

D E S I G N
R E V I E W
C O M M I T T E E
S T A F F R E P O R T

**For Committee Discussion/
Majority Recommendation**
JANUARY 16, 2025

1950-1998 Shattuck Avenue

PRELIMINARY DESIGN REVIEW

Design Review #DRCP2023-0003 to demolish five existing commercial buildings; merge four lots; construct a 28-story, 411,610 square-foot, mixed-use building with 599 dwelling units (including 58 VLI) and 16,920 square feet of commercial area.

I. Introduction

This 28-story mixed use development is proposed in the C-DMU Outer Core Commercial District in Downtown Berkeley. The proposed project site spans from the Northwest corner of University and Shattuck Avenues to the next corner north, Berkeley Way. This project is located in the Downtown Commercial Mixed Use (C-DMU) Zoning District, in the Outer Core Subarea.

This project is applying under the Housing Crisis Act, SB 330, which seeks to boost homebuilding throughout the State with a focus on urbanized zones by expediting the approval process for and suspending or eliminating restrictions on housing development and limiting the number of public meetings. Housing development is defined as a project that is: all residential; a mixed-use project with at least two-thirds of the square-footage residential; or for transitional or supportive housing.

The demolition referral for the five existing commercial buildings went before the Landmarks Preservation Commission in January 6, 2025 where they took no action. LPC recommended that ZAB suggest the applicant include a readily visible historical display in the new development, sharing the story of the block. The project is tentatively scheduled to go before the Zoning Adjustments Board (ZAB) next month.

It is before the Design Review Committee (DRC) this month for Preliminary Design Review where the Committee will discuss the project's overall massing and design and provide specific direction to the applicants for Final Design Review.

II. Background

This project proposes the demolition of five single-story commercial buildings, the merger of four lots on Shattuck Avenue, and the construction of a mixed-use commercial/residential building that utilizes the State Density Bonus, with the following main components:

- 28 stories, 317 feet in total height;
- 599 dwelling units, 489 studio units and 110 two-bedroom units;
- 709 total bedrooms;
- 13,032 square feet of residential open space;
- 706 square feet of commercial open space;
- Roof-top restaurant;
- Ground-level commercial and lobby spaces;
- 154 vehicular parking spaces; and
- 256 long term residential bicycle parking spaces, 18 short term residential bicycle parking spaces, and 10 commercial bicycle parking spaces.

III. Project Setting

A. Neighborhood/Area Description:

The project site is located in Downtown Berkeley and consists of five one-to-two-story commercial buildings that front the length of the 1900 block of Shattuck Avenue between Berkeley Way and University Avenue and continues for a portion of University Avenue, west of Shattuck Avenue. The area is characterized by a mixture of commercial and mixed-use buildings and is currently a transition area between the denser development of the Downtown Core to the south and the University Avenue to the east.

B. Site Conditions:

The 28,319 square foot lot is located in a highly urbanized commercial district along Shattuck Avenue and has a generally flat topography. The site is one block north of the North Berkeley BART Station and in close proximity to several major AC transit routes that run along University Avenue.

Figure 1: Vicinity Map

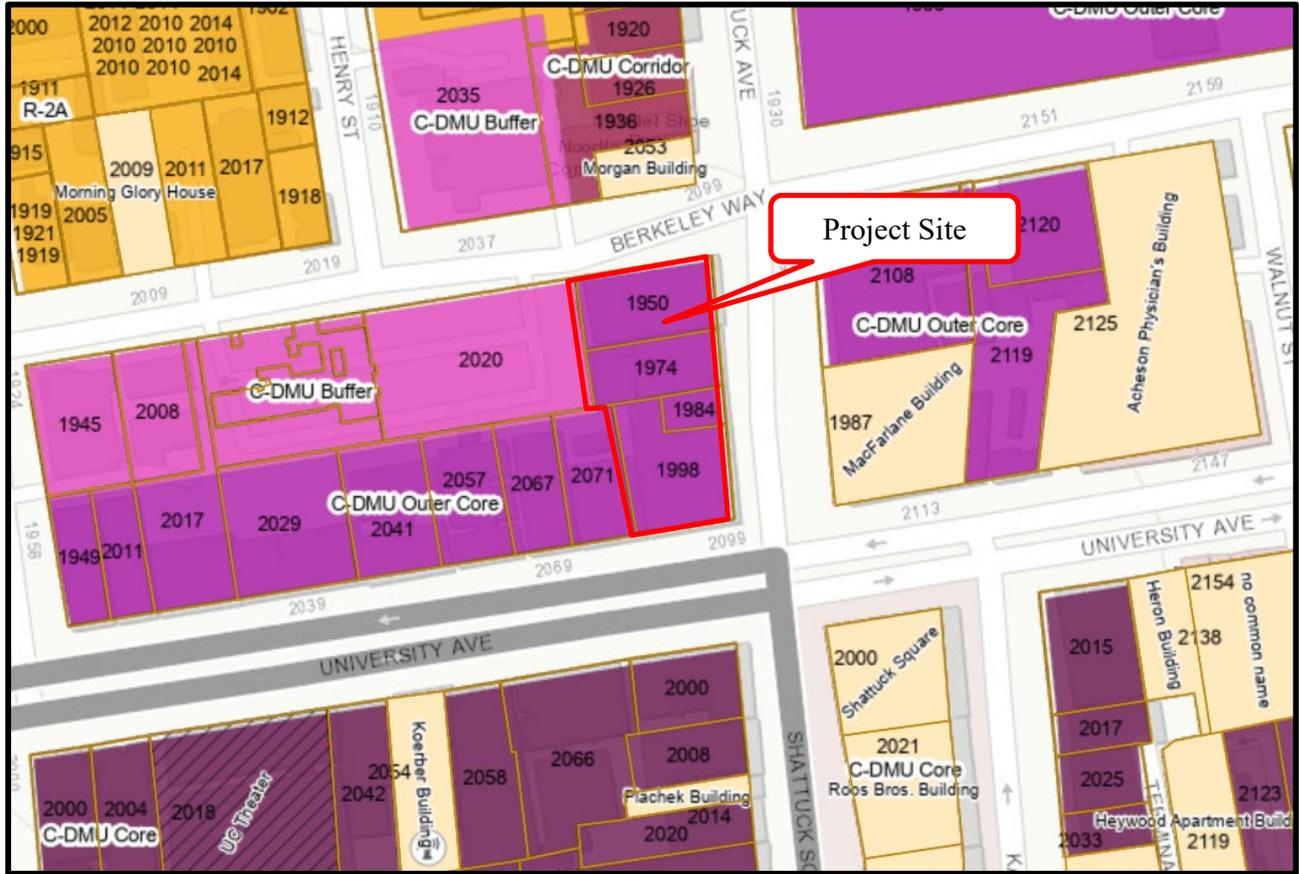


Table 1: Land Use Information

Location		Existing Use	Zoning District	General Plan Designation
Subject Property		Commercial	C-DMU Outer Core	Downtown
Surrounding Properties	North	Commercial	C-DMU Corridor	Downtown
	South	Commercial	C-DMU Core	Downtown
	East	Mixed Use	C-DMU Outer Core	Downtown
	West	Commercial / Residential	C-DMU Outer Core / Buffer	Downtown

Table 2: Development Standards

C-DMU Standards, Core/Outer Core Sub-Area		Existing	Change	Proposed	Permitted/Required	
Lot Area (sq. ft.)		28,319	--	28,319	n/a	
Gross Floor Area (sq. ft.)		26,610	+384,720	411,330	n/a	
Commercial Floor Area		26,610	-10,468	16,142	n/a	
FAR		0.8	+14.2	15	n/a	
Dwelling Units		0	+599	599	n/a	
Bedrooms		0	+709	709	n/a	
Building Height ¹	Maximum	14'	+298	312' (plus 5' parapet)	50' min./60' max. (75' max. w/use permit, 180' max. w/use permit, 5' max. parapet by right)	
	Stories	1	+27	28	n/a	
Building Setbacks ²	Front (University) ³	4'-9"	-2'-9" -- --	2' to 5' 3'-4" 3'-4"	0'-5' (bldg. ht.≤20') 0' (bldg. ht.>20' ≤75') 15' (bldg. ht.>75')	
	Front (Shattuck)	0'	+5'-3" -- --	5'-3" to 14'-5" 6'-10" 6'-10"	0'-5' (bldg. ht.≤20') 0' (bldg. ht.>20' ≤75') 15' (bldg. ht.>75')	
	Front (Berkeley Way)	0'	+2' -- --	2' to 3' 6' 6'	0' (bldg. ht.≤20') 5' (bldg. ht.>20' ≤75') 15' (bldg. ht.>75')	
	Interior Left Side	0'-65' from frontage	2'-10"	-2'-4" -- --	6" to 1'-6" 15' to 18'-1" 15' to 18'-1"	0' (bldg. ht.≤75') 5' (bldg. ht.>75' ≤120') 15' (bldg. ht.>120')
		>65' from frontage	2'-10"	-1'-4" -- --	1'-6" 10' to 18'-1" 10' to 18'-1"	0' (bldg. ht.≤20') 5' (bldg. ht.>20' ≤75') 15' (bldg. ht.>75')
	Diagonal Dimension		n/a	n/a	165'	120' (bldg. ht.>120')
Lot Coverage (%)		80	+8	88	n/a	
Usable Open Space (sq. ft.)		n/a	n/a	13,032	47,920 sq. ft. min. (80 sq. ft./d.u.)	
Privately Owned Public Open Space (sq. ft.)		n/a	n/a	706	323 s.f. min. (1 sq. ft./50 sq. ft. of commercial)	

¹ Use permits to allow up to 120' are included in the Base Project for the calculation of the density bonus, and are not requested waivers. Additional height beyond 120' is being requested as a waiver.

² The use permit to allow reduced setbacks up to 120' building height is included in the Base Project for the calculation of the density bonus, and is not a requested waiver. Setback reductions above 120' is being requested as a waiver.

³ Façade has elements with 3' overhang into the right-of-way.

■ = Waiver requested to modify the district standard.

Abbreviations: sq. ft.= square feet; d.u.=dwelling unit; min.=minimum; max.=maximum; bldg. ht.=building height

Table 2: Development Standards (Continued)

C-DMU Standards, Core Sub-Area		Existing	Change	Proposed	Permitted/Required
Parking	Commercial (16,142 sq. ft.)	0	+24	24	0 min.*
	Commercial – Loading	n/a	n/a	1	1 min. (1 space/10,000 sq. ft., 01 additional/each 40,000 sq. ft.)
	Residential	n/a	+130	130	0 min./ 300 max. (0.5 spaces/du max.)
	Carshare	n/a	n/a	4	4 min. (for 61 or more: 3, plus one for every additional 60 spaces)
	Total	0	+154	154	0 min./ 300 max.
Bicycle Parking	Commercial - Short Term (16,142 sq. ft.)	8	+2	10	9 spaces (1 space/2,000 sq. ft. commercial)
	Residential - Long Term	n/a	+256	256	237 spaces (1 space/3 bedrooms)
	Residential - Short Term	n/a	+18	18	18 spaces (1 space/40 bedrooms, or 2)
	Total	8	+256/20	256/28 (long term/short term)	237/27 (long term/short term)

☐ = Waiver requested to modify the district standard.
* Pursuant to Assembly Bill 2097, no parking is required for commercial uses on a site located within ½-mile of a major transit stop.
Abbreviations: sq. ft.= square feet; d.u.=dwelling unit; min.=minimum; max.=maximum; bldg. ht.=building height

IV. Project Description

A. Requested Use Permits

- Use Permit under BMC Section 23.204.020(A) to construct a new mixed-use development
- Use Permit under BMC Section 23.326.070(A) to demolish a non-residential building
- Use Permit under BMC Section 23.204.020(A) to construct dwelling units
- Use Permit under BMC Section 23.204.030(B)(1) to create new floor area of 10,000 square feet or more

- Use Permit under BMC Section 23.204.130(E)(2) to construct a building that exceeds the district height limit, and that is over 120 feet but not more than 180 feet
- Use Permit under BMC Section 23.204.130(E)(3)(b) to modify front, side, and rear setback requirements
- Use Permit under BMC Section 23.204.130(E)(3)(b)(i) to exceed 120 feet in width in diagonal measurement
- Administrative Use Permit under BMC Section 23.304.050(A) to allow architectural projections to exceed district height limits
- Administrative Use Permit under BMC Section 23.302.070(E)(2) for a food service establishment over 3,000 square feet in area
- Administrative Use Permit pursuant to BMC Section 23.302.020(D) for Amplified Live Entertainment in a commercial district
- Use Permit pursuant to BMC Section 23.310.020(B) to begin alcoholic beverage service (distilled spirits incidental to food service)
- Administrative Use Permit pursuant to BMC Section 23.302.020(E)(4) for outdoor uses not abutting a residential district

B. CEQA Determination

Pursuant to Government Code Section 65589.5, it is staff's recommendation that the project is categorically exempt under Section 15332 ("Infill Development Projects") of the CEQA Guidelines.

C. Density Bonus Information

Waivers

- Waiver of BMC Section 23.04.130(E)(1) to exceed building height limits – to be 317' to roof (plus 5' parapet), where 180 feet is the limit (plus 5-foot parapet, by right, with a use permit)
- Waiver of BMC Section 23.204.130(E)(3) to reduce the front, side and rear setback minimums (see plans for details)
- Waiver of BMC Section 23.204.130(E)(3)(b)(i) to exceed 120 feet in width in diagonal measurement (165')
- Waiver of BMC Section 23.204.130(E)(4) reduce usable open space minimum to 13,032 square feet, where 47,920 square feet is required

Concessions [Three concessions permitted, per Government Code §65915(d)(2)]:

- Concession to eliminate the Percentage for Public Art on Private Projects requirement

V. Design Review Guidelines

Following are several key guidelines in the Downtown Design Guidelines which relate closely to this project.

General Building Facade Design

- Reflect and reinforce the scale, massing, proportions, rhythm and attention to detailing established by Landmarks and Significant buildings.
- Incorporate elements which break up façade planes and create a visual play of light and shadow.
- Vertical divisions of ground and upper floors should be consistent.
- Architecturally distinguish the ground floor from the upper façade, to form a visual base for the building.
- Use high quality detailing for new buildings and replacement elements.
- Window should comprise 25-50% of upper facades visible from public areas, and should reflect the rhythm, scale, proportions, and detailing of upper windows of Landmark and Significant buildings.

Roof Forms

- Provide a termination to the top of the building in a way that complements and enhances the character of the building and the Downtown.
- On sites which include corners, the roof design should emphasize the corner.

Materials

- Use high quality, durable materials which enhance the building and convey a sense of permanence.

Frontage, Setbacks, and Heights

- Maintain a continuous zero-setback “build-to-line” at the ground floor at the edge of all Downtown streets where commercial and higher levels of activity is anticipated.
- Design recessed storefront entrances so they do not exceed 50% of the width of the storefront, nor ten feet in depth.
- Consider massing alternatives that would reduce shadow impacts on streets and relate new construction to the scale of nearby buildings.
- For new construction projects located on narrow east-to-west streets and over 75 feet in height, prepare an analysis of shade impacts on public open spaces and pedestrian sidewalks across the street.
- Place entrances to storefronts and other ground floor uses so that they are accessible directly from the public sidewalk, not internal lobbies.
- Design entrances of individual buildings to contribute positively to the street.
- Maintain and reinforce Downtown’s historic street wall at the property line. Upper floor setbacks are desirable above 60 feet, and should be used above 75 feet.

- For buildings over 85 feet in height, prepare an analysis of potential wind impacts. Protect sidewalks and public open spaces by deflection downward wind drafts by using building setbacks, recesses, projections and other devices.

Heights

- Respect the height of neighboring buildings, provide a sense of continuity and avoid abrupt changes in height.
- On the corner sites, locate the tallest elements at the corners, particularly at major intersections, except where ridgeline views may be obstructed.

Open Spaces

- Provide new open space which is deliberately planned, designed, and located to be usable.
- Relate the size, volume, and design of open spaces to the scale of surrounding buildings and streets, and to the number of people and types of activities which are encouraged there.

Corner Sites

- Accentuate the corner as the focal point of the site.

Shattuck and University are designated as required public serving frontages (refer to figure 43 in the 2012 Downtown Guidelines)

- At least one publicly-accessible street-level entrance to be provided for every 40 feet along a street facing frontage. Any remainder exceeding 30 feet shall also have a publicly-accessible street-level entrance. No two entrances shall be separated by more than 50 feet.
- Clear glass shall comprise at least 60% of the street facing façade where it is between 3 feet and 8 feet above elevation of adjacent sidewalk
- The design of the ground floor shall be visually open to pedestrians such that the design should enable the main activities of the proposed use to be carried out towards the front of the space.

A complete set of the Downtown Design Guidelines can be found online at:
[120330_DBDDesignGuidelines_ADDITIONAL GRAPHICS.indd](#)

VI. Issues and Analysis

A. Design Review Issues:

Neighborhood Context The project site spans the 1900 block of Shattuck Avenue between University Avenue and Berkeley Way. Surrounding developments include single story commercial structures, as well as mid-rise mixed-use structures. The

site is located in the commercial corridor of downtown Berkeley near Downtown Berkeley Bart and the University of California, Berkeley campus.

Massing/Building Design The massing of this mixed-use structure features a 28-story tower at the Southern edge of the parcel overlooking University that steps down to 14 stories on the Northern side overlooking Berkeley Way. The massing is supported by a two-story base and features outdoor terraces at the second and fourteenth floors. A horizontal band delineates the base from the upper floors, a motif that is echoed on the fourteenth floor at the roof deck. The façade is organized by a regular grid of recessed windows arranged in two story groupings. Recessed bands of windows add articulation to the facades and smaller vertical elements. Amenity spaces on the 2nd and 14th floors are evident in the building details. A prominent canopy at the 28th floor provides a formalized top to the building.

Ground Floor Design The project has two main frontages, on Shattuck and on University. The design proposes a two-story base element with ground floor retail spaces and a mezzanine level along the Shattuck and University street frontages. The mezzanine level is recessed to create a continuous terrace overlooking the streetscape. The main residential entry is located at the southeast corner and is pulled back from the intersection to allow for a wider sidewalk with proposed outdoor seating. The vehicular entrance to the subterranean garage is provided at the southwest corner on University with the trash room located directly adjacent to the garage with access from the street. Mechanical spaces are provided on Berkeley Way.

Streetscape The project proposes streetscape upgrades to support the pedestrian experience along the public frontages on Shattuck, University and Berkeley Way. A plaza is proposed adjacent to the retail spaces on Shattuck Avenue, designed with a seating wall and raised planting area. Additionally, a parklet is proposed at the northeast corner on Shattuck that includes tree wells and planted areas between designated seating areas and a perimeter planter forming a buffer at the street's edge. The project would remove 5 total street trees on University and Shattuck, but would provide a total of 16 new street trees on University, Shattuck, and Berkeley Way. Flexi-pave is proposed in all new tree wells and a new curb cut is proposed at the southwest corner at the garage entrance on University.

Open Space The applicant proposes open space throughout project. A parklet and retail plaza is proposed at the ground level at the Northeast corner on Shattuck. A terrace is proposed at the second level along the East and West edges of the building. Flow through planters, raised beds, and flexible seating are provided. A residential roof deck is proposed at the 14th floor for use by tenants of the building. This roof deck features a pool with covered cabanas, a spa, raised planters, built in grills, a retractable cinema screen and a fire pit. A public roof deck space is located at the 28th floor where a restaurant is proposed.

Colors and Materials The project is designed with insulated metal panels as the main building material. Aluminum windows and painted metal trim are proposed throughout the project.

B. Issues for Discussion:

- Neighborhood context
- Massing/ building design
- Ground floor design
- Open space design
- Colors and materials

VII. Recommendation

Staff recommends that the DRC discuss the above issues and forward a favorable recommendation to ZAB with any conditions as necessary and specific direction for Final Design Review.

Attachments:

1. Project Plans, received January 8, 2025

Prepared by: Desiree Dougherty, DDougherty@berkeleyca.gov, (510) 981-7410

Reviewed by: Anne Burns, ABurns@berkeleyca.gov, (510) 981-7410

TRACHTENBERG
 ARCHITECTS

2421 Fourth Street
 Berkeley, California 94710
 510.649.1414
 www.TrachtenbergArch.com



**1950-1998
 (1974)
 SHATTUCK**

Berkeley, CA

- 12.12.2022 SB-330 SUBMITTAL
- 03.01.2023 ZONING SUBMITTAL
- 07.18.2023 ZONING RESUBMITTAL
- 11.15.2023 ZONING RESUBMITTAL
- 03.12.2024 ZONING RESUBMITTAL
- 01.16.2025 PRELIM DRC HEARING SET

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OB 2209

SHEET

GENERAL
 INFORMATION

A0.0



VICINITY MAP	PROJECT DIRECTORY	PROJECT DESCRIPTION	DRAWING LIST			
	<p>OWNER/APPLICANT: 1974 Shattuck Ave. LLC 1958A University Ave Berkeley, CA 94705</p> <p>ARCHITECT: Isaiah Stackhouse, Principal TRACHTENBERG ARCHITECTS 2421 Fourth Street Berkeley, CA 94710 510.649.1414 www.TrachtenbergArch.com</p>	<p>PROJECT ADDRESS: 1950-1998 Shattuck Ave. & 2071 University Ave. Berkeley, CA 94704</p> <p>APNS: 057 205300100 057 205300200 057 205300301 057 205300302 057 205300402</p> <p>SCOPE OF WORK: REMOVAL OF EXISTING COMMERCIAL STRUCTURES & CONSTRUCTION OF A NEW 28-STORY MIXED-USE HOUSING DEVELOPMENT WITH 599 DWELLING UNITS AND A ROOFTOP RESTAURANT OVER GROUND-LEVEL COMMERCIAL AND LOBBIES, WITH STATE OF CALIFORNIA DENSITY BONUS.</p>	<p>A0.0 GENERAL INFORMATION</p> <p>A0.1 ZONING INFORMATION</p> <p>A0.2A DENSITY BONUS DIAGRAMS</p> <p>A0.2B DENSITY BONUS DIAGRAMS</p> <p>A0.2C PRELIMINARY AHCP DIAGRAMS</p> <p>A0.4A SHADOW STUDIES DECEMBER 21ST</p> <p>A0.4B SHADOW STUDIES JUNE 21ST</p> <p>A0.4C SHADOW STUDIES FEB 15TH</p> <p>A0.5 SITE CONTEXT PHOTOS</p> <p>A0.6 VICINITY MAP</p> <p>A0.6A SURVEY</p> <p>A0.6B SURVEY</p> <p>A0.6C SURVEY</p> <p>A1.0 EXISTING SITE PLAN</p> <p>A2.0a FLOOR PLANS</p> <p>A2.0b FLOOR PLANS</p>	<p>A2.1 FLOOR PLANS</p> <p>A2.2 FLOOR PLANS</p> <p>A2.3 FLOOR PLANS</p> <p>A2.4 FLOOR PLANS</p> <p>A2.5 FLOOR PLANS</p> <p>A2.6 FLOOR PLANS</p> <p>A2.7 ROOF PLAN</p> <p>A3.1 ELEVATIONS</p> <p>A3.2 ELEVATIONS</p> <p>A3.3 STREET STRIP ELEVATIONS</p> <p>A3.4 PHOTO CONTEXT VIEWS</p> <p>A3.5 PHOTO CONTEXT VIEWS</p> <p>A3.6 PHOTO CONTEXT VIEWS</p> <p>A3.7 PRELIMINARY RENDERING</p> <p>A3.8 PRELIMINARY RENDERING</p>	<p>A3.9 PRELIMINARY RENDERING</p> <p>A3.10 PRELIMINARY RENDERING</p> <p>A3.11 PRELIMINARY RENDERING</p> <p>A3.12 PRELIMINARY RENDERING</p> <p>A3.13 PRELIMINARY RENDERING</p> <p>A3.14 PRELIMINARY RENDERING</p> <p>A3.15 PRELIMINARY RENDERING</p> <p>A3.16 PRELIMINARY RENDERING</p> <p>A3.17 PRELIMINARY RENDERING</p> <p>A4.1 BUILDING SECTIONS</p> <p>A4.2 AWNING ENCROACHMENT DIAGRAM</p> <p>A5.0 CONCEPTUAL GRADING PLAN</p> <p>L0.0 COVER SHEET, NOTES, AND LEGEND</p> <p>L1.0 LANDSCAPE PLAN AT STREETSCAPE</p> <p>L2.0 SECOND FLOOR PODIUM GARDENS</p> <p>L3.0 FOURTEENTH FLOOR ROOF DECK</p>	<p>L3.1 USABLE OPEN SPACE CALCS & PLANTING NOTES</p> <p>10.0 IRRIGATION NOTES & LEGEND</p> <p>11.0 IRRIGATION PLAN AT STREETSCAPE</p> <p>12.0 IRRIGATION PLAN SECOND FLOOR PODIUM GARDENS</p> <p>13.0 IRRIGATION PLAN FOURTEENTH FLOOR ROOF DECK</p> <p>13.1 IRRIGATION POINT OF CONNECTION</p> <p>14.0 IRRIGATION DETAILS</p> <p>15.0 IRRIGATION DETAILS</p> <p>16.0 IRRIGATION DETAILS</p> <p>17.0 IRRIGATION DETAILS</p>



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JOB: 2209

SHEET:

DENSITY BONUS
 BASE PROJECT

A0.2A

BASE PROJECT ZONING COMPLIANCE TABLE					
ZONING	BASE ZONING ALLOWABLE / REQUIRED	ALLOWABLE W/ UP OR AUP MODIFICATION	CODE SECTION	PROPOSED BASE PROJECT	ZONING COMPLIANCE
ZONING			C-DMU Core		COMPLIES
TOTAL LOT SIZE (SQ. FT.)			28,319		COMPLIES
TOTAL LOT SIZE (ACRES)			0.65		COMPLIES
FLOOR AREA RATIO (FAR)	NA	NA		NA	COMPLIES
DWELLING UNITS (SEE TABLE)	NA	NA		411	COMPLIES
RESIDENTIAL BEDROOMS	NA	NA		446	COMPLIES
HEIGHT - FEET	60'-0"	120'-0"	23.204.130.E.2	120'-0"	COMPLIES
HEIGHT - STORIES	NA	NA		11	COMPLIES
LOT COVERAGE	NA	NA		0%	COMPLIES
SETBACK - FRONT (UNIVERSITY)	0' to 15'	0'	23.204.130.E.3(b)	0'	COMPLIES
SETBACK - STREET SIDE (SHATTUCK)	0' to 15'	0'	23.204.130.E.3(b)	0'	COMPLIES
SETBACK - INTERIOR SIDE	0' to 15'	0'	23.204.130.E.3(b)	0' to 6'	COMPLIES
SETBACK - REAR (BERKELEY WAY)	0' to 15'	0'	23.204.130.E.3(b)	0'	COMPLIES
SETBACK - MAX. DIMENSION ABOVE 120'	NA	NA			COMPLIES
RESIDENTIAL PARKING (SEE TABLE)	0	0		0	COMPLIES
COMMERCIAL PARKING (SEE TABLE)	25	0		0	COMPLIES
RES. BIKE PARKING LONG TERM (SEE TABLE)	149	149		152	COMPLIES
RES. BIKE PARKING SHORT TERM (SEE TABLE)	12	12		12	COMPLIES
COM. BIKE PARKING SHORT TERM (SEE TABLE)	9	9		9	COMPLIES
RESIDENTIAL OPEN SPACE (SEE TABLE)	32,880	32,880		33,950	COMPLIES
COMMERCIAL OPEN SPACE (SEE TABLE)	338	338		338	COMPLIES

- LIST OF BASE PROJECT USE PERMITS AND AUP'S**
- Per August 2, 2024 Memorandum on Policy Changes to Objective Standards, HAA and Density Bonus
- Use Permit for construction for demolition of a non-residential building under 23.326.070(A)
 - Use Permit under BMC Section 23.326.070(A) to demolish a non-residential building
 - Use Permit under BMC Section 23.204.020(A) to construct a new mixed-use development
 - Use Permit under BMC Section 23.204.030(B)(1) to create new floor area of 10,000 square feet or more
 - Use Permit under BMC Section 23.204.020(A) to construct dwelling units
 - Administrative Use Permit under BMC Section 23.304.050(A) to exceed building height limits w/ rooftop architectural elements.
 - Use Permit under BMC Section 23.204.130.E.2 to construct a building up to 120 feet.
 - Use Permit under BMC Section 23.204.130.E.3(b) to modify front, side, and rear setback requirements

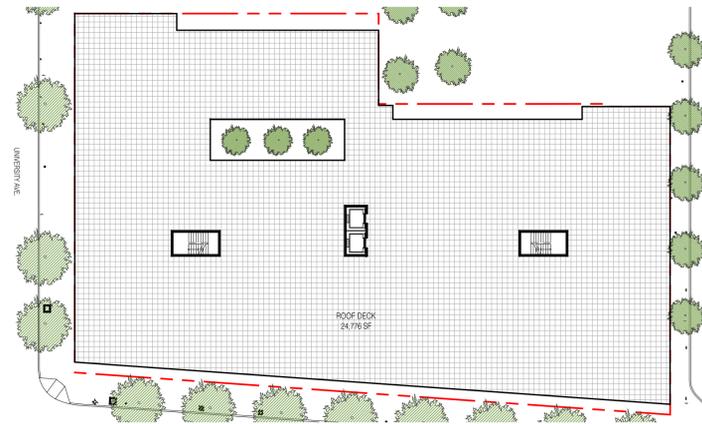
PARKING CALCULATIONS					
	QNTY	CARS	PER	REQ'D	PROVIDED
RESIDENTIAL	411	0	1	0	0
COMMERCIAL	16920	1.5	1,000	25	25

BICYCLE PARKING CALCULATIONS					
	QNTY	BIKES	PER	REQ'D	PROVIDED
RESIDENTIAL (LONG TERM) (BEDROOMS)	446	1	3	149	152
RESIDENTIAL (SHORT TERM) (BEDROOMS)	446	1	40	12	12
COMMERCIAL (SHORT TERM)	16,920	1.0	2,000	9	9

OPEN SPACE CALCULATIONS			
	UNITS	SF / UNIT	TOTAL REQ'D
RESIDENTIAL REQUIREMENT	411	80	32,880
TOTAL PROVIDED			33,950
ROOF DECK			25,630
BALCONIES (MAX 50%)	104	80	8,320
COMMERCIAL OPEN SPACE	16,920	50	338

ROOFTOP ARCHITECTURAL ELEMENTS CALCULATIONS		
	ALLOWABLE	PROPOSED
AVERAGE AREA OF FLOORS	23,968	
AREA OF ROOFTOP ARCHITECTURAL ELEMENTS	3,595	600
% AREA OF ROOFTOP ARCHITECTURAL FEATURES	15.0%	2.5%

AREA TABLE			DWELLING UNIT TABLE				
	RESIDENTIAL	COMMERCIAL	TOTAL	STUDIO	2-BR	TOTAL	
LEVEL 11	18,430	7,800	26,230	LEVEL 11	28	2	30
LEVEL 10	26,230		26,230	LEVEL 10	41	4	45
LEVEL 9	26,230		26,230	LEVEL 9	41	4	45
LEVEL 8	26,230		26,230	LEVEL 8	41	4	45
LEVEL 7	26,230		26,230	LEVEL 7	41	4	45
LEVEL 6	26,230		26,230	LEVEL 6	41	4	45
LEVEL 5	26,230		26,230	LEVEL 5	41	4	45
LEVEL 4	26,230		26,230	LEVEL 4	41	4	45
LEVEL 3	26,230		26,230	LEVEL 3	41	4	45
LEVEL 2	26,230		26,230	LEVEL 2	20	1	21
GROUND LEVEL	15,922	9,120	25,042	GROUND LEVEL			
BASEMENT P1	275		275	TOTAL UNITS	376	35	411
TOTAL	270,697	16,920	287,617	BEDROOMS / UNIT		1	2
				TOTAL BEDROOMS	376	70	446



PLAN AT ROOF LEVEL



PLAN AT LEVEL 2



PLAN AT LEVEL 11



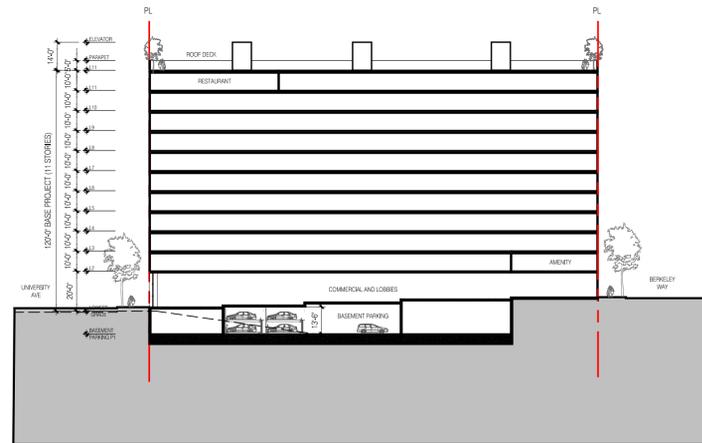
PLAN AT GROUND LEVEL



PLAN AT LEVELS 3-10



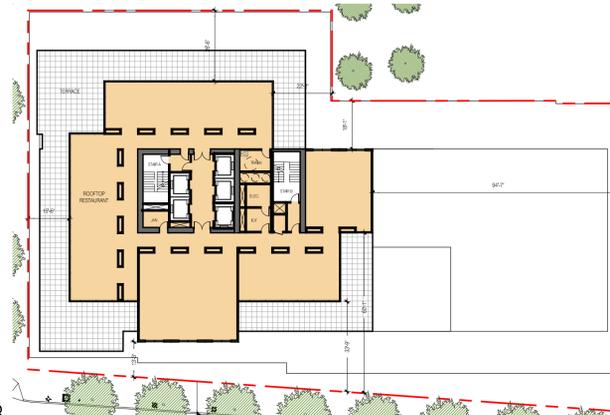
PLAN AT PARKING LEVEL P1



BASE PROJECT SECTION

BASE PROJECT PLANS

DENSITY BONUS TABLE							
Base Project	Base	Base # Units	% VLI units	# VLI Units*	Bonus %	# DB Units	Maximum DB Project
sq. ft. - see calculation below	base project area / proposed avg. unit size	Base Units (rounds up)	VLI = Very Low Income <50 AMI	% VLI x Base # Units (rounds up)		% Bonus x Base # Units (rounds up)	Base + Bonus # Units
270,697	410.30	411	14%	58	46.25%	191	602
Base Project		Proposed Density Bonus Project					
Res GFA	Comm. GFA	Units	Floor	Res GFA	Comm. GFA	Units	
			Level 28		7,800		
			Level 27	11,980		19	
			Level 26	11,980		19	
			Level 25	11,980		19	
			Level 24	11,980		19	
			Level 23	11,980		19	
			Level 22	11,980		19	
			Level 21	11,980		19	
			Level 20	11,980		19	
			Level 19	11,980		19	
			Level 18	11,980		19	
			Level 17	11,980		19	
			Level 16	11,980		19	
			Level 15	11,980		19	
			Level 14	11,980		11	
			Level 13	17,862		31	
			Level 12	17,862		31	
18,430	7,800	30	Level 11	17,862		31	
26,230		45	Level 10	17,862		31	
26,230		45	Level 9	17,862		31	
26,230		45	Level 8	17,862		31	
26,230		45	Level 7	17,862		31	
26,230		45	Level 6	17,862		31	
26,230		45	Level 5	17,862		31	
26,230		45	Level 4	17,862		31	
26,230		45	Level 3	17,862		31	
26,230		21	Level 2	17,677			
15,922	8,342		Level 1	12,461	8,342		
275			Basement P1	424			
			Basement P2	424			
270,697	16,142	411	Total	395,188	16,142	599	
	659		Avg. Unit Size		660		



PLAN AT LEVEL 28



PLAN AT LEVELS 15-27



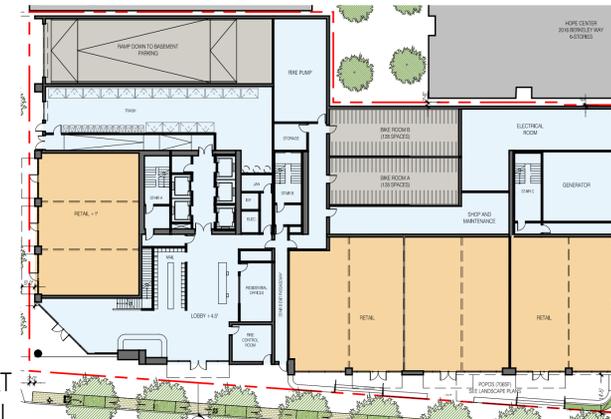
PLAN AT LEVEL 14



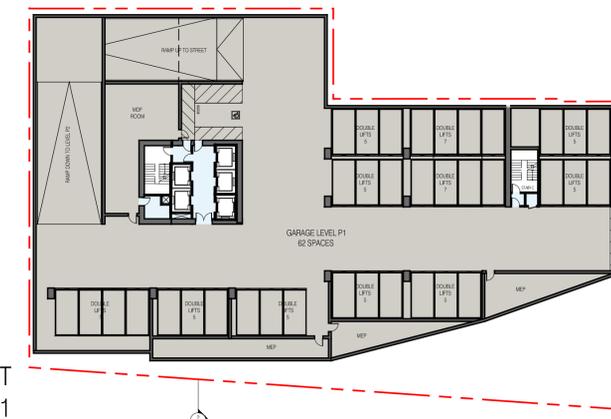
PLAN AT LEVELS 3-13



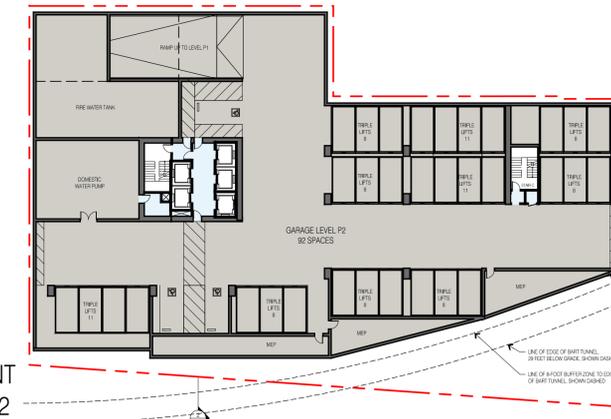
PLAN AT LEVEL 2



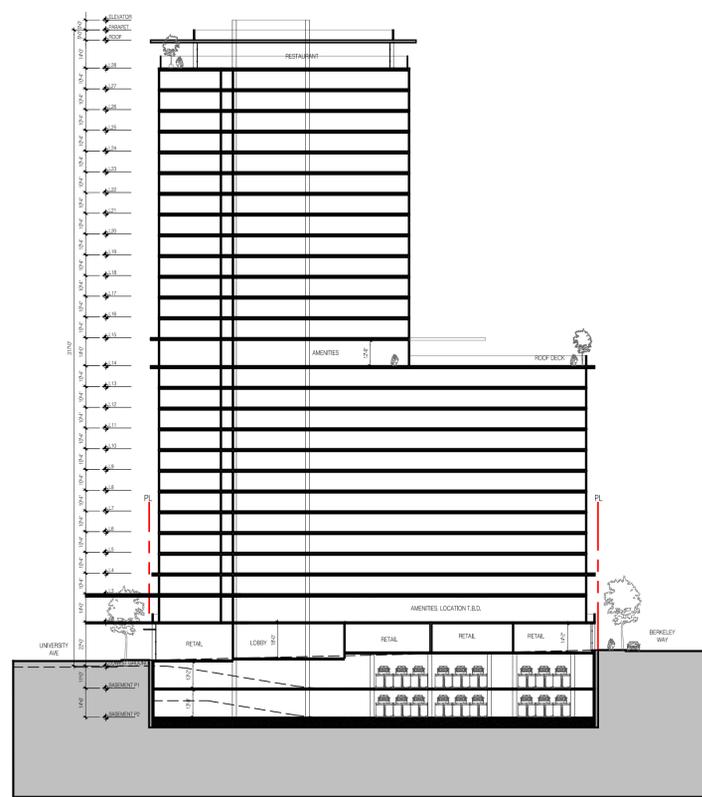
PLAN AT GROUND LEVEL



PLAN AT BASEMENT PARKING LEVEL P1



PLAN AT BASEMENT PARKING LEVEL P2



PROPOSED PROJECT SECTION

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SHEET:

DENSITY BONUS
 PROPOSED PROJECT

A0.2B

PROPOSED PROJECT PLANS

**PROPOSED PROJECT
 AREA AND UNIT CALCULATIONS**

Calculation of the Final Proposed Residential Unit Floor Area:

Floor	Proposed Project Res. Unit Area	Proposed Residential Studios	Proposed Residential 2Bedrooms
28th			
27th	8,364	15	4
26th	8,364	15	4
25th	8,364	15	4
24th	8,364	15	4
23rd	8,364	15	4
22nd	8,364	15	4
21st	8,364	15	4
20th	8,364	15	4
19th	8,364	15	4
18th	8,364	15	4
17th	8,364	15	4
16th	8,364	15	4
15th	8,362	15	4
14th	5,042	8	3
13th	12,953	26	5
12th	12,953	26	5
11th	12,953	26	5
10th	12,953	26	5
9th	12,953	26	5
8th	12,953	26	5
7th	12,953	26	5
6th	12,953	26	5
5th	12,953	26	5
4th	12,953	26	5
3rd	12,953	26	5
2nd	-	0	0
1st			

Final Proposed Residential Unit Floor Area	256,255	489	110
Final Proposed Residential Unit Numbers	599	82%	18%

Calculation of Base Project Residential Floor Area:

Final Proposed DB Residential Unit Floor Area	256,255
One plus the DB % (1 + 46.25%)	1.4625
Base Project Residential Unit Floor Area	175,217

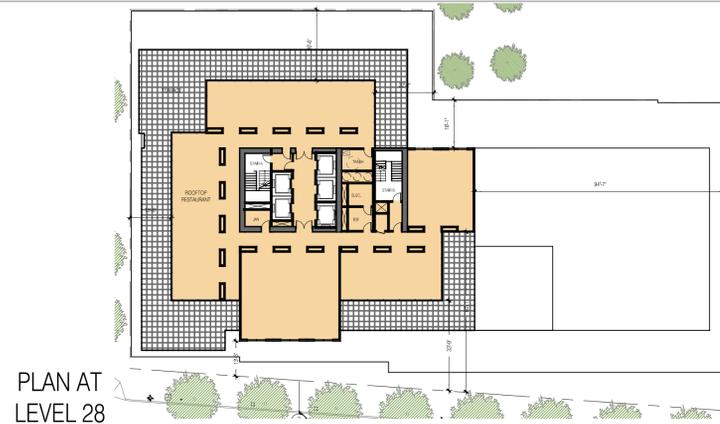
Calculation of the Affordable Housing Fee:

A Total Base Project Residential Unit Floor Area	175,217
B Total Base Project Units	411
C Total BMR Requirements (20% of Base)	82.2
D Total BMR Units Proposed	58
Fee per Square Foot	\$56.25
Total Base Project Residential Unit Floor Area	175,217
In Lieu Fee Percentage Calculation (C-D)/C	29.4%
Total Fee Due	\$2,901,633.45

LEGEND

-  DWELLING UNIT RUFA
-  RESIDENTIAL AMENITIES
-  MISC. (MEP)
-  COMMERCIAL

**PROPOSED PROJECT RESIDENTIAL UNIT
 FLOOR AREA DIAGRAM**



PLAN AT LEVEL 28



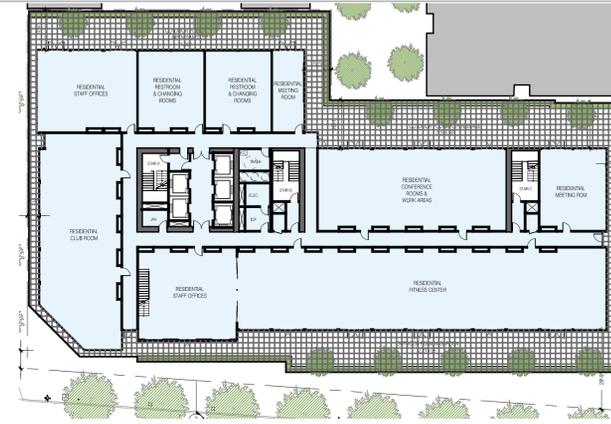
PLAN AT LEVELS 15-27



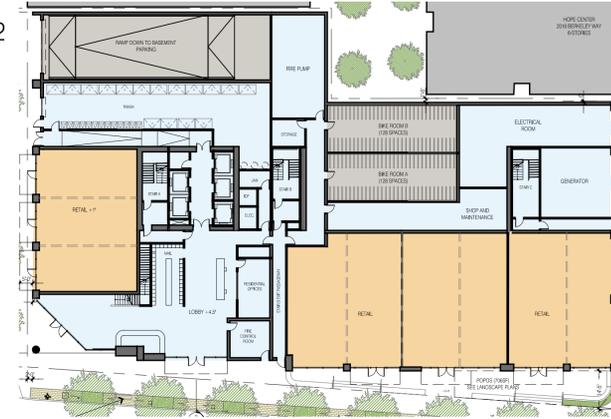
PLAN AT LEVEL 14



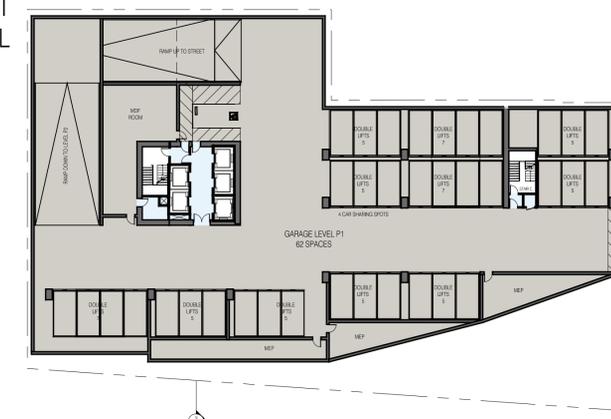
PLAN AT LEVELS 3-13



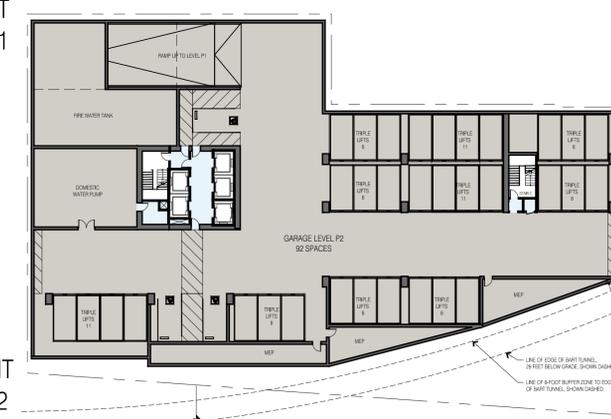
PLAN AT LEVEL 2



PLAN AT GROUND LEVEL



PLAN AT BASEMENT PARKING LEVEL P1



PLAN AT BASEMENT PARKING LEVEL P2

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SHEET:

PRELIMINARY
 AHCP DIAGRAMS

A0.2C

PROPOSED PROJECT PLANS

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SHEET:

SHADOW STUDIES
 DECEMBER 21ST

A0.4A

**WINTER SOLSTICE
 DEC 21ST:
 2-HRS BEFORE SUNSET (PM)**

- DARK TONE GREY INDICATES SHADOWS FROM EXISTING BUILDINGS
 - LIGHTER TONE GREY INDICATES SHADOWS FROM PROPOSED BUILDING
 - NEW SHADOW AT RESIDENTIAL BUILDING
- ALL RESIDENTIAL BUILDINGS BEING SHADOWED SHOWN IN THESE DIAGRAMS



6 SHADOW STUDY AXONOMETRIC - PM
 N.T.S.



5 SHADOW STUDY - PM
 1:240 @ 11X17 1:120 @ 24X36

**WINTER SOLSTICE
 DEC 21ST:
 NOON**

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4 SHADOW STUDY AXONOMETRIC - NOON
 N.T.S.



3 SHADOW STUDY - NOON
 1:240 @ 11X17 1:120 @ 24X36

**WINTER SOLSTICE
 DEC 21ST:
 2-HRS AFTER SUNRISE (AM)**

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2 SHADOW STUDY AXONOMETRIC - AM
 N.T.S.



1 SHADOW STUDY - AM
 1:240 @ 11X17 1:120 @ 24X36

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SHEET:

SHADOW STUDIES
 JUNE 21ST

A0.4B

**SUMMER SOLSTICE
 JUN 21ST:
 2-HRS BEFORE SUNSET (PM)**

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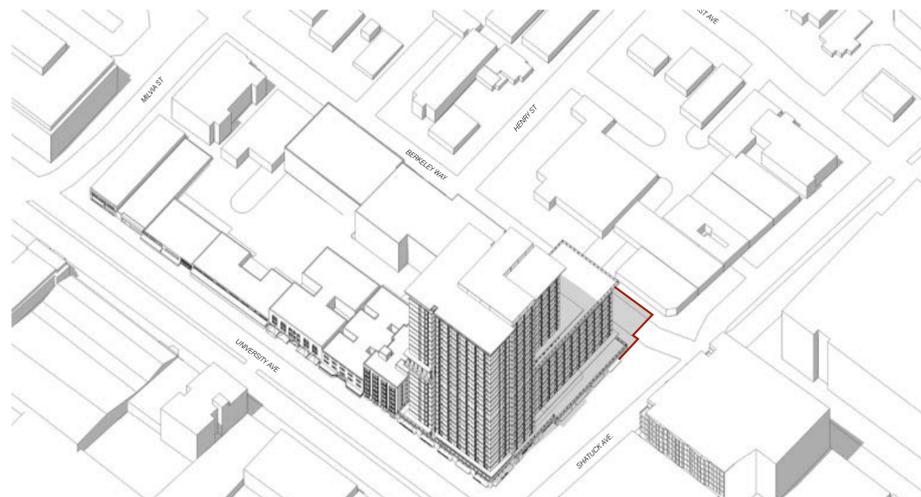
6 SHADOW STUDY AXONOMETRIC - PM
 N.T.S.



5 SHADOW STUDY - PM
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 JUN 21ST:
 NOON**

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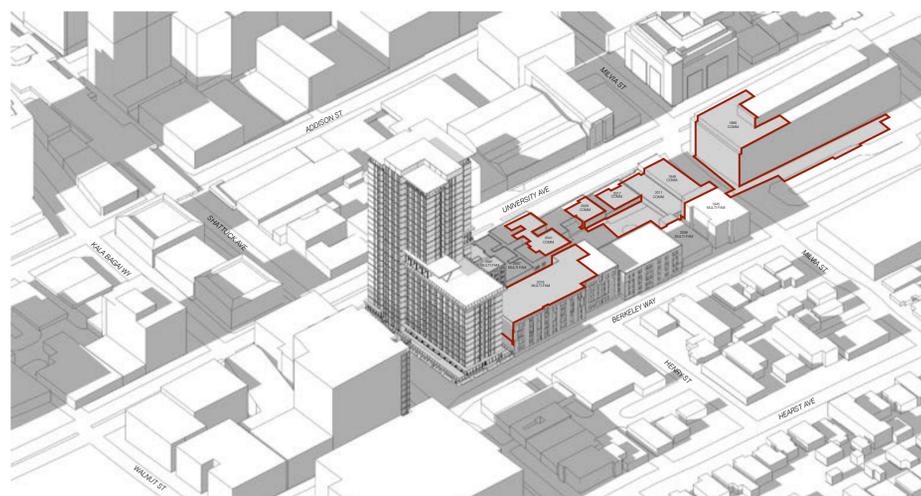
4 SHADOW STUDY AXONOMETRIC - NOON
 N.T.S.



3 SHADOW STUDY - NOON
 1:240 @ 11X17 1:120 @ 24X36

**SUMMER SOLSTICE
 JUN 21ST:
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 N.T.S.



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SHADOW STUDIES
 FEB 15TH

A0.4C

CURRENT
 FEBRUARY 15TH:
 2-HRS BEFORE SUNSET (PM)

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 N.T.S.



5 SHADOW STUDY - PM
 1:240 @ 11X17 1:120 @ 24X36

CURRENT
 FEBRUARY 15TH:
 NOON

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4 SHADOW STUDY AXONOMETRIC - NOON
 N.T.S.



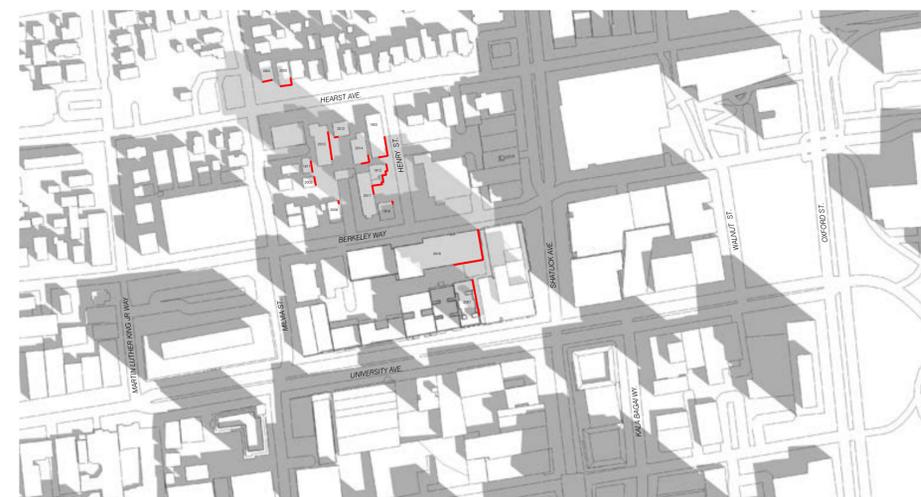
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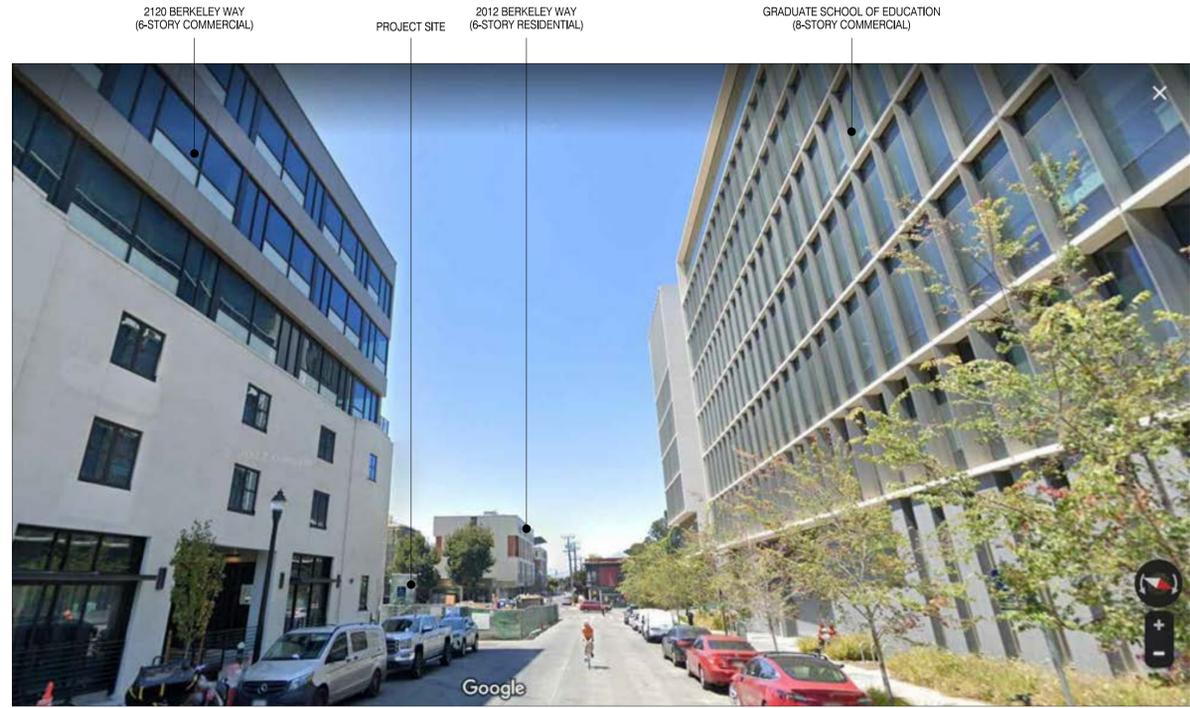


1 SHADOW STUDY - AM
 1:240 @ 11X17 1:120 @ 24X36

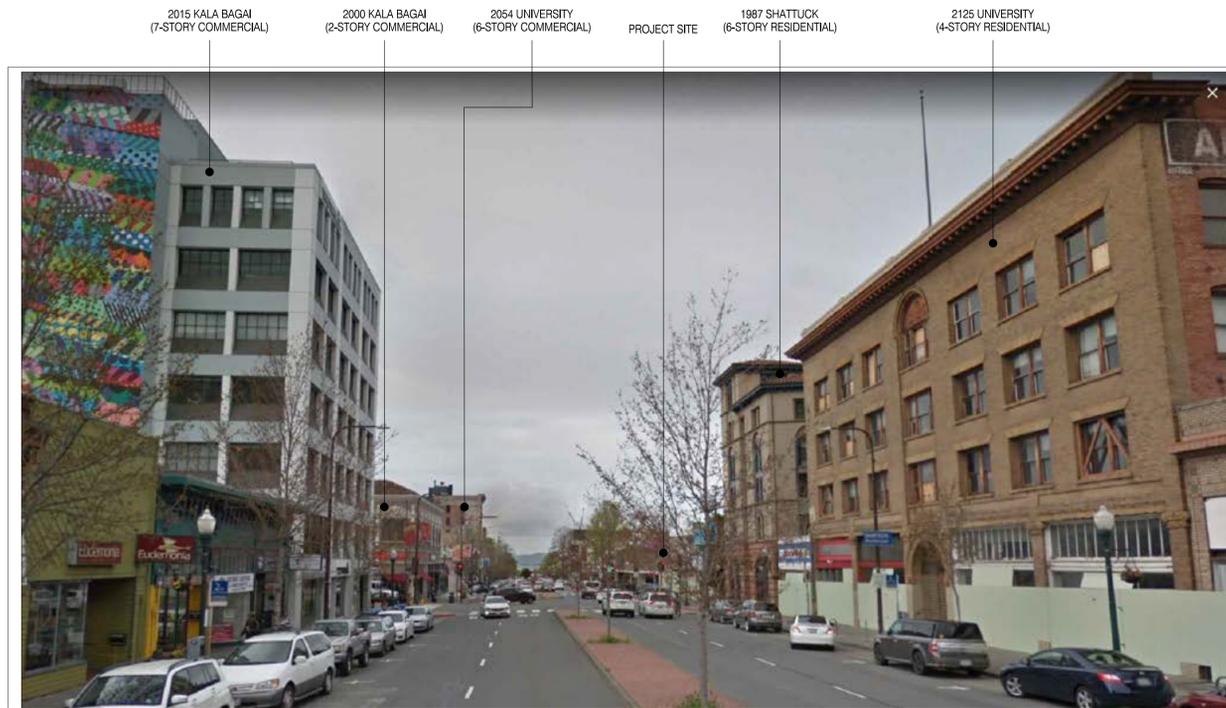
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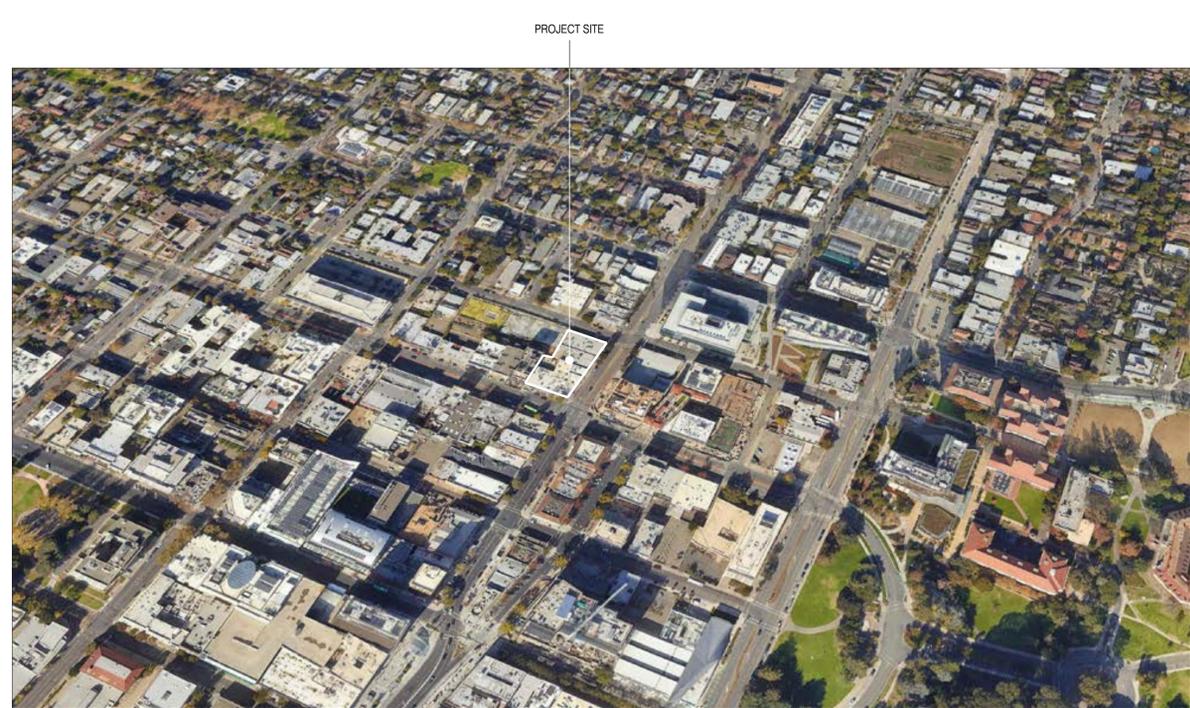
4
 -
 VIEW FROM SHATTUCK LOOKING SOUTH



2
 -
 VIEW FROM BERKELEY WAY LOOKING WEST



3
 -
 VIEW FROM UNIVERSITY LOOKING WEST



1
 -
 GOOGLE EARTH BIRD'S EYE CONTEXT VIEW

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SHEET:

SITE CONTEXT
 PHOTOS

A0.5

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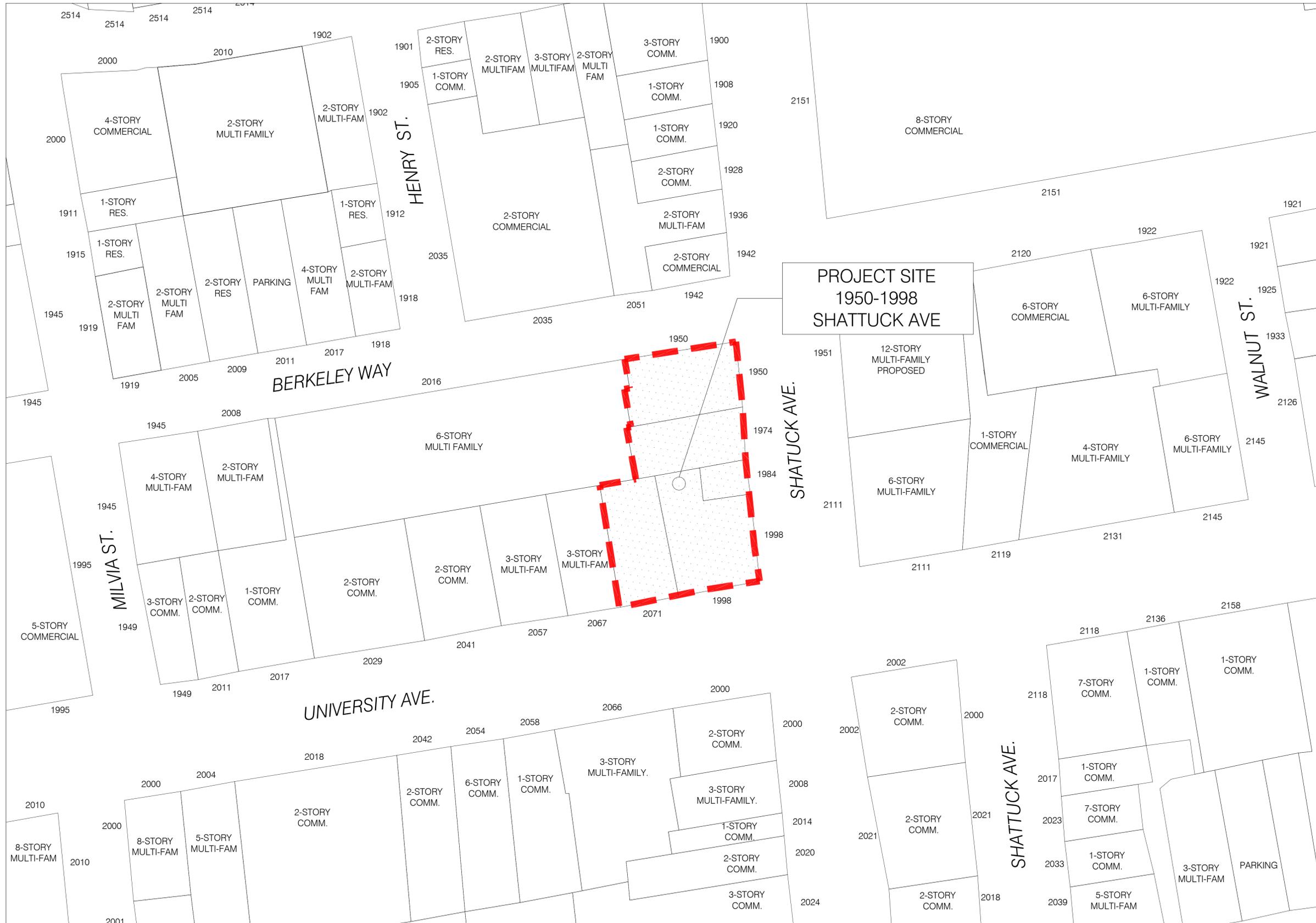
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SHEET:

VICINITY MAP

A0.6



1
 -
 NTS





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SHEET:

SURVEY



VICINITY MAP
NOT TO SCALE

BASIS OF BEARINGS

THE BASIS OF BEARINGS OF THIS SURVEY IS TAKEN BETWEEN THE TWO FOUND STREET MONUMENTS ALONG BERKELEY WAY BETWEEN MILVA STREET AND HENRY STREET AS SHOWN ON PARCEL MAP NO. 11021, FILED MARCH 20, 2020 IN BOOK 346 OF PARCEL MAPS, AT PAGES 1 TO 11 INCLUSIVE, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, STATE OF CALIFORNIA, TAKEN AS NORTH 81°54'40" EAST.

REFERENCES

- (R1) PARCEL MAP NO. 11021, FILED MARCH 20, 2020 IN BOOK 346 OF PARCEL MAPS, AT PAGES 1 TO 11 INCLUSIVE, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, STATE OF CALIFORNIA.
- (R2) TRACT MAP 1M 7058, FILED SEPTEMBER 03, 2009 IN BOOK 305 OF MAPS, AT PAGES 18 TO 20 INCLUSIVE, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, STATE OF CALIFORNIA.
- (R4) UNRECORDED MAP, CITY OF BERKELEY CITY MONUMENT MAP, PLAN 1305, 306C-057.
- (R5) "MAP OF THE COLLEGE TRACT, BERKELEY", FILED JANUARY 31, 1880 IN BOOK 9 OF MAPS, AT PAGES 46, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, STATE OF CALIFORNIA.
- (R6) GRANT DEED, RECORDED APRIL 15, 1966 IN REEL 1749, IMAGE 918, OFFICIAL RECORDS OF ALAMEDA COUNTY, STATE OF CALIFORNIA.
- (R7) GRANT DEED, RECORDED JUNE 11, 2014 AS DOCUMENT NUMBER 2014-140054, OFFICIAL RECORDS OF ALAMEDA COUNTY, STATE OF CALIFORNIA.
- (R8) GRANT DEED, RECORDED MAY 18, 2009 AS DOCUMENT NUMBER 2009-156779, OFFICIAL RECORDS OF ALAMEDA COUNTY, STATE OF CALIFORNIA.
- (R9) DOCUMENT ENTITLED "NONDISTURBANCE AND ATTORNEYS' AGREEMENT", RECORDED MARCH 22, 2016 AS DOCUMENT NUMBER 2016-068695, OFFICIAL RECORDS OF ALAMEDA COUNTY, STATE OF CALIFORNIA.

NOTES

- (1) BEARING IS BASED ON THE MEAN BEARING OF THE RIGHT OF WAY LINES OF BERKELEY WAY AND UNIVERSITY AVENUE.
- (2) BEARING IS BASED ON IMPROVEMENTS.
- (3) (R8) HAS A DEED CALL OF 8 INCHES; IT IS BELIEVED TO BE AN ERROR. THE DISTANCE OF 100 FOOT PER (R1) IS BEING HELD BASED ON THE DEED CALL OF 112.30 FEET OF (R8).

SURVEYOR'S CERTIFICATE

TO VERNON A. HEFF AND BARBARA NEFF, AS TRUSTEES OF THE HEFF 2002 FAMILY TRUST, AND OLD REPUBLIC TITLE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2020 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/SURVEY LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 6(B), 7(A), 7(B), 7(C), 8, 9, 10, 11(A), 13, 14, 16, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 3, 9 AND 20, 2022.

Jacqueline Luk
JACQUELINE LUK P.L.S. 9934
FOR LUK & ASSOCIATES, INC.



SHEET INDEX

- 1. NOTES
- 2. BOUNDARY SURVEY
- 3. TOPOGRAPHIC SURVEY

ALTA/NSPS
LAND TITLE SURVEY
OF
1950, 1974, 1984, 1998 SHATTUCK AVENUE
AND 2071 UNIVERSITY AVENUE
CITY OF BERKELEY, ALAMEDA COUNTY, CALIFORNIA
DECEMBER 2022
PREPARED BY
LUK AND ASSOCIATES
CIVIL ENGINEER - LAND PLANNERS - LAND SURVEYORS
738 ALFRED NOBEL DRIVE
HERCULES, CALIFORNIA 94547
(510) 724-3388

TITLE REPORT (1950 SHATTUCK)

THE TITLE REPORT USED IN THIS SURVEY WAS ISSUED BY OLD REPUBLIC TITLE COMPANY, PRELIMINARY REPORT ORDER NO. 1117202135-AL, EFFECTIVE DATE OCTOBER 12, 2022 AT 7:30 A.M., REFERRED TO HEREON AS THE "P191"

TITLE TO SAID ESTATE IS VESTED IN: (1950 SHATTUCK)

JULIAR, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

THE ESTATE OR INTEREST IN THE LAND IS: (1950 SHATTUCK)

FEE

LEGAL DESCRIPTION (1950 SHATTUCK)

THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE COUNTY OF ALAMEDA, CITY OF BERKELEY, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE WESTERN LINE OF SHATTUCK AVENUE, WITH THE SOUTHERN LINE OF BERKELEY WAY, AS SAID AVENUE AND WAY ARE SHOWN ON THE MAP HERIN REFERRED TO, RUNNING THENCE SOUTHERLY ALONG SAID LINE OF SHATTUCK AVENUE, 60.09 FEET, THENCE WESTERLY PARALLEL, WITH SAID LINE OF BERKELEY WAY, 109 FEET, MORE OR LESS, TO THE EASTERLY BOUNDARY LINE OF THE LAND DESCRIBED IN THE DEED RECORDED BY F. D. CHASE AND ATLANTA L. CHASE, HIS WIFE, TO JACOB BIRME, DATED JULY 28, 1922, AND RECORDED IN LIBER 324 OF OFFICIAL RECORDS, AT PAGE 73, ALAMEDA COUNTY RECORDS; THENCE AT RIGHT ANGLES NORTHERLY ALONG SAID LAST NAMED BOUNDARY LINE 35 FEET, MORE OR LESS, TO THE SOUTHERN BOUNDARY LINE OF LOT 58, AS SAID LOT IS SHOWN ON THE SAID MAP; THENCE AT RIGHT ANGLES EASTERLY 8 INCHES; THENCE AT RIGHT ANGLES NORTHERLY PARALLEL, WITH THE WESTERLY BOUNDARY LINE OF SAID LOT 58, AFORESAID, 25 FEET TO THE SOUTHERN LINE OF BERKELEY WAY, THENCE EASTERLY ALONG SAID LINE OF BERKELEY WAY, 112.30 FEET TO THE POINT OF BEGINNING.

BEING PORTIONS OF LOTS NOS. 54, 56 AND 57, AS SAID LOTS ARE DELINEATED AND AS DESIGNATED UPON THAT CERTAIN MAP ENTITLED, "MAP OF COLLEGE TRACT, BERKELEY", FILED JANUARY 31, 1880, IN LIBER 9 OF MAPS, PAGE 46, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY.

APN: 057-2053-001

EXCEPTIONS TO TITLE (1950 SHATTUCK)

- 1. THE HEREIN DESCRIBED PROPERTY LYING WITHIN THE PROPOSED BOUNDARIES OF A COMMUNITY FACILITIES DISTRICT, AS FOLLOWS, DISTRICT NO 2014-1, FOR CLEAN ENERGY, DISCLOSED BY: ASSESSMENT MAP BOOK 18 PAGE 65, RECORDED AUGUST 24, 2015 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 201523594 (P193 EXC. 3 - NOT PLOTTABLE).
- 2. AN EASEMENT AFFECTING THAT PORTION OF SAID LAND AND FOR THE PURPOSES STATED HEREIN AND INCIDENTAL PURPOSES AS PROVIDED IN THE FOLLOWING INSTRUMENT DEED, GRANTED TO SAN FRANCISCO BAY AREA RAPID TRANSIT DISTRICT, FOR RAPID TRANSIT TUNNEL FACILITIES, RECORDED MAY 16, 1966 IN BOOK 1768 OF OFFICIAL RECORDS, PAGE 944 UNDER RECORDER'S SERIAL NUMBER A19470, AFFECTS A PORTION (P191 EXC. 5 - PLOTTED).

TITLE REPORT (1974 SHATTUCK)

THE TITLE REPORT USED IN THIS SURVEY WAS ISSUED BY OLD REPUBLIC TITLE COMPANY, PRELIMINARY REPORT ORDER NO. 1117202135-AL, EFFECTIVE DATE SEPTEMBER 26, 2022 AT 7:30 A.M., REFERRED TO HEREON AS THE "P192"

TITLE TO SAID ESTATE IS VESTED IN: (1974 SHATTUCK)

1974 SHATTUCK AVENUE, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

THE ESTATE OR INTEREST IN THE LAND IS: (1974 SHATTUCK)

FEE

LEGAL DESCRIPTION (1974 SHATTUCK)

THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE COUNTY OF ALAMEDA, CITY OF BERKELEY, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERN LINE OF SHATTUCK AVENUE, DISTANT THEREON SOUTHERLY, 40.6 FEET FROM THE POINT OF INTERSECTION THEREOF, WITH THE SOUTHERN LINE OF BERKELEY WAY, AS SAID AVENUE AND WAY ARE SHOWN ON THE MAP HERIN REFERRED TO, RUNNING THENCE SOUTHERLY ALONG SAID LINE OF SHATTUCK AVENUE, 49.20 FEET, THENCE WESTERLY AND PARALLEL, WITH SAID LINE OF BERKELEY WAY, 105.50 FEET, MORE OR LESS, TO A POINT WHICH WOULD BE INTERSECTED BY A LINE DRAWN SOUTHERLY FROM AND AT RIGHT ANGLES TO SAID LINE BERKELEY WAY FROM A POINT DISTANT THEREON, 113.30 FEET WESTERLY FROM THE WESTERN LINE OF SHATTUCK AVENUE; THENCE AT RIGHT ANGLES NORTHERLY, 49 FEET, MORE OR LESS, TO A POINT WHICH WOULD BE INTERSECTED BY A LINE DRAWN WESTERLY FROM SAID POINT OF BEGINNING AND PARALLEL, WITH BERKELEY WAY, THENCE EASTERLY ALONG SAID PARALLEL LINE, 109 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

BEING A PORTION OF LOTS 57 AND 58, AS SAID LOTS ARE SHOWN ON THE MAP OF THE COLLEGE TRACT, BERKELEY, FILED JANUARY 31, 1880, IN BOOK 9 OF MAPS, PAGE 46, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY.

APN: 057-2053-002

EXCEPTIONS TO TITLE (1974 SHATTUCK)

- 1. AN EASEMENT AFFECTING THAT PORTION OF SAID LAND AND FOR THE PURPOSES STATED HEREIN AND INCIDENTAL PURPOSES AS PROVIDED IN THE FOLLOWING, GRANTED TO BAY AREA RAPID TRANSIT DISTRICT, A RAPID TRANSIT DISTRICT, FOR UNDERGROUND RAPID TRANSIT TUNNEL FACILITIES, RECORDED SEPTEMBER 23, 1966 IN BOOK 1846 OF OFFICIAL RECORDS, PAGE 53 UNDER RECORDER'S SERIAL NUMBER AT-111314 (P192 EXC. 4 - PLOTTED)

TITLE REPORT (1984 & 1998 SHATTUCK)

THE TITLE REPORT USED IN THIS SURVEY WAS ISSUED BY OLD REPUBLIC TITLE COMPANY, PRELIMINARY REPORT ORDER NO. 1117202433-M, 1ST UPDATE, EFFECTIVE DATE OCTOBER 12, 2022 AT 7:30 A.M., REFERRED TO HEREON AS THE "P193"

TITLE TO SAID ESTATE IS VESTED IN: (1984 & 1998 SHATTUCK)

FIFTH KEEL CO., A CALIFORNIA CORPORATION

THE ESTATE OR INTEREST IN THE LAND IS: (1984 & 1998 SHATTUCK)

FEE

LEGAL DESCRIPTION (1984 & 1998 SHATTUCK)

THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE COUNTY OF ALAMEDA, CITY OF BERKELEY, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

COMMENCING AT THE POINT OF INTERSECTION OF THE NORTHERN LINE OF UNIVERSITY AVENUE WITH THE WESTERLY LINE OF SHATTUCK AVENUE AS SAID AVENUES NOW EXIST; THENCE WESTERLY ALONG THE NORTHERN LINE OF UNIVERSITY AVENUE, 79.02 FEET; THENCE AT RIGHT ANGLES NORTHERLY 114.68 FEET, MORE OR LESS, TO THE SOUTHERN LINE OF THE LAND NOW OR FORMERLY OF JOHN H. BOHIG AND LOTTA BOHIG; THENCE EASTERLY AND ALONG SAID LINE 87.07 FEET TO THE WESTERN LINE OF SHATTUCK AVENUE; THENCE SOUTHERLY ALONG SAID LINE OF SHATTUCK AVENUE 114.93 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

APN'S: 057-2053-003-01 AND 057-2053-003-02

EXCEPTIONS TO TITLE (1984 & 1998 SHATTUCK)

- 1. THE HEREIN DESCRIBED PROPERTY LYING WITHIN THE PROPOSED BOUNDARIES OF A COMMUNITY FACILITIES DISTRICT, AS FOLLOWS, DISTRICT NO 2014-1, FOR CLEAN ENERGY, DISCLOSED BY: ASSESSMENT MAP BOOK 18 PAGE 65, RECORDED AUGUST 24, 2015 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 201523594 (P193 EXC. 4 - NOT PLOTTABLE).
- 2. THE HEREIN DESCRIBED PROPERTY LYING WITHIN THE PROPOSED BOUNDARIES OF A COMMUNITY FACILITIES DISTRICT, AS FOLLOWS, DISTRICT NO P80-2016, FOR BERKELEY DOWNTOWN P80-2016, DISCLOSED BY: NOTICE OF ASSESSMENT, RECORDED JUNE 30, 2016 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 201604799 (P193 EXC. 5 - NOT PLOTTABLE).
- 3. AN EASEMENT AFFECTING THAT PORTION OF SAID LAND AND FOR THE PURPOSES STATED HEREIN AND INCIDENTAL PURPOSES AS PROVIDED IN THE FOLLOWING INSTRUMENT DEED, GRANTED TO SAN FRANCISCO BAY AREA RAPID TRANSIT DISTRICT, FOR RAPID TRANSIT TUNNEL FACILITIES, DATED APRIL 6, 1967, RECORDED MAY 10, 1967 IN REEL 1967 OF OFFICIAL RECORDS, IMAGE 230 UNDER RECORDER'S SERIAL NUMBER AZ 4339, AFFECTS A PORTION OF THE PREMISES, THE PRESENT OWNERSHIP OF SAID EASEMENT AND OTHER MATTERS AFFECTING THE INTERESTS THEREOF, IF ANY, ARE NOT SHOWN HEREIN (P193 EXC. 7 - PLOTTED).
- 4. A NOTICE AS FOLLOWS, ENTITLED NOTICE OF ASSESSMENT - DOWNTOWN BERKELEY P80, BY CITY OF BERKELEY, DATED AUGUST 25, 2011, RECORDED AUGUST 30, 2011 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 2011248356 (P193 EXC. 8 - NOT PLOTTABLE).

TITLE REPORT (2701 UNIVERSITY)

THE TITLE REPORT USED IN THIS SURVEY WAS ISSUED BY OLD REPUBLIC TITLE COMPANY, PRELIMINARY REPORT ORDER NO. 1117202137-AL, EFFECTIVE DATE OCTOBER 12, 2022 AT 7:30 A.M., REFERRED TO HEREON AS THE "P194"

TITLE TO SAID ESTATE IS VESTED IN: (2701 UNIVERSITY)

EDITH WESER GLYNN, TRUSTEE OF THE EDITH WESER GLYNN TRUST

THE ESTATE OR INTEREST IN THE LAND IS: (2701 UNIVERSITY)

FEE

LEGAL DESCRIPTION (2701 UNIVERSITY)

THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE COUNTY OF ALAMEDA, CITY OF BERKELEY, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERN LINE OF BERKELEY WAY, AS SHOWN UPON THE MAP HERIN REFERRED TO, DISTANT THEREON ONE HUNDRED FIFTEEN AND 46/100 FEET WESTERLY FROM THE INTERSECTION THEREOF WITH THE WESTERN LINE OF SHATTUCK AVENUE AS ESTABLISHED BY BEARINGS OF TRUSTEES OF THE TOWN OF BERKELEY, JAN. 18, 1892, BY ORDINANCE NO. 387, SAID POINT BEING ONE FOOT EASTERLY ON SAID LINE OF BERKELEY WAY FROM THE LINE DIVIDING LOTS NUMBERED 54 AND 55 ACCORDING TO SAID MAP; RUNNING THENCE WESTERLY ALONG SAID LINE OF BERKELEY WAY TWENTY-NINE FEET TO THE LINE DIVIDING LOTS NUMBERED 55 AND 54 ACCORDING TO SAID MAP; THENCE AT RIGHT ANGLES SOUTHERLY ALONG SAID LINE ONE HUNDRED TEN FEET; THENCE AT RIGHT ANGLES EASTERLY THREE AND 73/100 FEET; THENCE AT RIGHT ANGLES SOUTHERLY ONE HUNDRED FOURTEEN AND 68/100 FEET TO THE NORTHERN LINE OF UNIVERSITY AVENUE; THENCE EASTERLY ALONG SAID LINE OF UNIVERSITY AVENUE FIFTY-FIVE AND 9/10 FEET; THENCE AT RIGHT ANGLES NORTHERLY ONE HUNDRED FOURTEEN AND 68/100 FEET; THENCE AT RIGHT ANGLES WESTERLY TWENTY- ONE AND 63/100 FEET; THENCE AT RIGHT ANGLES NORTHERLY EIGHTY-FIVE FEET TO THE SOUTHWEST CORNER OF LOT NUMBERED 55; ACCORDING TO SAID MAP; THENCE AT RIGHT ANGLES EASTERLY ALONG THE SOUTHERN LINE OF SAID LOT ONE FOOT AND THENCE AT RIGHT ANGLES NORTHERLY TWENTY-FIVE FEET TO THE POINT OF BEGINNING.

BEING LOT NUMBERED 54, THE WESTERN ONE FOOT OF LOT NUMBERED 55, A PORTION OF LOT NUMBERED 6 AND A PARCEL ADJOINING SAID LOT NUMBER 6 ON THE EAST, AS ALL OF SAID LOTS ARE DELINEATED AND SO DESIGNATED UPON THAT CERTAIN MAP ENTITLED, "MAP OF COLLEGE TRACT, BERKELEY", FILED MAY 24, 1877, IN LIBER 5 OF MAPS AT PAGE 14, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY.

EXCEPT THEREFROM THAT PORTION DESCRIBED IN THE DEED TO THE CITY OF BERKELEY, RECORDED SEPTEMBER 28, 1955, BOOK 7798, PAGE 23, AS INSTRUMENT NO. AK-105619, OFFICIAL RECORDS.

APN: 057-2053-004-02

EXCEPTIONS TO TITLE (2701 UNIVERSITY)

- 1. THE HEREIN DESCRIBED PROPERTY LYING WITHIN THE PROPOSED BOUNDARIES OF A COMMUNITY FACILITIES DISTRICT, AS FOLLOWS, DISTRICT NO 2014-1, FOR CLEAN ENERGY, DISCLOSED BY ASSESSMENT MAP BOOK 18 PAGE 65, RECORDED AUGUST 24, 2015 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 201523594 (P194 EXC. 3 - NOT PLOTTABLE).
- 2. THE HEREIN DESCRIBED PROPERTY LYING WITHIN THE PROPOSED BOUNDARIES OF A COMMUNITY FACILITIES DISTRICT, AS FOLLOWS, DISTRICT NO CITY OF BERKELEY-DOWNTOWN PROPERTY AND BUSINESS IMPROVEMENT DISTRICT, FOR BERKELEY DOWNTOWN P80-2016, DISCLOSED BY NOTICE OF ASSESSMENT, RECORDED JUNE 30, 2016 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 201604799 (P194 EXC. 5 - NOT PLOTTABLE).
- 3. TERMS AND CONDITIONS CONTAINED IN THE EDITH WESER GLYNN TRUST AS DISCLOSED BY GRANT DEED, RECORDED MAY 22, 1984 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 1984069372 (P194 EXC. 6 - NOT PLOTTABLE).
- 4. TERMS AND PROVISIONS AS CONTAINED IN AN INSTRUMENT ENTITLED NONDISTURBANCE AND ATTORNEYS' AGREEMENT, EXECUTED BY EDITH W. GLYNN AND T.P. RESTAURANT GROUP, INC., A DELAWARE CORPORATION (SEA TENDER GREENS, RECORDED MARCH 22, 2016 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 2016068695 (P194 EXC. 7 - NOT PLOTTABLE).
- 5. TERMS AND PROVISIONS AS CONTAINED IN AN INSTRUMENT ENTITLED MINOR ENCROACHMENT PERMIT 17-03, EXECUTED BY EDITH W. GLYNN AND THE CITY OF BERKELEY, RECORDED MAY 24, 2017 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 2017134777 (P194 EXC. 8 - NOT PLOTTABLE)

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**1950-1998
 (1974)
 SHATTUCK**

Berkeley, CA

- 12.12.2022 SB-330 SUBMITTAL
- 03.01.2023 ZONING SUBMITTAL
- 07.18.2023 ZONING RESUBMITTAL
- 11.15.2023 ZONING RESUBMITTAL
- 03.12.2024 ZONING RESUBMITTAL
- 01.16.2025 PRELIM DRC HEARING SET

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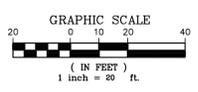
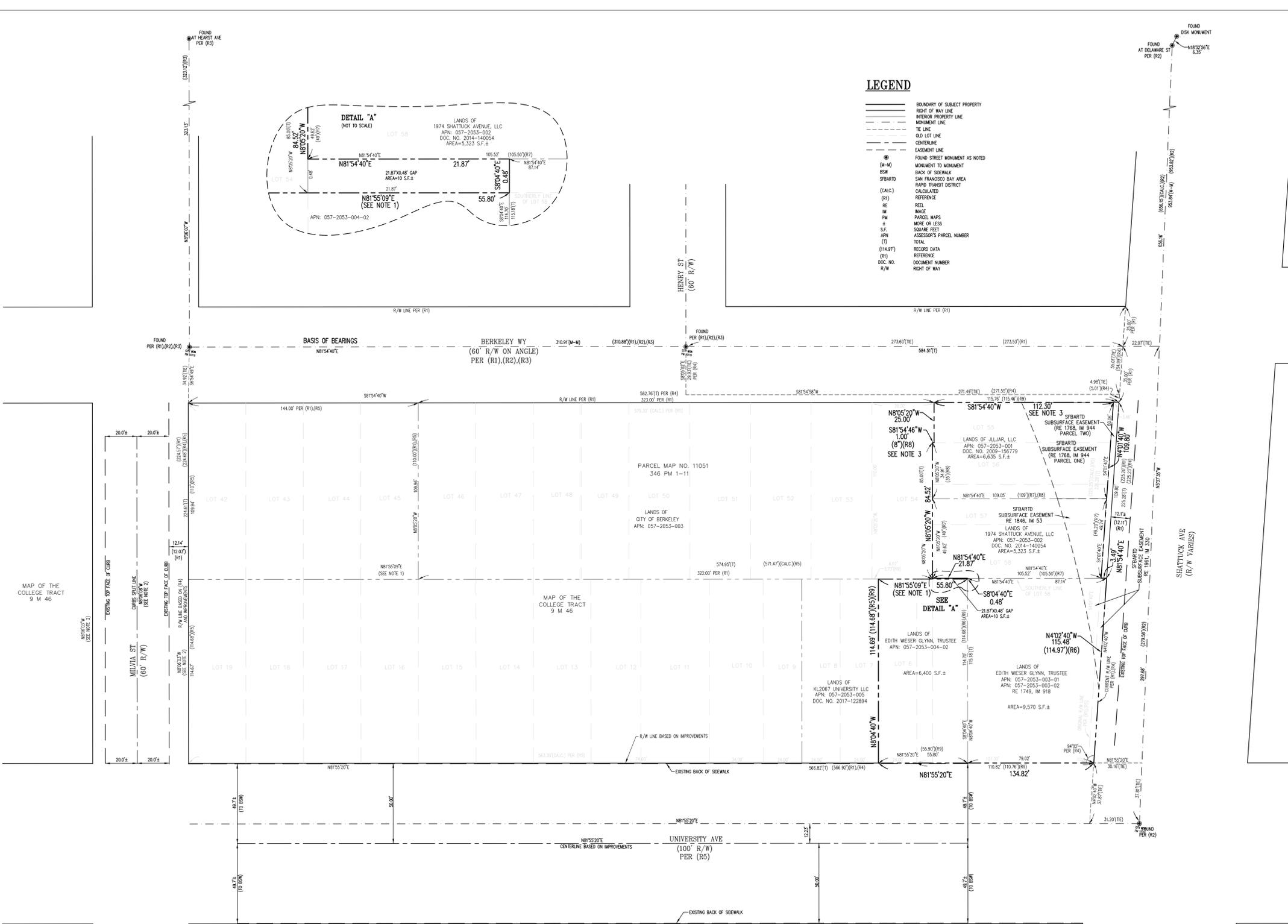
SHEET:

SURVEY

A0.6B

LEGEND

- BOUNDARY OF SUBJECT PROPERTY
- RIGHT OF WAY LINE
- INTERIOR PROPERTY LINE
- MONUMENT LINE
- TIE LINE
- OLD LOT LINE
- CENTERLINE
- EASEMENT LINE
- FOUND STREET MONUMENT AS NOTED
- (M-M) MONUMENT TO MONUMENT
- (B-M) BACK OF SIDEWALK
- (S-B) SAN FRANCISCO BAY AREA RAPID TRANSIT DISTRICT
- (CALC) CALCULATED
- (R) REFERENCE
- (RE) REEL
- (M) MAP
- (P) PARCEL MAPS
- ± MORE OR LESS
- ± S.F. SQUARE FEET
- ± APN, ASSESSOR'S PARCEL NUMBER
- (T) TOTAL
- (14.97) RECORD DATA
- (R) REFERENCE
- (R) DOC. NO. DOCUMENT NUMBER
- R/W RIGHT OF WAY



**ALTA/NSPS
 LAND TITLE SURVEY**
 OF
 1950, 1974, 1984, 1998 SHATTUCK AVENUE
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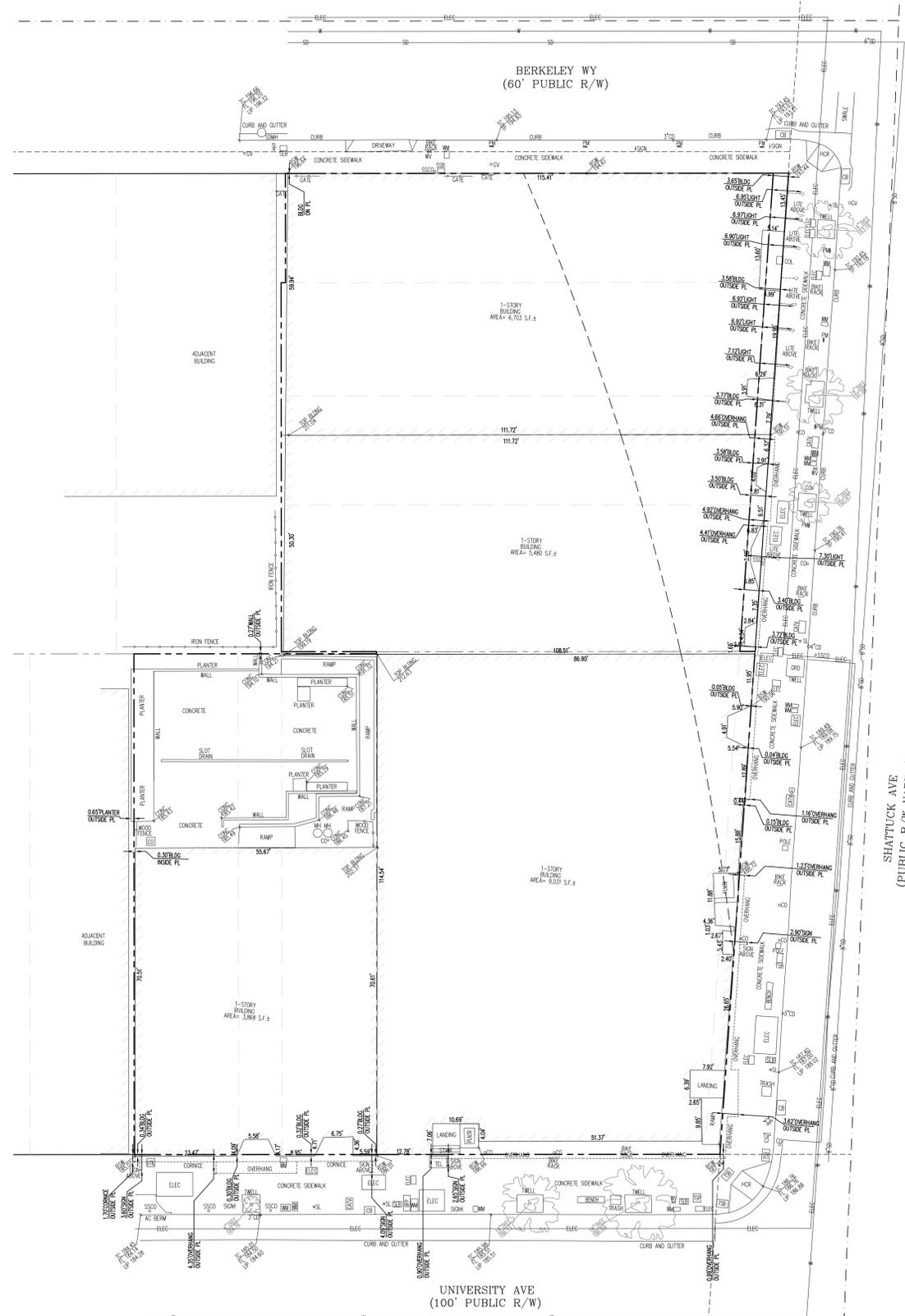
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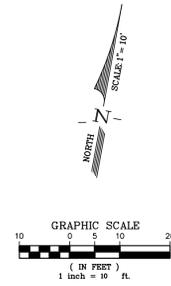
SURVEY

A0.6C



LEGEND

SYMBOLS	DESCRIPTION
---	BOUNDARY OF SUBJECT PROPERTY
---	RIGHT OF WAY LINE
---	INTERIOR PROPERTY LINE
---	MONUMENT LINE
---	THE LINE
---	OLD LOT LINE
ELEC	ELECTRIC LINE
GAS	GAS LINE
W	WATER LINE
SD	STORM DRAIN LINE
SS	SANITARY SEWER LINE
ELEC	ELECTRICITY BOX
AS	ASPHALT BERM
SSCO	SANITARY SEWER CLEAN OUT
WM	WATER METER
HCR	HANDICAP RAMP
TWELL	TREE WELL
SL	STREET LIGHT
PL	PLANTER BOX
CB	CATCH BASIN
TEL	TELECOMMUNICATION BOX
GV	GAS VALVE
SLB	STREET LIGHT BOX
CD	CURB DRAIN
CO	CLEAN OUT
BFP	BACK FLOW PREVENTER
TSB	TRAFFIC SIGNAL BOX
WV	WATER VALVE
CD	CURB DRAIN
PM	PARKING METER
CS	COLUMN
SSSB	SANITARY SEWER BOX
SDM	STORM DRAIN MAN HOLE
GRD	GROUND
SLD	SLOT DRAIN
MANH	MANHOLE
CE	TOP OF CONCRETE ELEVATION
SE	BACK OF SIDEWALK ELEVATION
CE	TOP OF CURB ELEVATION
PE	TOP OF PAVEMENT ELEVATION
FE	FLOW LINE ELEVATION
BE	TOP OF BUILDING ELEVATION
LE	TOP OF LIP ELEVATION
T	TREE



**ALTA/NSPS
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 (1974)
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Berkeley, CA

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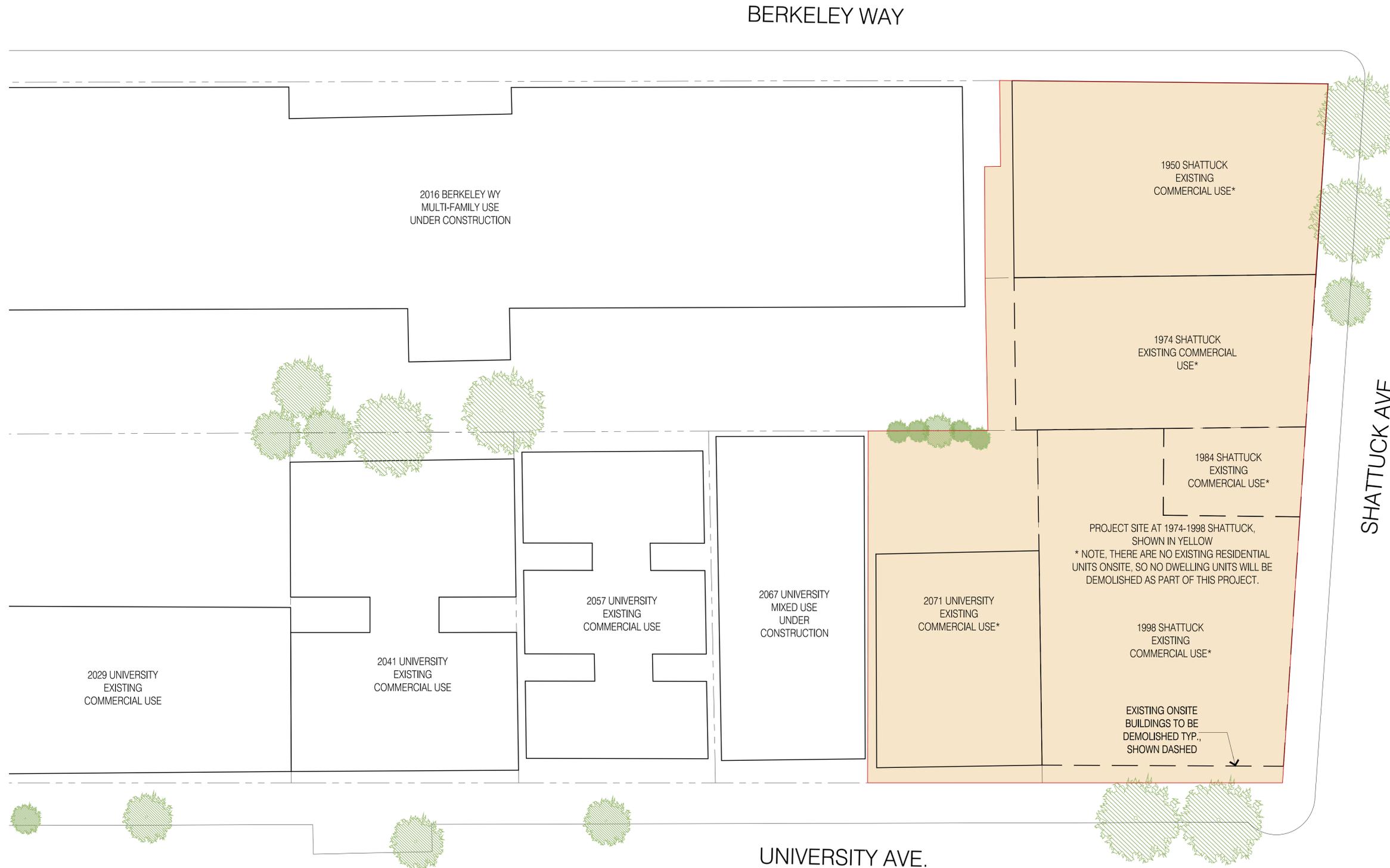
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JOB: 2209

SHEET:

EXISTING
 SITE PLAN

A1.0



EXISTING SITE PLAN

1/32"=1'-0" @ 11x17 1/16"=1'-0" @ 24x36



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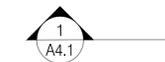
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JOB: 2209

SHEET:

FLOOR PLANS

A2.0a



LINE OF EDGE OF BART TUNNEL,
29 FEET BELOW GRADE, SHOWN DASHED
LINE OF 8-FOOT BUFFER ZONE TO EDGE
OF BART TUNNEL, SHOWN DASHED



PLAN AT BASEMENT PARKING LEVEL P2

3/64"=1'-0" @ 11x17 3/32"=1'-0" @ 24x36



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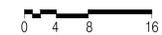
FLOOR PLANS

A2.0b



PLAN AT BASEMENT PARKING LEVEL P1

3/64"=1'-0" @ 11x17 3/32"=1'-0" @ 24x36



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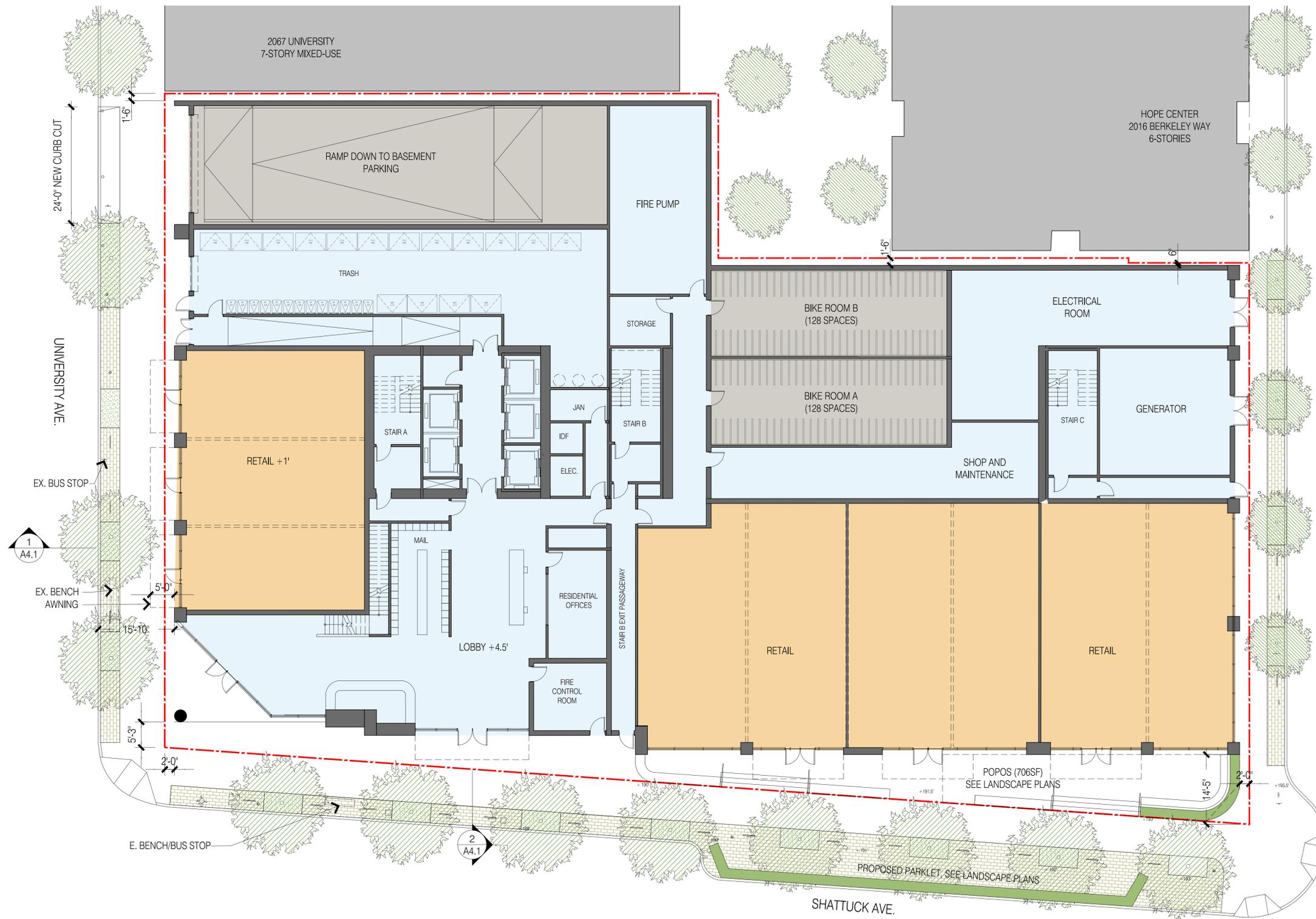
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JOB: 2209

SHEET:

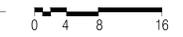
FLOOR PLANS

A2.1



1 SITE PLAN / PLAN AT GROUND FLOOR

3/64"=1'-0" @ 11x17 3/32"=1'-0" @ 24x36



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FLOOR PLANS

A2.2





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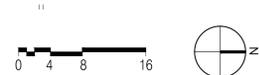
SHEET:

FLOOR PLANS

A2.3



1 PLAN AT LEVELS 3-13
 3/64"=1'-0" @ 11x17 3/32"=1'-0" @ 24x36



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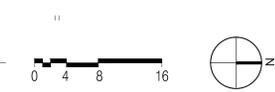
SHEET:

FLOOR PLANS

A2.4



1
 PLAN AT LEVEL 14
 3/64"=1'-0" @ 11x17 3/32"=1'-0" @ 24x36





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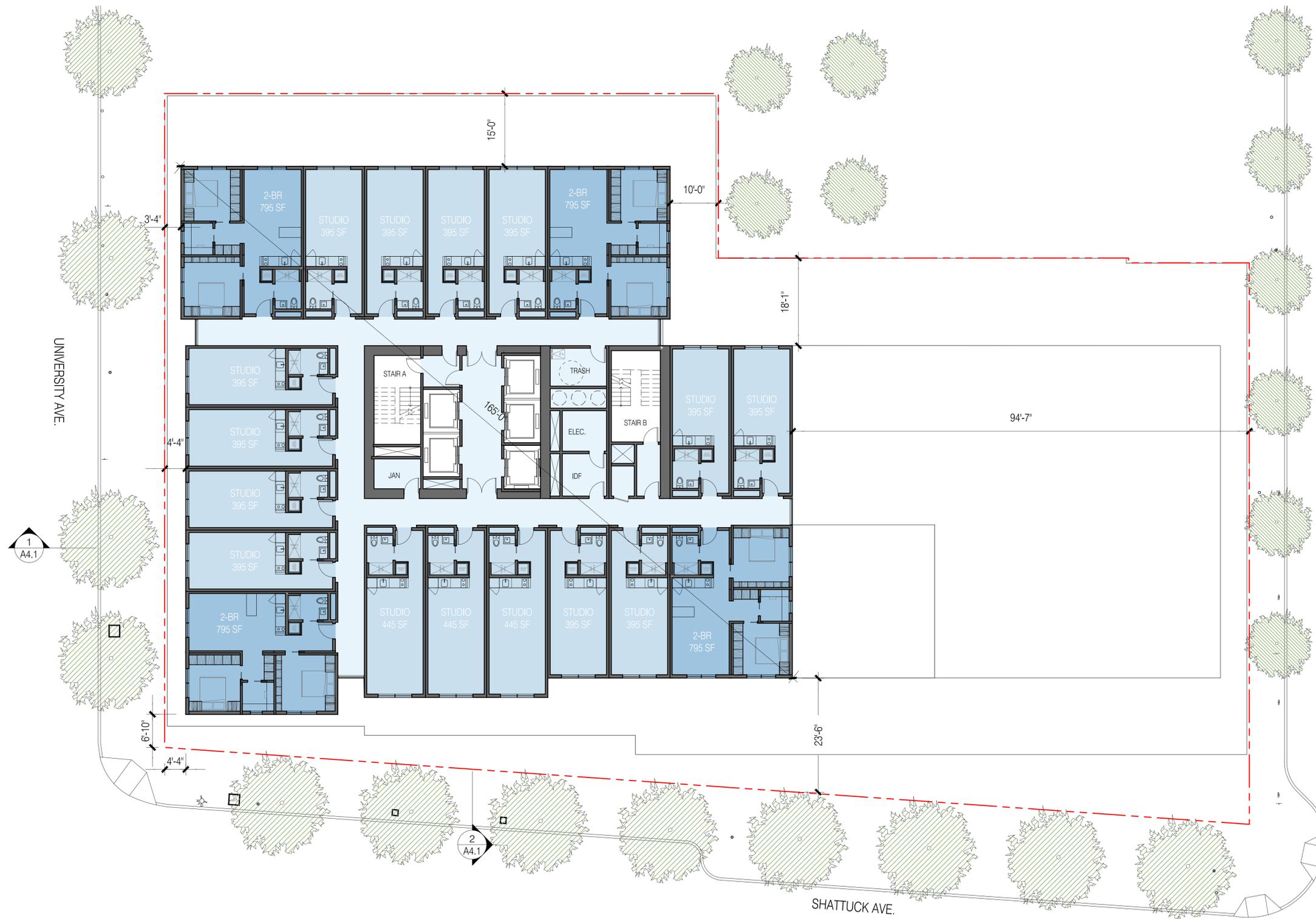
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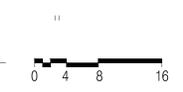
SHEET:

FLOOR PLANS

A2.5



1
 PLAN AT LEVELS 15-27
 3/64"=1'-0" @ 11x17 3/32"=1'-0" @ 24x36



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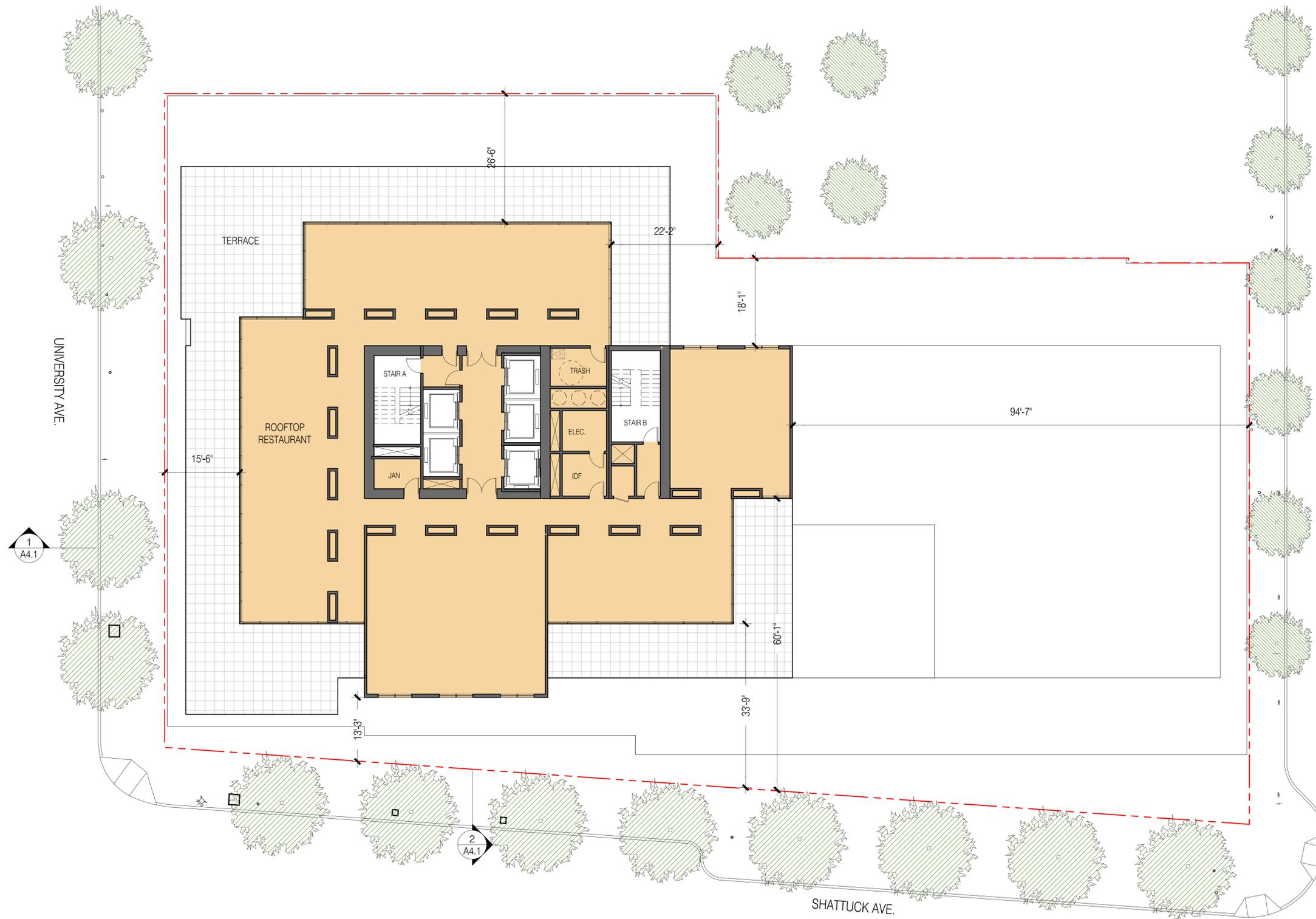
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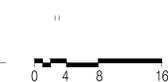
A2.6



1
 -

PLAN AT LEVEL 28 ROOFTOP RESTAURANT

3/64"=1'-0" @ 11x17 3/32"=1'-0" @ 24x36





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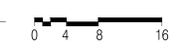
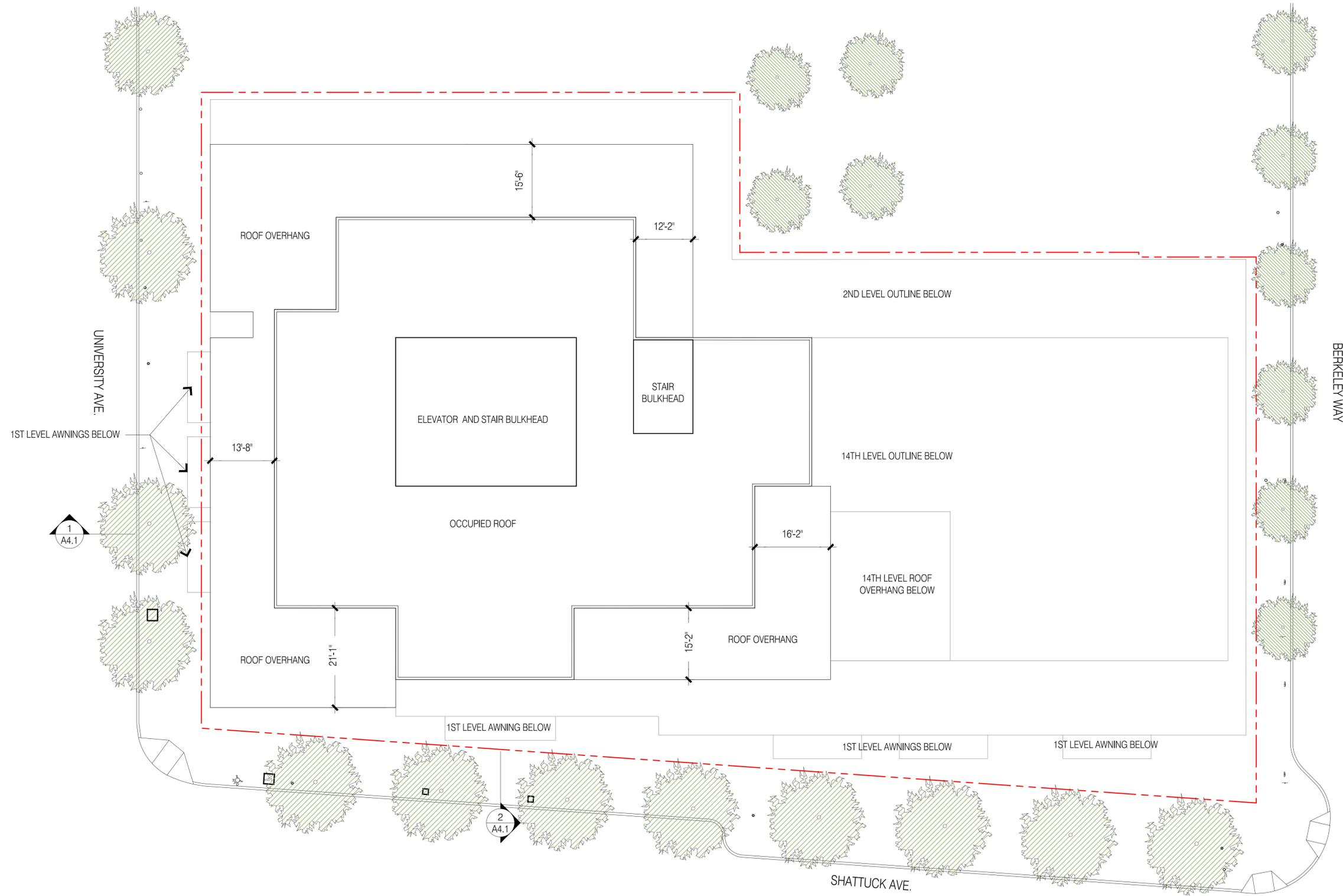
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SHEET:

ROOF PLAN

A2.7



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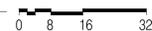
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ELEVATIONS

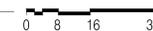
A3.1



2 EAST ELEVATION



1 SOUTH ELEVATION



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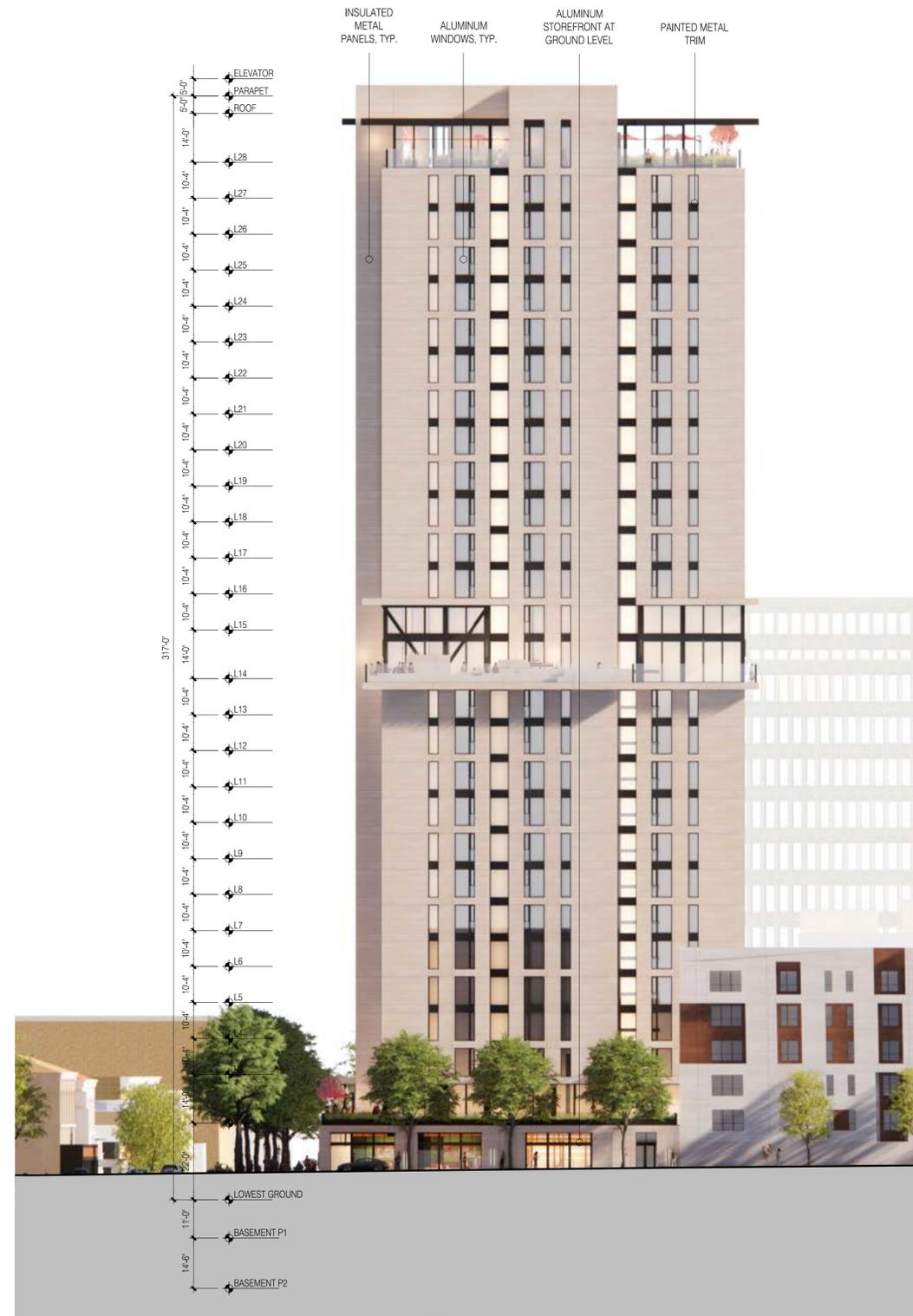
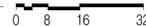
ELEVATIONS

A3.2



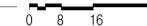
WEST ELEVATION

2



NORTH ELEVATION

1



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SHEET:

STREET STRIP
 ELEVATIONS

A3.3



2
 -

STREET STRIP ELEVATION @ SHATTUCK AVE

1/256"=1'-0" @ 11X17 3/128" = 1'-0" @ 24X36

0 8 16 32 64



1
 -

STREET STRIP ELEVATION @ UNIVERSITY AVE

3/256"=1'-0" @ 11X17 3/128" = 1'-0" @ 24X36

0 8 16 32 64



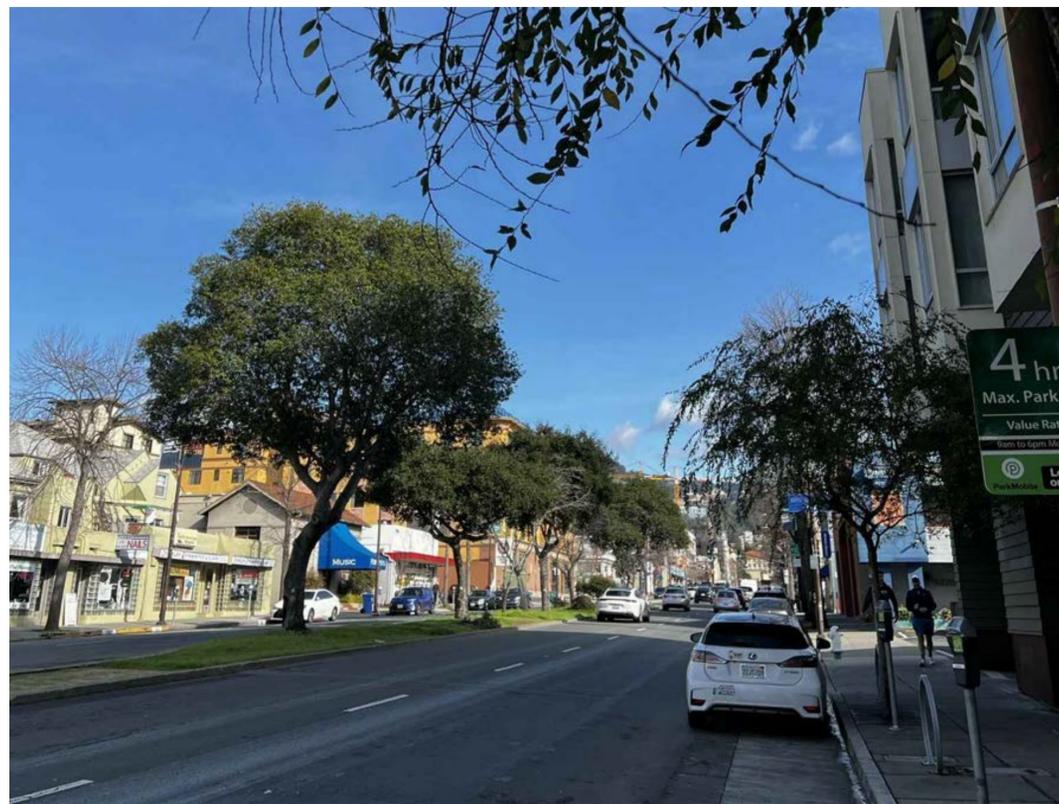
4 UNIVERSITY LOOKING WEST - AFTER



2 UNIVERSITY LOOKING EAST - AFTER



3 UNIVERSITY LOOKING WEST - BEFORE



1 UNIVERSITY LOOKING EAST - BEFORE

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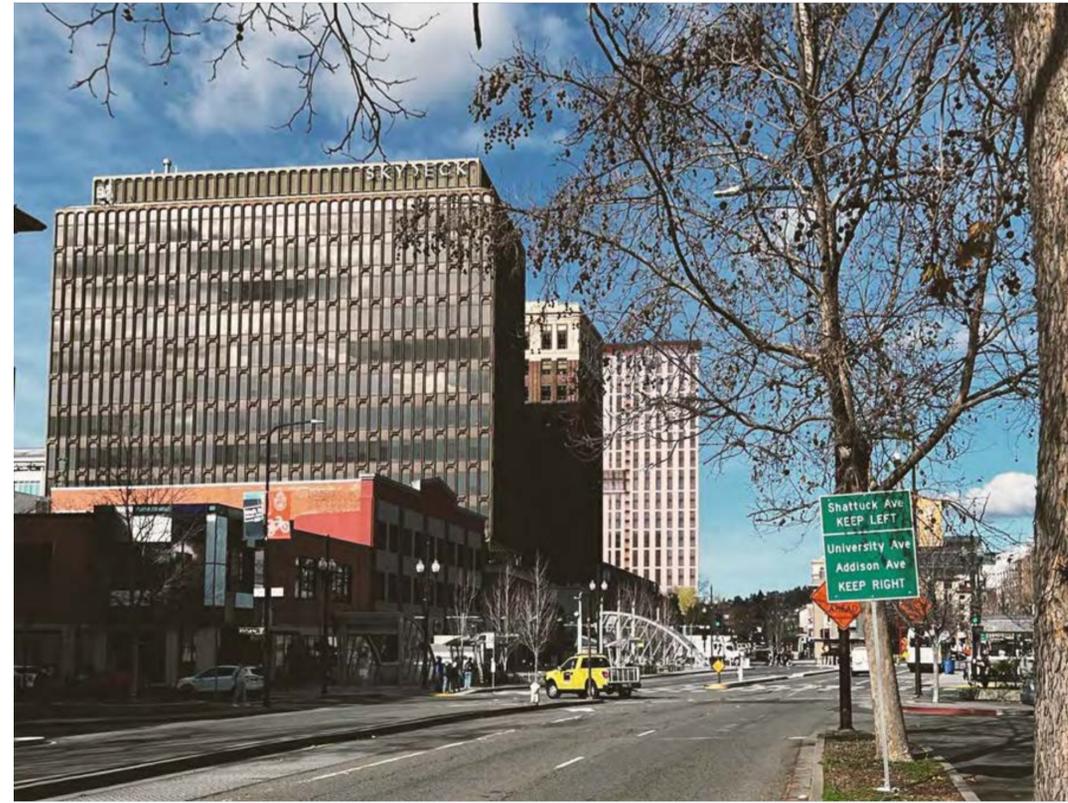
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SHEET:

PHOTO CONTEXT
 VIEWS

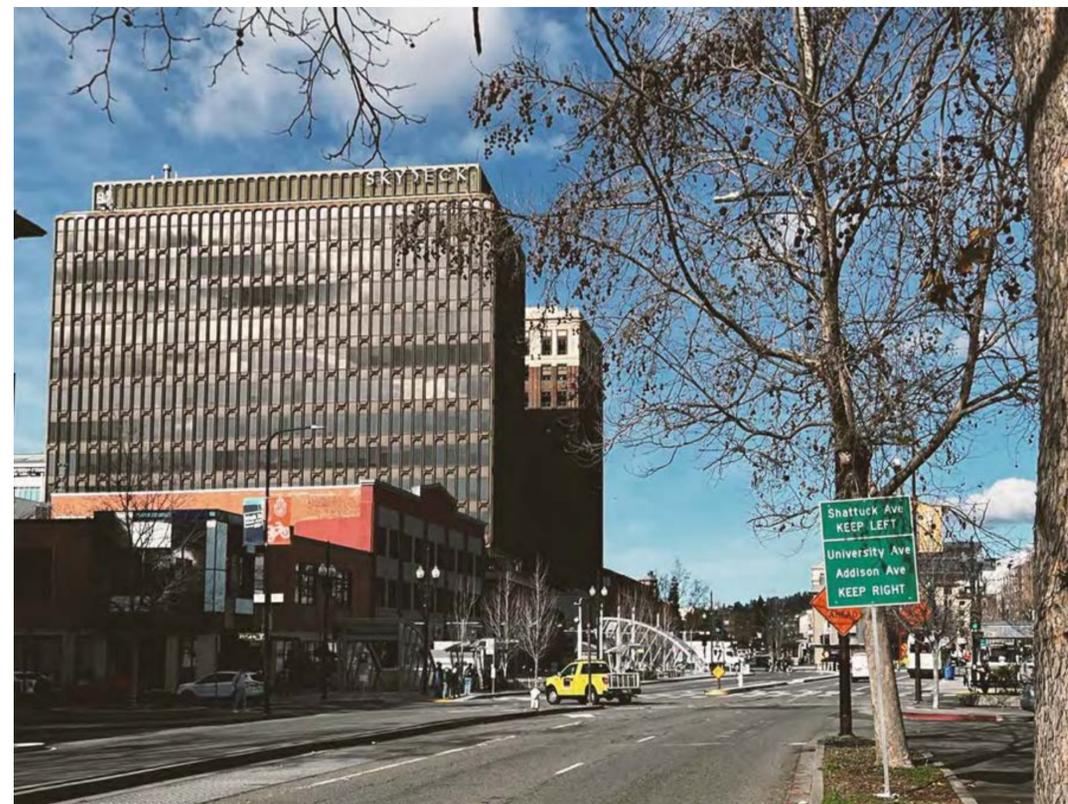
A3.4



4 - SHATTUCK LOOKING NORTH - AFTER



2 - SHATTUCK LOOKING SOUTH - AFTER



3 - SHATTUCK LOOKING NORTH - BEFORE



1 - SHATTUCK LOOKING SOUTH - BEFORE

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PHOTO CONTEXT
VIEWS

A3.5



4
 -
 BERKELEY LOOKING WEST - AFTER



2
 -
 BERKELEY LOOKING EAST - AFTER



3
 -
 BERKELEY LOOKING WEST - BEFORE



1
 -
 BERKELEY LOOKING EAST - BEFORE

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PHOTO CONTEXT
 VIEWS

A3.6

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RENDERING

A3.7



1 VIEW LOOKING NORTH

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SHEET:

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A3.8



1 VIEW LOOKING NORTH-WEST

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SHEET:

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A3.9



1 VIEW LOOKING SOUTH-WEST

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SHEET:

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A3.10



1 VIEW LOOKING SOUTH-EAST

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SHEET:

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A3.11



1 VIEW LOOKING NORTH-WEST AT SHATTUCK AND UNIVERSITY

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A3.12



1 VIEW LOOKING SOUTH-WEST ON SHATTUCK

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A3.13



1 VIEW LOOKING NORTH-EAST ON UNIVERSITY

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A3.14



1 SIDEWALK VIEW - UNIVERSITY LOOKING EAST

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RENDERING

A3.15



1 VIEW LOOKING SOUTH-WEST - SHATTUCK @ BERKELEY WAY

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SHEET:

PRELIMINARY
RENDERING

A3.16



1 SIDEWALK VIEW - SHATTUCK LOOKING SOUTH-WEST

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(1974)
SHATTUCK**

Berkeley, CA

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PRELIMINARY
RENDERING

A3.17



1

SIDEWALK VIEW - SHATTUCK LOOKING NORTH-WEST



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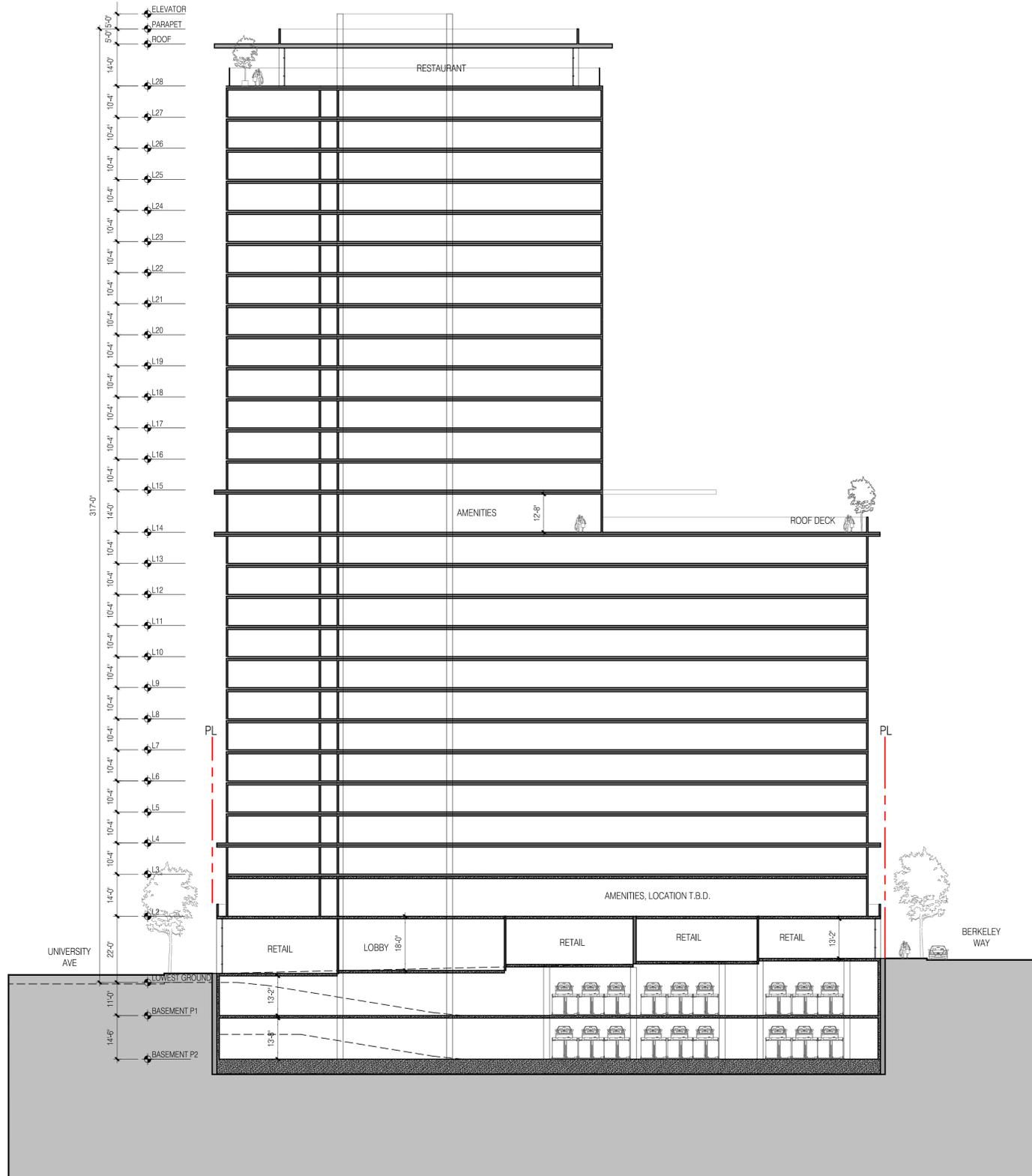
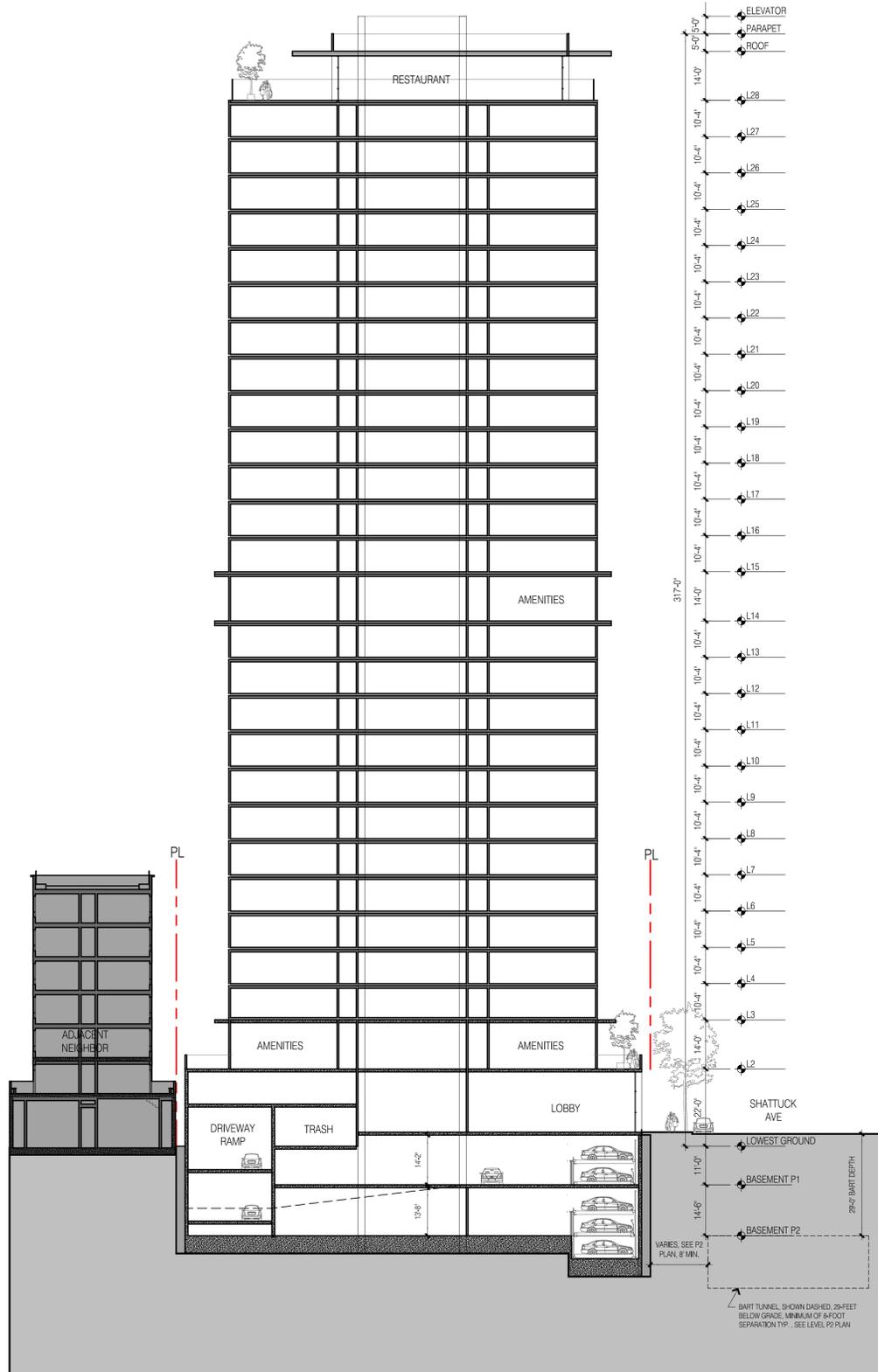
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BUILDING
 SECTIONS

A4.1



2 SECTION LOOKING NORTH

1 SECTION LOOKING WEST

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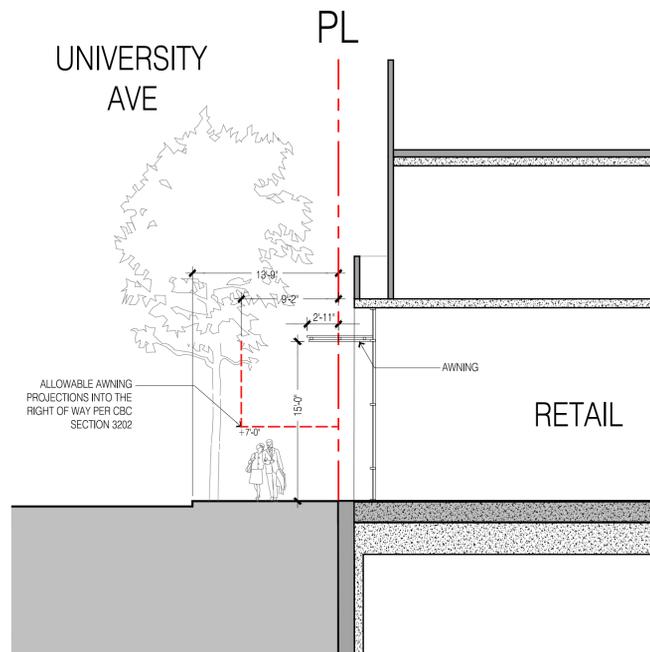
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AWNING
 ENCROACHMENT
 DIAGRAM

A4.2



2 SECTION THROUGH UNIVERSITY AVE.
 1/8" = 1'-0"

CUT AND FILL CALCULATIONS

	CUT/FILL AREA	AVERAGE CUT/FILL DEPTH (FT)	TOTAL VOLUME (CY)
PROPOSED BUILDING	23,262	37	31,878

EARTHWORK NOTES:

1. EARTHWORK QUANTITY IS A ROUGH ESTIMATE BASED ON APPROXIMATE DEPTH OF BOTTOM OF BASEMENT PARKING LEVEL.

2. EARTHWORK QUANTITIES DO NOT TAKE INTO ACCOUNT SOIL SHRINKAGE, SOIL SWELLING, TRENCH SPOILS, SITE OVER-EXCAVATION REQUIREMENTS.

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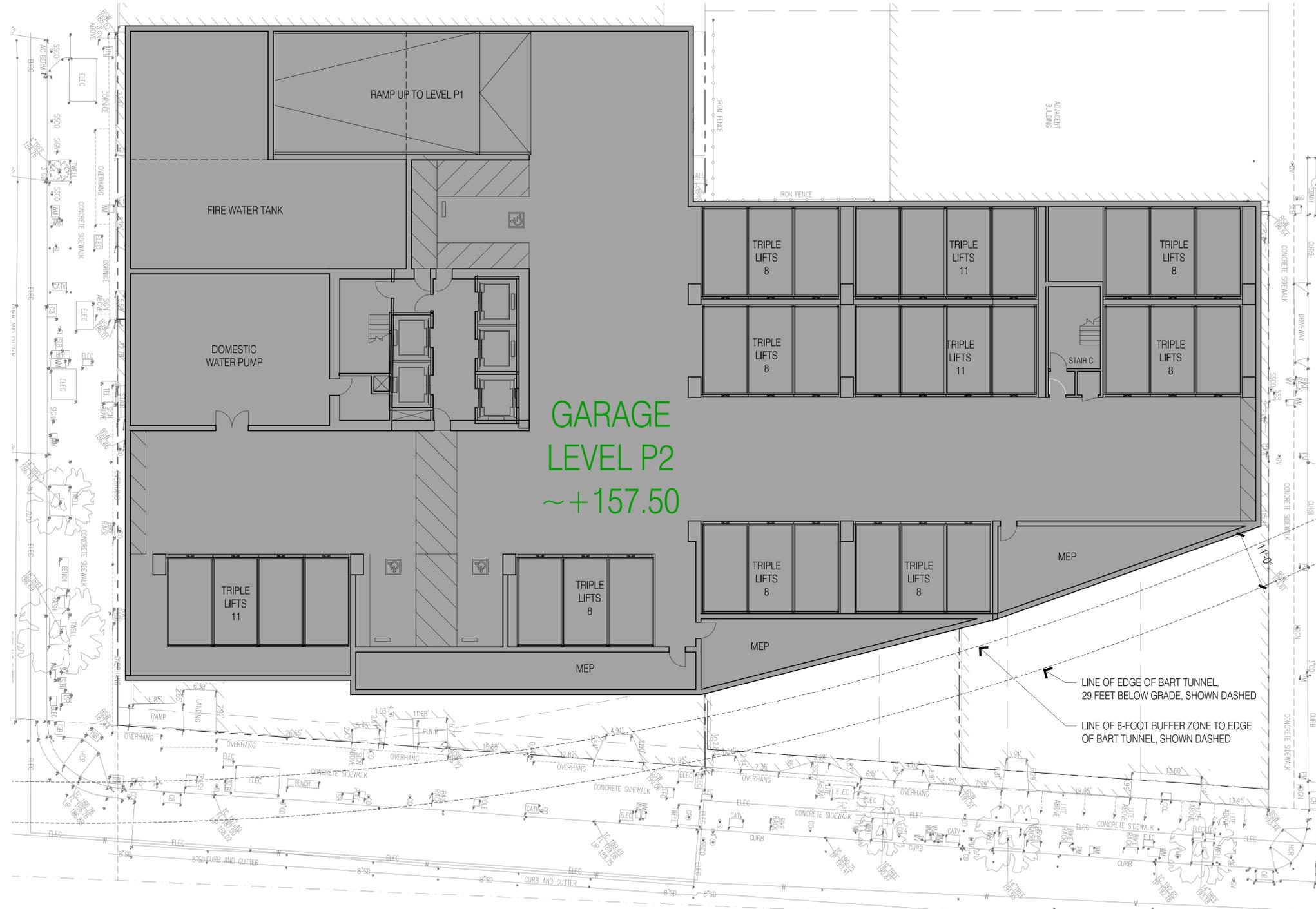
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SHEET:

CONCEPTUAL GRADING PLAN

A5.0



1998 Shattuck — Preliminary Landscape Set



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SHEET:

COVER SHEET,
 NOTES, AND LEGEND

L0.0

General Notes

- The contractor shall inspect the site and be familiar with all existing site conditions prior to submitting bid. Contractor shall not willfully proceed with construction as shown when it is obvious that obstructions, landscape area and/or grade differences exist that may not have been known during design. Such conditions shall immediately be brought to the attention of the landscape architect. The contractor shall assume sole responsibility for all necessary revisions due to failure to give such notification. Contractor shall be responsible for making himself familiar with all underground utilities, pipes, structures and obstructions. Contractor shall assume sole responsibility for all costs incurred due to damage and/or replacement of these items. Contractor shall be responsible for coordination among trades and subcontractors as required to accomplish the work. The contractor shall be responsible for any damage to existing features caused by contractor's work. All repairs shall be made at no additional cost to the owner. Planting shall be installed in conformance with all applicable local codes and ordinances by experienced workmen and a licensed landscape contractor who shall obtain all necessary permits and pay all required fees. The garden is a pesticide and herbicide free zone. Contractor shall use organic material to fertilize and to maintain all plant material. No chemical fertilizer will be allowed. Contractor shall verify all grades, existing conditions and dimensions in the field prior to commencing work. All discrepancies or questions shall be brought to the attention of the landscape architect for resolution. Redirect work to avoid delay. All curves and all transitions between curves and straight edges shall be smooth. Take all dimensions perpendicular to any reference line, work line, face of building, face of wall or centerline.
- Demolition**
 Contractor shall remove and carry all demolition materials off site. Protect (E) trees as indicated during construction. Contractor shall perform selective trimming of existing trees within the area of work per the direction of the owner.
- Drainage/Grading**
 Contractor shall verify if existing drains are in good condition. All drainage systems shall be per City of Berkeley codes. Grade per indicated swales. Sleeving to be Schedule 40 PVC. Cover PVC pipe so that it not visible. All grading to be smooth to achieve a natural aspect. No finish grades shall exceed 2.5:1 slopes.
- Soil preparation**
 Soil amendment shall be a minimum of 9 cy of organic compost per 1000 sf (1.4 ratio). The landscape contractor shall be responsible for finish grading and all planting area drainage. Positive drainage away from the building as per city codes shall be maintained. No low spots which hold standing water will be accepted. Where rototilling is not possible, incorporate soil amendments into top 6 inches with hand tools. After installation of irrigation system, all new planting areas are to be fine graded to within 2 inches and slightly mounded away from edges of top of planter, curb, walk, header, etc. and raked smooth with all rocks and debris over 1 inch in diameter removed. Verify existing grades and advice Landscape Architect of any discrepancies prior to start of grading.
- Topsoil**
 If any planting areas require the importing of topsoil, the imported soil shall be clean, friable sandy loam; free of noxious weed seeds, sticks, stones over 1 inch in diameter or any materials that could inhibit growth. Incorporate imported topsoil into the top 6-8 inches of site soil by rototilling or hand cultivating as necessary.
- Substitutions**
 Requests for substitutions of plant varieties shall be made to the landscape architect within 15 days after signing of contract.
- Planting**
 Thoroughly water trees immediately after planting. Shrubs shall be spotted as per plan and the locations approved prior to the digging of the holes. Contractor shall locate and tag all trees at nursery at time of acceptance of contract to ensure availability of healthy specimens. Plant materials to be approved by landscape architect prior to site delivery.
- Irrigation**
 The proposed irrigation shall be an automated, water efficient watering system compliant with the City of Berkeley codes & regulations. The contractor shall determine the static water pressure and design the system accordingly to achieve adequate regime for the proposed plantings. The following emitters shall be installed at each planting: (2) 1 gal emitters at each 1 gal sp.; (3) 5 gal. emitters at ea. 5 gal shrub.
- Mulching**
 Mulch all planting areas with 3" of 'Forest Floor Bark' from American Soil and Stone, Richmond Ca (510) 292-3000.
- Stone paving & stone work**
 See layout plan and detail for sub-base. Install stone paving with tight joints in front and flagstone in stabilized decomposed granite in back as show on sheet L1.0.
- Concrete work**
 All concrete retaining walls greater than 3 feet in height shall be designed or reviewed and stamped by a structural engineer. All concrete footings shall be reviewed, approved and stamped by a structural engineer.
- Electrical**
 Install light fixtures, conduits and controller per manufacturer recommendation. Locate controller per plan with light switch inside residence. Contractor to supply and install power supply - 2 outlets at outdoor kitchen area. Install power supply for outdoor kitchen equipment .
- Wood work**
 All wood decking to match existing wood same size and layout at existing decks for deck extension. All vertical posts to be pressure treated 4x4 wood. SSD for final wood sizing, anchors and concrete footing. See note 14 for painting/staining.
- Painting**
 All visible existing & new wood to be painted same color as the main residence, but with a lighter tone. Color to be reviewed & approved by owner/landscape architect. Paint manufacturer: Sherwin Williams; exterior paint quality "duration" to be applied on all new & existing wood to be painted. Prep all wood surfaces per paint manufacturer's recommendations.
- Maintenance**
 The contractor shall maintain the project for 90 days (or as requested by owner) following the approval to begin the maintenance period. During the entire maintenance period, watering, cultivating, weeding, mowing, repair/tightening of stakes and ties, provision of supplemental water by hand in addition to irrigation system as necessary. At the end of the 90 day maintenance period all areas are to be free of weed and all plant material is to be in a healthy, thriving condition.
- Guarantee**
 All construction, trees and shrubs by the landscape contractor and/or his subcontractors shall be guaranteed for (1) one year after beginning of maintenance period. The contractor shall replace, at no expense to the owner, any and all landscape materials that are in an unacceptable condition for time of use, and trees or shrubs that are dead or not in a vigorous, healthy growing condition; within two weeks of notification of such condition. Replacement shall be of the same kind and size as the originally specified item and shall be replaced as originally described on the drawings. The contractor shall not be held liable for loss of plant materials during the guarantee period due to vandalism, accidental causes or acts of neglect by others than the contractor, his agents and employees.
- Clean up**
 At the end of each work day, at the inspection for substantial completion and before acceptance of project, clean paved areas that are dirtied or stained by construction operations, by sweeping or washing, and remove defacements and stains. Remove construction equipment, excess materials and tools. Haul from owners property the debris resulting from construction, and dispose of legally. Remove remaining temporary protection at time of acceptance by owner unless otherwise agreed.

Legend

- (PA) Planting Area
- (TS) Top of stair
- (BS) Bottom of stair
- (TW) Top of wall
- (BW) Bottom of wall
- R Radius
- POB Layout Starting Point
- SIM Similar
- (TYP.) Typical
- SAD See Architectural Drawings
- EQ Equal
- O.C. On Center
- (E) Existing
- ↔ Align
- ↻ 90 Degrees angle
- + (824.76) Existing spot elevation
- + 824.76 Proposed spot elevation
- Existing contour line
- Proposed contour line
- Property line
- Existing retaining wall to be demolished
- Existing retaining wall to be demolished

Sheet Index

- L0.0 Cover Sheet
- L1.0 Streetscape
- L2.0 Podium
- L3.0 Roof Deck
- L3.1 Usable Open Space
- + Planting Notes
- Irr. Notes & Legend
- Irr. Plan - Street
- Irr. Plan - Podium
- Irr. Plan - Roof Deck
- Irr. Plan - POC
- Irrigation Details
- Irrigation Details
- Irrigation Details
- Irrigation Details

Plant List

Index	Latin Name	Common Name	Size	WELO	CA Nat.	Notes
Street Trees						
CC	Carpinus caroliniana	American Hornbeam	24" Box	M		University Ave
LC	Lophostemon confertus	Brisbane Box	24" Box	VL, L		Berkeley Way
PA	Platanus acerifolia 'Columbia'	Columbia' London Plane Tree	24" Box	L, M		Shattuck Ave
Trees						
BE	Brahea edulis	Guadalupe Palm	24" Box	L		Roof
BR	Beaucarnea recurvata	Pony Tail Palm	15 Gallon	VL		Roof
CO	Cercis occidentalis	Western Redbud	24" Box	VL	X	Podium FTP
GR	Ceanothus 'Ray Hartman'	Ray Hartman California Lilac	24" Box	L, ES	X	Podium
HG	Heteromeles arbutifolia 'Davis Gold'	Davis Gold Toyon	24" Box	VL, L	X	Podium FTP
PR	Phoenix roebelenii	Pygmy Date Palm	24" Box	L		Roof
WF	Washingtonia filifera	California Fan Palm	24" Box	L, ES	X	Roof
Shrubs						
AD	Agave deserti	Desert Agave	5 Gallon	VL, L	X	Roof
AP	Arctostaphylos pajaroensis 'Paradise'	Paradise Pajaro Manzanita	15 Gallon	VL	X	Roof
CE	Carpenteria californica 'Elizabeth'	Elizabeth Bush Anemone	15 Gallon	L	X	Podium, Street
CF	Cornus sericea, C. Stolonifera 'Hedgerow Gold'	Hedgerow Gold Redtwig Dogwood	15 Gallon	M, ES	X	Podium
HWP	Hesperoyucca whipplei	Our Lord's Candle	5 Gallon	VL	X	Roof
OB*	Opuntia basilaris	Prickly Pear	5 Gallon	VL		Roof
SM	Sabal minor	Dwarf Palmetto	15 Gallon	L		Roof
YP*	Yucca pallida	Pale Leaf Yucca	5 Gallon	VL, L, ES		Roof
ZF	Zamia furfuracea	Cardboard Palm	5 Gallon	M		Roof
Groundcovers						
AM	Armeria maritima	Sea Pink	1 Gallon	M	X	Roof
BM	Baleya multiradiata	Desert Marigold	1 Gallon	VL	X	Roof
CD	Ceanothus 'Diamond Heights'	Variegated Carmel Creeper	1 Gallon	VL, L	X	Street
CM	Coreopsis maritima	Sea Dahlia	1 Gallon	L	X	Roof
DF	Dudleya farinosa	Coast Live Forever	1 Gallon	VL	X	Podium
DN	Deschampsia ces. 'Northern Lights'	Northern Lights Tufted Hair Grass	1 Gallon	L	X	Street
Podium FTP** (1143 sf)						
AS	Achillea 'Salmon Beauty'	Salmon Beauty Yarrow	1 Gallon	VL, L	X	
BG	Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama	1 Gallon	L	X	
CB	Ceanothus thyrsiflorus 'Cool Blue'	Cool Blue Mountain Lilac	15 Gallon	L	X	
CD	Ceanothus 'Diamond Heights'	Variegated Carmel Creeper	1 Gallon	VL, L	X	
CE	Carpenteria californica 'Elizabeth'	Elizabeth Bush Anemone	15 Gallon	L	X	
CP	Ceanothus pallidus 'Marie Simon'	Pink Flowering Ceanothus	15 Gallon	VL, L	X	
DN	Deschampsia ces. 'Northern Lights'	Northern Lights Tufted Hair Grass	1 Gallon	L	X	
EF	Eriogonum fasciculatum	California Buckwheat	5 Gallon	VL, L	X	
EG	Elymus glaucus	Blue Wild Rye	1 Gallon	L	X	
ID	Iris douglasiana	Douglas Iris	1 Gallon	M, ES	X	
JE	Juncus effusus	Soft Rush	1 Gallon	VL, H, ES	X	
JP	Juncus patens 'Elk Blue'	Elk Blue California Gray Rush	1 Gallon	L, M, ES	X	
RC	Rudbeckia californica	California Coneflower	1 Gallon	M	X	
SA	Symphoricarpos albus var. laevigatus	Upright Snowberry	5 Gallon	VL, L, M	X	
Podium Grate Walks (5370 sf)						
SD	Sedum divergens	Cascade Stonecrop	Flat	L, ES	X	
SO	Sedum oreganum	Oregon Stonecrop	Flat	L, ES	X	
SS	Sedum spathulifolium 'Cape Blanco'	Cape Blanco Sedum	Flat	L	X	

*To be located with 3' min. between edge of mature plant and walkways or planter edges.
 **Species selected per Stormwater C.3 Guidebook (Dalziel et. al.).

Note: At least 80% of all plantings will be California natives.

Project Team

Client NX Ventures	Architect Trachtenberg Architects 2421 Fourth Street Berkeley, CA 94710 510.649.1414	Landscape Architect InsideOut Design, Inc. 6000 Harwood Ave Oakland CA 94618 510.655.7674	Contractor TBD
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Location Map



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SHEET:

**LANDSCAPE PLAN
 AT STREETScape**

L1.0



(E) STREET TREE
 AT UNIVERSITY AVE
 TO REMOVE
 -ACER SIEBOLDIANUM
 (Trident Maple), SUS.

(E) STREET TREES
 AT UNIVERSITY AVE,
 TWO (2) TO REMOVE
 -LIRIODENDRON TULIPIFERA
 (Tulip Tree)
 AND REPLACE WITH
 FOUR (4) PER CITY ARBORIST:
 -ULMUS PROPINQUA
 'EMERALD SUNSHINE'
 (Emerald Sunshine Elm)

PROPOSED STREET TREES
 AT SHATTUCK AVE,
 EIGHT (8) PER CITY ARBORIST:
 -KOELREUTERIA BIPINNATA
 (Chinese Flame)

PROPOSED STREET TREES
 AT BERKELEY WAY
 FOUR (4) PER CITY ARBORIST:
 -QUERCUS GRAVESII
 (Grays Oak)

(E) STREET TREES
 AT SHATTUCK AVE,
 THREE (3) TO BE REMOVED:
 -FRAXINUS ANGUSTIFOLIA
 (Raywood Ash)

SUGGESTED STREETScape TREATMENT

RESTAURANT OR
 COMMERCIAL
 SPACE

RETAIL PLAZA
 PARKLET

PLANTER
 FRAMES PLAZA

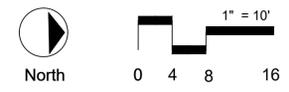
SEAT WALL TYP.

PERIMETER PLANTER PROVIDES
 BUFFER FROM STREET

STREET TREES CENTERED
 BETWEEN SEATING AREAS

PERMEABLE PAVING
 BETWEEN TREE WELLS, TYP.

PAVING AND CURB
 BARRIERS PER CITY OF
 BERKELEY CODES





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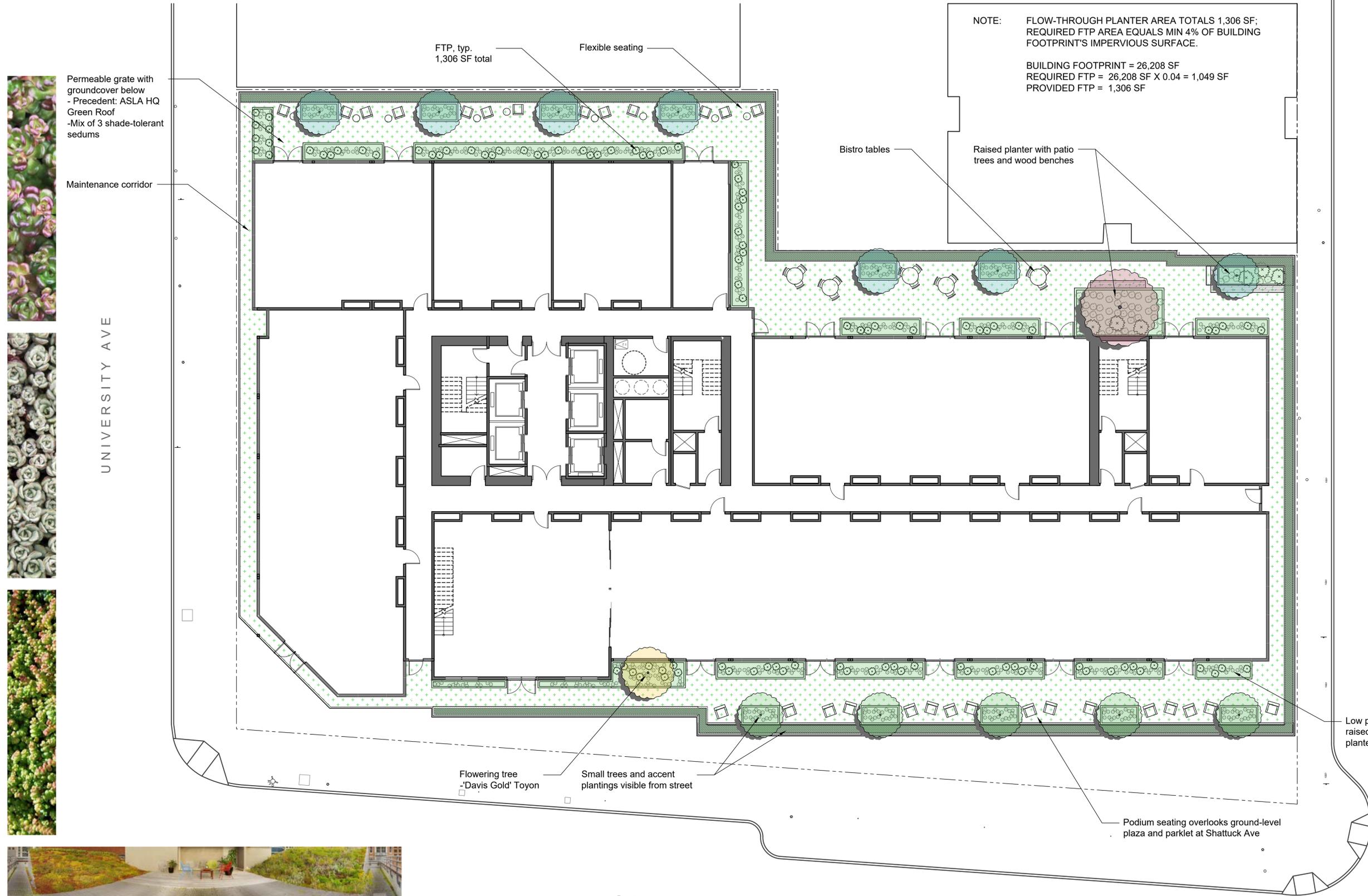
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**SECOND FLOOR
 PODIUM GARDENS**

L2.0



Permeable grate with groundcover below
 - Precedent: ASLA HQ Green Roof
 - Mix of 3 shade-tolerant sedums

Maintenance corridor

FTP, typ.
 1,306 SF total

Flexible seating

NOTE: FLOW-THROUGH PLANTER AREA TOTALS 1,306 SF;
 REQUIRED FTP AREA EQUALS MIN 4% OF BUILDING
 FOOTPRINT'S IMPERVIOUS SURFACE.

BUILDING FOOTPRINT = 26,208 SF
 REQUIRED FTP = 26,208 SF X 0.04 = 1,049 SF
 PROVIDED FTP = 1,306 SF

Bistro tables

Raised planter with patio
 trees and wood benches

UNIVERSITY AVE

BERKELEY WAY

Flowering tree
 -"Davis Gold" Toyon

Small trees and accent
 plantings visible from street

Low planting in
 raised flow-through
 planters (FTPs)

Podium seating overlooks ground-level
 plaza and parklet at Shattuck Ave

SHATTUCK AVE



PRECEDENT



VEGETATED GRATE



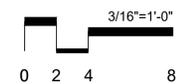
FLOW-THROUGH PLANTER



FLOWERING TREE



North



3/16"=1'-0"

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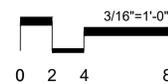
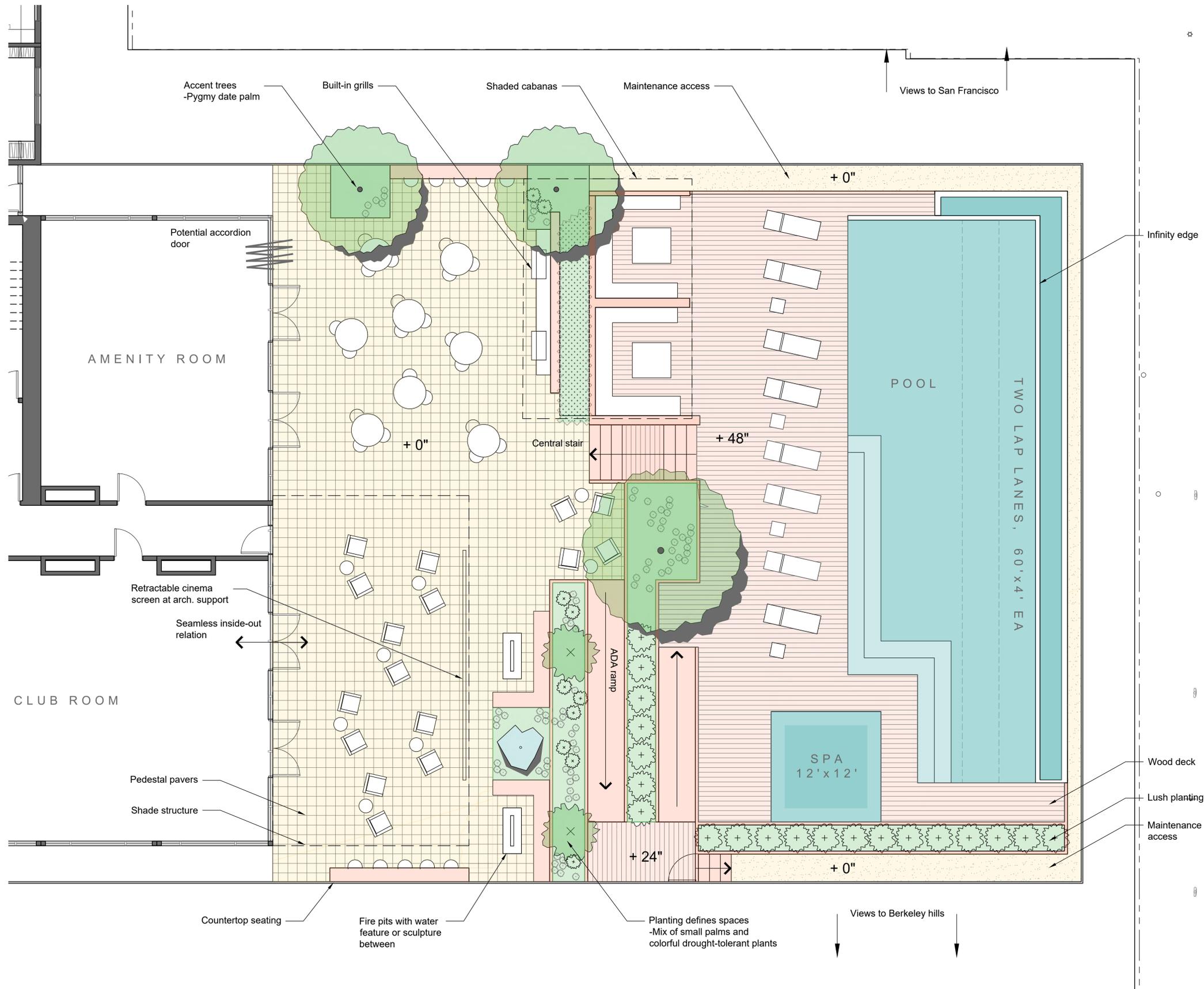
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**FOURTEENTH
 FLOOR ROOF DECK**

L3.0



North

0 2 4 8

3/16"=1'-0"

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USABLE OPEN SPACE
 CALCULATIONS +
 PLANTING NOTES

L3.1

PLANTING NOTES

SEE COVER SHEET L0.0 FOR GENERAL NOTES

GENERAL PLANTING NOTES:

- SOIL PREPARATION: THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADING AND ALL PLANTING AREA DRAINAGE. POSITIVE DRAINAGE AWAY FROM THE BUILDING AS PER CITY CODES SHALL BE MAINTAINED. NO LOW SPOTS WHICH HOLD STANDING WATER WILL BE ACCEPTED.
 THE LANDSCAPE CONTRACTOR SHALL INCORPORATE SOIL PREPARATION AMENDMENT INTO PLANTING AREAS AS NOTED BELOW. WHERE ROTO-TILLING IS NOT POSSIBLE, INCORPORATE SOIL AMENDMENTS INTO TOP 6 INCHES WITH HAND TOOLS. AFTER INSTALLATION OF IRRIGATION SYSTEM, ALL PLANTING AREAS ARE TO BE FINE GRADED TO WITHIN 2 INCHES AND SLIGHTLY MOUNDED AWAY FROM EDGES OF TOP OF PLANTER, CURB, WALK, HEADER, ETC. AND RAKED SMOOTH WITH ALL ROCKS AND DEBRIS OVER 1-INCH IN DIAMETER REMOVED.
- SOIL PREPARATION AMENDMENTS AND BACKFILL MIX: THE LANDSCAPE CONTRACTOR SHALL AMEND EXISTING SOIL PER THE SOILS REPORT. NATIVE SOIL IS PREFERRED.
- TREE PLANTING: TREES SHALL BE PLANTED PER DETAIL ON PLAN. TREES SHALL TYPICALLY BE LOCATED A MINIMUM OF 3 1/2 FEET FROM CURBS, WALKS, HEADERS, BUILDINGS, AND OVERHEAD STRUCTURES WITHIN THE PROJECT. BACKFILL PER SOILS REPORT. THOROUGHLY WATER TREES IMMEDIATELY AFTER PLANTING.
- SHRUB PLANTING: THE SHRUBS SHALL BE SPOTTED AS PER PLAN, SPOTTED AT THE SHOWN LOCATIONS, AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO THE DIGGING OF THE HOLES. SHRUB BACKFILL SHALL BE PER SOILS REPORT. THOROUGHLY WATER SHRUBS IMMEDIATELY AFTER PLANTING. DO NOT PLANT ANY SHRUB WITHIN 2 FEET OF ANY BUILDING WALL.
- MAINTENANCE: THE CONTRACTOR SHALL MAINTAIN THE PROJECT FOR 90 DAYS (OR AS REQUESTED BY OWNER) FOLLOWING THE APPROVAL TO BEGIN THE MAINTENANCE PERIOD. DURING THE ENTIRE MAINTENANCE PERIOD, WATERING, CULTIVATING, WEEDING, MOWING, REPAIR/TIGHTENING OF STAKES AND TIES, RESTORATION OF BASINS, PROVISION OF SUPPLEMENTAL WATER BY HAND IN ADDITION TO IRRIGATION SYSTEM IS REQUIRED AS NECESSARY. NO PRE-EMERGENCE HERBICIDES SHALL BE APPLIED - HAND REMOVE WEEDS. ONLY ORGANIC FERTILIZERS SHALL BE APPLIED SUCH AS THOSE SPECIFIED. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. AT THE END OF THE 90 DAY MAINTENANCE PERIOD ALL AREAS ARE TO BE WEED FREE AND ALL PLANT MATERIAL SHALL BE IN A HEALTHY, THRIVING CONDITION. INTEGRATED PEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED.
- SUBSTITUTIONS: REQUESTS FOR PLANT SUBSTITUTIONS SHALL BE MADE TO THE LANDSCAPE ARCHITECT WITHIN 15 DAYS AFTER SIGNING OF CONTRACT.
- GUARANTEE: ALL CONSTRUCTION, TREES AND SHRUBS BY THE LANDSCAPE CONTRACTOR AND/OR

SUBCONTRACTORS SHALL BE GUARANTEED FOR (1) ONE YEAR AFTER START OF MAINTENANCE PERIOD. THE CONTRACTOR SHALL REPLACE, AT NO EXPENSE TO THE OWNER, ANY AND ALL LANDSCAPE MATERIALS THAT ARE IN AN UNACCEPTABLE CONDITION FOR TIME OF USE, AND TREES OR SHRUBS THAT ARE DEAD OR NOT IN A VIGOROUS, HEALTHY GROWING CONDITION, WITHIN TWO WEEKS OF NOTIFICATION OF SUCH CONDITION. REPLACEMENT SHALL BE OF THE SAME KIND AND SIZE AS THE ORIGINALLY SPECIFIED ITEM AND SHALL BE REPLACED AS ORIGINALLY DESCRIBED ON THE DRAWINGS. THE CONTRACTOR SHALL NOT BE HELD LIABLE FOR LOSS OF PLANT MATERIALS DURING THE GUARANTEE PERIOD DUE TO VANDALISM, ACCIDENTAL CAUSES OR ACTS OF NEGLIGENCE BY OTHERS THAN THE CONTRACTOR, HIS AGENTS AND EMPLOYEES.

8. CLEAN UP: AT THE END OF EACH WORK DAY, AT THE INSPECTION FOR SUBSTANTIAL COMPLETION, AND BEFORE ACCEPTANCE OF PROJECT - CLEAN PAVED AREAS THAT ARE DIRTIED OR STAINED BY CONSTRUCTION OPERATIONS BY SWEEPING OR WASHING, AND REMOVE DEFACEMENTS AND STAINS. REMOVE CONSTRUCTION EQUIPMENT, EXCESS MATERIALS AND TOOLS. HAUL FROM OWNERS PROPERTY ANY DEBRIS RESULTING FROM CONSTRUCTION, AND DISPOSE OF IT LEGALLY. REMOVE REMAINING TEMPORARY PROTECTION AT TIME OF ACCEPTANCE BY OWNER UNLESS OTHERWISE AGREED.

9. FERTILIZERS: AVAILABLE FROM CALIFORNIA ORGANIC FERTILIZERS, INC. 1-800-269-5690 WWW.ORGANICAG.COM.

STREET TREE PROTECTION NOTES:

- ALL TREE PROTECTION REQUIREMENTS AND RESTRICTIONS SHALL BE INCLUDED IN THE CONSTRUCTION NOTES AND PRINTED ON ALL COPIES OF THE PLANS.
 - INCLUDE THE NAME AND PHONE NUMBER OF THE PARTY THAT WILL MONITOR THE SITE AND ENSURE THE TREE PROTECTION MEASURES ARE BEING FOLLOWED; AND WHAT THE MONITORING SCHEDULE WILL BE: **NAME / PHONE / SCHEDULE**
 - INSTALL 6 FOOT CHAIN-LINK FENCING TO PROTECT THE AREA WITHIN THE DRIP-LINE OF ANY PROTECTED TREE IN THE DEVELOPMENT AREA. FENCING SHALL BE MOUNTED TO POSTS THAT ARE DRIVEN INTO THE GROUND. WHERE THIS IS NOT POSSIBLE BECAUSE OF EXISTING STRUCTURES, TREE ROOTS, OR OTHER OBSTACLES, CHAIN-LINK PANELS MOUNTED TO STANCHIONS AND CONNECTED TO EACH OTHER MAY BE APPROVED. IN AREAS WHERE DIFFICULT TERRAIN MAKES THIS IMPRACTICAL, ORANGE CONSTRUCTION FENCING MAY BE APPROVED.
 - ALL FENCING SHALL HAVE SIGNAGE STATING THE REQUIREMENTS AND RESTRICTIONS, AND THE CONTACT INFORMATION FOR THE PROJECT ARBORIST.
 - WHEN ANY APPROVED CONSTRUCTION ACTIVITY WILL OCCUR WITHIN THE DRIP LINE OF A PROTECTED TREE THAT IS NOT SURROUNDED BY PROTECTIVE FENCING, THE TRUNK SHALL BE PROTECTED BY WRAPPING IT WITH STRAW TUBES (WATTLE) OR VERTICAL WOOD SLATS (EX. 2X4), UP TO A MINIMUM OF 8 FEET FROM GRADE (SEE FIGURE 1, PAGE 6). SLATS SHALL BE ANGLED TO PROTECT THE ROOT FLARE AT THE BASE OF THE TREE; AND CLOSED CELL FOAM OR EQUIVALENT MATERIAL SHALL BE USED TO PROTECT THE TRUNK OF THE TREE WHERE IT CONTACTS THE SLATS.

LATERAL BRANCHES BELOW 8 FEET SHALL ALSO BE PROTECTED. IN ADDITION, THE AREA SHALL BE COVERED WITH A 6 INCH LAYER OF MULCH TOPPED WITH 3/4 INCH PLYWOOD THAT IS FASTENED TOGETHER. IF ANY LARGE OR MOTORIZED EQUIPMENT (MINI EXCAVATOR, BOBCAT®, POWERED WHEELBARROW) WILL TRAVEL OVER THIS AREA, THE PLYWOOD MUST BE A MINIMUM OF 1 INCH AND ADEQUATE FOR THE WEIGHT OF THE EQUIPMENT THAT WILL TRAVEL OVER IT. IF LARGER EQUIPMENT (BACKHOE, TRACTOR) WILL BE USED, CONSULT THE CITY ARBORIST. **CONSTRUCTION ACTIVITY REFERS TO ANY MOVEMENT OF PEOPLE, TOOLS, OR EQUIPMENT; OR STORAGE OF ANY TOOLS, EQUIPMENT, OR SUPPLIES.**

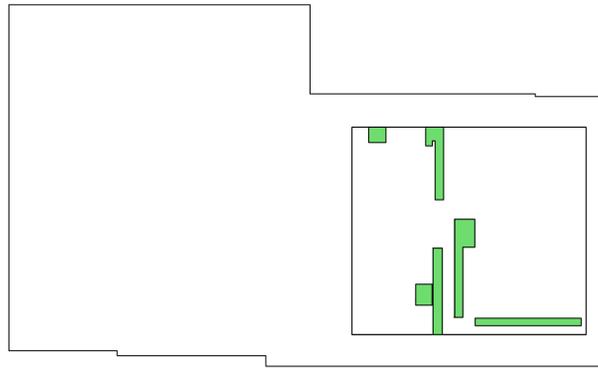
f) LOCATE AND EXPOSE ANY ROOTS 2 INCHES IN DIAMETER OR GREATER THAT MAY NEED TO BE PRUNED TO FACILITATE THE PROJECT. THIS INCLUDES ANY TRENCHING THAT WILL BE DONE AS PART OF FOUNDATION OR UTILITY INSTALLATION. CONTACT THE CITY ARBORIST IN ADVANCE TO LESSEN THE AMOUNT OF TIME THAT THE ROOTS WILL BE EXPOSED. IF ROOTS MUST BE LEFT EXPOSED FOR MORE THAN THREE DAYS, CONSULT THE CITY ARBORIST. **NOTE:** THE 2 INCH DIAMETER THRESHOLD FOR ROOTS IS A GUIDELINE THAT MAY BE ADJUSTED BY THE CITY ARBORIST DEPENDING ON THE SIZE AND CONDITION OF THE TREE, AND THE LOCATION OF THE ROOTS. THE CITY ARBORIST MAY INCREASE THE TPZ, OR IMPOSE OTHER RESTRICTIONS, WHEN THE DRIPLINE OF A TREE HAS BEEN ALTERED BY PRUNING OR UNUSUAL GROWTH PATTERNS.

g) NO STORAGE OF BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS, OR DUMPING OF POISONOUS MATERIALS, IS PERMITTED WITHIN THE DRIP LINE OF ANY PROTECTED TREE. POISONOUS MATERIALS INCLUDE, BUT ARE NOT LIMITED TO, PAINT, PETROLEUM PRODUCTS, CONCRETE OR STUCCO MIX, DIRTY WATER, OR ANY OTHER MATERIAL WHICH MAY BE DELETERIOUS TO TREE HEALTH.

STREET TREE PLANTING NOTES:

- FOR NEW PLANTING:
 - THE CITY ARBORIST SHALL BE NOTIFIED, BY CALLING (510) 981-6660, PRIOR TO THE DELIVERY OF THE TREES FOR INSPECTION OF THEIR SIZE AND STRUCTURE.
 - EACH TREE SHALL BE PROPERLY PLANTED AT OR JUST BELOW GRADE (<1"). SOIL AMENDMENT IS NOT RECOMMENDED, AND NATIVE SOIL IS PREFERRED. NO CONSTRUCTION RUBBLE OR NON-ORGANIC MATERIAL SHALL BE WITHIN THE TREE WELL.
 - THE SURROUNDING SOIL OUTSIDE THE CONTAINER (ROOT BALL) SHOULD BE LIGHTLY COMPACTED TO ABOUT 4 INCHES BELOW GRADE WITH THE ROOT BALL HIGHER THAN THAT.
 - 2 TO 2.5 INCHES OF BASE ROCK SHOULD BE APPLIED AROUND THE ROOT BALL LEAVING 1.5 TO 2 INCHES LEFT FOR THE MATERIAL.
 - 15G CONTAINERS ARE APPROXIMATELY 15-16 INCHES IN DIAMETER AND THE MATERIAL SHOULD BE APPLIED TO THE APPROXIMATE EDGE OF THE ROOT BALL WITH THE TOP GRADE OF THE ROOT BALL UP TO 1 INCH BELOW THE TOP OF THE MATERIAL THAT WILL BE APPLIED.
 - EACH NEW TREE SHALL HAVE AUTOMATIC IRRIGATION INCLUDING TWO TREE BUBBLERS THAT CURVE OVER THE TOP OF THE TREES' ROOT BALL AND PROVIDE A MINIMUM OF 20 GALLONS PER WEEK BETWEEN MARCH 15 AND OCTOBER 15 FOR THE FIRST THREE YEARS. LARGER TREES MAY REQUIRE ADDITIONAL BUBBLERS. THE BUBBLERS SHOULD BE LOCATED ON TOP OF THE ROOT BALL WITHIN THIS 15-16 INCH CIRCLE AND NOT BE COVERED WITH MATERIAL.
 - TREES THAT DIE WITHIN THE FIRST THREE YEARS MUST BE REPLACED AT THE PROPERTY OWNER'S EXPENSE.

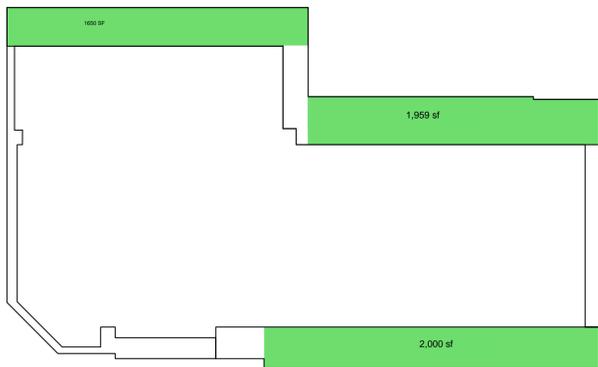
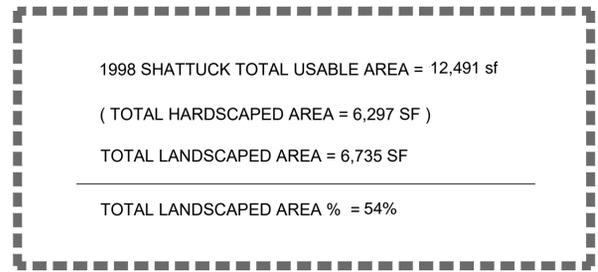
USEABLE OPEN SPACE CALCULATIONS



ROOF DECK TOTAL USABLE AREA = 6,882 SF
 (ROOF DECK HARDSCAPED = 6,297 SF)
 ROOF DECK LANDSCAPED = 585 SF
 ROOF DECK LANDSCAPED % = 9%

ROOF DECK USEABLE AREA

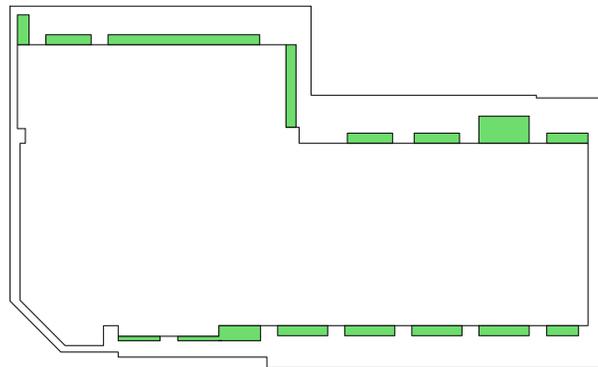
(NTS)



PODIUM TOTAL USABLE AREA = 5,609 sf
 (PODIUM HARDSCAPED = 0 SF)
 PODIUM LANDSCAPED = 5,609 sf
 PODIUM LANDSCAPED % = 100%

PODIUM USEABLE AREA

(NTS)



1998 SHATTUCK TOTAL ROOF AREA = 26,208 SF
 4% FLOW-THROUGH PLANTER AREA NEEDED = 1,049 SF
 CURRENT FLOW-THROUGH PLANTER AREA = 1,306 SF
 (AT PODIUM)

FLOW-THROUGH PLANTER AREA

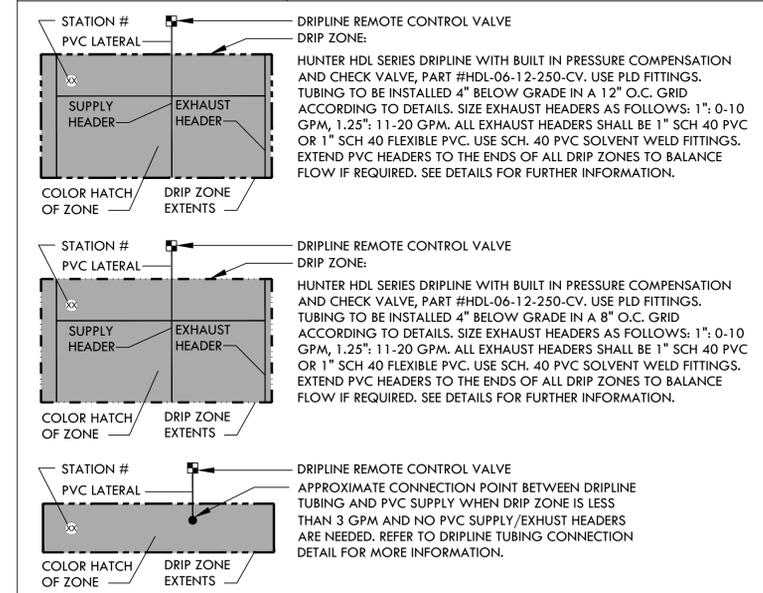
(NTS)

IRRIGATION NOTES

- THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, CONDUIT, AND OTHER ITEMS WHICH MAY BE REQUIRED. INVESTIGATE THE STRUCTURAL AND FINISHED CONDITION AFFECTING THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL ELECTRIC CODE; THE UNIFORM PLUMBING CODE, PUBLISHED BY THE WESTERN PLUMBING OFFICIALS ASSOCIATION; AND OTHER STATE OR LOCAL LAWS OR REGULATIONS. NOTHING IN THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR REGULATIONS. THE CONTRACTOR SHALL FURNISH WITHOUT ANY EXTRA CHARGE, ANY ADDITIONAL MATERIAL AND LABOR WHEN REQUIRED BY THE COMPLIANCE WITH THESE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LAYOUT AND INSTALLATION OF THE PLANT MATERIALS TO INSURE THAT THERE WILL BE COMPLETE AND UNIFORM IRRIGATION COVERAGE OF PLANTING IN ACCORDANCE WITH THESE DRAWINGS, AND CONTRACT DOCUMENTS. THE IRRIGATION LAYOUT SHALL BE CHECKED BY THE CONTRACTOR AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION TO DETERMINE IF ANY CHANGES, DELETIONS, OR ADDITIONS ARE REQUIRED. IRRIGATION SYSTEM SHALL BE INSTALLED AND TESTED PRIOR TO INSTALLATION OF PLANT MATERIAL.
- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER(S) TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS, SLOPES, SUN, SHADE AND WIND EXPOSURE.
- IT IS THE RESPONSIBILITY OF A LICENSED ELECTRICAL CONTRACTOR TO PROVIDE 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER) ELECTRICAL SERVICE TO THE CONTROLLER LOCATION(S). IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE THE ELECTRICAL SERVICE STUB-OUT TO THE CONTROLLER(S). PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH LOCAL CODES.
- PROVIDE EACH CONTROLLER WITH ITS OWN GROUND ROD. SEPARATE THE GROUND RODS BY A MINIMUM OF EIGHT FEET. THE GROUND ROD SHALL BE AN EIGHT FOOT LONG BY 5/8" DIAMETER U.L. APPROVED COPPER CLAD ROD. INSTALL NO MORE THAN 6" OF THE GROUND ROD ABOVE FINISH GRADE. CONNECT #6 GAUGE WIRE WITH A U.L. APPROVED GROUND ROD CLAMP TO ROD AND BACK TO GROUND SCREW AT BASE OF CONTROLLER WITH APPROPRIATE CONNECTOR. MAKE THIS WIRE AS SHORT AS POSSIBLE, AVOIDING KINKS OR BENDING.
- INSTALL NEW BATTERIES IN THE IRRIGATION CONTROLLER(S) TO RETAIN PROGRAM IN MEMORY DURING TEMPORARY POWER FAILURES. USE QUANTITY, TYPE AND SIZE REQUIRED AS PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.
- SCHEDULE A MEETING WHICH INCLUDES REPRESENTATIVES OF THE IRRIGATION CONTROLLER MANUFACTURER, THE MAINTENANCE CONTRACTOR, THE OWNER AND THE IRRIGATION CONTRACTOR AT THE SITE FOR INSTRUCTION ON THE PROPER PROGRAMMING AND OPERATION OF THE IRRIGATION CONTROLLER.
- PROVIDE EACH IRRIGATION CONTROLLER WITH ITS OWN INDEPENDENT LOW VOLTAGE COMMON GROUND WIRE.
- IRRIGATION CONTROL WIRES: SOLID COPPER WITH U.L. APPROVAL FOR DIRECT BURIAL IN GROUND. COMMON GROUND WIRE: SIZE #12-1 WIRE WITH A WHITE INSULATING JACKET. CONTROL WIRE SERVICING REMOTE CONTROL VALVES: SIZE #14-1 WIRE WITH INSULATING JACKET OF COLOR OTHER THAN WHITE. SPLICES SHALL BE MADE WITH 3M-DBY SEAL PACKS OR APPROVED EQUAL.
- INSTALL TWO SPARE CONTROL WIRES OF A DIFFERENT COLOR ALONG THE ENTIRE MAIN LINE. LOOP 36" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES.
- SPLICING OF LOW VOLTAGE WIRES IS PERMITTED IN VALVE BOXES ONLY. LEAVE A 36" LONG, 1" DIAMETER COIL OF EXCESS WIRE AT EACH SPLICE AND A 36" LONG EXPANSION LOOP EVERY 100 FEET ALONG WIRE RUN. TAPE WIRES TOGETHER EVERY TEN FEET. DO NOT TAPE WIRES TOGETHER WHERE CONTAINED WITHIN SLEEVING OR CONDUIT.
- INSTALL GREEN PLASTIC VALVE BOXES WITH BOLT DOWN, NON HINGED COVER MARKED "IRRIGATION CONTROL VALVE". BOX BODY SHALL HAVE KNOCK OUTS. ACCEPTABLE VALVE BOX MANUFACTURER'S INCLUDE NDS, CARSON OR APPROVED EQUAL.
- INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX AN EQUAL DISTANCE FROM THE WALK, CURB, BUILDING OR LANDSCAPE FEATURE AND PROVIDE 12" BETWEEN BOX TOPS. ALIGN THE SHORT SIDE OF RECTANGULAR VALVE BOXES PARALLEL TO WALK, CURB, BUILDING OR LANDSCAPE FEATURE.
- VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS (AVOID LAWN AREAS WHERE POSSIBLE).
- THE CONTRACTOR SHALL LABEL CONTROL LINE WIRE AT EACH REMOTE CONTROL VALVE WITH A 2 1/4" X 2 3/4" POLYURETHANE I.D. TAG, INDICATING IDENTIFICATION NUMBER OF VALVE (CONTROLLER AND STATION NUMBER). ATTACH LABEL TO CONTROL WIRE. THE CONTRACTOR SHALL PERMANENTLY STAMP ALL VALVE BOX LIDS WITH APPROPRIATE IDENTIFICATION AS NOTED IN CONSTRUCTION DETAILS.
- FLUSH AND ADJUST IRRIGATION OUTLETS AND NOZZLES FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS. SELECT THE BEST DEGREE OF THE ARC AND RADIUS TO FIT THE EXISTING SITE CONDITIONS AND THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH CONTROL ZONE.
- SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE.
- LOCATE BUBBLERS ON UPHILL SIDE OF PLANT OR TREE.
- INSTALL A HUNTER HCV SERIES, KBI CV SERIES, OR APPROVED EQUAL SPRING LOADED CHECK VALVE IN SPRINKLER RISER ASSEMBLIES WHERE LOW OUTLET DRAINAGE WILL CAUSE EROSION AND/OR EXCESS WATER.
- WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, USE CAUTION TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATE BY HAND IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR. BACK FILL TRENCHES ADJACENT TO TREE WITHIN TWENTY-FOUR (24) HOURS. WHERE THIS IS NOT POSSIBLE, SHADE THE SIDE OF THE TRENCH ADJACENT TO THE TREE WITH WET BURLAP OR CANVAS.
- NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
- THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
- IRRIGATION DEMAND: REFER TO PLANS.
- THE EXISTING MAIN LINE SHOWN ON THE DRAWINGS IS DIAGRAMMATIC. VERIFY AND LOCATE EXISTING MAIN LINE IN FIELD. REPORT TO ARCHITECT IN WRITING ANY DEVIATION OF EXISTING MAIN LINE LOCATION FROM THAT SHOWN ON THE DRAWINGS.
- PIPE SIZING SHOWN ON THE DRAWINGS IS TYPICAL. AS CHANGES IN LAYOUT OCCUR DURING STAKING AND CONSTRUCTION THE SIZE MAY NEED TO BE ADJUSTED ACCORDINGLY.
- PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL #5.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS NOT SHOWN ON THE IRRIGATION DRAWINGS SUCH AS LIGHTS, FIRE HYDRANTS, SIGNS, ELECTRICAL ENCLOSURES, ETC.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CHANGES IN THE IRRIGATION LAYOUT AND VALVE ZONING DUE TO VARIATIONS IN THE EXISTING SITE CONDITIONS SUCH AS EXPOSURE FROM BUILDINGS, TRELLISES, TREES, ETC., AS WELL AS SLOPE AND SOIL CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND IRRIGATION CONSULTANT OF THE PROPOSED CHANGES PRIOR TO INSTALLATION FOR APPROVAL.
- WHEN WORK OF THIS SECTION HAS BEEN COMPLETED AND SUCH OTHER TIMES AS MAY BE DIRECTED, REMOVE ALL TRASH, DEBRIS, SURPLUS MATERIALS AND EQUIPMENT FROM SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLEMENTAL HAND WATERING OF ALL PLANT MATERIAL WITHIN DRIFLINE AREAS UNTIL THE PLANTS ARE SUFFICIENTLY ESTABLISHED.
- VERIFY LOCATIONS OF ALL IRRIGATION COMPONENTS INSTALLED WITHIN A VALVE BOX WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. DO NOT INSTALL UNTIL LANDSCAPE ARCHITECT PROVIDES ACCEPTABLE LOCATIONS.

IRRIGATION LEGEND

SYMBOL	MODEL NUMBER	DESCRIPTION	NOZZLE GPM	OPERATING PSI	OPERATING RADIUS (FEET)
	PCB-25	HUNTER BUBBLER (SHRUB)	0.25	30	TRICKLE
	PCB-25	HUNTER BUBBLER (TREE) MIN. 2 PER TREE. REFER TO BUBBLER DETAIL FOR QUANTITY OF BUBBLERS PER TREE SIZE.	0.25	30	TRICKLE
	WLT-0500-T	NDS SCH 40 BALL VALVE OR APPROVED EQUAL			
	ECO-ID	HUNTER ECO-INDICATOR			
	ICV-101/AS-40	HUNTER REMOTE CONTROL VALVE WITH 40 PSI PRESSURE REGULATOR			
	ICZ-101-40	HUNTER REMOTE CONTROL VALVE WITH A 40 PSI PRESSURE REGULATOR AND A 1" FILTER.			
	QB44RCAR10	BUCKNER 1" TWO-PIECE QUICK COUPLING VALVE (ANTI-ROTATION)			
	T-FP600A-LF-1"	NIBCO 1" BRASS BALL VALVE			
	WT-MV-100G-SNO	WeatherTRAK 1" BRASS MASTER VALVE (NORMALLY OPEN)			
	WTFLOW-HD-P-100	WeatherTRAK 1" FLOW SENSOR			
	975XL25EU-1"	WILKINS REDUCED PRESSURE BACKFLOW ASSEMBLY			
	MODEL 55	BADGER SUB WATER METER			
	WTLC-C-12-PL/ WTLC-FLOW-KEY	WeatherTRAK LC 12 STATION CONTROLLER IN A PLASTIC WALL MOUNTED ENCLOSURE WITH FLOW KEY.			
	WTLC-C-6-PL/ WTLC-FLOW-KEY	WeatherTRAK LC 6 STATION CONTROLLER IN A PLASTIC WALL MOUNTED ENCLOSURE WITH FLOW KEY.			
		CONTROLLER AND STATION NUMBER			
		REMOTE CONTROL VALVE SIZE (IN INCHES)			
		FLOW (GPM)			
		WATER USE CLASSIFICATION OF ZONE			
		APPLICATION RATE (IN/HR) OR DRIFLINE SPACING			
		AREA (SQ. FT.)			
		ASSOCIATED REMOTE CONTROL VALVE			
		MAIN LINE: 1.25" THROUGHOUT: 1 1/2"-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER.			
		LATERAL LINE: 3/4" AND LARGER: 1 1/2"-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.			
		DRIFLINE LATERAL LINE: 3/4" AND LARGER: 1 1/2"-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.			
		SLEEVING: SCHEDULE 40 PVC PLASTIC PIPE. COVER TO BE AS INDICATED IN SPECIFICATIONS OR AS INDICATED ABOVE FOR PIPE DEPTH OF COVER.			
		MAIN LINE: 1.25" THROUGHOUT: TYPE 'K' COPPER PIPE WITH WROUGHT FITTINGS. SHOWN FOR REFERENCE ONLY, SEE PLUMBING PLANS FOR ROUTING THROUGH STRUCTURE.			
		ELECTRICAL CONDUIT: SHOWN FOR REFERENCE ONLY, SEE ELECTRICAL PLANS FOR ROUTING THROUGH STRUCTURE.			



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 www.TrachtenbergArch.com



1998 SHATTUCK

1998 Shattuck Ave
 Berkeley, CA

03.01.2023	ZONING SUBMITTAL
11.15.2023	ZONING RESUBMITTAL
03.12.2024	ZONING RESUBMITTAL
01.16.2025	PRELIM DRC HEARING SET

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JOB: 0000
 SHEET:

IRRIGATION NOTES & LEGEND

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1998 SHATTUCK

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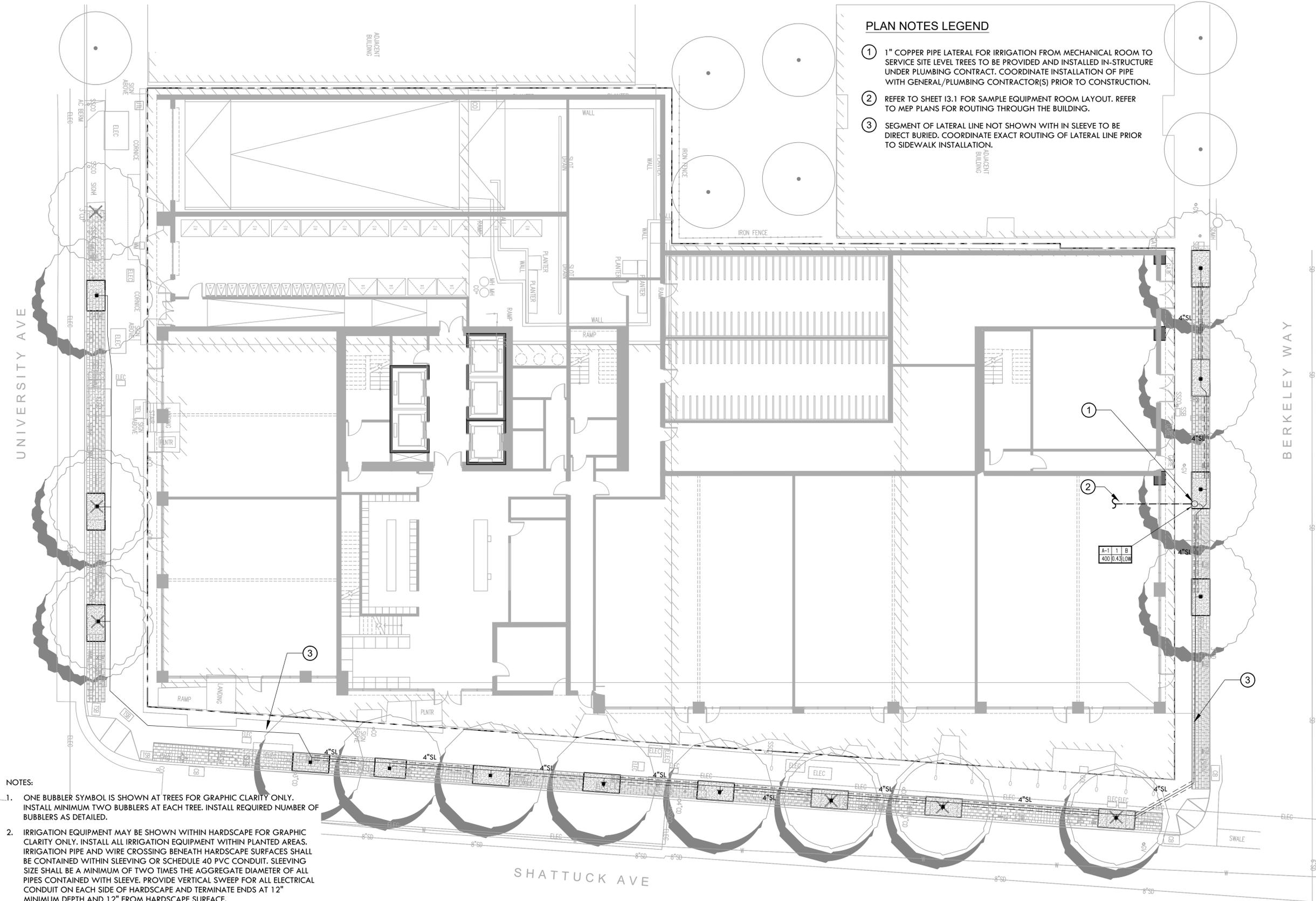
SHEET:

IRRIGATION PLAN AT STREETSCAPE ALT A

L1.0

PLAN NOTES LEGEND

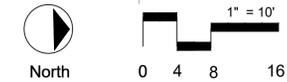
- ① 1" COPPER PIPE LATERAL FOR IRRIGATION FROM MECHANICAL ROOM TO SERVICE SITE LEVEL TREES TO BE PROVIDED AND INSTALLED IN-STRUCTURE UNDER PLUMBING CONTRACT. COORDINATE INSTALLATION OF PIPE WITH GENERAL/PLUMBING CONTRACTOR(S) PRIOR TO CONSTRUCTION.
- ② REFER TO SHEET I3.1 FOR SAMPLE EQUIPMENT ROOM LAYOUT. REFER TO MEP PLANS FOR ROUTING THROUGH THE BUILDING.
- ③ SEGMENT OF LATERAL LINE NOT SHOWN WITH IN SLEEVE TO BE DIRECT BURIED. COORDINATE EXACT ROUTING OF LATERAL LINE PRIOR TO SIDEWALK INSTALLATION.



NOTES:

1. ONE BUBBLER SYMBOL IS SHOWN AT TREES FOR GRAPHIC CLARITY ONLY. INSTALL MINIMUM TWO BUBBLERS AT EACH TREE. INSTALL REQUIRED NUMBER OF BUBBLERS AS DETAILED.
2. IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITH SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.
3. UNSIZED LATERAL LINE PIPING LOCATED DOWN STREAM OF 1" PIPING SHALL BE 3/4" IN SIZE (TYPICAL).
4. SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:

0.75"	0-6 GPM
1"	7-12 GPM





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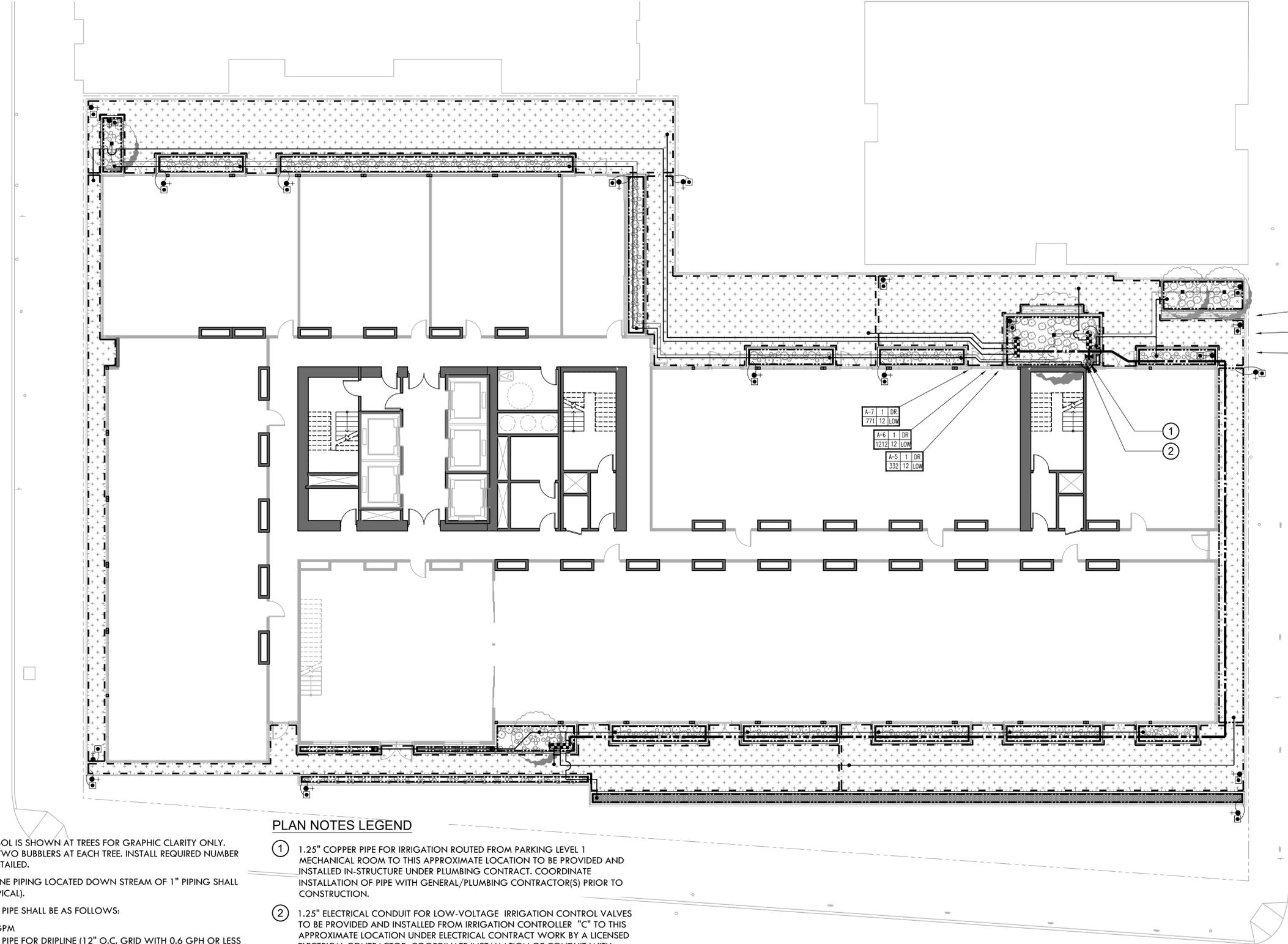
IRRIGATION PLAN
 SECOND FLOOR
 PODIUM GARDENS

L2.0

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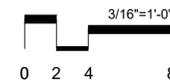


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- SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:
 0.75" 0-6 GPM
- SIZING OF LATERAL PIPE FOR DRIPLINE (12" O.C. GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:
 0.75 0-500 FT
 1" 501-1100 FT

PLAN NOTES LEGEND

- 1.25" COPPER PIPE FOR IRRIGATION ROUTED FROM PARKING LEVEL 1 MECHANICAL ROOM TO THIS APPROXIMATE LOCATION TO BE PROVIDED AND INSTALLED IN-STRUCTURE UNDER PLUMBING CONTRACT. COORDINATE INSTALLATION OF PIPE WITH GENERAL/PLUMBING CONTRACTOR(S) PRIOR TO CONSTRUCTION.
- 1.25" ELECTRICAL CONDUIT FOR LOW-VOLTAGE IRRIGATION CONTROL VALVES TO BE PROVIDED AND INSTALLED FROM IRRIGATION CONTROLLER "C" TO THIS APPROXIMATE LOCATION UNDER ELECTRICAL CONTRACT WORK BY A LICENSED ELECTRICAL CONTRACTOR. COORDINATE INSTALLATION OF CONDUIT WITH GENERAL/ELECTRICAL CONTRACTOR(S) PRIOR TO CONSTRUCTION.





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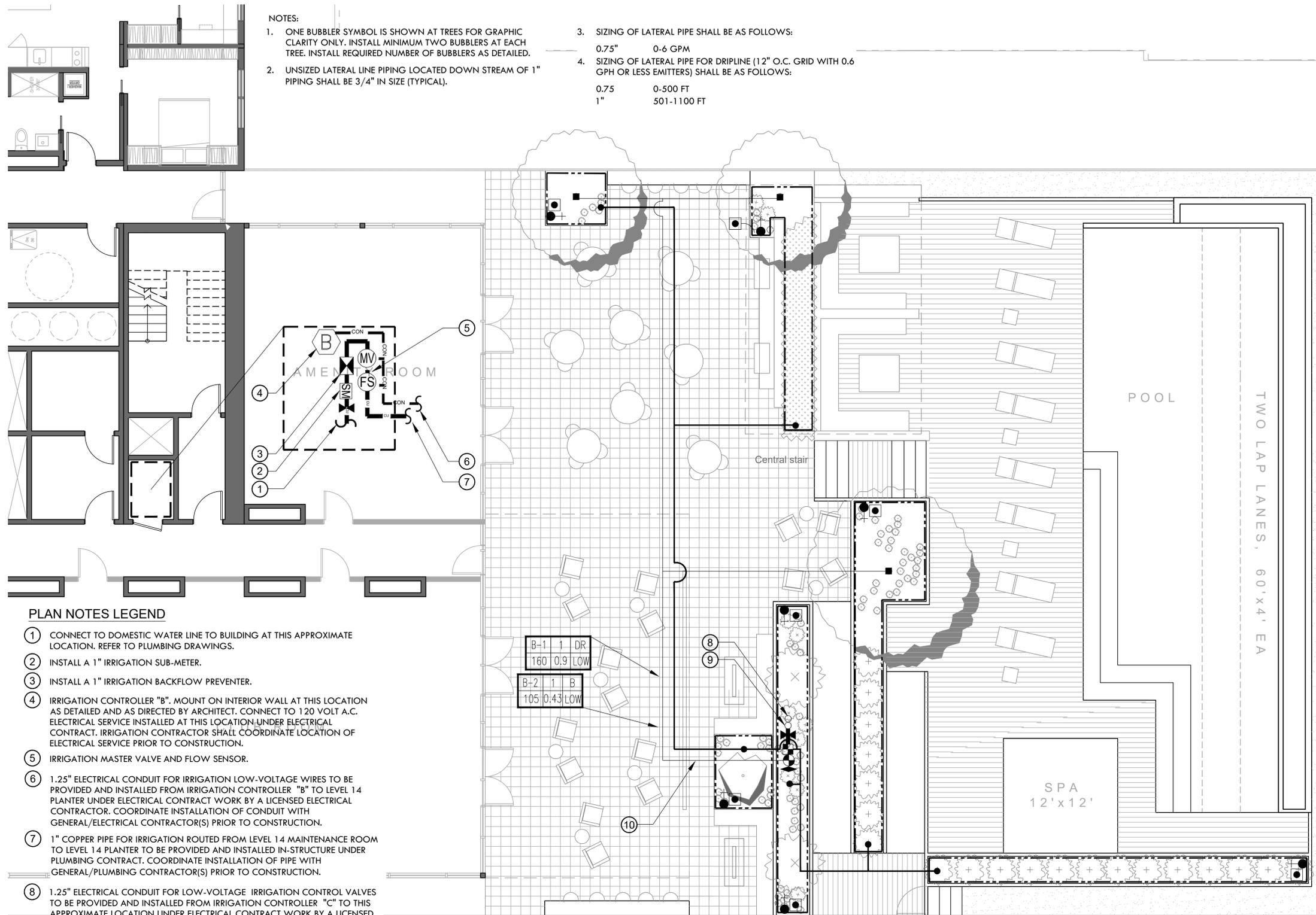
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SHEET:

IRRIGATION PLAN
 FOURTEENTH
 FLOOR ROOF DECK
 ALT E - REVISED

13.0



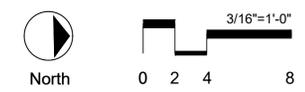
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4. SIZING OF LATERAL PIPE FOR DRIPLINE (12" O.C. GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:
 0.75 0-500 FT
 1" 501-1100 FT

PLAN NOTES LEGEND

- ① CONNECT TO DOMESTIC WATER LINE TO BUILDING AT THIS APPROXIMATE LOCATION. REFER TO PLUMBING DRAWINGS.
- ② INSTALL A 1" IRRIGATION SUB-METER.
- ③ INSTALL A 1" IRRIGATION BACKFLOW PREVENTER.
- ④ IRRIGATION CONTROLLER "B". MOUNT ON INTERIOR WALL AT THIS LOCATION AS DETAILED AND AS DIRECTED BY ARCHITECT. CONNECT TO 120 VOLT A.C. ELECTRICAL SERVICE INSTALLED AT THIS LOCATION UNDER ELECTRICAL CONTRACT. IRRIGATION CONTRACTOR SHALL COORDINATE LOCATION OF ELECTRICAL SERVICE PRIOR TO CONSTRUCTION.
- ⑤ IRRIGATION MASTER VALVE AND FLOW SENSOR.
- ⑥ 1.25" ELECTRICAL CONDUIT FOR IRRIGATION LOW-VOLTAGE WIRES TO BE PROVIDED AND INSTALLED FROM IRRIGATION CONTROLLER "B" TO LEVEL 14 PLANTER UNDER ELECTRICAL CONTRACT WORK BY A LICENSED ELECTRICAL CONTRACTOR. COORDINATE INSTALLATION OF CONDUIT WITH GENERAL/ELECTRICAL CONTRACTOR(S) PRIOR TO CONSTRUCTION.
- ⑦ 1" COPPER PIPE FOR IRRIGATION ROUTED FROM LEVEL 14 MAINTENANCE ROOM TO LEVEL 14 PLANTER TO BE PROVIDED AND INSTALLED IN-STRUCTURE UNDER PLUMBING CONTRACT. COORDINATE INSTALLATION OF PIPE WITH GENERAL/PLUMBING CONTRACTOR(S) PRIOR TO CONSTRUCTION.
- ⑧ 1.25" ELECTRICAL CONDUIT FOR LOW-VOLTAGE IRRIGATION CONTROL VALVES TO BE PROVIDED AND INSTALLED FROM IRRIGATION CONTROLLER "C" TO THIS APPROXIMATE LOCATION UNDER ELECTRICAL CONTRACT WORK BY A LICENSED ELECTRICAL CONTRACTOR. COORDINATE INSTALLATION OF CONDUIT WITH GENERAL/ELECTRICAL CONTRACTOR(S) PRIOR TO CONSTRUCTION.
- ⑨ 1" COPPER PIPE FOR IRRIGATION ROUTED FROM PARKING LEVEL 1 MECHANICAL ROOM TO THIS APPROXIMATE LOCATION TO BE PROVIDED AND INSTALLED IN-STRUCTURE UNDER PLUMBING CONTRACT. COORDINATE INSTALLATION OF PIPE WITH GENERAL/PLUMBING CONTRACTOR(S) PRIOR TO CONSTRUCTION.
- ⑩ ALL IRRIGATION LINES SHALL BE ROUTED UNDER PEDESTAL PAVERS.

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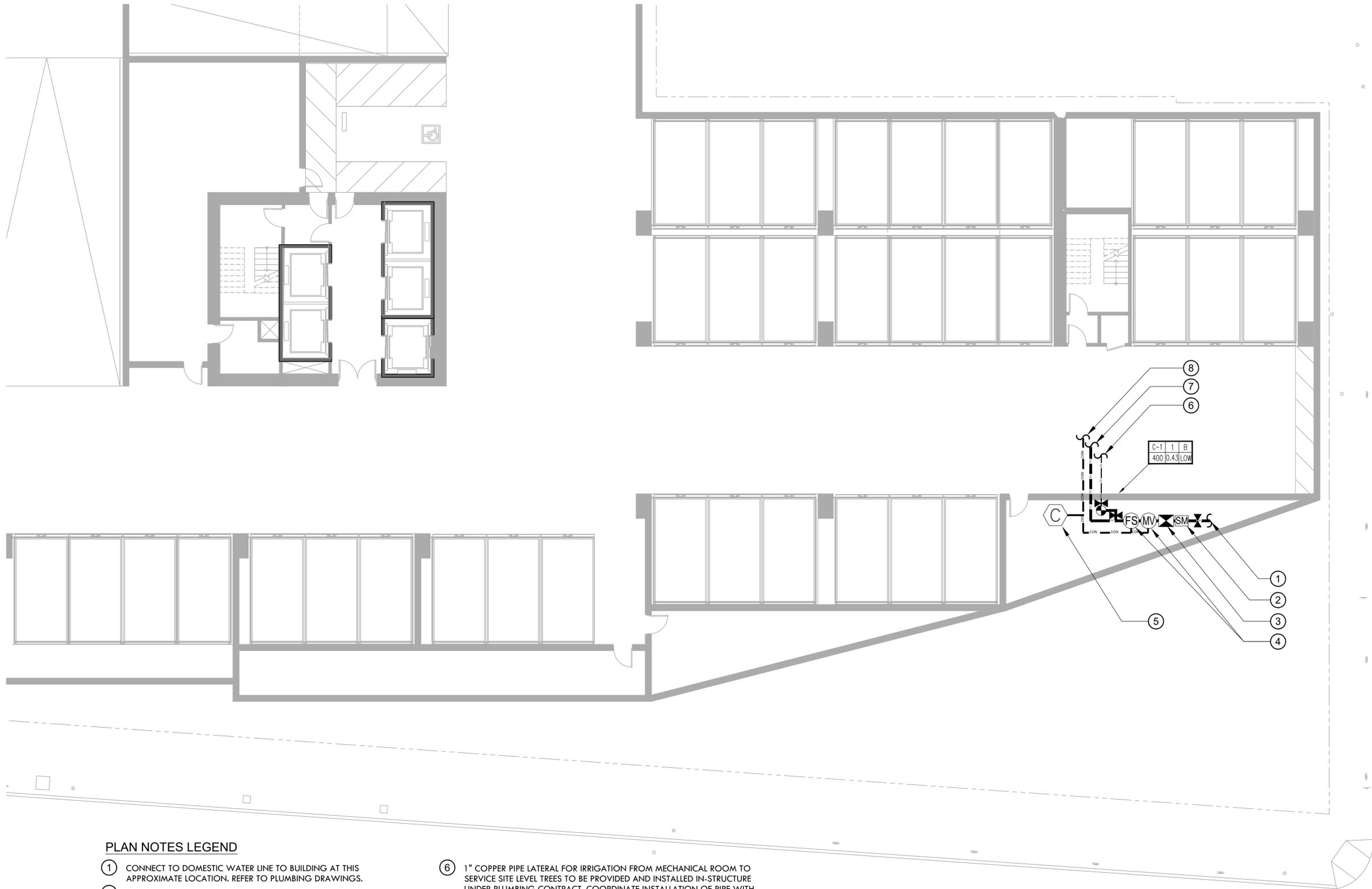
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SHEET:

IRRIGATION
 POINT OF
 CONNECTION

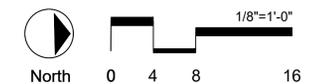
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PLAN NOTES LEGEND

- ① CONNECT TO DOMESTIC WATER LINE TO BUILDING AT THIS APPROXIMATE LOCATION. REFER TO PLUMBING DRAWINGS.
- ② INSTALL A 1" IRRIGATION SUB-METER.
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- ⑧ 1.25" ELECTRICAL CONDUIT FOR LOW-VOLTAGE IRRIGATION CONTROL VALVES TO BE PROVIDED AND INSTALLED FROM IRRIGATION CONTROLLER "C" TO PODIUM LEVEL PLANTERS UNDER ELECTRICAL CONTRACT WORK BY A LICENSED ELECTRICAL CONTRACTOR. COORDINATE INSTALLATION OF CONDUIT WITH GENERAL/ELECTRICAL CONTRACTOR(S) PRIOR TO CONSTRUCTION.

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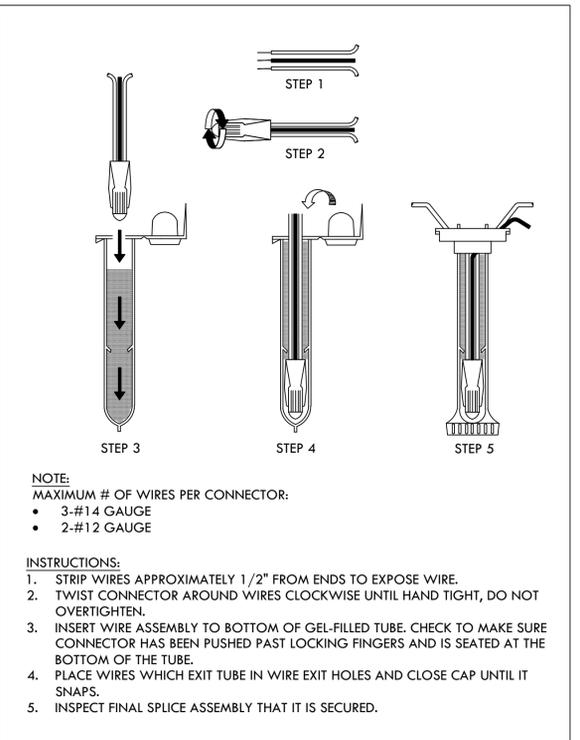
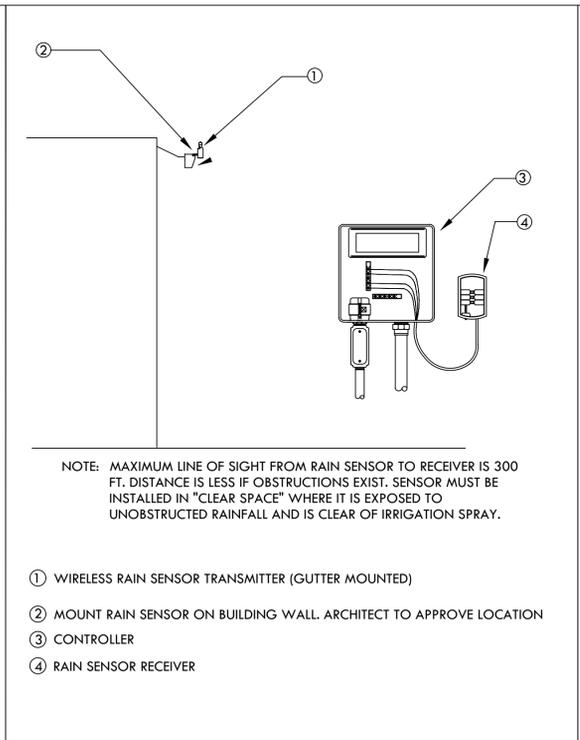
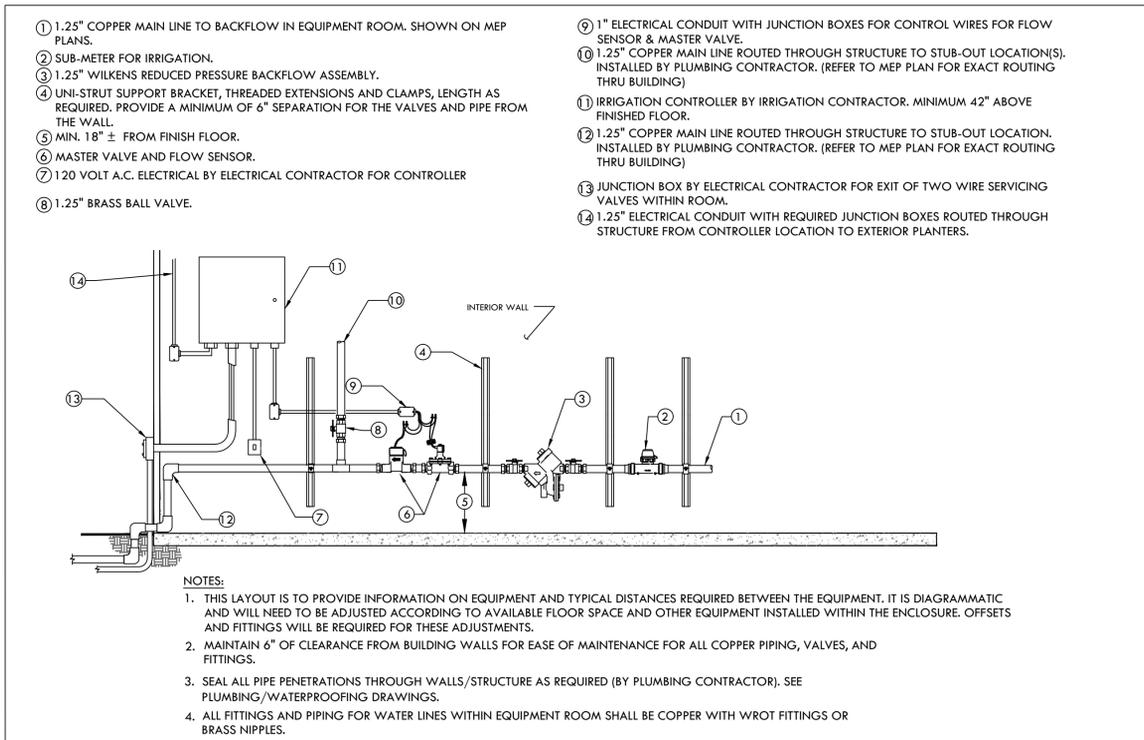
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IRRIGATION
 DETAILS

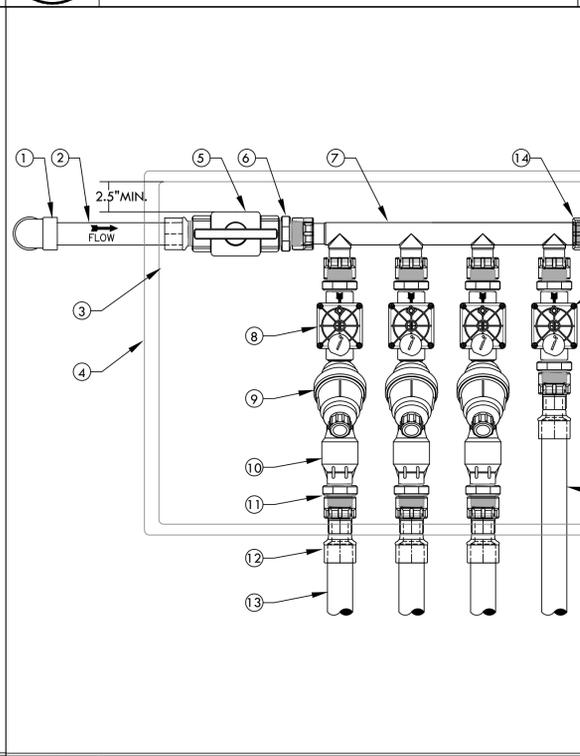
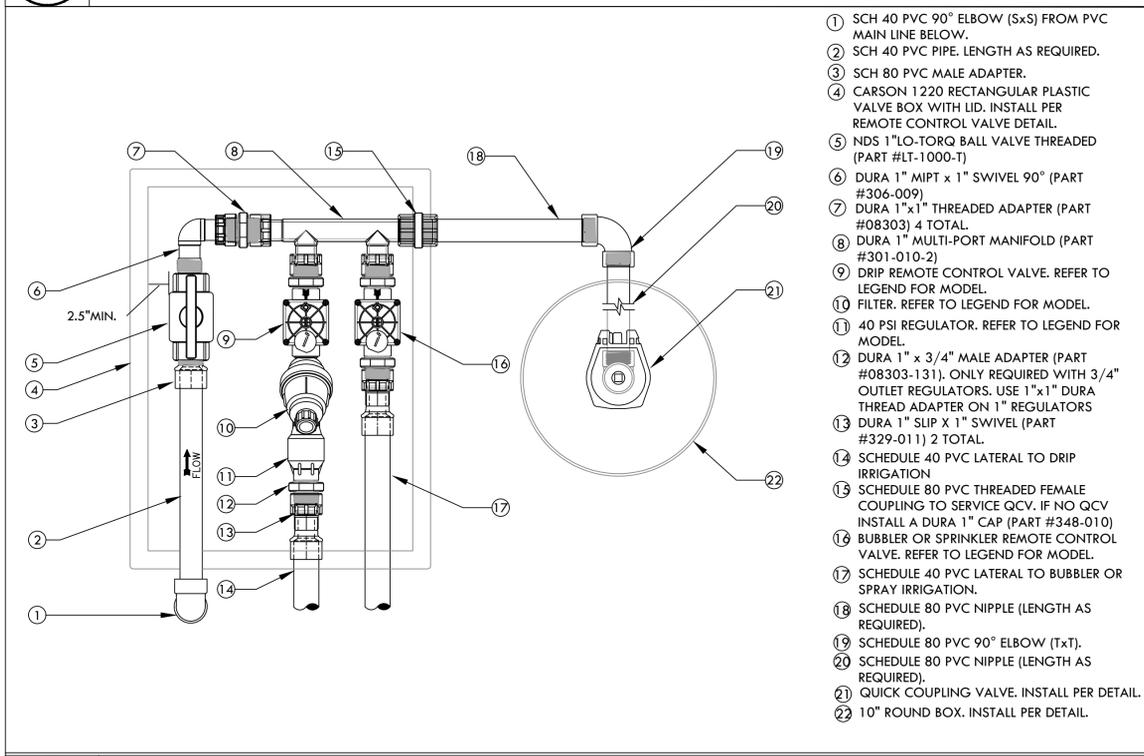
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1 IRRIGATION EQUIPMENT LAYOUT DIAGRAM DETAIL
 SCALE: NONE

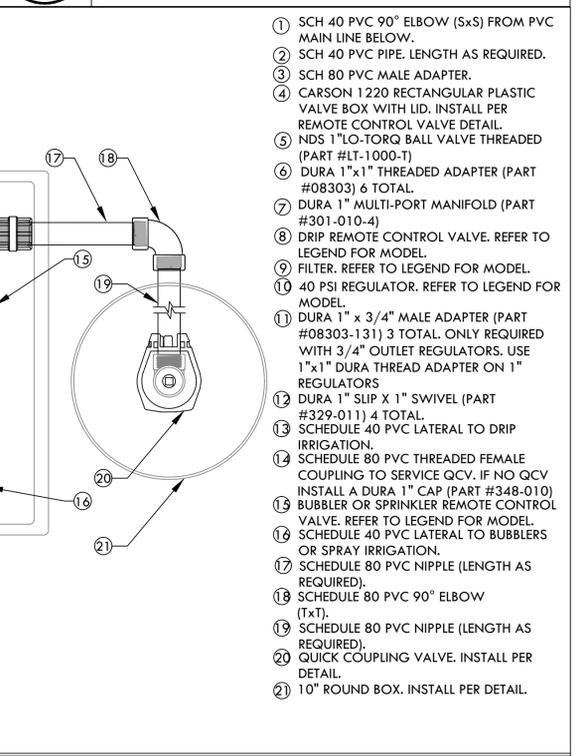
2 WIRELESS RAIN SENSOR-GUTTER MOUNT
 SCALE: NONE

3 WEATHERPROOF WIRE SPLICE ASSEMBLY
 SCALE: NONE



4 TWO REMOTE VALVE MANIFOLD DETAIL WITH QUICK COUPLING VALVE (1" VALVES ONLY)
 SCALE: NONE

5 FOUR REMOTE VALVE MANIFOLD DETAIL WITH QUICK COUPLING VALVE (1" VALVES ONLY)
 SCALE: NONE



5 FOUR REMOTE VALVE MANIFOLD DETAIL WITH QUICK COUPLING VALVE (1" VALVES ONLY)
 SCALE: NONE

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<p>1 CARSON 1220 RECTANGULAR VALVE BOX FOR FOUR VALVES OR CARSON 1419 FOR TWO VALVES 2 FINISH GRADE 3 19 GAUGE 1/2" SQUARE WIRE MESH. WRAP UP THE SIDES OF THE BOX 4 BRICK-1 EACH CORNER 5 PEA GRAVEL OR 3/4" DRAIN ROCK- 4" DEEP BELOW VALVE (NO SOIL IN VALVE BOX) 6 REMOTE CONTROL VALVE WITH FLOW CONTROL AND MANUAL BLEED. REFER TO TWO OR FOUR VALVE MANIFOLD DETAIL FOR INSTALLATION INSTRUCTIONS 7 VALVE CONTROL WIRE- PROVIDE 3M-DBY SEAL PACKS AT ALL SPLICES AND 24" OF EXCESS UF WIRE IN A 1" DIAMETER COIL 8 SCH 40 PVC LATERAL LINE TO BUBBLERS OR SPRAY</p>	<p>1 CARSON 1220 RECTANGULAR VALVE BOX FOR FOUR VALVES OR CARSON 1419 FOR TWO VALVES 2 FINISH GRADE 3 19 GAUGE 1/2" SQUARE WIRE MESH. WRAP UP THE SIDES OF THE BOX 4 BRICK-1 EACH CORNER 5 PEA GRAVEL OR 3/4" DRAIN ROCK- 4" DEEP BELOW VALVE (NO SOIL IN VALVE BOX) 6 SCH 40 PVC LATERAL LINE TO DRIFLINE OR DRIP. 7 DRIP FILTER AND REGULATOR 8 REMOTE CONTROL VALVE WITH FLOW CONTROL AND MANUAL BLEED. REFER TO TWO OR FOUR VALVE MANIFOLD DETAIL FOR INSTALLATION INSTRUCTIONS 9 VALVE CONTROL WIRE- PROVIDE 3M-DBY SEAL PACKS AT ALL SPLICES AND 24" OF EXCESS UF WIRE IN A 1" DIAMETER COIL</p>	<p>15" x 21" OR 14" x 19" RECTANGULAR VALVE BOX. 10" DIAMETER ROUND VALVE BOX. FOR QCV AND GATE VALVE. 12" 36" EDGE OF LAWN, WALK, ETC. TOP VIEW</p> <p>INSTRUCTIONS: 1. CENTER VALVE BOX OVER REMOTE CONTROL VALVES TO FACILITATE SERVICING VALVE. 2. SET BOXES 1" ABOVE FINISH GRADE OR MULCH COVER IN GROUND COVER/SHRUB AREA AND FLUSH WITH FINISH GRADE IN TURF AREA. 3. SET RCV AND VALVE BOX ASSEMBLY IN GROUND COVER/SHRUB AREA WHERE POSSIBLE. INSTALL IN LAWN ONLY IF GROUND COVER DOES NOT EXIST ADJACENT TO LAWN. 4. SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE OF LAWN, WALK, FENCE, CURB, ETC. 5. AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOXES TO PREVENT COLLAPSE AND DEFORMATION OF VALVE BOX SIDES. 6. INSTALL EXTENSION BY VALVE BOX MANUFACTURER AS REQUIRED TO COMPLETELY ENCLOSE ASSEMBLY FOR EASY ACCESS.</p>	<p>UPHILL REFER TO IRRIGATION LEGEND NOTE: SUGGESTED QUANTITY OF BUBBLERS PER TREES AND SHRUBS SIZE: • SHRUBS = 1 BUBBLER • 1.5 GAL OR 24" BOX = 2 BUBBLERS • 36" OR 48" BOX = 4 BUBBLERS 1 BUBBLER (TO BE INSTALLED ON TOP OF ROOTBALL). 2 1/2" SCH. 40 MALE ADAPTER (2 TOTAL). 3 6" STAPLE. 4 FINISH GRADE. 5 TREE OR SHRUB ROOTBALL. 6 1/2" IPS FLEXIBLE PVC. USE WELD-ON 795 SOLVENT CEMENT OR EQUAL WHEN BONDING PVC HOSE TO FITTINGS. 7 PVC TEE (SST), ELBOW (ST) OR FEMALE ADAPTER. 8 PVC LATERAL LINE. 9 TREE STAKES. 10 TREE OR SHRUB. 11 EDGE OF ROOTBALL (TYPICAL). SLOPED GRADE LEVEL GRADE TREE BUBBLER PLACEMENT EXAMPLES</p>
<p>1 BUBBLER OR SPRAY REMOTE CONTROL VALVE IN TWO OR FOUR VALVE MANIFOLD SCALE: NONE</p>	<p>2 DRIP REMOTE CONTROL VALVE IN TWO OR FOUR VALVE MANIFOLD SCALE: NONE</p>	<p>3 VALVE BOX INSTALLATION SCALE: NONE</p>	<p>4 TREE AND SHRUB BUBBLER SCALE: NONE</p>
<p>1 10" ROUND PLASTIC VALVE BOX WITH BOLT DOWN LID. 2 1 1/4" x 1 1/4" x 3/16" [30mm x 30mm x 5mm] ANGLE IRON 30" [760mm] LONG W/2 STAINLESS STEEL STRAPS (ONE AROUND QCV). 3 PVC MAIN LINE. 4 3" [75mm] LONG SCHEDULE 80 PVC THREADED NIPPLE. 5 FINISH GRADE. 6 QUICK COUPLING VALVE. 7 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH. 8 BRICK - 2 TOTAL. 9 SCHEDULE 80 PVC THREADED NIPPLE. 10 10" [250mm] LONG SCHEDULE 80 PVC THREADED NIPPLE. 11 UPC APPROVED SCHEDULE 40 PVC TEE OR ELBOW. 12 SCHEDULE 80 PVC THREADED 90° ELL. 13 PEA GRAVEL OR 3/4" DRAIN ROCK- 4" [100mm] DEEP BELOW VALVE (NO SOIL IN VALVE BOX). NOTE: NIPPLES AND FITTINGS TO BE SAME SIZE AS VALVE IPT INLET THREAD SIZE.</p>	<p>TOP OF FINISH GRADE QUICK-COUPLING VALVE VALVE BOX WITH COVER: 10-INCH SIZE CRUSHED ROCK PVC SCH 80 NIPPLE (LENGTH AS REQUIRED) PVC SCH 80 NIPPLE (LENGTH AS REQUIRED) PVC SCH 80 STREET ELL PVC SCH 40 TEE OR ELL PVC MAINLINE PIPE STRUCTURAL FOAM OR ROOF SCHEDULE 80 PVC THREADED 90° ELL SIDE VIEW TOP VIEW NOTE: 1. NIPPLES AND FITTINGS TO BE SAME SIZE AS VALVE IPT INLET THREAD SIZE. 2. TRIM VALVE BOX LENGTH AS NECESSARY TO BE FLUSH WITH TOP OF FINISH GRADE TILES. 3. IF NECESSARY SLOT SIDES VALVE BOX TO ALLOW PASSAGE OF PIPE THROUGH BOTTOM OF VALVE BOX.</p>	<p>8"-12" MIN. 6" MIN. 6" MIN. 6"-12" MIN. 12" 4" 4" LATERAL, MAIN, AND WIRES MAIN AND WIRES ONLY LATERAL ONLY MULTIPLE LATERALS NOTE: 1. ALL MAIN SUPPLY LINES AND LATERAL LINES SHALL BE PLACED IN SLEEVES UNDER PAVED SURFACES. INSTALL LOW VOLTAGE WIRES WITHIN A SEPARATE CONDUIT UNDER PAVED SURFACES. DO NOT TAPE WIRES WITHIN CONDUIT. 2. REUSE SALVAGED EXCAVATED FILL AND COMPACT TO ORIGINAL DENSITY IN LANDSCAPE AREAS. ALL OTHER AREAS SHALL BE AT 95% COMPACTION. BACKFILL MATERIAL SHALL BE THE EARTH EXCAVATED FROM THE TRENCHES, FREE FROM ROCKS (ANYTHING LARGER THAN 2"), CONCRETE CHUNKS, AND OTHER FOREIGN OR COARSE MATERIALS. 3. WHEN 1/2" POP-UP SPRINKLER HEADS ARE USED, INCREASE THE DEPTH OF LATERAL TO 18" AT THE SPRINKLER LOCATION ONLY. 1 FINISH GRADE. 2 CLEAN BACKFILL MATERIAL. 3 LATERAL LINE. 4 3" DETECTABLE WARNING TAPE OVER MAIN LINE. INSTALL 3" ABOVE MAIN LINE. USE CHRISTY MODEL #TA-DT-3-BIRR FOR POTABLE IRRIGATION SYSTEMS OR #TA-DT-3-PRW FOR RECYCLED IRRIGATION WATER SYSTEMS 5 MAIN LINE. 6 LOW VOLTAGE CONTROL WIRES. TWO-WIRE CABLE, OR CONDUIT WITH WIRES. FOR MULTIPLE WIRES, TAPE AND BUNDLE WIRES AT 10 FT. INTERVALS. WIRING SHALL BE LAID OUT LOOSELY IN THE TRENCH.</p>	<p>PLAN FV 1 FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT 2 1" FLEXIBLE PVC IPS HOSE FLUSH MANIFOLD. 3 MANIFOLD-TO-ELBOW CONNECTION (TYP). 4 PVC LATERAL LINE FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED. 5 PVC SUPPLY MANIFOLD. EXTEND TO END OF ZONE/EXHAUST HEADER. 6 MANIFOLD-TO-TEE CONNECTION. 7 DRIFLINE LATERAL. 8 AIR/VACUUM RELIEF LATERAL, BLANK POLY TUBING CENTERED ON MOUND OR BERM. 9 AIR/VACUUM RELIEF PLUMBED TO BLANK 5/8" POLY TUBING AT EACH HIGH POINT. 10 PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE. 11 AREA PERIMETER. 12 DRIFLINE OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIFLINE ZONE. NOTE: 1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIFLINE LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIFLINE SHALL NOT EXCEED 300 FT. 2. INSTALL DRIFLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.</p>
<p>5 QUICK COUPLING VALVE SCALE: NONE</p>	<p>6 QUICK COUPLING VALVE-ON STRUCTURE SCALE: NONE</p>	<p>7 TRENCHING SCALE: NONE</p>	<p>8 HLD DRIFLINE CENTER FEED LAYOUT SCALE: NONE</p>

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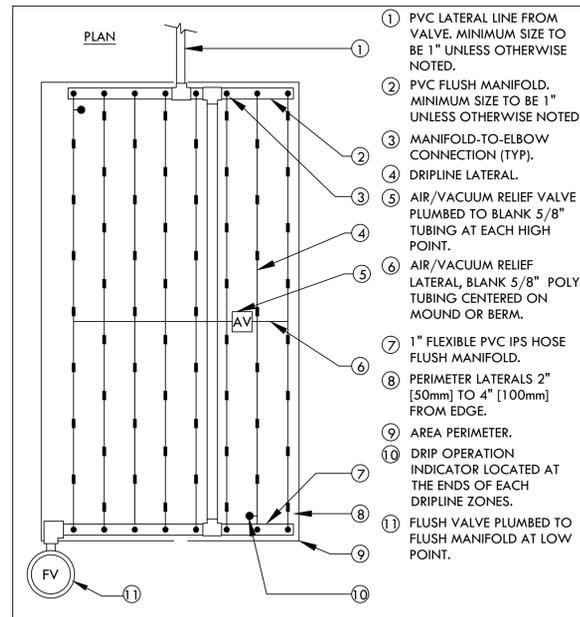
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JOB: 0000

SHEET:

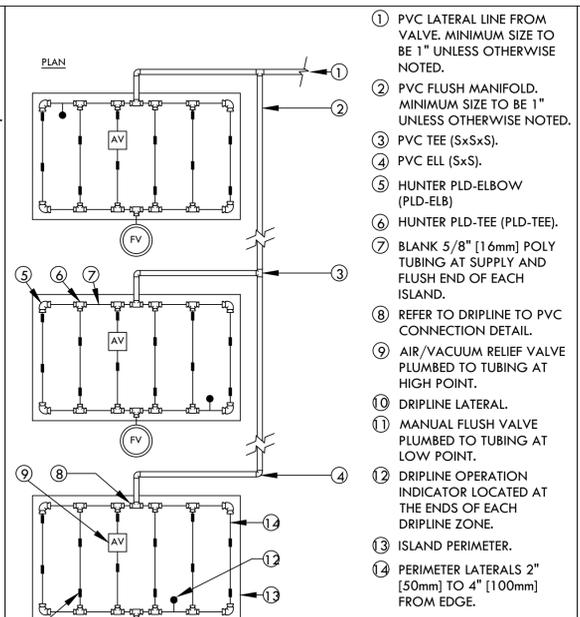
IRRIGATION
 DETAILS

16.0



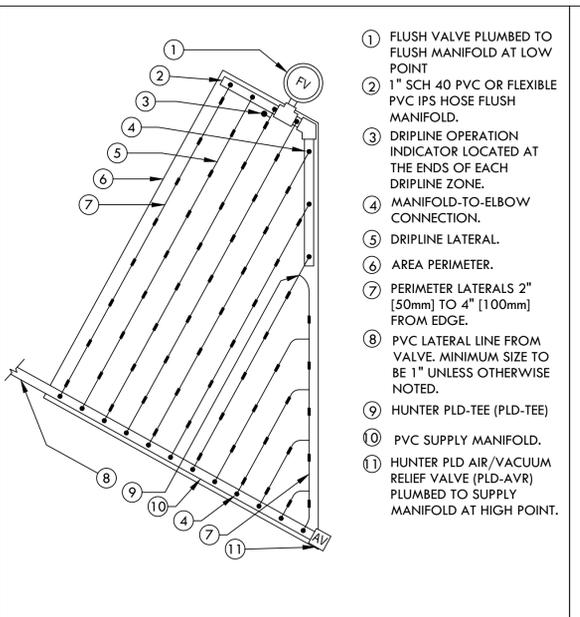
- 1 PVC LATERAL LINE FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
- 2 PVC FLUSH MANIFOLD. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
- 3 MANIFOLD-TO-ELBOW CONNECTION (TYP).
- 4 DRIPLINE LATERAL.
- 5 AIR/VACUUM RELIEF VALVE PLUMBED TO BLANK 5/8" TUBING AT EACH HIGH POINT.
- 6 AIR/VACUUM RELIEF LATERAL, BLANK 5/8" POLY TUBING CENTERED ON MOUND OR BERM.
- 7 1" FLEXIBLE PVC IPS HOSE FLUSH MANIFOLD.
- 8 PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.
- 9 AREA PERIMETER.
- 10 DRIP OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONES.
- 11 FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT.

NOTE:
 1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.
 2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.



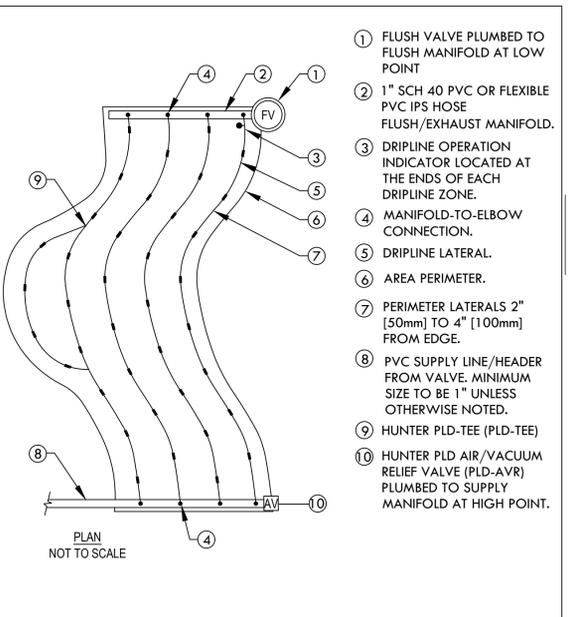
- 1 PVC LATERAL LINE FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
- 2 PVC FLUSH MANIFOLD. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
- 3 PVC TEE (SxSxS).
- 4 PVC ELL (SxS).
- 5 HUNTER PLD-ELBOW (PLD-ELB).
- 6 HUNTER PLD-TEE (PLD-TEE).
- 7 BLANK 5/8" [16mm] POLY TUBING AT SUPPLY AND FLUSH END OF EACH ISLAND.
- 8 REFER TO DRIPLINE TO PVC CONNECTION DETAIL.
- 9 AIR/VACUUM RELIEF VALVE PLUMBED TO TUBING AT HIGH POINT.
- 10 DRIPLINE LATERAL.
- 11 MANUAL FLUSH VALVE PLUMBED TO TUBING AT LOW POINT.
- 12 DRIPLINE OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONE.
- 13 ISLAND PERIMETER.
- 14 PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.

NOTE:
 1. THE TOTAL LENGTH OF A SINGLE DRIP LINE RUN SHALL NOT EXCEED 300 FT.
 2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.



- 1 FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT
- 2 1" SCH 40 PVC OR FLEXIBLE PVC IPS HOSE FLUSH MANIFOLD.
- 3 DRIPLINE OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONE.
- 4 MANIFOLD-TO-ELBOW CONNECTION.
- 5 DRIPLINE LATERAL.
- 6 AREA PERIMETER.
- 7 PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.
- 8 PVC LATERAL LINE FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
- 9 HUNTER PLD-TEE (PLD-TEE)
- 10 PVC SUPPLY MANIFOLD.
- 11 HUNTER PLD AIR/VACUUM RELIEF VALVE (PLD-AVR) PLUMBED TO SUPPLY MANIFOLD AT HIGH POINT.

NOTE:
 1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.
 2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.



- 1 FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT
- 2 1" SCH 40 PVC OR FLEXIBLE PVC IPS HOSE FLUSH/EXHAUST MANIFOLD.
- 3 DRIPLINE OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONE.
- 4 MANIFOLD-TO-ELBOW CONNECTION.
- 5 DRIPLINE LATERAL.
- 6 AREA PERIMETER.
- 7 PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.
- 8 PVC SUPPLY LINE/HEADER FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
- 9 HUNTER PLD-TEE (PLD-TEE)
- 10 HUNTER PLD AIR/VACUUM RELIEF VALVE (PLD-AVR) PLUMBED TO SUPPLY MANIFOLD AT HIGH POINT.

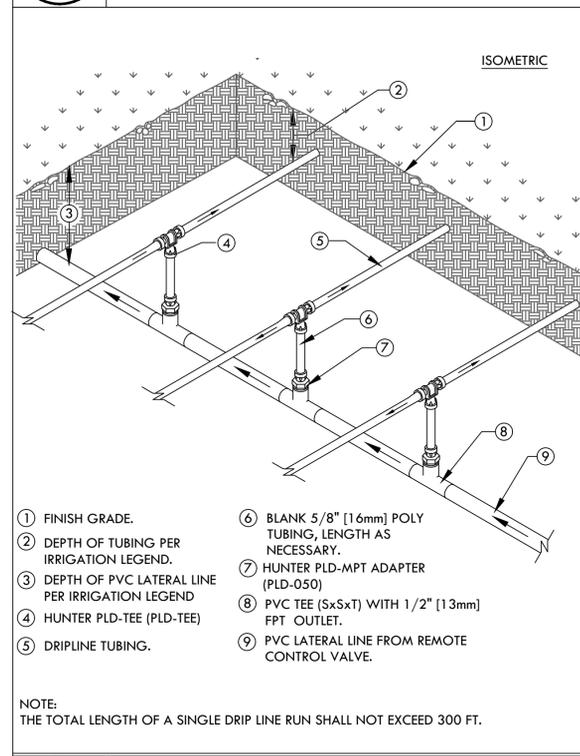
NOTE:
 1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.
 2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.

1 HLD DRIPLINE END FEED LAYOUT
 SCALE: NONE

2 HLD DRIPLINE ISLAND LAYOUT
 SCALE: NONE

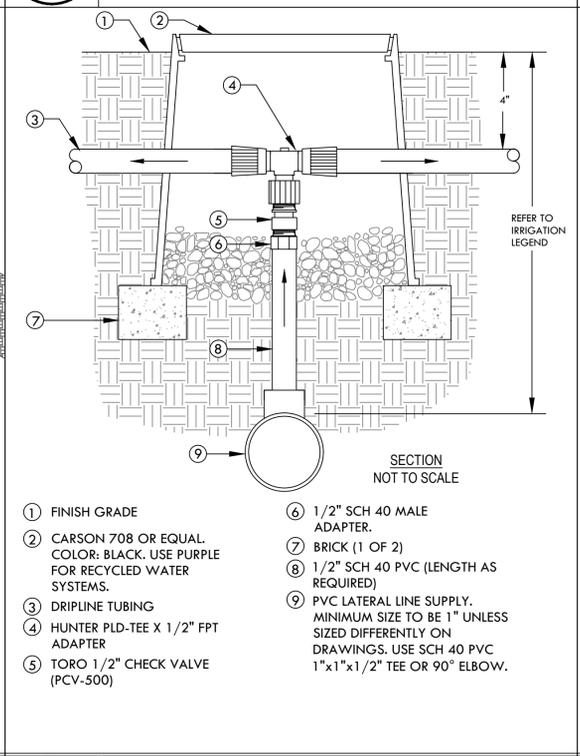
3 HLD DRIPLINE TRIANGULAR LAYOUT
 SCALE: NONE

4 HLD DRIPLINE ODD CURVE LAYOUT
 SCALE: NONE



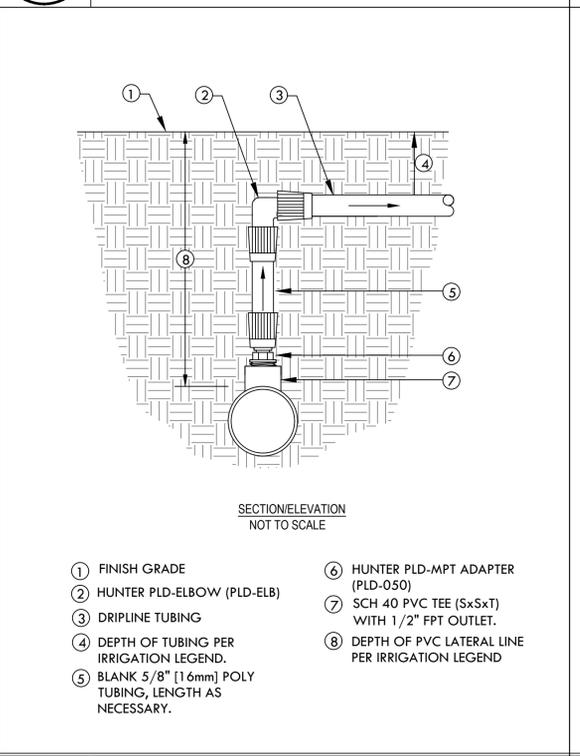
- 1 FINISH GRADE.
- 2 DEPTH OF TUBING PER IRRIGATION LEGEND.
- 3 DEPTH OF PVC LATERAL LINE PER IRRIGATION LEGEND
- 4 HUNTER PLD-TEE (PLD-TEE)
- 5 DRIPLINE TUBING.
- 6 BLANK 5/8" [16mm] POLY TUBING, LENGTH AS NECESSARY.
- 7 HUNTER PLD-MPT ADAPTER (PLD-050)
- 8 PVC TEE (SxSxT) WITH 1/2" [13mm] FPT OUTLET.
- 9 PVC LATERAL LINE FROM REMOTE CONTROL VALVE.

NOTE:
 THE TOTAL LENGTH OF A SINGLE DRIP LINE RUN SHALL NOT EXCEED 300 FT.



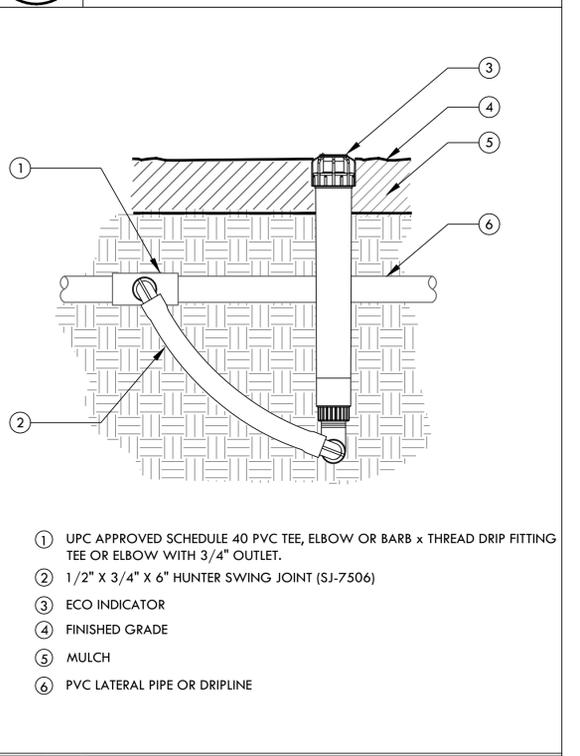
- 1 FINISH GRADE
- 2 CARSON 708 OR EQUAL. COLOR: BLACK. USE PURPLE FOR RECYCLED WATER SYSTEMS.
- 3 DRIPLINE TUBING
- 4 HUNTER PLD-TEE X 1/2" FPT ADAPTER
- 5 TORO 1/2" CHECK VALVE (PCV-500)
- 6 1/2" SCH 40 MALE ADAPTER.
- 7 BRICK (1 OF 2)
- 8 1/2" SCH 40 PVC (LENGTH AS REQUIRED)
- 9 PVC LATERAL LINE SUPPLY. MINIMUM SIZE TO BE 1" UNLESS SIZED DIFFERENTLY ON DRAWINGS. USE SCH 40 PVC 1"x1" x 1/2" TEE OR 90° ELBOW.

REFER TO IRRIGATION LEGEND



- 1 FINISH GRADE
- 2 HUNTER PLD-ELBOW (PLD-ELB)
- 3 DRIPLINE TUBING
- 4 DEPTH OF TUBING PER IRRIGATION LEGEND.
- 5 BLANK 5/8" [16mm] POLY TUBING, LENGTH AS NECESSARY.
- 6 HUNTER PLD-MPT ADAPTER (PLD-050)
- 7 SCH 40 PVC TEE (SxSxT) WITH 1/2" FPT OUTLET.
- 8 DEPTH OF PVC LATERAL LINE PER IRRIGATION LEGEND

SECTION/ELEVATION NOT TO SCALE



- 1 UPC APPROVED SCHEDULE 40 PVC TEE, ELBOW OR BARB x THREAD DRIP FITTING TEE OR ELBOW WITH 3/4" OUTLET.
- 2 1/2" X 3/4" X 6" HUNTER SWING JOINT (SJ-7506)
- 3 ECO INDICATOR
- 4 FINISHED GRADE
- 5 MULCH
- 6 PVC LATERAL PIPE OR DRIPLINE

SECTION/ELEVATION NOT TO SCALE

5 HLD DRIPLINE CENTER FEED MANIFOLD
 SCALE: NONE

6 DRIPLINE TO PVC CONNECTION
 SCALE: NONE

7 DRIPLINE MANIFOLD TO ELBOW CONNECTION
 SCALE: NONE

8 DRIPLINE OPERATION INDICATOR
 SCALE: NONE



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03.01.2023 ZONING SUBMITTAL

11.15.2023 ZONING RESUBMITTAL

03.12.2024 ZONING RESUBMITTAL

01.16.2025 PRELIM DRC HEARING SET

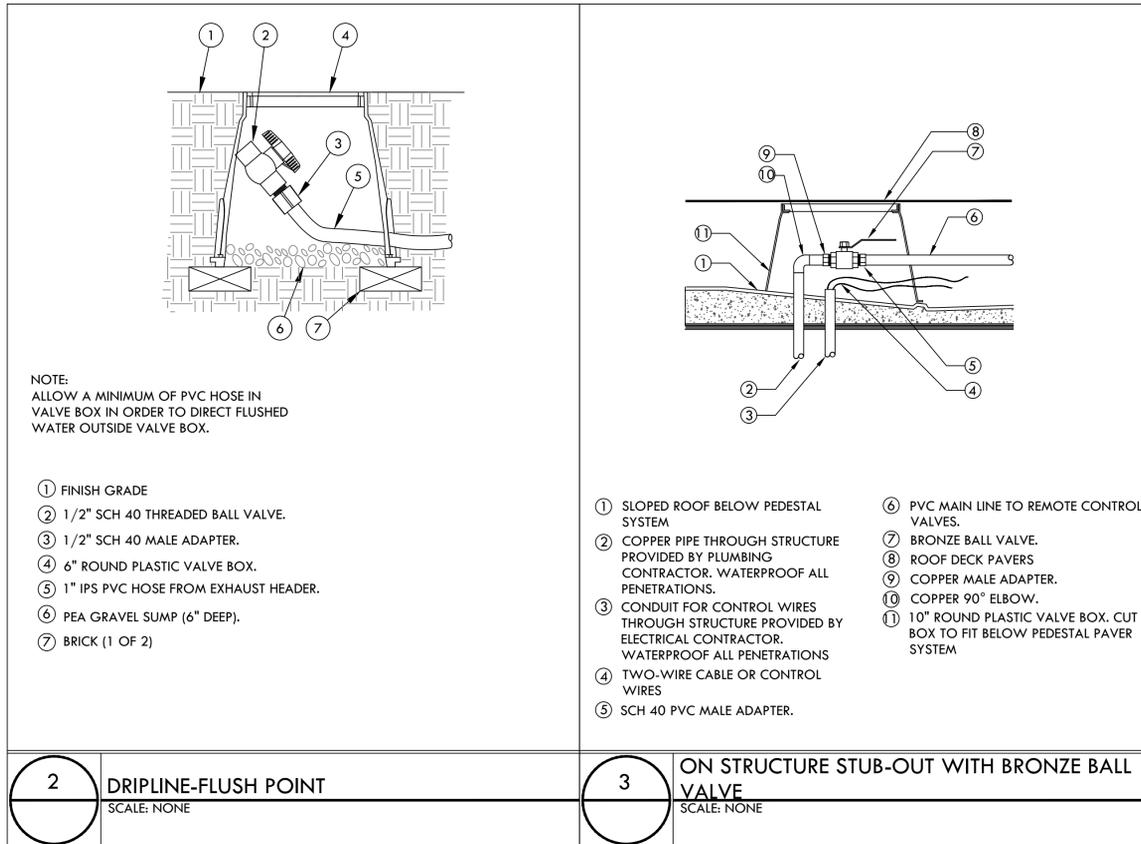
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING
HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED
WORK OF THE ARCHITECT AND MAY NOT BE
DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN
CONSENT OF TRACHTENBERG ARCHITECTS.

JOB: 0000

SHEET:

IRRIGATION DETAILS

17.0



IRRIGATION WATER USE CALCULATIONS

WATER USE ESTIMATION CONTROLLER "A"

WATER TYPE	POTABLE
SITE ETO=	41.8

HYDROZONE #	HYDROZONE NAME	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	AREA (SQ. FT) (HA)	ETAF X AREA (HA)	ETWU (GAL/YR)	ACRE FEET/ YEAR	HCF/ YEAR	PERCENTAGE OF LANDSCAPE
1	SHRUBS	LOW	0.3	BUBBLER	0.81	0.370	1,079	400	10,357	0.03	13.85	17%
2	GROUND COVER	LOW	0.3	BUBBLER	0.81	0.370	4,915	1,820	47,177	0.14	63.07	77%
3	TREES	LOW	0.3	BUBBLER	0.81	0.370	400	148	3,839	0.01	5.13	6%
TOTALS							6,394	2,368	81,373	0.19	82.05	100%

HYDROZONE #	HYDROZONE NAME	1	0	0%
NA				0%
TOTALS		0		0%

MAWA	GALLONS/YR	74,568
	ACRE FEET/YR	0.23
	HCF/YR	99.89

MAWA FORMULA	
MAXIMUM APPLIED WATER ALLOWANCE (MAWA) GALLONS PER YEAR	
MAWA = (ETO)(0.62)[(LA x 0.45) + (0.55 x SLA)]	

ETO = REFERENCE EVAPOTRANSPIRATION
0.55 = ET ADJUSTMENT FACTOR
LA = LANDSCAPED AREA (SQUARE FEET)
0.62 = CONVERSION FACTOR (GALLONS/SQ. FT/YR)

ETWU FORMULA	
ESTIMATED TOTAL WATER USE (ETWU) GALLONS PER YEAR	
ETWU = (ETO)(.62)(ETAF x LA)	

ETO = REFERENCE EVAPOTRANSPIRATION
PF = PLANT FACTOR FOR HYDROZONES
HA = HYDROZONE AREA (SQ. FT)
0.62 = CONVERSION FACTOR (GALLONS/SQ. FT/YR)

IE = IRRIGATION EFFICIENCY (0.81)-BUBBLER/DRIP

IE = IRRIGATION EFFICIENCY (0.75)-ROTORS/SPRAY

SITE IRRIGATION EFFICIENCY	SITE PLANT FACTOR	MAWA COMPLIANT
81.0%	0.30	YES

ETAF Calculations	
REGULAR LANDSCAPE AREAS	
TOTAL ETAF x AREA	2,368
TOTAL AREA	6,394
AVG. ETAF	37.04%

WATER USE ESTIMATION CONTROLLER "B"

WATER TYPE	POTABLE
SITE ETO=	41.8

HYDROZONE #	HYDROZONE NAME	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	AREA (SQ. FT) (HA)	ETAF X AREA (HA)	ETWU (GAL/YR)	ACRE FEET/ YEAR	HCF/ YEAR	PERCENTAGE OF LANDSCAPE
1	SHRUBS	LOW	0.3	BUBBLER	0.81	0.370	160	59	1,536	0.00	2.05	60%
2	TREES	LOW	0.3	BUBBLER	0.81	0.370	105	39	1,008	0.00	1.35	40%
TOTALS							265	98	2,544	0.01	3.40	100%

HYDROZONE #	HYDROZONE NAME	1	0	0%
NA				0%
TOTALS		0		0%

MAWA	GALLONS/YR	3,090
	ACRE FEET/YR	0.01
	HCF/YR	4.13

MAWA FORMULA	
MAXIMUM APPLIED WATER ALLOWANCE (MAWA) GALLONS PER YEAR	
MAWA = (ETO)(0.62)[(LA x 0.45) + (0.55 x SLA)]	

ETO = REFERENCE EVAPOTRANSPIRATION
0.55 = ET ADJUSTMENT FACTOR
LA = LANDSCAPED AREA (SQUARE FEET)
0.62 = CONVERSION FACTOR (GALLONS/SQ. FT/YR)

ETWU	GALLONS/YR	2,544
	ACRE FEET/YR	0.01
	HCF/YR	3.40

SITE IRRIGATION EFFICIENCY	SITE PLANT FACTOR	MAWA COMPLIANT
81.0%	0.30	YES

ETAF Calculations	
REGULAR LANDSCAPE AREAS	
TOTAL ETAF x AREA	98
TOTAL AREA	265
AVG. ETAF	37.04%

ETWU FORMULA	
ESTIMATED TOTAL WATER USE (ETWU) GALLONS PER YEAR	
ETWU = (ETO)(.62)(ETAF x LA)	

ETO = REFERENCE EVAPOTRANSPIRATION
PF = PLANT FACTOR FOR HYDROZONES
HA = HYDROZONE AREA (SQ. FT)
0.62 = CONVERSION FACTOR (GALLONS/SQ. FT/YR)

IE = IRRIGATION EFFICIENCY (0.81)-BUBBLER/DRIP

IE = IRRIGATION EFFICIENCY (0.75)-ROTORS/SPRAY