

D E S I G N  
R E V I E W  
C O M M I T T E E  
S T A F F R E P O R T

For Committee Decision  
FEBRUARY 20, 2025

## 2147 SAN PABLO AVENUE PRELIMINARY DESIGN REVIEW MODIFICATION

**Design Review #MODDRCP2024-0006** to modify DRCP2022-0011 to increase the number of Group Living Accommodation (GLA) units from 128 to 141, increase the height from 70 feet to 75 feet, reduce the ground-level commercial space from 1,873 square feet to 1,804 square feet, remove the 14 parking spaces, and increase the number of Very Low Income (VLI) units from 12 to 15, utilizing a State Density Bonus.

### I. Introduction

This six-story mixed use project is located in the C-W West Berkeley Commercial District.

This project is applying under the Housing Crisis Act, SB 330, which seeks to boost homebuilding throughout the State with a focus on urbanized zones by expediting the approval process for and suspending or eliminating restrictions on housing development and limiting the number of public meetings. Housing development is defined as a project that is: all residential; a mixed-use project with at least two-thirds of the square-footage residential; or for transitional or supportive housing.

The previous design was before the Design Review Committee (DRC) on April 20, 2023 where the project received a favorable recommendation to the Zoning Adjustments Board (ZAB) with direction for Final Design Review (FDR). That summary is further on in this report for your reference. ZAB approved the Use Permit for that design on August 10, 2023. This proposed design was included with a Use Permit Modification that removed parking on the ground floor in lieu of additional residential units. While working on the programming changes, the design team also proposed design changes in response to the Committee's April 2023 Summary. This review is for the modification to the previously recommended Preliminary Design Review project.

## II. Background

This six-story, 66,049 square-foot mixed-use residential project proposes Group Living Accommodation units (GLAs), with retail at the ground floor. Typical floors have (28) GLA units, with seven units on the first floor, and 22 on the sixth floor. Each GLA resident has a private bathroom, bedroom, and kitchenette within their unit and shares common laundry, trash, living, cooking, and dining spaces located on each floor. The project includes:

- 141 GLA Units;
- Two ground floor retail spaces totaling 1,804 square feet;
- Residential lobby on San Pablo;
- Approximately 5,000 square feet of open space, including a zen garden, patio, skybridge connecting interior hallways, common balconies connecting to internal amenity spaces, and private balconies on the sixth floor;
- Indoor bicycle storage for 124 bikes.
- Short term bicycle parking on San Pablo for 12 bicycles

## III. Project Setting

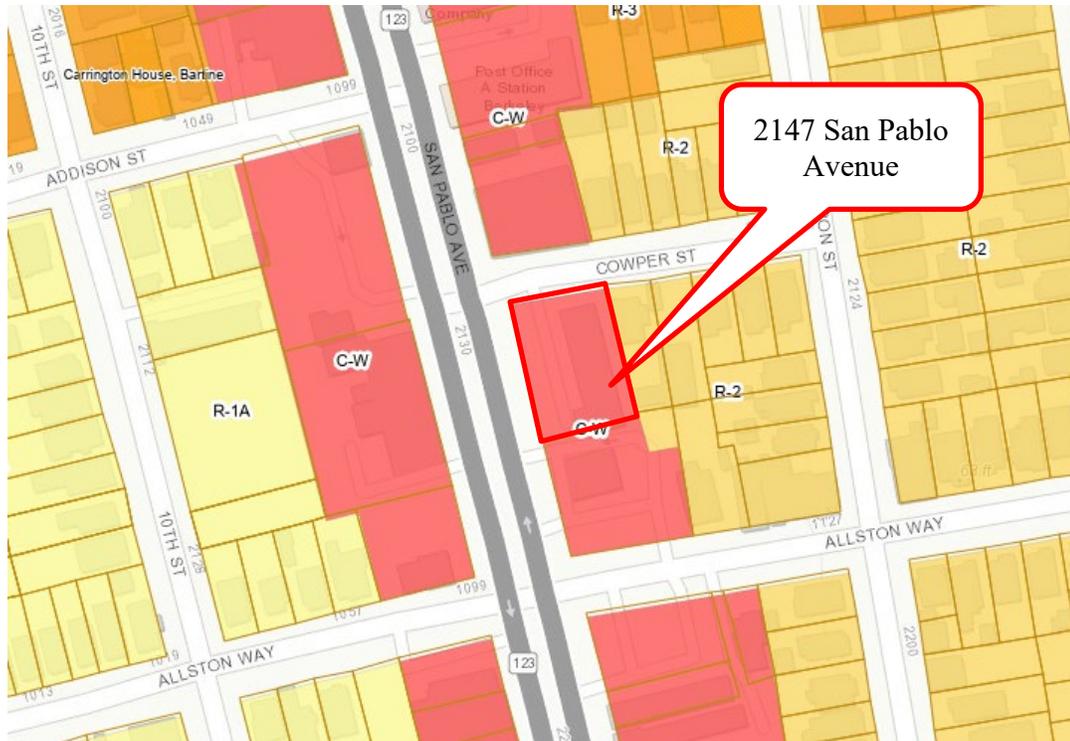
### A. Neighborhood/Area Description:

The subject site is located at the southeast corner of San Pablo and Cowper in the C-W Commercial District. Surrounding land uses are listed in Table 1 below. Surrounding building heights are typically one and two stories, except for recent built and permitted projects across San Pablo which are in line with this proposed project height.

### B. Site Conditions:

The site is currently occupied by an autobody and auto glass shop. The existing 4,928 square-foot single-story building is set at the east of the property with a surface lot comprising the remainder of the lot. The site is located along a major public transit corridor and is less than a mile from the North Berkeley BART station.

**Figure 1: Vicinity Map**



**Table 1: Land Use Information**

Location		Existing Use	Zoning District	General Plan Designation
Subject Property		Automotive Repair	C-W	Avenue Commercial (AC)
Surrounding Properties	North	Food Service Establishment	C-W	Avenue Commercial (AC)
	South	Food Service Establishment	C-W	Avenue Commercial (AC)
	East	Multi-family residential	R-2	Low Medium Density Residential (LMDR)
	West	Vacant one-story commercial building	C-W	Avenue Commercial (AC)

**Table 2: Development Standards**

West Berkeley Commercial (C-W) Standards BMC Sections 23.204.140(E), 23.322.030		Existing	Proposed Total	Permitted/ Required
Lot Area (sq. ft.)		14,571	14,571	N/A
Gross Floor Area (sq. ft.)		4,928	66,049	43,713
Floor Area Ratio		.34	4.53	3.0
Dwelling Units	Total	0	128 GLA	N/A
	Affordable	0	15 GLA	N/A
Building Height (ft. - in.)	Maximum (ft.)	20'	74'-10"	50' <sup>1</sup>
	Stories	1	6	4' <sup>1</sup>
Building Setbacks (ft.)	Front (Cowper St.)	N/A	2' min. <sup>2</sup>	20'
	Rear	N/A	5'	10'
	Left Side	N/A	5'	4'
	Right Side (San Pablo Av)	N/A	2' min.	0'
Lot Coverage (%)		34	83	100
Usable Open Space (sq. ft.)		0	4,956	No minimum for GLA's
Parking	Automobile	16	0	0
	Bicycle (includes short-term and long-term)	0	136	65
<small> <sup>1</sup> = Waiver, pursuant to State Density Bonus Law, requested to modify the district standard.  <sup>1</sup> 50 feet/4 stories allowed for mixed-use projects. The 4th floor must be used for residential or live/work purposes.  <sup>2</sup> Reduced setbacks were approved under the Use Permit per BMC Section 23.304.030(C)(2)(b). </small>				

## IV. Project Description

### A. Requested Use Permit

- Use Permit (Modification) to modify an approved discretionary permit, under Berkeley Municipal Code (BMC) Section 23.404.070

### B. CEQA Determination

Staff's recommendation is that this project is eligible for a **Class 32 Infill Exemption** (CEQA Guidelines Section 15332).

### C. Density Bonus Information

- Waiver to allow for an increase in building height up to 75', where 50' is the limit and up to 6 stories, where 4 stories is the limit.
- Waiver to allow for an increase in the floor area ratio (FAR) up to 4.53 where 3.0 is the maximum under BMC Section 23.204.140(E)(1).

## V. Design Review Guidelines

The City's Design Guidelines are applicable for this project. Excerpts from the City-wide Design Review Guidelines are included below for your reference:

- **Setbacks:** The street façade of commercial streets should be respected, in order to create or maintain the sense of urban space.
- **Parking and Driveways:** Conflict with pedestrian circulation should be prevented by the proper location and design of auto entrances.
- **Harmony with Surroundings:** The proposed design should be in harmony with its surroundings through the coordination of such design elements as cornice lines, eaves, and setbacks with those of existing neighborhood buildings.
- **Articulation:** Street facades in general and the ground floor level in particular should include elements of pedestrian scale and three-dimensional interest.
- **Lighting:** Lighting for circulation, security, building/sign identification should be non-obtrusive, except for lighting fixtures which are themselves decorative additions to the streetscape.
- **Walls and Fences:** Large, unarticulated expanses of any particular wall material that deaden the pedestrian environment should be avoided. The use of clear windows for ground floor retail projects is encouraged. Walls designed to allow sitting areas for pedestrian or space for landscaping and artwork are encouraged, especially in areas of heavy pedestrian use. Landscaping and/or art work should be maximized if large expanses of wall must be left devoid of openings.
- **Landscape and Open Space:** Sidewalk areas should include landscaping that is coordinated with the neighborhood design.
- **Building Entrances:** Entrance points should be clearly defined and easily identifiable by pedestrians by appropriate locations and by elements such as awnings, signage, artwork or changes in paving material to define the entry point.

## VI. Summary from the DRC Meeting on April 20, 2023

***Preliminary Design Review received a favorable recommendation to ZAB with the following direction for Final Design (FDR): MOTION: (Mitchell, Tam) VOTE (6-0-0-1) Kahn – recused himself.***

### **Conditions**

- *Develop planting areas at the street level to reinforce tree theme above and add interest for the pedestrian.*
- *Reconsider final details and colors of “tree trunks” and balcony slab; balcony floor appears to heavy; railing design is critical to overall aesthetic.*
- *Better integrate the corner design with the center of the façade on San Pablo; provide more organization overall.*
- *Provide a stronger cornice.*

### **Recommendations**

- *Refine the color palette and integrate throughout the building.*
- *East and South elevations need further development, and more detail.*
- *Consider more variety with window patterns.*
- *Provide more interest in the color palette, including on the back and sides.*
- *Recommend more dramatic recesses on the San Pablo façade.*
- *Recommend taller plants in the stormwater planter.*

#### **ZAB Issues**

- *Recommend more retail square footage.*
- *Look at unit layouts for livability issues.*

## **VII. Issues and Analysis**

### **A. Changes Since the Previous Submittal:**

- Parking has been removed from the ground floor plan and replaced with a common room, a 519 square foot interior courtyard, and seven ground floor units. The bike room has been expanded to accommodate 124 bicycles, and the trash room has been relocated to connect directly out to Cowper Street.
- West façade has been simplified with more prominent roofline for visual interest.
- Landscaping has been added on the Cowper streetscape where the vehicular garage entrance was previously proposed.
- Flow-through planter shifted to the Southeast corner of the property.
- Color palette has been simplified. See Sheet A2.00.

### **B. Issues for Discussion:**

- Neighborhood Context
- Massing/ Building Design
- Ground Floor Design
- Open Space Design
- Colors and Materials

## **VIII. Recommendation**

Staff recommends that the DRC discuss the above issues and forward a favorable recommendation to ZAB for the use permit modification with any conditions if necessary and specific direction for Final Design Review.

#### **Attachments:**

1. Project Plans, received February 10, 2025
2. Approved Use Permit Plans, approved April 20, 2023

**Staff Planner:** Anne Burns, aburns@cityofberkeley.info, (510) 981-7410

PROJECT DIRECTORY

<b>OWNER:</b> WANG BROTHERS INVESTMENTS, LLC 2417 MARINER SQUARE LOOP, SUITE 247 ALAMEDA, CA 94501 925.386.0285	<b>ARCHITECT:</b> LOWNEY ARCHITECTURE 360 17th STREET, SUITE 100 OAKLAND, CA 94612 ATTN: CURTIS MILLER CURTIS@LOWNEYARCH.COM 510.836.5400 510.836.5454(FAX)	<b>CIVIL:</b> BKF ENGINEERING 1646 N. CALIFORNIA BLVD., SUITE 400 WALNUT CREEK, CA 94596 ATTN: MELINDA THOMAS MELINDATHOMAS@BKF.COM 925.940.2200	<b>STRUCTURAL:</b> TIPPING 1906 SHATTUCK AVENUE BERKELEY, CA 94704 ATTN: JOY WEI J.WEI@TIPPINGSTRUCTURAL.COM 510.549.1906	<b>LANDSCAPE:</b> 122 WEST LANDSCAPE ARCH. ATTN: CHRISTIAN MACKE CMACKE@122WESTDESIGN.COM 510.525.9517
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**NEW MIXED USE RESIDENTIAL BUILDING**  
 2147 SAN PABLO AVE, BERKELEY, CA 94702



TEL 510.836.5400 URL lowneyarch.com  
 360 seventeenth street | suite 200 | oakland, california 94612  
**2147 SAN PABLO AVE HOUSING**  
 2147 San Pablo Ave, Berkeley, CA 94702

**OWNER**  
 WANG BROTHERS INVESTMENTS, LLC  
 2417 Mariner Square Loop, Suite 247  
 Alameda, CA 94501  
 Phone: 925.386.0285

BUILDING INFORMATION

<b>BUILDING INFORMATION</b>	
BUILDING ADDRESS	2147 SAN PABLO AVE, BERKELEY, CA 94702
NUMBER OF STORIES	6
ALLOWABLE AREA	72,000 SF
PROPOSED AREA	66,014 SF
ALLOWABLE HEIGHT	85'
PROPOSED HEIGHT	76'-6"
CONSTRUCTION TYPE	5 STORIES OF TYPE III-A OVER 1 STORY OF TYPE 1-A
SPRINKLER TYPE	NFPA 13
STANDPIPE CLASS	CLASS III
OCCUPANCY CLASSIFICATION	A-3,R-2,M,B,S-2
OCCUPANT LOAD	177
<b>ZONING INFORMATION</b>	
ASSESSOR'S PARCEL #	56-1983-42-1
ZONING DISTRICT	C-W
LOT SIZE	14,571 SF
OVERLAY ZONE(S)	(IF ANY)
HISTORIC DESIGNATION	(IF ANY)
<b>TENANT IMPROVEMENT INFORMATION</b>	
PROPOSED USE	2 RETAIL
PROPOSED AREA	1,804 SF
OCCUPANT TYPE	M-2
<b>PARKING INFORMATION</b>	
CAR ALLOWED	N/A
CAR PROPOSED	N/A
REQUIRED BIKE PARKING	(10 Short Term) (57 Long Term) Total 67
PROPOSED BIKE PARKING	(10 Short Term) (124 Long Term) Total 134
OPEN SPACE	3,979 SF

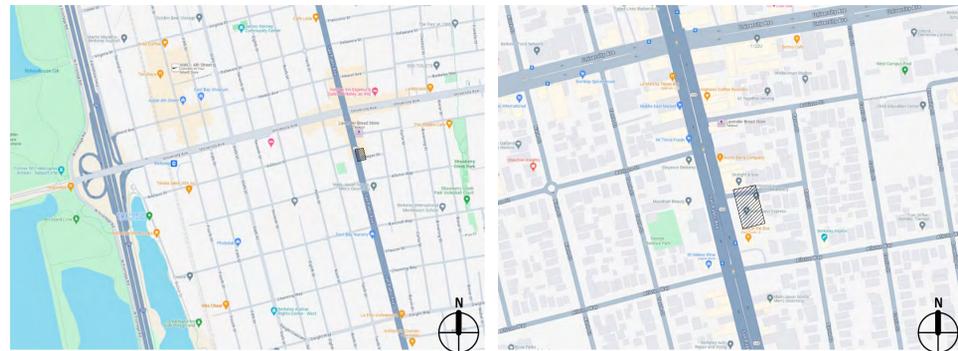
ZONING CODE INFORMATION

<b>SITE INFORMATION</b>	
ADDRESS	2147 SAN PABLO AVENUE, BERKELEY, CA 94702
APN	55-1983-42-1
ZONING DISTRICT	C-W
OVERLAY/SPECIAL DISTRICT	N/A
<b>SEISMIC SAFETY</b>	
EARTHQUAKE FAULT RUPTURE ZONE	NO
LIQUEFACTION ZONE	NO
LANDSLIDE ZONE	NO
UNREINFORCED MASONRY BUILDING INVENTORY	NO
<b>HISTORIC ZONE</b>	
LANDMARK/STRUCTURE OF MERIT	NO
<b>ENVIRONMENTAL SAFETY</b>	
CREEK BUFFER	NO
FLOOD ZONE	NO
FIRE ZONE	NO
ENVIRONMENTAL MANAGEMENT AREA	NO
<b>ADDITIONAL PARCEL INFO</b>	
REDEVELOPMENT AREA	NO
SPECIFIC PLAN (WEST BERKELEY, SS, ETC.)	NO

APPLICABLE CODES

CALIFORNIA CODE OF REGULATIONS (CCR)  
 2022 TITLE 24, PART 1 - CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE  
 2022 TITLE 24, PART 2 - CALIFORNIA BUILDING CODE  
 2022 TITLE 24, PART 2.5 - CALIFORNIA RESIDENTIAL BUILDING CODE  
 2022 TITLE 24, PART 3 - CALIFORNIA ELECTRICAL CODE  
 2022 TITLE 24, PART 4 - CALIFORNIA MECHANICAL CODE  
 2022 TITLE 24, PART 5 - CALIFORNIA PLUMBING CODE  
 2022 TITLE 24, PART 6 - CALIFORNIA ENERGY CODE  
 TITLE 8, DIVISION 1. CHAPTER 4. SUBCHAPTER 6. ELEVATOR SAFETY ORDERS  
 2022 TITLE 24, PART 8 - CALIFORNIA HISTORICAL BUILDING CODE  
 2022 TITLE 24, PART 9 - CALIFORNIA FIRE CODE  
 2022 TITLE 24, PART 10 - CALIFORNIA EXISTING BUILDING CODE  
 2022 TITLE 24, PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE  
 2022 TITLE 24, PART 12 - CALIFORNIA REFERENCE STANDARDS CODE  
 ACCESSIBILITY 2010 ADA  
 ACCESSIBILITY: 11B  
 ALL CONSTRUCTION TO COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.

PROJECT LOCATION



PROJECT DESCRIPTION

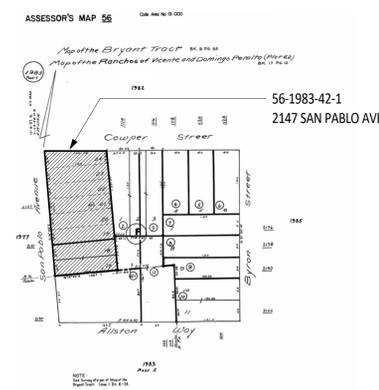
2147 SAN PABLO AVENUE IS A PROPOSED MIXED-USE DEVELOPMENT AT THE CORNER OF SAN PABLO AND COWPER STREET IN BERKELEY, CA. THE PROJECT IS A MULTI-STORY WOOD CONSTRUCTION OVER A CONCRETE PODIUM THAT INCLUDES 141 GROUP LIVING ACCOMMODATIONS AND TWO RETAIL SPACE. THE TWO RETAIL SPACES TOTAL 1,804 SF STREET LEVEL RETAIL. THE PROJECT PROVIDES THAT 15% OF THE UNITS WILL BE BELOW MARKET RATE UNITS AND INVOKES THE STATE DENSITY BONUS LAW FOR INCREASED UNIT COUNT.

THE PROJECT FEATURES OPEN SPACE FOR THE TENANTS ON THE GROUND FLOOR, 2ND FLOOR PODIUM AS WELL AS A COLLECTION OF BALCONIES AND ROOF DECKS. THE PROJECT INCLUDES A SECURED BIKE PARKING ROOM, MANAGER'S OFFICE AND RESIDENT COMMUNITY WORKSHARE SPACE.

A USE PERMIT IS REQUESTED TO DEMOLISH THE EXISTING 4,928 S.F. AUTO-GLASS SHOP AND ASSOCIATED PARKING LOT AT 2147 SAN PABLO AVENUE.

AN ADDITIONAL USE PERMIT IS REQUESTED TO BUILD A NEW MIXED-USE RESIDENTIAL BUILDING; COMPRISED OF ~1,804 S.F. OF RETAIL SPACE, & 141 RESIDENTIAL GLA (GROUP LIVING ACCOMMODATION) UNITS IN A 6-STORY, ~66,000 S.F. BUILDING.

PARCEL MAP



BUILDING DATA PER PLANNING CODE

	EXISTING	(N) PROPOSED	(N) REQ./ALLOWED	NOTES/CODE
<b>PARCEL CONDITIONS</b>				
OCCUPANCY TYPE	S1, B	M, R2		See BMC 23E.64.030
LOT AREA	14,571 SF	14,571 SF	N/A	
BUILDING FOOTPRINT	4,928 SF	12,042 SF	N/A	
LOT COVERAGE	34%	83%	N/A	
FLOOR AREA RATIO	0.34	4.53	3	Waiver for Additional FAR
<b>AREAS</b>				
RETAIL FLOOR AREAS	4,928 SF	1,804 SF	N/A	
RESIDENTIAL FLOOR AREA	0 SF	64,171 SF	See Density Bonus	
USABLE OPEN SPACE	0 SF	5,245 SF	0 SF	No UOS required for GLAs
IMPERVIOUS SURFACE AREA	12,760 SF	14,564 SF	See Civil SWCP	
GROSS FLOOR AREA	4,928 SF	66,049 SF	43,713 SF	Waiver for additional FAR
<b>HEIGHT</b>				
BUILDING HEIGHT - # OF STORIES	1	6	4	4th story allowed with residential use on top floor
BUILDING HEIGHT - FEET	20'	70'	50'	50' height allowed with residential use on top floor
<b>SETBACKS</b>				
			M, R-2	23.304.030(C)(2) (b) Modifications in Commercial Districts. For lots in a Commercial District that abut or confront one or more lots in a Residential District, the Zoning Adjustments Board (ZAB) may approve a Use Permit to allow setbacks smaller than required in Table 23.304-3 upon finding that the reduced setback would provide greater privacy or improved amenities to a lot in the Residential District. (Ord. 7890-NS §§ 34, 35, 2023; Ord. 7882-NS §§ 1...
FRONT	12'-7"	2'-0"	0', 20'-0"	
REAR	0'-0"	5'-0"	0', 10'-0"	
INTERIOR SIDE	10'-0"	5'-0", 11'-0"	0', 5'-0"	
STREET SIDE	43'-0"	2'-0"	0', 10'-0"	
<b>PARKING</b>				
BIKE PARKING (SHORT TERM)	0	12	7	(1) space per 20 GLA residents and (1) space per 2,000 SF commercial
BIKE PARKING (LONG TERM)	0	124	57	(1) space per 2.5 GLA residents
AUTO PARKING	16	0	0	Per AB 2097, no parking is required due to proximity to high-quality transit

SHEET INDEX

<b>GENERAL</b>	
G0.00	COVER SHEET
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G0.03	STREET CONTEXT PHOTOS
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G0.11	PERSPECTIVE CONTEXT PHOTO-RENDERINGS
G0.12	PERSPECTIVE CONTEXT PHOTO-RENDERINGS
G0.13	PERSPECTIVE CONTEXT PHOTO-RENDERINGS
G0.20	SHADOW STUDIES
G0.30	DENSITY BONUS DIAGRAMS AND AHCP
G0.30A	AFFORDABLE HOUSING COMPLIANCE PLAN SHEET
G0.30B	AFFORDABLE HOUSING COMPLIANCE PLAN SHEET
G0.31	USABLE OPEN SPACE CALCULATIONS
G401	ZONING CODE - BIRD SAFETY BUILDING REQUIREMENTS
<b>CIVIL</b>	
C1.0	EXISTING CONDITIONS
C3.0	GRADING AND UTILITY PLAN
SW1.0	STORMWATER CONTROL PLAN
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L-1.1	LANDSCAPE PLAN - 2ND FLOOR
L-1.2	LANDSCAPE PLAN - 6TH FLOOR
L-1.3	COURTYARD ENLARGEMENT
L-2.0	IRRIGATION CALCULATIONS
L-2.1	IRRIGATION PLAN - GROUND FLOOR
L-2.2	IRRIGATION PLAN - 2ND FLOOR
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L-3.1	PLANTING DETAILS
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L-3.3	IRRIGATION DETAILS
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A0.10	SITE PLAN - EXISTING
A0.12	LOT COVERAGE DIAGRAMS
A1.00	GROUND FLOOR AND SITE PLAN
A1.01	SECOND FLOOR PLAN
A1.02	THIRD FLOOR PLAN
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A1.04	FIFTH FLOOR PLAN
A1.05	SIXTH FLOOR PLAN
A1.06	ROOF PLAN
A2.00	ELEVATIONS AND MATERIALS
A2.01	ELEVATIONS AND MATERIALS
A3.00	BUILDING SECTIONS
A4.01	ENLARGED ROOM PLAN AND ELEVATIONS
SHEET TOTAL: 41	

DRAWN BY: RB  
 PROJECT NUMBER: OAK23-MF-035  
 SHEET ISSUE DATE: 06/21/24  
 SHEET TITLE:

COVER SHEET

SHEET NUMBER  
**GO.00**

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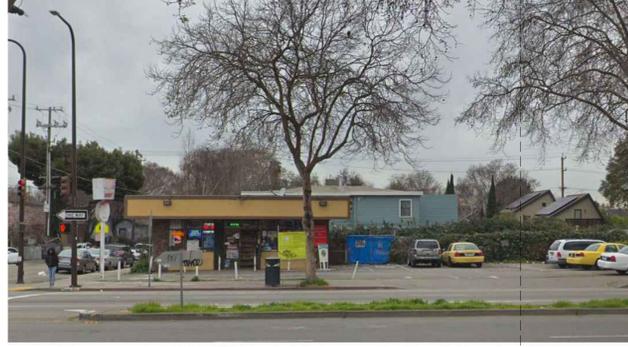
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**2147 SAN PABLO AVE  
 HOUSING**

2147 San Pablo Ave, Berkeley, CA 94702

**OWNER**  
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 Phone: 925.386.0285

2198 SAN PABLO AVE.



2154 SAN PABLO AVE.



2146 SAN PABLO AVE.

2144 SAN PABLO AVE.



2140 SAN PABLO AVE.



2100 SAN PABLO AVE.

2 SAN PABLO AVE LOOKING WEST

**SITE  
 LOCATION:**  
 2147 SAN PABLO AVE.

2115 SAN PABLO AVE.



2117 SAN PABLO AVE.



2119 SAN PABLO AVE.



2121 SAN PABLO AVE.



COWPER ST.

2197 SAN PABLO AVE.



1 SAN PABLO AVE LOOKING EAST

12/17/2024 12:37:13 PM

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 PROJECT NUMBER: OAK23-MF-035  
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 SHEET TITLE:

**STREET CONTEXT  
 PHOTOS**

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**G0.02**

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② COWPER ST. LOOKING NORTH

**SITE  
 LOCATION:**  
 2147 SAN PABLO AVE.



① COWPER ST. LOOKING SOUTH

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 SHEET ISSUE DATE: 06/21/24  
 SHEET TITLE:

**STREET CONTEXT  
 PHOTOS**

\*REVISED: 10/23/24

SHEET NUMBER  
**G0.03**

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12/17/2024 12:37:14 PM



② STREET STRIP ELEVATION - COWPER ST  
 12" = 1'-0"



① STREET STRIP ELEVATION - SAN PABLO AVENUE  
 12" = 1'-0"

**lowney**  
 arch

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**2147 SAN PABLO AVE  
 HOUSING**

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DRAWN BY: RB  
 PROJECT NUMBER: OAK23-MF-035  
 SHEET ISSUE DATE: 07/18/24  
 SHEET TITLE:

**STREET STRIP  
 ELEVATIONS**

\*REVISED: 10/23/24

SHEET NUMBER  
**GO.10**

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12/17/2024 12:37:14 PM



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 360 seventeenth street | suite 200 | oakland, california 94612

**2147 SAN PABLO AVE  
 HOUSING**

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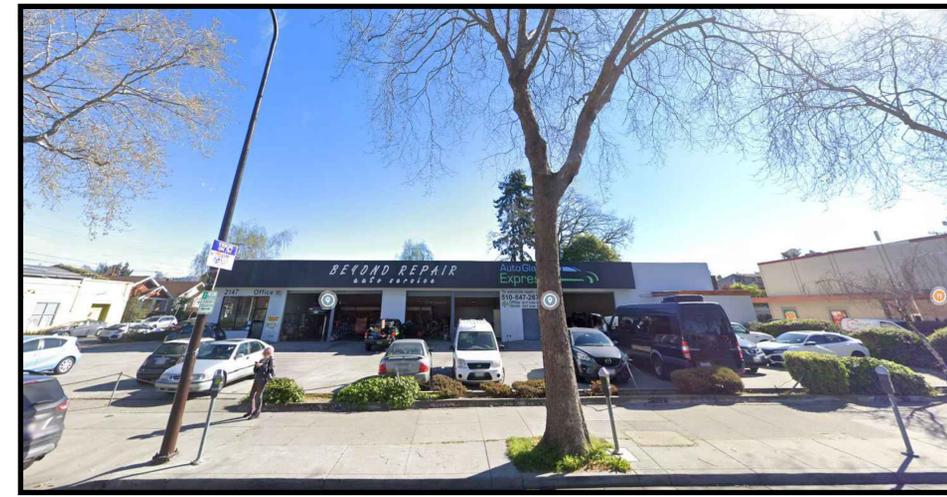
**OWNER**  
 WANG BROTHERS INVESTMENTS, LLC  
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 Alameda, CA 94501  
 Phone: 925.386.0285



KEY MAP



4 STREET VIEW FROM THE CORNER OF SAN PABLO AVE AND COWPER STREET - EXISTING  
 N.T.S.



3 STREET VIEW FROM SAN PABLO AVENUE - EXISTING  
 N.T.S.



2 STREET VIEW FROM THE CORNER OF SAN PABLO AVE AND COWPER STREET - PROPOSED  
 N.T.S.



1 STREET VIEW FROM SAN PABLO AVENUE - PROPOSED  
 N.T.S.

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 PROJECT NUMBER: OAK23-MF-035  
 SHEET ISSUE DATE: 06/21/24  
 SHEET TITLE:

**PERSPECTIVE CONTEXT  
 PHOTO-RENDERINGS**

SHEET NUMBER  
**G0.11**

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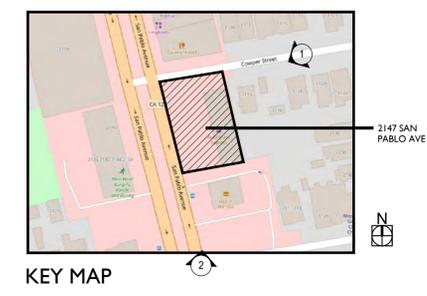


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**2147 SAN PABLO AVE HOUSING**

2147 San Pablo Ave, Berkeley, CA 94702

**OWNER**  
 WANG BROTHERS INVESTMENTS, LLC  
 2417 Mariner Square Loop, Suite 247  
 Alameda, CA 94501  
 Phone: 925.386.0285



④ STREET VIEW FROM SAN PABLO AVENUE - EXISTING  
 N.T.S.



③ STREET VIEW FROM THE CORNER OF SAN PABLO AVE AND COWPER STREET - EXISTING  
 N.T.S.



② STREET VIEW FROM SAN PABLO AVENUE - PROPOSED  
 N.T.S.



① STREET VIEW FROM THE CORNER OF SAN PABLO AVE AND COWPER STREET - PROPOSED  
 N.T.S.

DRAWN BY: RB  
 PROJECT NUMBER: OAK23-MF-035  
 SHEET ISSUE DATE: 06/21/24  
 SHEET TITLE:

**PERSPECTIVE CONTEXT PHOTO-RENDERINGS**

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**G0.12**

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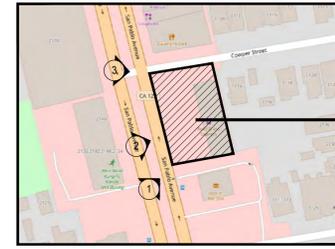


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KEY MAP



5 CORNER OF SAN PABLO AVE AND COWPER STREET - EXISTING  
 N.T.S.



4 STREET VIEW FROM SAN PABLO AVENUE - EXISTING  
 N.T.S.



3 CORNER OF SAN PABLO AVE AND COWPER STREET - PROPOSED  
 N.T.S.



2 STREET VIEW FROM SAN PABLO AVENUE - PROPOSED  
 N.T.S.



1 STREET VIEW FROM SAN PABLO AVENUE - PROPOSED  
 N.T.S.

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 PROJECT NUMBER: OAK23-MF-035  
 SHEET ISSUE DATE: 06/21/24  
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**PERSPECTIVE CONTEXT PHOTO-RENDERINGS**

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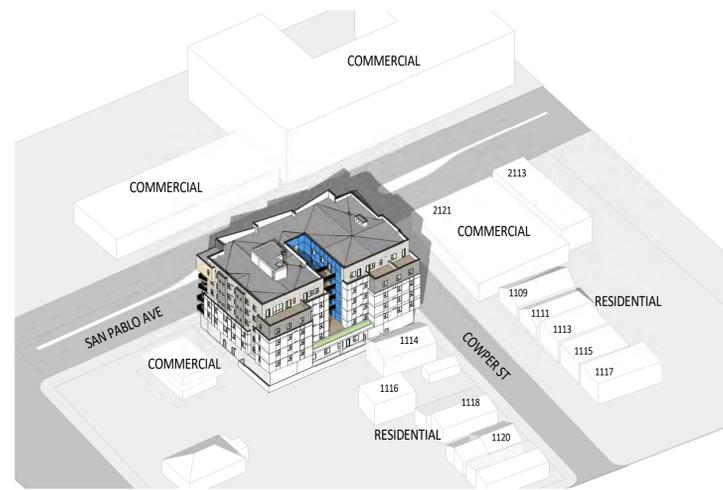


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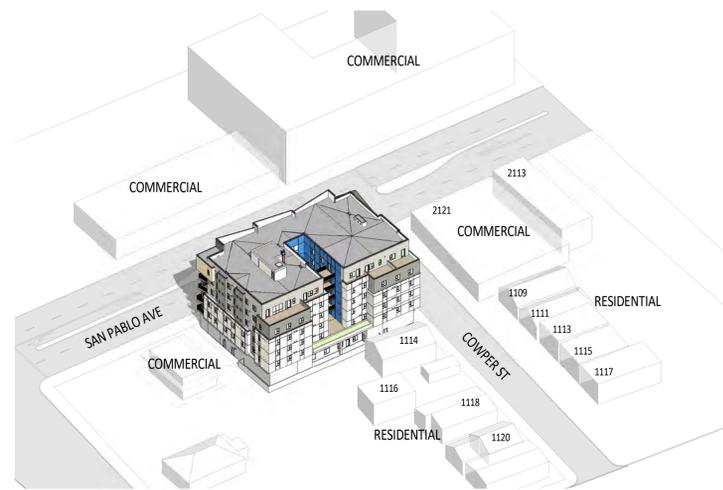
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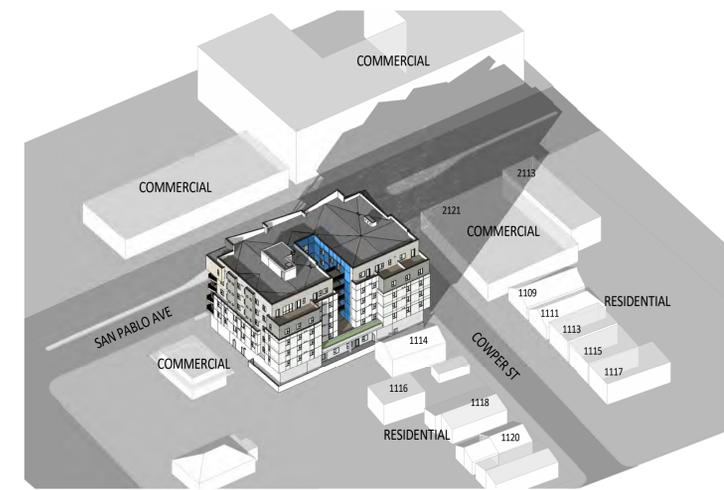
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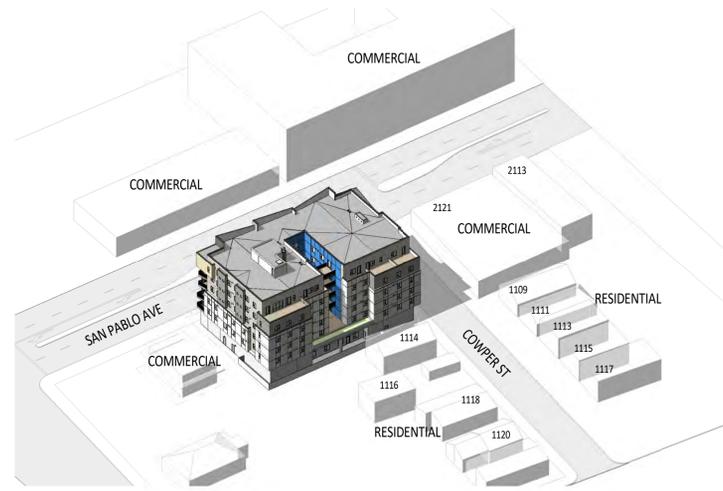
9 MARCH 21, 9 AM



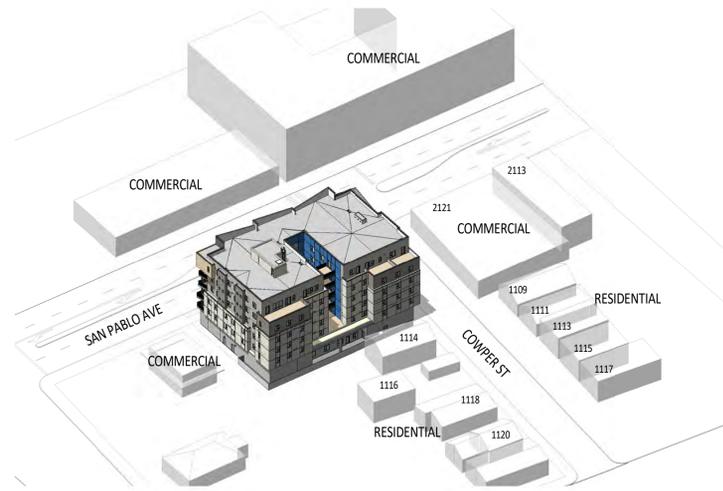
6 JUNE 21, 9 AM



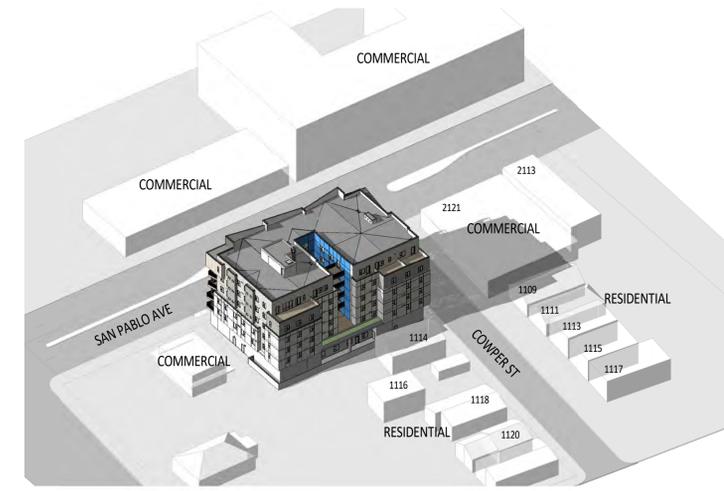
3 DECEMBER 21, 9 AM



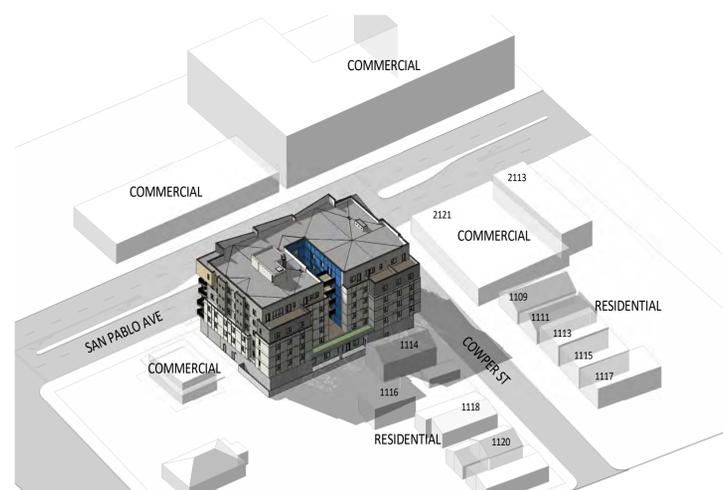
8 MARCH 21, 12 PM



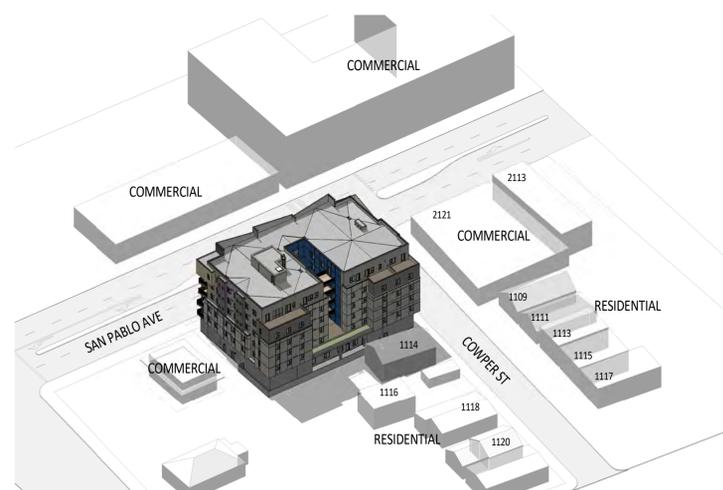
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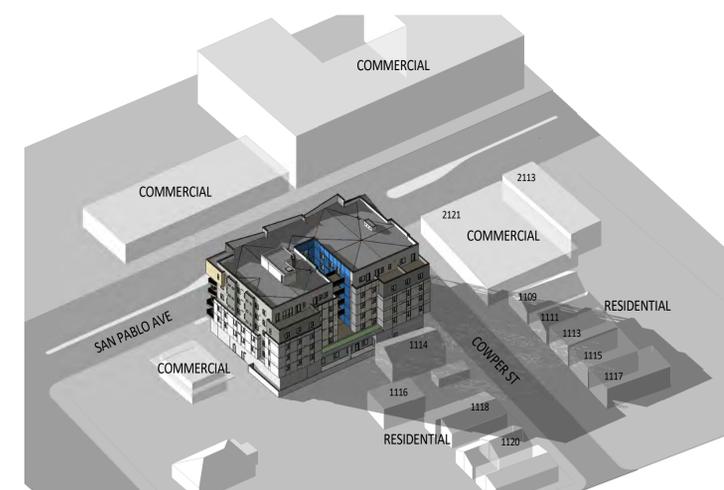
2 DECEMBER 21, 12 PM



7 MARCH 21, 3 PM



4 JUNE 21, 3 PM



1 DECEMBER 21, 3 PM

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**SHADOW STUDIES**

SHEET NUMBER

**GO.20**

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**AFFORDABILITY HOUSING COMPLIANCE PLAN AND CALCULATIONS**



7 PROPOSED BUILDING ELEVATION  
 1" = 20'-0"



6 BASE BUILDING ELEVATION  
 1" = 20'-0"

**DENSITY BONUS ANALYSIS**

BASE PROJECT		
FLOOR	AREA	UNITS
GROSS RESID. 1	6,509 SF	10
2	11,775 SF	28
3	11,775 SF	28
4	11,775 SF	28
LOT AREA	14,571 SF	
FAR	3.0	
TOTAL RESIDENTIAL (BASE PROJECT)		41,834 SF
BASE PROJECT UNITS (PROPOSED AVERAGE UNIT SIZE/PROPOSED UNITS, ROUNDED UP)		95 UNITS
TOTAL BUILDING AREA (BASE)		43,713 SF
COMPARISON: AVERAGE UNIT SIZE (BASE RFA) / (BASE UNITS)		445.05 SF
TOTAL HEIGHT (BASE)		50 FT
DENSITY BONUS		50 %
DENSITY BONUS UNITS ALLOWED		47
TOTAL UNITS ALLOWED WITH D.B.		142

**UPDATED ANALYSIS FOR 141 UNITS**

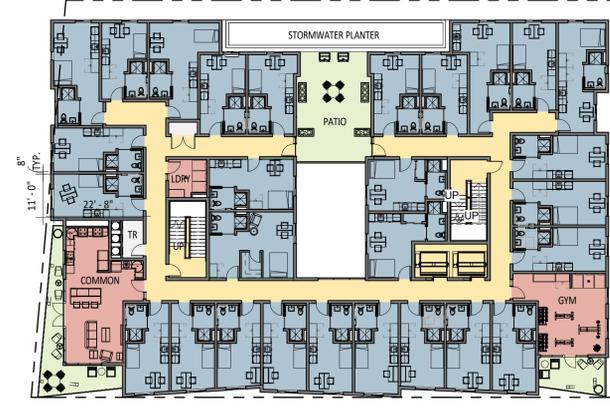
PROPOSED PROJECT		
FLOOR	AREA	UNITS
GROSS RETAIL 1	1,804 SF	
GROSS BIKE 1	1,336 SF	
GROSS UTILITY 1	1,803 SF	
GROSS RESID. 1	6,509 SF	7
2	11,070 SF	28
3	11,462 SF	28
4	11,366 SF	28
5	11,259 SF	28
6	10,212 SF	22
TOTAL UNITS	141	
FAR	4.53	
TOTAL RFA (PROPOSED)		61,878 SF
TOTAL UNITS (PROPOSED)		141 UNITS
TOTAL BUILDING AREA (PROPOSED)		69,536 SF
AVERAGE UNIT SIZE (PROPOSED) (PROPOSED RFA) / (PROPOSED UNITS)		438.84 SF
TOTAL HEIGHT (PROPOSED) (2) ADDITIONAL FLOORS FOR D.B. UNITS (TOTAL HEIGHT INCLUDES STAIR PENTHOUSE AND ELEVATOR OVERRUN)		76-6" FT
15% OF BASE PROJECT UNITS = 14.1 ROUND UP TO 15 UNITS VERY LOW INCOME PROVIDED IN EXCHANGE FOR (46) ADDITIONAL UNITS. CONSTITUTING A 48% INCREASE IN RESIDENTIAL UNITS AND GROSS RESIDENTIAL SQUARE FOOTAGE.		
DENSITY BONUS UNITS PROPOSED		46
TOTAL UNITS PROPOSED WITH D.B.		141
PERCENTAGE INCREASE OF UNITS PROPOSED		48%

**21 UNITS + 2BD MANAGER UNIT**



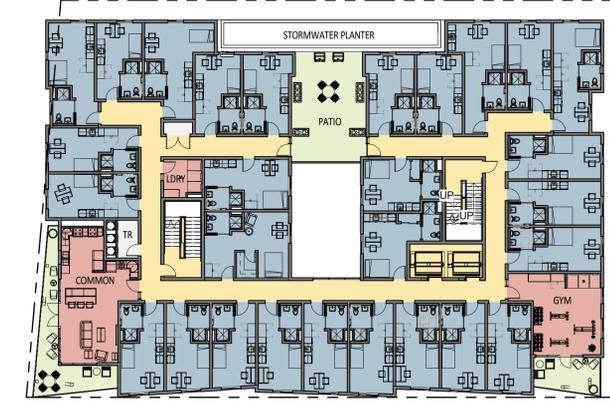
5 PROPOSED BUILDING - FLOOR 6  
 1" = 20'-0"

**28 UNITS**



4 PROPOSED BUILDING - FLOOR 2-5 (SIMILAR)  
 1" = 20'-0"

**28 UNITS**



2 BASE BUILDING - FLOOR 2-4  
 1" = 20'-0"

**7 UNITS**



3 PROPOSED BUILDING - GROUND FLOOR  
 1" = 20'-0"

**10 UNITS**



1 BASE BUILDING - GROUND FLOOR  
 1" = 20'-0"

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**DENSITY BONUS  
 DIAGRAMS AND AHCP**

SHEET NUMBER  
**GO.30**

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**AFFORDABILITY HOUSING COMPLIANCE PLAN AND CALCULATIONS**



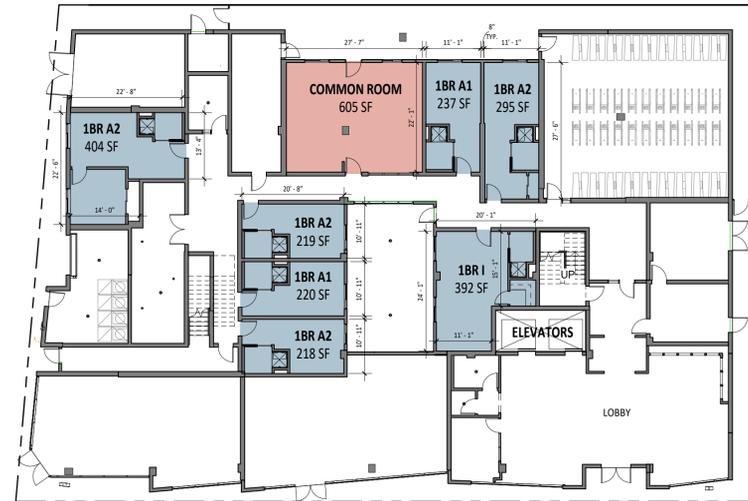
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7 UNITS



1 PROPOSED BUILDING - GROUND FLOOR  
 1/16" = 1'-0"

28 UNITS



2 PROPOSED BUILDING - FLOOR 2  
 1/16" = 1'-0"

28 UNITS



3 PROPOSED BUILDING - FLOOR 3  
 1/16" = 1'-0"

Residential Unit Floor Areas	
Name	Area
GROUND FLOOR	
1BR A1	237 SF
1BR A1	220 SF
1BR A2	295 SF
1BR A2	404 SF
1BR A2	219 SF
1BR A2	218 SF
1BR I	392 SF
ADA RR	59 SF
COMMON ROOM	605 SF
GROUND FLOOR	2,649 SF

Residential Unit Floor Areas	
Name	Area
LEVEL 2	
1BR A1	238 SF
1BR A1	227 SF
1BR A1	228 SF
1BR A1	232 SF
1BR A1	220 SF
1BR A1	232 SF
1BR A1	247 SF
1BR A1	229 SF
1BR A1	246 SF
1BR A2	238 SF
1BR A2	235 SF
1BR A2	219 SF
1BR A2	237 SF
1BR A2	226 SF
1BR A2	246 SF
1BR B1	257 SF
1BR B2	341 SF
1BR C	249 SF
1BR D	236 SF
1BR E1	285 SF
1BR F1	274 SF
1BR G1	218 SF
1BR G1	222 SF
1BR G2	209 SF
1BR G2	218 SF
1BR G2	222 SF
1BR J	300 SF
1BR K	282 SF
COMMON ROOM	507 SF
LEVEL 2	7,318 SF

Residential Unit Floor Areas	
Name	Area
LEVEL 3	
1BR A1	238 SF
1BR A1	227 SF
1BR A1	228 SF
1BR A1	232 SF
1BR A1	220 SF
1BR A1	232 SF
1BR A1	229 SF
1BR A1	246 SF
1BR A2	238 SF
1BR A2	247 SF
1BR A2	235 SF
1BR A2	219 SF
1BR A2	237 SF
1BR A2	226 SF
1BR A2	246 SF
1BR B2	341 SF
1BR B4	257 SF
1BR C	249 SF
1BR D	236 SF
1BR E1	285 SF
1BR F1	274 SF
1BR G1	218 SF
1BR G1	222 SF
1BR G2	209 SF
1BR G2	218 SF
1BR G2	222 SF
1BR J	300 SF
1BR K	282 SF
COMMON ROOM	507 SF
LEVEL 3	7,318 SF

**AFFORDABILITY HOUSING COMPLIANCE PLAN AND CALCULATIONS SUMMARY**

The project will comply with the new AHCP by paying the In-Lieu Fee. The fee of \$56.25/s.f. is applied to the GLA bedroom floor area (excluding walls) as well as common kitchens.

The total square footage of these areas is 38,238 s.f.

Of 141 units we are proving 15 units at VLI affordability levels.

AHCP requires 20% inclusionary units = 141 x 0.2 = 28.2

Total In-Lieu Fee is calculated as

(per/sf fee) \* (RSF) \* [1-(ratio of required affordable units provided)]

(\$56.25) \* (38,238) \* [1-(15/28.2)]

= \$1,010,917.12 In-Lieu Fee

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 PROJECT NUMBER: OAK23-MF-035  
 SHEET ISSUE DATE: 01/21/25  
 SHEET TITLE:

**AFFORDABLE HOUSING COMPLIANCE PLAN SHEET**

SHEET NUMBER  
**GO.30A**

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**AFFORDABILITY HOUSING COMPLIANCE PLAN AND CALCULATIONS**



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28 UNITS



1 PROPOSED BUILDING - FLOOR 4  
 1/16" = 1'-0"

28 UNITS



2 PROPOSED BUILDING - FLOOR 5  
 1/16" = 1'-0"

21 UNITS + 2BD MANAGER UNIT



3 PROPOSED BUILDING - FLOOR 6  
 1/16" = 1'-0"

**Residential Unit Floor Areas**

Name	Area
LEVEL 4	
1BR A1	237 SF
1BR A1	226 SF
1BR A1	227 SF
1BR A1	232 SF
1BR A1	219 SF
1BR A1	231 SF
1BR A1	228 SF
1BR A1	220 SF
1BR A2	237 SF
1BR A2	221 SF
1BR A2	234 SF
1BR A2	218 SF
1BR A2	236 SF
1BR A2	225 SF
1BR A2	220 SF
1BR B1	257 SF
1BR B3	240 SF
1BR C	248 SF
1BR D	235 SF
1BR E1	284 SF
1BR F1	273 SF
1BR G1	218 SF
1BR G1	222 SF
1BR G2	208 SF
1BR G2	218 SF
1BR G2	222 SF
1BR J	298 SF
1BR K	280 SF
COMMON ROOM	503 SF
LEVEL 4	7,115 SF

**Residential Unit Floor Areas**

Name	Area
LEVEL 5	
1BR A1	237 SF
1BR A1	226 SF
1BR A1	227 SF
1BR A1	232 SF
1BR A1	219 SF
1BR A1	231 SF
1BR A1	218 SF
1BR A1	221 SF
1BR A1	220 SF
1BR A2	237 SF
1BR A2	234 SF
1BR A2	218 SF
1BR A2	227 SF
1BR A2	232 SF
1BR A2	236 SF
1BR A2	219 SF
1BR A2	225 SF
1BR A2	220 SF
1BR B1	257 SF
1BR B2	342 SF
1BR C	248 SF
1BR D	235 SF
1BR E2	256 SF
1BR F2	293 SF
1BR G1	218 SF
1BR G1	222 SF
1BR G2	196 SF
1BR G2	218 SF
1BR G2	222 SF
1BR J	274 SF
1BR K	269 SF
COMMON ROOM	503 SF
LEVEL 5	7,112 SF

**Residential Unit Floor Areas**

Name	Area
LEVEL 6	
1BR A1	220 SF
1BR A1	237 SF
1BR A1	226 SF
1BR A1	227 SF
1BR A1	232 SF
1BR A1	219 SF
1BR A1	231 SF
1BR A2	237 SF
1BR A2	220 SF
1BR A2	234 SF
1BR A2	218 SF
1BR A2	236 SF
1BR A2	225 SF
1BR B1	257 SF
1BR B2	342 SF
1BR C	248 SF
1BR D	235 SF
1BR L	266 SF
1BR M	233 SF
1BR N	225 SF
1BR O	250 SF
2BR P	520 SF
COMMON ROOM	618 SF
COMMON ROOM	503 SF
LEVEL 6	6,646 SF
Grand total	38,114 SF

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**AFFORDABLE HOUSING COMPLIANCE PLAN SHEET**

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**GO.30B**

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6 PROPOSED BUILDING - FLOOR 6  
 1/16" = 1'-0"



3 PROPOSED BUILDING - FLOOR 3  
 1/16" = 1'-0"



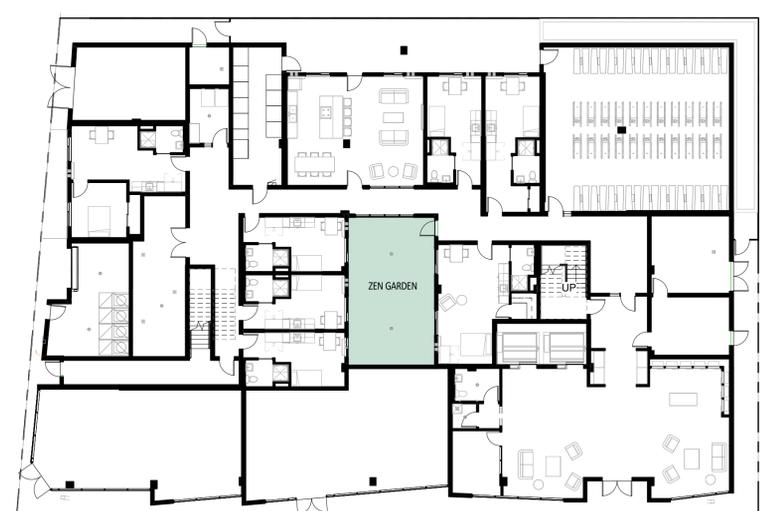
5 PROPOSED BUILDING - FLOOR 5  
 1/16" = 1'-0"



2 PROPOSED BUILDING - FLOOR 2  
 1/16" = 1'-0"



4 PROPOSED BUILDING - FLOOR 4  
 1/16" = 1'-0"



1 PROPOSED BUILDING - GROUND FLOOR  
 1/16" = 1'-0"

**USABLE OPEN SPACE SUMMARY**

FLOOR	NAME/LOCATION	AREA
GROUND FLOOR	Zen Garden	554 SF
		554 SF
LEVEL 2	Common Balcony	143 SF
LEVEL 2	NW Common Balcony	291 SF
LEVEL 2	Patio	543 SF
		978 SF
LEVEL 3	Common Balcony	152 SF
LEVEL 3	NW Common Balcony	274 SF
LEVEL 3	Sky Bridge	216 SF
		641 SF
LEVEL 4	Common Balcony	131 SF
LEVEL 4	NW Common Balcony	273 SF
LEVEL 4	Sky Bridge	220 SF
		624 SF
LEVEL 5	Common Balcony	135 SF
LEVEL 5	NW Common Balcony	274 SF
LEVEL 5	Sky Bridge	222 SF
		632 SF
LEVEL 6	Common Deck	487 SF
LEVEL 6	NW Common Balcony	287 SF
LEVEL 6	Private Balcony 1	260 SF
LEVEL 6	Private Balcony 2	272 SF
LEVEL 6	Sky Bridge	222 SF
		1,528 SF
TOTAL OPEN SPACE		4,956 SF
	PER UNIT AVERAGE	34.7 SF
	NO MINIMUM REQUIREMENTS FOR GLA'S PER BMC 23.204.140	

12/17/2024 12:37:58

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**USABLE OPEN SPACE  
 CALCULATIONS**

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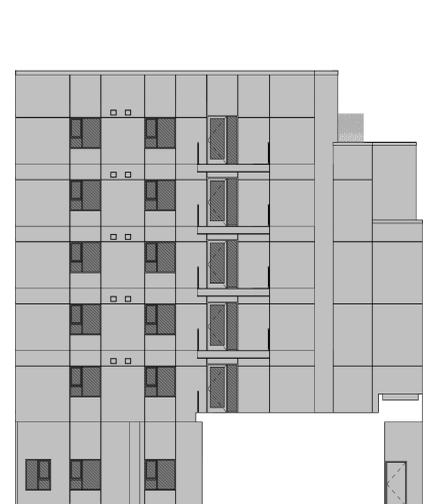


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6 COURTYARD ELEVATION A - TRANSPARENCY  
 3/32" = 1'-0"

FAÇADE AREA: 3,914 SF  
 TRANSPARENT AREA: 450 SF  
 TRANSPARENCY: 11.5%



4 SOUTH ELEVATION - FAÇADE TRANSPARENCY  
 3/32" = 1'-0"

FAÇADE AREA: 6,424 SF  
 TRANSPARENT AREA: 718 SF  
 TRANSPARENCY: 11.2%



2 WEST ELEVATION - FAÇADE TRANSPARENCY  
 3/32" = 1'-0"

FAÇADE AREA: 10,114 SF  
 TRANSPARENT AREA: 3,008 SF  
 TRANSPARENCY: 29.7%

- T.O. UPPER PARAPET 76' - 6"
- T.O. PARAPET 70' - 0"
- ROOF 65' - 0"
- LEVEL 6 55' - 0"
- LEVEL 5 45' - 0"
- LEVEL 4 35' - 0"
- LEVEL 3 25' - 0"
- LEVEL 2 15' - 0"
- GROUND FLOOR 0' - 0"



5 COURTYARD ELEVATION B - TRANSPARENCY  
 3/32" = 1'-0"

FAÇADE AREA: 3,914 SF  
 TRANSPARENT AREA: 441 SF  
 TRANSPARENCY: 11.3%



3 NORTH ELEVATION - FAÇADE TRANSPARENCY  
 3/32" = 1'-0"

FAÇADE AREA: 6,445 SF  
 TRANSPARENT AREA: 1,441 SF  
 TRANSPARENCY: 22.4%



1 EAST ELEVATION - FAÇADE TRANSPARENCY  
 3/32" = 1'-0"

FAÇADE AREA: 9,768 SF  
 TRANSPARENT AREA: 1,679 SF  
 TRANSPARENCY: 17.2%

- T.O. UPPER PARAPET 76' - 6"
- T.O. PARAPET 70' - 0"
- ROOF 65' - 0"
- LEVEL 6 55' - 0"
- LEVEL 5 45' - 0"
- LEVEL 4 35' - 0"
- LEVEL 3 25' - 0"
- LEVEL 2 15' - 0"
- GROUND FLOOR 0' - 0"

CHECKED BY: Checker  
 PROJECT NUMBER: OAK23-MF-035  
 CONSULTANT PROJECT NO:  
 SHEET TITLE:

**ZONING CODE - BIRD  
 SAFE BUILDING  
 REQUIREMENTS**

SHEET NUMBER  
**G401**

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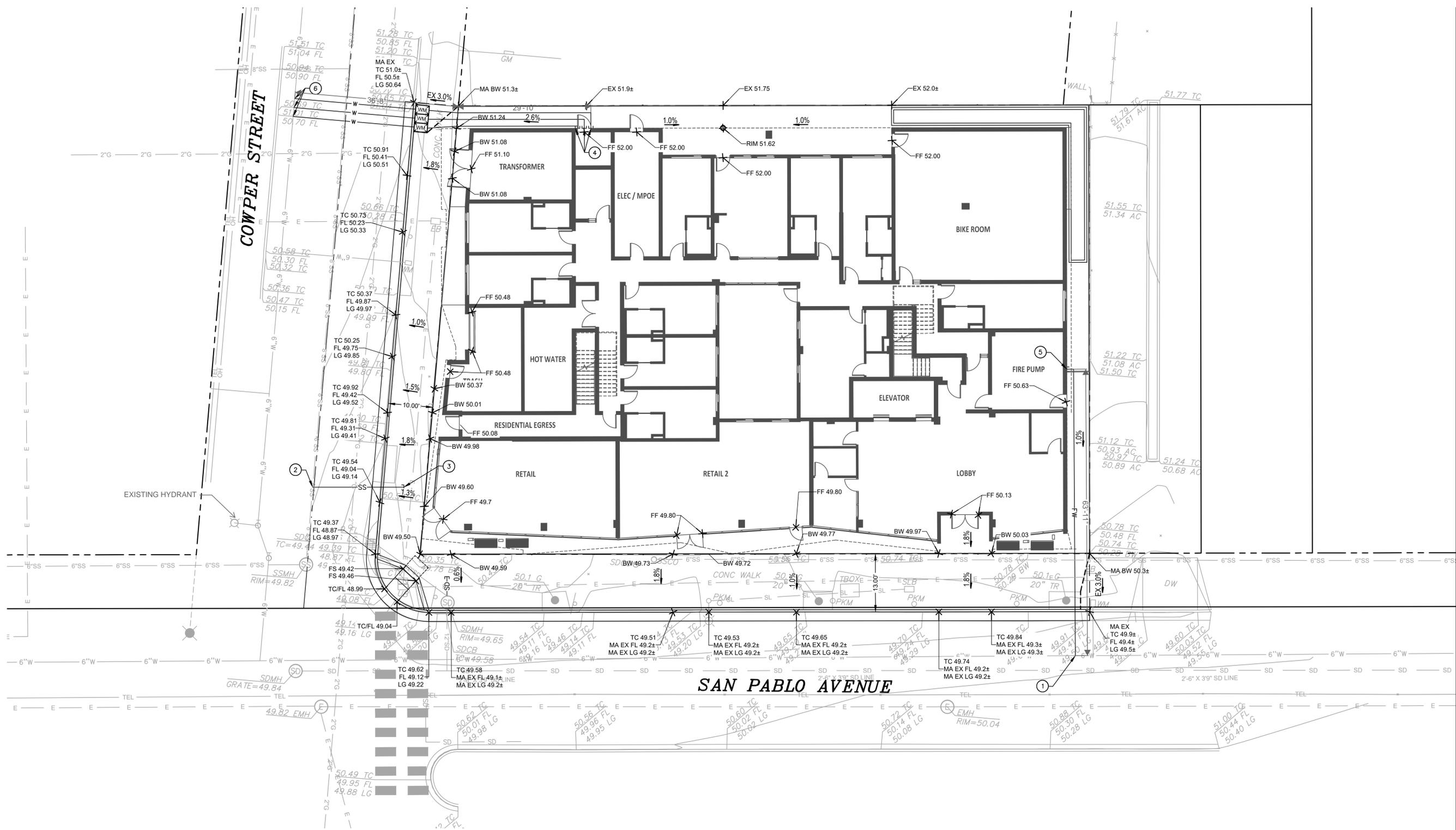
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 ph: 510.841.3555 fax: 510.841.1225  
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 BERKELEY, CA

BKF ENGINEERS  
 200 4th STREET  
 SUITE 300  
 SANTA ROSA, CA 95401  
 (707) 583-8500  
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DESIGN  
 DEVELOPMENT



**LEGEND**

	PROPERTY LINE
	NEW CONCRETE
	STORM DRAIN LINE
	SANITARY SEWER LINE
	WATER LINE
	GRADE BREAK

- NOTES**
- THE UTILITIES SHOWN ON THIS PLAN AREA DERIVED FROM RECORD DATA AND/OR SURFACE OBSERVATION AND ARE APPROXIMATE ONLY. ACTUAL LOCATION AND SIZE, TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD PRIOR TO CONSTRUCTION.
  - ALL EXISTING UNDERGROUND IN THE PUBLIC RIGHT OF WAY SHALL BE PROTECTED UNLESS OTHERWISE NOTED.
  - ALL EXISTING UTILITY BOXES, STRUCTURES, MANHOLES AND VALVES WITHIN THE LIMIT OF WORK SHALL BE ADJUSTED TO FINAL GRADE UNLESS OTHERWISE NOTED.
  - GRADING OPERATIONS WILL OCCUR OVER EXISTING UTILITIES. CONTRACTOR SHALL EXERCISE THE NECESSARY CARE TO ENSURE EXISTING UTILITIES ARE NOT DAMAGED OR EXPERIENCE ANY INTERRUPTION IN SERVICE. ANY UTILITIES DAMAGED DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED TO ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR.
  - ORDER OF WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PHASED SUCH THAT CLOSURE OF PUBLIC FACILITIES ARE MINIMIZED.
  - CONTRACTOR SHALL VERIFY EXACT LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF WORK.

- ABBREVIATIONS**
- |      |                  |     |                |
|------|------------------|-----|----------------|
| AC   | ASPHALT CONCRETE | INV | INVERT         |
| BLDG | BUILDING         | MH  | MANHOLE        |
| BW   | BACK OF WALK     | OH  | OVERHEAD LINES |
| CC   | CONCRETE         | SD  | STORM DRAIN    |
| CL   | CENTERLINE       | SL  | STREET LIGHT   |
| CO   | CLEANOUT         | SS  | SANITARY SEWER |
| DI   | DRAIN INLET      | T   | TELEPHONE      |
| E    | ELECTRICAL       | TC  | TOP OF CURB    |
| EL   | ELEVATION        | TOW | TOP OF WALL    |
| ES   | EXISTING SURFACE | TYP | TYPICAL        |
| FL   | FLOWLINE         | W   | WATER          |
| FS   | FINISHED SURFACE | WM  | WATER METER    |
| G    | GAS              | WV  | WATER VALVE    |
| GB   | GRADE BREAK      |     |                |
| GD   | GRADE            |     |                |
| GV   | GAS VALVE        |     |                |
- KEY NOTES**
- PR. WATER CONNECT TO EX. 6" DOMESTIC WATER MAIN
  - PR. 6" SS LINE CONNECT TO EX. 8" SEWER MAIN
  - PR. 8" SS P.O.C. (SEE PLUMBING PLANS FOR CONTINUATION)
  - PR. DOMESTIC WATER P.O.C. (SEE PLUMBING PLANS FOR CONTINUATION)
  - PR. 6" FIRE WATER P.O.C. (SEE PLUMBING PLANS FOR CONTINUATION)

**ABBREVIATIONS**

AC	ASPHALT CONCRETE	INV	INVERT
BLDG	BUILDING	MH	MANHOLE
BW	BACK OF WALK	OH	OVERHEAD LINES
CC	CONCRETE	SD	STORM DRAIN
CL	CENTERLINE	SL	STREET LIGHT
CO	CLEANOUT	SS	SANITARY SEWER
DI	DRAIN INLET	T	TELEPHONE
E	ELECTRICAL	TC	TOP OF CURB
EL	ELEVATION	TOW	TOP OF WALL
ES	EXISTING SURFACE	TYP	TYPICAL
FL	FLOWLINE	W	WATER
FS	FINISHED SURFACE	WM	WATER METER
G	GAS	WV	WATER VALVE
GB	GRADE BREAK		
GD	GRADE		
GV	GAS VALVE		

**PROJECT ISSUE RECORD:**

DATE	DESCRIPTION
05/16/2024	SCHEMATIC DESIGN
05/16/2024	100% DESIGN DEVELOPMENT

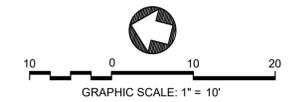
DRAWN BY: S.REESE  
 CHECKED BY: M.THOMAS  
 PROJECT #: KWP06  
 ISSUE DATE: 05/16/2024

**GRADING AND UTILITY PLAN**



Know what's below.  
 Call before you dig.

**C3.0**







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SAN PABLO AVENUE GROUP LIVING ACCOMMODATION  
 LANDSCAPE PLANS  
 2147 SAN PABLO AVE, BERKELEY, CA

PHASE AGENCY RESUBMITTAL  
 DATE 01/22/2025

REVISIONS

No.	Description	Date

LANDSCAPE PLAN  
 GROUND FLOOR

L-1.0

**SHEET INDEX**

L-1.0	LANDSCAPE PLAN - GROUND FLOOR
L-1.1	LANDSCAPE PLAN - 2ND FLOOR
L-1.2	LANDSCAPE PLAN - 6TH FLOOR
L-1.3	COURTYARD ENLARGEMENT
L-2.0	IRRIGATION CALCULATIONS
L-2.1	IRRIGATION PLAN - GROUND FLOOR
L-2.2	IRRIGATION PLAN - 2ND FLOOR
L-2.3	IRRIGATION PLAN - 6TH FLOOR
L-3.0	PLANTER POT DETAILS
L-3.1	PLANTING DETAILS
L-3.2	IRRIGATION DETAILS
L-3.3	IRRIGATION DETAILS

**MATERIALS SCHEDULE**

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL & SIZE	COLOR	NOTES
P-1	DECOMPOSED GRANITE	AMERICAN SOIL & STONE	PENDING SAMPLES OF CRUSHED ROCK	MEDIUM GRAY	270 SF
P-2	PRECAST PAVERS	CALSTONE	LARGE FORMAT LINEAR TBD	TBD	695 SF
P-3	NATURAL GRAY CONCRETE SIDEWALK PAVING AND SCORING TO ADHERE TO CITY STANDARDS				

**NOTES:**  
 1. ALL PAVERS AND PAVER COLOR SELECTIONS ARE FOR DESIGN INTENT AND COORDINATION PURPOSES ONLY.



**PLANT SCHEDULE**

**STREETSCAPE PLANTING** \* after botanical name indicates native CA species

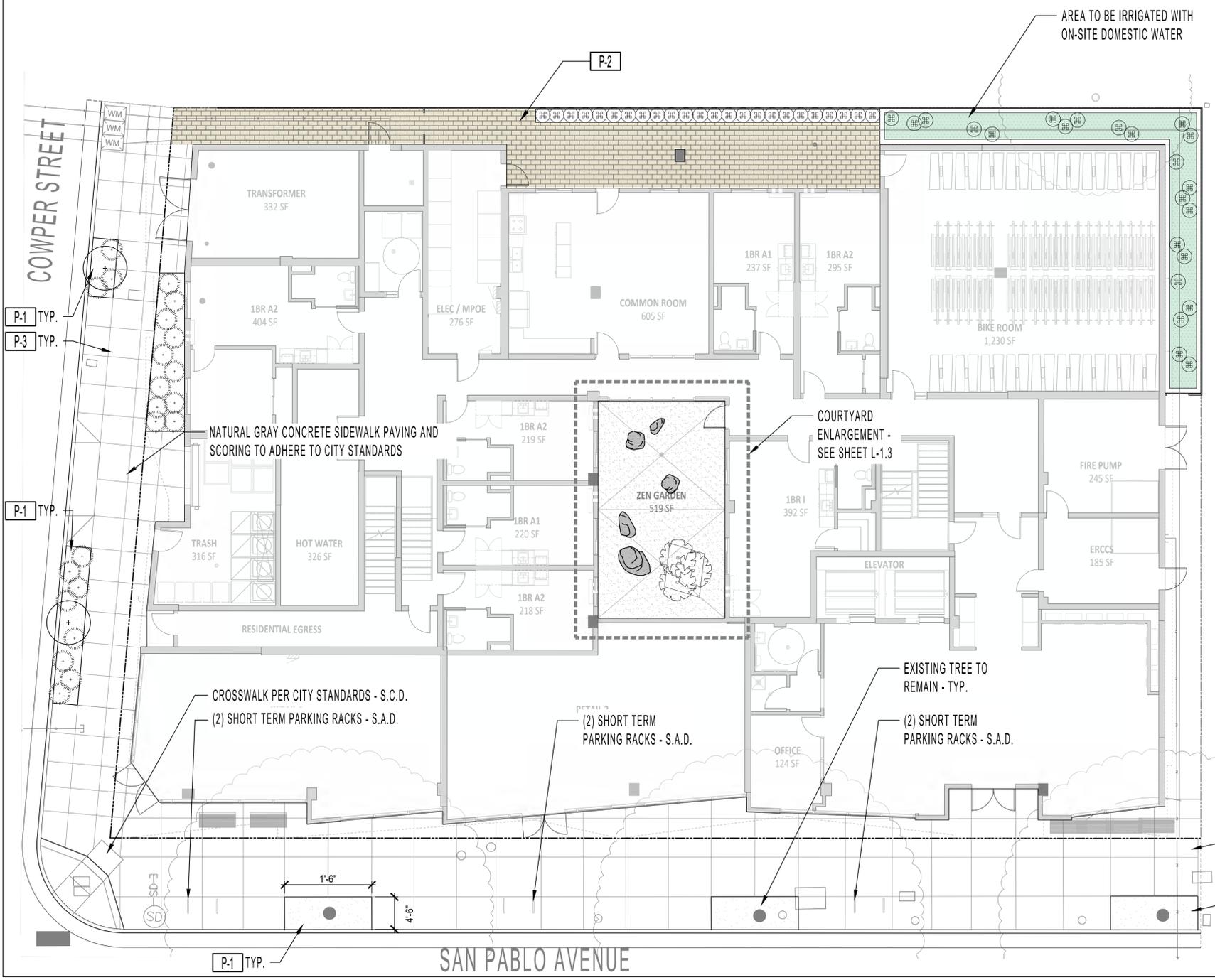
SYMBOL	STREET	SPECIES	NOTES
○	SAN PABLO AVENUE	LONDON PLANE TREE (EXISTING)	ALL EXISTING STREET TREES TO BE EVALUATED FOR PRUNING AND SOIL AMENDMENTS PRIOR TO CONSTRUCTION BY A CERTIFIED ARBORIST.
●	COWPER STREET	COAST LIVE OAK <i>Quercus agrifolia</i> *	24" BOX, PROPOSED LOCATIONS PER PLAN
⊙	COWPER STREET	MAIRE'S FESCUE <i>Festuca mairei</i>	#5, PROPOSED LOCATIONS PER PLAN

**FLOW-THROUGH (C-3) PLANTER - SEE CIVIL DRAWINGS FOR WALL DETAIL**

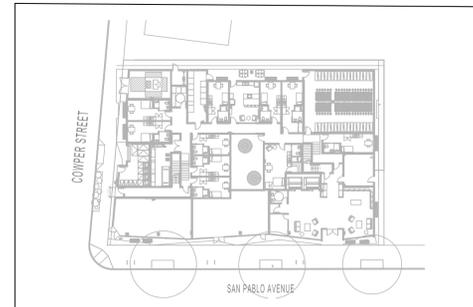
SYMBOL	MIX(%)	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	WUCOLS
■	80%	CALIFORNIA GRAY RUSH	<i>Juncus patens</i> *	#5 Min.	30" O.C.	Low
■	20%	FORTNIGHT LILY	<i>Diets iridioides</i>	#5 Min.	Per Plan	Low

**COMMON SPACE PLANTING**

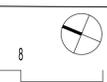
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	WUCOLS
⊙	FORTNIGHT LILY	<i>Diets iridioides</i>	#5 Min.	Per Plan	Low



**KEYMAP - GROUND FLOOR**



**NOTES**  
 1. SITE PLAN INFORMATION DERIVED FROM ARCHITECTURAL PLANS DATED 07/22/2024.



### LANDSCAPE MATERIALS SCHEDULE

#### PLANTER POTS / WALL

SYMBOL	DESCRIPTION	MANUFACTURER / MODEL	COLOR, FINISH	TYPE	QUANTITY	PLANTING AREA
PT-2	FRP 48"x24"x42" PLANTER	TOURNESOL / MODEL #WR-482442	TBD	FRP	2	6.56 SF
PT-3	FRP 60"x24"x42" PLANTER	TOURNESOL / MODEL #WR-602442	TBD		4	8.31 SF
PT-4	FRP 120"x24"x42" PLANTER	TOURNESOL / MODEL #WR-1202442	TBD		1	17 SF

**NOTES:**

1. PLANTERS TO BE PLUMBED FOR IRRIGATION AND DRAINAGE FROM BELOW. SEE DETAIL ON SHEET L-3.0
2. TOURNESOL CONTACT: JENECE COMO - TOURNESOL - PH: 510 305 5035
3. PLANTER POT SOIL MIX - 'ULTRA POTTING MIX' BY AMERICAN SOIL AND STONE. CONTACT: 510-292-3000 - NO ONSITE SOILS TO BE USED IN POTS.

#### PLANT SCHEDULE

##### PATIO PLANTERS

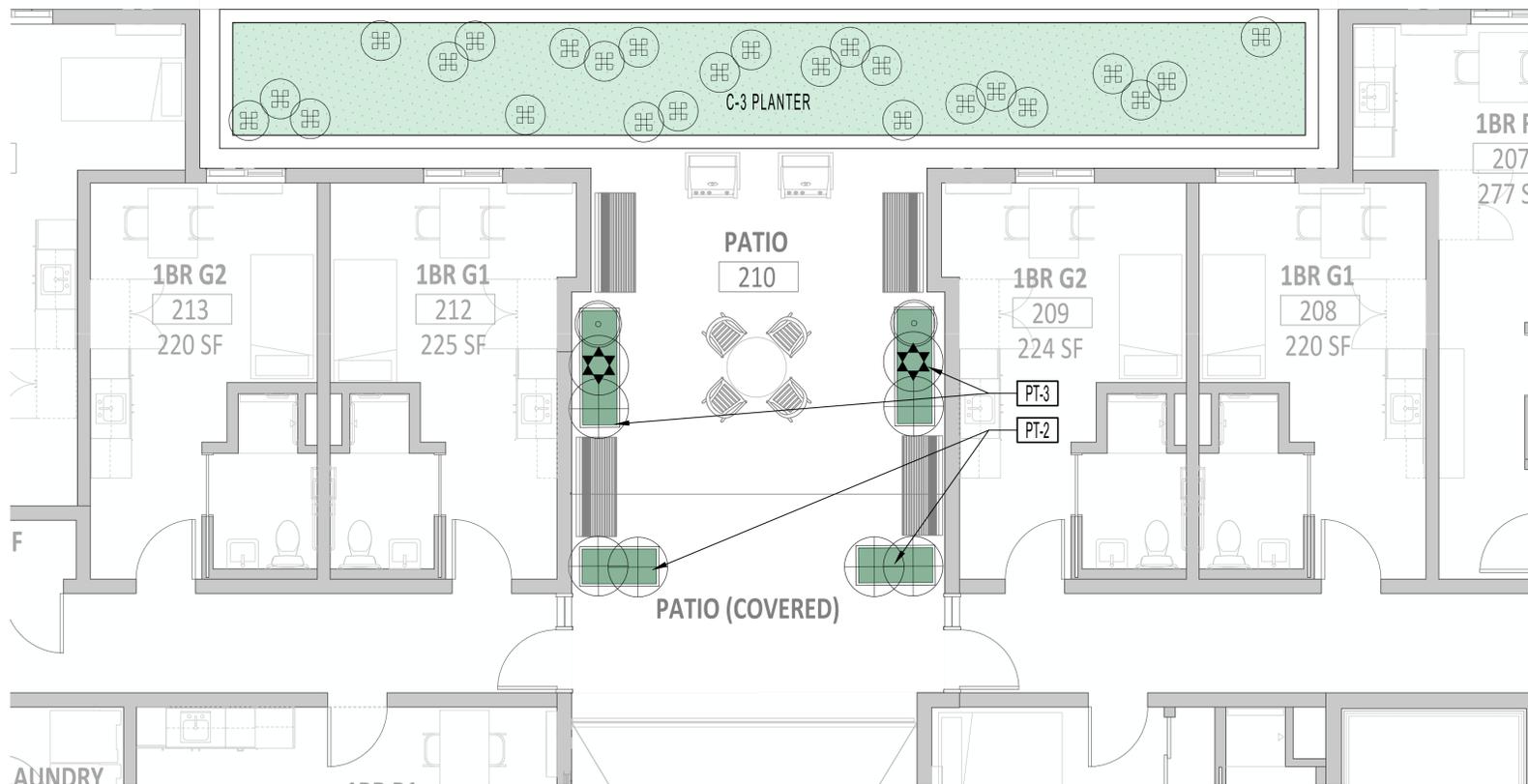
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	WUCOLS
	CAST IRON PLANT	Aspidistra elatior	#5 Min.	Per Plan	LOW
	TASSEL FERN	Polystichum polyblepharum	#5 Min.	Per Plan	MOD
	WESTERN SWORD FERN	Polystichum munitum	#5 Min.	Per Plan	MOD

\* after botanical name indicates native CA species

##### FLOW-THROUGH (C-3) PLANTER - SEE CIVIL DRAWINGS FOR WALL DETAIL

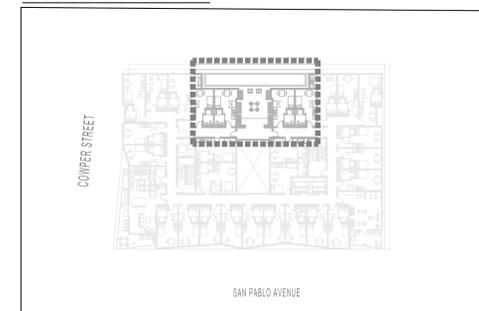
SYMBOL	MIX(%)	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	WUCOLS
	80%	CALIFORNIA GRAY RUSH	Juncus patens*	#5 Min.	30" O.C.	Low
	20%	FORTNIGHT LILY	Diets iridioides	#5 Min.	Per Plan	Low

IRIS DOUGLASIANA - C3 FLOW THROUGH PLANTER



2ND FLOOR - PATIO PLAN

#### KEYMAP - 2ND FLOOR



**NOTES**  
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REVISIONS		
No.	Description	Date

#### LANDSCAPE PLAN 2ND FLOOR

L-1.1

### LANDSCAPE MATERIALS SCHEDULE

#### PLANTER POTS / WALL

SYMBOL	DESCRIPTION	MANUFACTURER / MODEL	COLOR, FINISH	TYPE	QUANTITY	PLANTING AREA
PT-2	FRP 48"x24"x42" PLANTER	TOURNESOL / MODEL #WR-482442	TBD	FRP	2	6.56 SF
PT-3	FRP 60"x24"x42" PLANTER	TOURNESOL / MODEL #WR-602442	TBD		4	8.31 SF
PT-4	FRP 120"x24"x42" PLANTER	TOURNESOL / MODEL #WR-1202442	TBD		1	17 SF

**NOTES:**

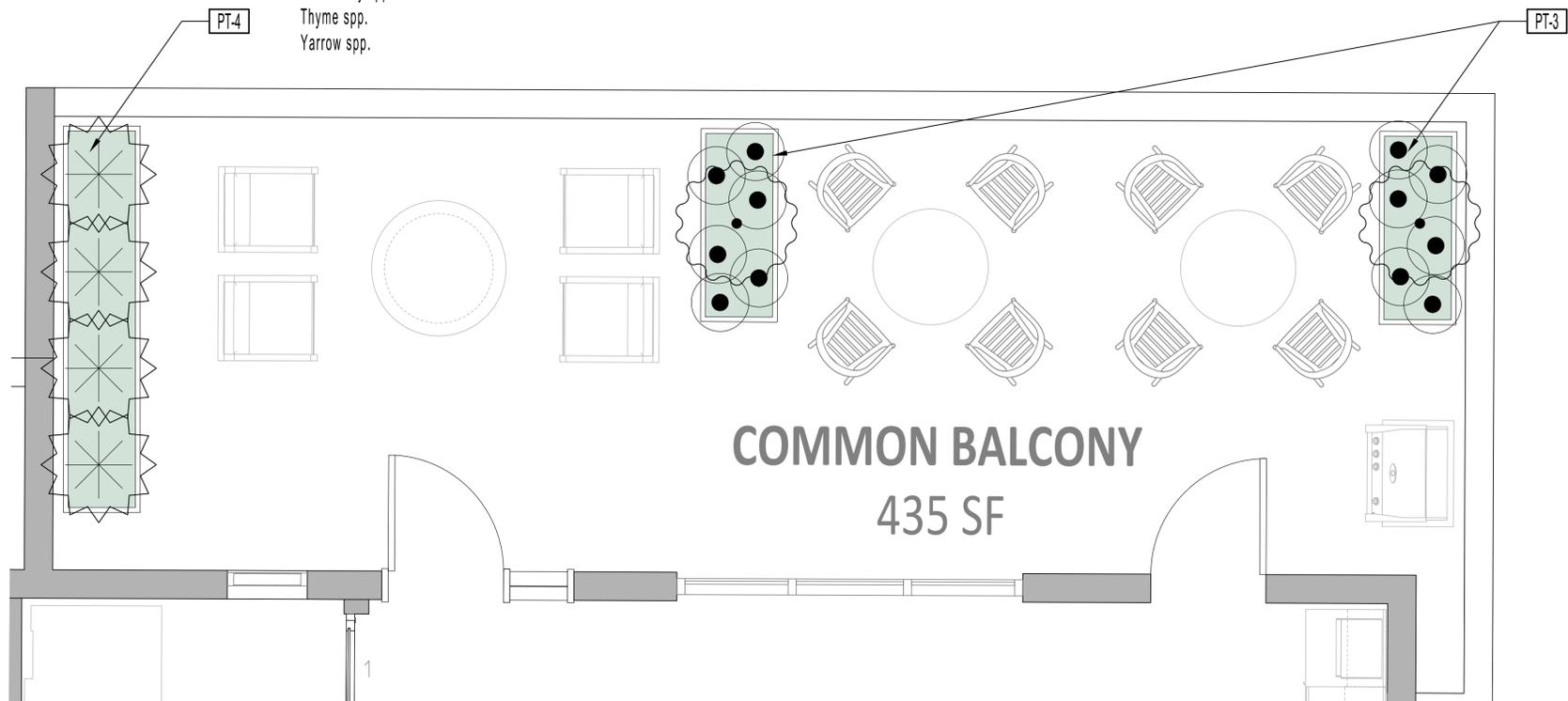
1. PLANTERS TO BE PLUMBED FOR IRRIGATION AND DRAINAGE FROM BELOW. SEE DETAIL ON SHEET L-3.0
2. TOURNESOL CONTACT: JENECE COMO - TOURNESOL - PH: 510 305 5035
3. PLANTER POT SOIL MIX - 'ULTRA POTTING MIX' BY AMERICAN SOIL AND STONE. CONTACT: 510-292-3000 - NO ONSITE SOILS TO BE USED IN POTS.

#### PLANT SCHEDULE

##### ROOFDECK PLANTERS

\* after botanical name indicates native CA species

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	WUCOLS
	Dwarf Citrus Trees	Citrus 'Bears' Dwarf Citrus 'Improved Meyer' Dwarf	#15	Per Plan	MOD
	ACCENT SHRUB	Laurus nobilis 'Saratoga'	#15	Per Plan	LOW
	NATIVE PERENNIALS AND CULINARY HERBS (BEST AVAILABLE AT TIME OF ORDERING)	Hyssop spp. Oregano spp. Penstemon spp. Rosemary spp. Salvia spp. Strawberry spp. Thyme spp. Yarrow spp.	#1	24" O.C.	MOD



6TH FLOOR PLAN



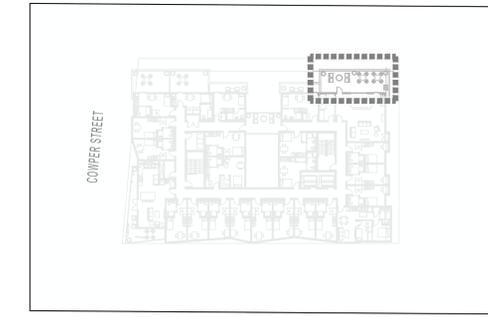
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#### KEYMAP - 6TH FLOOR



**NOTES**  
 1. SITE PLAN INFORMATION DERIVED FROM ARCHITECTURAL PLANS DATED 07/22/2024.



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No.	Description	Date

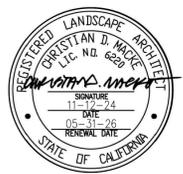
#### LANDSCAPE PLAN 6th FLOOR

L-1.2



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**MATERIALS SCHEDULE**

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL & SIZE	COLOR / FINISH	NOTES
P-4	ZEN GARDEN PAVING (6" DEPTH MIN.)	AMERICAN SOIL & STONE	3/8" CRUSHED ROCK - TEA GARDEN / FRENCH COUNTRY / BLACK BASALT - TBD PENDING SAMPLES		500 SF
S-1	LANDSCAPE BOULDERS	MOSS ROCK	1 6-8'x3-4'x3-4' 2 5-4'x3'x3' 2 3-4'x3'x3'	TBD	LANDSCAPE ARCHITECT TO TAG & DETERMINE FINAL LOCATIONS.
PT-1	CUSTOM ALUMINUM PLANTER	TOURNESOL	CUSTOM - 6'x5'x2' BASE: FREESTANDING EDGE: LIP	TBD	CONTACT: JENECE COMO PH: 510-305-5035

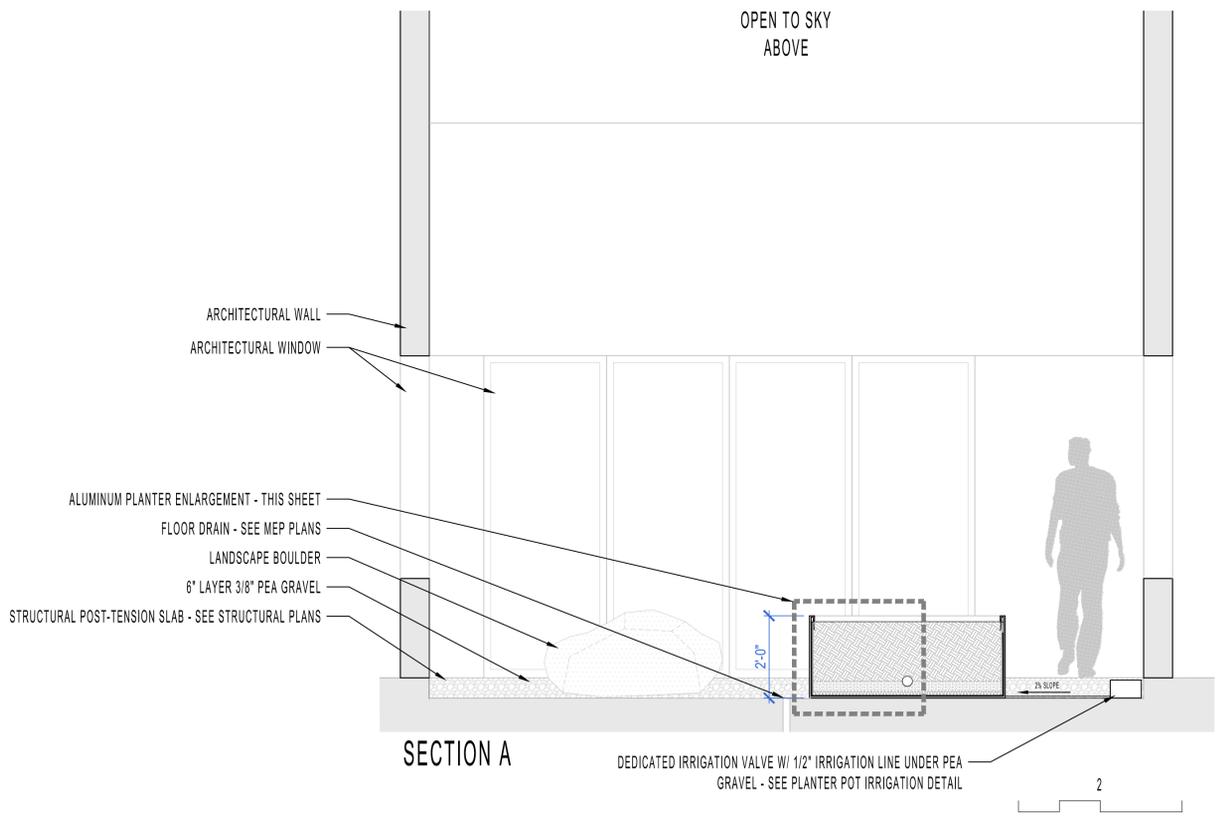
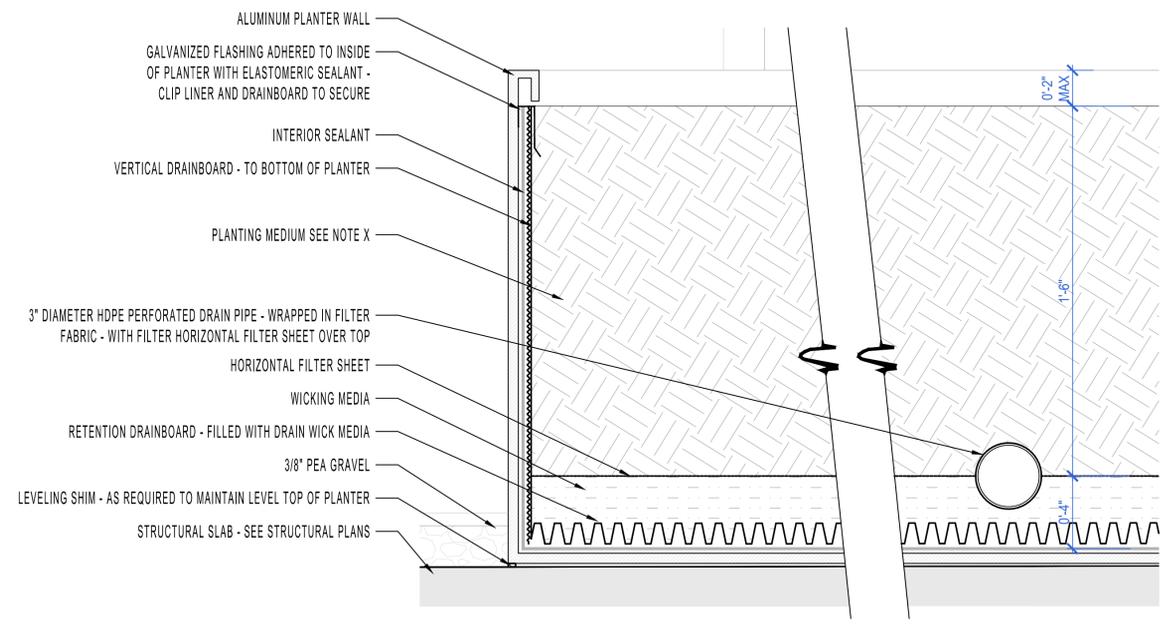
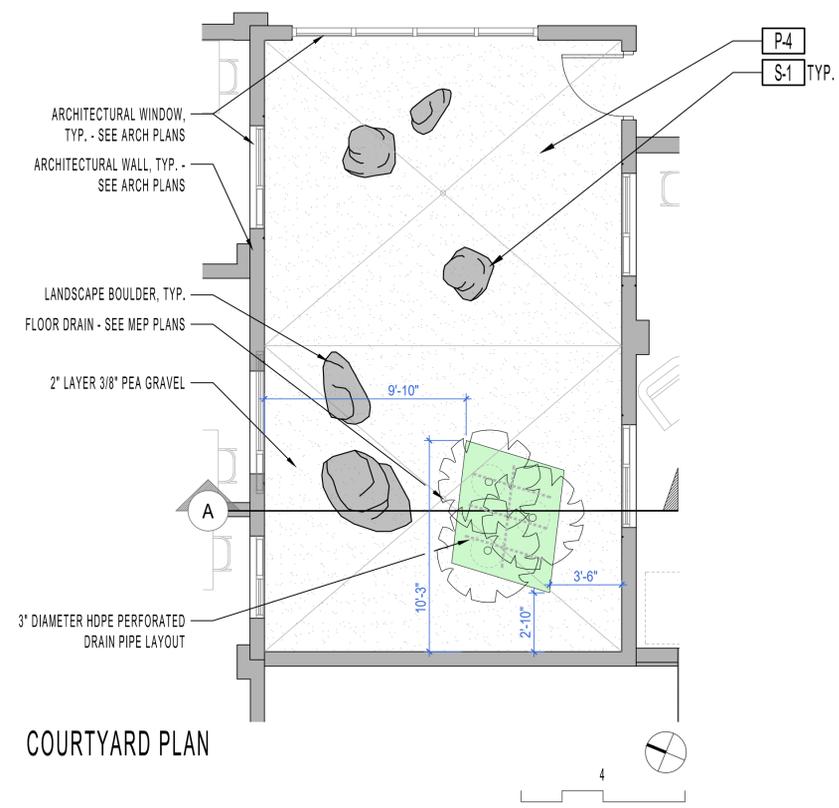
- NOTES:
- CUSTOM ALUMINUM PLANTER TO BE PLUMBED FROM THE SIDE - SEE SECTION A, THIS SHEET
  - TOURNESOL CONTACT: JENECE COMO - TOURNESOL - PH: 510 305 5035
  - PLANTER POT SOIL MIX - 'ULTRA POTTING MIX' BY AMERICAN SOIL AND STONE. CONTACT: 510-292-3000 - NO ONSITE SOILS TO BE USED IN POTS.

**PLANT SCHEDULE**

**COURTYARD PLANTER** \* after botanical name indicates native CA species

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	WUCOLS
--------	-------------	----------------	------	---------	--------

- TASMANIAN TREE FERN  
 Dicksonia antarctica #20 Min. Per Plan HIGH
- 30 SF DRIED MOSS GROUNDCOVER



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 LANDSCAPE PLANS  
 2147 SAN PABLO AVE, BERKELEY, CA

PHASE AGENCY RESUBMITTAL  
 DATE 01/22/2025

REVISIONS

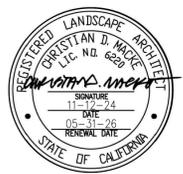
No.	Description	Date

**COURTYARD ENLARGEMENT**



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SAN PABLO AVENUE GROUP LIVING ACCOMMODATION  
LANDSCAPE PLANS  
2147 SAN PABLO AVE, BERKELEY, CA

**GENERAL IRRIGATION NOTES**

- IRRIGATION SYSTEM TO CONTAIN BACKFLOW PREVENTION DEVICE AS REQUIRED BY ALL APPLICABLE LAWS AND GUIDELINES. REFER TO PLUMBING PLANS.
- PRESSURE REGULATOR TO BE USED TO LOWER WATER PRESSURE IF REQUIRED.
- FINAL CONNECTION OF THE ELECTRICAL POWER TO THE CONTROLLER SHALL BE THE RESPONSIBILITY OF GENERAL CONTRACTOR. REFER TO ELECTRICAL ENGINEERING PLANS.
- THIS IRRIGATION SYSTEM IS DESIGNED FOR USE WITH POTABLE WATER.
- THIS IRRIGATION DESIGN IS SCHEMATIC. PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY. INSTALL PIPING AND IRRIGATION FACILITIES WITHIN PLANTING AREAS WHERE POSSIBLE. AVOID CONFLICTS BETWEEN SPRINKLER SYSTEM, LANDSCAPE PLANTING, SITE IMPROVEMENTS, AND ARCHITECTURAL FEATURES.
- DO NOT WILLFULLY INSTALL SPRINKLER SYSTEM AS INDICATED ON DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT EXISTING OBSTRUCTIONS, DIFFERENCES IN AREA DIMENSIONS, AND OTHER SITE SPECIFIC INFORMATION THAT MIGHT NOT HAVE BEEN CONSIDERED DURING DESIGN. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE OF SUCH OBSTRUCTIONS OR DIFFERENCES FOR RESOLUTION. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR REVISIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH GRADE DIFFERENCES, WALL/HARDSCAPE LOCATIONS, ETC. COORDINATE WORK FOR THE INSTALLATION OF IRRIGATION PIPE SLEEVES THROUGH WALLS, UNDER PAVEMENT AND STRUCTURES, ETC.
- CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF SUFFICIENTLY SIZED SLEEVES FOR CONTROL WIRES AND NON-PRESSURE LATERAL LINE PIPING UNDER PAVED AREAS, IN ADDITION TO CONTROL WIRES AND LATERAL LINE PIPING SLEEVES SHOWN ON THE DRAWINGS.
- INSTALL PIPING, RELATED MATERIALS AND EQUIPMENT AS SHOWN ON THE DRAWINGS.
- THE ESTABLISHMENT OF AUTOMATIC SEASONAL ADJUSTMENTS AND BASIC CONTROLLER PROGRAMMING IS THE RESPONSIBILITY OF THE OWNER. MAKE ARRANGEMENTS WITH THE APPROPRIATE FIELD TECHNICIAN FOR A SITE VISIT ON INSTRUCTION OF ESTABLISHING AUTOMATIC CONTROLLER BASIC PROGRAMMING INFORMATION AND AUTOMATIC SEASONAL SCHEDULING. CONTROLLER PROGRAMMING INFORMATION REQUIRED INCLUDES, BUT IS NOT LIMITED TO: PRECIPITATION RATES, PLANT WATER-USE FACTORS, SYSTEM EFFICIENCY RATINGS, FLOW SENSOR CALIBRATION, AND MONTHLY HISTORIC DATA.
- IRRIGATION RECOMMENDED TO BE SCHEDULED BETWEEN THE HOURS OF 8:00 p.m. AND 10:00 a.m.
- IRRIGATION RECOMMENDED TO BE SCHEDULED IN A PULSE SUCCESSION FOR TIMES NO LONGER THAN 15 MINUTES PER WATERING WITH NO MORE THAN 4 WATERINGS PER 24 HOURS.
- CONNECT PIPING TO PRESSURE REGULATOR UNITS WITH SCHEDULE 40 PVC COMPRESSION ADAPTER FITTINGS.

**IRRIGATION SYSTEM DESCRIPTION**

- PLAN LAYOUT SHOWN IS CONCEPTUAL FOR THE PROJECT DEVELOPMENT TEAM'S REVIEW AND CONTRACTOR ESTIMATING AND IS SUBJECT TO CHANGE.
- NEW IRRIGATION SYSTEM IMPROVEMENTS ARE SUPPLIED WITH POTABLE WATER. A DEDICATED POTABLE WATER POINT-OF-CONNECTION WITH A BACKFLOW PREVENTER, MASTER VALVE AND FLOW SENSOR IS SPECIFIED TO PROVIDE IRRIGATION WATER TO LANDSCAPE PLANTING AREAS.
- IRRIGATION SYSTEM POINT-OF-CONNECTION AND APPURTENANCES SHALL BE ESTABLISHED PER ARCHITECT AND PLUMBING DRAWINGS AND ARE SHOWN FOR INFORMATION ONLY.
- A NEW IRRIGATION 'SMART' CONTROLLER OPERATES A NEW DEDICATED FLOW SENSOR AND MASTER VALVE TO PROVIDE HIGH-FLOW SHUT DOWN AND TO REMOVE PRESSURE FROM MAIN LINE PIPING BEING SERVED DURING NON-IRRIGATION HOURS. 'SMART' IRRIGATION CONTROLLER OPERATES CONVENTIONAL HARD WIRE SYSTEM WITH SPARE CONTROL WIRES PROVIDED WHERE NOTED. THE URBAN AGRICULTURE PLANTING AREAS WILL BE CONTROLLED BY A SEPARATE CONTROLLER THAN THE REMAINDER OF THE LANDSCAPE.
- IN-LINE DRIP EMITTER TUBING SHOWN IS FOR PRICING AND COORDINATION REFERENCE ONLY.

**IRRIGATION SYSTEM OPERATIONAL REQUIREMENTS**

- THE PRESSURE DEMANDS OF THE DRIP SYSTEM USUALLY REQUIRE A PRESSURE REDUCER TO 10-20 PSI.
- WATER SOURCE IS FROM DOMESTIC MAIN BUILDING SOURCE, A BACKFLOW PREVENTER (BFP) SHALL BE INSTALLED PER PLUMBING PLANS.
- PRESSURE DEMANDS 20 PSI FOR ALL DRIP AND SPRINKLER SYSTEMS.
- 15 PSI MEDIUM-FLOW PRESSURE REDUCERS SHALL BE INSTALLED WHERE, AND IF, NEEDED.
- PEAK FLOW DEMANDS ARE NO MORE THAN 10 GPM AT ANY GIVEN TIME.
- SIZE OF ALL PIPING TO SERVICE THE ROOF SHOULD BE 1" IN DIAMETER. DISTRIBUTION LINES WILL BE 3/4" IN DIAMETER AND SURFACE DISTRIBUTION IN 1/2" IRRIGATION TAPE AND 1/4" TUBING TO MICRO-DRIBBLER SPRINKLERS WHERE APPLICABLE.

WELO Water Budget and Water Use Calculator							
<b>INSTRUCTIONS:</b>							
1. Enable macros.							
2. Enter values in blue cells. Gray cells will automatically fill.							
3. For Eto, refer to Appendix A of the ordinance, available here: <a href="https://www.water.ca.gov/Programs/Water-Use-And-Efficiency/Urban-Water-Use-Efficiency">https://www.water.ca.gov/Programs/Water-Use-And-Efficiency/Urban-Water-Use-Efficiency</a> .							
4. Print this sheet and submit with Landscape Document Package for the Comprehensive Performance Compliance Pathway.							
Date: 11/12/2024							
Project Name: 2147 San Pablo Ave							
Project Contact: Christian Macke							
Project Contact Email: cmacke@122westdesign.com							
Maximum Applied Water Allowance (MAWA)	Project Type	Eto	ETAF	Special Landscape Area (SLA)	Total Landscape Area including SLA	MAWA (gal/yr)	
	Non-residential	41.8	0.45		862	10,053	
MAWA = (Eto) * (0.62) * (ETAF * LA) + ((1-ETAF) * SLA)							
Estimated Total Water Use (ETWU)			Eto	(SF * PF) / IE	SLA	ETWU (gal/yr)	
			41.8	351		9,087	
ETWU = (Eto) * (0.62) * (PF * SF / IE) + SLA							
Difference between MAWA and ETWU						966	
Project meets water budget.							
ETWU Calculation (Regular landscape areas)	Zone #	Description	Select Irrigation	Square Feet (SF)	Plant Factor (PF)	Irrigation Efficiency (IE)	(SF * PF) / IE
	1	A-1	Drip	95	Low 0.30	0.81	35
	2	A-2	Drip	80	Low 0.30	0.81	30
	3	A-3	Drip	283	Low 0.30	0.81	105
	4	A-4	Drip	307	Low 0.30	0.81	114
	5	A-5	Drip	33	Moderate 0.50	0.81	20
	6	A-6	Drip	34	Moderate 0.50	0.81	21
	7	A-7	Drip	30	High 0.70	0.81	26
	8	A-8					
	9	A-9					
	10	A-10					
	11	A-11					
Landscape area (not including SLA)				862			351
ETWU Calculation Special Landscape Areas (SLA)	Description		Square Feet (SF)	Plant Factor / Irrigation Efficiency (PF/IE)		(SF * PF) / IE	
	Edible planting area			1.0		-	
	Multi-use and sports field turf area			1.0		-	
	Area irrigated with recycled water			1.0		-	
	Pool			1.0		-	
	Total SLA		0			0	
Total Landscape Area (including SLA) from ETWU Calculation				862			

PHASE AGENCY RESUBMITTAL  
DATE 01/22/2025  
REVISIONS

No.	Description	Date

**IRRIGATION CALCULATIONS**



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 LANDSCAPE PLANS  
 2147 SAN PABLO AVE, BERKELEY, CA

PHASE AGENCY RESUBMITTAL  
 DATE 01/22/2025

REVISIONS

No.	Description	Date

IRRIGATION PLAN  
 GROUND FLOOR

L-2.1

**HYDROZONES**

SYMBOL	WATER-USE DESIGNATION	AREA	PLANTING & IRRIGATION TYPE
A-1	LOW	95 SF	COWPER STREET PLANTING - DRIP
A-2	LOW	80 SF	REAR GROUND LEVEL SHADE PLANTING - DRIP
A-3	LOW	283 SF	GROUND LEVEL C-3 SHADED PLANTER - DRIP
A-4	LOW	307 SF	2ND LEVEL C-3 SHADED PLANTER - DRIP
A-5	MODERATE	33 SF	2ND FLOOR PATIO PLANTERS - DRIP
A-6	MODERATE	34 SF	6TH FLOOR COMMON SPACE PLANTERS - DRIP
A-7	HIGH	30 SF	SHADED COURTYARD - DRIP

NOTES  
 1. PLAN IS CONCEPTUAL AND SHOWN FOR COORDINATION AND REFERENCE  
 2. IRRIGATION SYSTEM SHALL EMPLOY A 'SMART' ET CONTROLLER

**IRRIGATION SYSTEM 'A' POINT-OF-CONNECTION NOTE**

IRRIGATION POINT-OF-CONNECTION - CONNECT NEW COPPER PIPING TO NEW 1-INCH DOMESTIC WATER METER AND SERVICE LINE FOR IRRIGATION SUPPLY. WATER SERVICE CONNECTION PER EAST BAY MUNICIPAL UTILITY DISTRICT (EBMUD). REFER TO CIVIL ENGINEERING DRAWINGS FOR ACTUAL LOCATION AND ADDITIONAL WATER SUPPLY INFORMATION.

PEAK IRRIGATION DEMAND: 2.0 G.P.M.  
 SYSTEM DESIGN PRESSURE: 40 P.S.I.  
 EXISTING WATER PRESSURE (STATIC): 180 P.S.I.  
 IRRIGATED AREA OF COVERAGE: 878 SF

**LANDSCAPE IRRIGATION COORDINATION NOTES**

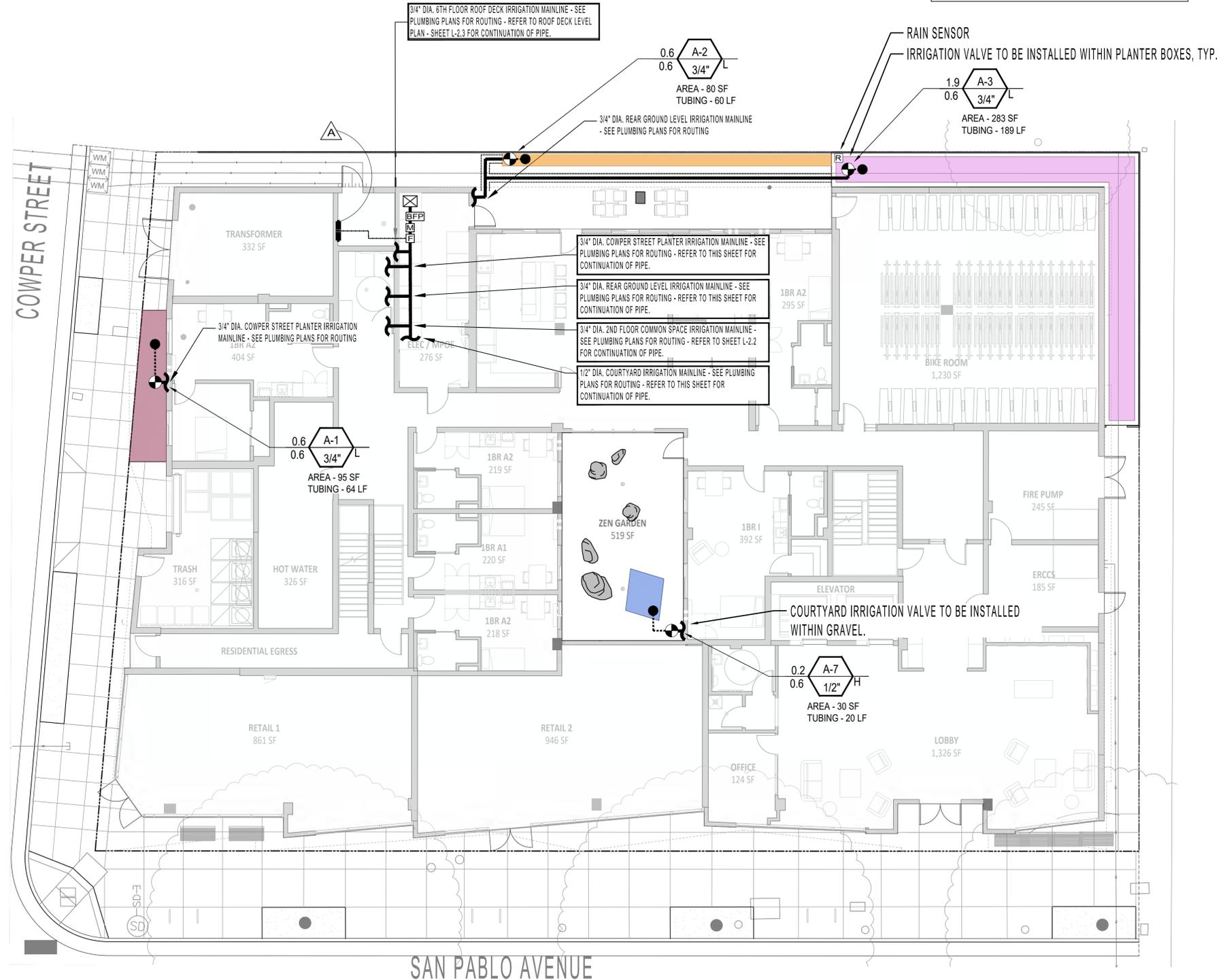
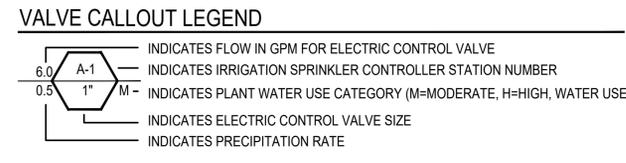
IRRIGATION CONTROLLER - SEE ELECTRICAL ENGINEER'S PLANS FOR 110V ELECTRICAL CONNECTION

IRRIGATION POINT-OF-CONNECTION - SEE PLUMBING PLANS FOR 1" IRRIGATION WATER CONNECTION FROM PROJECT IRRIGATION MASTER SOURCE

3/4" IRRIGATION MAINLINE & WIRE ROUTING TO BE DIAGRAMMATIC - SEE IRRIGATION WIRING NOTES THIS SHEET

**IRRIGATION WIRING NOTES**

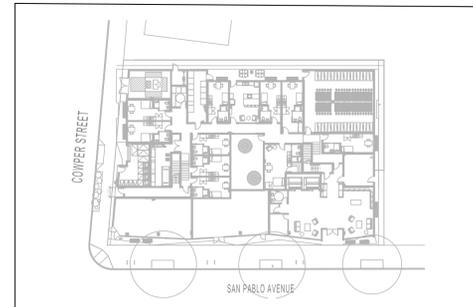
ALL WIRES BEGIN AT IRRIGATION CONTROLLER AND RUN DIRECT TO INDIVIDUAL SOLENOID VALVES. DO NOT USE A SPLICED 12-WIRE CABLE. RUN INDIVIDUAL WIRES AS SHOWN. ZIP-TIE THE DIRECT BURIAL ENCASED STRANDED WIRE TO IRRIGATION LINE. TOTAL OF 12 CABLES - 12 WIRES AT IRRIGATION CONTROLLER - FOR 12 STATIONS (EXTRA LINE AT BOTH OF THE 12 WIRE RUNS). AT THE 4 WIRE TERMINATION THE NEUTRAL IS SPLICED TO SERVE ALL THREE STATIONS. LEAVE AN EXTRA 10 FEET AT TERMINATION.



**IRRIGATION EQUIPMENT**

ITEM	SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.
IRRIGATION POINT-OF-CONNECTION	☒	REFER TO PLUMBING PLANS FOR LOCATION INFORMATION		
IRRIGATION 'SMART' CONTROLLER	⚠	IRRIGATION 'SMART' CONTROLLER MOUNTED ON WALL INSIDE WEATHERPROOF LOCKABLE CABINET. SWITCH AND SURGE PROTECTION - PROVIDE ON-SITE WEATHER SENSOR AND ENCLOSURE IN VICINITY AS DIRECTED BY ON-SITE OPERATOR	HUNTER	PRO-HC
FLOW METER	Ⓜ	HC FLOW METER - PVC HOUSING - 1-INCH SIZE - WITHIN MASTER VALVE ENCLOSURE ASSEMBLY - REQUIRED HARD-WIRE	HUNTER	HC FLOW METER
SOIL MOISTURE SENSOR	Ⓢ	SOIL CLIK - LOCATED IN FIELD AS DIRECTED BY OWNER - REQUIRES HARD-WIRE AND WALL PLACEMENT ADJACENT TO CONTROLLER	HUNTER	SOIL-CLIK
RAIN MOISTURE SENSOR	Ⓡ	RAIN METER - LOCATED IN FIELD AS DIRECTED BY OWNER - REQUIRES HARD-WIRE AND WALL PLACEMENT ADJACENT TO CONTROLLER	HUNTER	RAIN-CLIK
MASTER CONTROL VALVE	Ⓜ	MASTER CONTROL VALVE - 1-INCH SIZE - 24 VOLT IRRIGATION SOLENOID - THREADED ENDS - LOCATE MASTER VALVE BEFORE FLOW SENSOR	SUPERIOR	
DRIP VALVE STATION	Ⓢ	DRIP VALVE STATION - DRIP ELECTRIC CONTROL VALVE ASSEMBLY - W/ PRESSURE REGULATING BASKET FILTER (200 POLY MESH 140 PSI SETTING) USE 3/4-INCH SIZE DRIP ELECTRIC CONTROL VALVE ASSEMBLY FOR FLOWS 4 GPM AND UNDER (USE 1-INCH SIZE FOR FLOWS 5 GPM THROUGH 14 GPM - USE 1-1/2 INCH SIZE FOR FLOWS 15 GPM AND GREATER)	HUNTER	
QUICK COUPLING VALVE	Ⓢ	QUICK COUPLING VALVE - 1-INCH SIZE - POTABLE WATER USE - LOCKING RUBBER COVER MOUNTED IN ROUND BOX - PROVIDE VALVE KEY AND SWIVEL		
AIR RELIEF VALVE	Ⓢ	AIR RELIEF VALVE - THREADED - 1/2-INCH MIPT - INSTALL WITHIN ROUND VALVE BOX - INSTALL UNITS AT HIGH POINTS OF DRIPLINE SYSTEMS AT 1 PER VALVE		
BALL FULL PORT VALVE / DRIPLINE FLUSH OUT ASSEMBLY	Ⓢ	SCHEDULE 40 PVC BALL FULL PORT VALVE AND PVC FLEX HOSE TUBING INSTALLED WITHIN ROUND VALVE BOX - ADAPT TO INSTALL DRIPLINE TUBING AS REQUIRED - UNITS WHERE SHOWN LOCATED AT ENDS OF DRIPLINE SYSTEMS		
PRESSURIZED MAIN LINE - COPPER IRRIGATION WATER PIPING STUB OUT	Ⓢ	DRY COPPER PIPING - 3/4-INCH SIZE PIPING STUB OUT - PIPING ROUTED THROUGH BUILDING AND ROOF DECKING(S) FOR IRRIGATION SYSTEM CONTINUATION PER MECHANICAL ENGINEER'S DRAWINGS - REFER TO MECHANICAL ENGINEER'S DRAWINGS FOR ACTUAL LOCATION - ROUTING OF PIPE TO IRRIGATION VALVE TO BE PROVIDED BY PLUMBING CONTRACTOR.		
LATERAL LINE	Ⓢ	SCHEDULE 40 PVC - 3/4 INCH DIA. - AS SHOWN ON PLANS <small>INDICATES CONNECTION TO ASSIGNED DRIP LINES, TYP.</small>		
FLOW SENSOR CABLE	Ⓢ	FLOW SENSOR SIGNAL CABLE AND CONDUIT - MULTIPLE WIRE PAIR SHIELDED CABLE INSTALLED WITH 1.25-INCH MINIMUM SIZE SCHEDULE 40 PVC CONDUIT - NO SPLICES PERMITTED	HYDROSCAPE	HSCST150
PIPING SLEEVE UNDER PAVED AREA	Ⓢ	SCHEDULE 40 PVC - 4-INCH MINIMUM SIZE, SIZE AS REQUIRED		
DRIPLINE	Ⓢ	DRIPLINE (COPPER SHIELD SERIES) SYSTEM - PRESSURE COMPENSATING - 0.6 GPH @ 12-INCHES O.C. EMITTER SPACING - ROW SPACING BY OPERATOR - 17MM (BROWN COLOR) 0.634" O.D. POLYETHYLENE TUBING WITH COMPRESSION-TYPE FITTINGS FOR ELLS, TEES, COUPLERS & PVC ADAPTERS - PROVIDE METAL HOLD DOWN STAKES FOR EVERY 3'-0-C. AND CHANGES IN DIRECTION - SURFACE DRIP LINES TO BE PROVIDED BY CONTRACTOR, INSTALLED BY TNDIC OPERATOR		

**KEYMAP - GROUND FLOOR**

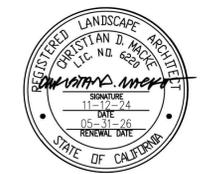


NOTES  
 1. SITE PLAN INFORMATION DERIVED FROM ARCHITECTURAL PLANS DATED 07/22/2024.



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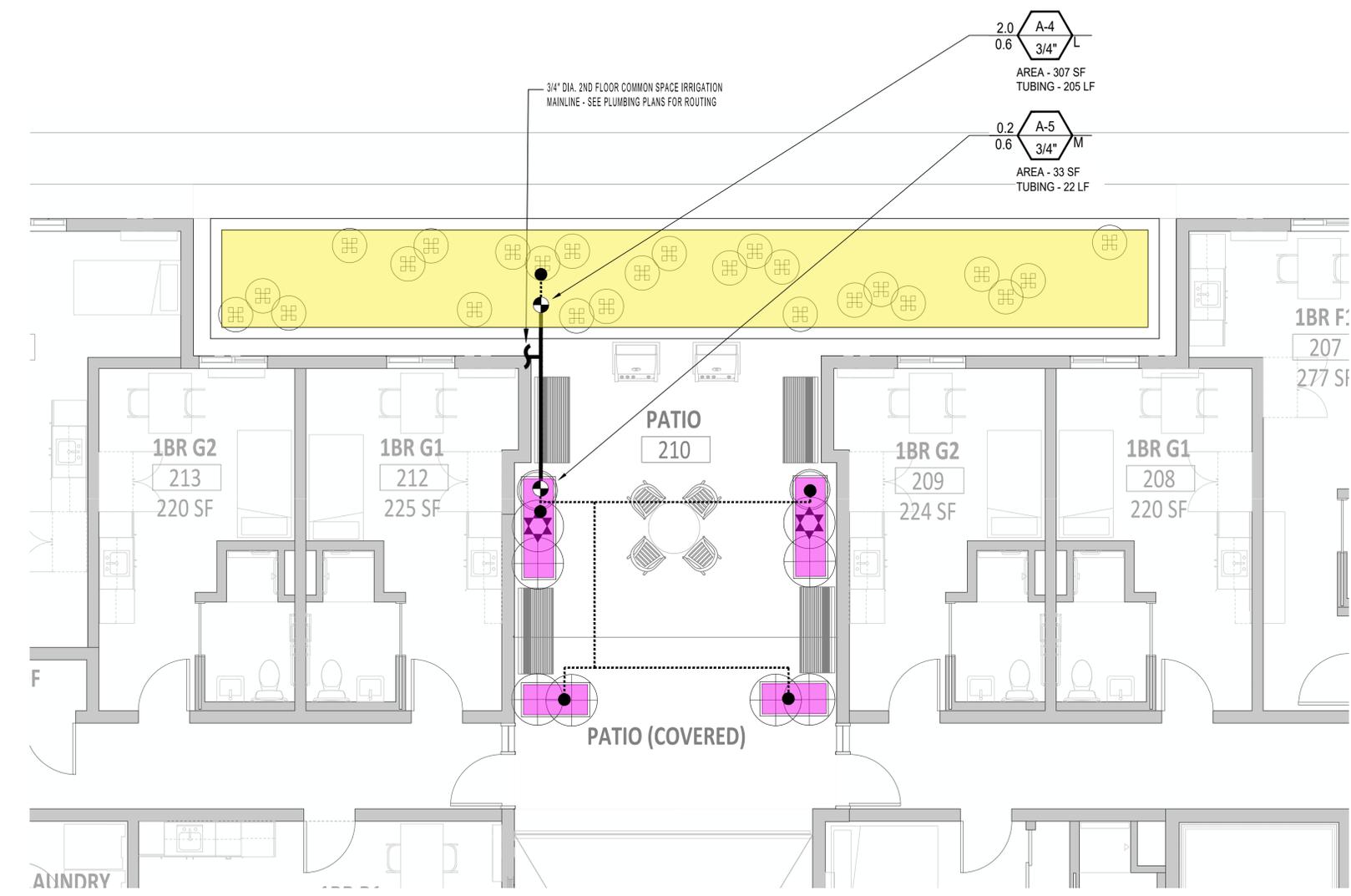
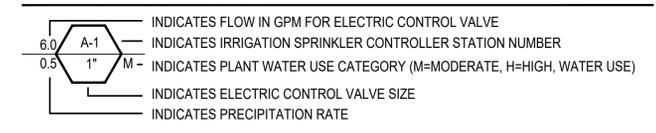
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 LANDSCAPE PLANS  
 2147 SAN PABLO AVE, BERKELEY, CA

**HYDROZONES**

SYMBOL	WATER-USE DESIGNATION	AREA	PLANTING & IRRIGATION TYPE
A-1	LOW	95 SF	COWPER STREET PLANTING - DRIP
A-2	LOW	80 SF	REAR GROUND LEVEL SHADE PLANTING - DRIP
A-3	LOW	283 SF	GROUND LEVEL C-3 SHADED PLANTER - DRIP
A-4	LOW	307 SF	2ND LEVEL C-3 SHADED PLANTER - DRIP
A-5	MODERATE	33 SF	2ND FLOOR PATIO PLANTERS - DRIP
A-6	MODERATE	34 SF	6TH FLOOR COMMON SPACE PLANTERS - DRIP
A-7	HIGH	30 SF	SHADED COURTYARD - DRIP

NOTES  
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**VALVE CALLOUT LEGEND**

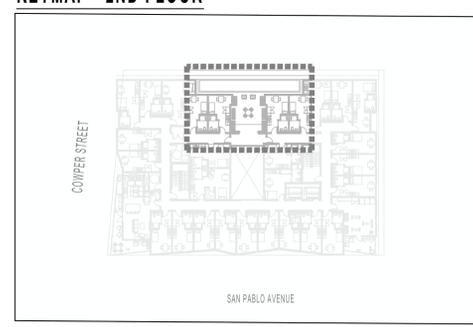


2ND FLOOR - PATIO PLAN

**IRRIGATION EQUIPMENT**

ITEM	SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.
IRRIGATION POINT-OF-CONNECTION	☒	REFER TO PLUMBING PLANS FOR LOCATION INFORMATION		
IRRIGATION 'SMART' CONTROLLER	⚠	IRRIGATION 'SMART' CONTROLLER MOUNTED ON WALL INSIDE WEATHERPROOF LOCKABLE CABINET, SWITCH AND SURGE PROTECTION - PROVIDE ON-SITE WEATHER SENSOR AND ENCLOSURE IN VICINITY AS DIRECTED BY ON-SITE OPERATOR	HUNTER	PRO-HC
FLOW METER	Ⓜ	HC FLOW METER - PVC HOUSING - 1-INCH SIZE - WITHIN MASTER VALVE ENCLOSURE ASSEMBLY - REQUIRED	HUNTER	HC FLOW METER
SOIL MOISTURE SENSOR	Ⓢ	SOIL CLIK - LOCATED IN FIELD AS DIRECTED BY OWNER - REQUIRES HARD-WIRE AND WALL PLACEMENT ADJACENT TO CONTROLLER	HUNTER	SOIL-CLIK
RAIN MOISTURE SENSOR	Ⓡ	RAIN METER - LOCATED IN FIELD AS DIRECTED BY OWNER - REQUIRES HARD-WIRE AND WALL PLACEMENT ADJACENT TO CONTROLLER	HUNTER	RAIN-CLIK
MASTER CONTROL VALVE	Ⓜ	MASTER CONTROL VALVE - 1-INCH SIZE - 24 VOLT IRRIGATION SOLENOID - THREADED ENDS - LOCATE MASTER VALVE BEFORE FLOW SENSOR	SUPERIOR	
DRIP VALVE STATION	Ⓢ	DRIP VALVE STATION - DRIP ELECTRIC CONTROL VALVE ASSEMBLY - W/ PRESSURE REGULATING BASKET FILTER (200 POLY MESH (40 PSI SETTING) USE 3/4-INCH SIZE DRIP ELECTRIC CONTROL VALVE ASSEMBLY FOR FLOWS 4 GPM AND UNDER (USE 1-INCH SIZE FOR FLOWS 5 GPM THROUGH 14 GPM - USE 1-1/2 INCH SIZE FOR FLOWS 15 GPM AND GREATER)	HUNTER	
QUICK COUPLING VALVE	Ⓢ	QUICK COUPLING VALVE - 1-INCH SIZE - POTABLE WATER USE - LOCKING RUBBER COVER MOUNTED IN ROUND BOX - PROVIDE VALVE KEY AND SWIVEL		
AIR RELIEF VALVE	Ⓢ	AIR RELIEF VALVE - THREADED - 1/2-INCH MIPT - INSTALL WITHIN ROUND VALVE BOX - INSTALL UNITS AT HIGH POINTS OF DRIPLINE SYSTEMS AT 1 PER VALVE		
BALL FULL PORT VALVE / DRIPLINE FLUSH OUT ASSEMBLY	Ⓢ	SCHEDULE 40 PVC BALL FULL PORT VALVE AND PVC FLEX HOSE TUBING INSTALLED WITHIN ROUND VALVE BOX - ADAPT TO INSTALL DRIPLINE TUBING AS REQUIRED - UNITS WHERE SHOWN LOCATED AT ENDS OF DRIPLINE SYSTEMS		
PRESSURIZED MAIN LINE - COPPER IRRIGATION WATER PIPING STUB OUT	Ⓢ	DRY COPPER PIPING - 3/4-INCH SIZE PIPING STUB OUT - PIPING ROUTED THROUGH BUILDING AND ROOF DECKING(S) FOR IRRIGATION SYSTEM CONTINUATION PER MECHANICAL ENGINEER'S DRAWINGS - REFER TO MECHANICAL ENGINEER'S DRAWINGS FOR ACTUAL LOCATION - ROUTING OF PIPE TO IRRIGATION VALVE TO BE PROVIDED BY PLUMBING CONTRACTOR.		
LATERAL LINE	Ⓢ	SCHEDULE 40 PVC - 3/4 INCH DIA. - AS SHOWN ON PLANS		
FLOW SENSOR CABLE	Ⓢ	FLOW SENSOR SIGNAL CABLE AND CONDUIT - MULTIPLE WIRE PAIR SHIELDED CABLE INSTALLED WITH 1.25-INCH MINIMUM SIZE SCHEDULE 40 PVC CONDUIT - NO SPLICES PERMITTED	HYDROSCAPE	HSCST150
PIPING SLEEVE UNDER PAVED AREA	Ⓢ	SCHEDULE 40 PVC - 4-INCH MINIMUM SIZE, SIZE AS REQUIRED		
DRIPLINE	Ⓢ	DRIPLINE (COPPER SHIELD SERIES) SYSTEM - PRESSURE COMPENSATING - 0.6 GPM @ 12-INCHES O.C. EMITTER SPACING - ROW SPACING BY OPERATOR - 17MM (BROWN COLOR) 0.834" O.D. POLYETHYLENE TUBING WITH COMPRESSION-TYPE FITTINGS FOR ELLS, TEES, COUPLERS & PVC ADAPTERS - PROVIDE METAL HOLD DOWN STAKES FOR EVERY 3'-0.C. AND CHANGES IN DIRECTION - SURFACE DRIPLINE TO BE PROVIDED BY CONTRACTOR, INSTALLED BY TNDG OPERATOR		

**KEYMAP - 2ND FLOOR**



NOTES  
 1. SITE PLAN INFORMATION DERIVED FROM ARCHITECTURAL PLANS DATED 07/22/2024.

PHASE AGENCY RESUBMITTAL  
 DATE 01/22/2025

REVISIONS

No.	Description	Date

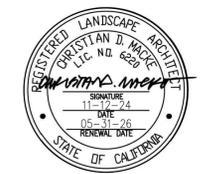
**IRRIGATION PLAN  
 2ND FLOOR**

L-2.2



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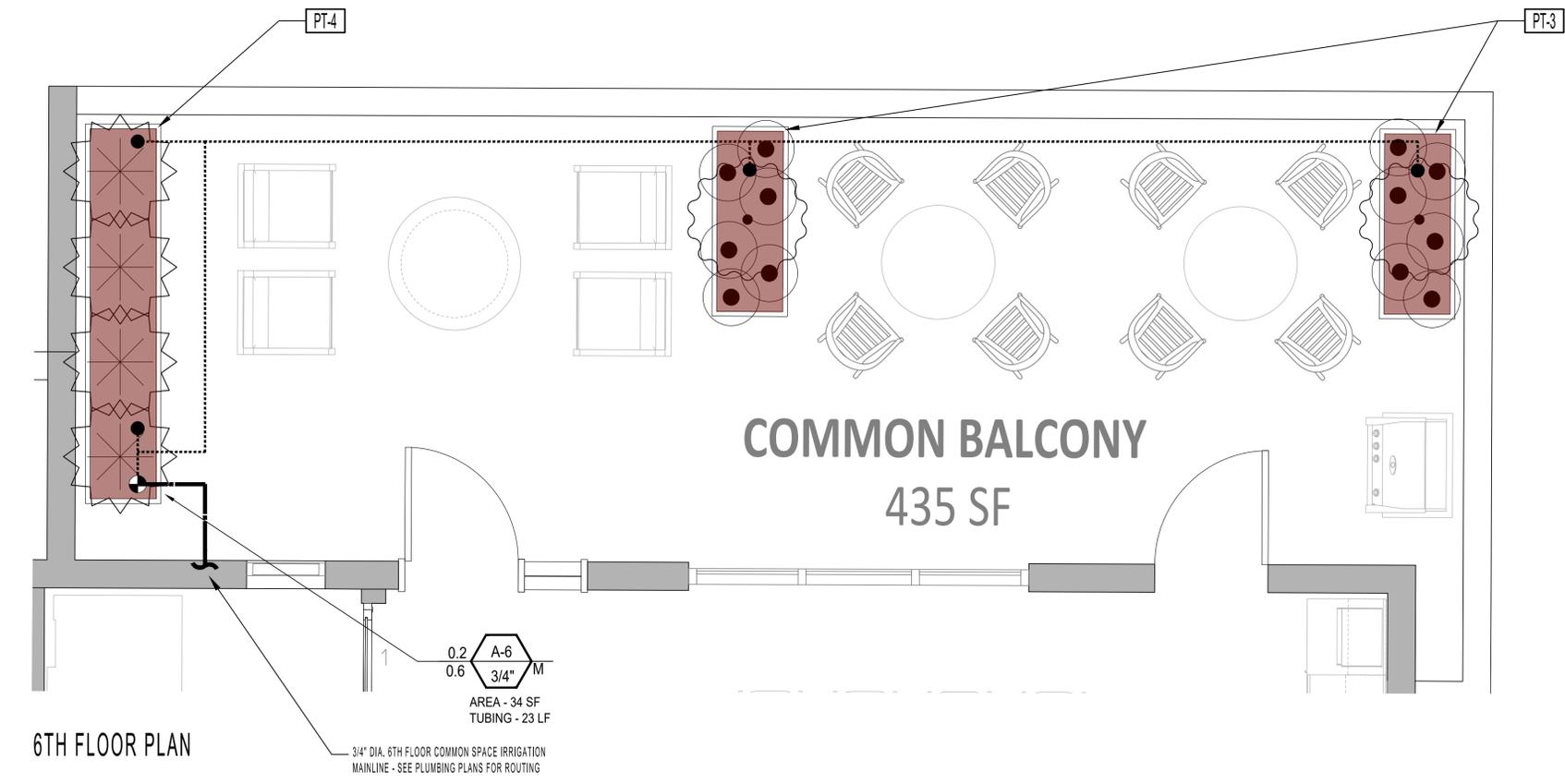
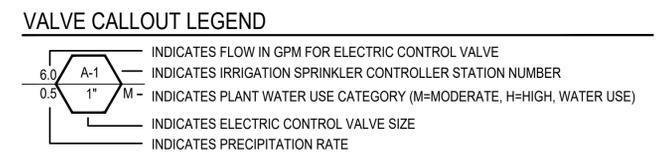
IRRIGATION PLAN  
 6TH FLOOR

L-2.3

### HYDROZONES

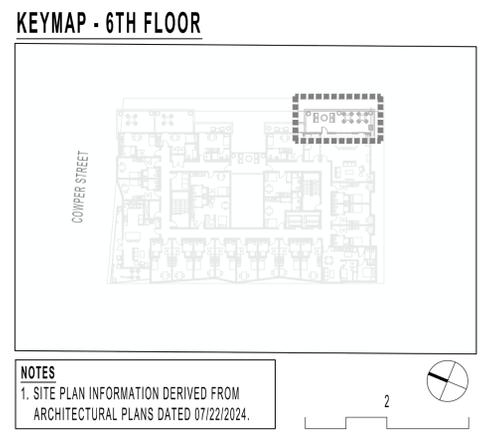
SYMBOL	WATER-USE DESIGNATION	AREA	PLANTING & IRRIGATION TYPE
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A-2	LOW	80 SF	REAR GROUND LEVEL SHADE PLANTING - DRIP
A-3	LOW	283 SF	GROUND LEVEL C-3 SHADED PLANTER - DRIP
A-4	LOW	307 SF	2ND LEVEL C-3 SHADED PLANTER - DRIP
A-5	MODERATE	33 SF	2ND FLOOR PATIO PLANTERS - DRIP
A-6	MODERATE	34 SF	6TH FLOOR COMMON SPACE PLANTERS - DRIP
A-7	HIGH	30 SF	SHADED COURTYARD - DRIP

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### IRRIGATION EQUIPMENT

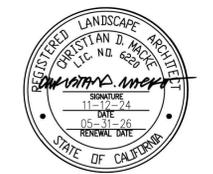
ITEM	SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.
IRRIGATION POINT-OF-CONNECTION	☒	REFER TO PLUMBING PLANS FOR LOCATION INFORMATION		
IRRIGATION 'SMART' CONTROLLER	△	IRRIGATION 'SMART' CONTROLLER MOUNTED ON WALL INSIDE WEATHERPROOF LOCKABLE CABINET, SWITCH AND SURGE PROTECTION - PROVIDE ON-SITE WEATHER SENSOR AND ENCLOSURE IN VICINITY AS DIRECTED BY ON-SITE OPERATOR	HUNTER	PRO-HC
FLOW METER	⊞	HC FLOW METER - PVC HOUSING - 1-INCH SIZE - WITHIN MASTER VALVE ENCLOSURE ASSEMBLY - REQUIRED	HUNTER	HC FLOW METER
SOIL MOISTURE SENSOR	⊞	SOIL CLIK - LOCATED IN FIELD AS DIRECTED BY OWNER - REQUIRES HARD-WIRE AND WALL PLACEMENT ADJACENT TO CONTROLLER	HUNTER	SOIL-CLIK
RAIN MOISTURE SENSOR	⊞	RAIN METER - LOCATED IN FIELD AS DIRECTED BY OWNER - REQUIRES HARD-WIRE AND WALL PLACEMENT ADJACENT TO CONTROLLER	HUNTER	RAIN-CLIK
MASTER CONTROL VALVE	⊞	MASTER CONTROL VALVE - 1-INCH SIZE - 24 VOLT IRRIGATION SOLENOID - THREADED ENDS - LOCATE MASTER VALVE BEFORE FLOW SENSOR	SUPERIOR	
DRIP VALVE STATION	⊞	DRIP VALVE STATION - DRIP ELECTRIC CONTROL VALVE ASSEMBLY - W/ PRESSURE REGULATING BASKET FILTER (200 POLY MESH (40 PSI SETTING) USE 3/4-INCH SIZE DRIP ELECTRIC CONTROL VALVE ASSEMBLY FOR FLOWS 4 GPM AND UNDER (USE 1-INCH SIZE FOR FLOWS 5 GPM THROUGH 14 GPM - USE 1-1/2 INCH SIZE FOR FLOWS 15 GPM AND GREATER)	HUNTER	
QUICK COUPLING VALVE	⊞	QUICK COUPLING VALVE - 1-INCH SIZE - POTABLE WATER USE - LOCKING RUBBER COVER MOUNTED IN ROUND BOX - PROVIDE VALVE KEY AND SWIVEL		
AIR RELIEF VALVE	⊞	AIR RELIEF VALVE - THREADED - 1/2-INCH MIPT - INSTALL WITHIN ROUND VALVE BOX - INSTALL UNITS AT HIGH POINTS OF DRIPLINE SYSTEMS AT 1 PER VALVE		
BALL FULL PORT VALVE / DRIPLINE FLUSH OUT ASSEMBLY	⊞	SCHEDULE 40 PVC BALL FULL PORT VALVE AND PVC FLEX HOSE TUBING INSTALLED WITHIN ROUND VALVE BOX - ADAPT TO INSTALL DRIPLINE TUBING AS REQUIRED - UNITS WHERE SHOWN LOCATED AT ENDS OF DRIPLINE SYSTEMS		
PRESSURIZED MAIN LINE - COPPER IRRIGATION WATER PIPING STUB OUT	T	DRY COPPER PIPING - 3/4-INCH SIZE PIPING STUB OUT - PIPING ROUTED THROUGH BUILDING AND ROOF DECKING(S) FOR IRRIGATION SYSTEM CONTINUATION PER MECHANICAL ENGINEER'S DRAWINGS - REFER TO MECHANICAL ENGINEER'S DRAWINGS FOR ACTUAL LOCATION - ROUTING OF PIPE TO IRRIGATION VALVE TO BE PROVIDED BY PLUMBING CONTRACTOR.		
LATERAL LINE	⊞	SCHEDULE 40 PVC - 3/4 INCH DIA. - AS SHOWN ON PLANS		
FLOW SENSOR CABLE	—	FLOW SENSOR SIGNAL CABLE AND CONDUIT - MULTIPLE WIRE PAIR SHIELDED CABLE INSTALLED WITH 1.25-INCH MINIMUM SIZE SCHEDULE 40 PVC CONDUIT - NO SPLICES PERMITTED	HYDROSCAPE	HSCST150
PIPING SLEEVE UNDER PAVED AREA	⊞	SCHEDULE 40 PVC - 4-INCH MINIMUM SIZE, SIZE AS REQUIRED		
DRIPLINE	⊞	DRIPLINE (COPPER SHIELD SERIES) SYSTEM - PRESSURE COMPENSATING - 0.6 GPM @ 12-INCHES O.C. EMITTER SPACING - ROW SPACING BY OPERATOR - 17MM (BROWN COLOR) 0.834" O.D. POLYETHYLENE TUBING WITH COMPRESSION-TYPE FITTINGS FOR ELLS, TEES, COUPLERS & PVC ADAPTERS - PROVIDE METAL HOLD DOWN STAKES FOR EVERY 3'-0.C. AND CHANGES IN DIRECTION - SURFACE DRIPLINE TO BE PROVIDED BY CONTRACTOR, INSTALLED BY TNDG OPERATOR		





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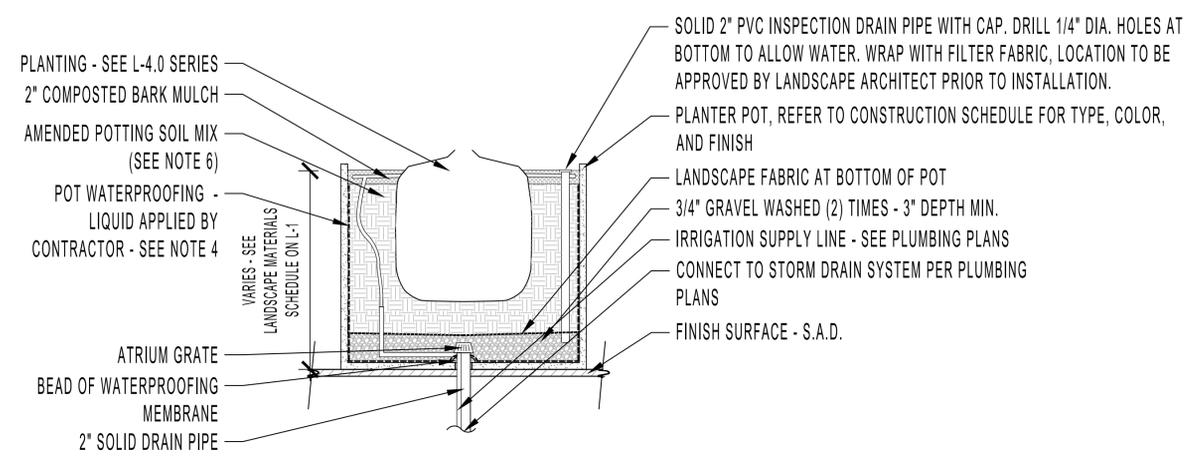
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 LANDSCAPE PLANS  
 2147 SAN PABLO AVE, BERKELEY, CA

PHASE AGENCY RESUBMITTAL  
 DATE 01/22/2025  
 REVISIONS

No.	Description	Date

PLANTER POT  
 DETAILS

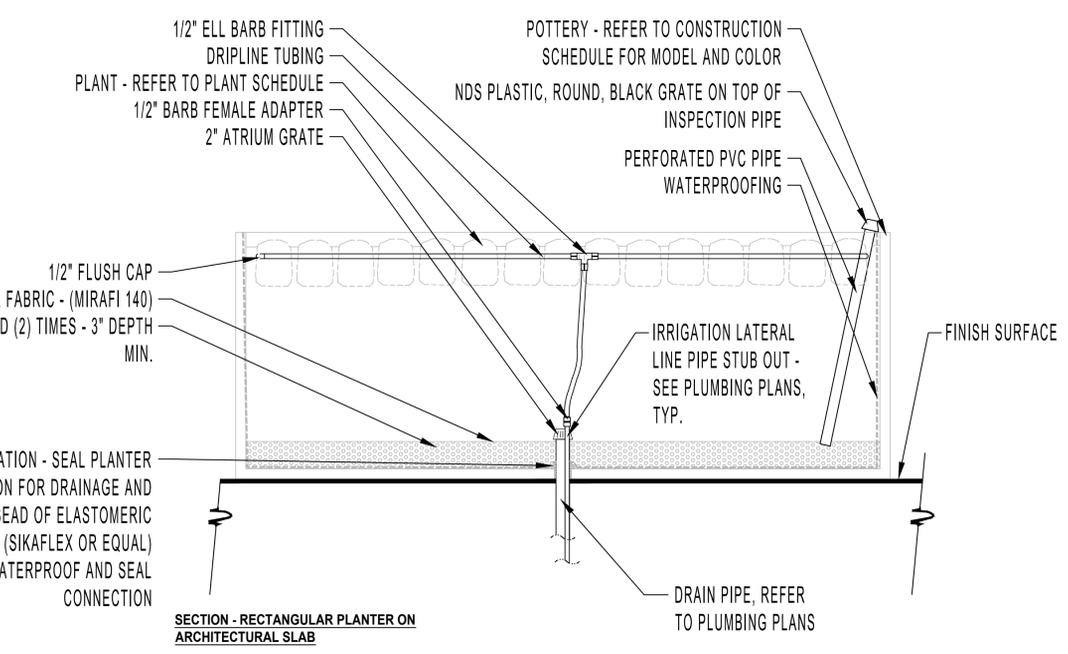
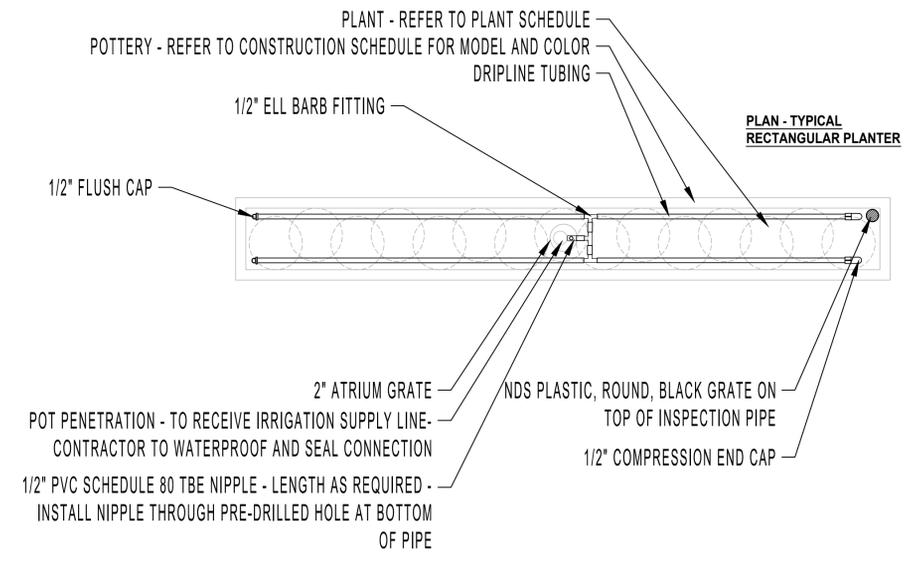
L-3.0



TYPICAL - SECTION ON SLAB

- NOTES**
- CONTRACTOR TO STAKE / MARK LOCATION OF ALL PLANTER POTS TO BE REVIEWED BY LANDSCAPE ARCHITECT, PRIOR TO INSTALLATION.
  - DRILL HOLE IN POT TO CLOSEST TOLERANCE OF PIPE - NO MORE THAN 1/4" GAP.
  - ROUGHEN PIPE AT PENETRATION WITH SANDPAPER SO WATERPROOF MATERIAL CAN ADHERE.
  - APPLY TREMCO "VULKEM" 250 G.C. (2) 60ML. COATS SHALL BE APPLIED THROUGHOUT INTERIOR OF POT. TREMCO SEALANTS AVAILABLE FROM: LOWRY'S INC. 800-252-2449.
  - PLANTER POT SOIL MIX - "ULTRA POTTING MIX" BY AMERICAN SOIL AND STONE. CONTACT: 510-292-3000 - NO ONSITE SOILS TO BE USED IN POTS.
  - NO FERTILIZER TABLETS TO BE USED WITH POTTING SOIL MIX.
  - CONTRACTOR PROVIDE CUT-SHEETS AND MATERIAL SAMPLES OF POTTERY, GRAVEL AND PLANT MATERIAL FOR REVIEW AND APPROVAL PRIOR TO ORDERING.
  - CONTRACTOR TO COORDINATE WITH IRRIGATION AND DRAINAGE CONTRACTORS TO FIELD VERIFY STUBBED LOCATIONS AND FIELD ADJUST POT PENETRATIONS INTO POT, AS NECESSARY.

TYPICAL RAISED PLANTER 2



- NOTES**
- CONTRACTOR TO COORDINATE IRRIGATION WITH DRAINAGE AND PLUMBING CONTRACTORS TO FIELD VERIFY STUBBED LOCATIONS AND FIELD ADJUST POT PENETRATIONS INTO POT AS NECESSARY.
  - CONTRACTOR SHALL COORDINATE ALL PIPING WITH OTHER TRADES PRIOR TO CONSTRUCTION.
  - COORDINATE THE WATER SUPPLY LINE STUB OUT LOCATIONS WITH THE INSTALLATION OF PLANTER POTS.

RAISED PLANTER IRRIGATION 1



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 LANDSCAPE PLANS  
 2147 SAN PABLO AVE, BERKELEY, CA

PHASE AGENCY RESUBMITTAL  
 DATE 01/22/2025

REVISIONS

No.	Description	Date

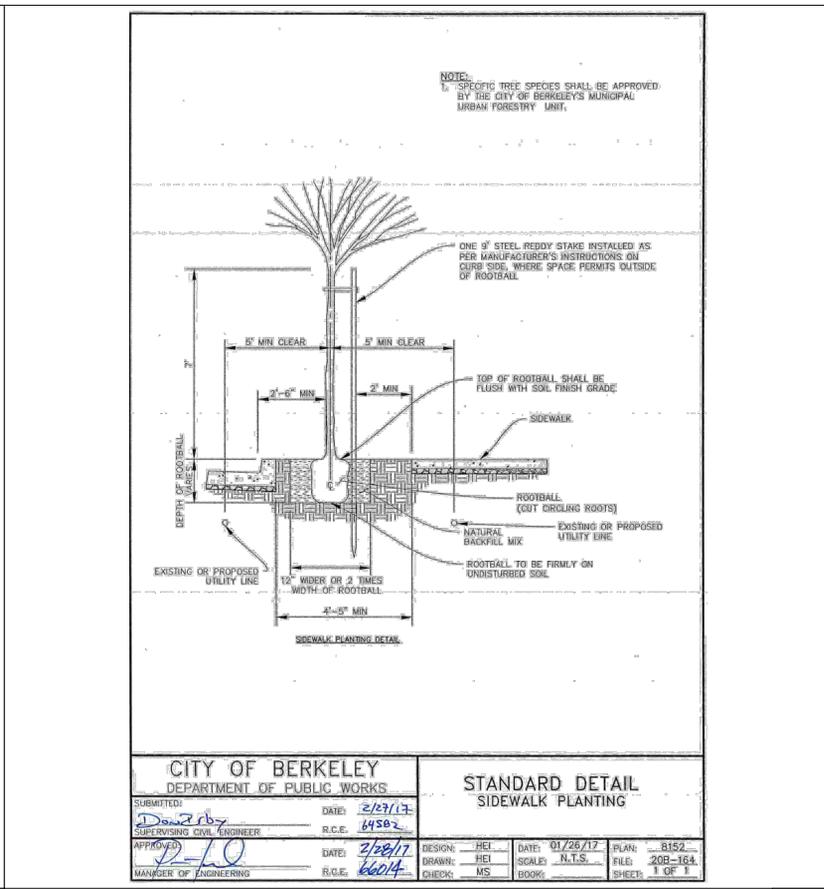
PLANTING  
 DETAILS

L-3.1

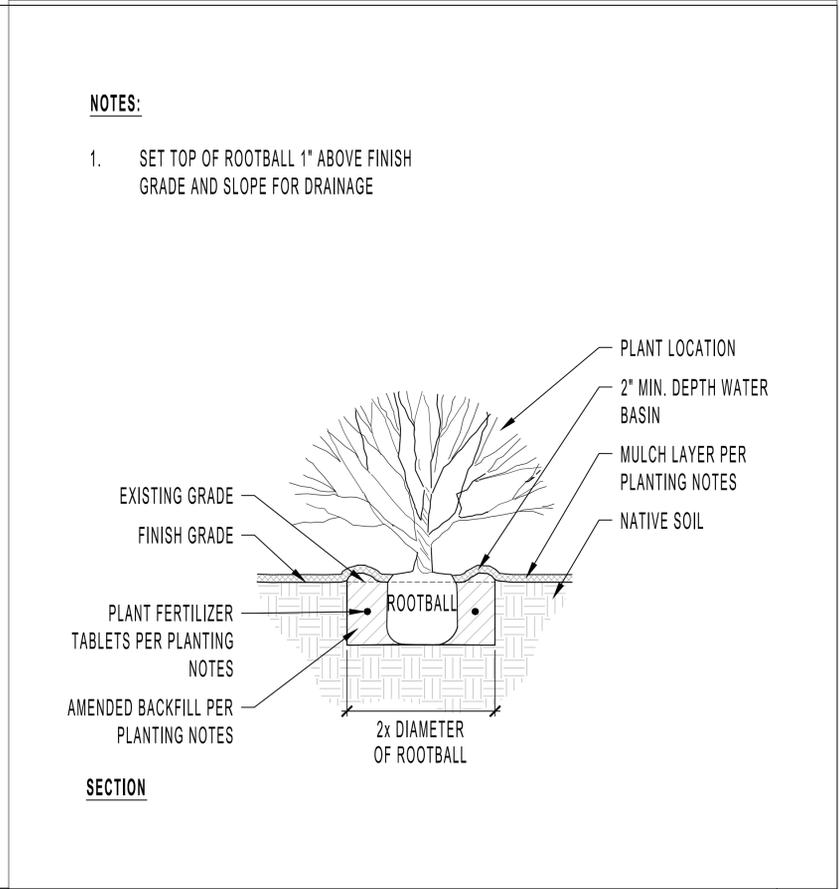
### PLANTING NOTES

- INSTALL CONTAINER PLANT MATERIAL AS SPECIFIED. ANY PROPOSED SUBSTITUTIONS TO BE MADE IN WRITING FOR REVIEW AND APPROVAL PRIOR TO ORDERING.
- ALL PLANTING AREAS TO RECEIVE IN-LINE DRIP IRRIGATION TO COVER AS NEEDED. DRIP LINES TO BE STAKED BELOW MULCH.
- ALL PLANTING AREAS AND PLANTER POTS TO RECEIVE 3" LAYER COMPOSTED BARK MULCH (50% 'GARDEN MULCH' + 50% 'FOREST FLOOR BARK' UNLESS OTHERWISE NOTED. BY: AMERICAN SOIL & STONE) CONTRACTOR TO SUBMIT SAMPLES FOR REVIEW AND APPROVAL.
- MULCH COMPOST SHALL BE TESTED TO HAVE A MINIMUM OF 6% ORGANIC MATTER IN SOIL COMPOSITION.
- PLANT SYMBOLS WITH MULTIPLE SPECIES LISTED MAY BE ANY OF THE SPECIES, AS AVAILABLE AT TIME OF INSTALLATION.
- ALL PLANTING AREAS TO BE EXCAVATED 8" MINIMUM (18" AT TREE LOCATIONS) WITH ROCKS AND DEBRIS REMOVED. BACKFILL, IN 4" LIFTS, PLANTER AREAS WITH EXISTING CLEAN SOIL AMENDED WITH COMPOST. CONFIRM WITH LANDSCAPE ARCHITECT SOURCE OF COMPOST PRIOR TO ORDERING. AMENDED SOIL NOT CONSISTENT WITH DESIGN INTENT AND ACCEPTABLE STANDARD OF CARE WILL BE REJECTED.
- ALL PLANT SPECIES HAVE BEEN SELECTED FOR DURABILITY AND PERFORMANCE IN SUNSET ZONE 17.
- NO PLANT SPECIES OCCUR ON THE INVASIVE PLANT COUNCIL'S (IPC) PROHIBITED PLANT LIST.
- NO PLANT SPECIES OCCUR ON THE FIRE SAFE ALAMEDA FIRE-HAZARDOUS PLANT LIST.
- PLANTS WILL BE IRRIGATED WITH A DEDICATED, WEATHER-BASED 'SMART' IRRIGATION CONTROLLER USING DRIP EMITTERS.

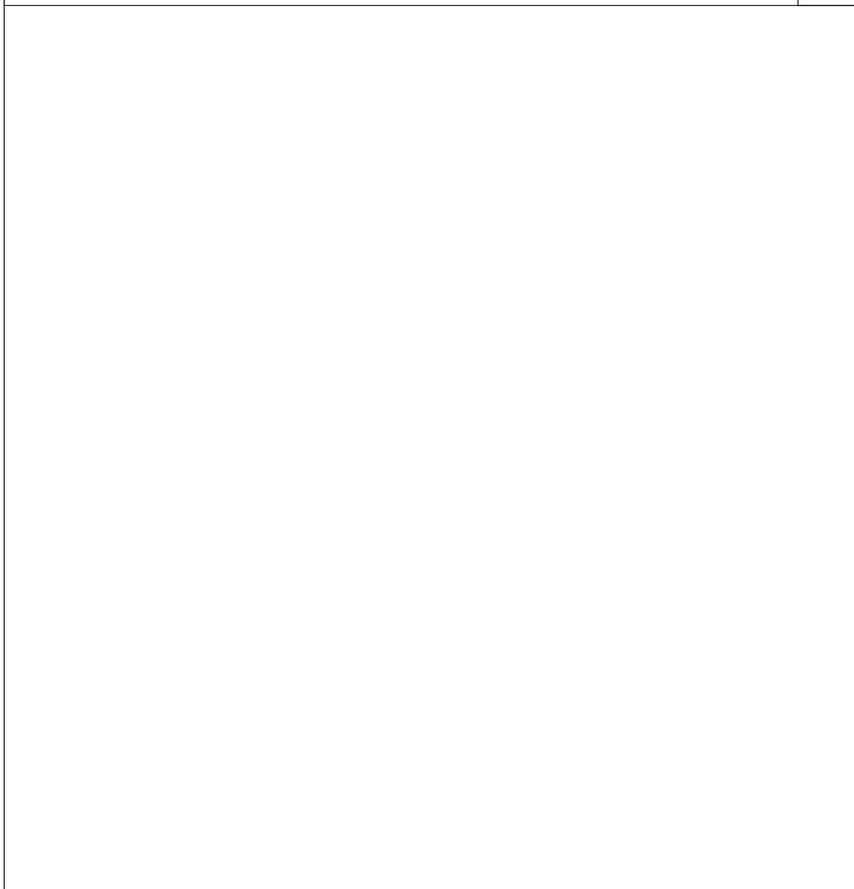
PLANTING NOTES 5



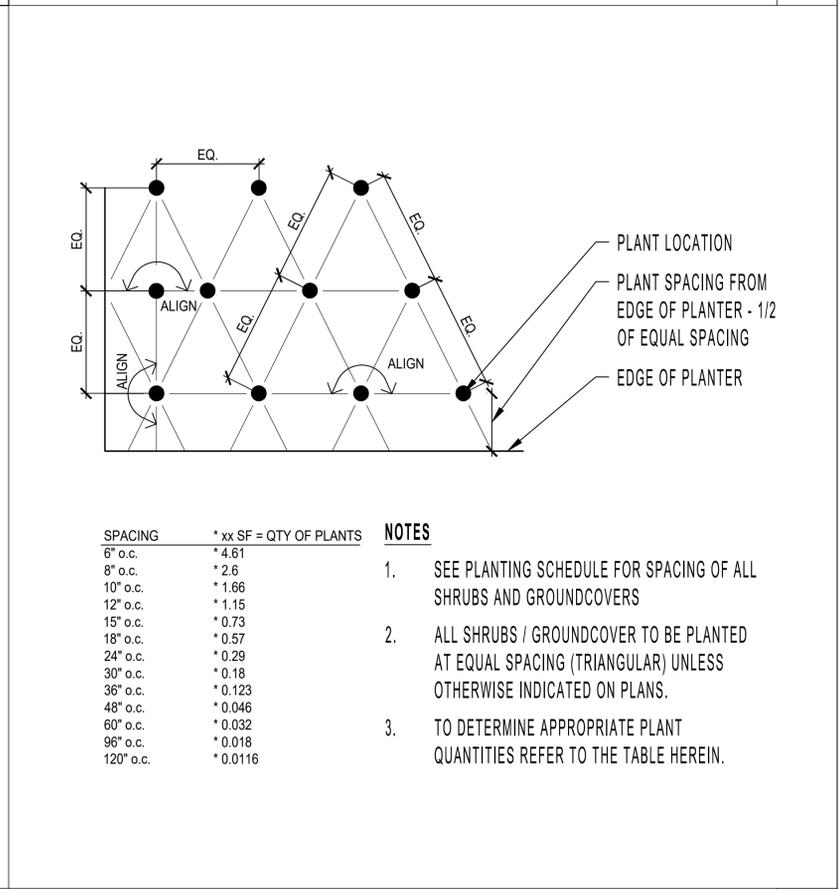
BERKELEY STANDARD TREE DETAIL 3



SHRUB / GROUNDCOVER PLANTING 1



TYPICAL ROOT BARRIER CONDITION 4

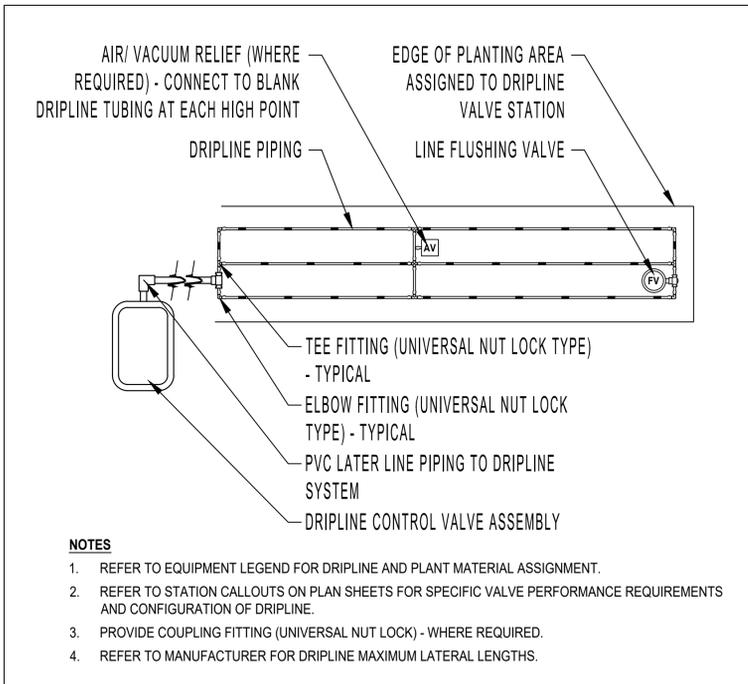


TRIANGULAR SHRUB / G.C. SPACING 2

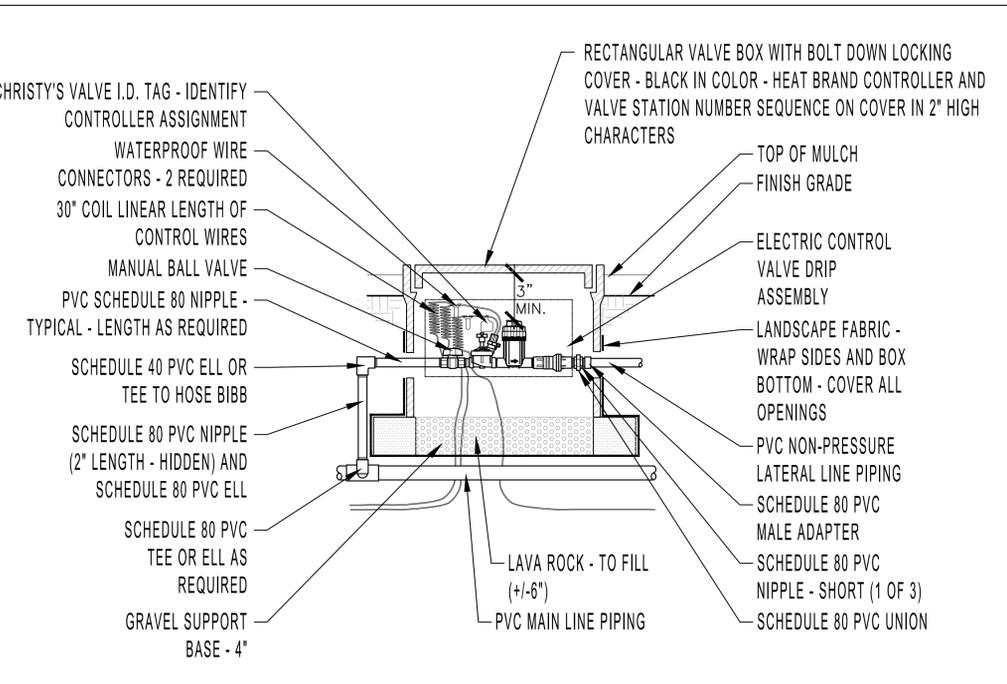


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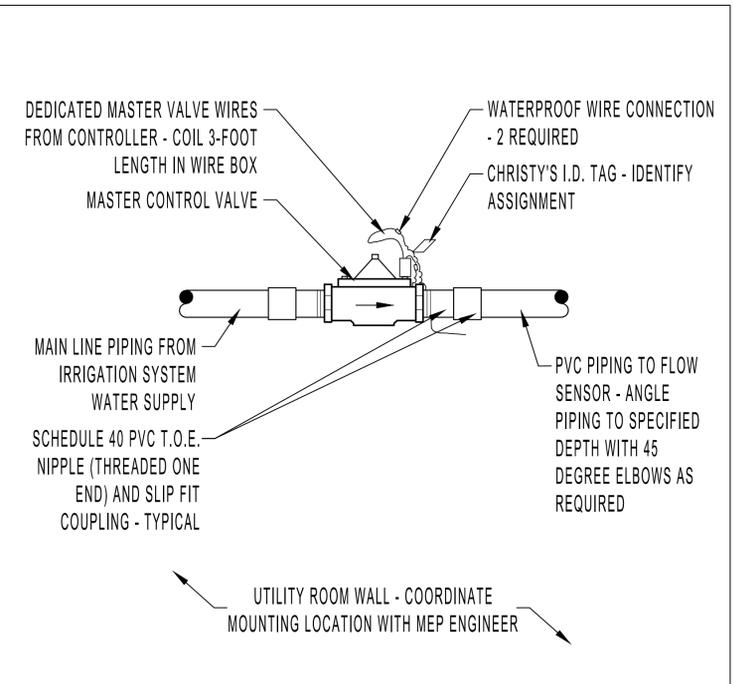
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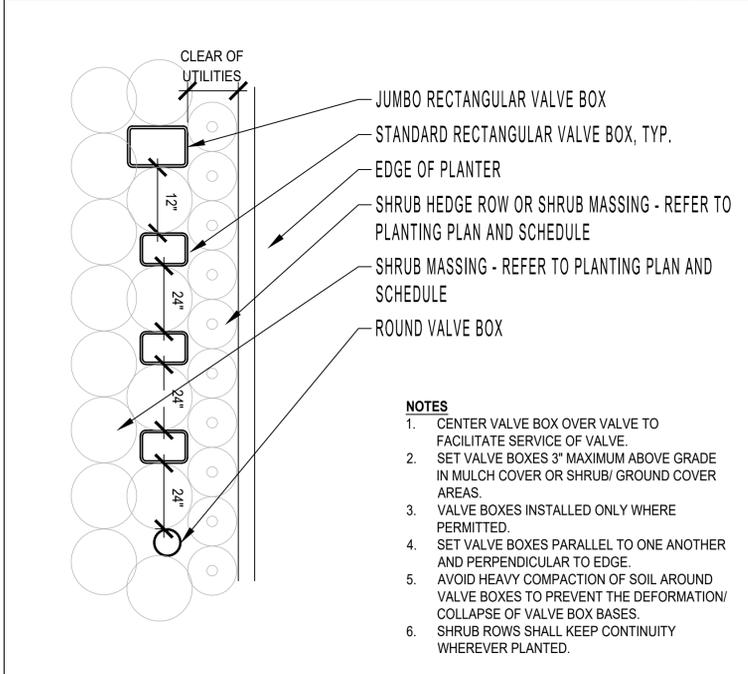
DRIPLINE SYSTEM LAYOUT - TYPICAL 5



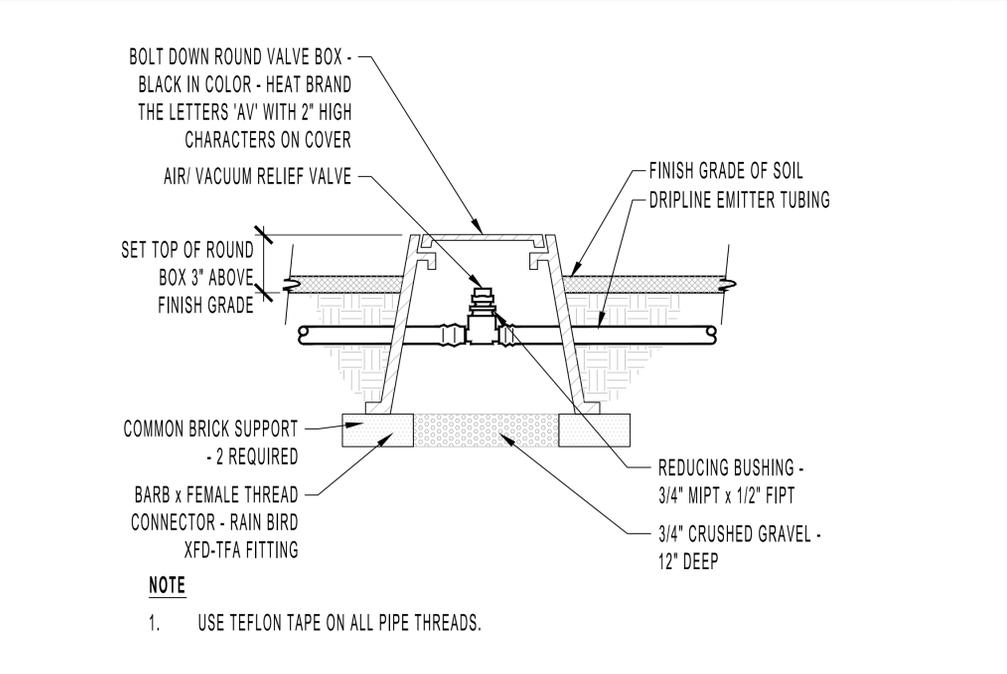
DRIP VALVE STATION 3



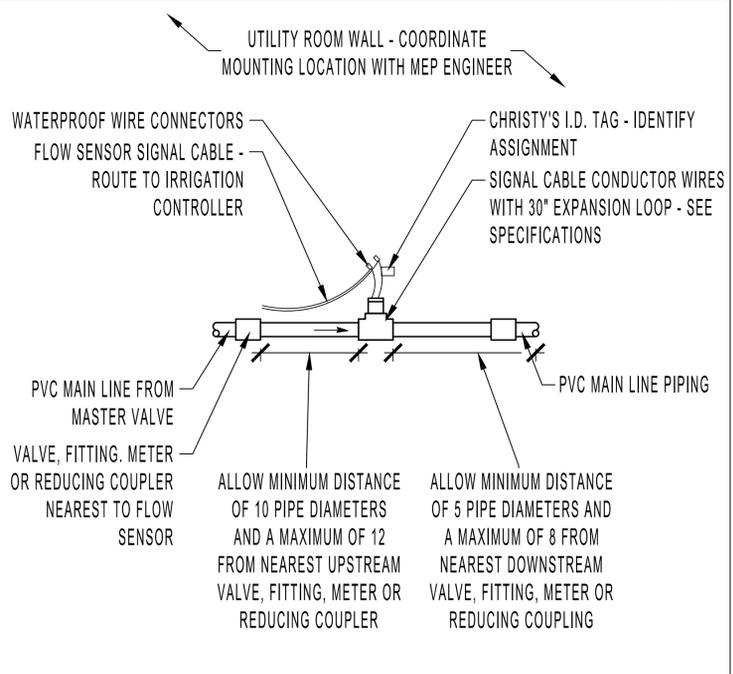
MASTER CONTROL VALVE 1



VALVE BOX LAYOUT 6



AIR / VACUUM RELIEF ASSEMBLY 4



IRRIGATION FLOW SENSOR 2

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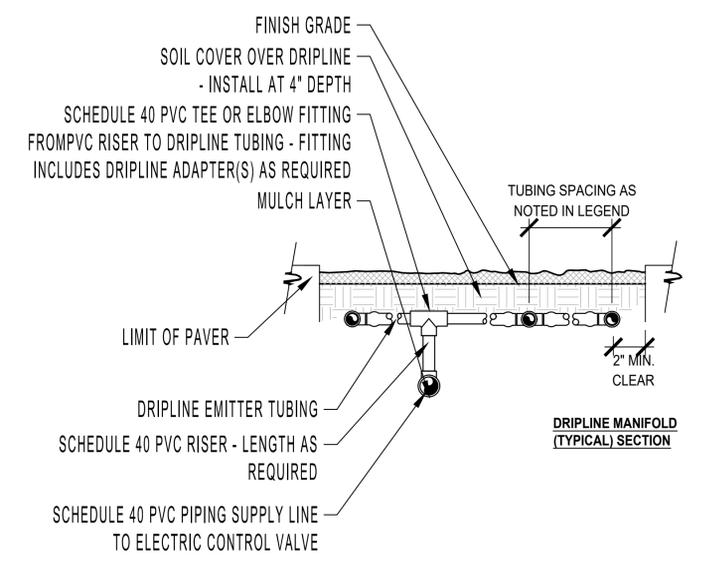
IRRIGATION  
 DETAILS

L-3.2

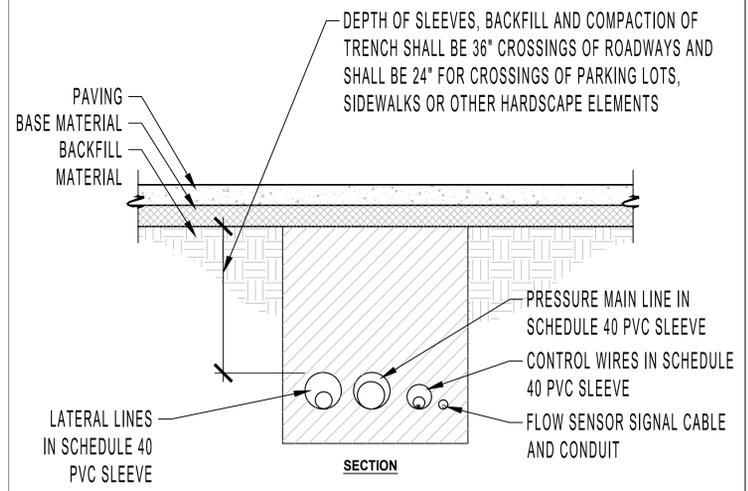


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DRIPLINE PIPING CONNECTIONS - TYPICAL 1



- NOTES**
1. PIPING TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' INSTALLATION SPECIFICATIONS.
  2. MAIN LINE, LATERAL LINES AND CONTROL WIRES SHALL BE SLEEVED BELOW HARDSCAPE ELEMENTS WITH SCHEDULE 40 PVC, 2 TIMES THE DIAMETER OF THE PIPE OR WIRE BUNDLE WIDTH.

SLEEVE TRENCHING 2

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IRRIGATION  
 DETAILS

L-3.3



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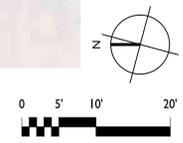
**SITE PLAN - EXISTING**

SHEET NUMBER  
**A0.10**

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12/17/2024 12:35:58 PM

**EXISTING SITE PLAN**  
 1/16" = 1'-0"



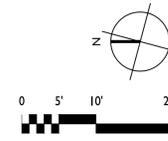
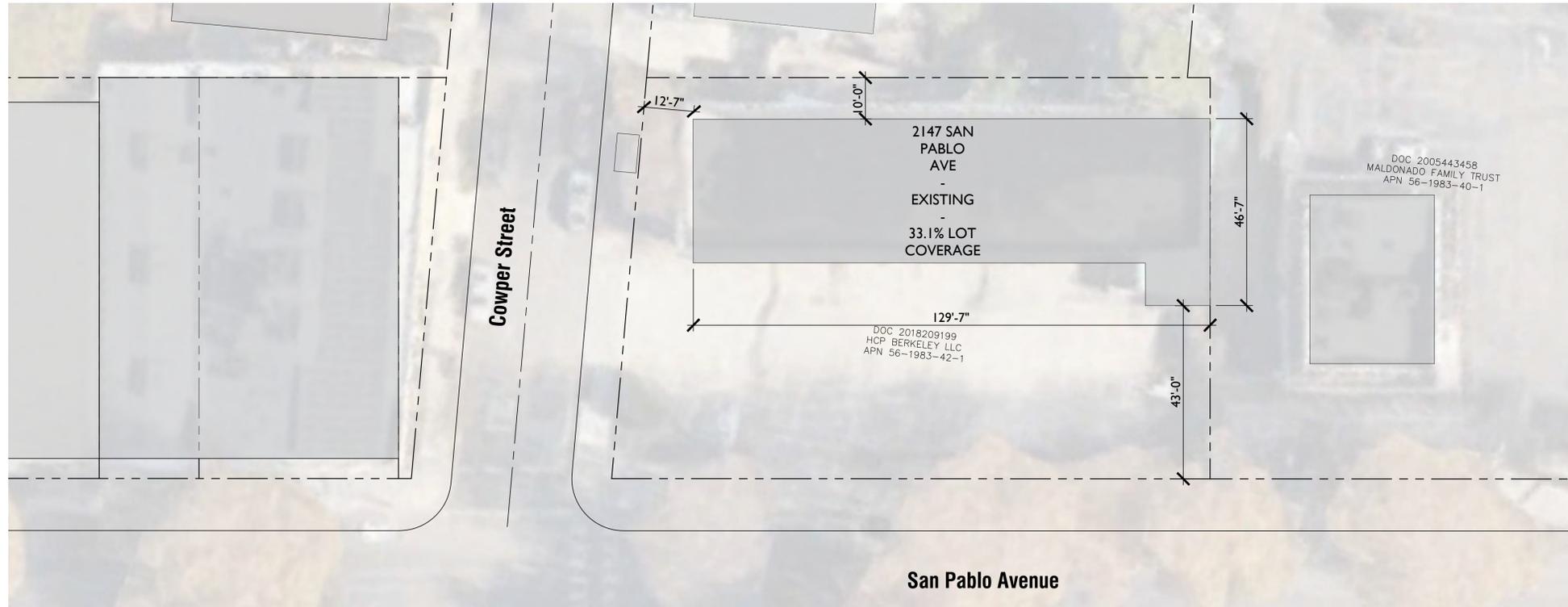


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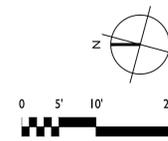
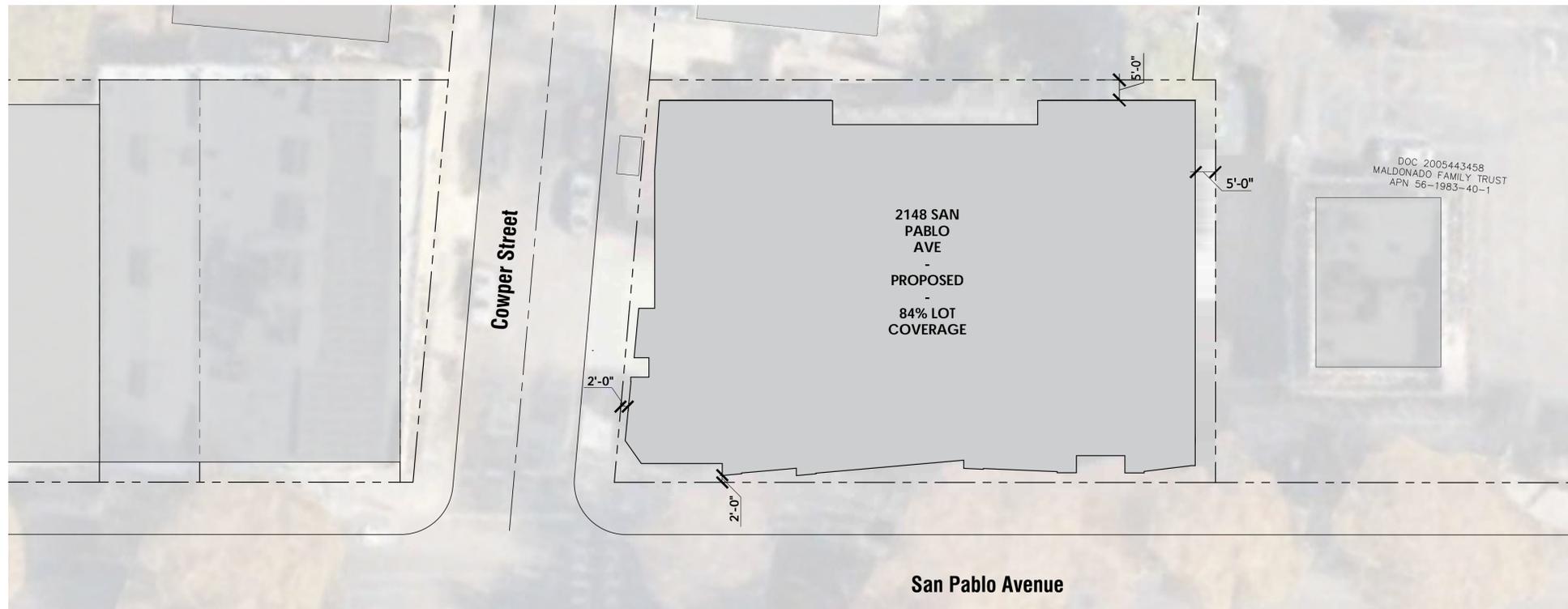
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2 LOT COVERAGE DIAGRAM - EXISTING  
 1/16"=1' 0"



1 LOT COVERAGE DIAGRAM - PROPOSED  
 1/16"=1' 0"

6/18/2024 11:30:11 AM

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 PROJECT NUMBER: OAK23-MF-035  
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 SHEET TITLE:

**LOT COVERAGE  
 DIAGRAMS**

SHEET NUMBER

**A0.12**

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 SHEET TITLE: GROUND FLOOR AND SITE PLAN

**GROUND FLOOR AND SITE PLAN**

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**A1.00**

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 1 SITE PLAN  
 1/8" = 1'-0"



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**AREA SCHEDULE, LEVEL 2**

RESIDENTIAL	7,902 SF	28 UNITS
AMENITY	1,247 SF	COMMON ROOMS, LAUNDRY, TRASH, IDF
CIRCULATION	1,920 SF	INCLUDING STAIRS AND ELEVATORS (APPROX. 750 SF)
COVERED BALCONIES	434 SF	INCLUDING COVERED PATIO
OPEN SPACE	543 SF	
<b>LEVEL 2</b>	<b>12,048 SF</b>	

12/17/2024 12:36:14

1 SECOND FLOOR PLAN  
 1/8" = 1'-0"



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 PROJECT NUMBER: OAK23-MF-035  
 SHEET ISSUE DATE: 06/21/24  
 SHEET TITLE:

**SECOND FLOOR PLAN**

SHEET NUMBER

**A1.01**

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**AREA SCHEDULE - LEVEL3**

RESIDENTIAL	7,874 SF	28 UNITS
AMENITY	1,251 SF	COMMON ROOMS, LAUNDRY, TRASH, IDF
CIRCULATION	2,120 SF	INCLUDING STAIRS AND ELEVATORS (APPROX. 750 SF)
COVERED BALCONIES	641 SF	INCLUDING SKY BRIDGE
<b>LEVEL 3</b>	<b>11,887 SF</b>	

12/17/2024 12:36:22

LEVEL 3 - THIRD FLOOR PLAN  
 1/8" = 1'-0"



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 SHEET TITLE:

**THIRD FLOOR PLAN**

SHEET NUMBER

**A1.02**

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**AREA SCHEDULE, LEVEL 4**

RESIDENTIAL	7,820 SF	28 UNITS
AMENITY	1,193 SF	COMMON ROOMS, LAUNDRY, TRASH, IDF
CIRCULATION	2,133 SF	INCLUDING STAIRS AND ELEVATORS (APPROX. 750 SF)
COVERED BALCONIES	624 SF	INCLUDING SKY BRIDGE
<b>LEVEL 4</b>	<b>11,770 SF</b>	

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LEVEL 4 - FOURTH FLOOR PLAN  
 1/8" = 1'-0"



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 SHEET TITLE:

**FOURTH FLOOR PLAN**

SHEET NUMBER  
**A1.03**

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**AREA SCHEDULE, LEVEL 5**

RESIDENTIAL	7,709 SF	28 UNITS
AMENITY	1,199 SF	COMMON ROOMS, LAUNDRY, TRASH, IDF
CIRCULATION	2,129 SF	INCLUDING STAIRS AND ELEVATORS (APPROX. 750 SF)
COVERED BALCONIES	632 SF	INCLUDING SKY BRIDGE
<b>LEVEL 5</b>	<b>11,668 SF</b>	

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LEVEL 5 - FIFTH FLOOR PLAN  
 1/8" = 1'-0"



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**FIFTH FLOOR PLAN**

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**A1.04**

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**AREA SCHEDULE, LEVEL 6**

RESIDENTIAL	6,376 SF	22 UNITS
AMENITY	1,638 SF	COMMON ROOMS, LAUNDRY, TRASH, IDF
CIRCULATION	1,976 SF	INCLUDING STAIRS AND ELEVATORS (APPROX. 750 SF)
COVERED BALCONIES	287 SF	
BALCONY	1,241 SF	INCLUDING SKY BRIDGE
LEVEL 6	11,518 SF	

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LEVEL 6 - SIXTH FLOOR PLAN  
 1/8" = 1'-0"



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**SIXTH FLOOR PLAN**

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**A1.05**

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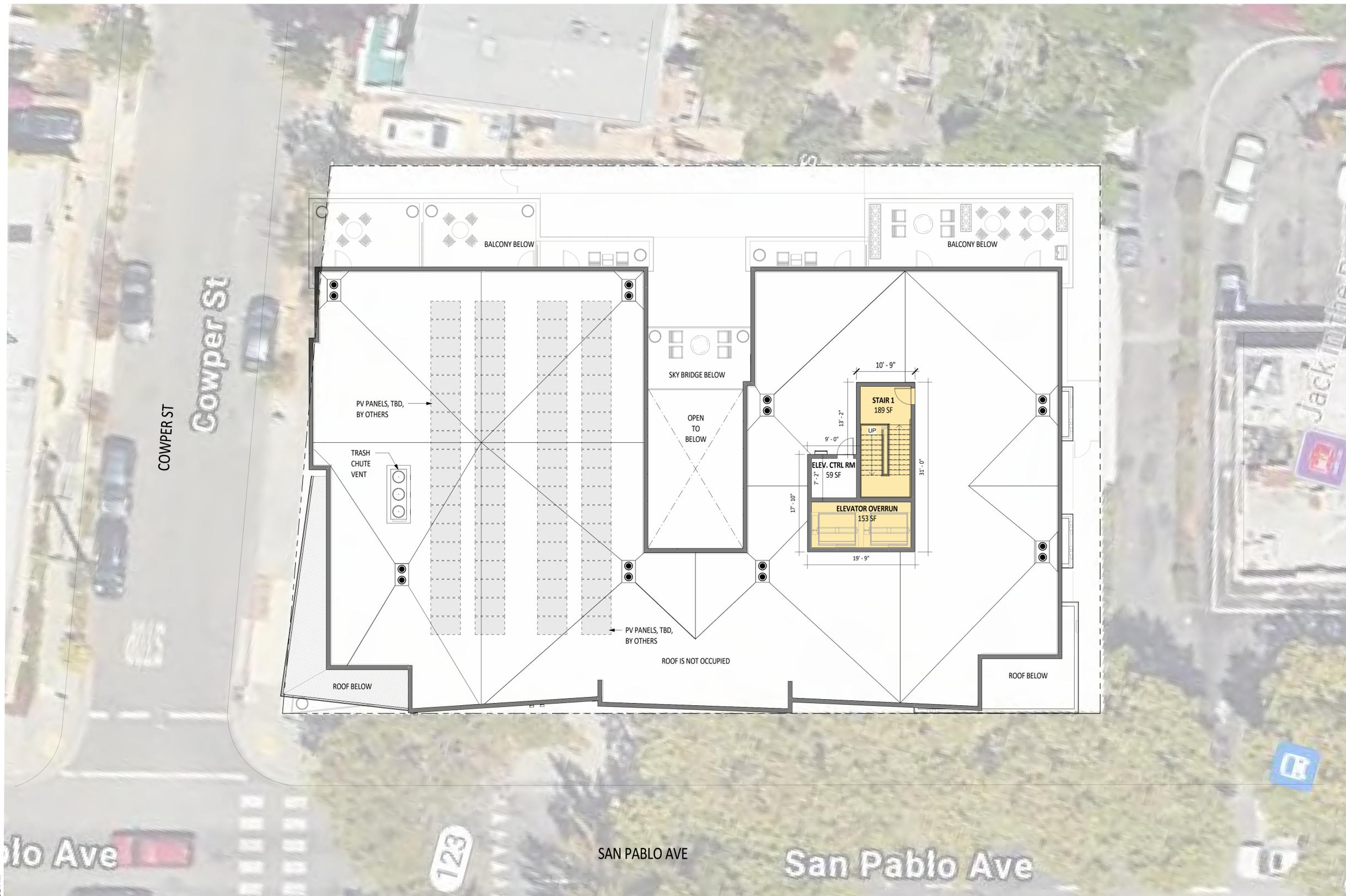


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1 ROOF - ROOF PLAN  
1/8" = 1'-0"



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**ROOF PLAN**

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- PAINTED METAL CAP
- CEMENT LAP SIDING
- WOOD LIKE CEILING
- PICKET GUARDRAIL
- PAINTED METAL COLUMN
- PAINTED METAL FASCIA



3 PERSPECTIVE DETAIL OF COMMON TERRACE  
 1/2" = 1'-0"



2 NORTH ELEVATION  
 1/8" = 1'-0"

**MATERIAL LEGEND**

- M-01** WINDOW AND STOREFRONT SYSTEM  
ANODIZED ALUMINUM, BLACK
- M-02** PAINTED GALVANIZED METAL  
BLACK
- M-05** PAINTED GALVANIZED METAL  
BM 1601 HEARTHSTONE
- M-06** PAINTED GALVANIZED METAL  
BM 1224 COYOTE TRAIL
- P-01** CEMENT PLASTER  
16/20 MEDIUM SAND FLOAT FINISH  
BM OC-19 SEAPEARL
- P-02** CEMENT PLASTER  
16/20 MEDIUM SAND FLOAT FINISH  
BM 797 ATHENS BLUE
- P-03** CEMENT PLASTER  
16/20 MEDIUM SAND FLOAT FINISH  
MURAL, FINAL ARTWORK TBD.
- H-01** CEMENT SIDING  
HARDIE ASPYRE ARTISAN LAP  
BM 1473 GRAY HUSKIE
- H-02** CEMENT SIDING  
HARDIE ASPYRE ARTISAN LAP  
BM AF-710 SECRET
- H-03** CEMENT SIDING  
HARDIE ASPYRE ARTISAN LAP  
BM 1484 ASHWOOD MOSS
- H-04** CEMENT SIDING  
HARDIE V-GROOVE
- C-02** BOARD-FORMED CIP CONCRETE  
VERTICAL ORIENTATION



1 WEST ELEVATION  
 1/8" = 1'-0"

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**ELEVATIONS AND MATERIALS**

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**A2.00**

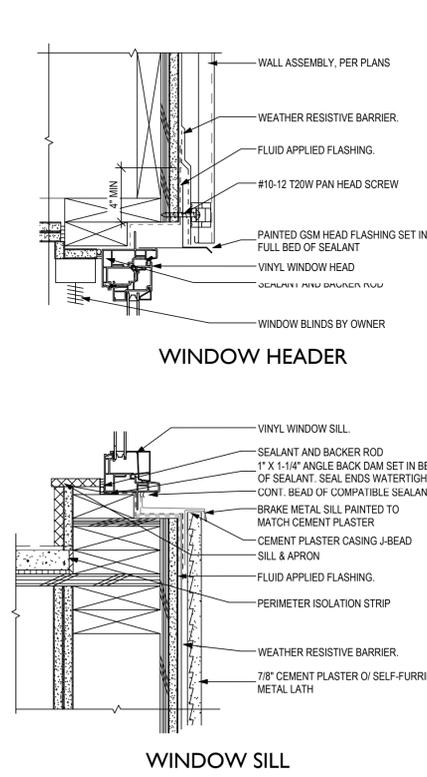
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3 TYPICAL WINDOW DETAILS  
 1/2" = 1'-0"



2 SOUTH ELEVATION - ENTITLEMENT  
 1/8" = 1'-0"

**MATERIAL LEGEND**

- M-01 WINDOW AND STOREFRONT SYSTEM**  
ANODIZED ALUMINUM, BLACK
- M-02 PAINTED GALVANIZED METAL**  
BLACK
- M-05 PAINTED GALVANIZED METAL**  
BM 1601 HEARTHSTONE
- M-06 PAINTED GALVANIZED METAL**  
BM 1224 COYOTE TRAIL
- P-01 CEMENT PLASTER**  
16/20 MEDIUM SAND FLOAT FINISH  
BM OC-19 SEAPEARL
- P-02 CEMENT PLASTER**  
16/20 MEDIUM SAND FLOAT FINISH  
BM 797 ATHENS BLUE
- P-03 CEMENT PLASTER**  
16/20 MEDIUM SAND FLOAT FINISH  
MURAL, FINAL ARTWORK TBD.
- H-01 CEMENT SIDING**  
HARDIE ASPYRE ARTISAN LAP  
BM 1473 GRAY HUSKIE
- H-02 CEMENT SIDING**  
HARDIE ASPYRE ARTISAN LAP  
BM AF-710 SECRET
- H-03 CEMENT SIDING**  
HARDIE ASPYRE ARTISAN LAP  
BM 1484 ASHWOOD MOSS
- H-04 CEMENT SIDING**  
HARDIE V-GROOVE
- C-02 BOARD-FORMED CIP CONCRETE**  
VERTICAL ORIENTATION



1 EAST ELEVATION  
 1/8" = 1'-0"

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**ELEVATIONS AND MATERIALS**

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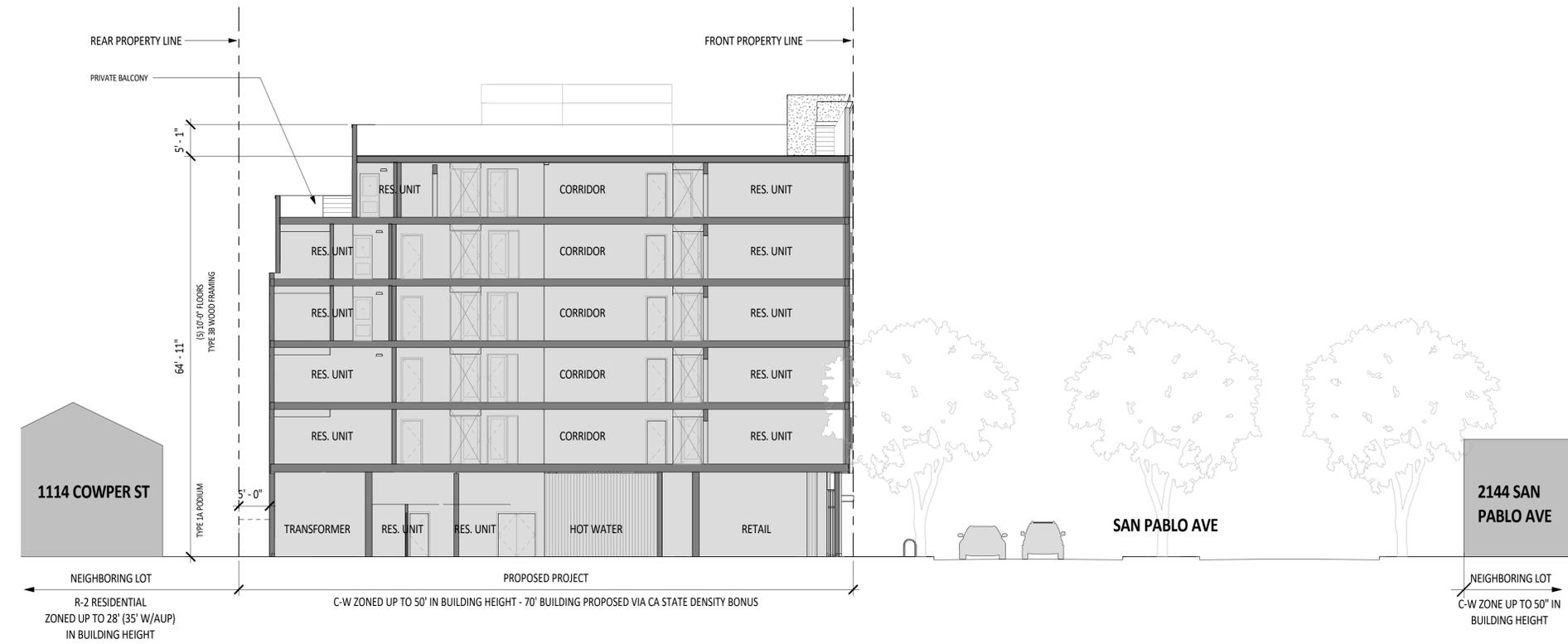


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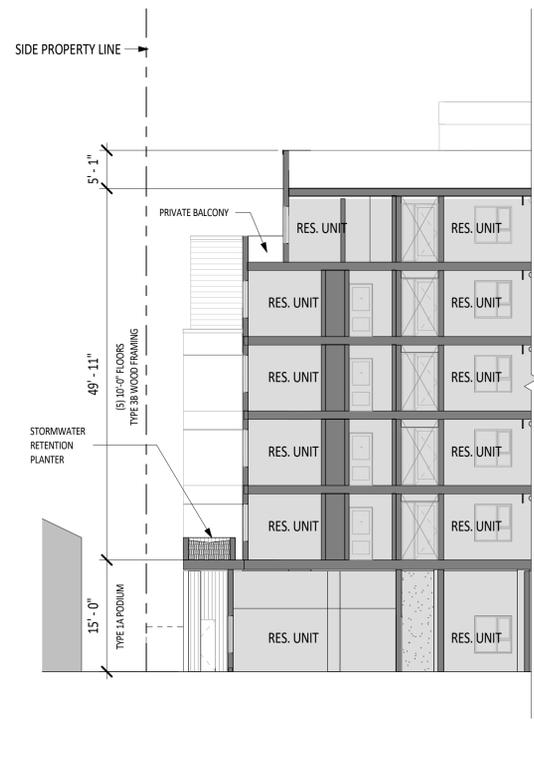
**2147 SAN PABLO AVE HOUSING**

2147 San Pablo Ave, Berkeley, CA 94702

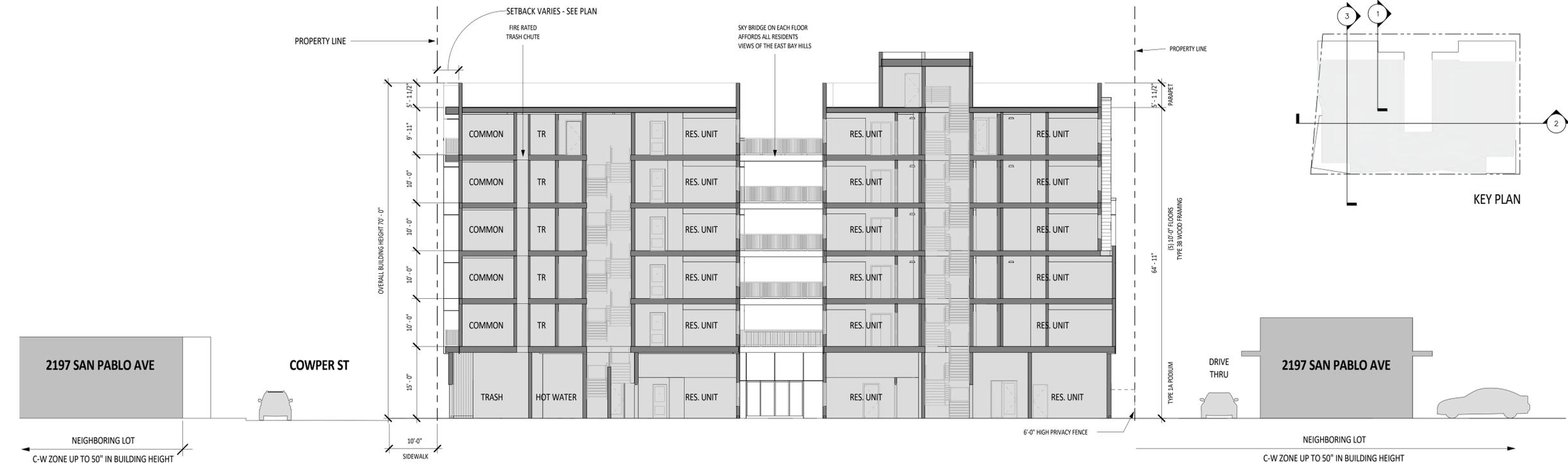
**OWNER**  
 WANG BROTHERS INVESTMENTS, LLC  
 2417 Mariner Square Loop, Suite 247  
 Alameda, CA 94501  
 Phone: 925.386.0285



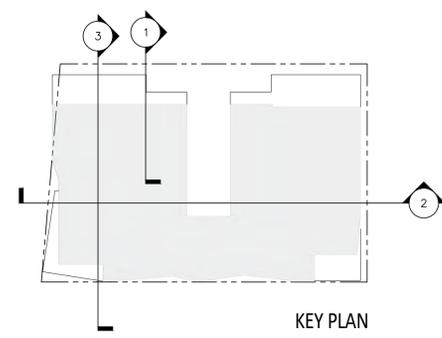
③ ENT - EAST-WEST SITE SECTION LOOKING SOUTH  
 3/32" = 1'-0"



① EAST-WEST SITE SECTION LOOKING SOUTH  
 3/32" = 1'-0"



② NORTH-SOUTH SITE SECTION LOOKING EAST  
 3/32" = 1'-0"



KEY PLAN

DRAWN BY: RB  
 PROJECT NUMBER: OAK23-MF-035  
 SHEET ISSUE DATE: 06/21/24  
 SHEET TITLE: BUILDING SECTIONS

SHEET NUMBER  
**A3.00**

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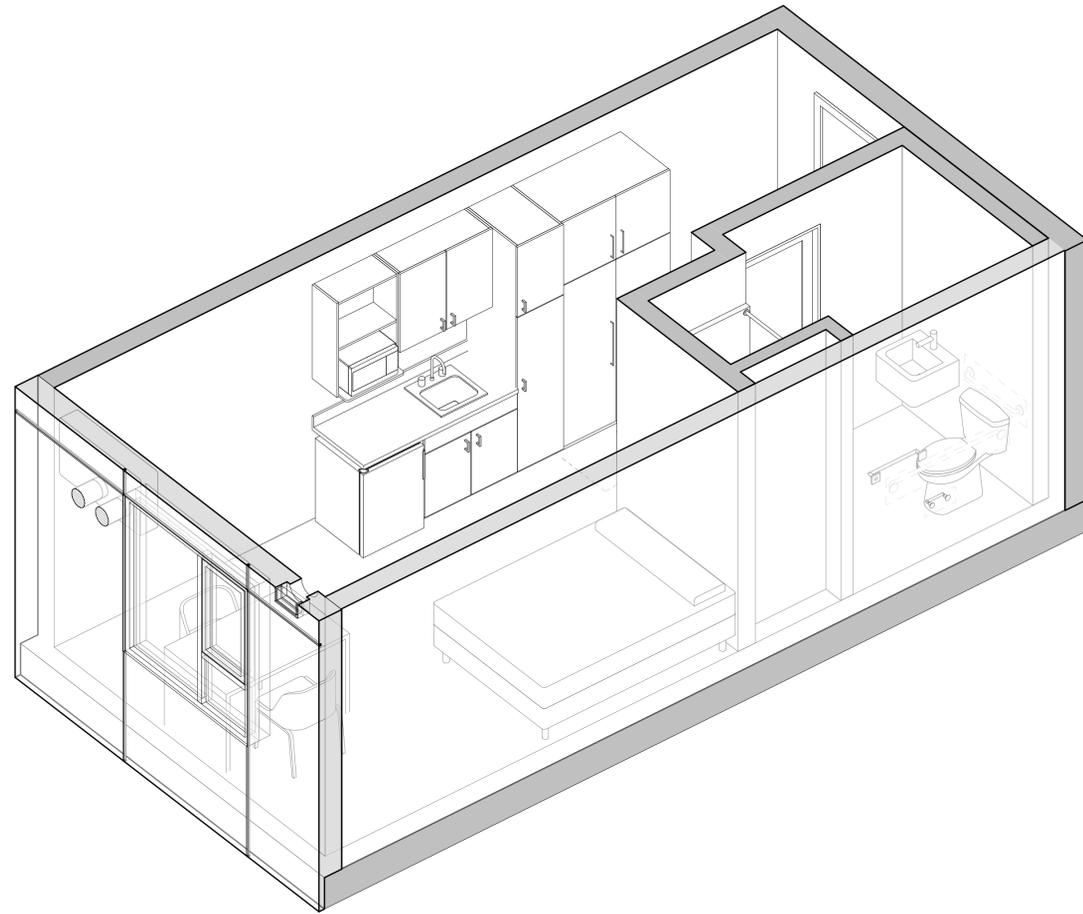


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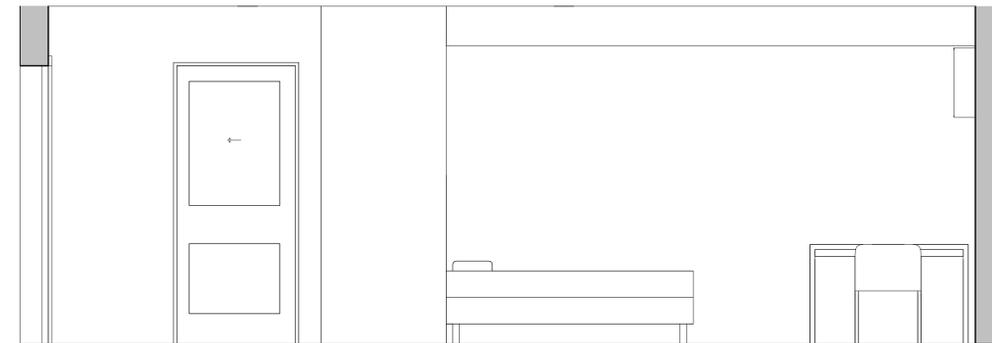
**2147 SAN PABLO AVE  
 HOUSING**

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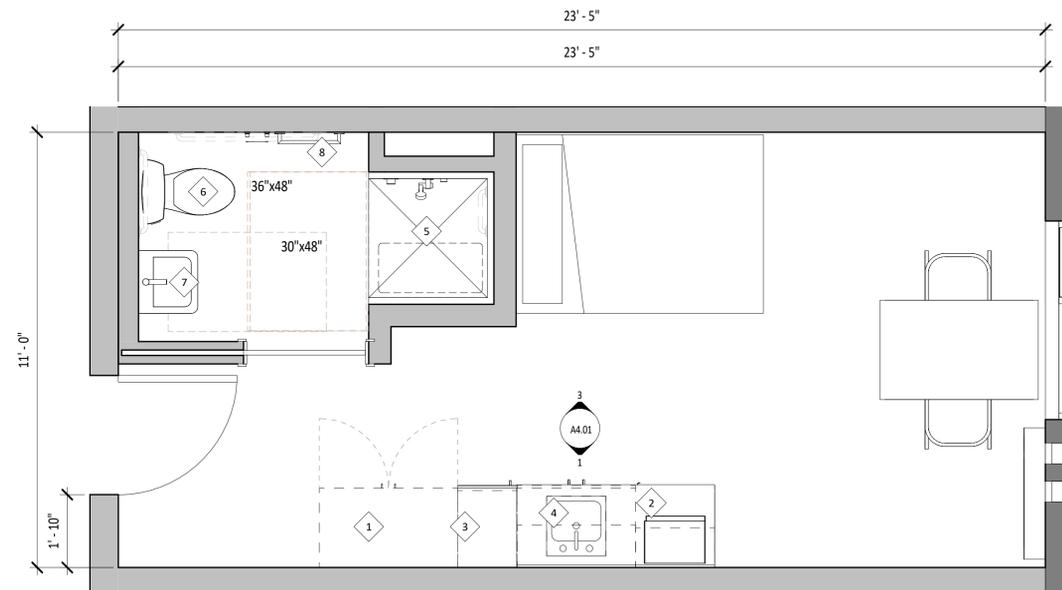
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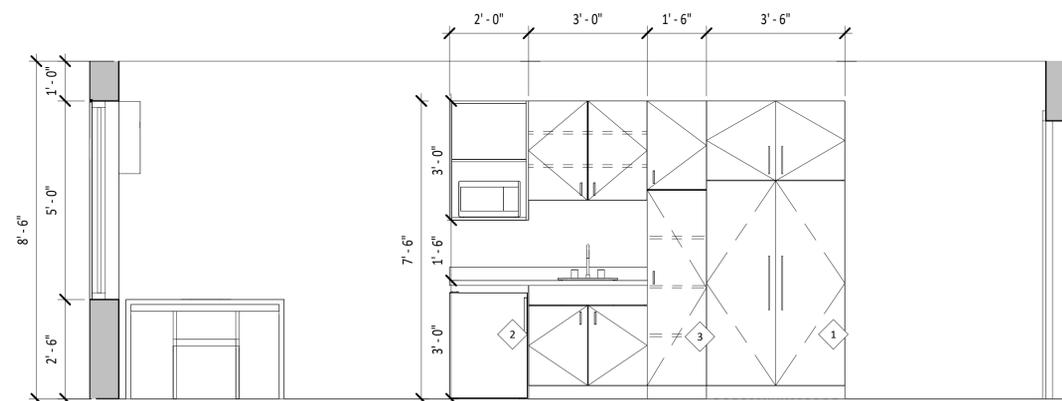
4 AXONOMETRIC VIEW - TYPICAL UNIT



3 ENT - ELEVATION - TYPICAL PRIVATE ROOM  
 1/2" = 1'-0"



2 ENLARGED PLAN - TYPICAL PRIVATE ROOM  
 1/2" = 1'-0"



1 ENT - ENLARGED SECTION 2 - TYPICAL PRIVATE ROOM  
 1/2" = 1'-0"

**UNIT KEYNOTES**

- 1 ARMOIRE / CLOTHES CLOSET
- 2 UNDER COUNTER REFRIGERATOR
- 3 PANTRY/STORAGE
- 4 KITCHEN SINK
- 5 TRANSFER TYPE SHOWER
- 6 WATER CLOSET
- 7 SINK
- 8 TOWEL BAR

DRAWN BY: RB  
 PROJECT NUMBER: OAK23-MF-035  
 SHEET ISSUE DATE: 06/21/24  
 SHEET TITLE:

**ENLARGED ROOM PLAN  
 AND ELEVATIONS**

SHEET NUMBER

**A4.01**

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STREETSCAPE - PLANT SCHEDULE

SYMBOL	LOCATION	SPECIES	NOTES
	SAN PABLO AVENUE	LONDON PLANE TREE (EXISTING)	- ALL EXISTING STREET TREES TO BE EVALUATED FOR PRUNING AND SOIL AMENDMENTS PRIOR TO CONSTRUCTION BY A CERTIFIED ARBORIST.
	COWPER STREET	ISLAND OAK - <i>Quercus tomentella</i> *	- 24" BOX SIZE - PROPOSED LOCATIONS PER PLAN, - 7' MINIMUM BRANCHING HEIGHT
	COWPER STREET	DEERGRASS <i>Muhlenbergia rigens</i> *	- #5 GAL - PROPOSED LOCATIONS PER PLAN

PAVING	DESCRIPTION	COLOR	MANUFACTURER
P-1	DECOMPOSED GRANITE	MEDIUM GRAY	AMERICAN SOIL & STONE

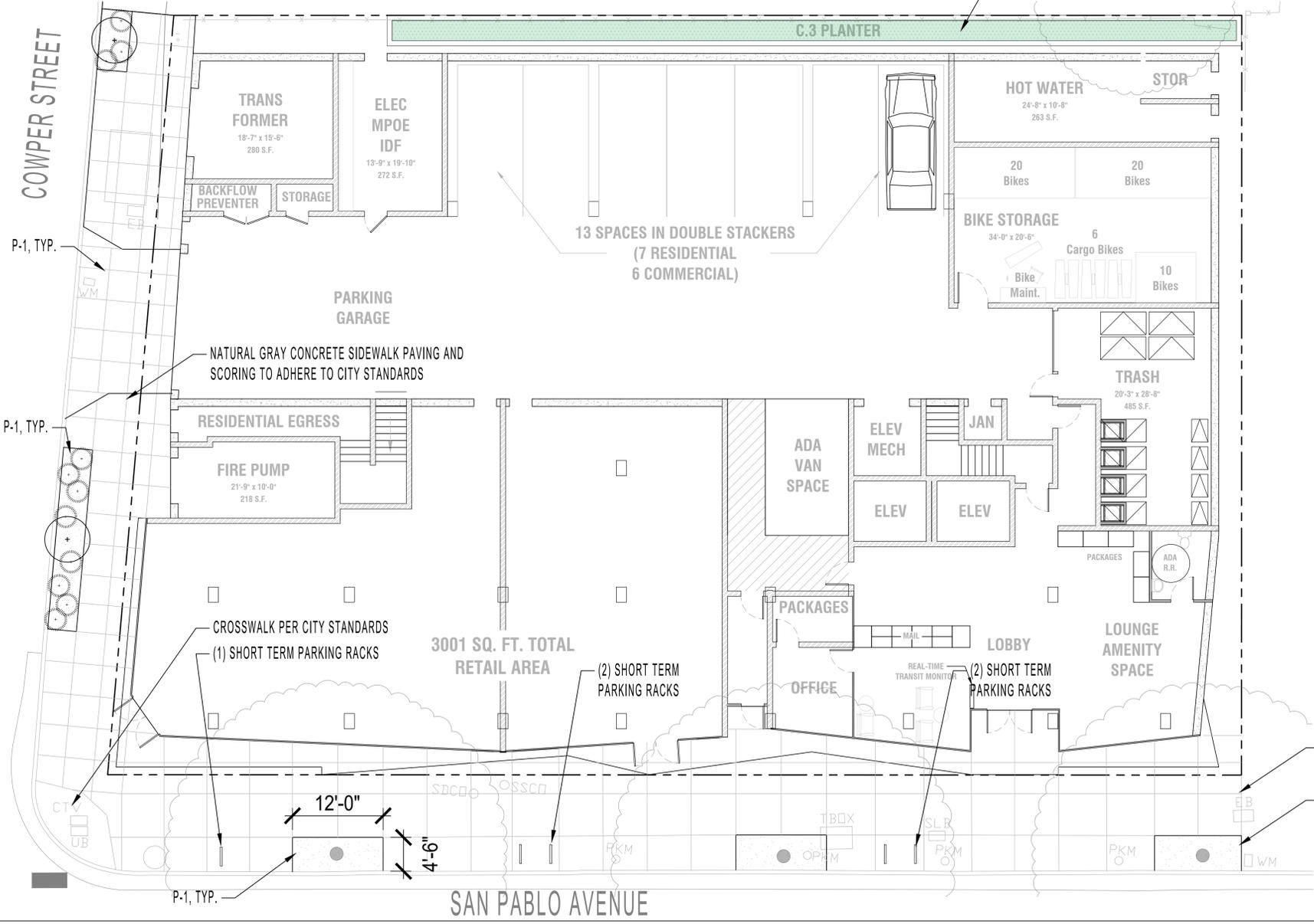
DECOMPOSED GRANITE



FLOW-THROUGH PLANTERS

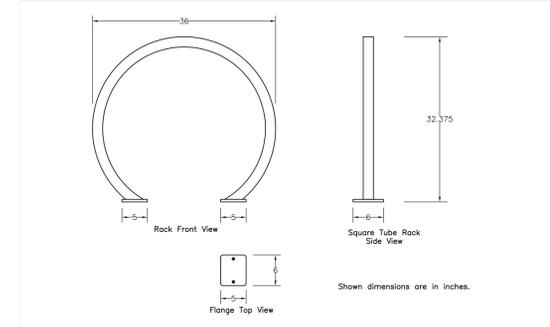
COMMON NAME	BOTANICAL NAME	SIZE	SPACING	WUCOLS
CALIFORNIA GRAY RUSH	<i>Juncus patens</i> *	#1	30" O.C., TRIANGULAR	Low
DOUGLAS IRIS	<i>Iris douglasiana</i> *	#5 Min.	30" O.C., TRIANGULAR	Low
CALIFORNIA NATIVE SEDGE	<i>Carex nudata</i> * or <i>Carex senta</i> *	#1	30" O.C., TRIANGULAR	Low

- \* AFTER BOTANICAL NAME INDICATES NATIVE CA SPECIES
- STREETSCAPE SPECIES WILL BE APPROXIMATELY 100% NATIVE SPECIES
- WHEN MULTIPLE SPECIES ARE PROVIDED, OPT FOR NATIVE SPECIES



CITY APPROVED SHORT TERM BIKE RACK

CITY OF BERKELEY SURFACE MOUNTED SINGULAR CIRCULAR RACK SPECIFICATIONS



**Surface Mounted Single Circular Rack**  
 Height: 32.375"  
 Width: 36"  
 Flanges: 5" x 6" x 3/8"  
 Mounting Holes: (4) 9/16" dia.  
 Mounting Bolts: 1/2" x 3.75" Wedge Anchor Bolt, or 1/2" x 3.75" Anchor Rawl Spike  
 Hoop: 2" x 2" x 0.188" Square tube  
 Finish: Hot-dipped Galvanized (-G), Powder-coated (-P), Stainless #4 Brush Finish (-SS)

SAN PABLO AVENUE GROUP LIVING ACCOMMODATION  
 LANDSCAPE PLANS  
 2147 SAN PABLO AVE, BERKELEY, CA

PHASE AGENCY REVIEW  
 DATE 11/28/2022  
 REVISIONS

No.	Description	Date

LANDSCAPE PLAN  
 STREETSCAPE

NOTES  
 1. SITE PLAN INFORMATION DERIVED FROM ARCHITECTURAL PLANS DATED 11/14/2022.





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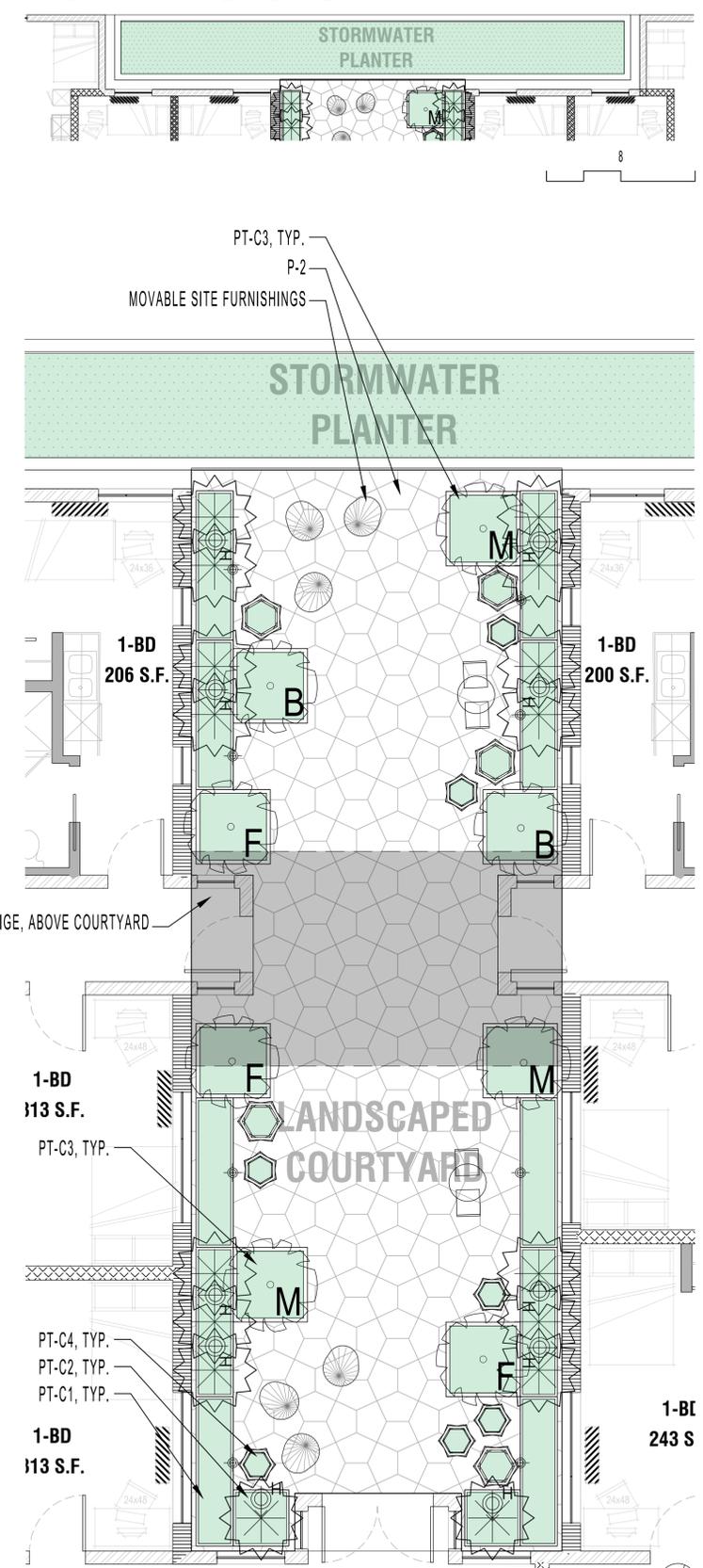
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 LANDSCAPE PLANS  
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PHASE	AGENCY REVIEW	
DATE	11/28/2022	
REVISIONS		
No.	Description	Date

LANDSCAPE PLAN  
 COURTYARD

L-2

C3 FLOW-THROUGH PLANTERS PLAN



COURTYARD PLAN

COURTYARD - PLANT SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	SPACING / MIX PERCENTAGE	WUCOLS
	WEAVER'S BAMBOO	Bambusa textilis	#20 Min.	Per Plan	Low
	TASMANIAN TREE FERN	Dicksonia antarctica	#20 Min.	Per Plan	High
	PHILODENDRON	Monstera deliciosa	#20 Min.	Per Plan	High
	BAMBOO PALM	Chamaedorea seifrizii	#20 Min.	Per Plan	High
	WOODLAND STRAWBERRY	Fragaria vesca*	#1	15%	Low
	CAST IRON PLANT	Aspidistra elatior	#1, #5	15%	Low
	STAR JASMINE	Trachelospermum jasminoides	#1	10%	Moderate
	GIANT CHAIN FERN	Woodwardia fimbriata*	#1, #5	15%	Moderate
	TURF LILY	Liriope gigantea	#1	10%	Moderate
	WESTERN SWORD FERN	Polystichum munitum*	#1, #5	15%	Moderate
	CREeping RASPBERRY	Rubus calycinoide*s	#5	20%	Moderate

- \* AFTER BOTANICAL NAME INDICATES NATIVE CA SPECIES
- STREETSCAPE SPECIES WILL BE APPROXIMATELY 37% NATIVE SPECIES
- WHEN MULTIPLE SPECIES ARE PROVIDED, OPT FOR NATIVE SPECIES

FLOW-THROUGH PLANTERS (See Sheet L-1)

COMMON NAME	BOTANICAL NAME	SIZE	SPACING	WUCOLS
CALIFORNIA GRAY RUSH	Juncus patens*	#1	30" O.C., TRIANGULAR	Low
DOUGLAS IRIS	Iris douglasiana*	#5 Min.	30" O.C., TRIANGULAR	Low
CALIFORNIA NATIVE SEDGE	Carex nudata* or Carex senta*	#1	30" O.C., TRIANGULAR	Low

LANDSCAPE MATERIALS SCHEDULE

PAVING

DESCRIPTION	MANUFACTURER	COLOR	NOTES
P-2 PRECAST CONCRETE PAVERS - PORTERO	QCP	MIX: 75% BUNGALOW / 25% NATURAL	MORTARED ON CONCRETE SLAB. SLAB DRAINAGE BY ARCHITECT.

MOVABLE SITE FURNISHINGS

DESCRIPTION	MANUFACTURER	COLOR	NOTES
SF-1 METAL BISTRO TABLE & CHAIR SET	FERMOB	TBD	COLOR PENDING FINAL MATERIALS SELECTION
SF-2 WOVEN LOUNGE CHAIR	INNIT DESIGNS	WEAVE: TBD FRAME: TBD	COLOR PENDING FINAL MATERIALS SELECTION

PLANTERS

DESCRIPTION	MATERIAL	MANUFACTURER	MODEL	COLOR, FINISH
FTP FLOW-THROUGH PLANTER	CAST-IN-PLACE CONCRETE	-	-	NATURAL GRAY, BOARDFORM FINISH
PT-C1 PERIMETER PLANTER	FRP	TOURNESOL	WILSHIRE COLLECTION #WR-962430	PUDDLE / T-2
PT-C2 36" SQUARE PLANTER			WILSHIRE COLLECTION #WR-3600	PUDDLE / T-2
PT-C3 48" SQUARE PLANTER			WILSHIRE COLLECTION #WR-4824	PUDDLE / T-2
PT-C4 ACCENT PLANTER			HARLIE COLLECTION TBD	TBD

- NOTES:  
 1. ALL PLANTERS TO BE PLUMBED FOR IRRIGATION AND DRAINAGE FROM BELOW.

LANDSCAPE LIGHTING

DESCRIPTION	NOTES
PLANTER LIGHT	LED, LOUVERED STEP LIGHT RECESSED IN FACE OF PLANTER
HEDGE / WASH LIGHT	LED, 6" HIGH, LOW-VOLTAGE, METAL FIXTURE ON AUTOMATIC TIMER DIRECTED TO BLANK ARCHITECTURAL WALL

IRIS DOUGLASIANA - C3 FLOW THROUGH PLANTER





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PHASE AGENCY REVIEW  
 DATE 11/28/2022  
 REVISIONS

No.	Description	Date

LANDSCAPE PLAN  
 ROOFDECK

L-3

COMMON DECK TOURNESOL PLANTERS

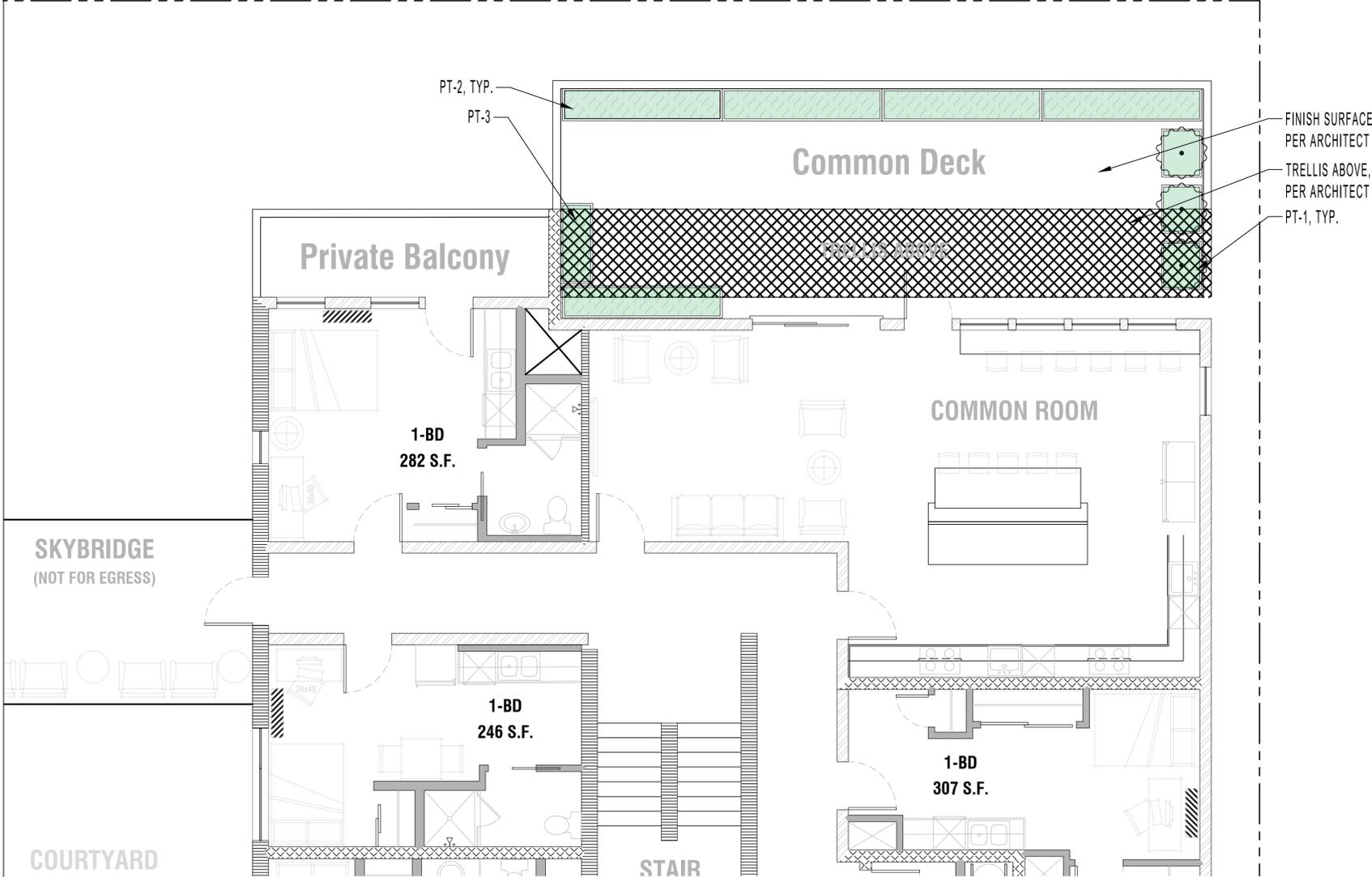
	COMMON NAME / BOTANICAL NAME	SIZE	SPACING	WUCOLS
	NATIVE PERENNIALS AND CULINARY HERBS Hyssop spp.* Lavender spp.* Mint spp. Oregano spp. Penstemon spp.* Rosemary spp. Salvia spp.* Strawberry spp. Thyme spp. Yarrow spp.*	#5 Min.	Per Plan	Moderate
	FRUIT TREE VARS. Citrus aurantifolia 'Bearss' Citrus limon 'Meyer' Nagami Kumquat	#20/25 Min.	Per Plan	Moderate

- \* AFTER BOTANICAL NAME INDICATES NATIVE CA SPECIES
- COMMON DECK SPECIES WILL BE APPROXIMATELY 38% NATIVE SPECIES
- WHEN MULTIPLE SPECIES ARE PROVIDED, OPT FOR NATIVE SPECIES

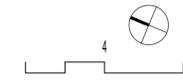
PLANTER POTS

	DESCRIPTION	MANUFACTURER / MODEL	COLOR, FINISH
PT-1	FRP 36"x30"x42" PLANTER	TOURNESOL / MODEL #WR-363042	PUDDLE / T-2
PT-2	FRP 120"x24"x42" PLANTER	TOURNESOL / MODEL #WR-1202442	PUDDLE / T-2
PT-3	FRP 36"x30"x42" PLANTER	TOURNESOL / MODEL #WR-602442	PUDDLE / T-2

NOTES:  
 1. ALL PLANTERS TO BE PLUMBED FOR IRRIGATION AND DRAINAGE FROM BELOW.



NOTES  
 1. SITE PLAN INFORMATION DERIVED FROM ARCHITECTURAL PLANS AND VISUAL OBSERVATION. EXACT LOCATIONS OF ALL ELEMENTS TO BE CONFIRMED IN FIELD.





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**2147 SAN PABLO AVENUE**

**BERKELEY, CALIFORNIA 94702**



PROJECT ISSUE RECORD:


CITY PERMIT RECORD:

03/11/2022	ENTITLEMENT SET
07/15/2022	RESUBMITTAL
11/28/2022	RESUBMITTAL

PROJECT: KWPO6  
 TITLE: SITE PLAN - EXISTING

SHEET: **A010**

