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17



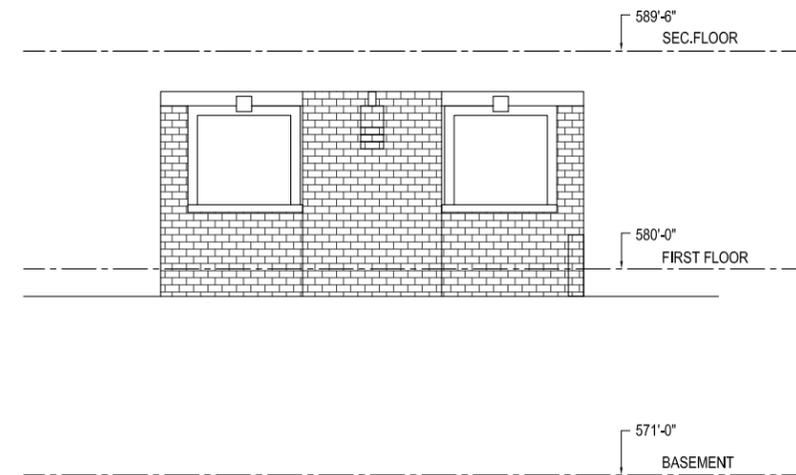
**2 OUTER EAST (SIDE) ELEV EXISTING**

1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17



**3 INNER EAST (SIDE) ELEV - NO CHANGE**

1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17

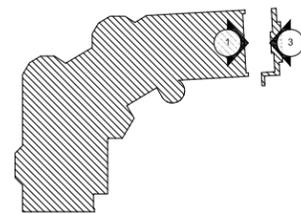


**1 OUTER EAST (SIDE) ELEV - NO CHANGE**

1/4" = 1'-0" @ 24x36; 1/8" = 1'-0" @ 11x17

CONSERVATION STATUS

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- f. HISTORIC DOOR TO BE RESTORED
- g. HISTORIC DOOR TO BE REPLACED
- h. HISTORIC DOOR TO REMAIN
- i. NON-HISTORIC DOOR TO REMAIN
- j. NON-HISTORIC DOOR TO REMAIN



KEY

--- ELEMENT TO REMOVE

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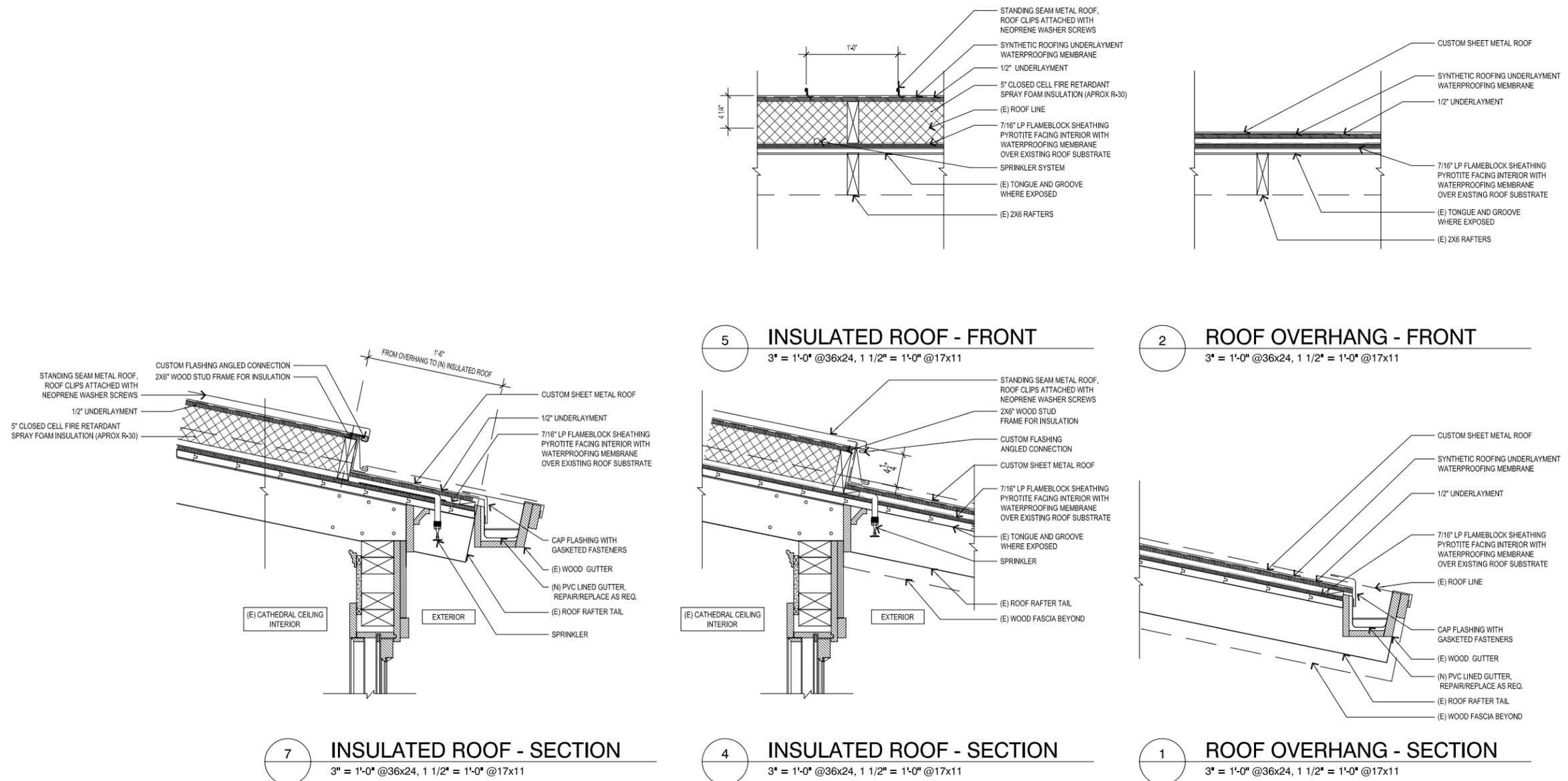
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SHEET

**EXTERIOR DETAILS  
ROOF**

**A8.1**



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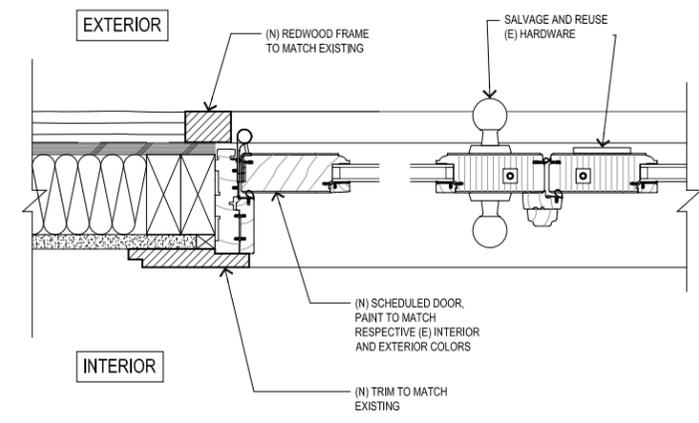
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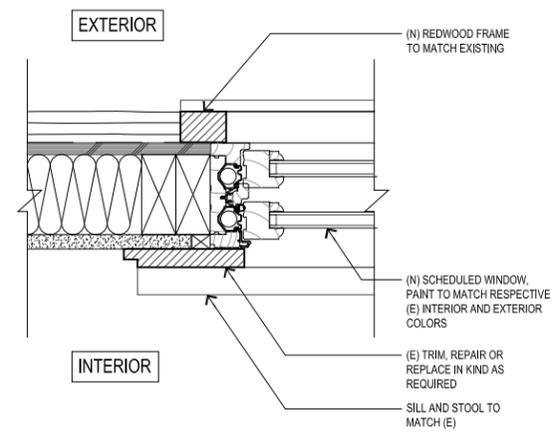
SHEET

BUILDING DETAILS  
WINDOWS  
& DOORS

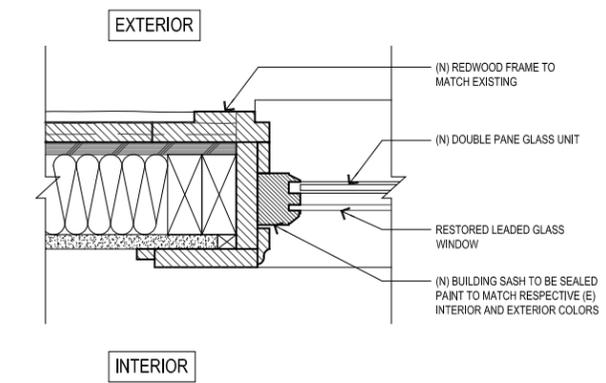
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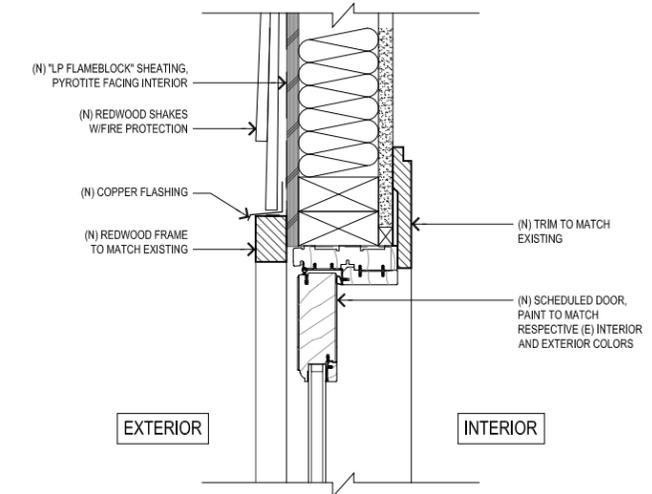
**9 DOOR JAMB**  
3" = 1'-0" @ 36x24, 1 1/2" = 1'-0" @ 17x11



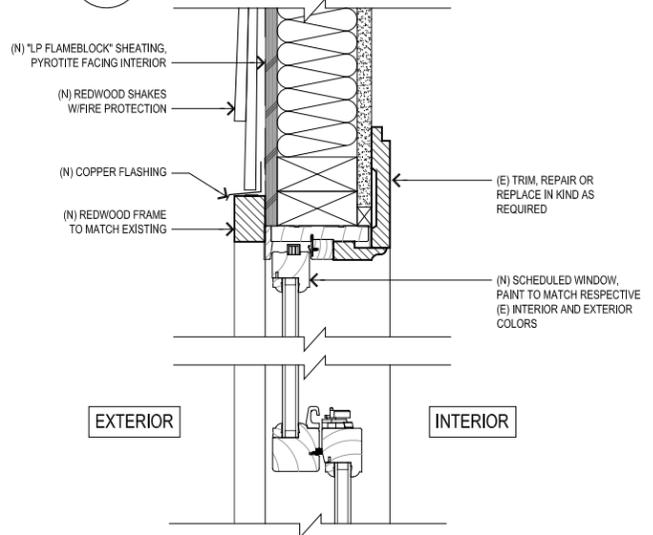
**6 DBL HUNG WNDW JAMB**  
3" = 1'-0" @ 36x24, 1 1/2" = 1'-0" @ 17x11



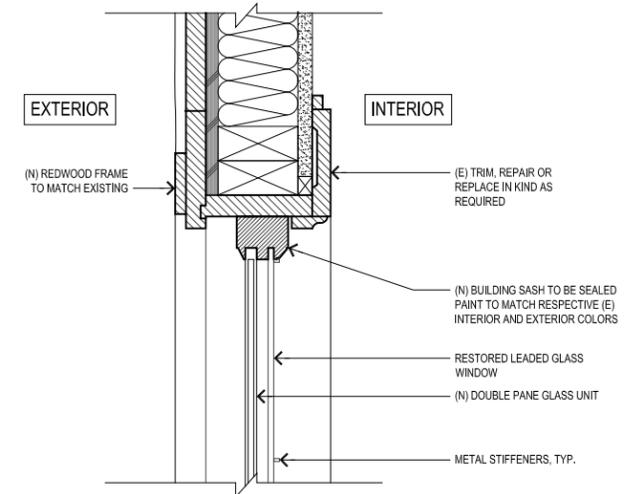
**3 LEADED GLASS WNDW JAMB**  
3" = 1'-0" @ 36x24, 1 1/2" = 1'-0" @ 17x11



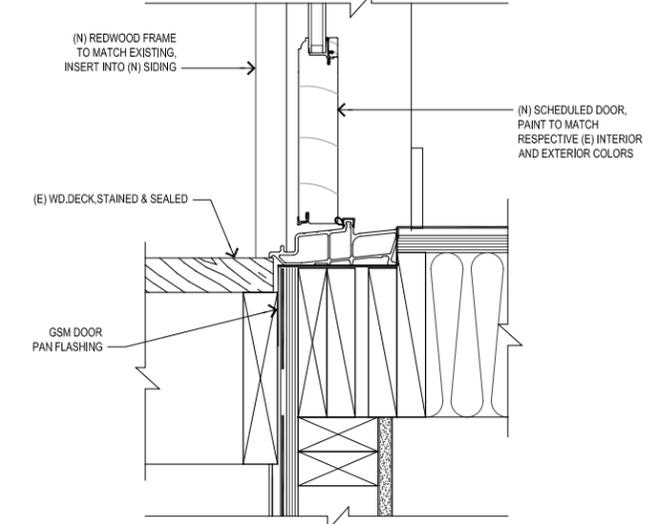
**8 DOOR HEAD**  
3" = 1'-0" @ 36x24, 1 1/2" = 1'-0" @ 17x11



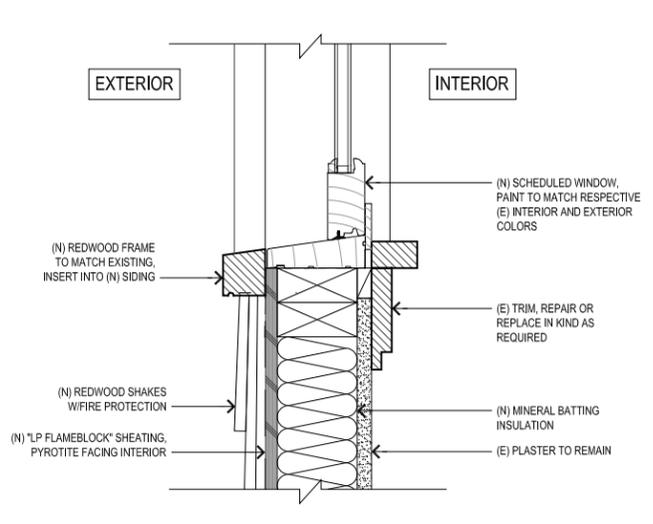
**5 DBL HUNG WNDW HEAD**  
3" = 1'-0" @ 36x24, 1 1/2" = 1'-0" @ 17x11



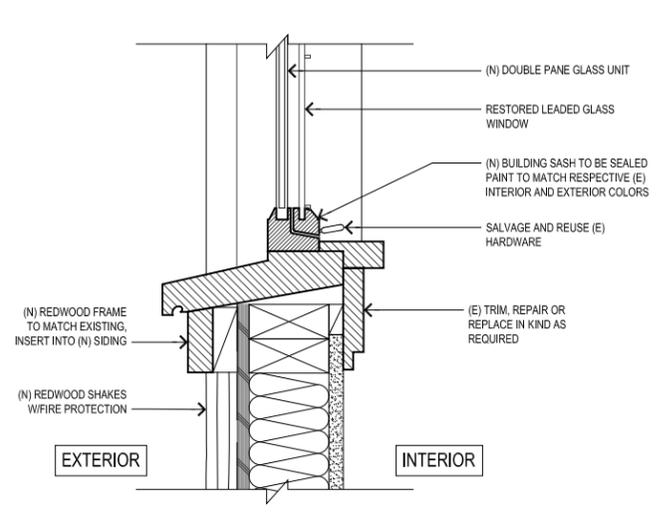
**2 LEADED GLASS WNDW HEAD**  
3" = 1'-0" @ 36x24, 1 1/2" = 1'-0" @ 17x11



**7 DOOR SILL**  
3" = 1'-0" @ 36x24, 1 1/2" = 1'-0" @ 17x11



**4 DBL HUNG WNDW SILL**  
3" = 1'-0" @ 36x24, 1 1/2" = 1'-0" @ 17x11



**1 LEADED GLASS WNDW SILL**  
3" = 1'-0" @ 36x24, 1 1/2" = 1'-0" @ 17x11

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TITLE 24 ENERGY ANALYSIS

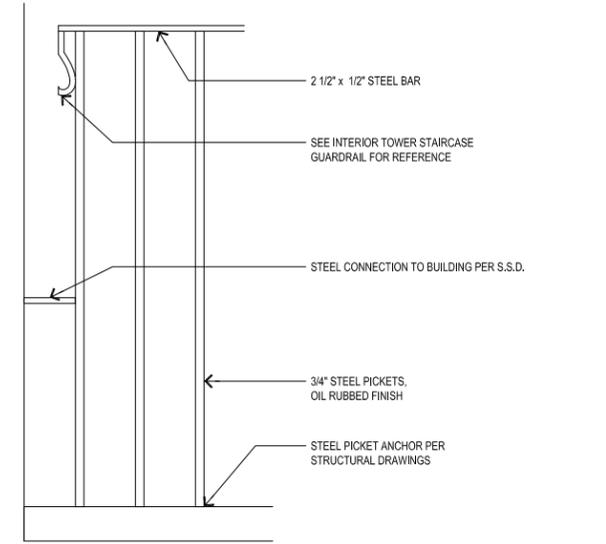
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DATE:	26.MAR.2024	SCALE:	AS NOTED
JOB:	23003	DRAWN BY:	dhm/ma

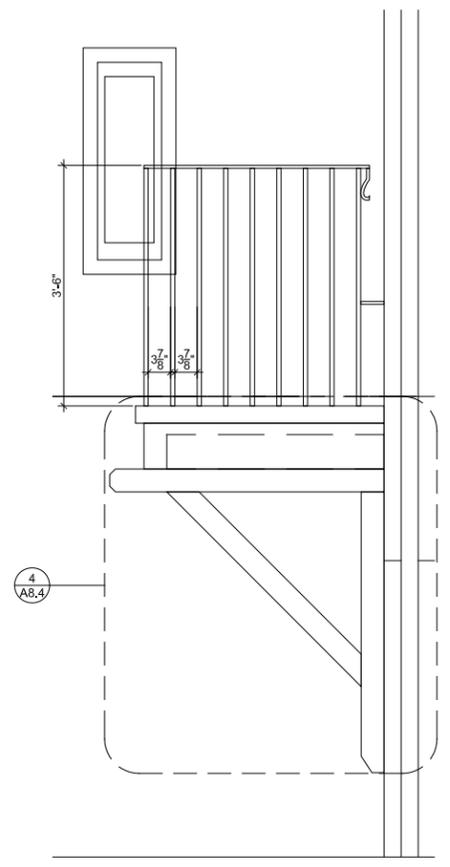
SHEET

**BUILDING DETAILS**  
**LIBRARY BALCONY**

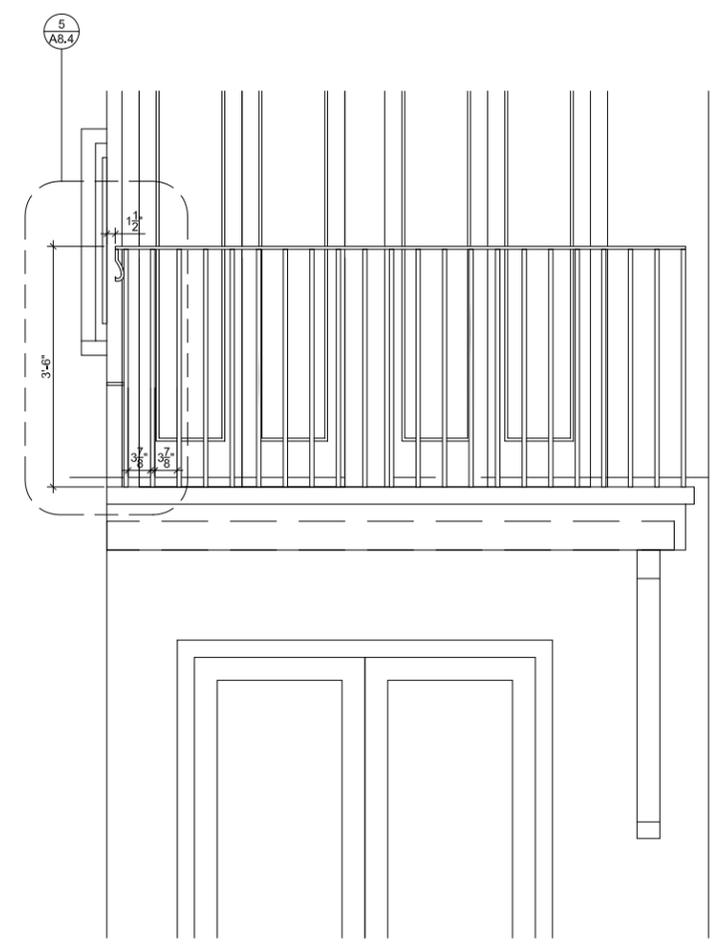
**A8.4**



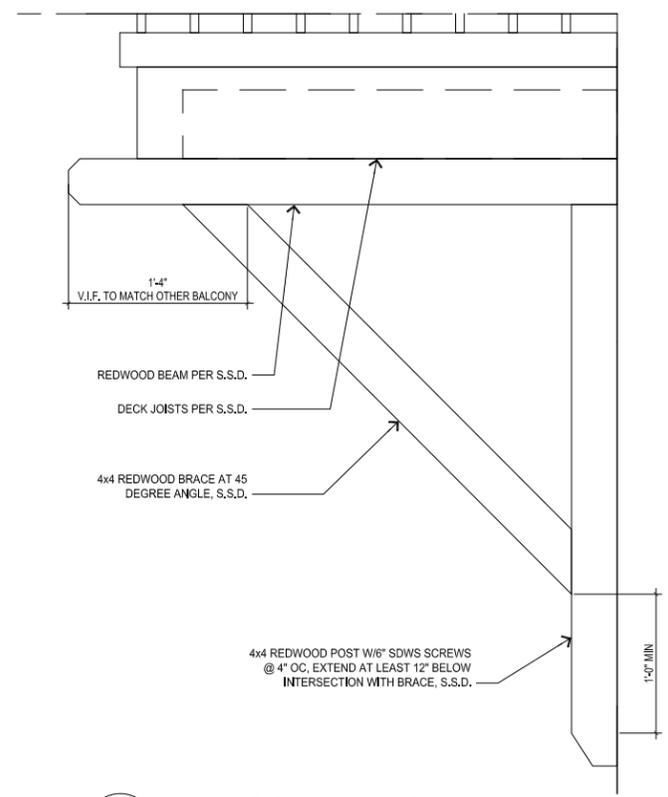
**5 BALCONY GUARDRAIL - ELEV**  
3" = 1'-0" @ 36x24, 1 1/2" = 1'-0" @ 17x11



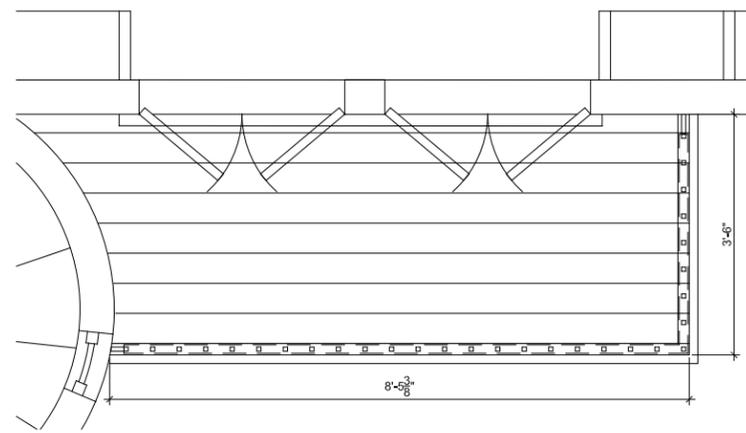
**3 BALCONY - SIDE ELEV**  
3/4" = 1'-0" @ 24x36; 3/8" = 1'-0" @ 11x17



**2 BALCONY - FRONT ELEV**  
3/4" = 1'-0" @ 24x36; 3/8" = 1'-0" @ 11x17



**4 BALCONY BRACE**  
3" = 1'-0" @ 36x24, 1 1/2" = 1'-0" @ 17x11



**1 BALCONY - PLAN**  
3/4" = 1'-0" @ 24x36; 3/8" = 1'-0" @ 11x17

