

L A N D M A R K S  
P R E S E R V A T I O N  
C O M M I S S I O N

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S T A F F R E P O R T

FOR COMMISSION ACTION  
FEBRUARY 6, 2025

## 3332 Adeline Street – The Lorin Theater/ Phillips Temple Building

**Structural Alteration Permit #LMSAP2025-0001** to modify the leasing area of an existing wireless telecommunication facility for the installation of an emergency generator at the rear of the Lorin Theater site.

### I. Application Basics

- A. Land Use Designations:** Adeline Corridor Commercial District (C-AC)
- B. CEQA Determination:** Categorically exempt pursuant to Section 15331 of the CEQA Guidelines (Historical Resource Rehabilitation).
- C. Parties Involved:**
- Applicant: Shannon Morrelli, Galt Wireless  
9120 Doc Bar Ct.  
Elk Grove, CA 95624
  - Property Owner: Phillips Temple Christian Methodist Episcopal Church  
3332 Adeline Street  
Berkeley, CA 94703
- D. Staff Recommendation:** Hold a hearing on this matter, consider the merits of the proposal and take favorable action.

Figure 1: Vicinity Map

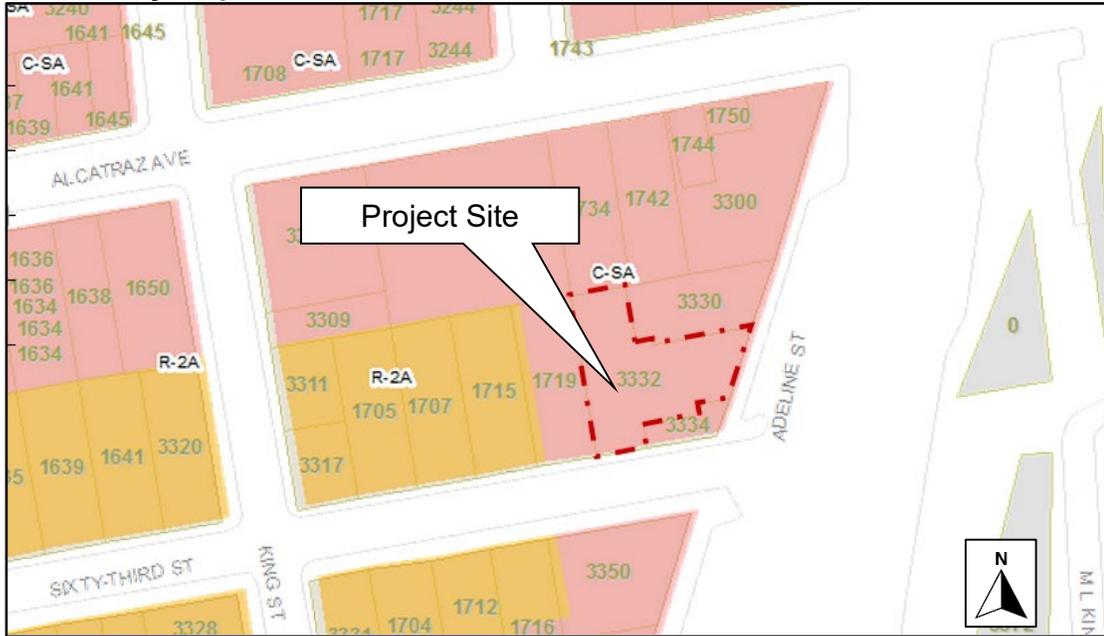
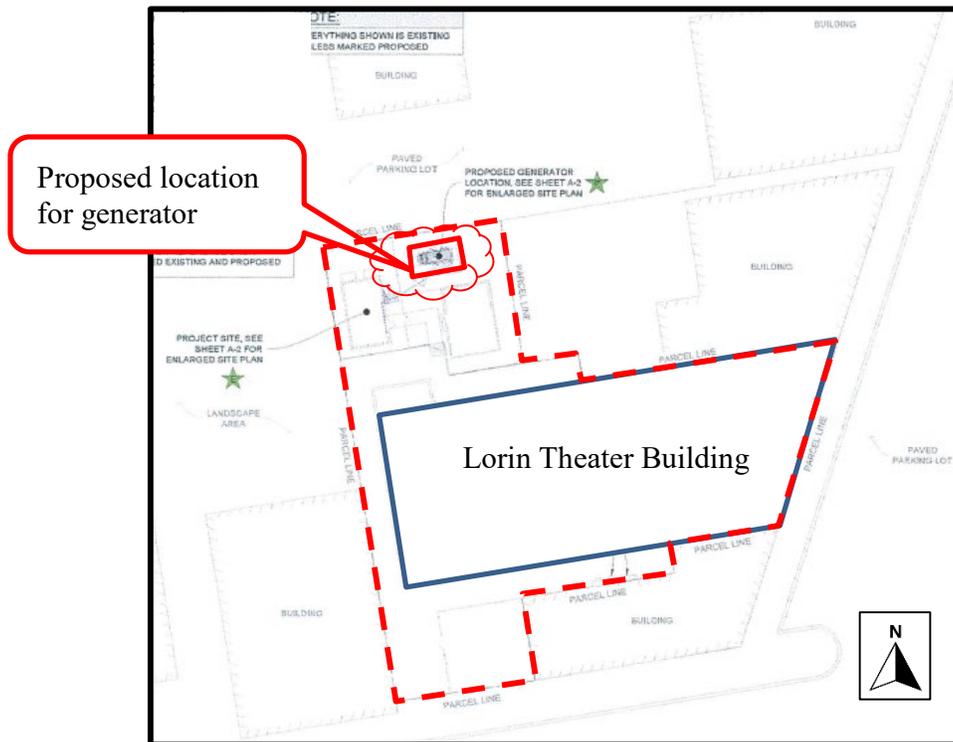


Figure 2: Site Plan (Attachment 2 - Project Plans, Sheet A-1)



## II. Background

### **Application Chronology**

On January 10, 2025, the applicant submitted a Structural Alteration Permit (SAP) application to install a new emergency generator at the rear (north) of the property at 3332 Adeline Street, the site of the Lorin Theater, a City Landmark. The Lorin Theater/Phillips Temple building was designated a City of Berkeley Landmark on May 24, 1982.

The SAP was submitted upon review of an Administrative Use Permit (AUP) to modify the existing lease area of the permitted wireless telecommunication facility located on the roof of the theater building. The AUP application was received on March 14, 2024. On November 11, 2024, the applicant submitted the final technical report necessary to conduct the analysis for the AUP and the project has since been deemed complete. Final approval of the AUP is pending review of the project by the Landmarks Preservation Commission for design.

Chapter 3.24 of the Berkeley Municipal Code requires Landmarks Preservation Commission review of any exterior modification requiring city permits to a Landmark Structure.

On January 27, 2025, staff mailed and posted ten-day advance notices for tonight's SAP hearing, in accordance with BMC Section 3.24.230.

### **Property Description**

This project is located at the northwest corner of Adeline Street and Sixty-Third Street, and is in the Adeline Corridor Commercial (C-AC) zoning district.

The Lorin Theater building was constructed in 1912 and designed by architect James W. Plachek. The building originally served as a theater, however a church took over the property in 1954 and continues to occupy the building today. The designation cites the white plaster Italian Renaissance and original brick façades as significant aspects of the property. This application proposes no alteration to the building façades or any other part of the historic structure.

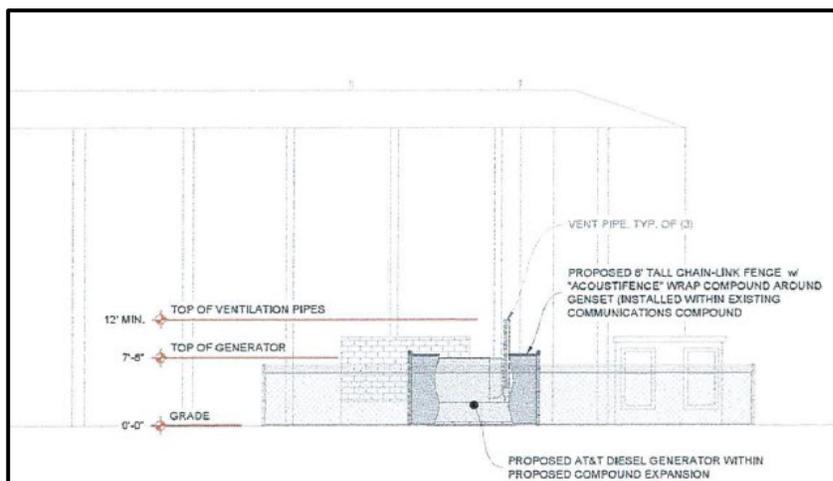
There are two previous SAP approvals on file for the installation of wireless telecommunication equipment on the rooftop of this historic building: LMSAP2013-0003 and LMSAP2014-0008. This application would not alter any of the equipment approved in the previous permits, nor any part of the historic structure.

### III. Project Description

The applicant proposes to make modifications to the parcel on which the Lorin Theater/Phillips Temple building is located. Modifications proposed in this application include the following:

- Install a new 7-foot 8-inch tall diesel emergency generator with fuel tank and new 4-foot by 8-foot concrete pad at the north end of the parcel.
- Construct an new 8-foot tall chain link fence and apply “acoustifence” wrapping for sound mitigation.

**Figure 3: Elevation Illustrating Proposed Generator and Fencing (Attachment 2 - Project Plans, Sheet A-1)**



### IV. Issues and Analysis

Staff has identified relevant criteria pertinent to this project from the City-Wide Design Guidelines, the Secretary of the Interior’s Standards for the Treatment of Historic Properties, and the Landmarks Preservation Ordinance (BMC Section 3.24).

#### A. City-Wide Design Guidelines

- **Guideline (4)b.** *Secondary building accessories such as garbage receptacles, utility meters and mechanical and electrical equipment should be screened from the view of pedestrians. Screening of such accessories should be done in a way that is harmonious with the building design, or as integrated artwork in the building design.*

Analysis: The proposed location in the rear of the parcel is not visible from the public right-of-way. The applicant has proposed additional screening with an 8-

foot tall chain link fence to obstruct view of the generator from adjacent tenants to the north where the parcel abuts a multi-family structure, thus meeting the intent of the design guidelines. An acoustic wrapping is proposed to help mitigate any noise that would be created by the generator when in use.

#### **B. The Secretary of the Interior's Standards for Rehabilitation**

The Secretary of the Interior's Standards (SOI) for the Treatment of Historic Properties (1995) defines *Rehabilitation* as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values." Below is an analysis of how the proposed project complies with the most relevant Standards for Rehabilitation.

- **SOI Rehab Standard 2** *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*
- **SOI Rehab Standard 10** *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Analysis: The proposed scope would not alter any part of the historic structure as the emergency generator would be located in the rear of the parcel and away from the main theater building. The proposed location is shielded from the public right of way, but would be visible by the adjacent multi-family building that abuts the property to the north at 1734 Alcatraz Avenue. The proposed location is not expected to have detrimental impacts to the spatial characteristics of the historic site, as it would not be physically connected to the theater building and is only marginally visible from the adjacent parcel. Once removed, the essential form and integrity of the historic property would be unimpaired.

#### **C. Landmarks Preservation Ordinance Review Standards and Criteria (Section 3.24.260.C)**

In order to approve a request for an SAP, the Commission must find that the proposal would not adversely affect the features or special character of the subject structure or property. Staff believes the applicant's proposal would not result in adverse effects for this historic resource as described below, and offers the following findings in accordance with the LPO:

- **BMC Section 3.24.260(C)(1):** *"For applications relating to landmark sites, the proposed work shall not adversely affect the exterior architectural features of the landmark and, where specified in the designation for a publicly owned landmark, its major interior architectural features nor shall the proposed work adversely affect the special character or special historical, architectural or aesthetic interest or value of the landmark and its site, as viewed both in themselves and in their setting."*

Analysis: The proposed project would not adversely affect the architectural features nor the special character of the building as the location is set away from the historic structure. The location is shielded from the public right of way and screening is provided to better camouflage the equipment from adjacent parcels.

## V. Recommendation

Staff recommends that the Commission open the hearing on this matter, consider the merits of the proposal and approve this Structural Alteration Permit pursuant to BMC Section 3.24.260 and subject to the attached findings and conditions because the proposed project:

- 1) Would result in minimal and ultimately reversible changes to the historic Lorin Theater site; and
- 2) Adheres to the requirements of Landmarks Preservation Ordinance for exterior alterations.

### Attachments:

1. Findings and Conditions
2. Project plans, received March 14, 2024
3. Landmark Designation-The Lorin Theater/Phillips Temple Building, approved May 24, 1982

**Prepared by:** Desiree Dougherty, Assistant Design Review Planner; ddougherty@berkeleyca.gov, (510) 981-7431

**Reviewed by:** Fatema Crane, Principal Planner/LPC Secretary; fcrane@berkeleyca.gov, (510) 981-7413

# ATTACHMENT 1

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## DRAFT FINDINGS AND CONDITIONS

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### **3332 Adeline Street – The Lorin Theater/ Phillips Temple Building**

**Structural Alteration Permit #LMSAP2025-0001 to modify the leasing area of an existing wireless telecommunication facility for the installation of an emergency generator at the rear of the Lorin Theater site.**

#### **FINDINGS REQUIRED UNDER CEQA**

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1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15331 of the CEQA Guidelines (“Historic Resource Restoration/Rehabilitation”). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, and (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5.

#### **FINDINGS RELATED TO THE SECRETARY OF THE INTERIOR’S STANDARDS**

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Regarding the Secretary of the Interior’s Standards (SOI) for Rehabilitation, the Landmarks Preservation Commission of the City of Berkeley makes the following findings:

1. The proposed project does not require a change of use. The property will retain the existing use as a wireless telecommunications facility.
2. The historic character of the property will be retained and preserved. No distinctive materials will be removed or altered to accommodate the alterations.
3. The new equipment will not resemble or replicate designs from the property’s historic period.
4. The subject property does not feature changes that have acquired significance in their own right.
5. Distinctive materials, features, finishes, and construction techniques, or examples of craftsmanship that characterize this property will be substantially retained and preserved with this limited-scope project.
6. As conditioned herein, if deteriorated historic features will be affected by this request, then they would be repaired or replaced to match the materials, design, and finishes of the original items.

7. The applicant does not propose chemical or physical treatments. However, standard conditions of Structural Alteration Permit approval would require any chemical or physical treatments to be undertaken using the gentlest means possible.
8. The project does not have the potential to affect any archaeological resources because the applicant proposes no substantial excavation.
9. The proposed scope will not destroy historic materials, features, or have lasting impact to the spatial characteristics of the property. The new generator would not be readily visible from vantage points within the public right way.
10. If the proposed equipment were removed in the future, they would not permanently impair the integrity or essential form of the Lorin Theater site.

#### **FINDINGS REQUIRED UNDER LANDMARKS PRESERVATION ORDINANCE**

1. As required by Section 3.24.260 of the Landmarks Preservation Ordinance, the Commission finds that the proposed work is appropriate for and consistent with the purposes of the Ordinance, and will preserve the characteristics and features specified in the designation for this property. Specifically:
  - A. The proposed project will not adversely affect the architectural design of the City Landmark, the Lorin Theater. The proposed generator and fence enclosure are located in the rear of the parcel and would not be attached to or alter any part of the historic structure.
  - B. The special historic character of the subject property would not be adversely affected by the scope of this project as the new generator would not be visible from the public right of way.

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## **STANDARD CONDITIONS**

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The following conditions, as well as all other applicable provisions of the Landmarks Preservation Ordinance, apply to this Permit:

### **1. Conditions Shall be Printed on Plans**

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Permit, under the title 'Structural Alteration Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

### **2. Plans and Representations Become Conditions**

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

### **3. Subject to All Applicable Laws and Regulations**

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Zoning Adjustments Board or Zoning Officer, Building and Safety Division, Public Works Department and other affected City divisions and departments.

### **4. Exercise and Lapse of Permits**

- A. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- B. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

### **5. Indemnification Agreement**

The permittee agrees as a condition of approval of this application to indemnify, protect, defend with counsel selected by the City, and hold harmless, the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents, from and against any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorney's fees and disbursements (collectively, "Claims") arising out of or in any way relating to the approval of this application, any actions taken

by the City related to this entitlement, or any environmental review conducted under the California Environmental Quality Act, Public Resources Code Section 210000 et seq., for this entitlement and related actions. The indemnification shall include any Claims that may be asserted by any person or entity, including the permittee, arising out of or in connection with the approval of this application, whether or not there is concurrent, passive or active negligence on the part of the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents. The permittee's duty to defend the City shall not apply in those instances when the permittee has asserted the Claims, although the permittee shall still have a duty to indemnify, protect and hold harmless the City. (City Attorney).

## 6. Halt Work/Unanticipated Discovery of Tribal Cultural Resources

In the event that cultural resources of Native American origin are identified during construction, all work within 50 feet of the discovery shall be redirected. The project applicant and project construction contractor shall notify the City Planning Department within 24 hours. The City will again contact any tribes who have requested consultation under AB 52, as well as contact a qualified archaeologist, to evaluate the resources and situation and provide recommendations. If it is determined that the resource is a tribal cultural resource and thus significant under CEQA, a mitigation plan shall be prepared and implemented in accordance with State guidelines and in consultation with Native American groups. If the resource cannot be avoided, additional measures to avoid or reduce impacts to the resource and to address tribal concerns may be required.

## 7. Archaeological Resources *(Ongoing throughout demolition, grading, and/or construction)*

Pursuant to CEQA Guidelines Section 15064.5(f), "provisions for historical or unique archaeological resources accidentally discovered during construction" should be instituted. Therefore:

- A. In the event that any prehistoric or historic subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant and/or lead agency shall consult with a qualified archaeologist, historian or paleontologist to assess the significance of the find.
- B. If any find is determined to be significant, representatives of the project proponent and/or lead agency and the qualified professional would meet to determine the appropriate avoidance measures or other appropriate measure, with the ultimate determination to be made by the City of Berkeley. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by the qualified professional according to current professional standards.
- C. In considering any suggested measure proposed by the qualified professional, the project applicant shall determine whether avoidance is necessary or feasible in light of factors such as the uniqueness of the find, project design, costs, and other considerations.
- D. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery) shall be instituted. Work may proceed on other parts of the project site while mitigation measures for cultural resources is carried out.

E. If significant materials are recovered, the qualified professional shall prepare a report on the findings for submittal to the Northwest Information Center.

**8. Human Remains** (*Ongoing throughout demolition, grading, and/or construction*)

In the event that human skeletal remains are uncovered at the project site during ground-disturbing activities, all work shall immediately halt and the Alameda County Coroner shall be contacted to evaluate the remains, and following the procedures and protocols pursuant to CEQA Guidelines Section 15064.5 (e)(1) . If the County Coroner determines that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to Health and Safety Code Section 7050.5(c), and all excavation and site preparation activities shall cease within a 50-foot radius of the find until appropriate arrangements are made. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance and avoidance measures (if applicable) shall be completed expeditiously.

**9. Paleontological Resources** (*Ongoing throughout demolition, grading, and/or construction*)

In the event of an unanticipated discovery of a paleontological resource during construction, excavations within 50 feet of the find shall be temporarily halted or diverted until the discovery is examined by a qualified paleontologist (per Society of Vertebrate Paleontology standards [SVP 1995, 1996]). The qualified paleontologist shall document the discovery as needed, evaluate the potential resource, and assess the significance of the find. The paleontologist shall notify the appropriate agencies to determine procedures that would be followed before construction is allowed to resume at the location of the find. If the City determines that avoidance is not feasible, the paleontologist shall prepare an excavation plan for mitigating the effect of the project on the qualities that make the resource important, and such plan shall be implemented. The plan shall be submitted to the City for review and approval.

**ADDITIONAL CONDITIONS**

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The following additional conditions are attached to this Permit:

10. No changes can be made to these approved plans without prior approval.
11. **ADDITIONAL PERMIT REQUIREMENTS.** This Structural Alteration Permit (SAP) approval is contingent upon approval of the requisite Administrative Use Permit and any Public Works Permit for the project scope as well as all other conditional use permits, and state and federal requirements for operation of the wireless telecommunication facility.
12. **PLANS COMPLIANCE.** Construction and building permit plans shall substantially conform to the Structural Alteration Permit (SAP) project plans dated/received March 12, 2024.

**13. REPAIR AND REPLACEMENT OF CHARACTER-DEFINING FEATURES.**

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old or historic feature in design, color, texture, and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.

**14. DETAILS.** Prior to Landmarks plan checker sign-off of the Building Permit set of drawings, the applicant shall submit fence details for review and approval by the Landmarks plan checker.

**15.** Chemical or physical treatments, if appropriate, shall be undertaken using the gentlest means possible. Treatments that cause damage to historic materials shall not be used.

**16.** The applicant shall be responsible for identifying and securing all applicable permits from the Building and Safety Division and all other affected City divisions/departments prior to the start of work.

**17.** The applicant is responsible for complying with all the above conditions. Failure to comply with any condition could result in construction work being stopped, issuance of citations, as well as further review by the Landmarks staff, which may modify or impose additional conditions, or revoke approval.

**18.** All building permit drawings and subsequent construction shall substantially conform to the approved plans as outlined in Condition #1. Any modifications must be reviewed by the Landmarks plan checker to determine whether the modification requires approval.

**19.** The applicant shall hold harmless, defend, and indemnify the City of Berkeley and its officers, agents, and employees against any and all liability, damages, claims, demands, judgments or other losses (including without limitation, attorney's fees, expert witness and consultant fees and other litigation expenses), referendum or initiative relating to, resulting from or caused by, or alleged to have resulted from, or caused by, any action or approval associated with the project. The indemnity includes without limitation, any legal or administrative challenge, referendum or initiative filed or prosecuted to overturn, set aside, stay or otherwise rescind any or all approvals granted in connection with the Project, any environmental determination made for the project and granting any permit issued in accordance with the project. This indemnity includes, without limitation, payment of all direct and indirect costs associated with any action specified herein. Direct and indirect costs shall include, without limitation, any attorney's fees, expert witness and consultant fees, court costs, and other litigation fees. City shall have the right to select counsel to represent the City at Applicant's expense in the defense of any action specified in this condition of approval. City shall take reasonable steps to promptly notify the Applicant of any claim, demand, or legal actions that may create a claim for indemnification under these conditions of approval.

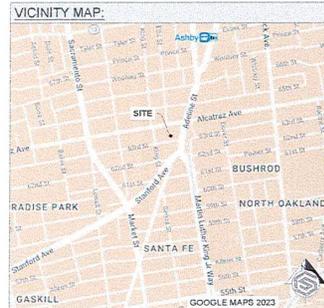


**MARTIN LUTHER KING W**  
**FA#: 10087892**

**GENERATOR INSTALLATION PROJECT**  
**50KW GENERAC DIESEL GENERATOR**

**3332 ADELINE STREET**  
**BERKELEY, CA 94703**

**SITE INFORMATION:**  
 SITE ADDRESS: 3332 ADELINE STREET  
 BERKELEY, CA 94703  
 COUNTY: ALAMEDA  
 COORDINATES: 37.8479167 / -122.2723861 (FOR NAVIGATION ONLY)  
 PROPERTY LANDLORD OR OWNER: PHILLIPS TEMPLE CHRISTIAN METHODIST EPISCOPAL CHURCH  
 TAX ID #: 53-1532-4-3  
 ZONING: C-SA  
 OCCUPANCY GROUP: U - UNMANNED  
 CONSTRUCTION TYPE: II-B  
 POWER COMPANY: PG&E  
 FLOOD ZONE: X  
 A.D.A. COMPLIANCE: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION



**CODE COMPLIANCE:**  
 ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF ALL GOVERNING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS ARE TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES:  
 CALIFORNIA BUILDING CODE (CBC) 2022  
 CALIFORNIA ELECTRICAL CODE 2022  
 CALIFORNIA MECHANICAL CODE 2022  
 CALIFORNIA FIRE CODE (CFC) 2022  
 INTERNATIONAL BUILDING CODE (IBC) 2021  
 NATIONAL ELECTRICAL CODE (NEC) 2020  
 NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 13, 30, 37, 58, 70, 72, 110, 111  
 AMERICAN CONCRETE INSTITUTE (ACI) 318  
 AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC)  
 TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222  
 TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 607

**DO NOT SCALE DRAWINGS:**  
 CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS, CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR THE SAME.

**CONTACT INFORMATION:**  
 APPLICANT: AT&T MOBILITY  
 1375 GAMING REAL STE 100  
 SAN BERNARDINO, CA 92408  
 PHONE: 951.534.8967  
 PROJECT MANAGER: GENERAL DYNAMICS WIRELESS SERVICES, LLC.  
 192-40 DES MOINES DR. S. BLDG C STE 300  
 SEA TAC, WA 98049  
 PHONE: 425.606.8785  
 CONTACT: CHRISTOPHER HERMAN  
 LEASING / PERMITTING: GALT WIRELESS  
 9133 DOG EAR CT.  
 ELK GROVE, CA 95624  
 PHONE: 206.715.0059  
 CONTACT: SARAH NEACE  
 ARCHITECTURE & ENGINEERING: GEOSTRUCTURAL, LLC.  
 PO BOX 2621  
 BOISE ID 83701  
 PHONE: 503.538.4787  
 CONTACT: DON GEORGE

**APPROVALS:**  
 AT&T MANAGER \_\_\_\_\_  
 CONSTRUCTION MANAGER \_\_\_\_\_  
 SITE ACQ. MANAGER \_\_\_\_\_  
 PROPERTY OWNER \_\_\_\_\_  
 LANDLORD \_\_\_\_\_

**SCOPE OF WORK:**  
 INSTALL (1) ARTICLE 702 OPTIONAL STANDBY DIESEL GENERATOR (GENERAC SD050) WITH UL-142 BASE FUEL TANK ON CONCRETE PAD WITHIN PROPOSED CHAIN-LINK FENCE COMPOUND w/ ACQUSTIFENCE WRAP AND 200A ATS / CAMLOCK (GENERAC 748209) WITHIN COMPOUND NEAR EXISTING AT&T EQUIPMENT SHELTER.  
 INTEGRATE NEW GENERATOR WITH EXISTING SERVICE.  
 NOTE: NO CHANGES OR ALTERATIONS TO THE TOWER, MOUNTS, ANTENNAS, FEEDLINES, ETC. IS PROPOSED AS A PART OF THIS SCOPE OF WORK.  
**DIG LINE:**  
 THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES, ABOVE GROUND STRUCTURES, AND/OR EXISTING UTILITIES BELIEVED TO BE IN THE WORKING AREA. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL UTILITIES, PRELINES AND OTHER STRUCTURES SHOWN OR NOT SHOWN ON THESE PLANS.  
 ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AND ENGINEER AT THE CONTRACTOR'S EXPENSE.

**SHEET INDEX:**

SHEET	DESCRIPTION
T-1	TITLE SHEET
N-1	GENERAL NOTES
A-1	OVERALL SITE PLAN
A-2	ENLARGED SITE PLAN
A-3	ELEVATION VIEWS
S-1	GENERATOR PAD DETAILS
S-2	GENERAL STRUCTURAL DETAILS
S-3	FENCE DETAIL
S-3.1	ACQUSTIFENCE CUTSHEETS
S-4	COMPOUND DETAIL
E-1	ELECTRICAL DETAILS
E-2	ELECTRICAL DETAILS
E-3	ELECTRICAL DETAILS
E-4.0 <--> E-4.4	GENERATOR SPECIFICATIONS
E-5.0	ATS SPECIFICATIONS
E-5.1	CAM-LOCK BOX SPECIFICATIONS

CITY USE

GENERAL DYNAMICS  
Information Technology

3332 ADELINE STREET  
BERKELEY, CA 94703

DATE: 04/04/25 11:01:00

SITE INFORMATION:  
**MARTIN LUTHER KING W**  
**10087892**  
**GENERATOR INSTALLATION PROJECT**  
 3332 ADELINE STREET  
 BERKELEY, CA 94703

REVISIONS		
REV.	DATE	DESCRIPTION
1	11/02/22	REVISED FOR ACCURATE REFERENCE
2	03/09/23	ISSUED FOR CONSTRUCTION

CHECKED BY: GGD

SHEET TITLE:  
**TITLE SHEET**

SHEET NUMBER:  
**T-1**



**NOTES TO SUBCONTRACTOR:**

1. THE GENERAL SUBCONTRACTOR MUST VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE WORK. ALL DISCREPANCIES SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ACCEPTED CONSTRUCTION PRACTICES.
2. IT IS THE INTENTION OF THESE DRAWINGS TO SHOW THE COMPLETED INSTALLATION. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, TIES, FORM WORK, ETC. IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL ORDINANCES, TO SAFELY EXECUTE ALL WORK AND SHALL BE RESPONSIBLE FOR SAME. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.
3. THE SUBCONTRACTOR SHALL USE ADEQUATE NUMBER OF SKILLED WORKMAN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHOD NEEDED FOR PROPER PERFORMANCE OF THE WORK.
4. SUBCONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION SUBCONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND SUBCONTRACTOR FURTHER AGREES TO INDEMNIFY AND HOLD DESIGN ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
5. SITE GROUNDING SHALL COMPLY WITH AT&T WIRELESS SERVICES TECHNICAL SPECIFICATIONS FOR FACILITY GROUNDING FOR CELL SITE STANDARDS, LATEST EDITION, AND COMPLY WITH AT&T TOWERS GROUNDING CHECKLIST, LATEST VERSION, WHEN NATIONAL AND LOCAL GROUNDING CODES ARE MORE STRINGENT THEY SHALL GOVERN.
6. ALL WORK SHALL COMPLY WITH OSHA AND STATE SAFETY REQUIREMENTS, PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE ESTABLISHED PRIOR TO FOUNDATION INSTALLATION.
7. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES OR ORDINANCES, THE MOST STRINGENT CODE WILL APPLY IN THE CASE OF DISCREPANCIES OR DIFFERENCES IN THE CODE REQUIREMENTS.
8. ANY DAMAGE TO THE ADJACENT PROPERTIES WILL BE CORRECTED AT THE SUBCONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE LANDOWNER AND THE CONSTRUCTION MANAGER.
9. THE COMPLETE BID PACKAGE INCLUDES THESE CONSTRUCTION DRAWINGS ALONG WITH THE SPECIFICATIONS. SUBCONTRACTOR IS RESPONSIBLE FOR REVIEW OF TOTAL BID PACKAGE PRIOR TO BID SUBMITTAL.
10. SUBCONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES WITHIN CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION.
11. THE SUBCONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES. SILT AND EROSION CONTROL SHALL BE MAINTAINED ON THE DOWNSTREAM SIDE OF THE SITE AT ALL TIMES. ANY DAMAGE TO ADJACENT PROPERTIES WILL BE CORRECTED AT THE SUBCONTRACTOR'S EXPENSE.
12. CLEARING OF TREES AND VEGETATION ON THE SITE SHOULD BE HELD TO A MINIMUM, ONLY THE TREES NECESSARY FOR CONSTRUCTION OF THE FACILITIES SHALL BE REMOVED. ANY DAMAGE TO THE PROPERTY OUTSIDE THE LEASED PROPERTY SHALL BE REPAIRED BY THE SUBCONTRACTOR.
13. ALL SUITABLE BORROW MATERIAL FOR BACK FILL OF THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES PRIOR TO DISPOSAL.
14. PERMITS: THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND INCURRING THE COST OF ALL REQUIRED PERMITS, INSPECTIONS, CERTIFICATES, ETC.
15. RECORD DRAWINGS: MAINTAIN A RECORD OF ALL CHANGES, SUBSTITUTIONS BETWEEN WORK AS SPECIFIED AND INSTALLED. RECORD CHANGES ON A CLEAN SET OF CONTRACT DRAWINGS WHICH SHALL BE TURNED OVER TO THE CONSTRUCTION MANAGER UPON COMPLETION OF THE PROJECT.
16. THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES, ABOVE GROUND STRUCTURES AND/OR EXISTING UTILITIES BELIEVED TO BE IN THE WORKING AREA. IT IS THE RESPONSIBILITY OF THE SUBCONTRACTOR TO VERIFY ALL UTILITIES, PIPELINES AND OTHER STRUCTURES SHOWN OR NOT SHOWN ON THESE PLANS. THE SUBCONTRACTOR SHALL CONTACT THE LOCAL LOCATE SERVICE BEFORE DIGGING OR DRILLING. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AND ENGINEER AT THE SUBCONTRACTOR'S EXPENSE.

**REQUIRED SPECIAL INSPECTIONS:**

1. PER CBC 1705.4 SPECIAL INSPECTION OF MASONRY. (IF REQUIRED)

**GENERAL PROJECT NOTES:**

1. THIS PROPOSAL IS FOR THE ADDITION OF A NEW GENERATOR ON A NEW CONCRETE PAD TO AN EXISTING UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF AN EQUIPMENT SHELTER/PLATFORM AND TOWER.
2. THE PROPOSED FACILITY WILL BE UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SEWER SERVICE.
3. THE PROPOSED FACILITY IS UNMANNED AND IS NOT FOR HUMAN HABITAT. (NO HANDICAP ACCESS IS REQUIRED)
4. OCCUPANCY IS LIMITED TO PERIODIC MAINTENANCE AND INSPECTION, APPROXIMATELY 2 TIMES PER MONTH BY AT&T TECHNICIANS.
5. OUTDOOR STORAGE AND SOLID WASTE CONTAINERS ARE NOT PROPOSED.
6. ALL MATERIAL SHALL BE FURNISHED AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
7. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY THE CONSTRUCTION OPERATION.
8. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTION REQUIRED FOR CONSTRUCTION.
9. SUBCONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.

**ELECTRICAL NOTES:**

**A. GENERAL**

1. COORDINATE LOCATION AND POWER REQUIREMENTS OF ALL EQUIPMENT WITH AT&T AND EQUIPMENT SUPPLIER PRIOR TO INSTALLATION.
2. COORDINATE LOCATION AND REQUIREMENTS FOR ELECTRICAL AND TELEPHONE SERVICES WITH THE PROPERTY REPRESENTATIVE, AT&T AND UTILITY COMPANIES. ROUTING OF CONDUITS MAY BE MODIFIED TO MEET SITE REQUIREMENTS. EXACT CONDUIT ROUTING TO BE DETERMINED IN THE FIELD.
3. ALL WIRING AND EQUIPMENT SHOWN ON ELECTRICAL SHEETS SHALL BE FURNISHED AND INSTALLED UNDER ELECTRICAL PORTION OF CONTRACT UNLESS OTHERWISE NOTED
4. UNINTERRUPTED ELECTRICAL SERVICE FOR EXISTING EQUIPMENT SHALL BE MAINTAINED DURING THE INSTALLATION OF THE WORK DESCRIBED UNDER THESE DOCUMENTS. TEMPORARY EQUIPMENT, CABLES AND WHATEVER ELSE IS NECESSARY SHALL BE PROVIDED AS REQUIRED TO MAINTAIN ELECTRICAL SERVICE. TEMPORARY SERVICE FACILITIES, IF REQUIRED AT ANY TIME, SHALL NOT BE DISCONNECTED OR REMOVED UNTIL NEW SERVICE EQUIPMENT IS IN PROPER OPERATION. IF ANY SERVICE OR SYSTEM MUST BE INTERRUPTED, THE CONTRACTOR SHALL REQUEST PERMISSION IN WRITING STATING THE DATE, TIME, ETC. THE SERVICE WILL BE INTERRUPTED AND THE AREAS AFFECTED. THIS REQUEST SHALL BE MADE IN SUFFICIENT TIME FOR PROPER ARRANGEMENTS TO BE MADE. WRITTEN PERMISSION SHALL BE OBTAINED FROM THE OWNER BEFORE INTERRUPTING ELECTRICAL SERVICE.
5. COORDINATE NEW WORK WITH OTHER TRADES AND VERIFY EXISTING CONDITIONS TO AVOID INTERFERENCE. IN CASE OF INTERFERENCE, AT&T REPRESENTATIVE WILL DECIDE WHICH WORK IS TO BE RELOCATED, REGARDLESS OF WHICH WAS FIRST INSTALLED.
6. THE INSTALLATION MUST COMPLY WITH NEC AND ALL FEDERAL, STATE AND LOCAL RULES AND REGULATIONS.
7. THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND EQUIPMENT UNLESS OTHERWISE DEFINED BY DIMENSIONS OR DETAILS. EXACT EQUIPMENT LOCATIONS AND RACEWAY ROUTING SHALL BE GOVERNED BY ACTUAL FIELD CONDITIONS AND/OR DIRECTIONS FROM AT&T'S REPRESENTATIVE.
8. CONTRACTOR SHALL PAY ALL PERMITS AND FEES REQUIRED.
9. ALL MATERIALS SHALL BE FURNISHED AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE STANDARDS REFERENCED BELOW:
  - a. ANSI (AMERICAN NATIONAL STANDARDS INSTITUTE)
  - b. ASTM (AMERICAN SOCIETY FOR TESTING MATERIALS)
  - c. ETL (ELECTRICAL TESTING LABORATORY)
  - d. ICEA (INSULATED CABLE ENGINEERS ASSOCIATION)
  - e. IEEE (INSTITUTE OF ELECTRICAL AND ELECTRONIC ENGINEERS)
  - f. NFPA (NATIONAL BOARD OF FIRE UNDERWRITERS)
  - g. NEC (NATIONAL ELECTRICAL SAFETY CODE)
  - h. NEMA (NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION)
  - i. NFPA (NATIONAL FIRE PROTECTION ASSOCIATION)
  - j. UL (UNDERWRITERS LABORATORY)
  - k. NEC (NATIONAL ELECTRICAL CODE)
  - l. CEC (CALIFORNIA ELECTRICAL CODE)
10. CONTRACTOR SHALL REVIEW PLANS, DETAILS AND SPECIFICATIONS IN DETAIL AND ADJUST WORK TO CONFORM WITH ACTUAL SITE CONDITIONS SO THAT ELECTRICAL DEVICES AND EQUIPMENT WILL BE LOCATED AND READILY ACCESSIBLE. QUANTITIES LISTED IN MATERIAL LISTS ON THE DRAWINGS ARE FOR INFORMATION ONLY. THE CONTRACTOR SHALL PROVIDE HIS OWN TAKEOFF FOR MATERIAL QUANTITY AND TYPES BASED ON ACTUAL SITE CONDITIONS. IN ADDITION, CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIALS TO INSTALL EQUIPMENT FURNISHED BY AT&T OR ITS SUPPLIERS. ALL ITEMS NOT SPECIFICALLY MENTIONED HEREIN OR SHOWN ON THE DRAWINGS, BUT WHICH ARE OBVIOUSLY NECESSARY TO MAKE A COMPLETE WORKING INSTALLATION, SHALL BE INCLUDED.
11. THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) AT&T'S REPRESENTATIVE OF ANY CONFLICTS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.

**ELECTRICAL NOTES:**

12. ALL FLOORS WHERE PENETRATIONS ARE REQUIRED IN BUILDING ARE TO BE CORE DRILLED AND THEN FIREPROOFED.

**B. WIRING/CONDUIT**

1. PROVIDE PULL BOXES AND JUNCTION BOXES WHERE SHOWN OR AS REQUIRED BY CODE SUCH THAT NO MORE THAN THE EQUIVALENT OF FOUR QUARTER BENDS (90 DEGREES TOTAL) EXIST IN A CONDUIT RUN.
2. ALL POWER AND CONTROL/INDICATION WIRING SHALL BE TYPE THHN/THWN 600V RATED 75 DEGREES CELSIUS, UNLESS NOTED OTHERWISE.
3. CONDUIT BENDS SHALL BE MADE IN ACCORDANCE WITH NEC TABLE 346-10. NO RIGHT ANGLE DEVICE OTHER THAN STANDARD CONDUIT ELBOWS WITH 12" MINIMUM INSIDE SWEEPS FOR ALL CONDUITS 2" OR LARGER.
4. POWER WIRING SIZE SHALL NOT BE SMALLER THAN #12 AWG.
5. ALL WIRING SHALL BE COPPER. ALUMINUM WILL NOT BE ACCEPTABLE ALL POWER CIRCUITS SHALL CONTAIN A GROUND WIRE.
6. PHASE MARKINGS TO BE USED AT POWER CONDUCTOR TERMINATIONS.
7. CONTRACTOR SHALL ENSURE INTEGRITY IS MAINTAINED WHEN INSTALLING CONDUIT AND WIRING.
8. INSTALL PULL STRING IN ALL CONDUIT.
9. FOR ROOFTOP INSTALLS AND BUILD-OUTS, CONDUITS INSIDE BUILDING AND ON ROOF SHALL BE RGS, UNLESS OTHERWISE NOTED. FOR RAW LAND SITES AND CO-LIGATES, PVC SCHEDULE 80 SHALL BE UTILIZED UNLESS NOTED OTHERWISE.
10. MAINTAIN MINIMUM 1'-0" VERTICAL AND 1'-0" HORIZONTAL SEPARATIONS FROM ANY MECHANICAL GAS PIPING.
11. ALL WIRING ROUNDED IN PLENUM TO BE RATED OR IN METALLIC FLEX (LIQUIDTITE) CONDUIT.

**C. EQUIPMENT**

1. EQUIPMENT/PARTS CONNECTED TO EXISTING PANELS, DUCTS, ETC. SHALL MATCH THE CHARACTERISTICS (A.C. V. A) OF THAT EQUIPMENT.
2. ALL ELECTRICAL EQUIPMENT OUTSIDE SHALL BE NEMA 3R RATED.

**D. GROUNDING**

1. ALL GROUND CONNECTIONS TO BUILDING SHALL BE MADE USING TWO-HOLE CONNECTORS. PROVIDE STAINLESS STEEL BOLTS AND LOCK WASHERS ON ALL MECHANICAL GROUND CONNECTIONS.
2. ALL EQUIPMENT SURFACES TO BE BONDED TO GROUNDING SYSTEM SHALL BE STRIPPED OF ALL PAINT AND DIRT AT ANY POINT OF CONNECTION. CONNECTIONS TO VARIOUS METALS SHALL BE OF A TYPE AS TO PREVENT A GALVANIC OR CORROSION REACTION. AREA SHALL BE REPAINTED FOLLOWING BONDING.
3. ANY METALLIC ITEM WITHIN 6" OF ANY EQUIPMENT OR METALLIC INFRASTRUCTURE (RACKS, CABLE TRAY, ETC.) OR GROUND CONDUCTORS MUST BE CONNECTED TO THE GROUNDING SYSTEM PER AT&T STANDARDS.
4. EXTERIOR, ABOVE GRADE GROUND CONNECTIONS SHALL BE FURNISHED WITH A LIBERAL PROTECTIVE COATING OF ANTI-OXIDATION COMPOUND.
5. ALL MATERIALS AND LABOR REQUIRED FOR THE GROUNDING SYSTEM AS INDICATED ON THE PLANS AND DETAILS, AND AS DESCRIBED HEREIN SHALL BE FURNISHED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
6. EXACT LOCATION OF GROUND CONNECTION POINTS SHALL BE DETERMINED IN FIELD. ADJUST LOCATIONS INDICATED ON PLANS ACCORDING TO ACTUAL EQUIPMENT LOCATIONS TO KEEP THE GROUND CONNECTION CABLES AS SHORT AND STRAIGHT AS PRACTICAL.
7. PROVIDE ALL ELECTRICAL SYSTEM AND EQUIPMENT GROUNDS AS REQUIRED BY THE CURRENT EDITION OF THE NATIONAL ELECTRIC CODE, THE CURRENT EDITION OF THE NATIONAL ELECTRICAL SAFETY CODE AND AT&T STANDARDS. BONDING JUMPERS WITH APPROVED GROUND FITTINGS SHALL BE INSTALLED AT ALL RACEWAYS, EQUIPMENT ENCLOSURES, PULL BOXES, ETC. TO MAINTAIN GROUND CONTINUITY WHERE REQUIRED BY CODE.
8. ALL BURIED EQUIPMENT GROUND CONDUCTORS SHALL BE #2 AWG BARE, TINNED, SOLID COPPER UNLESS NOTED OTHERWISE ON THE DRAWINGS.

**E. INSPECTION/DOCUMENTATION**

1. THE CONTRACTOR, UPON COMPLETION OF HIS WORK, SHALL PROVIDE AS-BUILT DRAWINGS. INFORMATION SHOULD BE GIVEN TO THE GENERAL CONTRACTOR FOR INCLUSION IN FINAL AS-BUILT SURVEY DOCUMENTS TO BE GIVEN TO THE OWNER.
2. CONTRACTOR SHALL SUPPLY DOCUMENTATION ATTESTING TO THE COMPLETE GROUND SYSTEMS RESISTANCE TO GROUND (MAX. 5 OHMS).
3. AN ELECTRICAL INSPECTION SHALL BE MADE BY AN INSPECTING AGENCY APPROVED BY AT&T'S REPRESENTATIVE. CONTRACTOR SHALL COORDINATE ALL INSPECTIONS AND OBTAIN POWER COMPANY APPROVAL.
4. CONTRACTOR SHALL HAVE ATS AND GENERATOR RELAY INSTALLATION AND CONNECTIONS INSPECTED BY OTHERS TO ENSURE THAT UL LISTING FOR THAT EQUIPMENT IS NOT VIOLDED.

CITY USE



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DATE: 2/10/2025 11:20:25

SITE INFORMATION:  
**MARTIN LUTHER KING W**  
10087892  
**GENERATOR INSTALLATION PROJECT**  
3332 ADELINE STREET  
BERKELEY, CA 94703

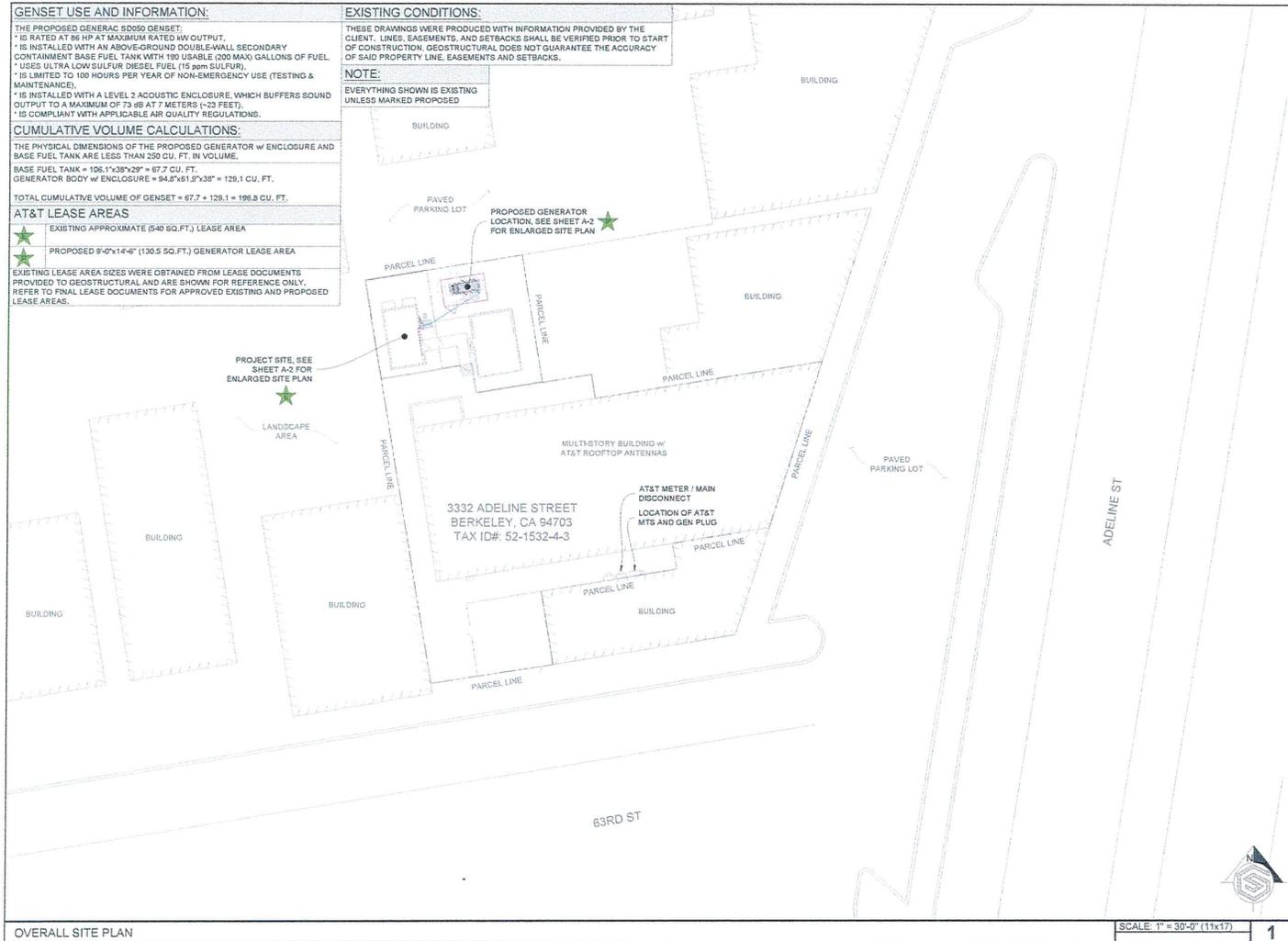
REVISIONS		
REV.	DATE	DESCRIPTION
1	1/10/2025	REVISED FOR ACCURACY AND
2	1/10/2025	ISSUED FOR CONSTRUCTION

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CHECKED BY: GGD

SHEET TITLE:  
**GENERAL NOTES**

SHEET NUMBER:  
**N-1**



**GENSET USE AND INFORMATION:**

THE PROPOSED GENERAC SD050 GENSET:  
 \* IS RATED AT 86 HP AT MAXIMUM RATED KW OUTPUT.  
 \* IS INSTALLED WITH AN ABOVE-GROUND DOUBLE-WALL SECONDARY CONTAINMENT BASE FUEL TANK WITH 190 USABLE (200 MAX) GALLONS OF FUEL.  
 \* USES ULTRA LOW SULFUR DIESEL FUEL (15 ppm SULFUR).  
 \* IS LIMITED TO 100 HOURS PER YEAR OF NON-EMERGENCY USE (TESTING & MAINTENANCE).  
 \* IS INSTALLED WITH A LEVEL 2 ACOUSTIC ENCLOSURE, WHICH BUFFERS SOUND OUTPUT TO A MAXIMUM OF 73 DB AT 7 METERS (~23 FEET).  
 \* IS COMPLIANT WITH APPLICABLE AIR QUALITY REGULATIONS.

**CUMULATIVE VOLUME CALCULATIONS:**

THE PHYSICAL DIMENSIONS OF THE PROPOSED GENERATOR W/ ENCLOSURE AND BASE FUEL TANK ARE LESS THAN 250 CU. FT. IN VOLUME.  
 BASE FUEL TANK = 106.1'x38'x29" = 67.7 CU. FT.  
 GENERATOR BODY W/ ENCLOSURE = 94.8'x13'x33" = 129.1 CU. FT.  
 TOTAL CUMULATIVE VOLUME OF GENSET = 67.7 + 129.1 = 196.8 CU. FT.

**AT&T LEASE AREAS**

- ★ EXISTING APPROXIMATE (540 SQ.FT.) LEASE AREA
- ★ PROPOSED 9'-0"x14'-6" (130.5 SQ.FT.) GENERATOR LEASE AREA

EXISTING LEASE AREA SIZES WERE OBTAINED FROM LEASE DOCUMENTS PROVIDED TO GEOSTRUCTURAL AND ARE SHOWN FOR REFERENCE ONLY. REFER TO FINAL LEASE DOCUMENTS FOR APPROVED EXISTING AND PROPOSED LEASE AREAS.

**EXISTING CONDITIONS:**

THESE DRAWINGS WERE PRODUCED WITH INFORMATION PROVIDED BY THE CLIENT. LINES, EASEMENTS, AND SETBACKS SHALL BE VERIFIED PRIOR TO START OF CONSTRUCTION. GEOSTRUCTURAL DOES NOT GUARANTEE THE ACCURACY OF SAID PROPERTY LINE, EASEMENTS AND SETBACKS.

**NOTE:**

EVERYTHING SHOWN IS EXISTING UNLESS MARKED PROPOSED

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DATE: 2/19/25 11:21:23

SITE INFORMATION:  
 MARTIN LUTHER KING W  
 10087892  
 GENERATOR INSTALLATION  
 PROJECT  
 3332 ADELINE STREET  
 BERKELEY, CA 94703

REV.	DATE	DESCRIPTION	INT.
1	1/12/2025	REVISED FOR ACQUITTANCE	JAD
2	2/19/2025	ISSUED FOR CONSTRUCTION	JCM

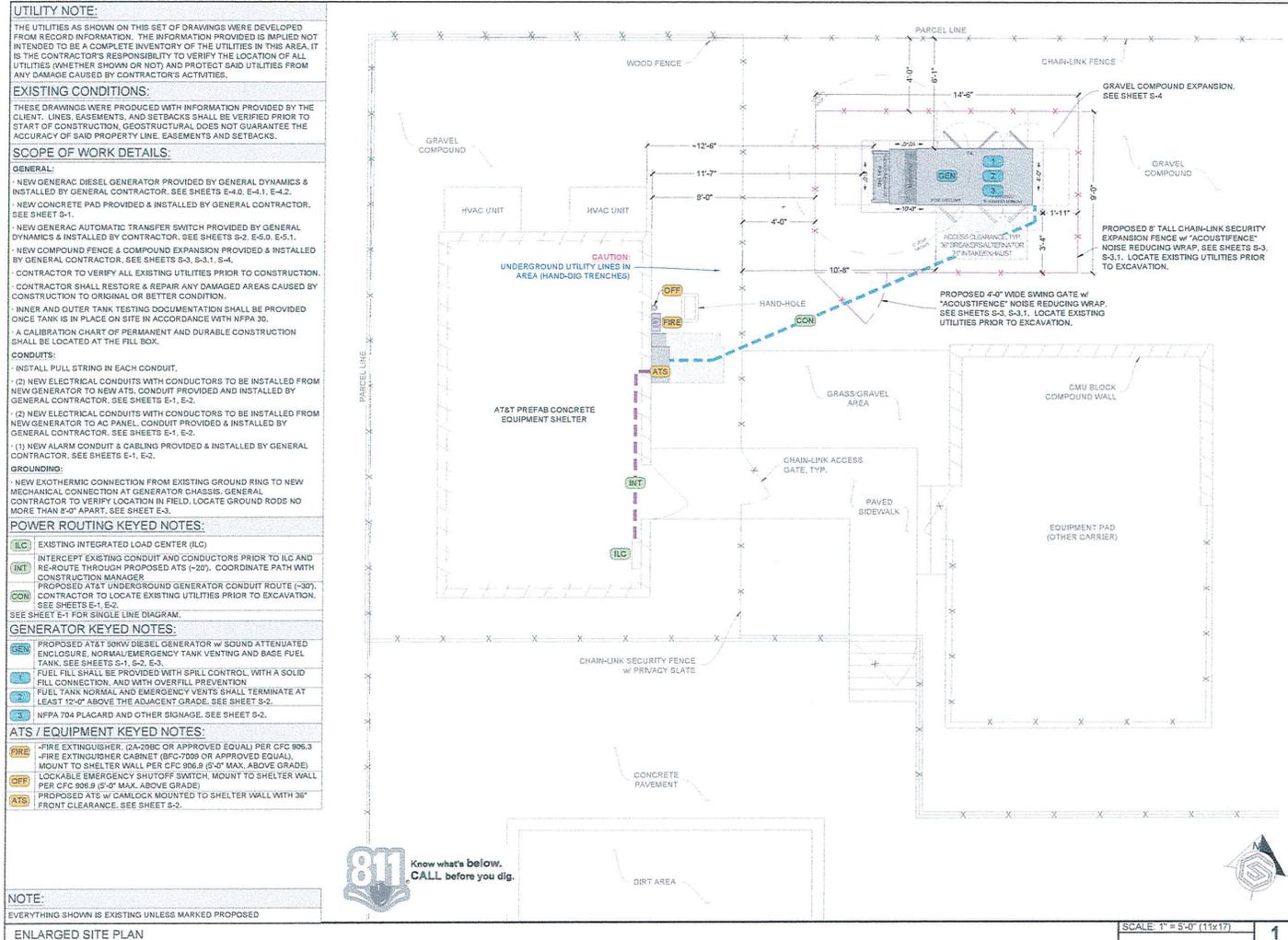
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SHEET TITLE:  
**OVERALL  
 SITE PLAN**

SHEET NUMBER:  
**A-1**

SCALE: 1" = 30'-0" (11x17) **1**



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DATE: 01/08/25 11:00:00

**SITE INFORMATION:**  
MARTIN LUTHER KING W  
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3332 ADELINE STREET  
BERKELEY, CA 94703

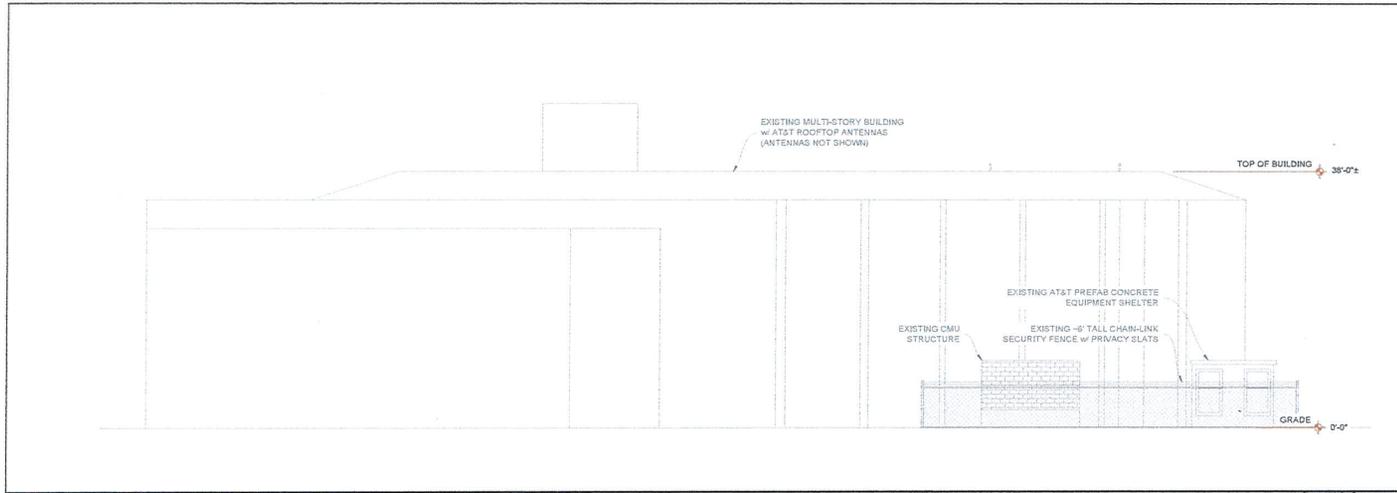
REV.	DATE	DESCRIPTION	INT.
1	11/02/25	REVISED FOR ACCURACY	JCM
2	03/09/25	ISSUED FOR CONSTRUCTION	JCM

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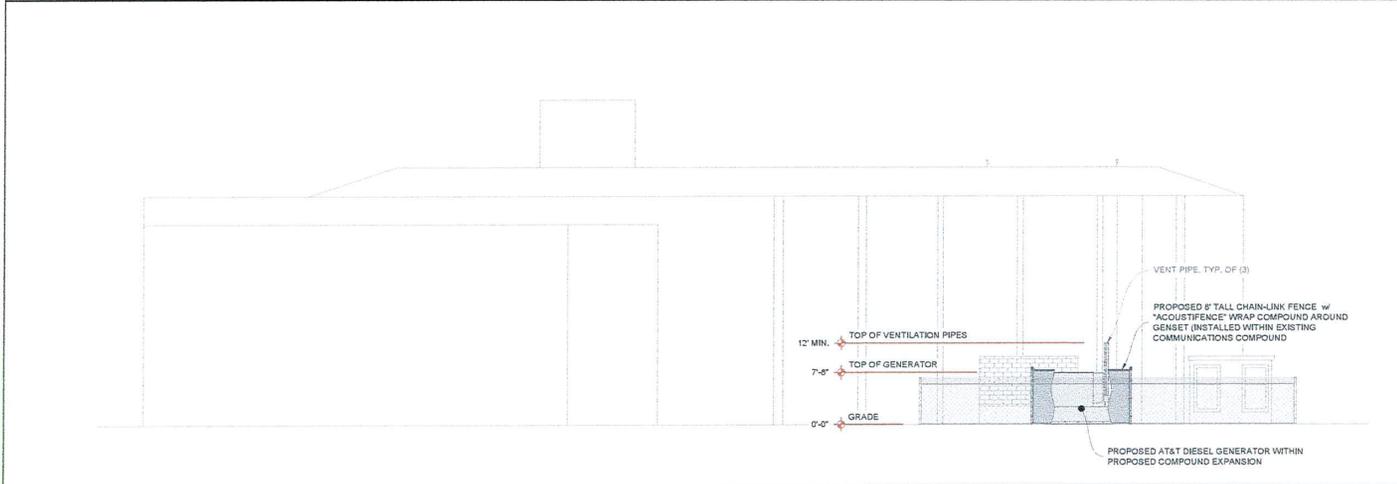
**SHEET TITLE:**  
ENLARGED SITE PLAN

**SHEET NUMBER:**  
A-2



EXISTING ELEVATION VIEW

SCALE 1  
 N.T.S.



PROPOSED ELEVATION VIEW

SCALE 2  
 N.T.S.

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DATE SUBMITTED: 11/20/20

SITE INFORMATION:  
 MARTIN LUTHER KING W  
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 PROJECT  
 3332 ADELINE STREET  
 BERKELEY, CA 94703

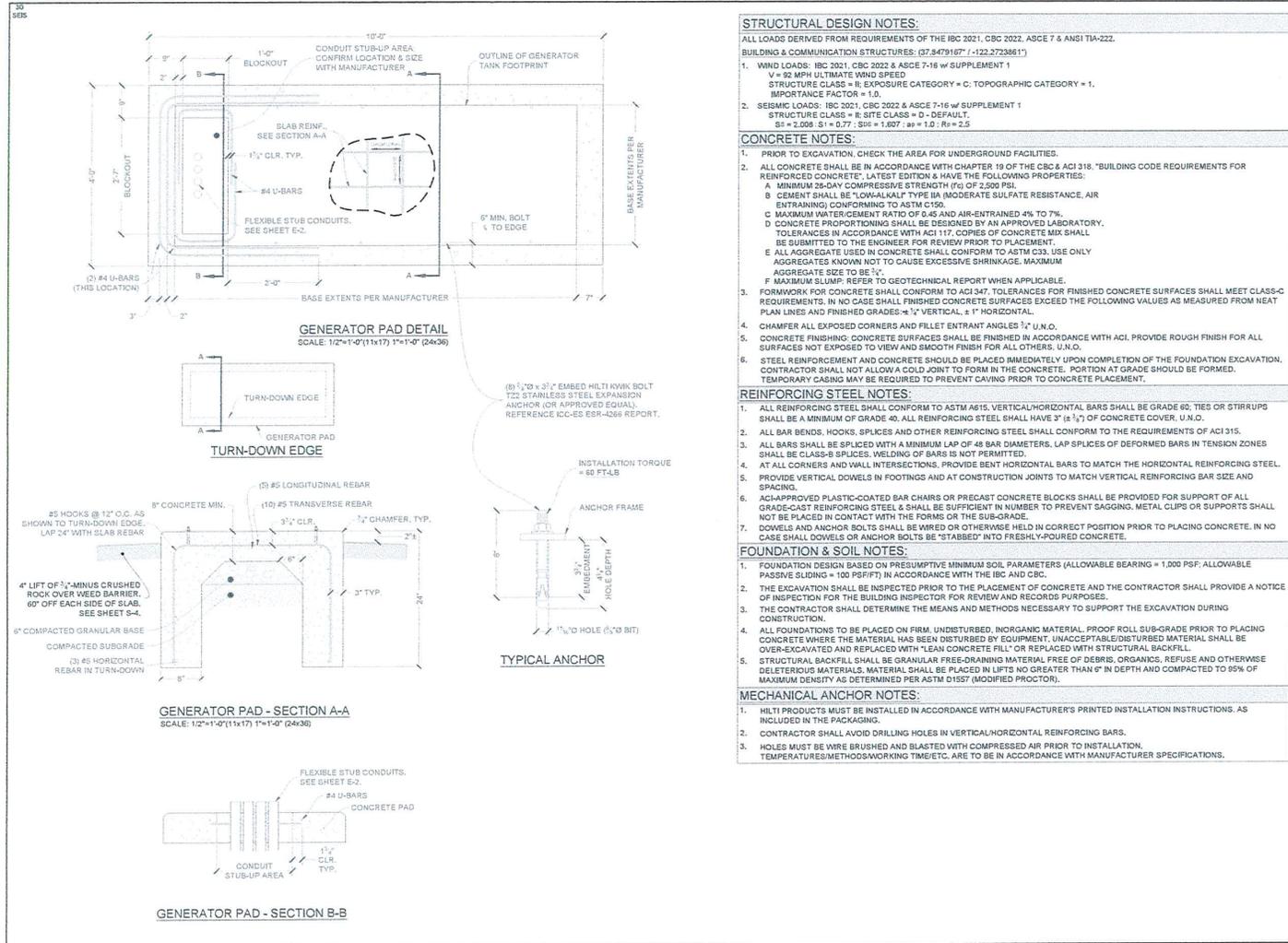
REV.	DATE	DESCRIPTION	INT.
1	11/20/20	REVISED FOR ACOUSTIFENCE	JGD
2	03/19/2021	ISSUED FOR CONSTRUCTION	JGD

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SHEET TITLE:  
**ELEVATION  
 VIEWS**

SHEET NUMBER:  
**A-3**



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DATE SIGNED: 11/20/23

SITE INFORMATION:  
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BERKELEY, CA 94703

REVISIONS		
REV	DATE	DESCRIPTION
1	11/20/23	REVISED FOR ACCURACY
0	10/09/23	ISSUED FOR CONSTRUCTION

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CHECKED BY: GGD

SHEET TITLE:  
**GENERATOR PAD  
DETAILS**

SHEET NUMBER:  
**S-1**



PLACE ON (1) VISIBLE SIDES OF PROPOSED GENERATOR TANK

15" x 12" SIGN



PLACE ON (2) VISIBLE SIDES OF PROPOSED GENERATOR TANK

15" x 15" SIGN

FOR FUEL & OTHER ENVIRONMENTAL EMERGENCIES CALL EH&S 1-800-566-9347 (1-800-KNOW-EHS)

PLACE ON (2) VISIBLE SIDES OF PROPOSED GENERATOR TANK 11" x 11" SIGN



PLACE ON (2) VISIBLE SIDES OF PROPOSED GENERATOR TANK 6.5" x 3" SIGN

CONTRACTOR TO PROVIDE REQUIRED SIGNAGE FOR ELECTRICAL PANELS, DISCONNECTS, TRANSFER SWITCHES, ETC. PER CALIFORNIA ELECTRICAL CODE ARTICLE 705.7

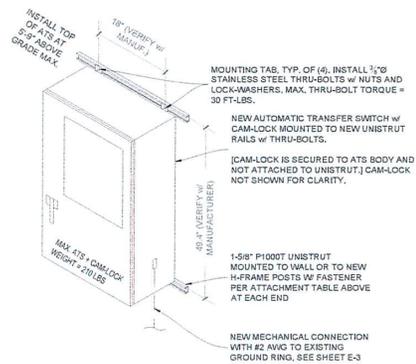
REQUIRED LABELING & SIGNAGE

**ATS LOCATION NOTE:**  
 ATS LOCATION SHOWN IN PLANS IS THE BEST AVAILABLE BASED ON THE INFORMATION PROVIDED. ALTERNATIVE LOCATION MAY BE REQUIRED AND SHALL BE APPROVED BY CONSTRUCTION MANAGER AND/OR LANDLORD. THIS DETAIL PROVIDES ALTERNATIVE METHODS OF INSTALLATION (NOT ALL DETAILS MAY BE USED).

UNISTRUT WALL ATTACHMENT:

WALL CONSTRUCTION TYPE	FASTENER
HOLLOW, AT STUD	3/8" DIA. x 2-1/2" EMBED SAE J422 GR.1 LAG SCREW
CONCRETE BLOCK (HOLLOW)	3/8" DIA. HLT1 HY-270 (ESR-4143) W/ SCREEN, MINIMUM EMBEDMENT 2-3/8"
CONCRETE (SOLID)	3/8" DIA. HLT1 HY-200 (ESR-1187), MINIMUM EMBEDMENT 2-3/8"

NOTES:  
 1. USE GALVANIZED OR STAINLESS STEEL HARDWARE FOR WALL MOUNT AND CONNECTION OF CHANNELS  
 2. GC SHALL USE NON-SHRINKING CAULK TO WEATHER SEAL ALL PENETRATIONS INTO OR THROUGH WALL



ATS MOUNTING DETAIL

DIESEL TANK CHECKLIST:

- READILY ACCESSIBLE MANUAL SHUTOFF VALVES SHALL BE INSTALLED ON SUPPLY PIPING AT THE POINT OF USE AND THE TANK (CFC 5003.2.2.1)  
 SECONDARY CONTAINMENT-TYPE TANKS SHALL BE UL LISTED, UL-142, AND COMPLY WITH ALL OF THE FOLLOWING REQUIREMENTS: OTHERWISE TRADITIONAL SPILL CONTROL OR SECONDARY CONTAINMENT MEASURES, SUCH AS DRAIN, SHALL BE UTILIZED (NFPA 30 22.11.4)  
 + CAPACITY OF DIESEL TANK SHALL NOT EXCEED 50,000 GAL  
 + PIPING CONNECTIONS SHALL BE ABOVE THE LIQUID LEVEL  
 + MEANS SHALL BE PROVIDED TO PROTECT RELEASE OF LIQUID BY SIPHON FLOW.  
 + MEANS TO DETERMINE LIQUID LEVEL IN TANK SHALL BE PROVIDED TO DRIVER  
 + MEANS TO PREVENT OVERFILLING BY AN ALARM AT 80% CAPACITY AND AUTOMATICALLY STOPPING DELIVERY OF LIQUID TO THE TANK AT 90% CAPACITY  
 + SPACING BETWEEN ADJACENT TANKS SHALL NOT BE LESS THAN 3'.  
 + TANK SHALL BE PROTECTED AGAINST DAMAGE FROM VEHICLES.  
 + INTERSTITIAL SPACE SHALL HAVE EMERGENCY VENTING.  
 + INTEGRITY OF SECONDARY CONTAINMENT SHALL BE ESTABLISHED.  
 + THE SECONDARY CONTAINMENT SHALL WITHSTAND THE HYDROSTATIC HEAD OF THE MAXIMUM AMOUNT OF LIQUID STORED IN THE PRIMARY TANK.

TANK LABELING AND PROTECTIONS:

- THE FOLLOWING SIGNS AND LABELS SHALL BE AFFIXED TO THE TANK.  
 + DIESEL FUEL - NO SMOKING (CFC 5703.5 & CFC 5003.7.1)  
 + NFPA 704 PLACARD (CFC 5003.5)  
 + EHSS  
 + AT&T MOBILITY SIGN #3  
 CRASH PROTECTION COMPLYING WITH IFC 312 SHALL BE PROVIDED (CFC 5003.3.3) (IF APPLICABLE)

GENERATOR FEATURES:

GENERATORS SHALL BE UL 2200 LISTED AND COMPLY WITH NFPA 37 AND NFPA 110. (CFC 1203.1.1)  
 INSTALLATIONS SHALL HAVE A LABELED REMOTE MANUAL STOP (NFPA 110 5.6.5.6 & 5.6.5.6.1 AND NFPA 37 9.2.1.1)

DOUBLE WALL FUEL TANK BASE SPECIFICATION:

- REF: AT&T 50KW GENERATOR PACKAGE  
 UL REGISTRATION NUMBER: MH 18459  
 UL 142 DOUBLE WALL FUEL TANK BASE SPECIFICATION  
 FUEL TANK BASE CONSTRUCTION  
 + BE CONSTRUCTED IN ACCORDANCE WITH UNDERWRITERS LABORATORIES STANDARD UL-142, BE CONSTRUCTED IN ACCORDANCE WITH FLAMMABLE COMBUSTIBLE LIQUIDS CODE, NFPA 30, THE STANDARD FOR INSTALLATION USE OF STATIONARY COMBUSTIBLE ENGINE GAS TUBES, NFPA 37, AND THE STANDARD FOR EMERGENCY STANDBY POWER SYSTEMS, NFPA 110.  
 + MINIMUM ANCHOR QUANTITY PER MANUFACTURER OR THIS PLAN SET, WHICHEVER IS LARGER.  
 SUB BASE TANK TESTING:  
 + PRIMARY TANK & SECONDARY CONTAINMENT BASIN SECTIONS SHALL BE PRESSURIZED AT 3-5 PSI AND LEAK-CHECKED TO ENSURE INTEGRITY OF SUB BASE WELDED SEAMS PER UL-142 STANDARDS  
 FUEL FILL 3.5-GALLON SPILL CONTAINMENT WITH ALARM  
 + 40% REMAINING FOR ALARM  
 + 20% REMAINING FOR SHUT-DOWN  
 FACTORY PRE-SET AT 80% FULL FOR ALARM  
 FUEL CONTAINMENT BASIN:  
 + SUB BASE TANK SHALL INCLUDE A WELDED STEEL CONTAINMENT BASIN, SIZED AT A MINIMUM OF 110% OF THE TANK, CAPACITY TO PREVENT ESCAPE OF FUEL INTO THE ENVIRONMENT IN THE EVENT OF A TANK RUPTURE. A FUEL CONTAINMENT BASIN LEAK DETECTOR SWITCH SHALL BE PROVIDED.

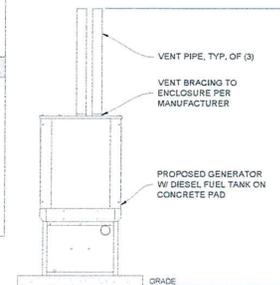
NEPA NOTES:

- CONSTRUCTION, INSTALLATION, MAINTENANCE, & OPERATIONAL TESTING OF EPSS SHALL COMPLY WITH THE LATEST ADOPTED EDITION OF NFPA 110.
- ALL ELECTRICAL WORK SHALL COMPLY WITH LATEST ADOPTED EDITION OF NFPA 70 - NATIONAL ELECTRICAL CODE.

FUEL TANK NOTES:

- THE TANK SHALL BE MANUFACTURED WITH THE FOLLOWING:  
 -INTERSTITIAL ELECTRONICALLY MONITORED RUPTURE BASIN  
 -ALARM TO MONITOR THE SPACE BETWEEN THE PRIMARY AND SECONDARY TANK.  
 -OVERFILL ALERT TO VISUALLY WARN WHEN THE TANK IS FILLED UPON CAPACITY.  
 -OVERSPILL CONTAINMENT AT FILL PORT TO PREVENT SPILL OF FUEL DURING FILLING OPERATIONS.  
 -2.55 GALLON OVERSPILL CONTAINMENT W/ LOCKABLE CAP.

\*SEE SHEETS E-4.3, E-4.4 FOR VENT PIPES, FUEL FILL, SPILL & ALARM COMPONENTS



GENERATOR VENTING DETAIL

CITY USE

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 MARTIN LUTHER KING W  
 10087892  
 GENERATOR INSTALLATION PROJECT  
 3332 ADELINE STREET  
 BERKELEY, CA 94703

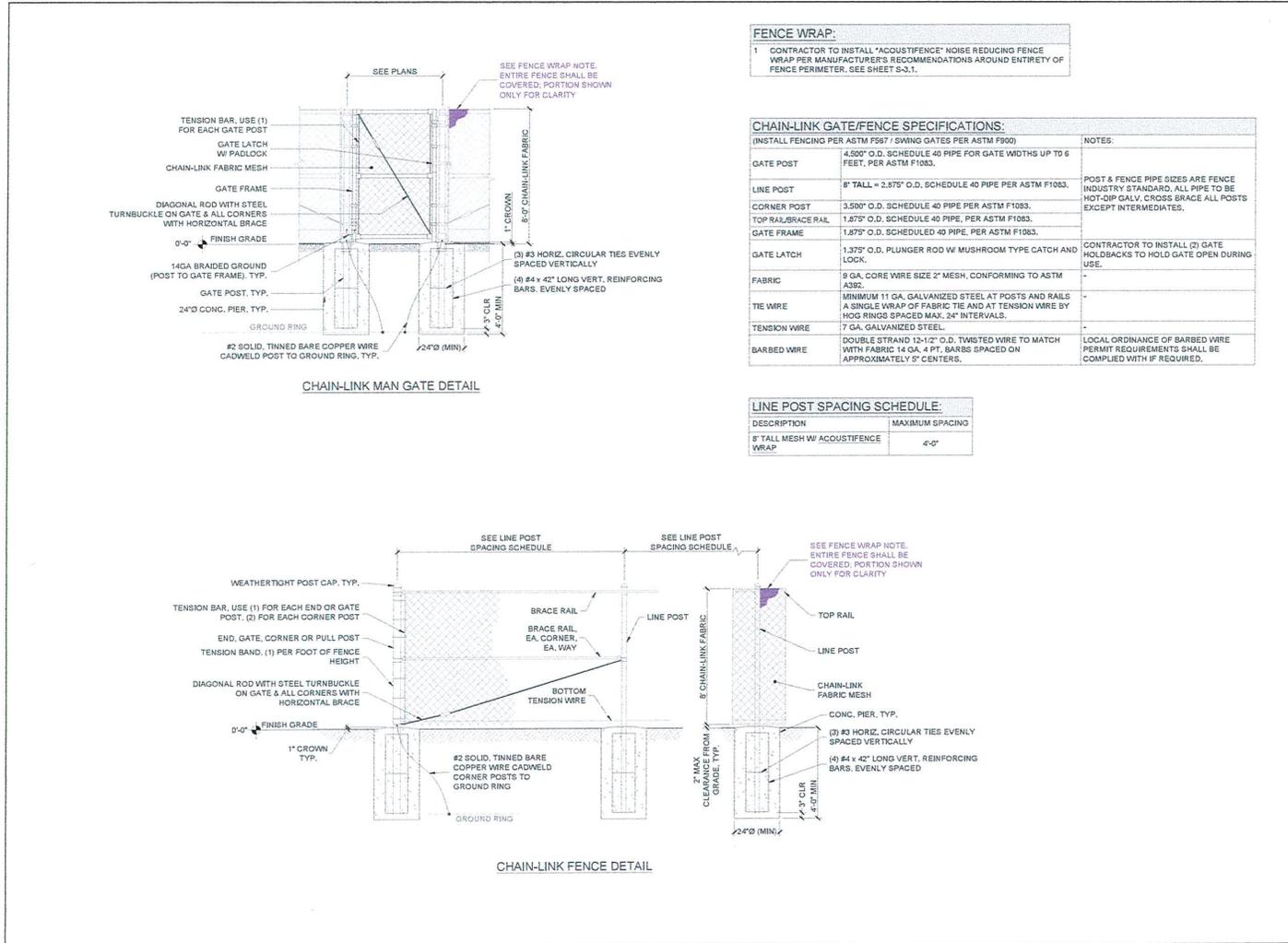
REVISIONS			
REV.	DATE	DESCRIPTION	INT
1	11/20/21	REVISED FOR ADJUTANCE	JAD
6	06/09/23	ISSUED FOR CONSTRUCTION	JCM

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SHEET TITLE:  
 GENERAL STRUCTURAL DETAILS

SHEET NUMBER:  
 S-2



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**REVISIONS**

REV.	DATE	DESCRIPTION	INT.
1	11/20/23	REMOVED FOR ACOUSTIFENCE	JAD
6	03/19/23	ISSUED FOR CONSTRUCTION	JOM

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SHEET TITLE:  
**FENCE DETAIL**

SHEET NUMBER:  
**S-3**



**Product Name**  
AcoustiFence® Noise Reducing Fences

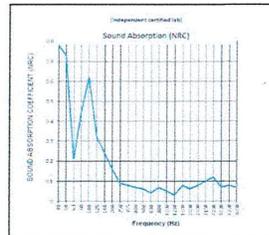
**For Manufacturer Info:**  
**Contact:**  
Acoustiblok, Inc.  
6900 Interbay Boulevard  
Tampa, FL 33616  
Call - (813) 980-1400  
Fax - (813) 549-2653  
Email - [sales@acoustiblok.com](mailto:sales@acoustiblok.com)  
[www.acoustiblok.com](http://www.acoustiblok.com)

**Product Description**  
**Basic Use**

AcoustiFence was originally developed by Acoustiblok, Inc. for noise isolation on offshore oil rigs, but has since proven successful in many other demanding outdoor settings, such as construction sites, commercial/industrial facilities, and residential communities.

**AcoustiFence Noise Reducing Fences**

AcoustiFence is a unique, heavy-mineral filled, barium free, viscoelastic acoustical material that is made in the U.S.A. Unlike fences or shrubs, this material does extraordinarily well in blocking direct sound, and a unique characteristic of the material sets it apart from other sound barriers when dealing with very low frequencies.



Sound Absorption Test Results

**Benefits:**

- Effectively reduces exterior noise
- Easy to install
- Resistant to UV, dirt and water
- Resistant to corrosion, mold and mildew

**Product Name**  
AcoustiFence® Noise Reducing Fences

**Physical Properties**

- Barium free
- Minimum STC 28 per ASTM E90-02 & ASTM E413-87
- Minimum sound attenuation 24 dBA @ 100Hz & 16dBA @ 40Hz
- Size - 6 ft. (1.83m) x 30 ft. (9.14m) x 0.125 in. (.3mm) – 180 ft<sup>2</sup> (16.83m<sup>2</sup>)
- Color - black or green
- High UV resistance
- Heat tolerance: 200°F (93°C) for 7 days, less than 1% shrinkage with no deformation.
- Do not unroll or flex frozen material. Properties not affected by freeze/thawcycles.
- No fungal or algal growth and no visible disfigurement, per ASTM D3273 and ASTM D3274 (rating=10)
- Tensile Strength - min. 510 PSI
- Weight per section: 185 lbs. (84Kg)

**Material Specifications – Part # "Acoustifence 6x30 Industrial"**

Acoustical Rating	STC 28 / OITC 22
Size	6 ft. (1.83m) x 30 ft. (9.14m) x 0.125 in. (.3mm) 180 ft <sup>2</sup> (16.72m <sup>2</sup> )
Weight	185 lbs. (84Kg)
Fastening	Black brass grommets every 6 in. (152mm) along top edge with four grommets spaced along the bottom edge. Commonly installed horizontally.
Color	Black
<small>(This is an industrial product and minor surface blemishes are a possibility.)</small>	



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[sales@acoustiblok.com](mailto:sales@acoustiblok.com)

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BERKELEY, CA 94703

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1	11/02/2024	REVISED FOR ACOUSTIFENCE	JND
2	02/09/2025	ISSUED FOR CONSTRUCTION	JCH

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SHEET TITLE:  
ACOUSTIFENCE  
CUTSHEETS

SHEET NUMBER:  
S-3.1

**AGGREGATE NOTES:**

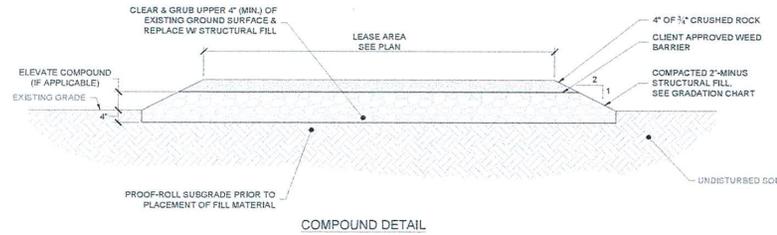
- 1 THE AGGREGATE MATERIAL TO BE USED WILL BE PRODUCED FROM SOUND, TOUGH, DURABLE ROCK AND SHALL BE UNIFORM IN QUALITY AND GRADATION. THE CRUSHED MATERIAL WILL BE REASONABLY FREE FROM SOFT OR DISINTEGRATED PIECES, ORGANIC MATERIALS, AND OTHER OBJECTIONABLE MATTER.
- 2 THE AGGREGATE MATERIAL WILL SHOW A LOSS LESS THAN 5% IN THE LOS ANGELES ABRASION TEST.
- 3 THE PERCENTAGE OF SOFT PARTICLES, AS DETERMINED BY THE CLAY LUMPS AND FRIABLE PARTICLES (AASHTO T 112), SHALL NOT BE MORE THAN 5%.
- 4 THE AGGREGATE MATERIAL USED WILL NOT HAVE A SAND EQUIVALENT LESS THAN 30 IF 5% OR MORE OF THE MATERIAL PASSES THE NUMBER 200 SIEVE.
- 5 80% OF THE GRAVEL (BY WEIGHT) OF THE COMBINED COURSE AGGREGATE SHALL HAVE THREE OR MORE ROUGH ANGULAR SURFACES AND PRODUCED BY CRUSHING OF THE ROCK.
- 6 THE PLASTICITY INDEX OF THE FINISHED AGGREGATE PRODUCT SHALL NOT EXCEED 6.

**COMPACTION NOTE:**

STRUCTURAL FILL SHALL BE GRANULAR FREE-DRAINING MATERIAL FREE OF DEBRIS, ORGANICS, REFUSE AND OTHERWISE DELETERIOUS MATERIALS. MATERIAL SHALL BE PLACED IN LIFTS NO GREATER THAN 12" IN DEPTH AND COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED PER ASTM D1557.

**AGGREGATE GRADATION CHART:**

(% BY WEIGHT PASSING SIEVES)		
SIEVE SIZE	2"-MINUS	3/4"-MINUS
2 1/2"	100	-
2"	80-100	-
1"	55-83	100
3/4"	-	80-100
No. 4	30-60	40-65
No. 8	-	30-50
No. 30	10-25	-
No. 200	0-6	3-9



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SHEET TITLE:  
**COMPOUND DETAIL**

SHEET NUMBER:  
**S-4**

CONDUIT / WIRE SCHEDULE:

NO.	FROM	TO	WIRES	GROUND	CONDUIT SIZE	FUNCTION
1	NORMAL POWER SOURCE	AUTOMATIC TRANSFER SWITCH	(3) W/C	(1) W/C	(1) W/C	NORMAL POWER FEEDER TO ATS (CUT BACK EXISTING)
2	AUTOMATIC TRANSFER SWITCH	LOAD CENTER	(3) W/C	(1) W/C	(1) W/C	POWER FEEDER FROM ATS TO PANELS
3	GENERATOR	AUTOMATIC TRANSFER SWITCH	(3) W/C	(1) W/C	(1) W/C	STANDBY POWER FEEDER TO ATS
4	AUTOMATIC TRANSFER SWITCH	GENERATOR	(2) W/C	(1) W/C	(1) W/C	START CIRCUIT
5	LOAD CENTER (DISTRIBUTION CENTER)	GENERATOR, ATS	(2) W/C (1) W/C (2) W/C	(1) W/C (1) W/C (1) W/C	(1) W/C	CKT FOR GEN BLOCK HEATER & BATTERY HEATER. CKT FOR BATTERY CHARGER. CKT FOR ATS CONTROL (SEE BREAKER NOTE)
6	GENERATOR	THROUGH ATS TO ALARM BLOCK	12-PAIR 24 AWG OR 2EA 6-PAIR CAT5	N/A	1"	ALARM CABLES (1) 12 PAIR 24 AWG, PROVIDE 24" OF SLACK CABLE. FINAL PUNCH DOWN IS BY AT&T TECH. LABEL ALL WIRES
7	AUTOMATIC TRANSFER SWITCH	ALARM BLOCK	(2) 12-PAIR 24 AWG OR (2) 6-PAIR CAT5 (1) 1-PAIR 24AWG	N/A	1"	ALARM CABLES (1) 12 PAIR 24 AWG (RUN THRU INTERIOR OF SHELTER OR GROUND EQUIPMENT & INTO ALARM BOX), PROVIDE SINGLE PAIR FOR COMMERCIAL POWER FAIL ALARM. PROVIDE 24" OF SLACK CABLE. FINAL PUNCH DOWN IS BY AT&T TECH. LABEL ALL WIRES
8	CAM-LOCK BOX	AUTOMATIC TRANSFER SWITCH	(3) W/C	(1) W/C	(1) W/C	STANDBY POWER FEEDER TO ATS

(W/C) = SEE WIRE/CONDUIT SIZING TABLE FOR VALUES

ALARM WIRE IDENTIFICATION CHART:

WIRE	ALARM
BROWN	GENERATOR RUNNING
BROWN / WHITE	GENERATOR RUNNING
GREEN	CRITICAL FAULT
GREEN / WHITE	CRITICAL FAULT
BLUE	MINOR FAULT
BLUE / WHITE	MINOR FAULT
ORANGE	LOW FUEL
ORANGE / WHITE	LOW FUEL
BROWN *	FUEL LEAK
BROWN / WHITE *	FUEL LEAK

\*CAT5 CABLE ONLY, FROM 2ND CAT5 CABLE

EXISTING DISTRIBUTION PANEL



(2) OR (3) PROPOSED 20 AMP BREAKERS FOR BLOCK HEATER, BATTERY HEATER, AND BATTERY CHARGER ON NEW ATS GENERATOR (INSTALL FILLER PLATES ON ANY OPEN SLOTS)

ALL ELECTRICAL WORK CONDUCTED ON PANELS TO BE VERIFIED WITH CONSTRUCTION MANAGER AND CONDUCTED BY AN APPROVED ELECTRICAL CONTRACTOR LICENSED IN THE STATE.

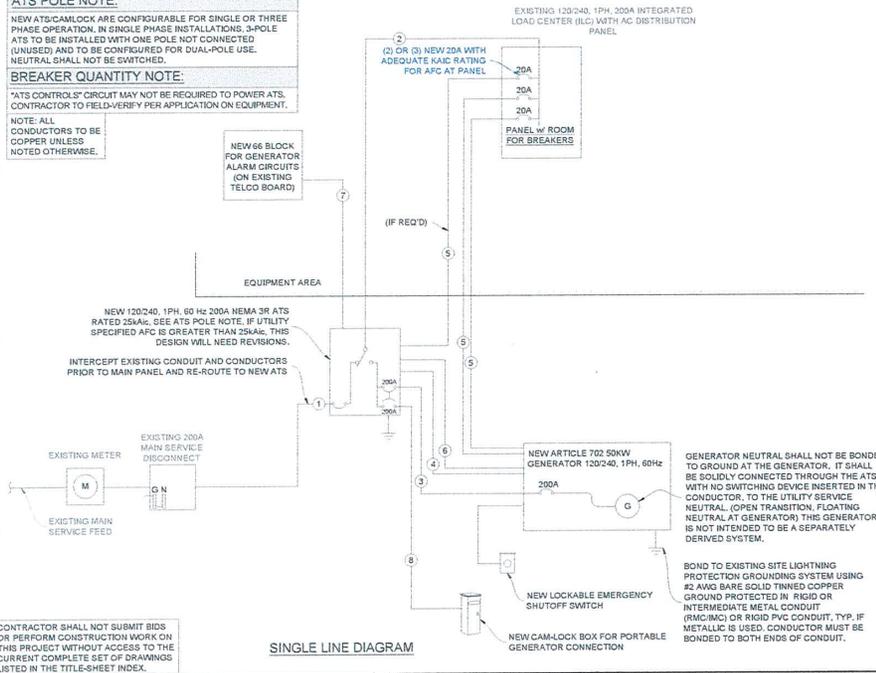
ATS POLE NOTE:

NEW ATS/CAMLOCK ARE CONFIGURABLE FOR SINGLE OR THREE PHASE OPERATION. IN SINGLE PHASE INSTALLATIONS, DOUBLE ATS TO BE INSTALLED WITH ONE POLE NOT CONNECTED (UNUSED) AND TO BE CONFIGURED FOR DUAL-POLE USE. NEUTRAL SHALL NOT BE SWITCHED.

BREAKER QUANTITY NOTE:

\*ATS CONTROL CIRCUIT MAY NOT BE REQUIRED TO POWER ATS. CONTRACTOR TO FIELD-VERIFY PER APPLICATION ON EQUIPMENT.

NOTE: ALL CONDUCTORS TO BE COPPER UNLESS NOTED OTHERWISE.



PANEL NOTES:

- CONTRACTOR TO LABEL WIRES WITH P-TOUCH OR SIMILAR LABELS ONLY. ABSOLUTELY NO HANDWRITTEN LABELS.
- CONTRACTOR SHALL PERFORM A POWER STUDY ON EXISTING AC PANEL PRIOR TO INSTALLING, CHANGING, ALTERING, OR REMOVING ANY BREAKER. NO WORK SHALL BE COMPLETED ON AC PANEL WITHOUT PROPER INSPECTOR OR ENGINEER APPROVED DOCUMENTATION CONFIRMING CAPACITY ON SITE. ALL WORK SHALL CONFORM TO CEC VERSION ENFORCED BY A.U.I. AT TIME OF INSTALLATION.
- CONTRACTOR SHALL VERIFY THAT THE MAXIMUM DEMAND FOR ALL CONNECTED EQUIPMENT AT THIS SITE AS CALCULATED PER CEC DOES NOT EXCEED THE GENERATOR OUTPUT CIRCUIT BREAKER RATING. (SEE NOTE #4 ALSO.)
- IF MAXIMUM DEMAND OF THE GENERATOR OUTPUT CIRCUIT BREAKER RATING AS CALCULATED PER CEC IS CONTINGENT ON THE TWO HVAC UNITS NOT OPERATING CONCURRENTLY, THEN CONTRACTOR SHALL VERIFY THAT THE HVAC LEADLAG CONTROLLER IS CONFIGURED TO PREVENT CONCURRENT OPERATION. IF NOT, THEN CONTRACTOR SHALL RECONFIGURE IT AS NEEDED TO PREVENT TRIPPING THE CIRCUIT BREAKER.
- SEE REQUIRED LABELING & SIGNAGE, SHEET S-2.

WIRE/CONDUIT SIZING: FEEDER MAX 1-WAY LENGTH IN FEET

WIRE SIZE	200A OCP			GROUND WIRE SIZE	CONDUIT SIZE
	120/240V 1P	120/208V 1P	208Y/120V 3P		
1/0	-	-	-	#4	1-1/2"
2/0	-	-	-	#4	2"
3/0	213	185	213	#4	2"
4/0	253	220	254	#4	2"
250 KCMIL	284	246	284	#4	2-1/2"
300 KCMIL	318	275	318	#3	2-1/2"
350 KCMIL	354	307	354	#2	2-1/2"
400 KCMIL	383	332	383	#2	3"
500 KCMIL	456	378	456	#1	3"
600 KCMIL	469	408	469	#0	3-1/2"
750 KCMIL	521	451	521	#0	3-1/2"
1000 KCMIL	596	506	596	#0	4"

FEEDER MAXIMUM LENGTH VALUES SHOWN ARE FOR MAX. FEEDER VOLTAGE DROP OF 2.5%.

WIRE SIZE	DISTANCE	GROUND WIRE SIZE	CONDUIT SIZE
#12	0 - 51 FT	#12	1"
#10	52 - 85 FT	#10	1"
#8	86 - 130 FT	#8	1"
#6	131 - 203 FT	#6	1"

FOR LONG RUNS, PER CEC 300.3(B)(1), FOR CONDUCTORS 1/0 AND LARGER, CONTRACTOR MAY ELECT TO INSTALL EQUIVALENT SETS OF PARALLEL CONDUCTORS (UPSIZE GROUND WIRE AND CONDUIT ACCORDINGLY). SMALLER CONDUCTORS REQUIRING UPSIZING MUST BE REPLACED W/ ADEQUATELY SIZED LARGER CONDUCTORS.

CITY USE

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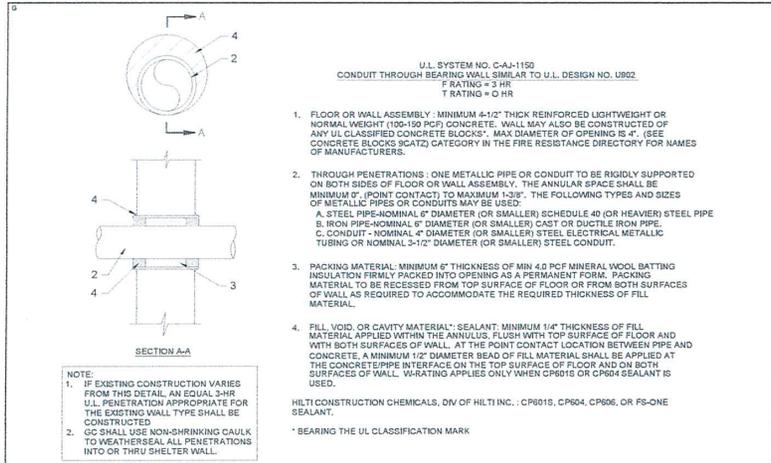
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1	1/16/2025 REVISED FOR ADOPTIVE CHANGE	JAD
2	5/16/2025 ISSUED FOR CONSTRUCTION	LCH

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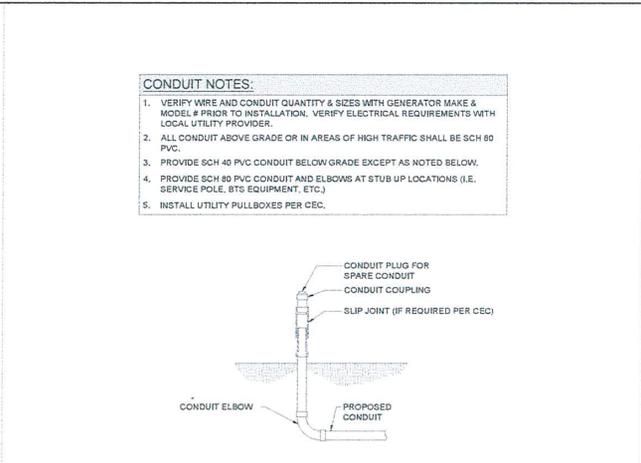
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ELECTRICAL DETAILS

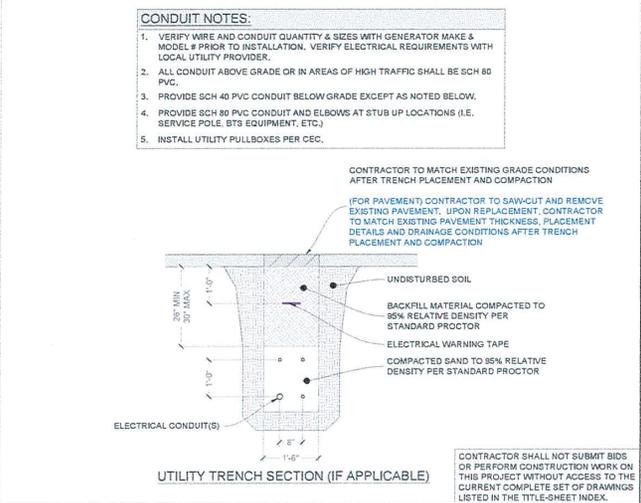
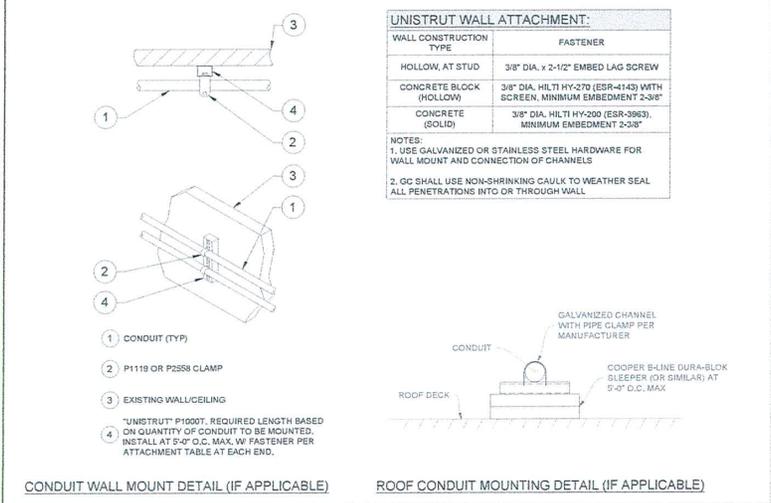
SHEET NUMBER:  
E-1



OUTER WALL PENETRATION DETAIL (IF APPLICABLE)



SLIP JOINT DETAIL (IF APPLICABLE)



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BERKELEY, CA 94703

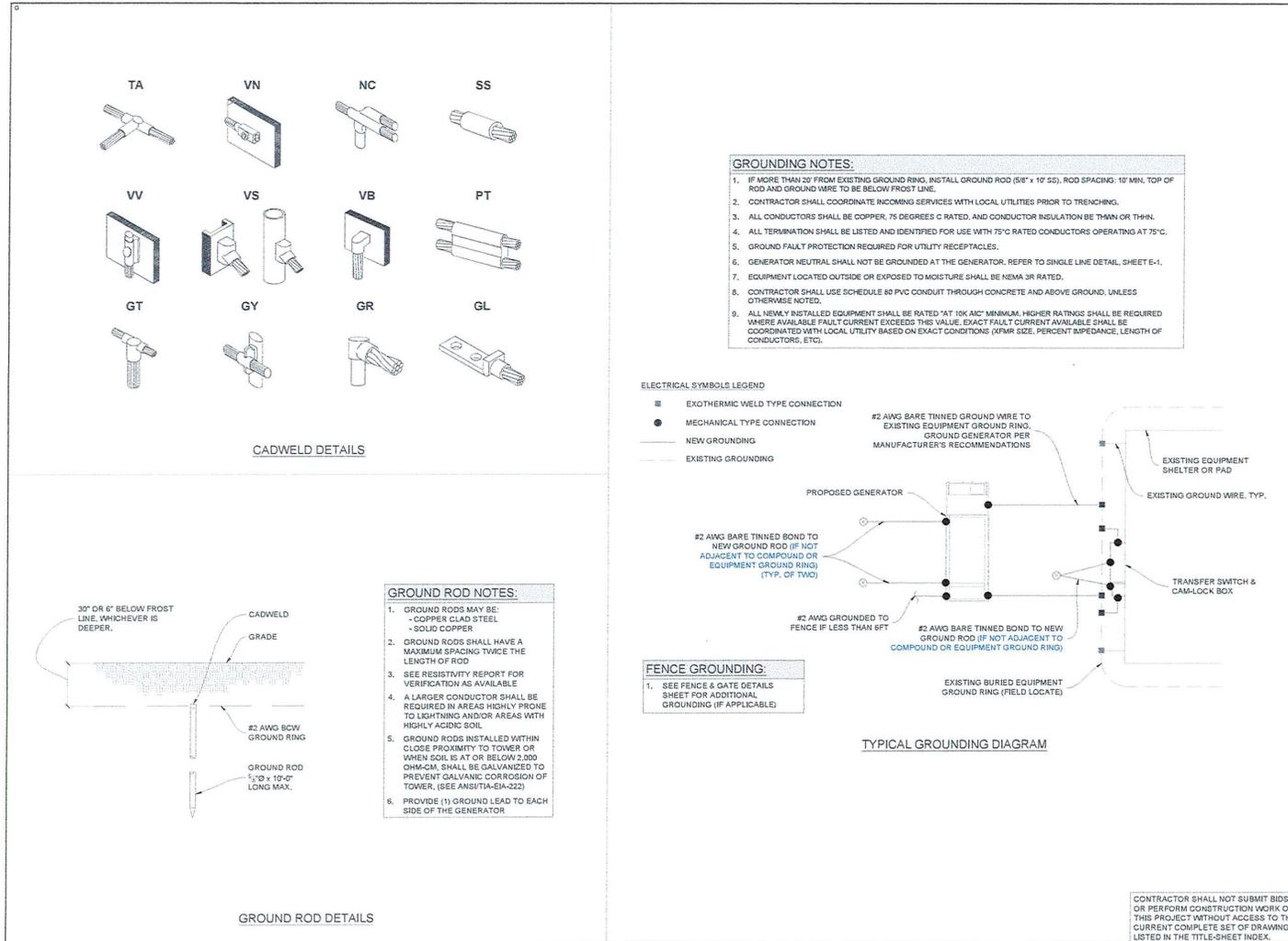
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1	11/02/25	REMOVED FOR ADOPTANCE	JAD
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SHEET TITLE:  
ELECTRICAL  
DETAILS

SHEET NUMBER:  
E-2



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 BERKELEY, CA 94703

REV.	DATE	DESCRIPTION	INT.
1	11/02/23	REVISED FOR ADOPTIVE/FENCE	JAD
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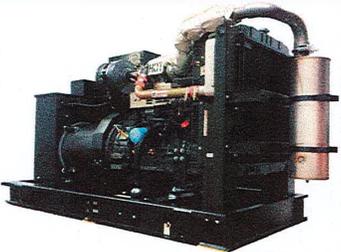
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SHEET TITLE:  
**ELECTRICAL  
 DETAILS**

SHEET NUMBER:  
**E-3**

### SD050 | 3.4L | 50 kW

**INDUSTRIAL DIESEL GENERATOR SET**  
EPA Certified Stationary Emergency



**Standby Power Rating**  
50 kW, 63 kVA, 60 Hz

**Prime Power Rating\***  
45 kW, 56 kVA, 60 Hz

**Codes and Standards**  
Not all codes and standards apply to all configurations. Contact factory for details.

- UL2200, UL6200, UL1236, UL142
- CSA C22.2
- BS5514 and DIN 6271
- SAE J1349
- NFPA 37, 70, 99, 110
- NEC700, 701, 702, 708
- ISO 3046, 7637, 8528, 9001
- NEMA ICS10, MG1, 250, ICS6, AB1
- ANSI C62.41
- IBC 2009, CBC 2010, IBC 2012, ASCE 7-05, ASCE 7-10, ICC-ES AC-156 (2012)

**Powering Ahead**  
For over 50 years, Generac has provided innovative design and superior manufacturing. Generac ensures superior quality by designing and manufacturing most of its generator components, including alternators, enclosures and base tanks, control systems and communications software. Generac gensets utilize a wide variety of options, configurations and arrangements, allowing us to meet the standby power needs of practically every application. Generac searched globally to ensure the most reliable engines power our generators. We choose only engines that have already been proven in heavy-duty industrial applications under adverse conditions. Generac is committed to ensuring our customers' service support continues after their generator purchase.

### SD050 | 3.4L | 50 kW

**INDUSTRIAL DIESEL GENERATOR SET**  
EPA Certified Stationary Emergency

**STANDARD FEATURES**

**ENGINE SYSTEM**

- Oil Drain Extension
- Air Cleaner
- Fan Guard
- Stainless Steel Flexible Exhaust Connection
- Factory Filled Oil and Coolant
- Radiator Duct Adapter (Open Set Only)
- Critical Silencer (Enclosed Units Only)

**Fuel System**

- Fuel Lockoff Solenoid
- Primary Fuel Filter

**Cooling System**

- Closed Coolant Recovery System
- UV/Ozone Resistant Hoses
- Factory-Installed Radiator
- Radiator Drain Extension
- SD050 Ethylene Glycol Antifreeze
- 120 VAC Coolant Heater

**Electrical System**

- Battery Charging Alternator
- Battery Cables
- Battery Tray
- Rubber-Booted Engine Electrical Connections
- Solenoid Activated Starter Motor

**ALTERNATOR SYSTEM**

- UL2200 GENprotect™
- 12 Leads (3-Phase, Non 600V)
- Class H Insulation Material
- Vented Rotor
- 2/3 Pitch
- Shrewd Stator
- Auxiliary Voltage Regulator Power Winding
- Brushless Excitation
- Sealed Bearing
- Automated Manufacturing (Winding, Insertion, Lacing, Winding)
- Rotor Dynamically Spin Balanced
- Full Load Capacity Alternator
- Protective Thermal Switch

**GENERATOR SET**

- Internal Genset Vibration Isolation
- Separation of Circuits - High/Low Voltage
- Separation of Circuits - Multiple Breakers
- Wrapped Exhaust Piping
- Standard Factory Testing
- 2 Year Limited Warranty (Standby Rated Units)
- 1 Year Limited Warranty (Prime Rated Units)
- Silencer Mounted in the Discharge Hood (Enclosed Only)
- Silencer of Heat Shield

**ENCLOSURE (If Selected)**

- Rust-Proof Fasteners with Nylon Washers to Protect Finish
- High Performance Sound-Absorbing Material (Sound Attenuated Enclosures)
- Gasketed Doors
- Stamped Air-Intake Louvers
- Upward Facing Discharge Hoods (Radiator and Exhaust)
- Stainless Steel Lift-Off Door Hinges
- Stainless Steel Lockable Handles
- RhinoCoat™ - Textured Polyester Powder Coat Paint

**FUEL TANKS (If Selected)**

- UL 142/ULC S-601
- Double Wall Construction
- Vents
- Sloped Top
- Sloped Bottom
- Factory Pressure Tested - 2 psi
- Rupture Basin Alarm
- Fuel Level
- Check Valve in Supply and Return Lines
- RhinoCoat™ - Textured Polyester Powder Coat Paint
- Stainless Steel Hardware

**CONTROL SYSTEM**

- Audible Alarms and Shutdowns
- Not In Auto (Flashing Light)
- Auto/Off/Manual Switch
- E-Stop (Red Mushroom-Type)
- NFPA110 Level I and II (Programmable)
- Customizable Alarms, Warnings, and Events
- Modbus™ Protocol
- Predictive Maintenance Algorithm
- Sealed Boards
- Password Parameter Adjustment Protection
- Simple Panel Ground
- 16 Channel Remote Trending
- 0.2 msec High Speed Remote Trending
- Alarm Information Automatically Annunciated on the Display

**Full System Status Display**

- Power Output (kW)
- Power Factor
- MW Hours, Total, and Last Run
- Real/Reactive/Apparent Power
- All Phase AC Voltage
- All Phase Currents

**Alarms and Warnings**

- Oil Pressure
- Coolant Temperature
- Coolant Level
- Engine Speed
- Battery Voltage
- Frequency
- Oil Pressure
- Coolant Temperature
- Coolant Level
- Engine Overspeed
- Battery Voltage
- Alarms and Warnings Time and Date Stamped
- Snap Shots of Key Operation Parameters During Alarms and Warnings
- Alarms and Warnings Speller Out (No Alarm Codes)

**Digital H Control Panel- Dual 4x20 Display**



**Program Functions**

- Programmable Crank Limiter
- 7-Day Programmable Exerciser
- Special Applications Programmable Logic Controller
- RS-232/485 Communications
- All Phase Sensing Digital Voltage Regulator
- 2-Wire Start Capability
- Date/Time/Fault History (Event Log)
- Inynchronous Governor Control
- Waterproof/Sealed Connections

**LEVEL 2 SOUND ATTENUATED ENCLOSURE**

Rev	Issue	Capacity	Net Weight				
Weight	Net Wt.	Net Wt.	Net Wt.	Net Wt.	Net Wt.	Net Wt.	Net Wt.
102	50	50	31.8 (71.000)	32.0 (70.500)	32.1 (71.700)	32.2 (71.800)	32.3 (71.900)
103	34	34	34.0 (74.800)	35.0 (77.000)	35.0 (77.000)	35.0 (77.000)	35.0 (77.000)
104	132	132	34.0 (74.800)	38.0 (83.800)	38.0 (83.800)	38.0 (83.800)	38.0 (83.800)
105	132	132	34.0 (74.800)	38.0 (83.800)	38.0 (83.800)	38.0 (83.800)	38.0 (83.800)
106	132	132	34.0 (74.800)	38.0 (83.800)	38.0 (83.800)	38.0 (83.800)	38.0 (83.800)
107	132	132	34.0 (74.800)	38.0 (83.800)	38.0 (83.800)	38.0 (83.800)	38.0 (83.800)
108	132	132	34.0 (74.800)	38.0 (83.800)	38.0 (83.800)	38.0 (83.800)	38.0 (83.800)
109	132	132	34.0 (74.800)	38.0 (83.800)	38.0 (83.800)	38.0 (83.800)	38.0 (83.800)
110	132	132	34.0 (74.800)	38.0 (83.800)	38.0 (83.800)	38.0 (83.800)	38.0 (83.800)

\*All measurements are approximate and for estimation purposes only. Specification characteristics may change without notice. Please contact a Generac Power Systems Industrial Dealer for detailed installation drawings.

CITY USE



GENERAL DYNAMICS  
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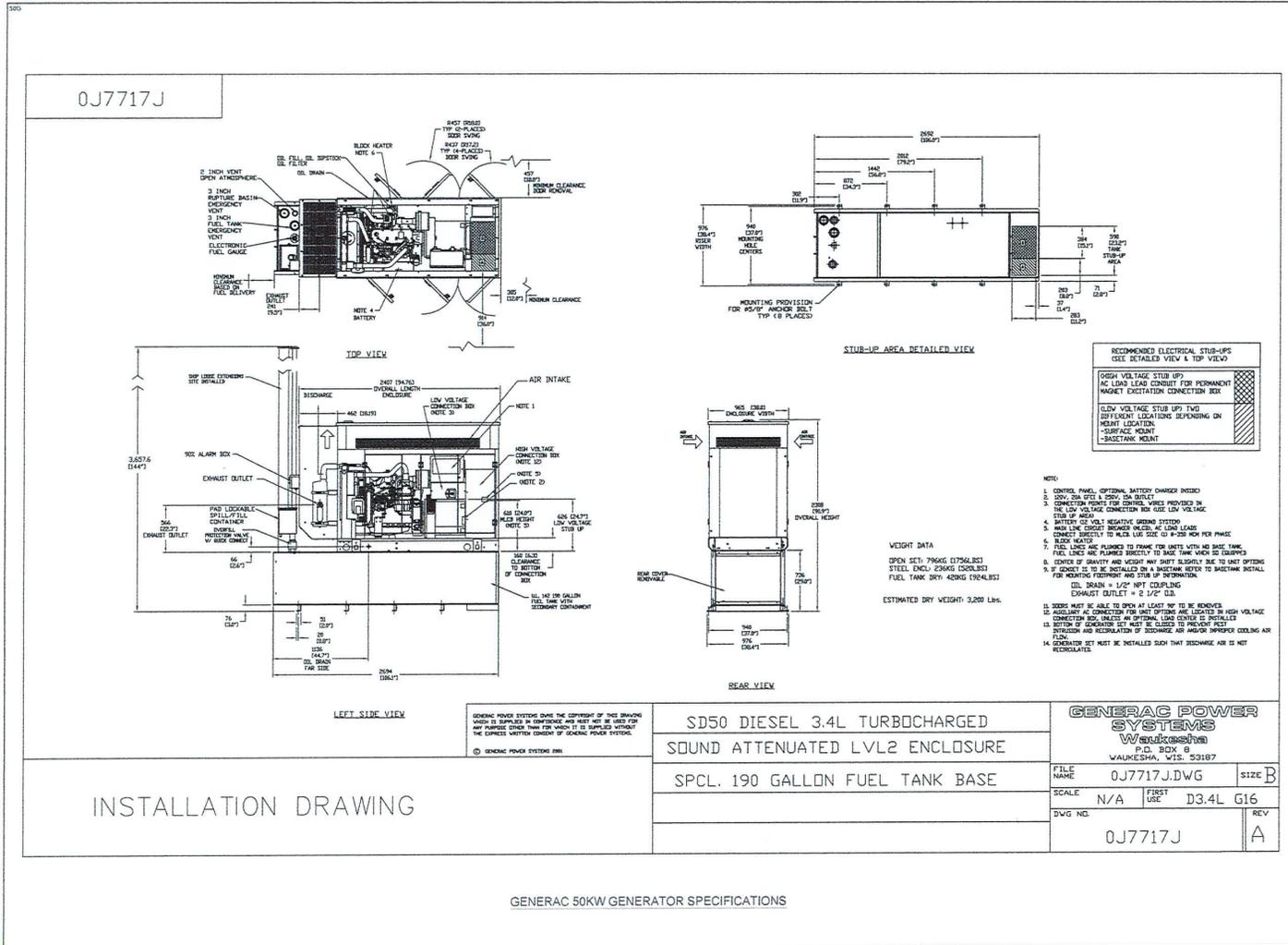
SITE INFORMATION:  
MARTIN LUTHER KING W  
10087892  
GENERATOR INSTALLATION  
PROJECT  
3332 ADELINE STREET  
BERKELEY, CA 94703

REVISIONS		
REV. DATE	DESCRIPTION	INT.
1	1/10/2007 REVISION FOR AGGREGATION	JAD
9	03/09/07 ISSUED FOR CONSTRUCTION	JDM

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SHEET TITLE:  
**GENERATOR SPECIFICATIONS**  
SHEET NUMBER:  
**E-4.0**



CITY USE

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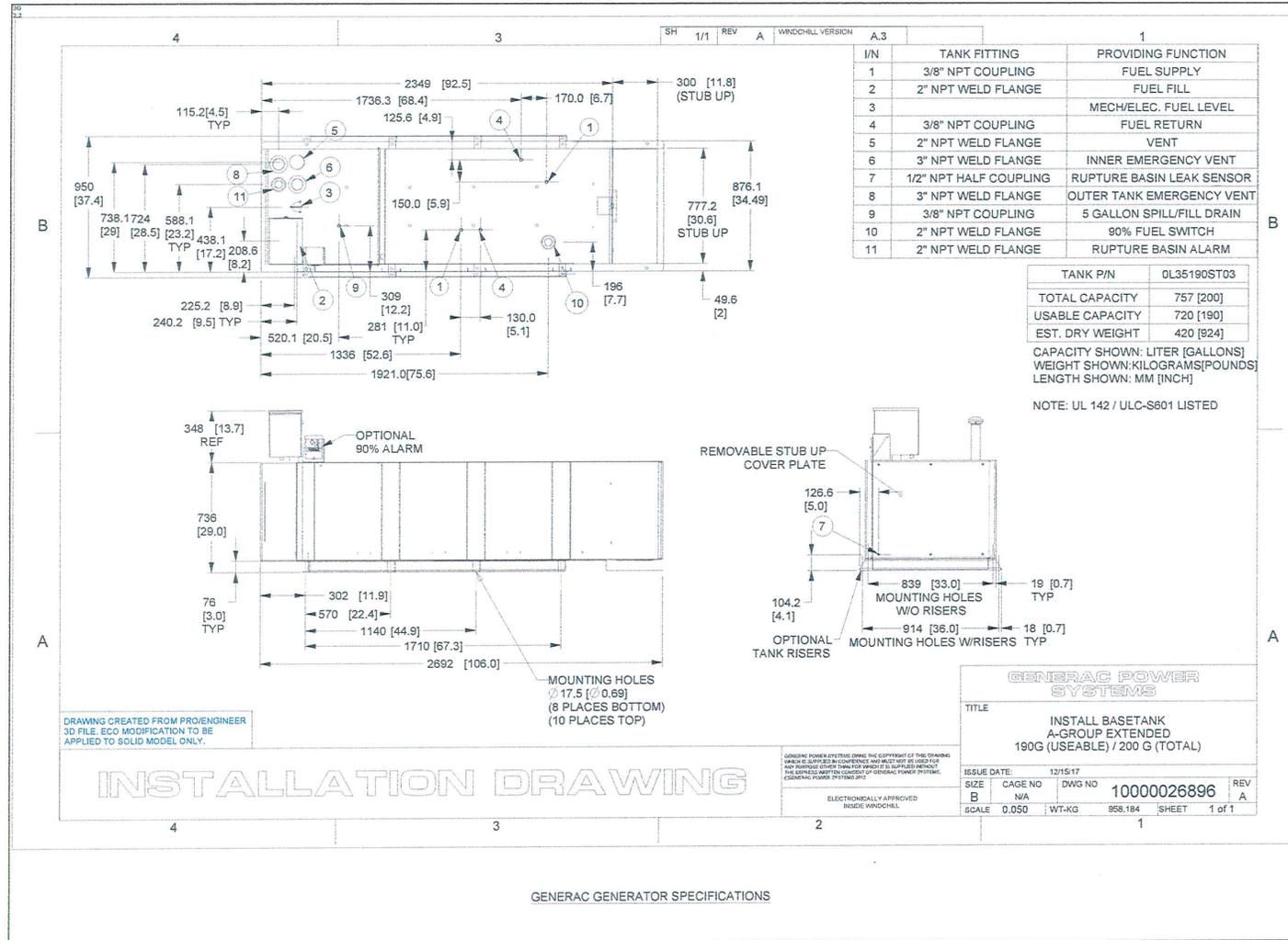
REV	DATE	DESCRIPTION	INT
1	11/03/21	REVISED FOR AGO CONFERENCE	JAD
2	03/09/22	ISSUED FOR CONSTRUCTION	LOM

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**GENERATOR SPECIFICATIONS**

SHEET NUMBER:  
**E-4.1**



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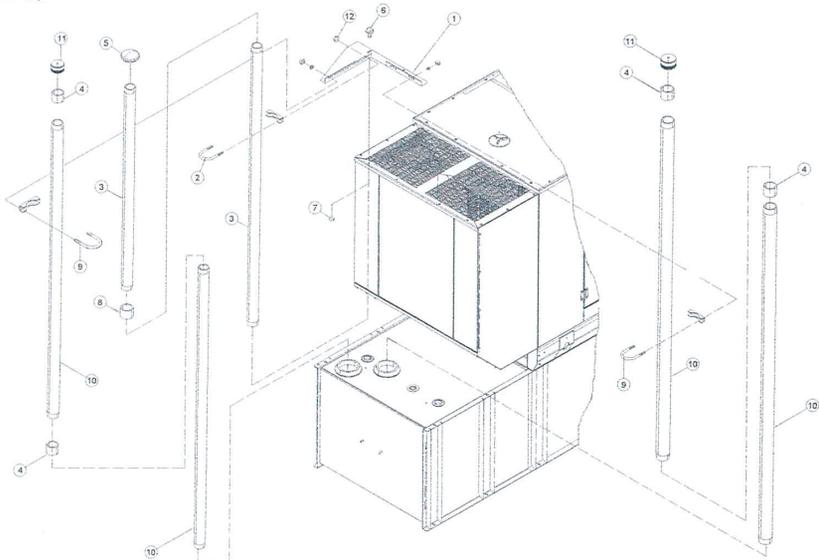
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 BERKELEY, CA 94703

EXPLODED VIEW: EV VENT EXT AGRP 2"3 ATT  
 DRAWING #:DK9817A

**GROUP H**

ITEM	PART#	QTY.	DESCRIPTION
(1)1	0G3006YSTDR	1	BRACKET VENT EXT AGRP 2"3 ATT
2	0C7947	1	KIT, SADDLE AND BOLT 2 1/2"
3	0C3045	2	PIPE 2"VENT EXTENSION 72"LG
4	10000019676	4	COUPLING PIPE 3 ZINC
5	0201178	1	VENT OEM 2"
6	0C24548	2	SCREW/WHHT M6-1 X 30 W/MKS
7	0049813	2	NUT HEX M6-1.0 CG CLEAR ZINC
8	00864038	1	COUPLING FULL 2-1.5 BLACK
9	0E4264	2	BOLT U 3/8-16 X 3.50" W/SADDLE
10	0H1454	4	PIPE NIPPLE 3"X72" SCH40 PNTBK
11	072869J	2	VENT CAP EMERG 3"NPT
12	0064101	2	NUT HEX FL WHIZ 3/8-16

NOTES (UNLESS OTHERWISE SPECIFIED)  
 (1) SHEET METAL PARTS LISTED IN THE BOM TABLE ARE REPRESENTING GENERIC PARTS (NO COLOR).  
 \* MANUFACTURING: FOR CORRECT MATERIAL AND COLOR REFER TO AS400 BOM.  
 \* CUSTOMER: WHEN ORDERING REPLACEMENT PARTS, ENTER BASE NUMBER (FIRST 5 DIGITS ONLY) IN THE SYSTEM FOR CORRECT MATERIAL AND COLOR. (FOR REFERENCE SEE GUIDELINE 0H7169).



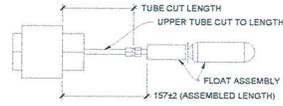
REVISION : CN-0019648-W  
 DATE : 9/4/18

EMERGENCY VENT PIPE ASSEMBLY

EXPLODED VIEW: EV VENT EXT AGRP 2"3 ATT  
 DRAWING NO.: DK9817A

**GENERAC GENERATOR SPECIFICATIONS**

**OVERFILL PREVENTION VALVE INSIDE TANK (FACTORY-INSTALLED)**



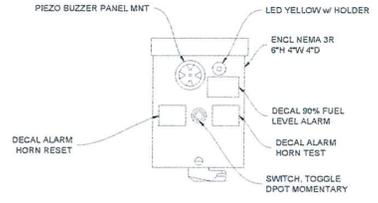
GENERAC 0J7671

**FUEL SPILL/FILL DRAIN OUTSIDE TANK (FACTORY-INSTALLED)**



GENERAC 0J7606A

**REMOTE 90% FUEL ALARM (FACTORY-INSTALLED)**



GENERAC OF2908S

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REV.	DATE	DESCRIPTION	INT.
1	11/02/07	REVISED FOR ADJUSTMENT	JAD
9	03/09/03	ISSUED FOR CONSTRUCTION	JOM

CHECKED BY: OGD

SHEET TITLE:  
**GENERATOR SPECIFICATIONS**

SHEET NUMBER:  
**E-4.3**

**DO NOT SCALE**

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**S-327**

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**S-327**

**FUEL LEAK DETECTOR ALARM (FACTORY-INSTALLED)**

**INSTALLATION NOTE:**  
 HAND TIGHTEN + ONE QUARTER TURN.  
 LEAK DETECTION MUST BE INSTALLED IN THE NORMALLY OPEN (N.O.) POSITION AS SHOWN FOR IT TO FUNCTION CORRECTLY IN GENERAC'S UL TANK SECONDARY CONTAINMENT LEAK DETECTION APPLICATION. OVER TIGHTENING WILL RESULT IN DAMAGE TO THE LEAK DETECTOR AND IMPROPER OPERATION.

**SPEC:**  
 MATERIAL: NYLON  
 VENDOR PIN AND VENDOR: 165900, GEMS SENSORS  
 MOUNTING ATTITUDE: HORIZONTAL  
 RECOMMENDED HOLE SIZE: 0.875", 1.32"/5/32" THICK PANEL  
 OPERATING TEMPERATURE: -40°F TO 250°F  
 MAX. OPERATION PRESSURE: 100 PSIG AT 70°F  
 THIS SWITCH IS U.L. RECOGNIZED - FILE #E45158, CSA LISTED - 30200  
 CONTACT RATING: 0.17 AMP, 120 V, 60 Hz, RESISTIVE  
 0.08 AMP, 240 V, 60 Hz, RESISTIVE  
 20 VA PILOT DUTY  
 DC ELEC. RATING: 0.3 AMP MAX @30 VDC

GENERAC EMERGENCY VENT CAPS

GENERAC 096500B

GENERAC GENERATOR SPECIFICATIONS

CITY USE

**GENERAL DYNAMICS**  
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REV.	DATE	DESCRIPTION	INT.
1	11/02/07	REMOVED FOR ACCURACY	JAD
2	03/09/07	ISSUED FOR CONSTRUCTION	JDA

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SHEET TITLE:  
**GENERATOR SPECIFICATIONS**  
 SHEET NUMBER:  
**E-4.4**

TTS Series  
 Switches

200 Amps  
 600 VAC

**GENERAC** INDUSTRIAL  
 POWER

TAS200

200A Automatic Transfer Switch

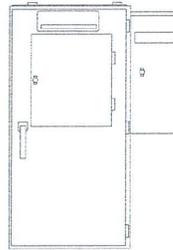
The Generac TAS200 Automatic Transfer Switch

Flexibility for multiple application installations

Multiple generator support with 3 source panel

Designed with a 6 inch touch screen controller for improved user interface

Camlock functionality for mobile generator sources



**Features**

- STEEL CONSTRUCTION
- NEMA 3R ENCLOSURE WITH HINGED "PADLOCKING" DOORS
- STAINLESS STEEL HARDWARE
- CAMLOCK "QUICK CONNECT" CAPABILITY
- OPERATIONAL STATUS VIEW VIA 6 INCH TOUCH SCREEN
- TEST FUNCTION - FAST TEST & NORMAL TEST
- UL1008 LISTED - FOR EMERGENCY SYSTEMS

**Optional Features**

- EXTENDED WARRANTY
- THREE-PHASE VOLTAGE CONFIGURATIONS

**Codes and Standards**

Generac products are designed to the following standards:



**Application and Engineering Data**

Cabinet Specifications	
Dimensions	24"W x 12"D x 48"H
Weight	210 lbs.
Construction	Single Chamber with Main Door
	Steel
	UL Type / NEMA 3R Rated
	Powder Coat Finish for Corrosion Resistance
	C-UL-US Listed - Automatic Transfer Switch
Mounting Options	Stainless Steel Hardware
	3-Point Latching System with Pad-Lockable Handles
	Wall
Installed	Pre-wired alarm terminal strip

Electrical Specifications	
Voltage/Phase/Amps	120/240 Single-Phase, 200A
	120/208 3-Phase, 200A
	120/240 3-Phase, 200A
Breaker	Eaton 200 amp Utility Breaker
	Eaton 200 amp Generator Breaker
Maximum RMS Symmetrical Fault Current - Amps	25k AIC Rated
Protective Device Continuous Rating (Max) Amp	200
Input to Generator	350MCM - #6 AWG
Output to Site	350MCM - #6 AWG
Generator Annunciator Connector	Deutsch DTM04-12PA-LD12
	Generator Run Alarm
	Generator Fail - Shutdown Alarm
	Generator Fail - Non Shutdown Alarm
	Low Fuel Alarm
Alarm Terminal Board	Generator Theft Alarm
	AC Utility Fail Alarm

GENERAC ATS SPECIFICATIONS

CITY USE

GENERAL DYNAMICS  
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SITE INFORMATION:  
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REVISIONS

REV.	DATE	DESCRIPTION	INT.
1	11/20/23	REMOVED FOR ACCOUNTRENCE	JND
2	03/09/25	ISSUED FOR CONSTRUCTION	JCS

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SHEET TITLE:  
**ATS  
 SPECIFICATIONS**

SHEET NUMBER:  
**E-5.0**



**TTS Control Systems**

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**INDICATORS AND BUTTONS**

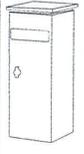
<ul style="list-style-type: none"> <li>. System Ready indicator</li> <li>. Standby Operating indicator</li> <li>. Utility Available indicator</li> <li>. GENUUTIL Switch Position indicator</li> <li>. TVSS status</li> </ul>	<ul style="list-style-type: none"> <li>. Normal Test button</li> <li>. Fast Test button</li> <li>. Return to Normal button</li> <li>. Reset button</li> <li>. Exercising indicator</li> </ul>
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**DETAILS SCREEN**

<p><b>System Settings:</b></p> <ul style="list-style-type: none"> <li>. System Voltage/Phases:             <ul style="list-style-type: none"> <li>- 120/240V single phase (standard)</li> <li>- 120/208V three phase (optional)</li> <li>- 120/240V three phase (optional)</li> </ul> </li> <li>. Utility Fail Monitor:             <ul style="list-style-type: none"> <li>- Under Voltage: 75-95% of nominal voltage</li> <li>- Over Voltage: 105%-125% of nominal voltage</li> <li>- Pickup (hysteresis): fixed at 5 volts</li> <li>- Delay time: 0-60s</li> </ul> </li> <li>. Utility Interrupt Delay: 0-60s</li> <li>. Return to Utility Timer: 1-30 minutes</li> <li>. Transfer:             <ul style="list-style-type: none"> <li>- In-phase, or</li> <li>- Time-Delay-Neutral at 0.0-10.0s in 1 second increments</li> </ul> </li> </ul> <p><b>Engine Settings:</b></p> <ul style="list-style-type: none"> <li>. Engine Warm-up timer: 0-20 minutes</li> <li>. Generator Load Accept:             <ul style="list-style-type: none"> <li>- Time-Delay-Neutral at 0.0-10.0s in 1 sec increments</li> <li>- Voltage: 85-95% of nominal</li> <li>- Frequency: 85-95% of nominal</li> </ul> </li> <li>. Engine Minimum Run Timer: 5-30 minutes</li> <li>. Engine Cooldown Timer: 0-20 minutes</li> </ul>	<p><b>Exercise Settings:</b></p> <ul style="list-style-type: none"> <li>. Time of day</li> <li>. Day of week</li> <li>. Exercise:             <ul style="list-style-type: none"> <li>- Exercise with/without load</li> <li>- Exercise once every 1, 2, or 4 weeks</li> <li>- Exercise time-of-day</li> <li>- Exercise day of week</li> <li>- Exercise duration: 15-30 minutes</li> </ul> </li> </ul> <p><b>Screen Settings:</b></p> <ul style="list-style-type: none"> <li>. Brightness &amp; Contrast button</li> <li>. Screen Calibration button</li> <li>. Startup/Clean screen</li> </ul> <p><b>Diagnostics:</b></p> <ul style="list-style-type: none"> <li>. Digital I/O bits status</li> <li>. Voltage A/D readings</li> </ul> <p><b>Mimic Diagram:</b></p> <ul style="list-style-type: none"> <li>. System Ready</li> <li>. Transfer switch position</li> <li>. Utility available</li> <li>. Standby available</li> <li>. Maintenance/Auto switch position</li> <li>. Generator source TS position</li> <li>. TVSS status</li> </ul>
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Camlock Component		
Camlock Component	Shipped loose for multiple installation options	
Dimensions	9" W x 9.4" D x 24.25" H	
200A Camlock Generator Connection	Single-Phase: Black L1, Red L2, White-Neutral, Green-Ground	
	3-Phase: Black L1, Red L2, Blue L3, White-Neutral, Green-Ground	
	Uses 4 CH E1016 Male Connectors	
	Mating Connector - CH E1016 Female	

**CAM-LOCK BOX SPECIFICATIONS**

CITY USE



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**GEOSTRUCTURAL**  
PG BOX 3521, KGSBE, ID 83781  
33533 HWY 7  
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SITE INFORMATION:

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10087892  
GENERATOR INSTALLATION PROJECT  
3332 ADELINE STREET  
BERKELEY, CA 94703

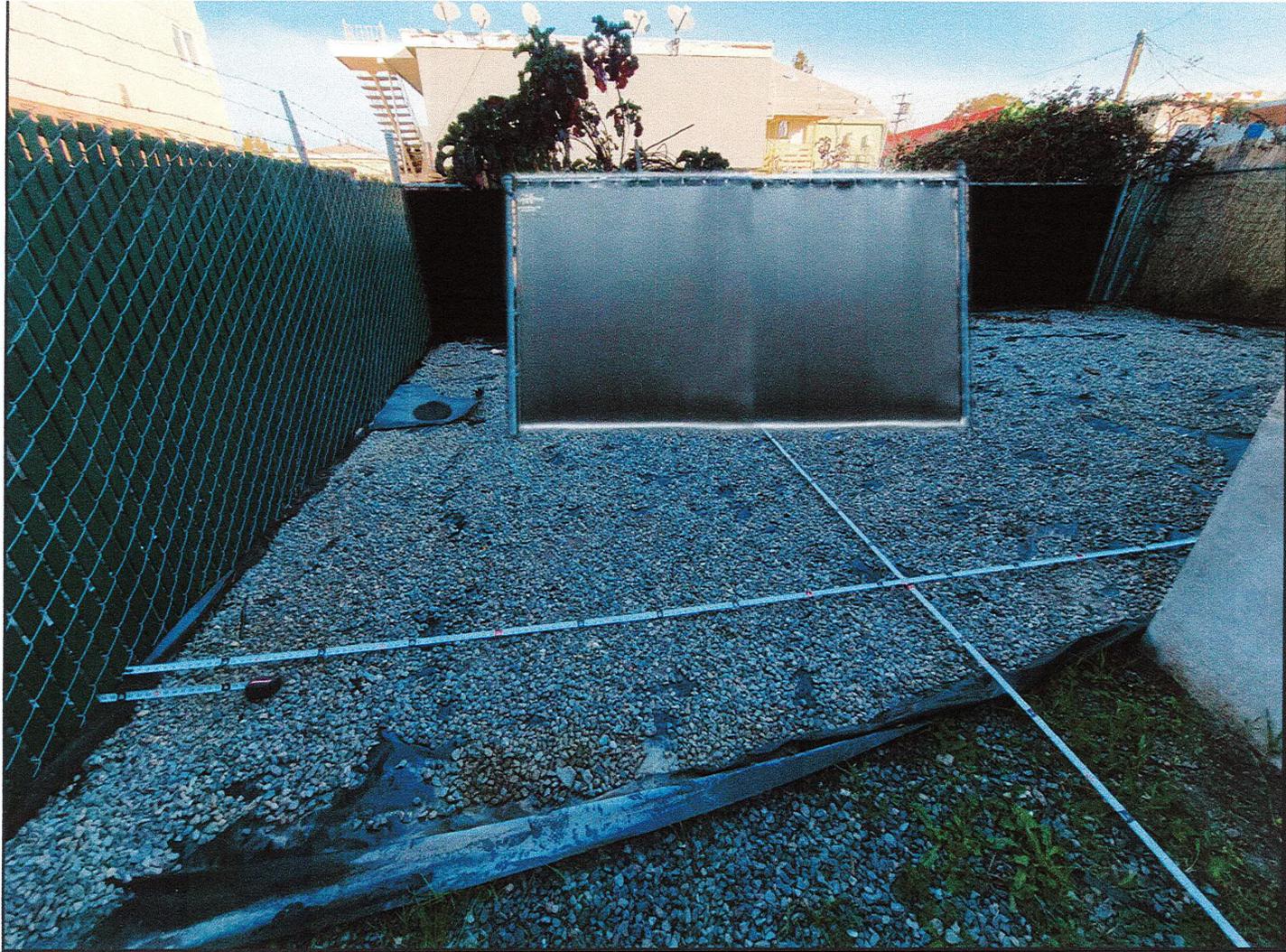
REVISIONS			
REV	DATE	DESCRIPTION	INT
1	11/28/21	REVISED FOR AFFIDAVITANCE	JAD
0	09/02/21	ISSUED FOR CONSTRUCTION	LJM

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SHEET TITLE:  
**CAM-LOCK BOX SPECIFICATIONS**

SHEET NUMBER:  
**E-5.1**





58

CITY OF BERKELEY

LANDMARKS PRESERVATION COMMISSION

NOTICE OF DECISION

Pastor Gerald M. Powell  
Phillips Temple Church  
1424 Channing Way  
Berkeley CA 94702

Dear Dr. Powell :

The City of Berkeley adopted the Landmarks Preservation Ordinance 4694-N.S. which went into effect June 6, 1974. This Ordinance established the Landmarks Preservation Commission whose duty is to preserve and protect structures, sites or areas in the City having special historical, architectural, cultural, or educational value.

In accordance with this Ordinance, a public hearing was held on May 24, 1982, to consider landmark designation of your property, commonly known as Phillips Temple Church and located at 3332 Adeline Street. At its meeting of May 24, 1982, the Commission voted to grant your property Berkeley landmark status. The Commission specified in its decision that such designation (~~includes/excludes~~): southern one-story portion of the building added on after the property became a church.

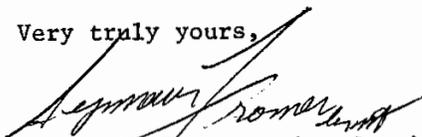
Such status means that (Section 5 of the Ordinance);

"NO PERSON SHALL CARRY OUT OR CAUSE TO BE CARRIED OUT ON A DESIGNATED LANDMARK ... ANY CONSTRUCTION, ALTERATION OR DEMOLITION FOR WHICH A CITY PERMIT IS REQUIRED, WITHOUT APPROVAL BY THE COMMISSION ... IN ADDITION, NO SUCH WORK SHALL TAKE PLACE UNLESS ALL APPLICABLE LAWS AND REGULATION HAVE BEEN COMPLIED WITH, AND A PERMIT HAS BEEN ISSUED FOR SAID WORK."

Section 9 of the Ordinance establishes the right to appeal the Commission's decision to City Council by;

"... THE VERIFIED APPLICATION OF THE OWNERS OF THE PROPERTY OR THEIR AUTHORIZED AGENTS, OR BY THE VERIFIED APPLICATION OF AT LEAST FIFTY (50) RESIDENTS OF THE CITY AGGRIEVED OR AFFECTED BY ANY DETERMINATION OF THE COMMISSION ... SUCH APPEAL SHALL BE TAKEN BY FILING A WRITTEN NOTICE OF APPEAL WITH THE CITY CLERK OF THE CITY OF BERKELEY WITHIN FIFTEEN (15) DAYS AFTER THE MAILING OF THE NOTICE OF DECISION OF THE COMMISSION."

Very truly yours,

  
Landmarks Preservation Commission

Date Mailed June 4, 1982

58

CITY OF BERKELEY  
DEPARTMENT OF HOUSING AND DEVELOPMENT

(APPLICATION REQUESTING DESIGNATION FOR LANDMARK STATUS)

ES: Ordinance 4694-N.S. Individual Landmark \$50.00 Historical Dist. \$100.00

1. Name of Property Phillips Temple Church Survey Code No. \_\_\_\_\_
2. Building  Site \_\_\_\_\_ Open Space \_\_\_\_\_
3. County Alameda 4. City Berkeley
5. Street 3332 Adeline Street
6. Vicinity (if rural) \_\_\_\_\_
7. Present Occupant Phillips Temple C.M.E. Church
8. Present Owner Phillips Temple C.M.E. Church
9. Original Owner (if known) \_\_\_\_\_
10. Date of Construction 1912 11. Style Italian Renaissance
12. Architect/Builder James W. Plachek 13. Original Use Theatre
14. Historic Value: national \_\_\_ state \_\_\_ county \_\_\_ city x neighborhood \_\_\_  
none \_\_\_
15. Architectural Value: national \_\_\_ state \_\_\_ county \_\_\_ city \_\_\_ neighbor-  
hood \_\_\_ none \_\_\_
16. Notable Garden or Landscaping: yes \_\_\_ no x
17. Photographs: contemporary \_\_\_\_\_ historical \_\_\_\_\_  
dates \_\_\_\_\_ dates \_\_\_\_\_  
photographer \_\_\_\_\_ photographer \_\_\_\_\_  
repository \_\_\_\_\_ repository \_\_\_\_\_
18. Bibliography: Published Sources \_\_\_\_\_  
Public Records \_\_\_\_\_  
Interviews \_\_\_\_\_  
Other \_\_\_\_\_
19. Block Number \_\_\_\_\_ 20. Lot No. \_\_\_\_\_ 21. Lot Size: Frontage \_\_\_\_\_  
Depth \_\_\_\_\_
22. Current Zoning Status 2 23. Adjacent Property Zoning Status \_\_\_\_\_
24. Present Use: residential (single family \_\_\_ multiple \_\_\_) office \_\_\_  
store \_\_\_ public x other \_\_\_ specify \_\_\_\_\_
25. Adjacent Property Use (check all that apply): residential (single  
family \_\_\_ multiple \_\_\_) office \_\_\_ store x public \_\_\_  
other \_\_\_ specify \_\_\_\_\_

Assessed Property Value: current [\$650,000] 5 yrs. ago [\$475,000] 10 yrs. ago \_\_\_\_\_

27. Present Condition of Property: exterior: excellent \_\_\_ good X fair \_\_\_ poor \_\_\_  
 interior: excellent X good \_\_\_ fair \_\_\_ poor \_\_\_  
 grounds: excellent \_\_\_ good X fair \_\_\_ poor \_\_\_

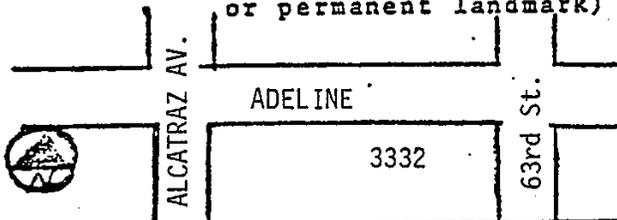
28. Property Endangered: yes \_\_\_ no X source, if yes \_\_\_\_\_

29. Potential New Property Uses: None

30. History: Briefly describe the historical significance of this property.  
 This property has served this community well over the last 60 years. Initially it served the community as a theatre. The theatre was closed in the early 50's and was re-opened as a church in 1954 and continues to serve the community in that capacity.

31. Architecture: Briefly describe the appearance of this structure. Indicate notable features as well as later alterations and changes. Include notable landscaping or natural features.

The building was remodeled in 1921 and the white plastic Italian Renaissance facade still remains with only a minor alteration on the front of the building. Original brick was placed on the front of the building rising approximately 18 feet. Otherwise, the building remains the same.

<p>32. Location Map (nearest intersection or permanent landmark)</p> 	<p>33. Photograph (Contact print from 35mm black and white photo).</p>
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34. Additional Comments or Continuation of Previous Answers

35. Recorder: Name Ashwinishill Robinson Title City Manager  
 Address 1421 - 17th St Date 11-27-22  
Barbara Robinson 415 717

# WELCOME TO THE NEW LORIN THEATRE

NEW SECTION  
THEATER SECTION

ESTABLISHED 1877.

Umbrellas were used by women in England from the seventeenth century.

A garden slug has been known to travel six feet three inches in an hour.

## LORIN THEATRE OPENS TOMORROW IN SOUTH SIDE

After being completely remodelled and enlarged, the Lorin theater will reopen tomorrow in South Berkeley as one of the most beautiful, show houses in the east district. The reopening will be observed with a parade and celebration.

The Lorin is one of a chain of theaters operated by the Beach-Krahn Amusement Company and will be under the direct management of Will Krahn, a pioneer in motion picture exhibition.

James W. Plachek, prominent local architect designed and superintended the work on the theater. The theater has been enlarged to 1,500, with 1,140 seats on the main floor and the balcony. The front of the building is a beautiful marquette addition in the classical style of architecture.

The auditorium is finished in marquette with a floor of special design. The color scheme, with velvet hangings in the auditorium, richly colored tapestry panels and plaques carry out the wall decorations. The ceiling is of plaster beams and semi-circular electric fixtures of a special design are suspended from the ceiling. Around the auditorium are decorative yellow terrazzo plaster decorations. A yellow organ has been installed at a cost of \$10,000.

From a standpoint of safety and perfect projection, the operator's room is one of the finest in the country. A special feature of the theater is the term of the latest design has been installed.

## INSTALL PHOTOPLASTER AT LORIN THEATRE

A Photoplaster, manufactured by the American Photo Plaster company of this city, will furnish music for the motion pictures at the Lorin theater, Berkeley. Photoplasters, built by the local firm are being used with success in theaters throughout the country and

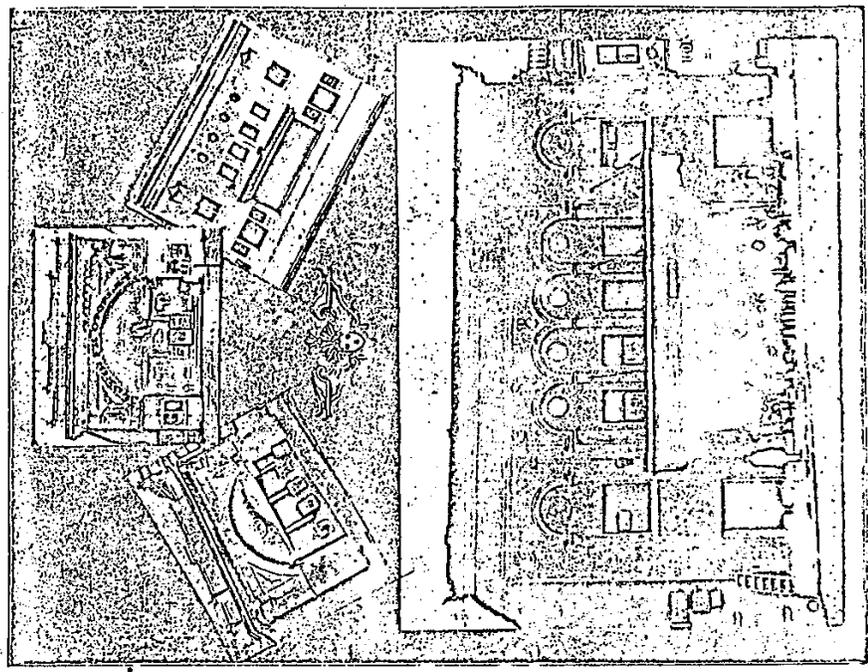
Kyle & Co.

Steel Contractors

WIRE PRODUCTS - BARS

643 CAL STREET  
SAN FRANCISCO

BERKELEY, CALIFORNIA, WEDNESDAY EVENING, JANUARY 26, 1921.



South Berkeley's motion picture houses: Upper left, original Lorin Theater, upper center, second Lorin Theater.

## SOUTH BERKELEY WILL HOLD BIG EGGSATER CELEBRATION TOMORROW

With the floats decorated, machines) the Willard school band. The number of participants and the Lions club will be represented in the procession. The parade will start at 10 o'clock and will be held for the "Boaters" of South Berkeley tomorrow. The line of floats will include a number of floats from the surrounding districts, where the boosters will be represented by booster men and other residents.

The parade starting at 10 o'clock will be led by the Willard school band of 25 members. The parade will move east on Telegraph street and then south on Telegraph to Fifty-fifth street. Proceeding down Fifty-fifth street, the parade will turn right on Grove through South Berkeley to Russell street in San Pablo avenue. The parade will then turn right on San Pablo to California street, then up California to Alcatraz, and from there back to the Lorin theater.

The City Concert. At 10 o'clock the Willard school band will play a number of selections just before the formal opening of the new show house.

Motion pictures will be taken of the parade and the most interesting events of the afternoon. There will be \$75 given away in prizes. Fifty dollars for the parade and \$25 in other prizes.

Every citizen of South Berkeley has worked for the upbuilding and its success. The parade committee has accepted a chairman, Earl Stettin has accepted a chairman, Ralph L. Elliott aided by Albert Jewel and C. D. Evans has accepted a chairman of the parade committee. In charge of the parade committee is Charles F. Moran, secretary, and W. C. Moran as treasurer of the celebration, Charles F. Moran as chairman of the parade committee.

The parade committee will have a period of time, and rarely has it been so successful. The parade will be a success and will receive many valuable gifts and legacies, writes L. S. Papp.

Parade floats and vehicles, currently re-arranged, will be a great success and will receive many valuable gifts and legacies, writes L. S. Papp.

Parade floats and vehicles, currently re-arranged, will be a great success and will receive many valuable gifts and legacies, writes L. S. Papp.

UNIVERSITY LIBRARY HAS 413,824 BOOKS

Somebody 413,824 volumes in its book stock, the university library now contains the largest number of volumes in its history, according to the annual report of H. L. Lusk, librarian.

# Local

The INDEPENDENT & GAZETTE, Thurs., Jan. 3, 1980

## Architectural heritage

# From theater to a church

**BERKELEY** — By virtue of its secular commercial origins, the Phillips Temple building at 63rd and Adeline falls into the category of storefront church — but with a difference.

It was originally the Lorin Theater, and its ready transformation into a dignified and imposing church says a great deal about the place of the movie palace in the life and architecture of the 1910s and '20s.

The 1921 remodeling, the white plaster Italian Renaissance facade we see today, was the work of James W. Plachek, leading architect of commercial and civic buildings in Berkeley in those decades. In south Berkeley at about the same time he also built the branch library, now Ebenezer Baptist Church at Grove and Woodsey, and the Rainbow Sign building, originally the Niehaus Mortuary.

When the improved and enlarged Lorin Theater opened in January 1921, South Berkeley declared Booster Week, and the Gazette devoted a whole section to the event, including a history of the theater. "Back in 1908 H. L. Beach and Will F. Krahn decided to open a theater. They secured a vacant store on Adeline

Street, directly across from the Lorin Theater. Modern fireproof buildings were unthought of at that time so the building was converted into a theater by tearing out the front and building a box office. The accessories consisted of 144 camp stools, a projecting machine, a music screen, a phonograph, and an electric piano.

A 400-seat brick building erected in 1910 became too small with the advent of the feature picture," and a new 800-seat theater — apparently the shell of Plachek's 1500-seat building — was put up in 1914.

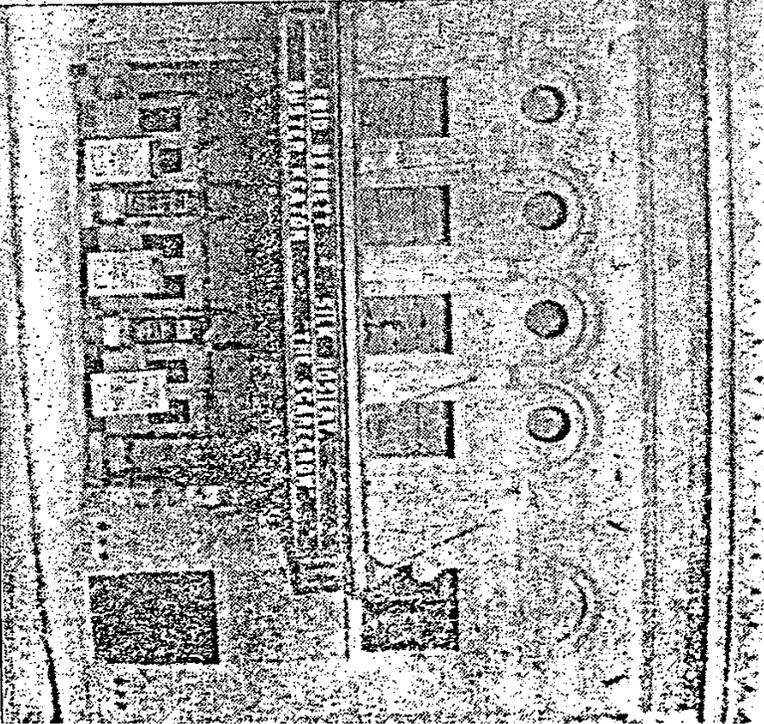
In the next three years, besides improving the Lorin, Beach and Krahn built the Strand (now Elmwood) and the Chimes on College Avenue. All three theaters served areas between Oakland and Berkeley proper — Lorin, of course, was the historic name of south Berkeley, annexed in 1892. Beach and Krahn were conscious of the special needs of neighborhood theaters, "catering to the family" and "strongly supported by the finest element in the community." "Every foot of film has had personal inspection and censorship" — "you are thankful that at the New Lorin you

never hear a jazz tune played, while real sentiment is being shown." The music, incidentally, was provided by a Fotoplayer — "Manufactured in Berkeley — Heard 'round the world" — as well as by a \$15,000 organ.

By the 1940s the neighborhoods had grown together into greater Oakland and Berkeley, and the Beach-Krahn Theaters too were absorbed by the big Golden State chain.

When theaters closed in great numbers in the 1950s, the Lorin achieved a second, ecclesiastical career, at first with the original auditorium arrangement and later divided into two floors. Its re-use was by far the grandest among its Berkeley contemporaries — of the other 1920s theaters which expired in the mid-50s, the Rivoletti at University and San Pablo, though still recognizable as a theater by its front and rear towers, is now a grocery store; and the Campus on Bancroft, near Dana completely lost its theatrical style in becoming an office building.

Photo courtesy of Mrs. James W. Plachek; commentary by Betty Marvin for Berkeley Architectural Heritage Association.



The old Lorin Theater, now the Phillips Temple

<b>MELP SCHWEEN</b> Groceries and Fruit 65-69 University Avenue	<b>ITTECOTTON HOTEL</b> Frank Weston, Mgr. Shattuck and Allison	<b>RIYI HONB &amp; FINANCE CO.</b> Bond Specialists 2072 Center Street	<b>HUSTON BROS.</b> Shoes 2126 Shattuck Avenue	<b>HITE MUSIC CO.</b> Saxophones, Brasswicks 024 Shattuck Avenue	<b>NTON H. BROWN</b> Piano Tuner and Shasta. Berk. 1220	<b>ROOS BROS.</b> Schaffner & Marx Clothes Shattuck at Allison	<b>ROY O. LONG</b> Real Estate and Loans 14 Shattuck Avenue	<b>F. J. DODSON and Lincoln</b> Scolcher Co. Shattuck at Durant	<b>Y's Battery Station</b> Exide Batteries 352 Center Street	<b>DONOGHS</b> Department Store 2126 Avenue at Bancroft	<b>LANI RIPPAP SHOP</b> Furniture & Cerpa Shattuck and Center	<b>ARLES ADAMS</b> Men's Clothing 2 Telegraph Ave
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**James W. Plachek**

James W. Plachek is among the men of today with a vision of just what is happening to this Bay Territory. What is more, he had this vision for past years when only a very few had faith in the wonderful stories of the growth of this territory.

Some years ago other thinking men realized that James Plachek, the architect, was a man of practical ideas and also of ideals. Some of these others drew out this man from his seclusion and convinced him that his plans for the future were feasible—that they stood ready to support his plans for the growth of this city, so that its people might be better amused, its children better educated, its business better transacted because of the environment of proper, practical and artistic structures. With the strength of this moral and financial support our "Jim," as he soon became known, tendered his "plans" and the entire public accepted of them. To have "Plachek Plans" for homes, school, theatres, business blocks, became the idea. And today more buildings from six story warehouses to bungalows are under construction from his plans and under his supervision than all others of his profession put together.

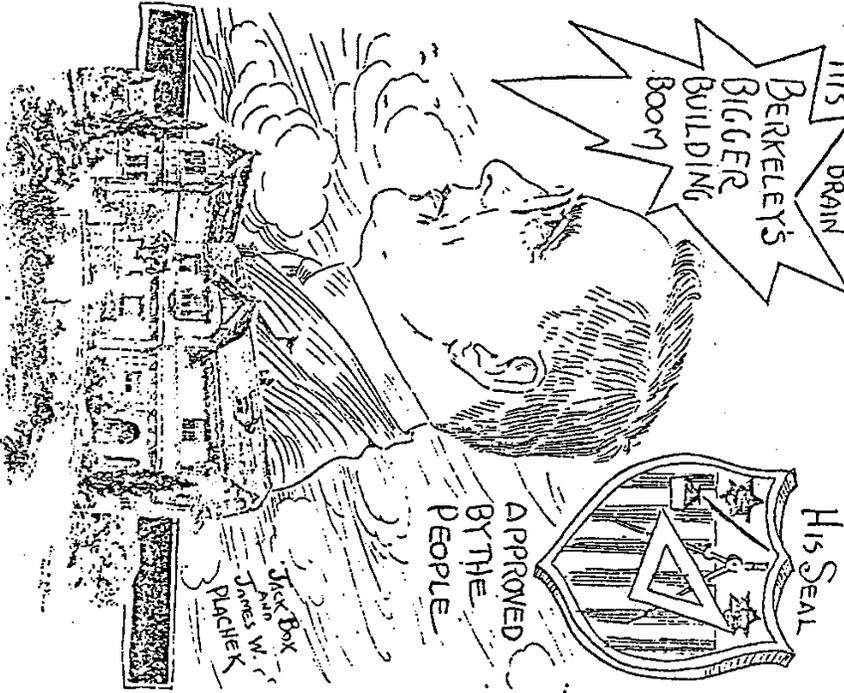
Say, that is saying a lot when you think of the wonderful amount of buildings under construction at this writing. James W. Plachek has been president of the Berkeley Chamber of Commerce, holds a directorship now in that recently reorganized body of nearly 1,000 members. He represents his craft in Rotary and is club man, and is and always has been most active in all civic and charitable drives.

We of this section of the Bay District owe Jim Plachek much because of the vision of his activity and of the quality of the product in which he deals. May he stay with us for many years to come and always be known as a friend of THE COURIER.

**One Hundred Good Reasons for Buying At Home**

<b>E. L. MCNEILL</b> Clothing and Furnishings 2021 Shattuck Avenue	<b>ENNORS</b> Bakery Fats and Confections 2148 Center Street	<b>BERKLEY HARDWARE CO.</b> Edw. A. Lund Shattuck at Durant
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**Architect and City Builder**  
By "POP OPINION"  
Berkeley Courier, April 22, 1932



2112 Shattuck Avenue	<b>W. R. BURKE</b> Jeweler 2119 Center Street	<b>HERBERT JONES</b> Haberdasher 2201 Shattuck Avenue	<b>FEDERAL LAND BANK</b> Farm Loans 2270 Shattuck Avenue	<b>E. J. McCULLAGH</b> Artistic Photographer Berkeley Hotel Bldg.	<b>JAMES W. PLACHEK</b> Architect 2014 Shattuck Avenue	<b>WHITE ELECTRIC CO.</b> Wiring and Appliances 2132 Shattuck Ave.	<b>MASON McDUFFIE CO.</b> Real Estate and Insurance Addison and Shattuck Ave.	<b>ROOSEVELT MARKET</b> A. I. Winter, Prop. 2080 University Avenue	<b>RADSTON'S</b> Office Supplies — Stationery 2225 Shattuck Avenue	<b>L. H. SERVICE &amp; CO.</b> Jewelers 2203 Shattuck Avenue	<b>A. McILLUTTER CO.</b> Department Store 2125 Shattuck	<b>THE CAKERY</b> F. A. Lewis 2705 College Avenue	<b>SCOW'S PHARMACY</b> Reliable Drug
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