

D E S I G N  
R E V I E W  
C O M M I T T E E  
S T A F F R E P O R T

For Committee Decision  
FEBRUARY 20, 2025

## 2655 Shattuck Avenue

### PRELIMINARY DESIGN REVIEW

**Design Review #DRCP2024-0005 to demolish an existing one-story 8,185 square foot non-residential building and construct an eight-story (85 feet) 84,399 square foot mixed use residential building containing 97 dwelling units (including 10 Very Low-Income units Density Bonus qualifying units) and 2,117 square feet of commercial space on a 23,527 square foot lot.**

#### I. Introduction

This eight-story mixed use project is proposed on the southeast corner of Shattuck and Derby in the C-AC Adeline Corridor Commercial District.

This project is applying under the Housing Crisis Act, SB 330, which seeks to boost homebuilding throughout the State with a focus on urbanized zones by expediting the approval process for and suspending or eliminating restrictions on housing development and limiting the number of public meetings. Housing development is defined as a project that is: all residential; a mixed-use project with at least two-thirds of the square-footage residential; or for transitional or supportive housing.

The demolition referral went before the Landmarks Preservation Commission on February 6, 2025, where the Commission took no action. The project will go before the Zoning Adjustments Board on an upcoming agenda for approval of its Use Permit.

The project is before the Design Review Committee this month for Preliminary Design Review.

#### II. Background

The proposed project would demolish an existing commercial building and construct an 84,399 square foot mixed-use building with the following primary components:

- Eight stories (85 feet in height)
- 97 dwelling units: 49 studio units, 20 1-bedroom units, 18 2-bedroom units, and 10 3-bedroom units (townhomes).

- 135 total bedrooms
- 10 Very Low Income Units
- 2,117 square feet of commercial space
- 4,720 square feet of useable open space
- Exterior courtyard and garden
- Roof-top deck
- Publicly accessible open space
- 48 space bicycle room
- 41 parking spaces
- New street trees on Shattuck (2) and Derby (1)
- New curb cut on Derby for parking and elimination of driveway on Shattuck

### III. Project Setting

#### A. Neighborhood/Area Description:

The project site is located along the northeast corner of Shattuck Avenue and Derby Street, within the Adeline Corridor Commercial District (C-AC). The project site is surrounded by primarily commercial uses and mixed-use residential buildings to the north, south, and west. A vacant auto sales site is located directly to the north of the project site. To the west, across Shattuck Avenue is a mix of commercial uses, the Berkeley Fire Station #5, and residential (apartment uses). A student oriented housing project has been recently constructed to the south of the site, across Derby Street. The surrounding apartment and mixed-use buildings are between 5 to 6 stories in height. Existing single-family homes, ranging from 1 to 2 stories are located to the east, behind the site, and to the south, also across Derby Street. The project site is served by several bus lines, with stops adjacent and nearby. The Ashby BART station is located approximately 0.6 miles to the south of the property.

#### B. Site Conditions:

The 23,527 square foot site at 2655 Shattuck Avenue is currently occupied by a one-story (20 feet) commercial building and parking lot constructed in 1996-1997. The existing building is located on the southwest corner of the property, adjacent to City sidewalks and the parking and landscaping are located along the northern and western portions of the site. There are several existing trees along the project boundary and in the parking areas. Existing street trees consist of six mature American Sycamore trees on Derby Street and four trees of mixed variety along Shattuck Avenue. The site is relatively flat and rectangular in shape. The parcel measures 135 feet wide and, given the curve of Shattuck Avenue, from approximately 161 to 190 feet deep, north to south, respectively.

**Figure 1: Vicinity Map**



**Table 1: Land Use Information**

Location		Existing Use	Zoning District	General Plan Designation
Subject Property		Commercial Building	C-AC	Adeline Corridor Mixed Use
Surrounding Properties	North	Commercial Building (Previously Honda Sales Center)		
	West	Berkeley Fire Station 5, Apartments and Auto Sales		
	South	Apartments (The Shattuck – Student Housing)	C-AC and R-2	Adeline Corridor Mixed Use and Low Density Residential
	East	Single Family Residences	R-2	Low Medium Density Residential

**Table 2: Development Standards**

Standard		Existing	Proposed Total	Permitted/ Required
Lot Area (sq. ft.)		23,527	No change	N/A
Gross Floor Area (sq. ft.)		8,185	84,399	N/A
Floor Area Ratio		0.35	3.5	2.5 max
Dwelling Units	Total	0	97	65 units (consistent with base project)
	Affordable	0	10	0-14 (Less than 14% for a Tier 1 project in the South Shattuck Subarea)
Building Height (ft. - in.)	Maximum	20	85	45 max
	Stories	1	8	4 max
Building Setbacks (ft. - in.)	Front (Shattuck)	0	0	0
	Rear	40	10 at ground floor, 20 feet floors 2-5	10' min at 35' 20' min at 45'
	Left Side (North)	81	0	0
	Street Side (Derby)	1	0	0
Lot Coverage (%)		35	74	70 max
Usable Open Space (sq. ft.)		N/A	4,720	3,880
Parking	Automobile – Commercial	24	0	0
	Automobile - Residential	0	41	0
	Bicycle – Commercial	0	4	2 (1 space/2,000 s.f.)
	Bicycle – Short Term	0	4	4 (1 space/40 bedrooms)
	Bicycle – Long Term	0	48	45 (1 space/3 bedrooms)

## IV. Project Description

### A. Requested Use Permits

- Use Permit pursuant to Berkeley Municipal Code (BMC) Section 23.326.070 to demolish non- residential buildings
- Use Permit pursuant to BMC Section 23.204.020 to establish a mixed-use

residential building in the C-AC zoning district

- Use Permit pursuant to BMC Section 23.204.030(A)(1) to establish a new main building or dwelling unit in the C-AC zoning district
- Administrative Use Permit pursuant to BMC Section 23.304.050 for projections above the height limit

#### **B. CEQA Determination**

It is staff's recommendation that the project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code Section 21000, et seq. and California Code of Regulations, Section 15000, et seq.) pursuant to CEQA Guidelines Section 15332 ("In-Fill Development Projects").

#### **C. Density Bonus Information**

- Waiver from BMC Section 23.204.150(E)(1)) to increase the FAR from 2.5 to 3.5
- Waiver from BMC Section 23.204.150(E)(1)) to increase the stories from 4 to 8 stories
- Waiver from BMC Section 23.204.150(E)(1)) to increase the height from 45 to 85 feet
- Waiver from BMC Section 23.204.150(E)(1)) to increase lot coverage from 70 to 74 percent

### **V. Design Review Guidelines**

The following Design Guidelines from the Adeline Corridor Specific Plan apply to the proposed project. The complete document can be found at:

<https://berkeleyca.gov/sites/default/files/2022-03/Adeline-Corridor-Specific-Plan.pdf>

#### **3.3 BUILDING DESIGN**

##### **1. Building Bulk and Mass**

Incorporate the following design strategies to reduce the perceived mass and bulk of new buildings:

- **Modulate Length on New Buildings.** Modulate the length of individual new buildings (i.e. the linear distance of the building facade along the street) on any single block face by incorporating large and small massing breaks at regular intervals (50 to 100 feet) along street frontages.
- **Reduce Bulk of Large Buildings.** Design large buildings to appear as an aggregation of smaller buildings rather than a single large block or box.
- **Use Building Mass.** Use building mass to frame adjoining streets, plazas, open spaces, and pathways. Upper story step back and unique corner treatment.

- Use Ground Floor Articulation. Use ground floor articulation (recesses, structural bays, varied setbacks, etc.) to create a pedestrian scale along the sidewalk.
- Distinct Building Levels. Design buildings with a distinct ground floor, middle, and top.
- Vary Facade Details for Visual Interest. Vary materials, color, texture, ornamentation, and/or other facade details to provide visual interest, reduce the perception of height, and distinguish between upper and ground floors.

## **2. Horizontal and Vertical Articulation**

Incorporate the following design strategies for horizontal and vertical articulation in new buildings:

- Vary Horizontal Length of Facades. Incorporate massing breaks, projections, architectural details, and variations in materials and color to break up the horizontal length of facades. Provide some form of architectural articulation every 25 to 50 feet to promote visual interest and a comfortable pedestrian scale.
- Varied Architectural Elements or Roof Forms. Integrate architectural elements or varied roof forms at regular intervals to articulate long horizontal rooflines along street frontages.
- Break Up Vertical Height of Buildings. Use step backs, recesses, structural bays, articulation in wall planes, architectural details, and variations in materials and color to break up the vertical height of buildings.

## **4. Corner Building Treatment**

Treat corner buildings with unique attention and emphasis using the following strategies:

- Setbacks and Massing. Minimize setbacks and focus massing towards the corner.
- Public Entrances. Locate public entrances near the corner and avoid driveways and garage entries within 75 feet of the corner.
- Distinct Architectural Elements. Include distinctive architectural elements such as height projections, articulation, variation in materials, facade transparency, and unique roof silhouettes.
- Plazas or Open Space. As an alternative treatment, provide publicly accessible plazas or open spaces in place of building frontage.

### **3.5 Ground Floor Frontages and Facades**

#### **1. Guidelines for All Ground Floor Uses**

The following design guidelines apply to all types of ground floor frontages in the Plan Area:

- **Minimum Setback.** When possible, build to the minimum setback to establish a street wall close to the pedestrian realm. Minor variations in building facade and publicly accessible plazas or open spaces are also encouraged.
- **Facades Facing Public Street.** For nonresidential space, design all facades facing a public space (street, sidewalk, open space, or walkway) to be active, transparent, and visually interesting. Variations such as changes in color, material, and/or texture are encouraged.
- **Reduced Blank Walls.** Blank walls (facades without doors, windows, landscaping treatments, or other elements of pedestrian interest) should be less than 30 feet in length along sidewalks, pedestrian paths, or open space.
- **Humanizing Design Elements.** Provide awnings, signage, and other humanizing design elements to generate a pedestrian scale.
- **Vary Ground Floor Facades from Upper Floors.** Design the street-facing facades of ground floors with a distinctly different character from upper floors (distinguished by a greater floor-to-ceiling height, greater articulation, finer design details, unique colors, enhanced ground floor entrances, and/or architectural variation).

#### **2. Guidelines for Active Ground Floor Frontages and Facades**

The following design guidelines apply to active ground floor facades along frontages designed for Active Ground Floor Use whenever they occur in the Adeline Plan Area:

- **Activate Sidewalk and Street.** Incorporate shopfronts, outdoor seating/dining areas, retail stands, or kiosks to activate the sidewalk and street.
- **Ground Floor Minimum Height.** For the ground floor, provide a minimum 12-foot indoor floor-to-ceiling height.
- **Street Corner Building Entrance.** For buildings situated on a street corner, provide a corner entrance or an entrance along each street frontage.
- **Minimize Curb Cuts.** Minimize the number of curb cuts along any given block to improve pedestrian safety by consolidating driveways.
- **Transparent Doors and Windows.** Provide at least 75% transparency between 3 and 10 feet (doors and transparent windows) to allow maximum visual interaction between sidewalk areas and the interior. Do not use dark or mirrored glass.
- **Entrances.** Provide entrances at least every 30 feet along street-facing frontage.

## VI. Issues and Analysis

### A. Design Review Issues:

**Building Design/ Massing** This mixed-use development is designed in an “H” shape with landscaped courtyards carving deep pockets into the center of the site. The building fronts onto Shattuck with an eight-story structure that steps down to a six-story structure as it moves East where the parcel abuts an R-2 residential district. An internal walk way connects the two structures at the center of the site, separating the private courtyard at the north from the more public courtyard at the south.

The volume fronting on Shattuck is designed with a single-story base, a four-story “middle” and three-story “top”. The design proposes articulation in both the horizontal and vertical planes with six-story recessed bays breaking up the five-story “middle” massing. A metal screening element is proposed as an accent to the recessed bays, extending up to the seventh floor. Balconies are proposed at the roof of each of these five- and six-story volumes, capped by a canopy. The top massing features deep inset balconies in line with the recessed bays and metal screening. The structure is topped by a thin metal edge.

The volume at the Eastern portion of the site is proposed as a simple rectangle, stepping back from the East property line at the second floor with a proposed green roof. A roof deck and amenity space is proposed at the sixth floor near the center of the parcel where a bridge connects to the Western structure.

**Setbacks** The project includes a 5’-7” setback from the West property line on Shattuck, where landscaping and a wide sidewalk is proposed along the development’s commercial frontage. A 3’-3” setback is proposed at the South on Derby with an approximate 20’ setback proposed to accommodate a public plaza at the corner on Shattuck. The project is setback 10’-0” from the East property line at the ground floor, stepping back an additional 10’-0” at the second floor. At the north edge of the property, the Western structure is setback 8’-5” from the north property line at the ground floor, allowing for access and egress for the northern courtyard.

**Encroachments** The project proposes a minor encroachment at the West with one bay extending slightly over the property line on Shattuck. The applicant will work with Public Works to obtain any necessary encroachment permits for this condition.

**Ground Floor Design** The project concentrates the public-serving uses in the western building that fronts on Shattuck. Commercial spaces are proposed along the Shattuck frontage, with amenity space for tenants proposed on the eastern portion of the building adjacent to the courtyard spaces. The trash room is proposed at the north end of the structure, connecting internally to the residential lobby and externally to the walkway leading out to Shattuck Avenue. The residential lobby is proposed as a connection between the two main buildings on the site with a parking garage occupying the ground floor of the eastern building. Access to the parking garage is proposed on Derby Street at the Southeastern corner of the site.

**Landscape/Open Space** The project proposes open space at the ground floor, second floor, and at the roof level. The “H shaped massing allows for two landscaped courtyards mid-parcel, one opening to the North and one to the South. The courtyard at the south is proposed as an entry court opening out to Derby and includes built-in seating areas, a ping pong table, and green screen framed by in-ground planters. The courtyard at the north is accessed from Shattuck via an external walkway along the North edge of the parcel. A plaza is proposed at the southwest corner, where the sidewalk widens as it turns the corner onto Shattuck. Bio filtration planters are proposed at the west edge of the property along the Shattuck frontage with a flow through planter and layered screening plants proposed at the east edge of the parcel where the property abuts a single-family residence. Open space is proposed at the sixth floor roof level, with planters provided along the south and east perimeter of that roof deck space, as well as moveable seating and a trellis.

**Colors and Materials** Materials for the project include a mix of cement plaster, cement panels, high pressure laminate panels, and board formed concrete at the commercial ground floor. Painted metal accents are proposed at trellis, gate, and railing elements. A wood privacy fence is proposed along the east elevation. Material legend can be found on Sheet A200.

**B. Issues for Discussion:**

- Massing
- Neighborhood Context
- Building Design
- Open Space Design
- Colors and Materials

**VII. Recommendation**

Staff recommends that the DRC discuss the above issues and forward a favorable recommendation to ZAB with any conditions as necessary and specific direction for Final Design Review.

**Attachments:**

1. Project Plans, received February 4, 2025
2. Applicant Statement, received September 6, 2024

**Staff Planner:** Anne Burns, aburns@berkeleyca.gov, (510) 981-7410





COPYRIGHT © 2020  
 THIS DRAWING IS AN INSTRUMENT OF SERVICE, AND AS SUCH, REMAINS THE PROPERTY OF STUDIO KDA. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH STUDIO KDA.

2655 SHATTUCK AVE.

2655 SHATTUCK AVE.,  
 BERKELEY, CA 94704

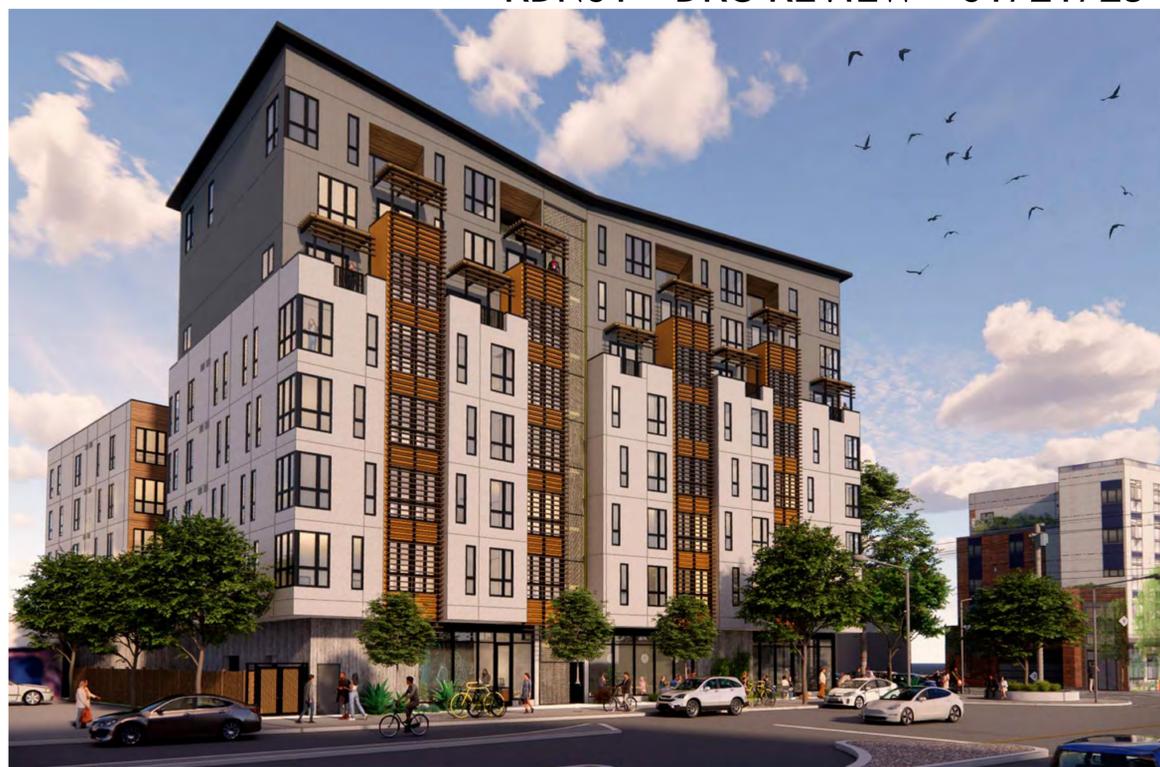


DRC REVIEW

# 2655 SHATTUCK AVE.

2655 SHATTUCK AVE.,  
 BERKELEY, CA 94704

KDN01 - DRC REVIEW - 01/21/25



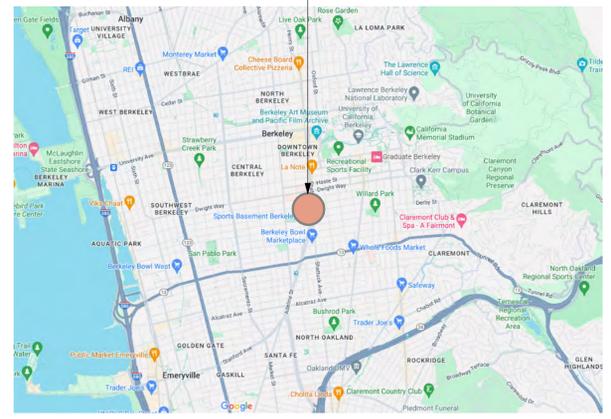
RESIDENTIAL UNIT MIX:					
UNIT TYPE:	STUDIO	1-BD	2-BD	3-BD	TOTAL:
LEVEL 1	0	0	0	0	0
LEVEL 2	14	5	4	0	23
LEVEL 3	14	5	4	0	23
LEVEL 4	14	5	4	0	23
LEVEL 5	7	5	6	0	18
LEVEL 6	0	0	0	10	10
LEVEL 7	0	0	0	10	10
LEVEL 8	0	0	0	10	10
<b>TOTAL UNITS:</b>	<b>49</b>	<b>20</b>	<b>18</b>	<b>10</b>	<b>97</b>
<b>TOTAL BEDRMS:</b>	<b>49</b>	<b>20</b>	<b>36</b>	<b>30</b>	<b>135</b>

THE SITE'S REDEVELOPMENT WILL INCLUDE THE DEMOLITION OF THE EXISTING VACANT BUILDING OCCUPYING 2655 SHATTUCK AVENUE, A 1-STORY 8,185 SF COMMERCIAL BUILDING TO ALLOW DEVELOPMENT OF A NEW 8 STORY, 83,479 SF MULTI-FAMILY MIXED-USE BUILDING. WE PROPOSE A ±2,117 SF RETAIL SPACE AT THE GROUND FLOOR WITH 97 UNITS OF MULTI-FAMILY RENTAL HOUSING. THE GROUND FLOOR WILL INCLUDE COMMERCIAL SPACE AS WELL AS A GENEROUS AMENITY SPACE, INTERIOR BIKE STORAGE, A PARKING GARAGE PROVIDING 41 RESIDENTIAL SPACES, AND UTILITY SPACES ACCESSED FROM SHATTUCK AVENUE AND DERBY STREET. THE 97 RESIDENTIAL UNITS ARE A MIX OF STUDIOS, 1 AND 2 BEDROOM UNITS WITH GENEROUS KITCHEN/DINING/LIVING ROOM AREAS AND 3-BEDROOM TOWNHOUSE UNITS. IN ADDITION, THERE IS A COMMON USABLE OPEN SPACE EXTERIOR COURTYARD AND AMENITY GARDEN AREA AT GRADE, A COMMON OUTDOOR ROOF-TOP DECK AT THE 6TH FLOOR, AND PRIVATE BALCONIES FOR THE TOWNHOME UNITS LOCATED AT THE 6TH AND 8TH FLOORS.



6 PROJECT LOCATION

PROJECT LOCATION:  
 2665 SHATTUCK AVE.



5 VICINITY MAP

2 PROJECT DESCRIPTION

**OWNER:**  
 S.H. KAY, LLC  
 1442A WALNUT ST #349,  
 BERKELEY, CA 94709

**CIVIL:**  
 GREENWOOD & MOORE INC.  
 3111 Castro Valley Blvd #200,  
 Castro Valley, CA 94546

**ARCHITECT:**  
 STUDIO KDA  
 1810 6TH STREET,  
 BERKELEY, CA 94710

JOE KIDRON  
 kidron1@comast.net

TEL: (510) 581-2772  
 BRIAN DORWARD  
 bdoward@greenwoodmoore.com

TEL: (510) 841-3555  
 FAX: (510) 841-1225  
 CHARLES KAHN  
 charles@studiokda.com

**LANDSCAPE:**  
 122 WEST DESIGN  
 (enter Street)  
 (enter City, State, Zip)

TEL: (510) 992-3122  
 CHRISTIAN MACKE  
 cmacke@122westdesign.com

TILL HOUTERMANS  
 till@studiokda.com

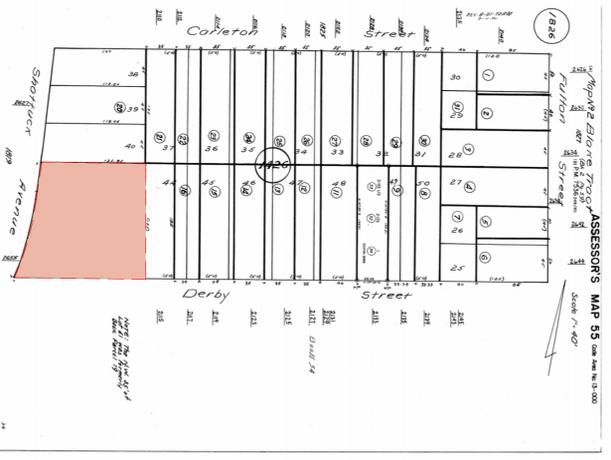
BRETT SPENCER  
 brett@studiokda.com

1 PROJECT CONTACTS

SHEET LIST					
Sheet Number	Sheet Name	5/15/24 SB330 ENT. APP	8/26/24 DRC REVIEW	10/11/24 PLAN. REV. #2	12/16/24 Planning Rev. #3
GENERAL					
G000	TITLE SHEET	•	•	•	
G001	ZONING CODE INFORMATION	•	•	•	
G002.A	BASE PROJECT CALCULATIONS & DIAGRAM	•	•	•	
G002.B	DENSITY BONUS CALCULATIONS & DIAGRAM	•	•	•	
G002.C	AFFORDABLE HOUSING COMPLIANCE PLAN	•	•	•	
G003	OPEN SPACE CALCULATIONS	•	•	•	
G004	STREET CONTEXT ELEVATIONS	•	•	•	
G020	SHADOW STUDIES - DECEMBER, 21ST	•	•	•	
G021	SHADOW STUDIES - JUNE 21ST	•	•	•	
G022	SHADOW STUDIES - MAY 21ST	•	•	•	
G030	GREEN POINT HOME CHECKLIST	•	•	•	
G031	FACADE TRANSPARENCY	•	•	•	
CIVIL					
C0.0	COVER SHEET	•	•	•	
C0.1	ABBREVIATION AND LEGEND	•	•	•	
C1.0	TOPOGRAPHIC SURVEY AND DEMOLITION PLAN	•	•	•	
C2.0	SITE PLAN	•	•	•	
C3.0	UTILITY PLAN	•	•	•	
C4.0	GRADING PLAN	•	•	•	
C4.1	SECTIONS	•	•	•	
C5.0	STORMWATER CONTROL PLAN	•	•	•	

SHEET LIST					
Sheet Number	Sheet Name	5/15/24 SB330 ENT. APP	8/26/24 DRC REVIEW	10/11/24 PLAN. REV. #2	12/16/24 Planning Rev. #3
LANDSCAPE					
L1.0	SCHEMATIC LANDSCAPE PLAN	•	•	•	
L1.1	SCHEMATIC LANDSCAPE PLAN - ROOF DECK	•	•	•	
L2.0	LANDSCAPE CONCEPT IMAGERY	•	•	•	
L3.0	PLANTING CONCEPT PLAN	•	•	•	
L3.1	PLANTING CONCEPT PLAN - ROOF DECK	•	•	•	
L3.2A	PLANTING SCHEDULES	•	•	•	
L3.2B	PLANTING CONCEPT IMAGERY	•	•	•	
L4.0	IRRIGATION HYDROZONE PLAN	•	•	•	
L4.1	IRRIGATION HYDROZONE PLAN - ROOF DECK	•	•	•	
L4.2A	IRRIGATION EQUIPMENT, NOTES AND WELO CALCS	•	•	•	
ARCHITECTURAL					
A100.A	SITE PLAN - EXISTING	•	•	•	
A100.B	SITE PLAN - PROPOSED	•	•	•	

SHEET LIST					
Sheet Number	Sheet Name	5/15/24 SB330 ENT. APP	8/26/24 DRC REVIEW	10/11/24 PLAN. REV. #2	12/16/24 Planning Rev. #3
A100.C	PROPOSED LIGHTING PLAN - GROUND FLOOR	•	•	•	
A101	PROPOSED GROUND FLOOR PLAN	•	•	•	
A102	PROPOSED SECOND - FOURTH FLOOR PLAN	•	•	•	
A103	PROPOSED FIFTH FLOOR PLAN	•	•	•	
A104	PROPOSED SIXTH FLOOR PLAN	•	•	•	
A105	PROPOSED SEVENTH FLOOR PLAN	•	•	•	
A106	PROPOSED EIGHTH FLOOR PLAN	•	•	•	
A107	PROPOSED ROOF PLAN	•	•	•	
A200	PROPOSED EXTERIOR ELEVATIONS & MATERIALS	•	•	•	
A201	PROPOSED EXTERIOR ELEVATIONS & MATERIALS	•	•	•	
A202	PROPOSED EXTERIOR ELEVATIONS - BIRD SAFETY	•	•	•	
A203	PROPOSED EXTERIOR ELEVATIONS - BIRD SAFETY	•	•	•	
A300	PROPOSED BUILDING SECTION	•	•	•	
A301	PROPOSED BUILDING SECTION	○	•	•	
A400	PERSPECTIVE VIEWS	•	•	•	
A401	PERSPECTIVE VIEWS	•	•	•	
A402	PERSPECTIVE VIEWS	•	•	•	
A403	ENLARGED TOWNHOME PLAN	○	•	•	



4 PARCEL MAP

Δ	DATE	ISSUE RECORD
	1/21/25	DRC REVIEW
	5/15/24	DRC REVIEW
	8/26/24	DRC Review

PROJECT NO: KDN01  
 ISSUE DATE: 01/21/25

TITLE SHEET

G000



Density Bonus - 8-Story												
Project Address:		2655 Shattuck Ave										
Project Code:		KDN01										
Date:		5/17/2024										
Base Project	Base # Units	Base # Units	% VLI units				# VLI Units	# VLI	Bonus %	# DB Units	# DB Units	Total Units
sq. ft. - see calculation below	base project/avg. unit size	Base Units/Max. Residential Density (rounded up)	VLI = Very Low Income <50 AMI				% VLI x Base # Units			% Bonus x Base # Units	% Bonus x Base # Units (rounded up)	base unit + DB Units (rounded up)
53,895	64.91	65.00	15.00%				9.75	10.00	50.00%	32.50	33.00	98
Base Project Residential Square Footage	Floor	Residential Sq. Footage Proposed	studio	1-bed	2-bed	3-bed			%VLI	%DB		
10,305	first	3,210	0	0	0	0	Target SF: 80,843		5%	20.0%		
14,530	second	14,785	14	5	4	0	Total SF: 80,540		6%	22.5%		
14,530	third	14,785	14	5	4	0	Prop. Units: 97		7%	25.0%		
14,530	fourth	14,785	14	5	4	0	Avg Unit SF: 830		8%	27.5%		
	fifth	14,785	7	5	6	0	Beds / SF: 597		9%	30.0%		
	sixth	7,250					Total		10%	32.5%		
	Seventh	5,175				10	Units: 49		11%	35.0%		
	Eighth	5,765					Bedrooms: 49		12%	38.7%		
53,895	TOTAL	80,540					Total		14%	46.3%		
							Units: 49		15%	50.0%		
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					
							Bedrooms: 49					
							Units: 49					



2655 SHATTUCK AVE.,  
 BERKELEY, CA 94704



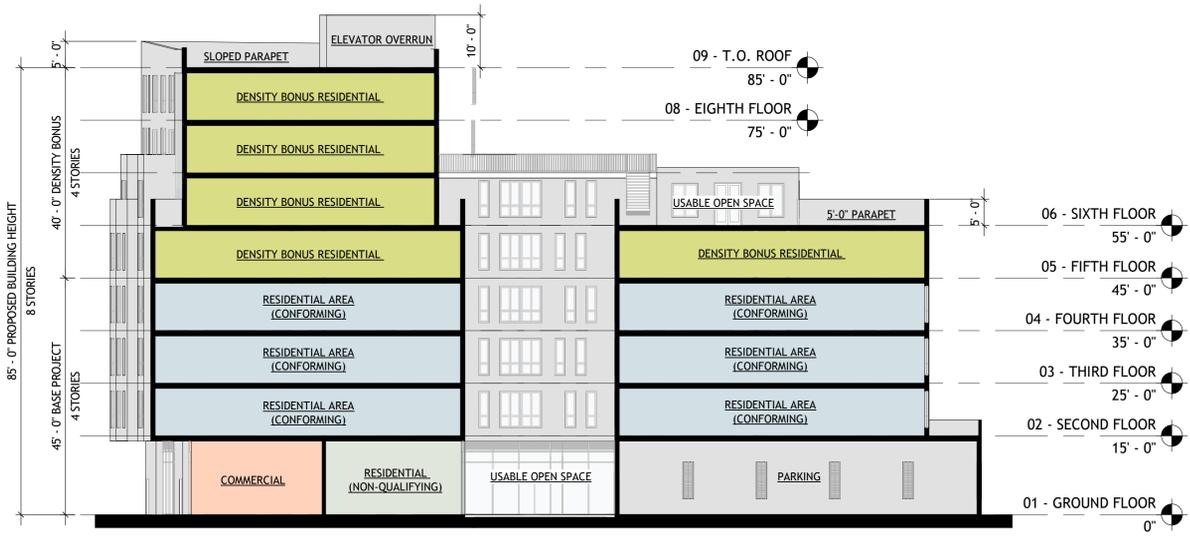
DRC REVIEW

Density Bonus - 8-Story												
Project Address:		2655 Shattuck Ave										
Project Code:		KDN01										
Date:		5/17/2024										
Base Project	Base # Units	Base # Units	% VLI units				# VLI Units	#VLI	Bonus %	# DB Units	# DB Units	Total Units
sq. ft. - see calculation below	base project/avg. unit size	Base Units/Max. Residential Density (rounded up)	VLI = Very Low Income <50 AMI				% VLI x Base # Units			% Bonus x Base # Units	% Bonus x Base # Units (rounded up)	base unit + DB Units (rounded up)
53,895	64.91	65.00	15.00%				9.75	10.00	50.00%	32.50	33.00	98
Base Project Residential Square Footage	Floor	Residential Sq. Footage Proposed	Units				Target SF:	#VLI	#DB			
			studio	1-bed	2-bed	3-bed						
10,305	first	3,210	0	0	0	0	80,843	5%	20.0%			
14,530	second	14,785	14	5	4	0	80,540	6%	22.5%			
14,530	third	14,785	14	5	4	0		7%	25.0%			
14,530	fourth	14,785	14	5	4	0		8%	27.5%			
	fifth	14,785	7	5	6	0		9%	30.0%			
	sixth	7,250						10%	32.5%			
	Seventh	5,175				10		11%	35.0%			
	Eighth	5,765						12%	38.7%			
53,895	TOTAL	80,540						14%	46.3%			
								15%	50.0%			
Units:			49	20	18	10	97					
Bedrooms:			49	20	36	30	135					
Non-Qualifying Residential Support		1,742										
Commercial:		2,117										
Total Gross SF:		84,399										

AREA SUMMARY - DENSITY BONUS		
Level	Area	Unit Count
<b>RESIDENTIAL AREA</b>		
01 - GROUND FLOOR	3210 SF	0
02 - SECOND FLOOR	14785 SF	23
03 - THIRD FLOOR	14785 SF	23
04 - FOURTH FLOOR	14785 SF	23
05 - FIFTH FLOOR	14785 SF	18
06 - SIXTH FLOOR	7250 SF	0
07 - SEVENTH FLOOR	5175 SF	10
08 - EIGHTH FLOOR	5765 SF	0
	80540 SF	97
<b>NON-QUALIFYING RESIDENTIAL AREA</b>		
01 - GROUND FLOOR	1742 SF	0
	1742 SF	0
<b>COMMERCIAL</b>		
01 - GROUND FLOOR	2117 SF	0
	2117 SF	0
<b>REFER TO SHEET G003 FOR DENSITY BONUS U.O.S. CALCULATIONS AND DIAGRAMS</b>		
<b>Grand Total</b>	<b>84,399 SF</b>	<b>97</b>

**DENSITY BONUS LEGEND**

- COMMERCIAL
- DENSITY BONUS
- RESIDENTIAL AREA
- NON-QUALIFYING RESIDENTIAL AREA
- PARKING
- U.O.S.
- PRIVATE U.O.S.
- COMMERCIAL U.O.S.



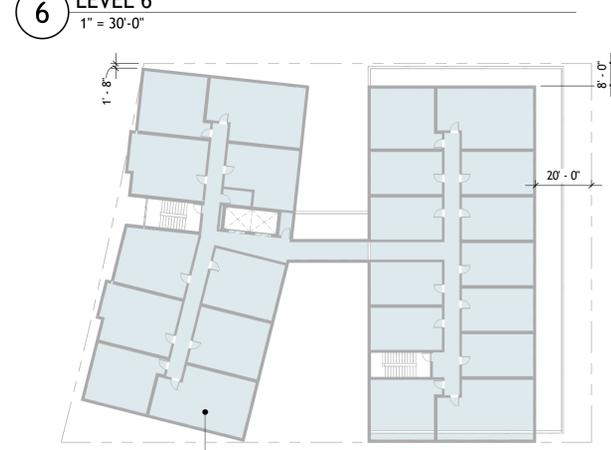
9 DENSITY BONUS PROPOSED SECTION  
 1/16" = 1'-0"



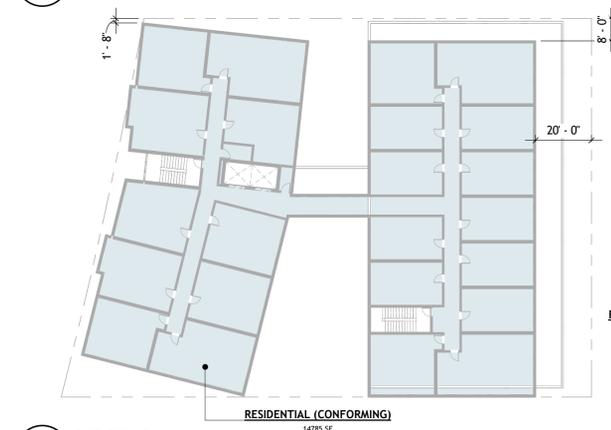
8 LEVEL 8  
 1" = 30'-0"



7 LEVEL 7  
 1" = 30'-0"

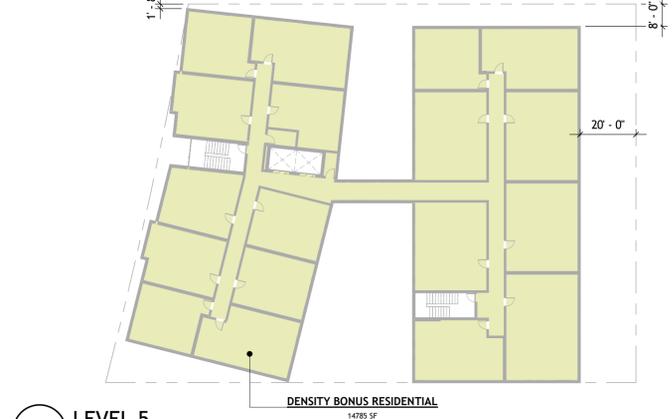


6 LEVEL 6  
 1" = 30'-0"

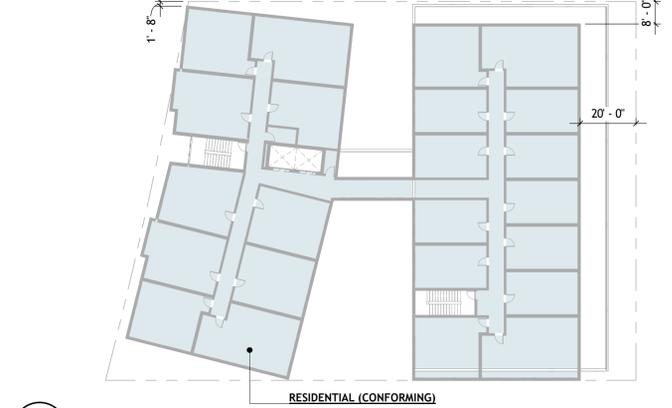


5 LEVEL 5  
 1" = 30'-0"

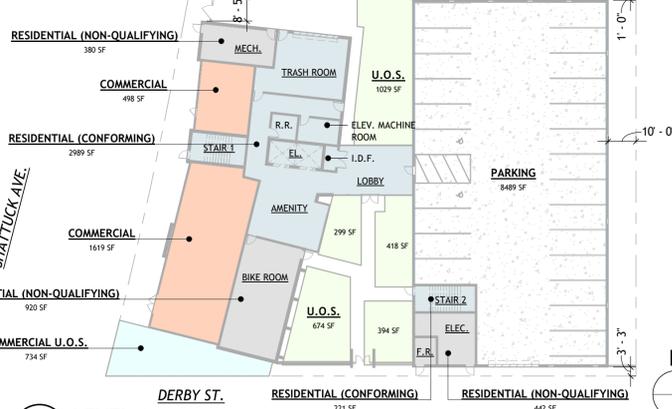
2 LEVEL 2  
 1" = 30'-0"



4 LEVEL 4  
 1" = 30'-0"



3 LEVEL 3  
 1" = 30'-0"



1 LEVEL 1  
 1" = 30'-0"

DATE	ISSUE RECORD
5/15/24	SB330 APPLICATION

PROJECT NO: KDN01  
 ISSUE DATE: 07/23/2024

DENSITY BONUS  
 CALCULATIONS &  
 DIAGRAM

G002.B



510.841.3555 | studiokda.com  
 COPYRIGHT © 2020  
 THIS DRAWING IS AN INSTRUMENT OF SERVICE, AND AS SUCH, REMAINS THE PROPERTY OF STUDIO KDA. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH STUDIO KDA.

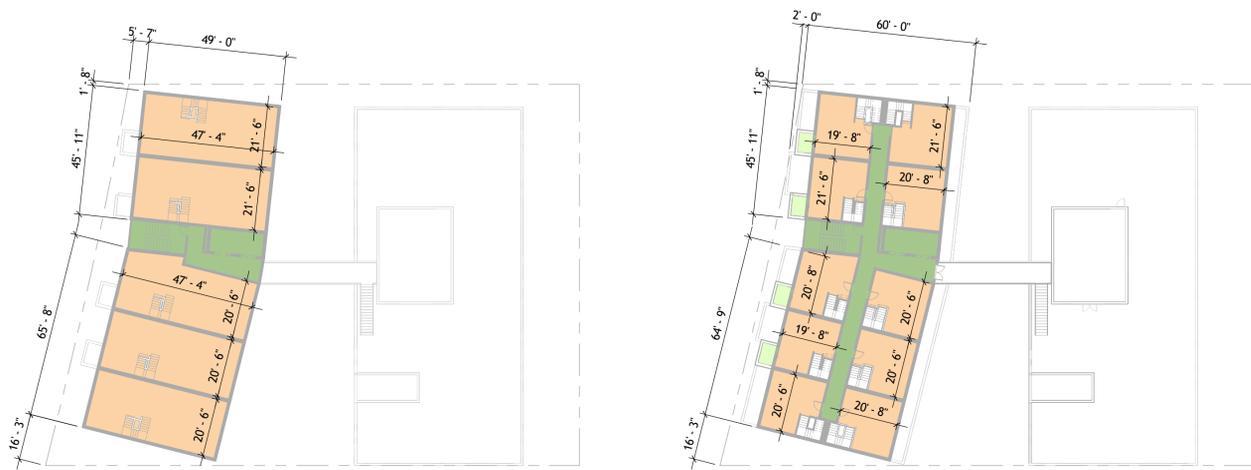
2655 SHATTUCK AVE.

2655 SHATTUCK AVE.,  
 BERKELEY, CA 94704



DRC REVIEW

Base Project Floor	Residential Unit Floor Area (SF)	# of Residential Units
02 - SECOND FLOOR	11429 SF	23
03 - THIRD FLOOR	11419 SF	23
04 - FOURTH FLOOR	11419 SF	23
05 - FIFTH FLOOR	11571 SF	18
06 - SIXTH FLOOR	5150 SF	0
07 - SEVENTH FLOOR	3730 SF	10
08 - EIGHTH FLOOR	4978 SF	0
<b>TOTAL:</b>	<b>59697 SF</b>	<b>97</b>

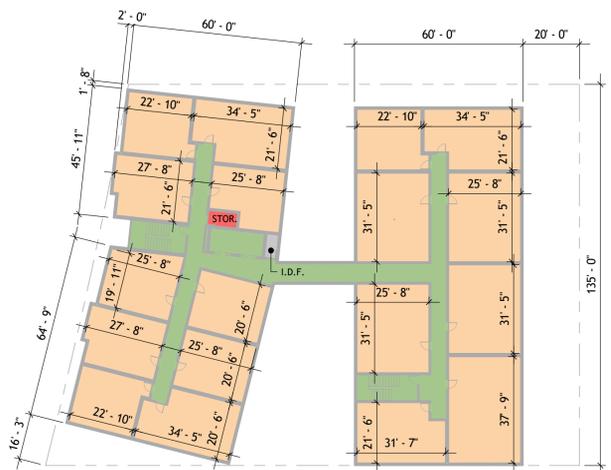
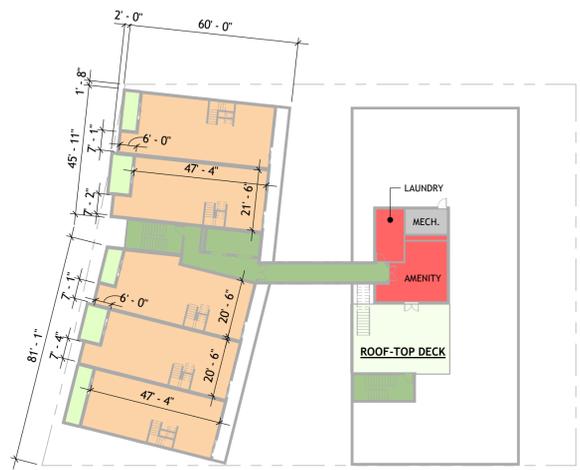


8 LEVEL 8  
 1" = 30'-0"

7 LEVEL 7  
 1" = 30'-0"

Final Residential Unit Floor Area (FP RUFA)	59698
Density Bonus	50%
1+ Density Bonus	1.50
<b>Base Project Residential Unit Floor Area (BP RUFA) (FP RUFA / (1+DB))</b>	<b>39799</b>

Total Residential Unit Floor Area (SF) RUFA (Base Project RUFA only for density projects)		39799
Total Residential Units (Base Project only for density bonus projects)		65
Total BMR Units required (20% of B)		13
Total BMR Units Proposed		10
50% AMI (Very-Low Income)	10	
80% AMI (Lower Income)	0	
Total BMR Units		10
Per Square Foot Fee based on Total Residential Unit Floor Area (Base Project only for density bonus projects)		\$56.25
In Lieu Fee percentage calculation* (Affordable units required - affordable units provided) / Affordable Units required		23.08%
(* projects that provide no on-site affordable units have a multiplier of 1)		(C-D) / C

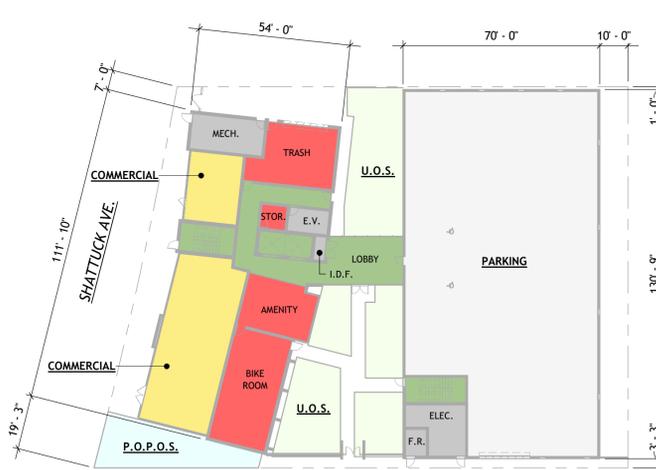


6 LEVEL 6  
 1" = 30'-0"

5 LEVEL 5  
 1" = 30'-0"

4 LEVEL 4  
 1" = 30'-0"

- RESIDENTIAL UNIT LEGEND**
- COMMERCIAL
  - RESIDENTIAL UNIT FLOOR AREA
  - CIRCULATION
  - AMENITY
  - PARKING
  - UTILITY
  - P.O.P.O.S.
  - U.O.S.
  - PRIVATE U.O.S.



3 LEVEL 3  
 1" = 30'-0"

2 LEVEL 2  
 1" = 30'-0"

1 LEVEL 1  
 1" = 30'-0"



DATE	ISSUE RECORD
5/15/24	SB330 APPLICATION

PROJECT NO: KDN01

ISSUE DATE: 07/23/2024

**AFFORDABLE HOUSING COMPLIANCE PLAN**

**G002.C**



COPYRIGHT © 2020  
 THIS DRAWING IS AN INSTRUMENT OF SERVICE, AND AS SUCH, REMAINS THE PROPERTY OF STUDIO KDA. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH STUDIO KDA.

2655 SHATTUCK AVE.

2655 SHATTUCK AVE.,  
 BERKELEY, CA 94704

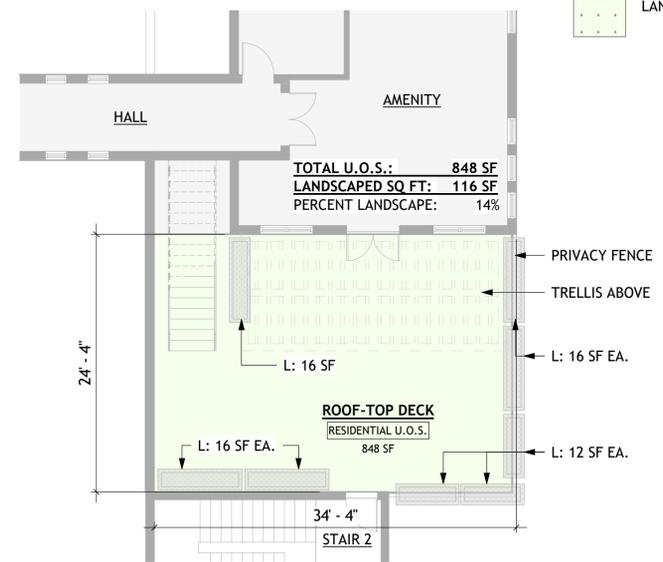


DRC REVIEW

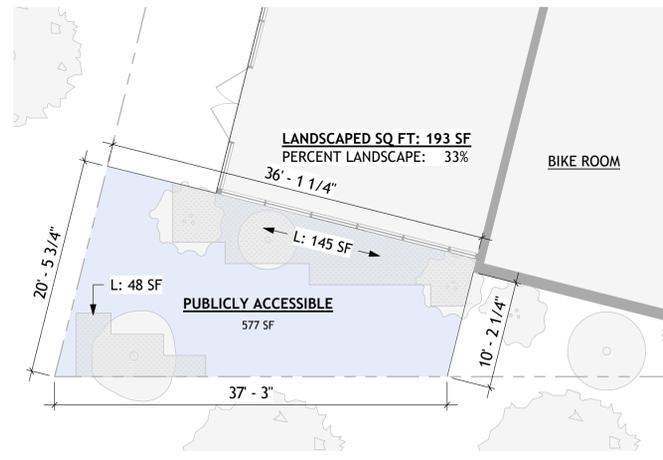
U.O.S. SUMMARY - DENSITY BONUS				
Floor	Total U.O.S. Per Floor	Public U.O.S.		Names/Locations
		Hardscape (S.F.)	Landscape (S.F.)	
1	2,718	1,425	1,293	Exterior Courtyard + Amenity Garden
2	0	0	0	N/A
3	0	0	0	N/A
4	0	0	0	N/A
5	0	0	0	N/A
6	848	732	116	Roof-Top Deck
7	0	0	0	N/A
8	0	0	0	N/A
Non-publicly accessible UOS	3,566	2,157	1,409	3,880 SF Required (40 SF / Unit)
			40%	1,409 SF Landscape Required (40% of UOS)
Publicly accessible UOS	1,154 (577 x 2)	384	193	1 sqft of publicly accessible open space = 2 sqft of required on-site open space
			33%	
Total Usable Open Space	4,720			

**USABLE OPEN SPACE**

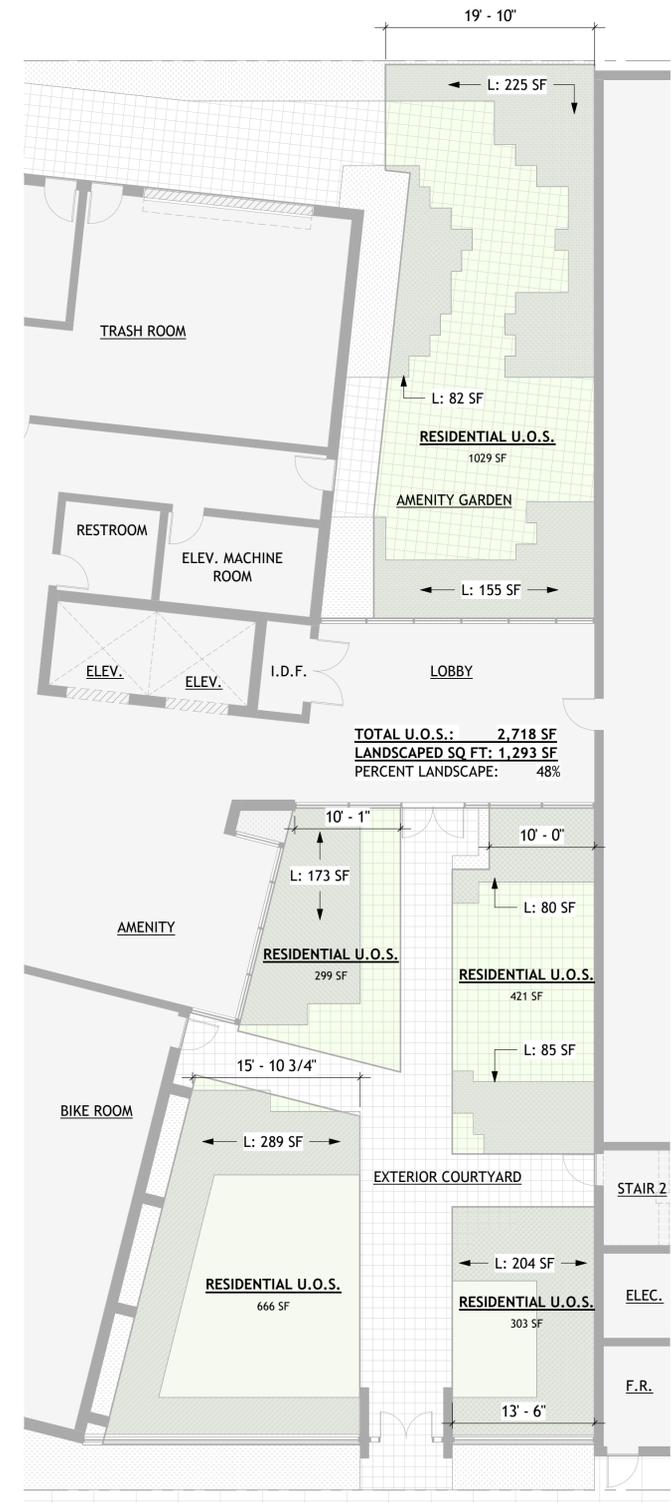
- NON - U.O.S.
- PUBLICLY ACCESSIBLE U.O.S.
- RESIDENTIAL U.O.S.
- LANDSCAPED AREA



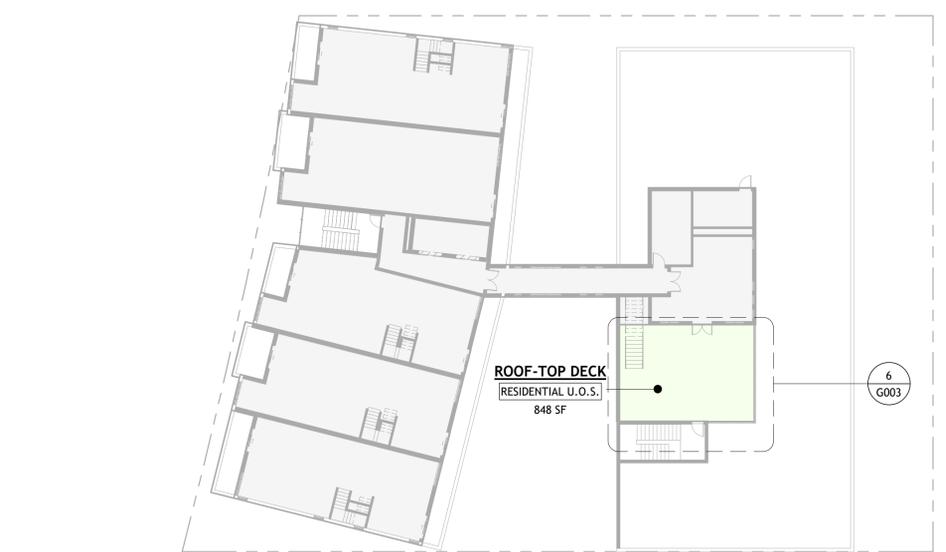
**6 LEVEL 6 - ENLARGED ROOF-TOP DECK**  
 1/8" = 1'-0"



**5 LEVEL 1 - ENLARGED COMMERCIAL PLAZA**  
 1/8" = 1'-0"



**4 LEVEL 1 - ENLARGED ENTRY COURTYARD & AMENITY GARDEN**  
 1/8" = 1'-0"



**2 LEVEL 6**  
 3/64" = 1'-0"



**1 LEVEL 1**  
 3/64" = 1'-0"

Δ	DATE	ISSUE RECORD
	5/15/24	SB330 APPLICATION

PROJECT NO: KDN01  
 ISSUE DATE: 07/23/2024

OPEN SPACE CALCULATIONS

**G003**



COPYRIGHT © 2020  
 THIS DRAWING IS AN INSTRUMENT OF SERVICE, AND AS SUCH, REMAINS THE PROPERTY OF STUDIO KDA. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH STUDIO KDA.

2655 SHATTUCK AVE.

2655 SHATTUCK AVE.,  
 BERKELEY, CA 94704



DRC REVIEW



CARLETON ST.      2627 SHATTUCK AVE.      PROJECT SITE - 2655 SHATTUCK AVE.      DERBY ST.      2701 SHATTUCK AVE.

**2** STREET CONTEXT ELEVATION - PROPOSED  
 NOT TO SCALE



CARLETON ST.      2627 SHATTUCK AVE.      PROJECT SITE - 2655 SHATTUCK AVE.      DERBY ST.      2701 SHATTUCK AVE.

**1** STREET CONTEXT ELEVATION - EXISTING  
 NOT TO SCALE

△	DATE	ISSUE RECORD
	5/15/24	SB330 APPLICATION

PROJECT NO: KDN01  
 ISSUE DATE: 07/23/2024

STREET CONTEXT ELEVATIONS

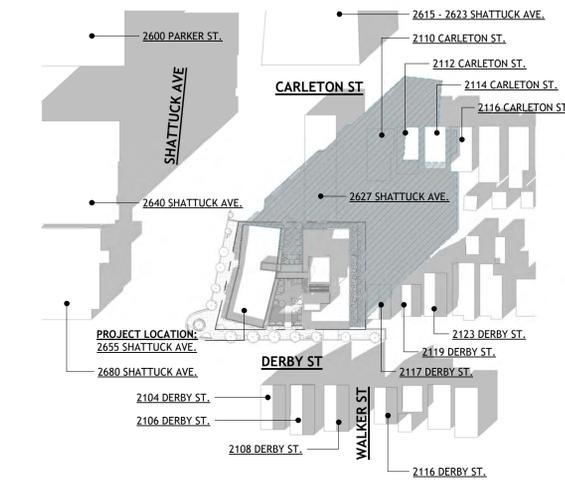
**G004**

studioKDA  
 510.841.3555 | studiokda.com  
 COPYRIGHT © 2020  
 THIS DRAWING IS AN INSTRUMENT OF SERVICE, AND AS SUCH, REMAINS THE PROPERTY OF STUDIO KDA. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH STUDIO KDA.  
 2655 SHATTUCK AVE.

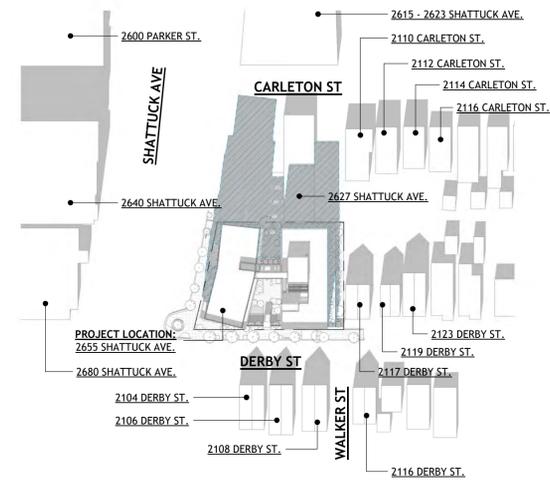
2655 SHATTUCK AVE.,  
 BERKELEY, CA 94704



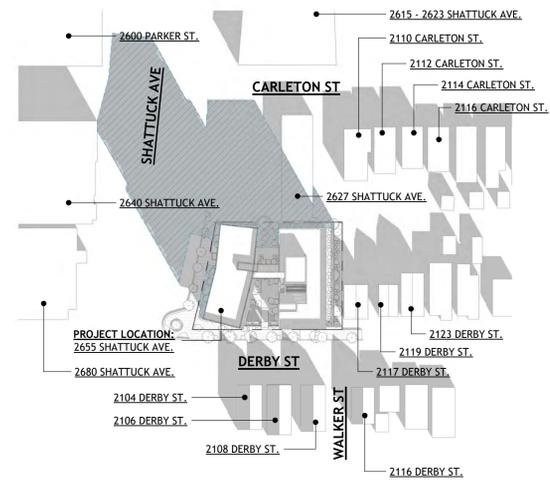
DRC REVIEW



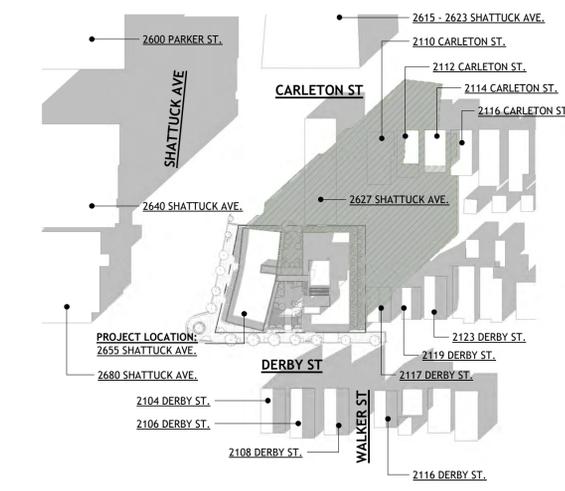
11 12/21 - 2:48 PM - COMBINED  
 1" = 100'-0"



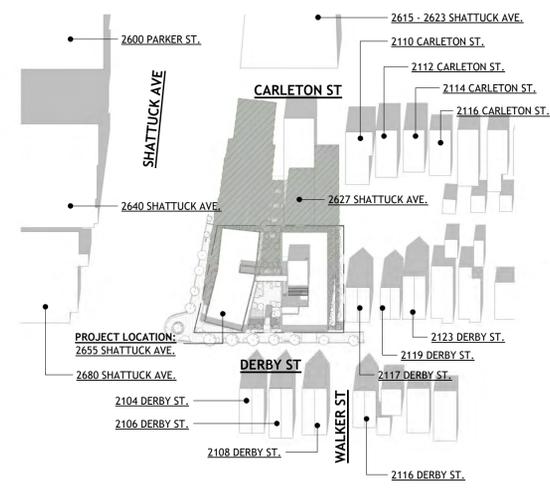
8 12/21 - 12:00 PM - COMBINED  
 1" = 100'-0"



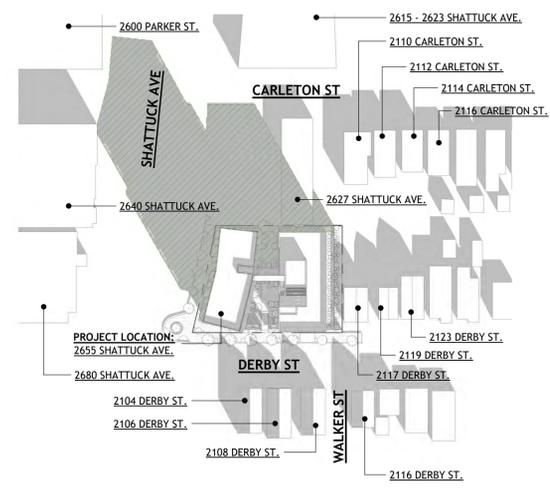
5 12/21 - 9:26 AM - COMBINED  
 1" = 100'-0"



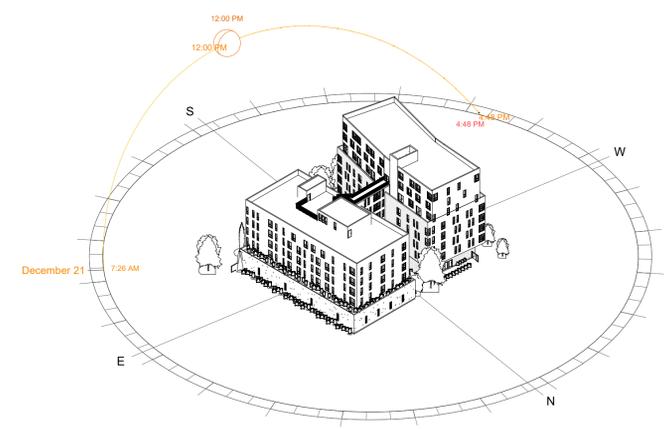
10 12/21 - 2:48 PM - PROPOSED  
 1" = 100'-0"



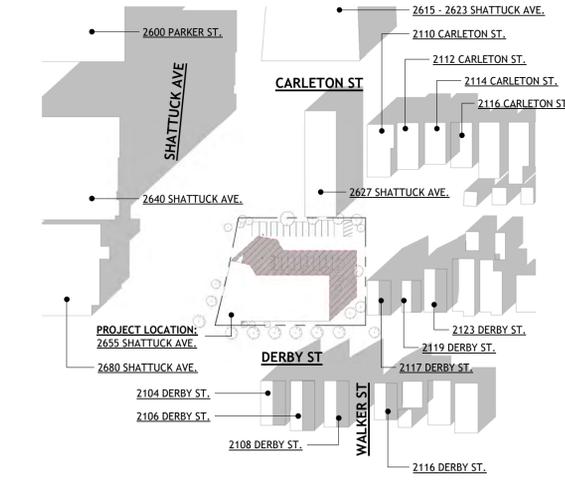
7 12/21 - 12:00 PM - PROPOSED  
 1" = 100'-0"



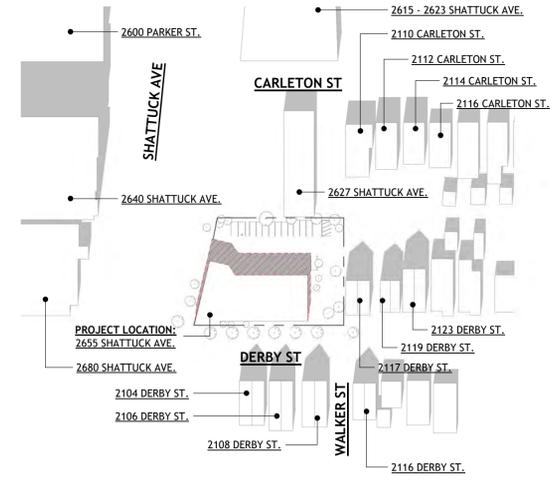
4 12/21 - 9:26 AM - PROPOSED  
 1" = 100'-0"



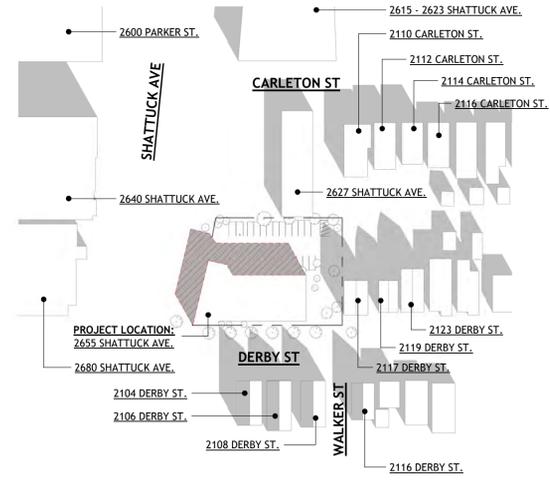
2 DECEMBER 21ST - SUN PATH  
 (SUNRISE - SUNSET)



9 12/21 - 2:48 PM - EXISTING  
 1" = 100'-0"



6 12/21 - 12:00 PM - EXISTING  
 1" = 100'-0"



3 12/21 - 9:26 AM - EXISTING  
 1" = 100'-0"

**EXISTING SHADOW**  
**NEW SHADOW**  
**OVERLAY SHADOW**

1 Shadow Study Legend



DATE	ISSUE RECORD
5/15/24	SB330 APPLICATION

PROJECT NO: KDN01  
 ISSUE DATE: 07/23/2024  
 SHADOW STUDIES -  
 DECEMBER, 21ST

G020

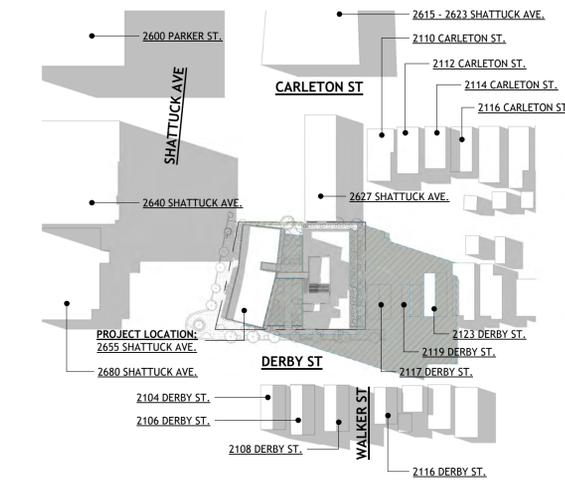


studioKDA  
 510.841.3555 | studiokda.com  
 COPYRIGHT © 2020  
 THIS DRAWING IS AN INSTRUMENT OF SERVICE, AND AS SUCH, REMAINS THE PROPERTY OF STUDIO KDA. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH STUDIO KDA.  
 2655 SHATTUCK AVE.

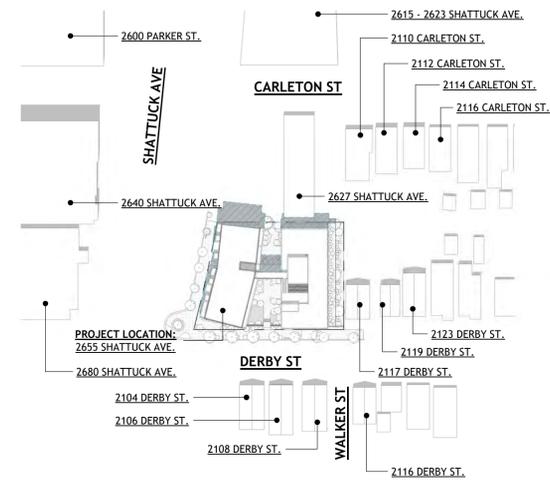
2655 SHATTUCK AVE.,  
 BERKELEY, CA 94704



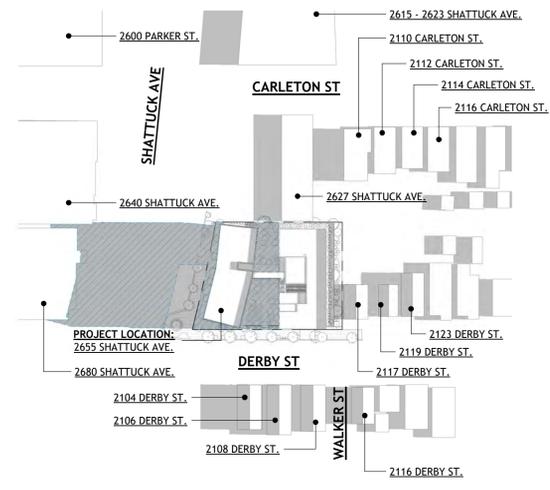
DRC REVIEW



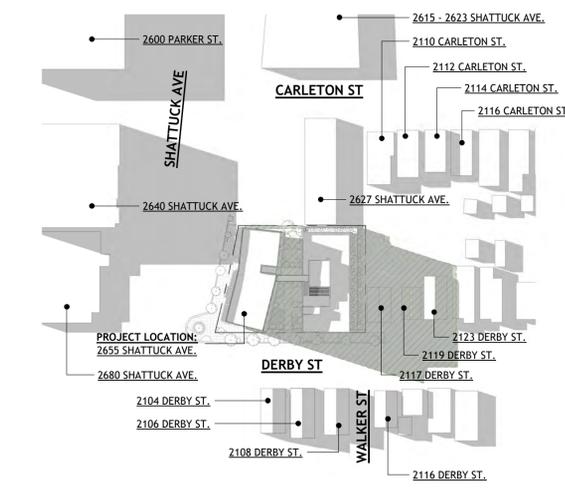
10 5/21 - 5:12 PM - COMBINED  
 1" = 100'-0"



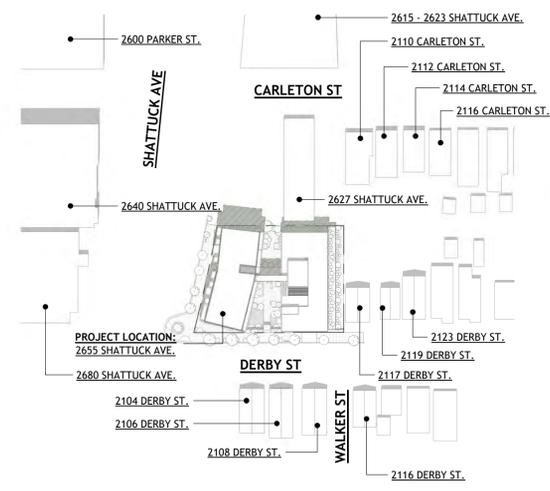
9 5/21 - 12:00 PM - COMBINED  
 1" = 100'-0"



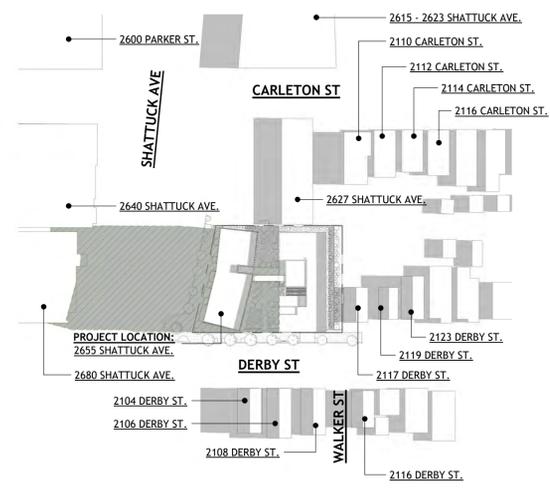
8 5/21 - 7:00 AM - COMBINED  
 1" = 100'-0"



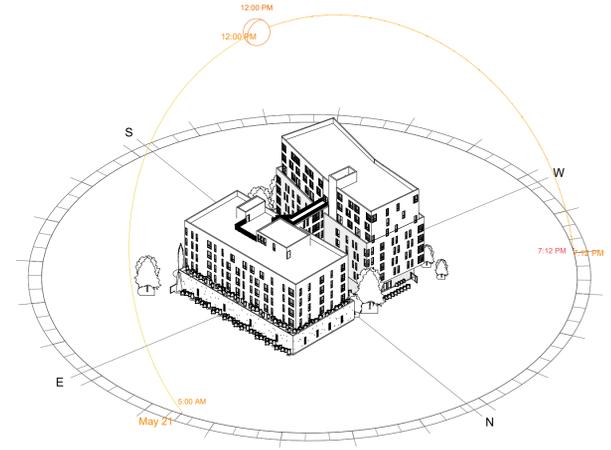
7 5/21 - 5:12 PM - PROPOSED  
 1" = 100'-0"



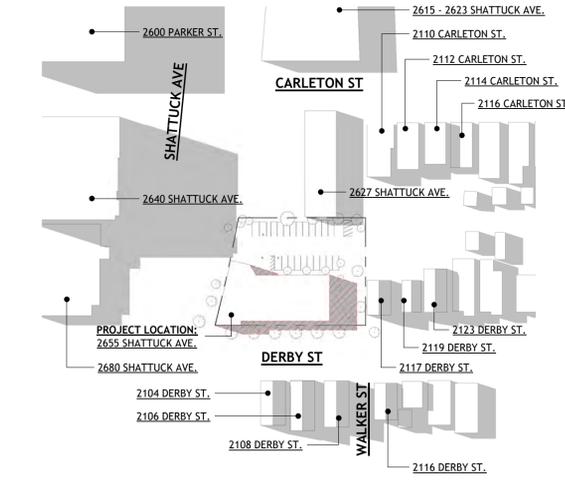
5 5/21 - 12:00 PM - PROPOSED  
 1" = 100'-0"



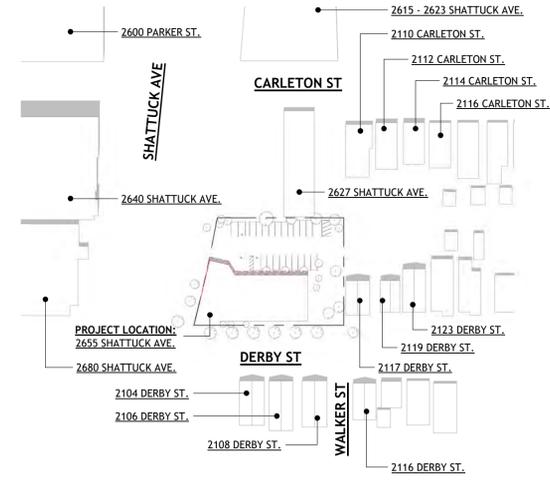
6 5/21 - 7:00 AM - PROPOSED  
 1" = 100'-0"



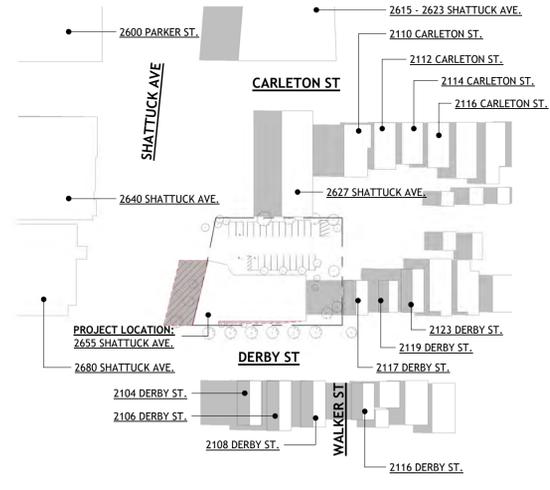
4 MAY 21ST - SUN PATH  
 (SUNRISE - SUNSET)



3 5/21 - 5:12 PM - EXISTING  
 1" = 100'-0"



2 5/21 - 12:00 PM - EXISTING  
 1" = 100'-0"



1 5/21 - 7:00 AM - EXISTING  
 1" = 100'-0"

**EXISTING SHADOW**  
**NEW SHADOW**  
**OVERLAY SHADOW**

1 Shadow Study Legend



Δ	DATE	ISSUE RECORD
	5/15/24	SB330 APPLICATION

PROJECT NO: KDN01  
 ISSUE DATE: 07/23/2024  
 SHADOW STUDIES - MAY 21ST

G022





2655 SHATTUCK AVE.,  
 BERKELEY, CA 94704



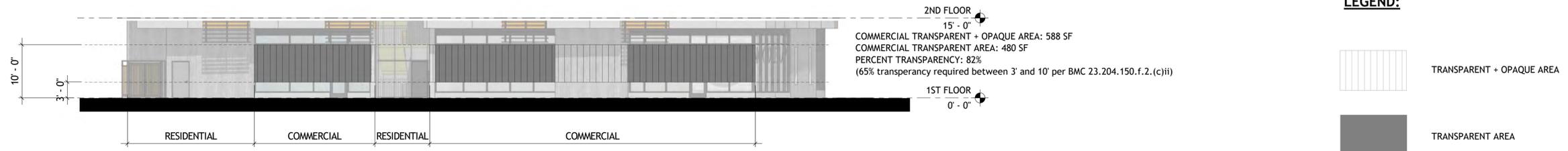
DRC REVIEW



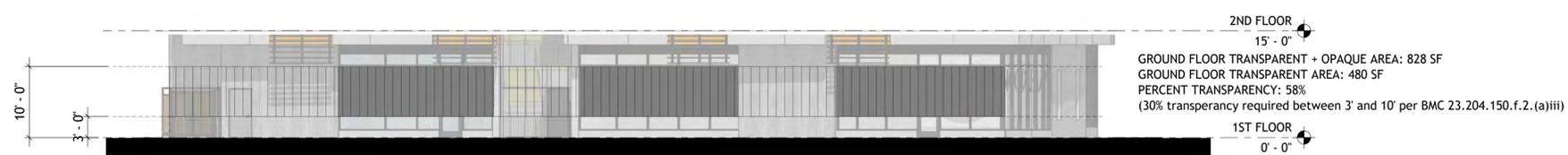
6 SOUTH ELEVATION COMMERCIAL TRANSPARENCY  
 1" = 10'-0"



5 SOUTH ELEVATION TOTAL GROUND FLOOR TRANSPARENCY  
 1" = 10'-0"



4 WEST ELEVATION COMMERCIAL TRANSPARENCY  
 1" = 10'-0"



3 WEST ELEVATION TOTAL GROUND FLOOR TRANSPARENCY  
 1" = 10'-0"



2 WEST ELEVATION  
 NOT TO SCALE



1 SOUTH ELEVATION  
 NOT TO SCALE

Δ	DATE	ISSUE RECORD
	5/15/24	SB330 APPLICATION
3	12/20/2	PLANNING RESPONSE 3
	4	

PROJECT NO: KDN01

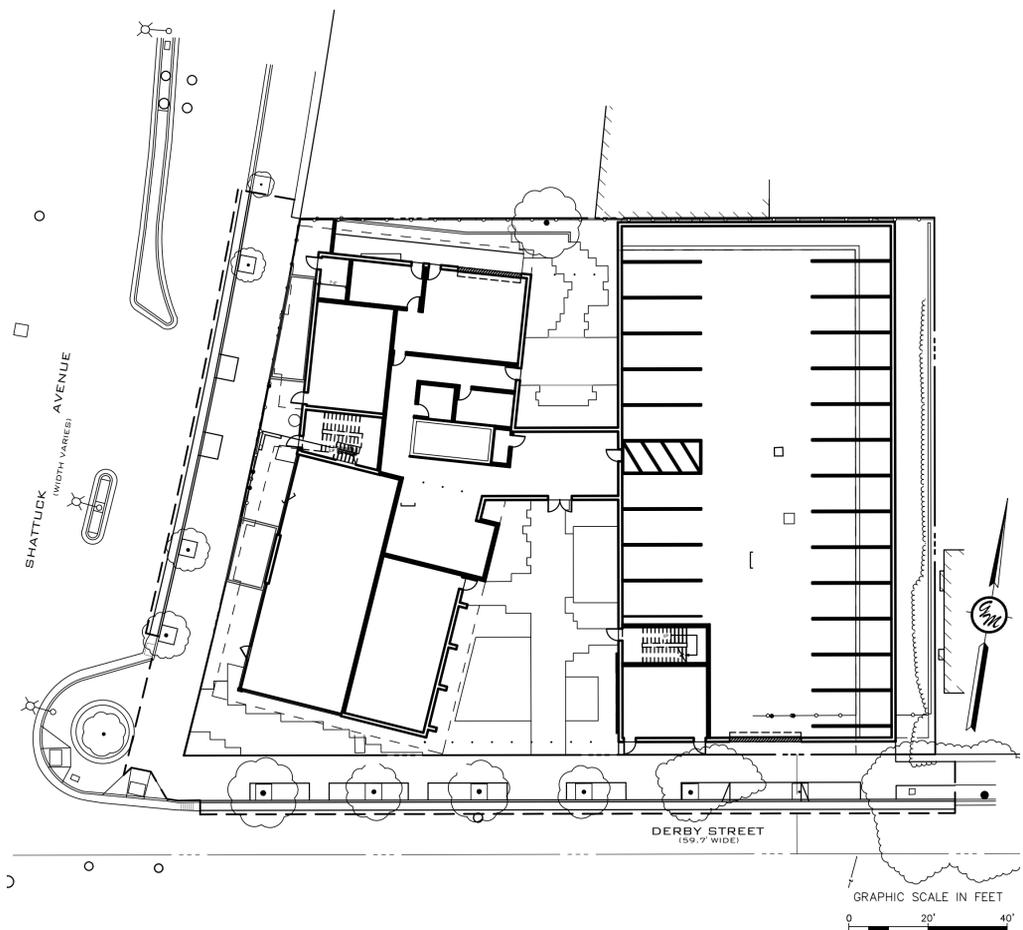
ISSUE DATE: 07/23/2024

FACADE TRANSPARENCY



ALL IDEAS, DESIGN, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED, AND DEDICATED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. ANY REUSE OF ANY PART OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE OFFICE IS STRICTLY PROHIBITED. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE OFFICE MUST BE NOTIFIED OF ANY WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. SHORTEST DIMENSIONS SHALL BE USED UNLESS OTHERWISE NOTED. ANY CHANGES TO THESE DRAWINGS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE PROJECT. THE OFFICE SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS. SHOP DETAILS OF ANIMATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE PROJECT.

# PRELIMINARY PLANS 2655 SHATTUCK AVENUE BERKELEY, CA 94704 APN: 55-1826-18-2



### SITE

**BASIS OF BEARINGS:**  
 THE MONUMENT LINE IN FULTON STREET BETWEEN THE STANDARD ALAMEDA COUNTY MONUMENT FOUND AT DERBY STREET AND AT CARLTON STREET WAS TAKEN AS N 9° 8' 42" W AS SHOWN ON PARCEL MAP 11256, FILED IN BOOK 356 OF MAPS, AT PAGES 33 AND 34, ALAMEDA COUNTY RECORDS.

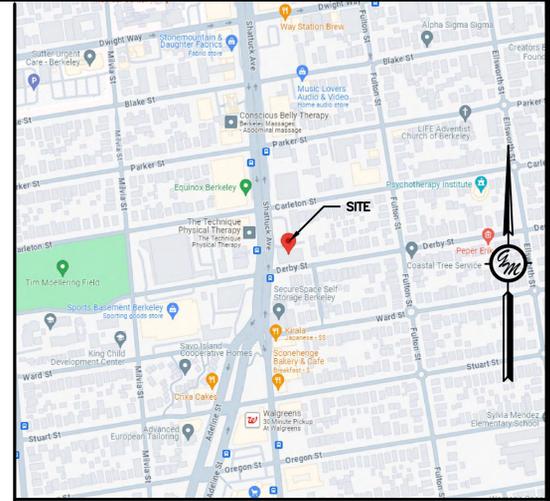
**VERTICAL DATUM / BENCHMARK:**  
 CITY OF BERKELEY VERTICAL DATUM BASED ON A DISC AND PUNCH IN A MONUMENT WELL LOCATED AT THE INTERSECTION OF DERBY STREET AND FULTON STREET, BEING CITY OF BERKELEY MONUMENT B0261.  
 ELEVATION = 166.45 FEET

**BOUNDARY NOTE:**  
 THE BOUNDARY LINES SHOWN WERE COMPILED FROM RECORD INFORMATION AND ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY.

**TITLE REPORT NOTE:**  
 AS OF THE DATE OF THIS SURVEY A CURRENT TITL REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN PROVIDED TO THE SURVEYOR FOR EXAMINATION. THEREFORE, THERE MAY BE EASEMENTS OR OTHER ENCUMBRANCES ON OR APPURTENANT TO THE SURVEYED PROPERTY THAT EXIST OF RECORD BUT ARE NOT DELINEATED HEREON.

**UTILITIES NOTE:**  
 THE INFORMATION SHOWN ON THIS SURVEY REGARDING EXISTING UTILITIES IS APPROXIMATE ONLY, IS BASED ON VISUAL OBSERVATIONS AND HAS NOT BEEN VERIFIED AS BEING COMPLETE OR CORRECT. THE SURVEYOR/ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING UTILITY INFORMATION HEREON, NOR FOR THE PRESENCE OF OTHER UTILITIES WHICH MAY EXIST BUT ARE NOT SHOWN ON THIS SURVEY.

**REFERENCES:**  
 (1) --- MAP OF THE MEEK BOULEVARD TRACT FILED JULY 23RD, 1920 IN BOOK 6 OF MAPS AT PAGE 44, ALAMEDA COUNTY RECORDS..



### VICINITY MAP

**ENGINEER:**  
 GREENWOOD & MOORE, INC.  
 JEFFERY MOORE  
 3111 CASTRO VALLEY BLVD.,  
 CASTRO VALLEY, CA 94546  
 (510) 581-2772

**OWNER/APPLICANT:**  
 JOE KIDRON  
 S.H. KAY, LLC  
 1442 WALNUT ST., #349  
 BERKELEY, CA 94709

**PROPERTY ADDRESS:**  
 2655 SHATTUCK AVENUE  
 BERKELEY, CA 94704

**ASSESSOR'S PARCEL NO.:**  
 APN: 55-1826-18-2

**EXISTING AND PROPOSED ZONING:**  
 C-AC ADELINE CORRIDOR COMMERCIAL

**TOTAL AREA TO BE DIVIDED:**  
 23,545± SQ.FT.

**SANITARY SEWER BY:**  
 CITY OF BERKELEY SANITARY DISTRICT

**WATER SERVICE BY:**  
 EAST BAY MUNICIPAL UTILITY DISTRICT

**GAS & ELECTRIC SERVICE BY:**  
 PACIFIC GAS & ELECTRIC COMPANY

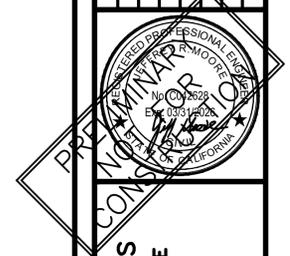
**FIRE PROTECTION BY:**  
 CITY OF BERKELEY FIRE DEPARTMENT

### PROJECT INFORMATION

SHEET NUMBER	SHEET TITLE
C0.0	COVER SHEET
C0.1	ABBREVIATION & LEGEND
C1.0	TOPOGRAPHIC SURVEY & DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	UTILITY PLAN
C4.0	GRADING PLAN
C4.1	SECTIONS
C5.0	STORMWATER CONTROL PLAN
C7.0	DETAILS
C7.1	DRAINAGE DETAILS
C7.2	CITY OF BERKELEY STANDARD DETAILS
C7.3	CITY OF BERKELEY POLLUTION PREVENTION PLAN
C7.4	EROSION CONTROL DETAILS



**GREENWOOD & MOORE, INC.**  
 Civil Engineers • Designers  
 Land Surveyors • Planners  
 3111 Castro Valley Blvd., Ste. 200, Castro Valley, California, 94546  
 Tel: 510-581-2772 Fax: 510-581-8913 www.greenwoodmoore.com



**PRELIMINARY PLANS  
 2655 SHATTUCK AVENUE  
 BERKELEY, CA 94704  
 APN: 55-1826-18-2**

### COVER SHEET

CHECKED BY: **XXX**  
 DRAWN BY: **STAFF**  
 SCALE: **1"=20'**  
 DATE: **05/17/2024**  
 PROJECT NO.: **2024.018**  
 PHASE NO.: **XX**  
 SHEET NO.:

### SHEET INDEX

**C0.0**

ALL DIMENSIONS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF THE OFFICE AND WILL BE REPRODUCED AND USED IN CONNECTION WITH THE SPECIFIED PROJECT. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE OFFICE IS PROHIBITED. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE OFFICE MUST BE NOTIFIED OF ANY WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF APPROPRIATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

AB	AGGREGATE BASE	GM	GAS METER	VIF	VERIFY IN FIELD
ABAG	ASSOCIATION OF BAY AREA GOVERNMENTS	GR	GRATE ELEVATION	W	WATER
ABS	ACRYLONITRILE BUTADIENE STYRENE	GV	GATE VALVE	W/O	WITHOUT
AC	ASPHALTIC CONCRETE	G&M	GREENWOOD&MOORE	WM	WATER METER
ACWD	ALAMEDA COUNTY WATER DISTRICT	HC	HANDICAP	WV	WATER VALVE
AD	AREA DRAIN	HGL	HYDRAULIC GRADE LINE	YL	YARD LIGHT
ADA	AMERICAN DISABILITIES ACT	HOR	HORIZONTAL		
AE	ACCESS EASEMENT	HP	HIGH POINT		
AL	AREA LIGHT	INT	INTERSECTION		
ANC	ANCHOR	INV	INVERT ELEVATION		
ANG PT	ANGLE POINT	ISA	INTERNATIONAL SYMBOL OF ACCESSIBILITY		
AP	ANCHOR POLE	JP	JOINT POLE		
ARV	AIR RELIEF VALVE	JT	JOINT TRENCH		
ASB	AGGREGATE SUB-BASE	L	LENGTH		
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	LAT	SEWER LATERAL		
BC	BEGINNING OF CURVE	LBS	POUND		
BLDG	BUILDING	LF	LENGTH IN FEET		
BOC	BACK OF CURB	LP	LOW POINT		
BOW	BACK OF SIDEWALK	LS	LENGTH IN FEET		
BM	BENCH MARK	LT	LEFT		
BO	BLOWOFF	MAX	MAXIMUM		
BPD	BACKFLOW PREVENTION DEVICE	MH	MANHOLE		
BVC	BEGINNING OF VERTICAL CURVE	MIN	MINIMUM		
BVCE	BEGINNING OF VERTICAL CURB ELEVATION	MON	MONUMENT		
BVCS	BEGINNING OF VERTICAL CURB STATION	(N)	NEW		
BW	BOTTOM OF WALL	NTS	NOT TO SCALE		
CATV	CABLE TELEVISION	OC	ON CENTER		
C&G	CURB AND GUTTER	OD	OUTSIDE DIAMETER		
CB	CATCH BASIN	P	PAVEMENT		
CFS	CUBIC FEET PER SECOND	PCC	PORTLAND CONCRETE CEMENT		
CIP	CAST IRON PIPE CENTERLINE	PCF	PER SQUARE FOOT		
CL II	CLASS 2 CLEAR	PG&E	PACIFIC GAS & ELECTRIC COMPANY		
CLR	CLEAR	PI	POINT OF INTERSECTION		
CMP	CORRUGATED METAL PIPE	PIV	POST INDICATOR VALVE		
CO	CLEANOUT	POC	POINT OF CURVE		
CONF	CONFORM	PRC	POINT OF REVERSE CURVATURE		
CONC	CONCRETE	PSDE	PRIVATE STORM DRAIN EASEMENT		
COTG	CLEANOUT TO GRADE	PSI	POUND PER SQUARE INCH		
CVSAN	CASTRO VALLEY SANITARY	PL	PROPERTY LINE		
CY	CUBIC YARDS	PT	POINT OF TANGENCY		
DI	DROP INLET/DRAIN INLET	PUE	PUBLIC UTILITY EASEMENT		
DIP	DUCTILE IRON PIPE	PV	PAVEMENT		
DWG	DRAWING	PVC	POLY VINYL CHLORIDE		
DWY	DRIVEWAY	PVI	POINT OF VERTICAL INTERSECTION		
(E)	EXISTING	R	RADIUS		
EA	EACH	(R)	RADIAL LINE		
EBMUD	EAST BAY MUNICIPALITY DISTRICT	RL	RIDGE LINE		
EC	END OF CURVE	RCP	REINFORCED CONCRETE PIPE		
EG	EXISTING GRADE	RIM	RIM ELEVATION		
ELEC	ELECTRIC	RT	RIGHT		
ELECTR O	ELECTROLIER	ROW	RIGHT OF WAY		
ELEV	ELEVATION	S	SLOPE		
EP	EDGE OF PAVEMENT	SD	STORM DRAIN		
EV	ELECTRIC VEHICLE	SDCO	STORM DRAIN CLEANOUT		
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	SDE	STORM DRAIN EASEMENT		
EVC	END OF VERTICAL CURVE	SDMH	STORM DRAIN MANHOLE		
EVCE	END OF VERTICAL CURB ELEVATION	SF	SQUARE FEET		
EVCS	END OF VERTICAL CURB ELEVATION	SHT	SHEET		
EW	EACH WAY	SL	STREET LIGHT		
FM	FORCE MAIN	SS	SANITARY SEWER		
FC	FACE OF CURB	SSCO	SANITARY SEWER CLEANOUT/RISER		
FDC	FIRE DEPARTMENT CONNECTION	SSMH	SANITARY SEWER MANHOLE		
FF	FINISH FLOOR	STA	STATION		
FG	FINISH GRADE	STD	STANDARD		
FH	FIRE HYDRANT	SW	SIDEWALK		
FI	FIELD INLET	T	TELEPHONE LINE		
FL	FLOWLINE	TBO	TEMPORARY BLOWOFF		
FS	FINISH SURFACE	TC	TOP OF CURB		
G	GAS MAIN	TELE	TELEPHONE		
GAS V	GAS VALVE	TS	TRAFFIC SIGNAL		
GB	GRADE BREAK	TW	TOP OF WALL		
		TYP	TYPICAL		
		UNO	UNLESS NOTED OTHERWISE		
		USD	UNION SANITARY DISTRICT		
		VAR	VARIES		
		VC	VERTICAL CURVE		
		VCP	VITRIFIED CLAY PIPE		
		VERT	VERTICAL		

ABBREVIATIONS

EXISTING	PROPOSED	DESCRIPTION
	☒	AREA LIGHT
BO	BO	BLOWOFF
		BRUSH LINE
CTV	CTV	BUILDING CABLE TV LINE
		CATCH BASIN
		CONCRETE
		CURB
		CURB & GUTTER
		CURB, GUTTER & SIDEWALK
		CUT/FILL LINE
		DAYLIGHT LINE
		DROP INLET
E	E	ELECTRIC LINE
		ELECTROLIER
X	X	FENCE
		FIRE HYDRANT
F	F	FIRE MAIN
		FLAG POLE
G	G	GAS MAIN
		GAS VALVE
GM	GM	GAS METER
UPA	UPA	GUY ANCHOR
JT	JT	JOINT TRENCH
		MONUMENT
		SANITARY SEWER CLEANOUT
		SANITARY SEWER LINE
SSMH	SSMH	SANITARY SEWER MANHOLE
		SIGN
		SLOPE
SD		STORM DRAIN LINE
		STORM DRAIN MANHOLE
		TELEPHONE LINE
		TELEPHONE VAULT
		TRAFFIC SIGNAL
		TRANSFORMER
		UTILITY POLE
		VALLEY GUTTER
		WALL
		WATER GATE VALVE
W	W	WATER MAIN
WM	WM	WATER METER
		WATER VALVE

LEGEND

**GREENWOOD & MOORE, INC.**  
 Civil Engineers • Designers  
 Land Surveyors • Planners

3111 Castro Valley Blvd., Ste. 200, Castro Valley, California, 94546  
 Tel: 510-561-2772 Fax: 510-561-8913 www.greenwoodmoore.com

**PRELIMINARY**

**PRELIMINARY PLANS**  
 2655 SHATUCK AVENUE  
 BERKELEY, CA 94704  
 APN: 55-1826-18-2

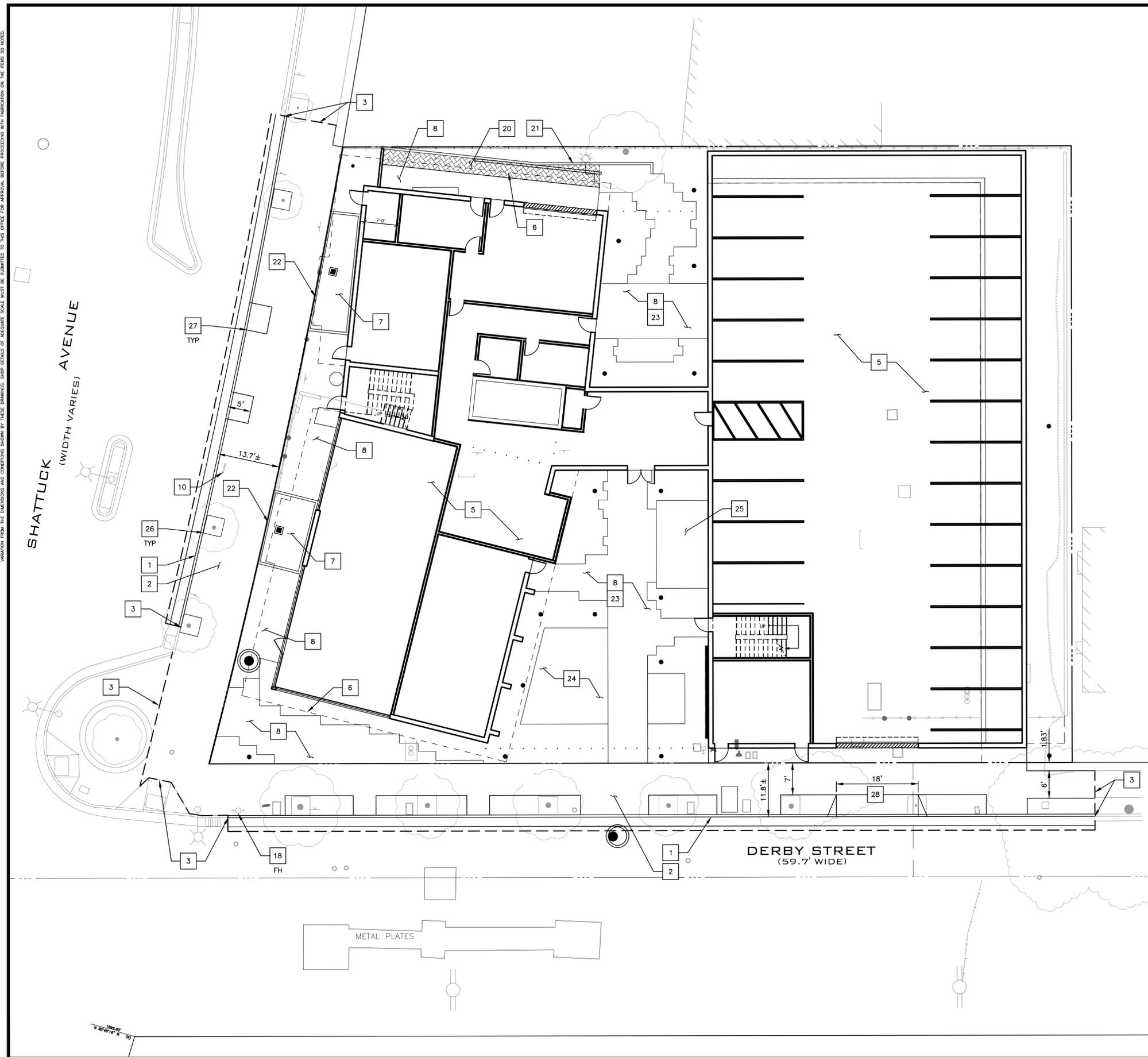
**ABBREVIATION & LEGEND**

CHECKED BY: **XXX**  
 DRAWN BY: **STAFF**  
 SCALE: **1"=20'**  
 DATE: **05/17/2024**  
 PROJECT NO.: **2024.018**  
 PHASE NO.: **XX**  
 SHEET NO.

**C0.1**



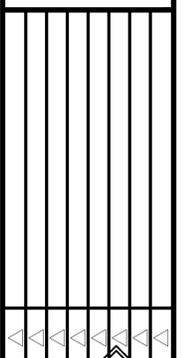
ALL IDEAS, DESIGN, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF THE OFFICE AND WILL BE CREATED, OWNED, AND CONTROLLED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. ANY REUSE OR REPRODUCTION OF ANY PART OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF THE OFFICE IS STRICTLY PROHIBITED. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF APPROPRIATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.



- KEYNOTES #**
1. (N) CONCRETE CURB & GUTTER PER CITY OF BERKELEY STANDARD DETAIL 8145. SEE DETAIL 1/C7.2
  2. (N) CONCRETE SIDEWALK PER CITY BERKELEY STANDARD PLAN 8153. SEE DETAIL 2/C7.2
  3. CONFORM TO EXISTING SAWCUT LINE
  4. SAWCUT LINE, CONFORM TO (E) AC PER DETAIL 1/C7.0
  5. (N) BUILDING. SEE ARCHITECTURAL PLANS
  6. LINE OF BUILDING ABOVE
  7. FLOW THROUGH PLANTER
  8. (N) CONCRETE PAVING PER DETAIL 2/C7.0 TYPE 1.
  9. (N) AC PAVING. MATCH (E) PAVEMENT SECTION OR AS DIRECTED BY CITY ENGINEER/INSPECTOR.
  10. (E) BIKE RACK TO REMAIN
  11. (E) SIGN TO REMAIN
  12. RELOCATED 2-HOUR MAX PARKING SIGN. REFER TO DEMOLITION PLAN, SHEET C1.0 FOR ADDITIONAL INFORMATION
  13. (E) PARKING METER TO REMAIN
  14. (N) GATE BY OTHERS
  15. PERMEABLE PAVERS PER DETAIL 9/C7.0
  16. TRANSFORMER/ELECTRICAL BOX
  17. (N) WATER METER
  18. (E) FIRE HYDRANT
  19. (E) ELECTRIC BOX TO REMAIN. REFER TO JOINT TRENCH DRAWING FOR ADDITIONAL INFORMATION
  20. PERVIOUS PAVEMENT
  21. 12" MAXIMUM HEIGHT CURB/WALL
  22. RETAINING WALL AT FLOWTHROUGH PLANTER
  23. SEE LANDSCAPE PLANS FOR PAVING TEXTURE, SCORING AND COLOR
  24. DECOMPOSED GRANITE
  25. RAISED DECK
  26. MATCH (E) TREE PLANTER AT (E) TREE
  27. (N) TREE PLANTER AT (N) TREE
  28. (N) 18' DRIVEWAY PER CITY OF BERKELEY STANDARD DETAIL 8151

**GREENWOOD & MOORE, INC.**  
 Civil Engineers • Designers  
 Land Surveyors • Planners

3111 Castro Valley Blvd., Ste. 200, Castro Valley, California, 94546  
 Tel: 510-561-2772 Fax: 510-561-8913 www.greenwoodmoore.com

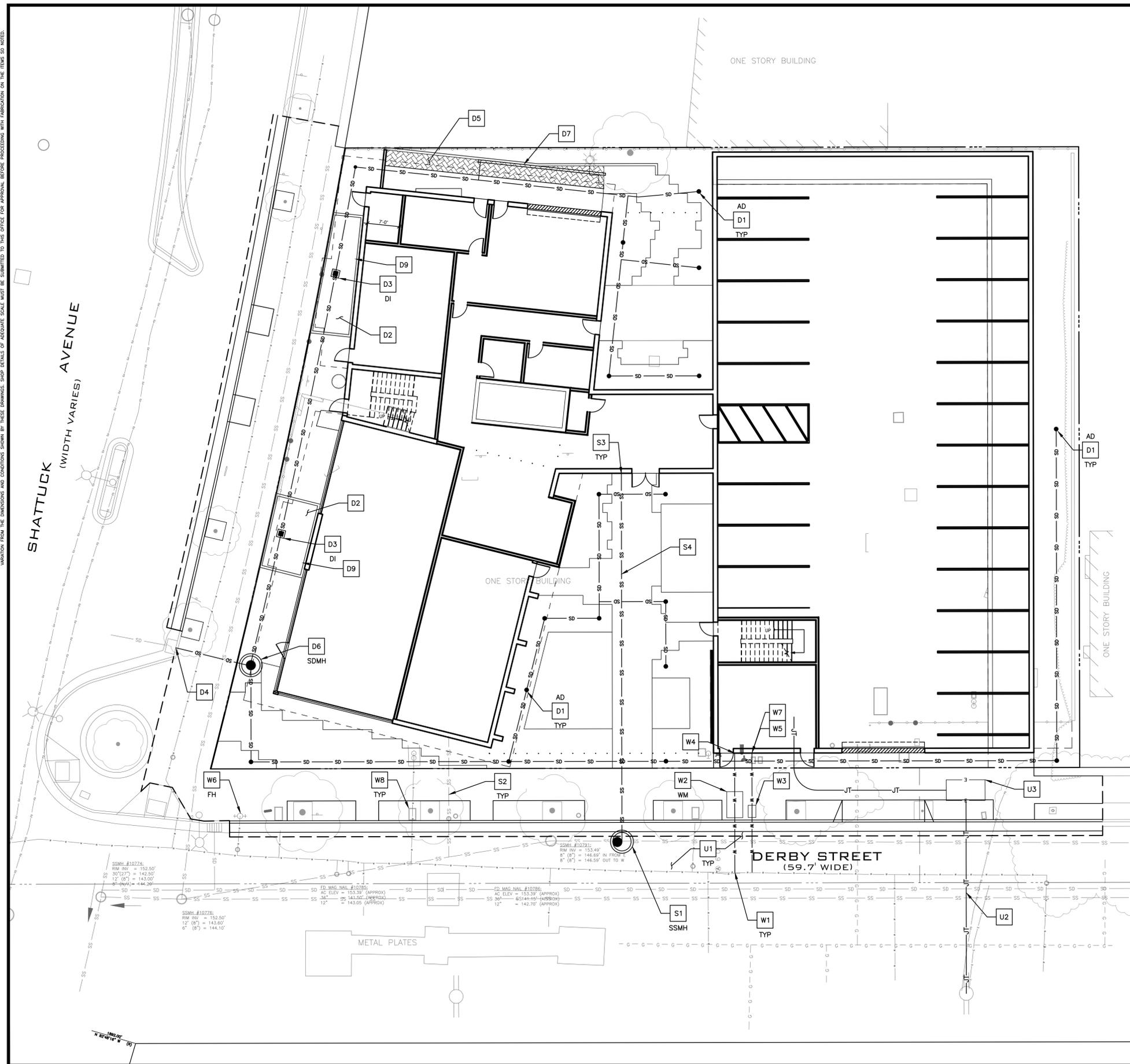


**PRELIMINARY PLANS**  
 2655 SHATTUCK AVENUE  
 BERKELEY, CA 94704  
 APN: 55-1826-18-2

**SITE PLAN**

CHECKED BY: XXX  
 DRAWN BY: STAFF  
 SCALE: 1"=10'  
 DATE: 05/17/2024  
 PROJECT NO.: 2024.018  
 PHASE NO.: XX  
 SHEET NO.: C2.0

ALL IDEAS, DESIGN, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND DELIVERED FOR USE ON THE PROJECT. ANY REUSE OF ANY PART OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE OFFICE IS STRICTLY PROHIBITED. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE OFFICE MUST BE NOTIFIED OF ANY WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. SHOP DETAILS OF APPROXIMATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.



- STORM DRAINAGE KEYNOTES** D#
1. AREA DRAIN
  2. FLOW THROUGH PLANTER
  3. DRAIN INLET. GRATE TO BE 6" ABOVE FLOW THROUGH PLANTER FINISH GRADE
  4. CONNECT TO (E) STORM DRAIN
  5. PERMEABLE PAVERS
  6. STORM DRAIN MANHOLE
  7. TRENCH DRAIN
  8. STORM WATER CLEANOUT
  9. APPROXIMATE LOCATION OF RAIN WATER DOWNSPOUT TO OUTFALL INTO BIORETENTION AREA AT COBBLE DISSIPATOR

- SEWER KEYNOTES** S#
1. SSMH PER CITY OF BERKELEY STANDARD DETAIL 7895. SEE 4/C7.2 VERIFY EXISTING SEWER SIZE AND INVERT ELEVATION IN FIELD.
  2. ABANDON (E) SEWER LATERAL. FOR BUILDING DEMOLITION AND LATERAL ABANDONMENT: WHEN A BUILDING IS TO BE DEMOLISHED AND THE EXISTING LATERAL IS NOT TO BE RE-USED, THE LATERAL SEWER SHALL BE DUG AND EXPOSED WHERE IT ENTERS THE MAIN.
  - A. IF THE LATERAL ENTERS THE MAIN BY MEANS OF A FACTORY MANUFACTURED WYE OR TEE BRANCH, AND IF THE MAIN AND WYE OR TEE BRANCH ARE ALL IN GOOD, UNDAMAGED CONDITION, THE LATERAL SHALL BE DISCONNECTED AND THE BRANCH SHALL BE PLUGGED WITH AN EXPANDABLE NEOPRENE RUBBER PLUG AT THE MAIN. THE BRANCH PLUG SHALL BE ENCLOSED WITH A MINIMUM THICKNESS OF 6 INCHES OF 6 SACK, 3/4" SIZE AGGREGATE, PORTLAND CEMENT CONCRETE. THE WYE BRANCH WITH RUBBER PLUG MUST BE INSPECTED AND APPROVED BY AN ENGINEERING INSPECTOR PRIOR TO ENCLOSURE WITH CONCRETE AND BACKFILL OF THE TRENCH.
  - B. IF THE LATERAL ENTERS THE MAIN BY ANY METHOD OTHER THAN BY A FACTORY WYE OR TEE BRANCH, OR IF THE EXISTING MAIN, WYE OR TEE BRANCH IS DAMAGED IN ANY WAY, THE SECTION OF MAIN CONTAINING THE LATERAL ENTRY OPENING SHALL BE REMOVED AND REPLACED WITH A NEW SECTION OF PIPE OF THE SAME DIAMETER AS THE EXISTING MAIN. AN ENGINEERING INSPECTOR MUST INSPECT THE NEW MAIN SECTION BEFORE BACKFILL.
  - C. THE ABANDONED LATERAL PIPE SHALL BE FILLED WITH SAND AND JETTED TO PREVENT THE PIPE FROM BECOMING A HOME FOR RODENTS OR OTHER DISEASE VECTORS.
  - D. REMOVE (E) CLEANOUT FRAME & COVER.
3. SEWER TO BUILDING. VERIFY LOCATION, SIZE AND ELEVATION WITH PLUMBING PLANS
4. 6" HDPE SDR 17 S=0.01 MINIMUM SLOPE

- WATER KEYNOTES** W#
1. CONNECT TO EXISTING WATER LINE PER EBMUD STANDARDS AND REQUIREMENTS
  2. RESIDENTIAL APARTMENT DOMESTIC WATER METER PER EBMUD STANDARDS AND REQUIREMENTS. VERIFY METER SIZE WITH EBMUD AND PLUMBING PLANS.
  3. WATER METER AND CHECK VALVE FOR FIRE SERVICE PER EBMUD STANDARDS AND REQUIREMENTS.
  4. WATER SERVICE TO APARTMENT BUILDING. VERIFY SIZE AND LOCATION WITH PLUMBING PLANS. PROVIDE BACKFLOW DEVICE AT BUILDING PER EBMUD STANDARDS AND REQUIREMENTS.
  5. FIRE SERVICE TO BUILDING. SEE FIRE SERVICE PLANS BY OTHERS FOR MORE INFORMATION. PROVIDE BACKFLOW DEVICE AT BUILDING PER EBMUD STANDARDS AND REQUIREMENTS.
  6. (E) FIRE HYDRANT
  7. FIRE DEPARTMENT CONNECTION. SEE PLANS BY OTHERS.
    - 7.1. THE FDC SHALL BE INSTALLED NO HIGHER THAN 3- FEET FROM FINISHED GRADE, AND SHALL BE LOCATED SO THAT FIRE APPARATUS AND HOSE CONNECTED TO SUPPLY THE SYSTEM WILL NOT OBSTRUCT ACCESS TO THE BUILDINGS FOR OTHER FIRE APPARATUS.
    - 7.2. THE FDC SUPPLYING WATER TO THE STANDPIPE SYSTEM MUST CONSIST OF A THREE (3) 2-1/2-INCH INLET CONNECTION AND ONE (1) 5-INCH STORZ CONNECTION WITH A BUILT-IN DEBRIS SCREEN.
  8. ABANDON (E) WATER SERVICE PER EBMUD STANDARDS AND REQUIREMENTS. (BY EBMUD)

- UTILITY KEYNOTES** U#
1. CONTRACTOR FIELD LOCATE (E) UTILITIES. NOTIFY ENGINEER OF ANY CONFLICTS WITH (E) UTILITIES.
  2. JOINT TRENCH BY OTHERS. SEE JOINT TRENCH PLANS
  3. TRANSFORMER (BY OTHERS)
  4. ALL TRENCHING IN THE CITY RIGHT OF WAY TO BE PER CITY OF BERKELEY STANDARD DETAIL 8136. SEE 3/C7.2
  5. PROVIDE 1' MINIMUM CLEARANCE AT UTILITY CROSSING. VIF

**GREENWOOD & MOORE, INC.**  
 Civil Engineers • Designers  
 Land Surveyors • Planners  
 3111 Castro Valley Blvd., Ste. 200, Castro Valley, California, 94546  
 Tel: 510-561-2772 Fax: 510-561-8913 www.greenwoodmoore.com

**PRELIMINARY PLANS**  
 2655 SHATTUCK AVENUE  
 BERKELEY, CA 94704  
 APN: 55-1826-18-2

**UTILITY PLAN**

CHECKED BY: XXX  
 DRAWN BY: STAFF  
 SCALE: 1"=10'  
 DATE: 05/17/2024  
 PROJECT NO.: 2024.018  
 PHASE NO.: XX  
 SHEET NO.: C3.0





ALL IDEAS, DESIGN, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND DELIVERED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. ANY REUSE OF ANY PART OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE OFFICE IS STRICTLY PROHIBITED. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE OFFICE MUST BE NOTIFIED OF ANY VIOLATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF APPLICABLE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.



- KEYNOTES**
1. FLOWTHROUGH PLANTER AT ROOF
  2. FLOWTHROUGH PLANTER AT GRADE
  3. SELF RETAINING
  4. SELF TREATING
  5. PERMEABLE PAVERS
  6. OVERFLOW DRAINAGE INLET GRATE ON DROP INLET TO BE 6" ABOVE FINISH GRADE ELEVATION OF BIORETENTION AREA
  7. DISCHARGE ROOF STORM WATER RUNOFF FROM DOWNSPOUT INTO BIORETENTION AREA AT COBBLE OUTFALL

- ABBREVIATIONS**
- DMA - DRAINAGE MANAGEMENT AREA
  - TCM - TREATMENT CONTROL MEASURE
  - SRA - SELF RETAINING AREA
  - STA - SELF TREATING AREA

- LEGEND**
- DMA BOUNDARY
  - FLOWTHROUGH PLANTER
  - PERVIOUS PAVERS

	IMPERVIOUS AREA (SQ.FT)	PERVIOUS PAVEMENT (SQ.FT)	LANDSCAPE (SQ.FT)	TOTAL (SQ.FT)
EXISTING	19,206	0	4,317	23,523
PROPOSED	18,564	175	4,784	23,523

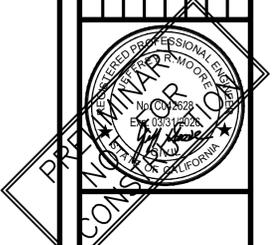
DRAINAGE MANAGEMENT AREA (DMA)	TREATMENT CONTROL MEASURES (TCM)	TOTAL DRAINAGE AREA (SF)	LANDSCAPING (SF)	IMPERVIOUS AREA (SF)	EFFECTIVE PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	TREATMENT AREA REQUIRED (SF) *	TREATMENT AREA PROVIDED (SF)	DEPTH OF PONDING (INCHES)	TREATMENT TYPE	SIZING METHOD
DMA 1	TCM 1	9,643	1,330	8,313	1,330	8,446	338	1,330	N/A	FLOW THROUGH PLANTER	AREA METHOD*
DMA 2	TCM 2	7,538	323	7,215	323	7,247	290	311	N/A	FLOW THROUGH PLANTER	AREA METHOD*
DMA 3	SRA	2,336	898	1,438	898	1,528	61	0	N/A	SELF-RETAINING AREA	AREA METHOD*
DMA 4	SRA	1,497	837	660	837	744	30	175	N/A	PERVIOUS PAVEMENT	AREA METHOD*
DMA 5	STA	1,350	1,350	0	1,350	N/A	N/A	N/A	N/A	SELF-TREATING AREA	AREA METHOD*

**SELF RETAINING AREAS**

TREATMENT TYPE	IMPERVIOUS AREA (SF)	PERVIOUS PAVEMENT (SF)	LANDSCAPE (SF)	RATIO OF IMPERVIOUS AREA/PERVIOUS AREA (MUST BE LESS ≤ 2.0)
DMA 3 SRA	1,438	0	898	1.6
DMA 4 SRA	660	175	837	0.7

\*Required treatment area determined using Alameda County C3 Volume Capture method for bioretention sizing

**GREENWOOD & MOORE, INC.**  
 Civil Engineers • Designers  
 Land Surveyors • Planners  
 3111 Castro Valley Blvd., Ste. 200, Castro Valley, California, 94546  
 Tel: 510-561-2772 Fax: 510-561-8913 www.greenwoodmoore.com

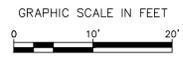


**PRELIMINARY PLANS**  
 2655 SHATTUCK AVENUE  
 BERKELEY, CA 94704  
 APN: 55-1826-18-2

**STORMWATER CONTROL PLAN**

CHECKED BY: XXX  
 DRAWN BY: STAFF  
 SCALE: 1"=10'  
 DATE: 05/17/2024  
 PROJECT NO.: 2024.018  
 PHASE NO.: XX  
 SHEET NO.:

**C5.0**



VEAVE A LONG TERM, IN-PLACE  
 ) 10 IN/HR, CAPABLE OF  
 ) CONSIST OF 60%-70% SAND

MICIPALITY FOR APPROVAL:  
 SOIL  
 PLIER OR AN ACCREDITED  
 N SOIL MEETS THE  
 SPECIFICATION.  
 THE FINE SAND COMPONENT  
 ASTM D 422, STANDARD TEST  
 SIS OF SOILS.  
 MPOST PERFORMED IN  
 G ASSURANCE (STA) STANDARDS,

IF MIXED BIORETENTION SOIL  
 PERFORMED IN ACCORDANCE WITH  
 ) OF COMPOST AND COMPOSTING  
 IN ORGANIC MATTER METHOD.  
 THE COMPOST COMPONENT IN  
 NDARD TEST METHOD FOR

AND METHODS USED TO MIX THE  
 BIORETENTION SOIL  
 ON ABOUT THE TESTING  
 (S), ADDRESS(ES), PHONE  
 AND QUALIFICATIONS OF  
 INCLUDING DATE OF CURRENT  
 PPROVED EQUAL.

ASTE COATING SUCH AS CLAY,  
 ) ANY OTHER DELETERIOUS  
 THE NO. 200 SIEVE SHALL BE

LL BE ANALYZED BY AN  
 O, #40, #30 #8, #4, AND 3/8"  
 )VED BY MUNICIPALITY, AND MEET

PASSING (BY WEIGHT)  
 MAX.  
 100  
 100  
 100  
 95  
 70  
 55  
 15  
 5

3 FOR FINE AGGREGATE COMPLY  
 )ENTS.

SED, STABLE, WEED FREE ORGANIC  
 )RIALS INCLUDING YARD DEBRIS,  
 )S NOT INCLUDING MANURE OR  
 )PED BY THE US COMPOSTING  
 )CERTIFIED THROUGH THE USCC  
 )M (A COMPOST TESTING AND

ELIVERY OF THE SOIL, THE  
 )ALYSIS PERFORMED BY A  
 )COMPOSTING COUNCIL'S COMPOST  
 )G APPROVED TEST METHODS FOR  
 )OST (TMECC). THE LAB REPORT

ND INCLUDE ONE OF THE  
 )GRASS CLIPPINGS, FOOD SCRAPS  
 )RY WEIGHT.  
 )1 AND C:N > 15:1  
 )ARK BROWN COLOR AND A SOIL  
 )OR PUTRID SMELL, CONTAINING  
 )HOT (120F) UPON DELIVERY IS  
 )F THE FOLLOWING IS REQUIRED

IR  
 )T BVS/  
 )DAY  
 )GREENS C) E.

RES IS SUFFICIENT TO INDICATE

TROL

TAILING NUTRIENT CONTENT

ABOVE PREFERRED  
 ) SOLUBLE SHALL BE < 2.5 PPM  
 )HOS/CM  
 )VARY WITH PLANT SPECIES.  
 )TURE  
 )ALL BE ANALYZED BY AN  
 )ND 1" SIEVES (ASTM D422 OR  
 )THE FOLLOWING GRADATION.

PASSING (BY WEIGHT)  
 MAX.  
 100  
 100  
 90  
 10

AND 1100 DRY LBS/CUBIC

30%-55% OF DRY SOLIDS,  
 ) FREE OF INERT INGREDIENTS,  
 ) BY WEIGHT OR VOLUME.

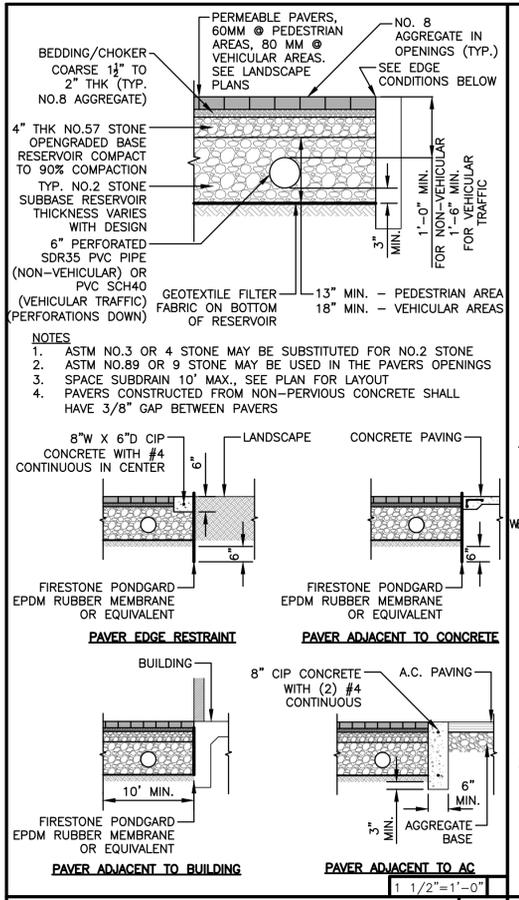
ROVIDE PROOF OF PROCESS TO  
 ) EXAMPLE, TURNED WINDROWS  
 ) AT LEAST 5 TURNINGS DURING

MPN/4 GRAMS OF TS, OR

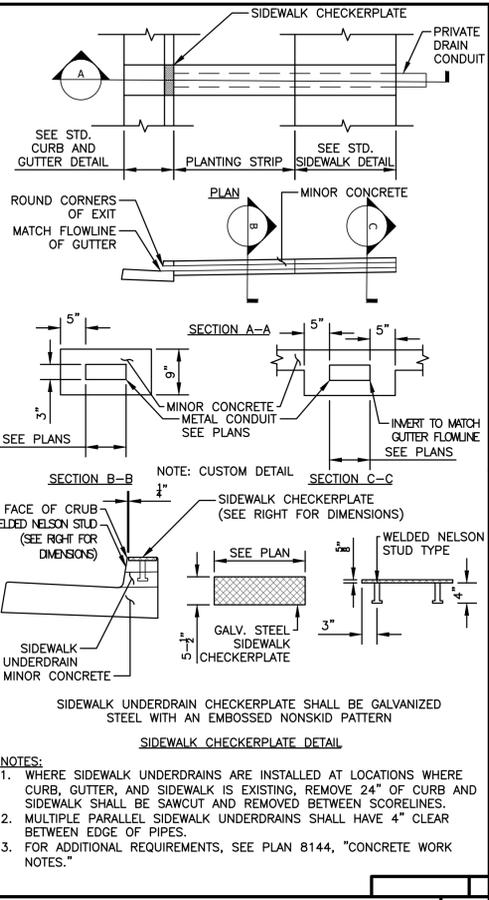
ERCURY, ETC.) PRODUCT MUST

PLIER WILL TEST ALL COMPOST  
 )R TO APPLICATION. SAMPLES  
 )LECTION PROCESS PROTOCOL.  
 )E OBTAINED FROM THE U.S.  
 )ORIAL HIGHWAY, SUITE 275,  
 )31,  
 ) SHALL BE SENT TO AN  
 )THE COMPOST SUPPLIER

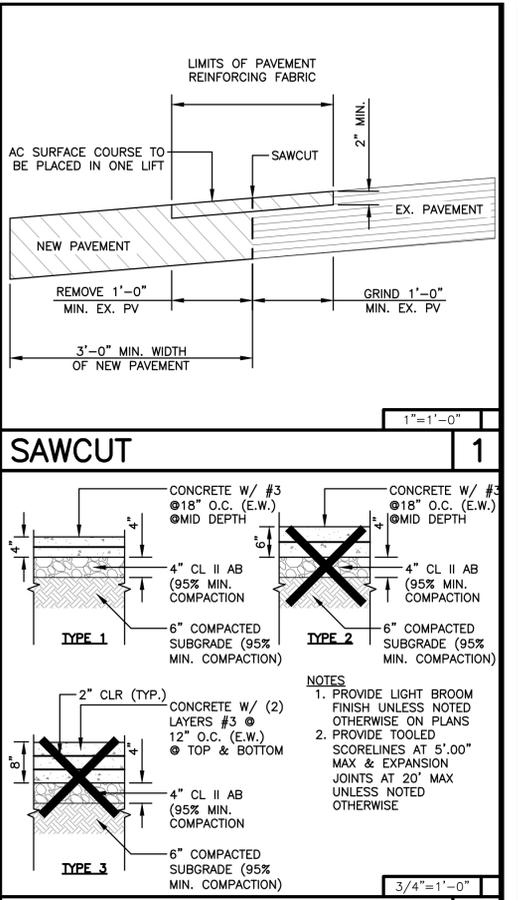
**NOTES 9**



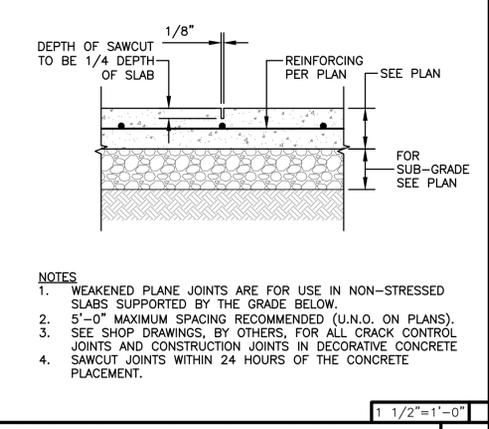
**PERVIOUS PAVERS 8**



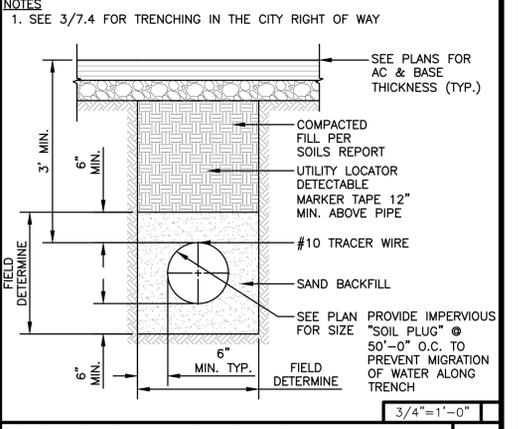
**SIDEWALK DRAIN CONDUIT 5**



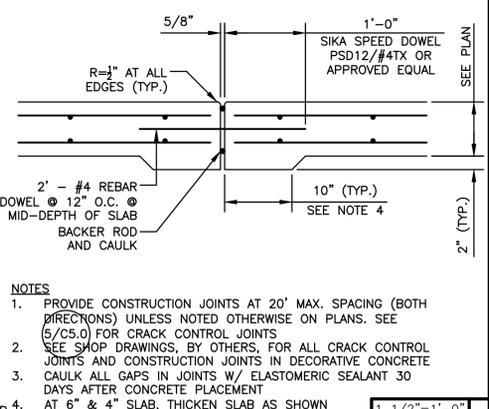
**CONCRETE SLAB 2**



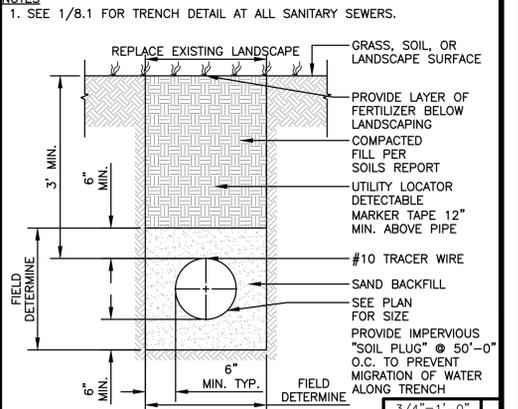
**CRACK CONTROL JOINT 6**



**ASPHALT TRENCH 3**



**EXPANSION JOINT 7**



**TRENCH & LANDSCAPE 4**

**GREENWOOD & MOORE, INC.**  
 Civil Engineers • Designers  
 Land Surveyors • Planners

3111 Castro Valley Blvd., Ste. 200, Castro Valley, California, 94546  
 Tel: 510-581-2712 Fax: 510-581-6813 www.greenwoodmoore.com

**JEFFREY R. MOORE**  
 REGISTERED PROFESSIONAL ENGINEER  
 No. C042628  
 Exp. 03/31/2026  
 CIVIL  
 STATE OF CALIFORNIA

**PRELIMINARY PLANS**  
 2655 SHATTUCK AVENUE  
 BERKELEY, CA 94704  
 APN: 55-1826-18-2

**DETAILS**

CHECKED BY: **XXX**

DRAWN BY: **STAFF**

SCALE: **AS SHOWN**

DATE: **05/17/2024**

PROJECT NO.: **2024.018**

PHASE NO.: **XX**

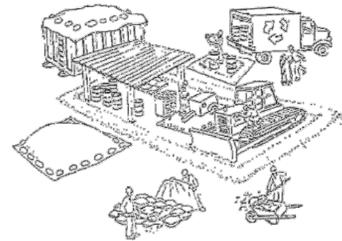
SHEET NO. **C7.0**





ALL IDEAS, DESIGN, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED, AND PROVIDED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. ANY REUSE OF ANY PART OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE OFFICE IS STRICTLY PROHIBITED. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE OFFICE MUST BE NOTIFIED OF ANY VIOLATION FROM THE DIMENSIONAL AND CONDITIONAL REQUIREMENTS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF APPROPRIATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE FIELD SO NOTED.

# City of Berkeley's Pollution Prevention - It's Part of the Plan



## Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution and damage to creeks and the San Francisco Bay. Construction activities can directly affect the health of creeks and the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines and the project specifications will ensure your compliance with City of Berkeley requirements.

### Materials storage & spill cleanup

#### Non-hazardous materials management

- Sand, dirt, and similar materials must be stored at least 10 feet (3 meters) from catch basins. All construction material must be covered with a tarp and contained with a perimeter control during wet weather or when rain is forecasted or when not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control as needed.
- Sweep or vacuum streets and other paved areas daily. Do not wash down streets or work areas with water!
- Recycle all asphalt, concrete, and aggregate base material from demolition activities. Comply with City of Berkeley Ordinances for recycling construction materials, wood, gyp board, pipe, etc.
- Check dumpsters regularly for leaks and to make sure they are not overfilled. Repair or replace leaking dumpsters promptly.
- Cover all dumpsters with a tarp at the end of every work day or during wet weather.

#### Hazardous materials management

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state, and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecasted.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecasted within 24 hours.
- Be sure to arrange for appropriate disposal of all hazardous wastes.

#### Spill prevention and control

- Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- Dispose of all containment and cleanup materials properly.
- Report any hazardous materials spills immediately! Dial 911 or the City of Berkeley's Public Works Department by dialing 311

#### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking.

### Vehicle and equipment maintenance & cleaning

- Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.
- Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



### Earthwork & contaminated soils

- Keep excavated soil on the site where it will not collect in the street.
- Transfer to dump trucks should take place on the site, not in the street.
- Use fiber rolls, silt fences, or other control measures to minimize the flow of silt off the site.



- Earth moving activities are only allowed during dry weather by permit and as approved by the City Inspector in the Field.
- Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place fiber rolls down-slope until soil is secure.

- If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call the Engineer for help in determining what should be done, and manage disposal of contaminated soil according to their instructions.

### Dewatering operations

- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Run-on from off site shall be directed away from all disturbed areas or shall collectively be in compliance.
- Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- Be sure to notify and obtain approval from the Engineer before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine what testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

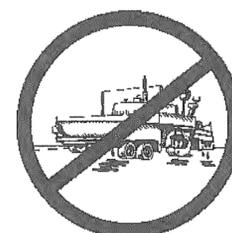


### Saw cutting

- Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or sand/gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If saw cut slurry enters a catch basin, clean it up immediately.

### Paving/asphalt work

- Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- Protect gutters, ditches, and drainage courses with sand/gravel bags, or earthen berms.
- Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- Do not use water to wash down fresh asphalt concrete pavement.



### Concrete, grout, and mortar storage & waste disposal

- Store concrete, grout, and mortar under cover, on pallets, and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks off-site or into contained washout areas that will not allow discharge of wash water onto the underlying soil or onto the surrounding areas.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal off site.



### Painting

- Never rinse paint brushes or materials in a gutter or street!
- Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink.
- Paint out excess oil-based paint before cleaning brushes in thinner.
- Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

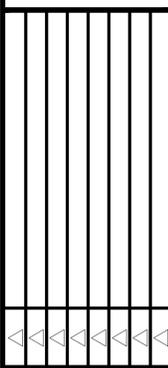


### Landscape Materials

- Contain, cover, and store on pallets all stockpiled landscape materials (mulch, compost, fertilizers, etc.) during wet weather or when rain is forecasted or when not actively being used within 14 days.
- Discontinue the application of any erodible landscape material within 2 days of forecasted rain and during wet weather.

Storm drain polluters may be liable for fines of \$10,000 or more per day!

For references and more detailed information:  
[www.cleanwaterprogram.org](http://www.cleanwaterprogram.org)  
[www.cabmphandbooks.com](http://www.cabmphandbooks.com)



PRELIMINARY PLANS  
 2655 SHATTUCK AVENUE  
 BERKELEY, CA 94704  
 APN: 55-1826-18-2

CITY OF BERKELEY  
 POLLUTION PREVENTION  
 PLAN

CHECKED BY: XXX  
 DRAWN BY: STAFF  
 SCALE: NO SCALE  
 DATE: 05/17/2024  
 PROJECT NO: 2024.018  
 PHASE NO: XX  
 SHEET NO.

C7.3

ALL IDEAS, DESIGN, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND PROVIDED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. WRITERS DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ANTIQUE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

**EROSION CONTROL NOTES**

**TEMPORARY EROSION CONTROL MEASURES EFFECTIVE DURING RAINY SEASON - OCTOBER 1 TO APRIL 30**

- TEMPORARY EROSION CONTROL DEVICES SHOWN ON GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES.
- EXCEPT AS OTHERWISE DIRECTED BY THE INSPECTOR, ALL DEVICES SHOWN ON THE EROSION CONTROL PLAN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON AND MAINTAINED DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 30).
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PROVISIONS OF THE ASSOCIATION OF BAY AREA GOVERNMENTS (ABAG) "MANUAL OF STANDARDS FOR EROSION AND SEDIMENT CONTROL MEASURES" UNLESS OTHERWISE STATED WITHIN THESE GENERAL NOTES. CONTROL MEASURES ARE SUBJECT TO THE INSPECTION AND APPROVAL OF THE ENGINEERING DIVISION OF THE PUBLIC SERVICES DEPARTMENT. SCHEDULE AN ENGINEERING INSPECTION AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK.
- ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
- THE CONTRACTOR SHALL PLACE 3"-4" FRACTURED STONE AGGREGATE AS A GRAVEL ROADWAY (6" MINIMUM THICKNESS FOR THE FULL WIDTH AND 50 FEET LONG) AT EACH ROAD ENTRANCE TO THE SITE. ANY MUD THAT IS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED THE SAME DAY AS REQUIRED BY THE COUNTY ENGINEER. MINIMUM WIDTH OF GRAVEL ROADWAY IS 10 FEET.
- A CONCRETE WASHOUT IS REQUIRED FOR ALL CONCRETE WORK. THE WASHOUT SHALL CONSIST OF A CONTAINMENT AREA ENCLOSED BY AN EARTHEN DIKE. PLASTIC TARP, COVERING THE CONTAINMENT AREA AND EARTHEN DIKE, SHALL BE STAKED IN AT OUTSIDE EDGE OF EARTHEN DIKE.
- ADDITIONAL CONTAINMENT METHODS MUST BE PROVIDED FOR ANY WASTE STORAGE AREA, STOCKPILE/MATERIAL STORAGE AREA AND/OR CONSTRUCTION TOILET AREA.
- THE PERSON RESPONSIBLE IMPLEMENTING, INSPECTING AND MAINTAINING THE EROSION AND SEDIMENT CONTROL MEASURES IS:
 

CONTACT PERSON'S NAME: XXXXX  
 TELEPHONE NUMBER: XXXXX
- STAND-BY CREWS SHALL BE ALERTED BY THE PERMITEE OR CONTRACTOR FOR EMERGENCY WORK DURING RAINSTORMS.
- AFTER OCTOBER 1, ALL EROSION CONTROL MEASURES WILL BE INSPECTED DAILY AND AFTER EACH STORM. AFTER OCTOBER 1, BREACHES IN DIKES AND SWALES WILL BE REPAIRED AT THE CLOSE OF EACH DAY AND WHENEVER RAIN IS FORECAST.
- AS A PART OF THE EROSION CONTROL MEASURES, UNDERGROUND STORM DRAIN FACILITIES AND CONCRETE SHALL BE INSTALLED COMPLETE AS SHOWN ON THE IMPROVEMENT PLANS.
- ALL STORM DRAIN INLET STRUCTURES GREATER THAN FOUR FEET IN DEPTH SHALL HAVE STEPS INSTALLED PER THE LATEST ACCEPTED SAFETY STANDARDS. A 6" CONCRETE COVER SLAB SHALL BE INSTALLED OVER PIPE WITH LESS THAN 2.5 FEET OF COVER TO SUBGRADE. ALL PIPE TO BE CLASS III UNLESS OTHERWISE NOTED.
- ALL GRADED AREAS, INCLUDING, BUT NOT LIMITED TO, CUT AND FILL SLOPES, STREETS, PARKING AREAS, AND BUILDING PADS SHALL BE HYDROSEEDED PER ABAG. IN ADDITION TO HYDROSEEDING, APPLICATION OF STRAW WITH A TACKIFIER OR MULCH MAY BE REQUIRED BY THE COUNTY ENGINEER.
- IF ANY GRADING OPERATIONS, OTHER THAN LOT FINISH GRADING, ARE TO BE PERFORMED DURING THE RAINY SEASON, OCTOBER 1 THROUGH APRIL 30, AN EROSION CONTROL PLAN MUST BE SUBMITTED BY SEPTEMBER 1 AND THE PLAN MUST BE APPROVED BY THE COUNTY OF ALAMEDA PRIOR TO THE COMMENCEMENT OF ANY SUCH GRADING OPERATIONS.
- TO MINIMIZE EROSION OF GRADED BANKS, ALL GRADED BANKS STEEPER THAN 2% AND HIGHER THAN 3 FEET, SHALL BE HYDROSEEDED, LANDSCAPED, OR SEALED. IN ADDITION TO HYDROSEEDING, APPLICATION OF STRAW WITH A TACKIFIER OR MULCH MAY BE REQUIRED BY THE COUNTY ENGINEER. IF THE PERMANENT STORM DRAIN SYSTEM IS NOT INSTALLED BY OCTOBER 1, TEMPORARY DITCHES SHALL BE CONSTRUCTED TO CONTAIN THE STORM WATER AND DIRECT IT, IN A MANNER THAT AVOIDS EROSION OF THE BANKS, TO THE EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL CUT AND FILL SLOPES ARE TO BE PROTECTED TO PREVENT OVERBANK FLOW USING 4" EARTH BERMS OR SILT FENCES.
- ALL GRADED AREAS, INCLUDING, BUT NOT LIMITED TO, CUT AND FILL SLOPES, STREETS, PARKING AREAS, AND BUILDING PADS SHALL BE HYDROSEEDED PER COUNTY'S REQUIREMENT. SUGGESTED MIX DESIGN FOLLOWS:
 

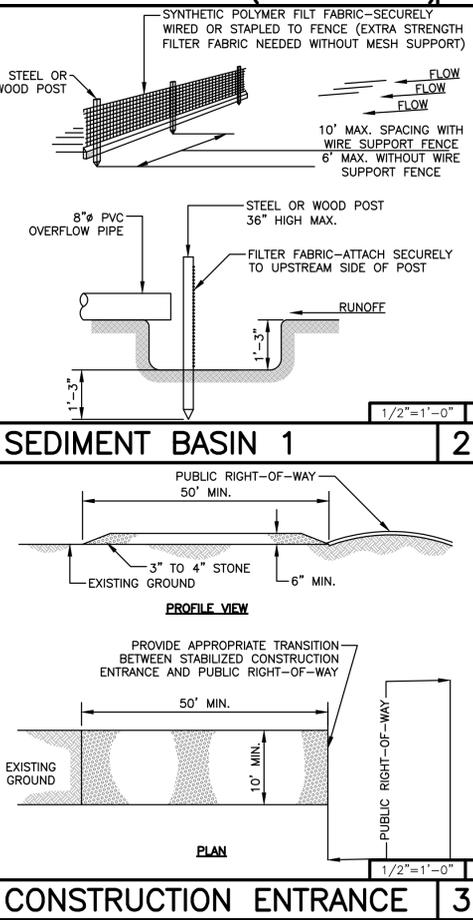
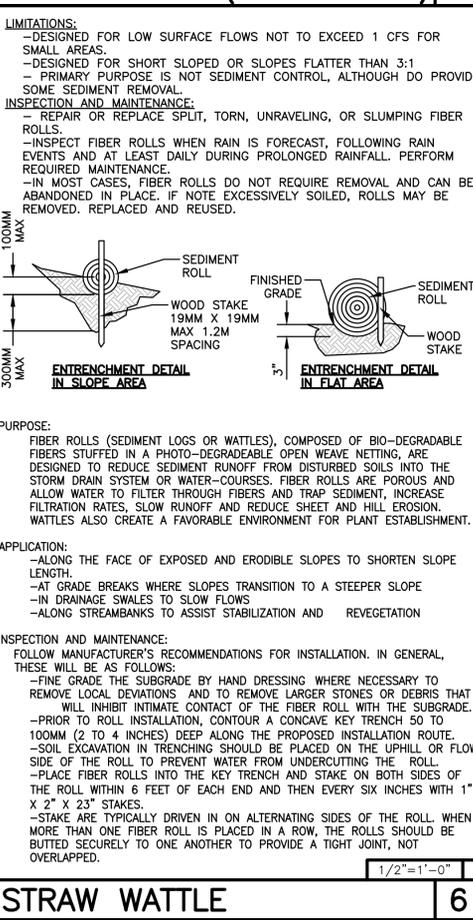
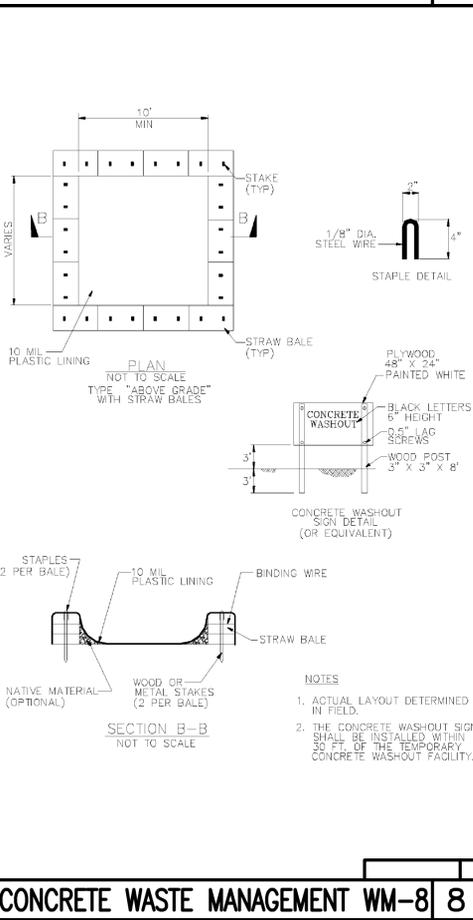
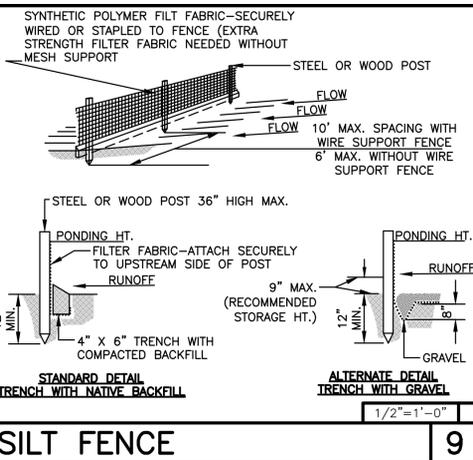
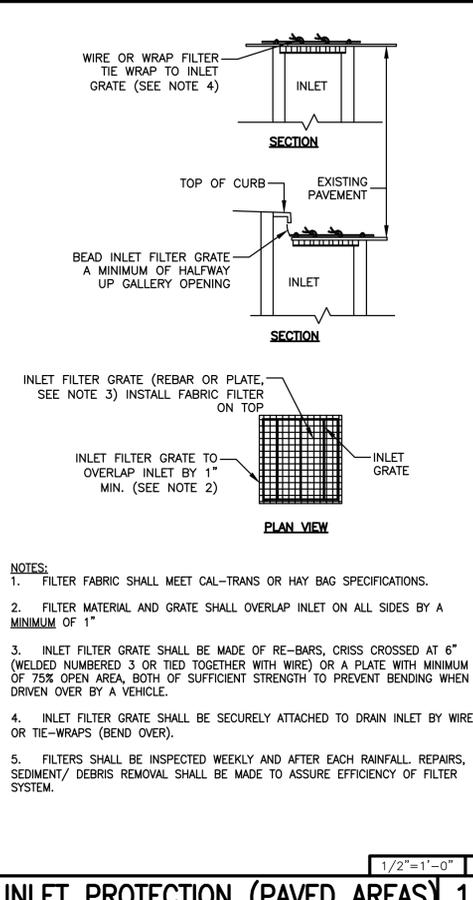
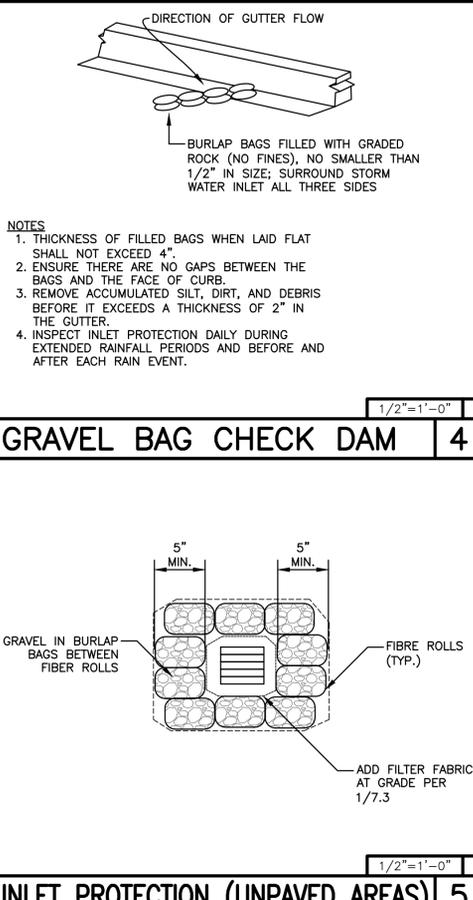
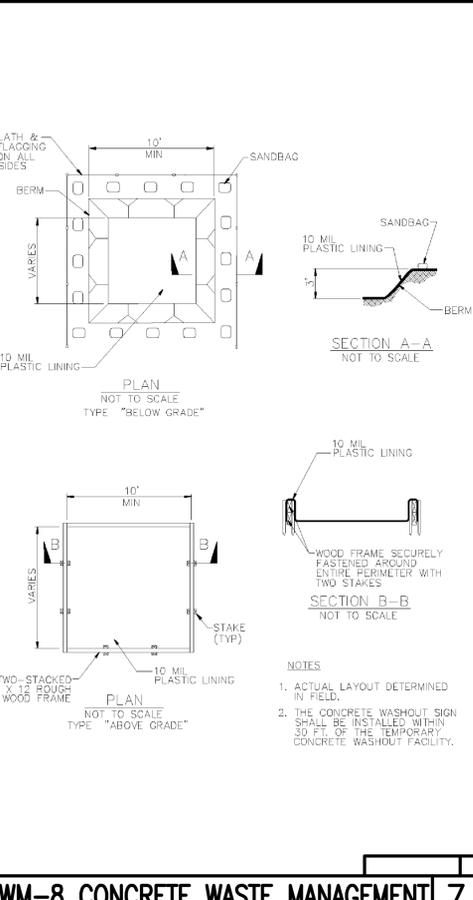
'BLANDO' BROME	40 LBS/ACRE
ZORRO FESCUE	10 LBS/ACRE
HYKON ROSE CLOVER	9 LBS/ACRE
SUB CLOVER	5 LBS/ACRE
CALIFORNIA NATIVE WILDFLOWER	8 LBS/ACRE
FERTILIZER	300 LBS/ACRE
ORGANIC BINDER	100 LBS/ACRE
STRAW MULCH	4000 LBS/ACRE
- BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE COUNTY ENGINEER.
- SANDBAGS, STRAW WATTLES AND/OR STRAW BALES SHALL BE STOCKPILED ON SITE AND PLACED AT INTERVALS SHOWN ON EROSION CONTROL PLANS, WHEN THE RAIN FORECAST IS 40% OR GREATER, OR WHEN DIRECTED BY THE INSPECTOR.
- SANDBAGS REFERRED TO IN THE PRECEDING ITEMS MUST BE FULL-APPROVED SANDBAG FILL MATERIALS ARE DECOMPOSED GRANITE AND/OR GRAVEL, OR OTHER MATERIALS APPROVED BY THE INSPECTOR.
- WHEN DIRECTED BY THE INSPECTOR, A 12-INCH BERM SHALL BE MAINTAINED ALONG THE TOP OF THE SLOPE OF THOSE FILLS ON WHICH GRADING IS NOT IN PROGRESS.
- WHEN PAD ELEVATIONS OF ADJACENT LOTS OR ELEVATIONS BETWEEN

THE STREET AND THE LOT ARE SEPARATED BY MORE THAN 6 FEET, A MINIMUM 12" BERM SHALL BE MAINTAINED ALONG THE PROPERTY LINE SEPARATING THE LOTS, AND THE BERM SHALL DIRECT THE WATER TO THE OUTLET. VELOCITY CHECK DAMS SHALL BE INSTALLED BETWEEN THE OUTLET ON THE LOT AND THE STREET.

- PROVIDE VELOCITY CHECK DAMS IN ALL UNPAVED STREETS AT THE INTERVALS INDICATED BELOW IN NOTE #24. VELOCITY CHECK DAMS MAY BE CONSTRUCTED OF STRAW BALES, SANDBAGS OR OTHER EROSION RESISTANT MATERIALS APPROVED BY THE INSPECTOR, AND SHALL EXTEND COMPLETELY ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTERLINE. EARTH DIKES MAY NOT BE USED AS VELOCITY CHECK DAMS.
- PROVIDE VELOCITY CHECK DAMS IN ALL UNPAVED GRADED CHANNELS AT THE INTERVALS INDICATED BELOW:
 

GRADE OF CHANNEL	INTERVAL
LESS THAN 3%	100 FEET
3% TO 6%	50 FEET
OVER 6%	25 FEET
- SEWER OR STORM DRAIN TRENCHES THAT ARE OUT THROUGH BASIN DIKES OR BASIN INLET DIKES, SHALL BE PLUGGED WITH SANDBAGS FROM TOP OF PIPE TO TOP OF DIKE. SEWER LINES SHALL FIRST BE ENCASED IN CONCRETE BEFORE SANDBAGS ARE PLACED.
- ALL OPEN UTILITY TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS FROM THE BOTTOM TO TOP WITH A DOUBLE ROW OF SANDBAGS PRIOR TO BACKFILL. SEWER TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS WITH A DOUBLE ROW OF SANDBAGS EXTENDING DOWNWARD, TWO SANDBAGS FROM THE GRADED SURFACE OF THE STREET. SANDBAGS ARE TO BE PLACED WITH ALTERNATE HEADER AND STRETCHER COURSES. THE INTERVALS PRESCRIBED BETWEEN SANDBAG LOCKING SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE, BUT NOT EXCEED THE FOLLOWING:
 

GRADE OF THE STREET	INTERVAL
LESS THAN 2%	AS REQUIRED
2% TO 4%	100 FEET
4% TO 10%	50 FEET
OVER 10%	25 FEET
- AFTER STORM DRAIN, SANITARY SEWER AND UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUNDING SLIGHTLY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHOULD BE EXERCISED TO PROVIDE FOR CROSS FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT ON THE CENTER LINE OF A CROWNED STREET.
- SEDIMENT TRAPS SHALL BE CLEANED OUT PER INSPECTOR'S DIRECTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN THE DESILTING BASINS AND THE SEDIMENT TRAPS.
- THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THESE PLANS IN THE FIELD, SUBJECT TO APPROVAL OF THE COUNTY ENGINEER.
- EROSION CONTROL STRUCTURES SHALL BE ADJUSTED BY THE CONTRACTOR TO REFLECT ALL CHANGES IN DRAINAGE AS STREETS AND BUILDING PADS ARE BEING INSTALLED.
- INSTALL EXCELSIOR CURLEX II EROSION CONTROL BLANKET OR APPROVED EQUAL ON GRADED SLOPES STEEPER THAN 3:1. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.



**GREENWOOD & MOORE, INC.**  
 Civil Engineers • Designers  
 Land Surveyors • Planners

3111 Castro Valley Blvd., Ste. 200, Castro Valley, California, 94546  
 Tel: 510-581-2772 Fax: 510-581-6913 www.greenwoodmoore.com

**REGISTERED PROFESSIONAL ENGINEER**  
 TERRY R. MOORE  
 No. 0042628  
 Exp. 03/31/2026  
 CIVIL  
 STATE OF CALIFORNIA

**PRELIMINARY PLANS**  
 2655 SHATUCK AVENUE  
 BERKELEY, CA 94704  
 APN: 55-1826-18-2

**EROSION CONTROL DETAILS**

CHECKED BY: XXX  
 DRAWN BY: STAFF  
 SCALE: 1"=10'  
 DATE: 05/17/2024  
 PROJECT NO: 2024.018  
 PHASE NO: XX  
 SHEET NO: C7.4



www.122westdesign.com  
 510.992.3122

The use of these plans and specifications shall be restricted to the original site and owner for which they were prepared. Alteration, reproduction or publication is expressly limited only to the original use without the express written consent of 122 West Landscape Architecture. Title to said plans remains the sole property of 122 West Landscape Architecture.

**SHEET INDEX**

L-1.0	SCHEMATIC LANDSCAPE PLAN
L-1.1	SCHEMATIC LANDSCAPE PLAN - ROOF DECK
L-2.0	LANDSCAPE CONCEPT IMAGERY
L-3.0	PLANTING CONCEPT PLAN
L-3.1	PLANTING CONCEPT PLAN - ROOF DECK
L-3.2A	PLANTING SCHEDULES
L-3.2B	PLANTING CONCEPT IMAGERY
L-4.0	IRRIGATION HYDROZONE PLAN
L-4.1	IRRIGATION HYDROZONE PLAN - ROOF DECK
L-4.2A	IRRIGATION EQUIPMENT, NOTES, WELO



2655 SHATTUCK AVE  
**LANDSCAPE PLANS**  
 2655 Shattuck Ave, BERKELEY, CA

PHASE AGENCY SUBMITTAL  
 DATE 12-05-2024

REVISIONS

No.	Description	Date
1	AGENCY RE-SUBMITTAL	8/19/2024
2	AGENCY RE-SUBMITTAL	12/05/2024

SCHEMATIC  
 LANDSCAPE PLAN

L-1.0



www.122westdesign.com  
 510.992.3122

The use of these plans and specifications shall be restricted to the original site and owner for which they were prepared. Alteration, reproduction or publication in any form is expressly prohibited without the express written consent of 122 West Landscape Architecture. Title to all plans remains the sole property of 122 West Landscape Architecture.

2655 SHATTUCK AVE  
**LANDSCAPE PLANS**  
 2655 Shattuck Ave, BERKELEY, CA



PHASE AGENCY SUBMITTAL  
 DATE 12-05-2024

REVISIONS

No.	Description	Date
1	AGENCY RE-SUBMITTAL	8/19/2024
2	AGENCY RE-SUBMITTAL	12/05/2024

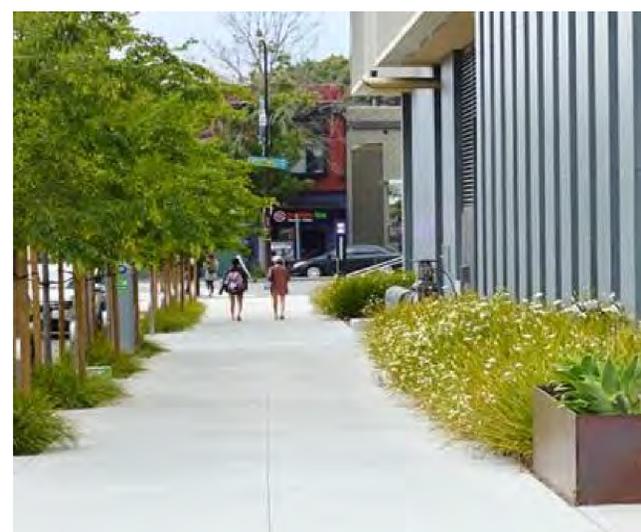
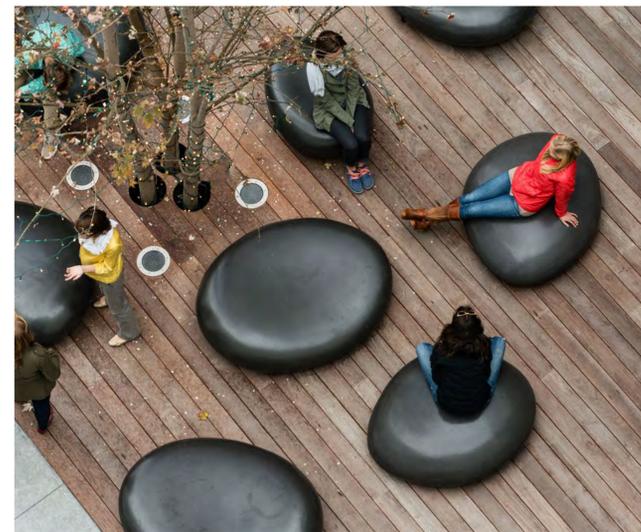
SCHEMATIC  
 LANDSCAPE PLAN -  
 ROOF DECK

L-1.1



www.122westdesign.com  
 510.992.3122

The use of these plans and specifications shall be restricted to the original site and owner for which they were prepared. Alteration, reproduction or publication in any form is prohibited without the express written consent of 122 West Landscape Architecture. Title to these plans remains the sole property of 122 West Landscape Architecture.



2655 SHATTUCK AVE  
**LANDSCAPE PLANS**  
 2655 Shattuck Ave, BERKELEY, CA

PHASE AGENCY SUBMITTAL  
 DATE 12-05-2024  
 REVISIONS

No.	Description	Date
1	AGENCY RE-SUBMITTAL	8/19/2024
2	AGENCY RE-SUBMITTAL	12/05/2024

LANDSCAPE CONCEPT  
 IMAGERY



www.122westdesign.com  
 510.992.3122

The use of these plans and specifications shall be restricted to the original site and owner for which they were prepared. Alteration, reproduction or publication is expressly limited only to the original use without the express written consent of 122 West Landscape Architecture. Title to said plans remain the sole property of 122 West Landscape Architecture.

2655 SHATTUCK AVE  
**LANDSCAPE PLANS**  
 2655 Shattuck Ave, BERKELEY, CA

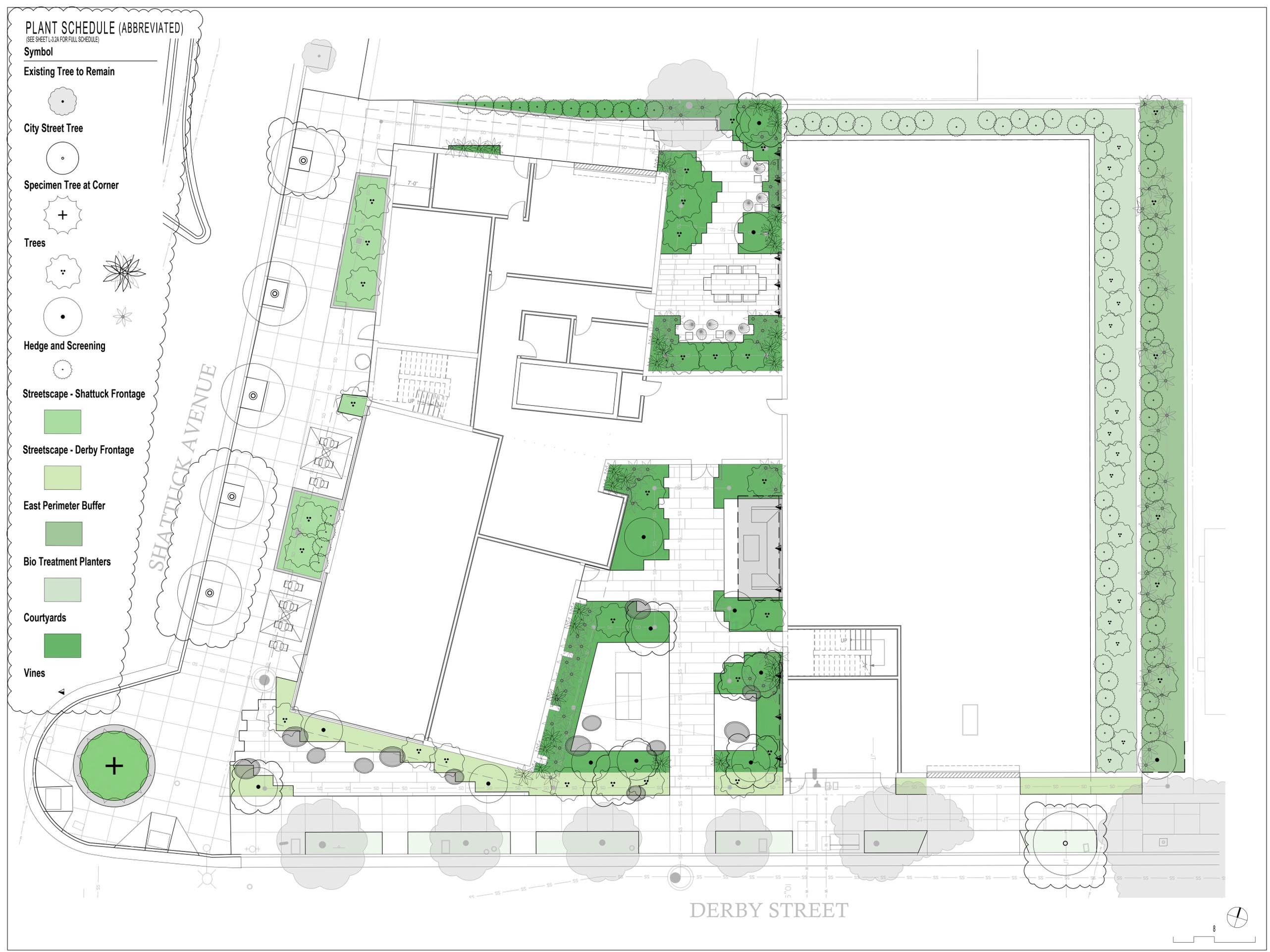
PHASE AGENCY SUBMITTAL  
 DATE 12-05-2024

REVISIONS

No.	Description	Date
1	AGENCY RE-SUBMITTAL	8/19/2024
2	AGENCY RE-SUBMITTAL	12/05/2024

PLANTING  
 CONCEPT PLAN

L-3.0



**PLANT SCHEDULE (ABBREVIATED)**  
 (SEE SHEET L-3.2A FOR FULL SCHEDULE)

- Symbol**
- Existing Tree to Remain
  - City Street Tree
  - Specimen Tree at Corner
  - Trees
  - Hedge and Screening
  - Streetscape - Shattuck Frontage
  - Streetscape - Derby Frontage
  - East Perimeter Buffer
  - Bio Treatment Planters
  - Courtyards
  - Vines



www.122westdesign.com  
 510.992.3122

The use of these plans and specifications shall be restricted to the original site and project for which they were prepared. Reproduction or publication in any form is expressly limited only to the original use without the express written consent of 122 West Landscape Architecture. Title to said plans remains the sole property of 122 West Landscape Architecture.

2655 SHATTUCK AVE  
**LANDSCAPE PLANS**  
 2655 Shattuck Ave, BERKELEY, CA

PHASE AGENCY SUBMITTAL  
 DATE 12-05-2024

REVISIONS

No.	Description	Date
1	AGENCY RE-SUBMITTAL	8/19/2024
2	AGENCY RE-SUBMITTAL	12/05/2024

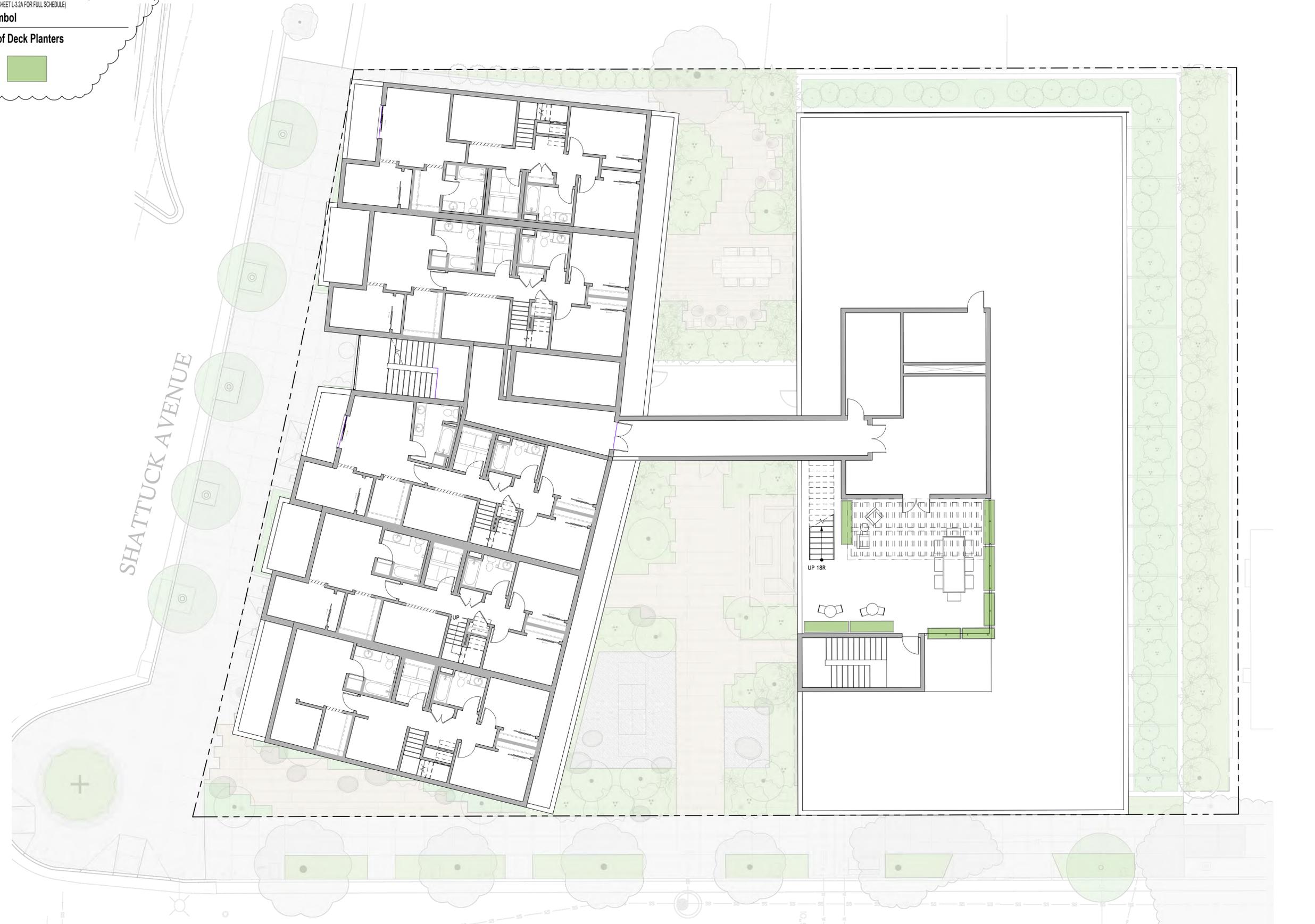
PLANTING CONCEPT  
 PLAN - ROOF DECK

L-3.1

**PLANT SCHEDULE (ABBREVIATED)**  
 (SEE SHEET L-3.2A FOR FULL SCHEDULE)

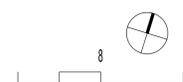
Symbol

Roof Deck Planters

SHATTUCK AVENUE

DERBY STREET





www.122westdesign.com  
 510.992.3122

The use of these notes and specifications shall be restricted to the original site and owner for which they were prepared. Attention, reproduction or publication is expressly limited only to the original use without the express written consent of 122 West Landscape Architecture. Title to said plans remains the sole property of 122 West Landscape Architecture.

2655 SHATTUCK AVE  
 LANDSCAPE PLANS  
 2655 Shattuck Ave, BERKELEY, CA

PHASE AGENCY SUBMITTAL  
 DATE 12-05-2024

REVISIONS

No.	Description	Date
1	AGENCY RE-SUBMITTAL	8/19/2024
2	AGENCY RE-SUBMITTAL	12/05/2024

PLANTING SCHEDULES

L-3.2A

PLANT SCHEDULE

Symbol	Common Name	Botanical Name	Quantity	Size	Wucols	Notes
<b>Existing Tree to Remain</b>						
	<b>City Street Tree</b>					
	Shattuck Ave Street Trees - Mix of Species Preferred			24" Box	M	See Note 7 - 9 for City Street Tree Replacements
	Brisbane Box	<i>Lophostemon confertus</i>		Min.		Pollinator
	Sweetshade	<i>Hymenosporum flavum</i>				Pollinator
	<b>Derby Street Tree</b>			24" Box	M	
	London Plane	<i>Platanus x hispanica</i>		Min.		Pollinator
<b>Specimen Tree at Corner</b>						
	<b>Specimen Tree</b>			24" Box	L	
	Silverleaf Oak	<i>Quercus hypoleucoides</i>		Min.		
	Compton Oak	<i>Quercus x comptoniae</i>				
	Island Oak	<i>Quercus tomentella</i>				Native
<b>Trees</b>						
<b>Medium Accent Trees</b>				24" Box	M / L	
	Pineapple Guava	<i>Feijoa sellowiana</i>		Min.		Pollinator
	'Mission' Edible Fig	<i>Ficus carica</i>				Pollinator
	Madrone	<i>Arbutus menziesii</i>				Pollinator
	Vine Maple	<i>Acer circinatum</i>				Pollinator
<b>Foliage Accent</b>						
	Giant Bird-of-Paradise	<i>Strelitzia nicolai</i>		#20/25 or	M / L	Pollinator
	New Zealand Flax	<i>Phormium tenax</i>		24" Box		
	Mediterranean Fan Palm	<i>Chamaerops humilis</i>				
	Fern Pine	<i>Podocarpus henkellii</i>				
	Evergreen Rhododendron	<i>Rhododendron var.</i>				Pollinator
<b>Hedge and Screening</b>						
	Bay Laurel	<i>Laurus nobilis</i>		#15 Min.	L	Columns, Pollinator
	Purple Hopseed Bush	<i>Dodonaea viscosa 'Purpurea'</i>			L	
	Fern Pine	<i>Podocarpus henkellii</i>			M	Columns, Pollinator
	Pacific Wax Myrtle	<i>Myrica californica</i>			M	Columns, Pollinator, Native
	Toyon	<i>Heteromeles arbutifolia</i>			L	Pollinator, Native
	'Bright 'N Tight' Carolina Laurel	<i>Prunus caroliniana 'Monus'</i>			L	Columns, Pollinator
<b>Vines</b>						
	Trumpet Vine	<i>Campsis radicans</i>		#15 Min.	L	At Vine Trellis Panels, Pollinator
	Jasmine	<i>Trachelospermum jasminoides</i>			M	Pollinator
	Creeping Fig	<i>Ficus pumila</i>			M	
<b>Mixed Shrubs, Perennials, Grasses &amp; Groundcover by Zone (All species to be size #1 minimum.)</b>						
<b>Streetscape - Shattuck Frontage</b>						
	Dwarf Yeddo Hawthorn	<i>Raphiolepis umbellata 'Minor'</i>	#1		L	Pollinator
	Cleveland sage	<i>Salvia clevelandii*</i>				Native Pollinator
	Wall Germander	<i>Teucrium chamaedrys</i>				Pollinator
	Pine Muhly	<i>Muhlenbergia dubia</i>				Native
	Deer Grass	<i>Muhlenbergia rigens</i>				Native
	Groundcover Rosemary	<i>Rosmarinus p. 'Huntington Carpet'</i>				Pollinator
	Magenta Rockrose	<i>Cistus 'Sunset'</i>				Pollinator
	Upright Rosemary	<i>Rosmarinus o. 'Tuscan Blue'</i>				Pollinator
	Groundcover Manzanita	<i>Arctostaphylos 'Emerald Carpet'</i> *				Native Pollinator
	California Fescue	<i>Festuca californica*</i>				Native

PLANT SCHEDULE (cont.)

Symbol	Common Name	Botanical Name	Quantity	Size	Wucols	Notes
<b>Mixed Shrubs, Perennials, Grasses &amp; Groundcover by Zone (All species to be size #1 minimum.)</b>						
<b>East Perimeter Buffer</b>						
	Pacific Wax Myrtle	<i>Myrica californica</i>		#15 Min.	M	Native Pollinator
	Toyon	<i>Heteromeles arbutifolia</i>				Native Pollinator
	Rhododendron	<i>Rhododendron spp.</i>				Native Pollinator
	Madrone	<i>Arbutus spp.</i>				Native Pollinator
	'Eve Case' Coffeeberry	<i>Rhamnus californica 'Eve Case'</i>				Native Pollinator
<b>Bio Treatment Planters</b>						
	Pacific Wax Myrtle	<i>Myrica californica</i>	#1		L	Staked at Fence / Wall, Native Pollinator
	Red Flowering Currant	<i>Ribes sanguineum</i>				Native Pollinator
	Berkeley Sedge	<i>Carex tumulicola*</i>				Native
	Meadow Sedge	<i>Carex pansa*</i>				Native
<b>Courtyards</b>						
	Giant Chain Fern	<i>Woodwardia fimbriata*</i>	#1		M	Native
	Rhododendron	<i>Rhododendron spp.</i>				Pollinator
	Greenlee Moor Grass	<i>Sesleria 'Greenlee'</i>				
	Cut-leaf Philodendron	<i>Philodendron 'Xanadu'</i>				
	Tree Philodendron	<i>Philodendron selloum</i>				
	Western Sword Fern	<i>Polystichum fimbriata</i>				Native
	Japanese Tassel Fern	<i>Polystichum polyploides</i>				
	Cast-Iron Plan	<i>Aspidistra elatior</i>				
	Bromeliad spp.	<i>Bromeliad vars.</i>				
	Natal Lily	<i>Clivia miniata</i>				Pollinator
	Lily-of-the-Nile	<i>Agapanthus africanus</i>				Pollinator
	Lilyturf	<i>Liriope muscari</i>				Pollinator
	Cranesbill	<i>Geranium 'Rozanne'</i>				Pollinator
	Evergreen Huckleberry	<i>Vaccinium ovatum</i>				Native Pollinator
	'Eve Case' Coffeeberry	<i>Rhamnus californica 'Eve Case'</i>				Native Pollinator
	Manzanita species	<i>Arctostaphylos var.</i>				Native Pollinator
	Purple Heart	<i>Tradescantia purpurea</i>				
	Sweet Woodruff	<i>Gallium odoratum</i>				Native Pollinator
	Carpet Bugle	<i>Ajuga reptans</i>				Pollinator
	Mondo Grass	<i>Ophiopogon japonicus</i>				
	Alpine Strawberry	<i>Fragaria vesca</i>				Pollinator
	Yerba Buena	<i>Satureja douglasii</i>				Native Pollinator
	Bear's Breeches	<i>Acanthus mollis</i>				Pollinator
	Japanese forest grass	<i>Hakonechloa macra</i>				
	Sedge species	<i>Carex var.</i>				Native
<b>Roof Deck Planters</b>						
	Bay Laurel	<i>Laurus nobilis</i>	#1		L	Pollinator
	Purple Hopseed Bush	<i>Dodonaea viscosa 'Purpurea'</i>			L	
	Fern Pine Textile	<i>Podocarpus henkellii</i>			M	
	Bamboo	<i>Bambusa textilis</i>			L	

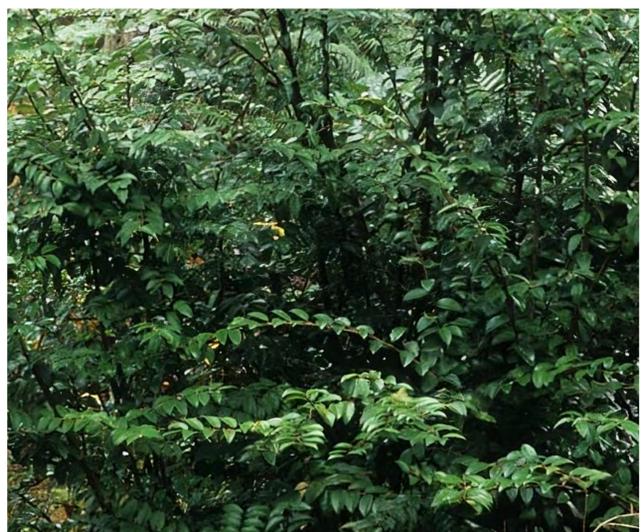
PLANTING NOTES

- PLANT SYMBOLS WITH MULTIPLE SPECIES LISTED MAY BE ANY OF THE SPECIES, AS AVAILABLE AT TIME OF INSTALLATION.
- ALL PLANTING AREAS TO RECEIVE 3" LAYER COMPOSTED BARK MULCH (50% 'GARDEN MULCH' + 50% 'FOREST FLOOR BARK' BY: AMERICAN SOIL & STONE)
- CONTRACTOR TO SUBMIT SAMPLES FOR REVIEW AND APPROVAL.
- ALL PLANTING AREAS TO RECEIVE 1" COMPOST TO TOP 6" - 12" OF SOIL PER HORTICULTURAL SOILS TEST RECOMMENDATIONS.
- ALL PROPOSED PLANT SPECIES ARE CLIMATE-ADAPTED TO BERKELEY AND ARE INTENDED TO BE LOW-MAINTENANCE.
- APPROXIMATELY 75% OF THE PROPOSED PLANTS OFFER SOURCES OF FOOD / NECTAR FOR AN ARRAY OF NATIVE POLLINATOR AND WILDLIFE SPECIES (BEES, HUMMINGBIRDS, BUTTERFLIES, INSECTS, ETC.)
- APPROXIMATELY 50% OF THE PROPOSED PLANTS ARE CALIFORNIA NATIVE SPECIES WITH ENHANCED BENEFICIAL QUALITIES FOR NATIVE ANIMAL SPECIES HABITAT, FOOD AND OVERALL ADAPTABILITY.
- PLANT CITY STREET TREES ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 (PART 6)-2012.
- USE FLEXI-PAVE IN CITY STREET TREE WELLS
- SEE CITY OF BERKELEY 'TREE PRESERVATION DURING CONSTRUCTION' RECOMMENDATIONS FOR TREE PROTECTION GUIDELINES.



www.122westdesign.com  
 510.992.3122

The use of these plans and specifications shall be restricted to the original site and owner for which they were prepared. All other reproduction or publication is expressly limited only to the original use without the express written consent of 122 West Landscape Architecture. This is not a plan created by 122 West Landscape Architecture. This is not a plan created by 122 West Landscape Architecture.



2655 SHATTUCK AVE  
 LANDSCAPE PLANS  
 2655 Shattuck Ave, BERKELEY, CA

PHASE AGENCY SUBMITTAL  
 DATE 12-05-2024

REVISIONS

No.	Description	Date
1	AGENCY RE-SUBMITTAL	8/19/2024
2	AGENCY RE-SUBMITTAL	12/05/2024

PLANTING  
 CONCEPT IMAGERY

L-3.2B





www.122westdesign.com  
 510.992.3122

The use of these plans and specifications shall be restricted to the original site and owner for which they were prepared. Alteration, reproduction or publication in any form is prohibited without the express written consent of 122 West Landscape Architecture. Title to these plans remains the sole property of 122 West Landscape Architecture.

2655 SHATTUCK AVE  
**LANDSCAPE PLANS**  
 2655 Shattuck Ave, BERKELEY, CA

PHASE AGENCY SUBMITTAL  
 DATE 12-05-2024  
 REVISIONS

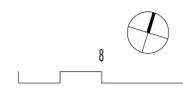
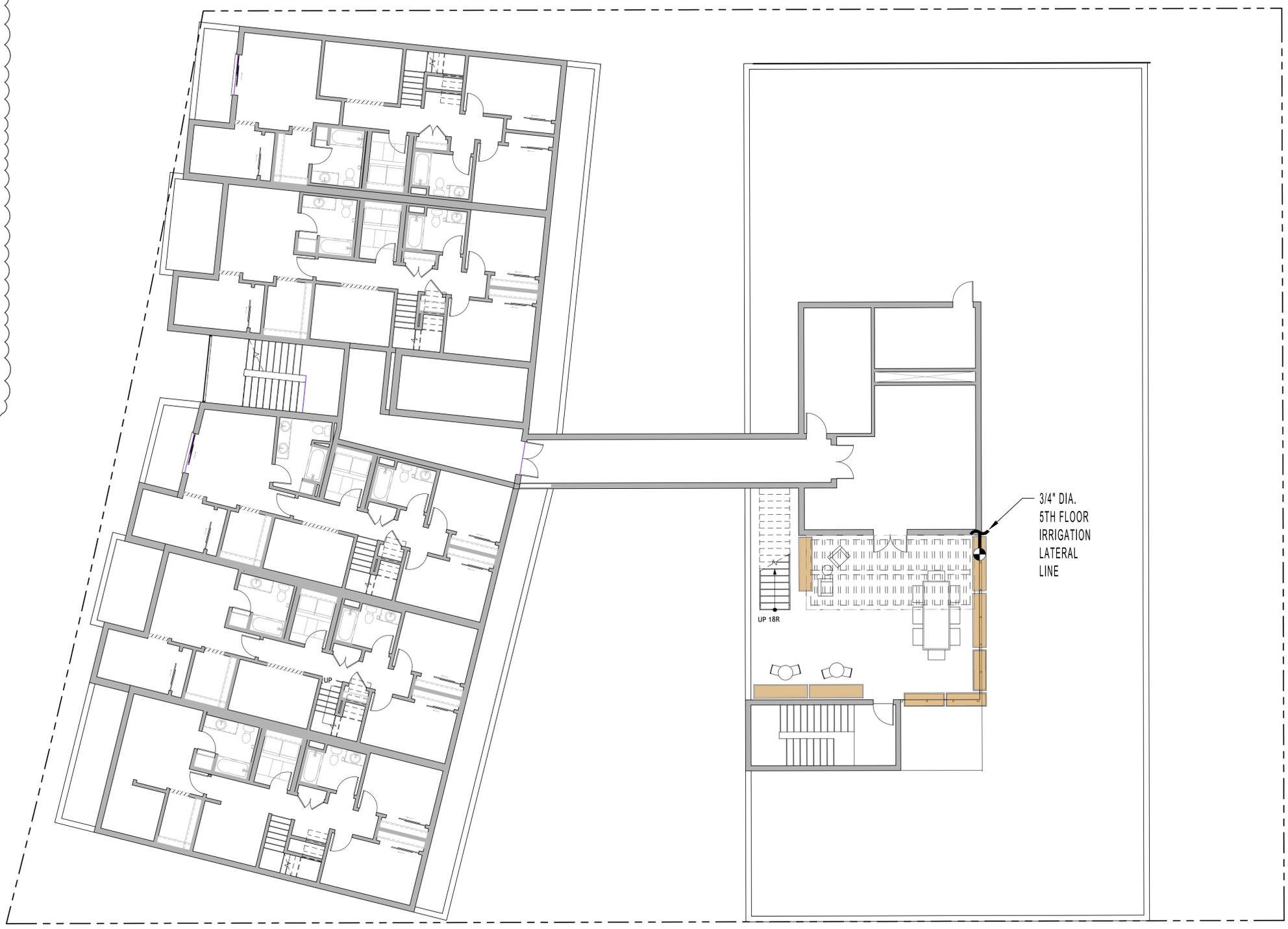
No.	Description	Date
1	AGENCY RE-SUBMITTAL	8/19/2024
2	AGENCY RE-SUBMITTAL	12/05/2024

IRRIGATION  
 HYDROZONE PLAN -  
 ROOF DECK

L-4.1

**HYDROZONES (ABBREVIATED)**

SYMBOL	DESCRIPTION
	SHATTUCK FRONTAGE - LOW
	CORNER PLANTER - LOW
	COURTYARD NORTH - MODERATE
	COURTYARD SOUTH - MODERATE
	DERBY FRONTAGE - LOW
	DERBY STREET SCAPE - LOW
	EAST PERIMETER - MODERATE
	2ND FLOOR STORMWATER - LOW
	SHATTUCK STORMWATER - LOW
	ROOF DECK PLANTERS - LOW





www.122westdesign.com  
510.992.3122

The use of these plans and specifications shall be restricted to the original site and owner for which they were prepared. Alteration, reproduction or publication is expressly limited only to the original use without the express written consent of 122 West Landscape Architecture. This is not a plan and remains the sole property of 122 West Landscape Architecture.

**HYDROZONES**

SYMBOL	DESCRIPTION	AREA		IRRIGATION EMITTER TYPE
	SHATTUCK FRONTAGE - LOW	120 SF	1*	IN-LINE DRIP, SEE NOTE 2
	CORNER PLANTER - LOW	142 SF	1*	IN-LINE DRIP, SEE NOTE 2
	COURTYARD NORTH - MODERATE	768 SF	2*	IN-LINE DRIP, SEE NOTE 2
	COURTYARD SOUTH - MODERATE	937 SF	2*	IN-LINE DRIP, SEE NOTE 2
	DERBY FRONTAGE - LOW	277 SF	2*	IN-LINE DRIP, SEE NOTE 2
	DERBY STREET SCAPE - LOW	411 SF	2*	IN-LINE DRIP, SEE NOTE 2
	EAST PERIMETER - MODERATE	1,087 SF	2*	POINT SOURCE, SEE NOTE 1
	2ND FLOOR STORMWATER - LOW	1,330 SF	2	IN-LINE DRIP, SEE NOTE 2
	SHATTUCK STORMWATER - LOW	312 SF	1*	IN-LINE DRIP, SEE NOTE 2
	ROOF DECK PLANTERS - LOW	98 SF	1*	IN-LINE DRIP, SEE NOTE 2

TOTAL: 5,482 SF

\* NOTE: MULTIPLE VALVE QUANTITIES INDICATED WITHIN A SINGLE ZONE INDICATES VALVES FOR BOTH TREES AND SHRUBS / GROUND COVER WITHIN THE ZONE.  
1. PLAN IS CONCEPTUAL AND SHOWN FOR COORDINATION AND REFERENCE  
2. IRRIGATION SYSTEM SHALL EMPLOY A 'SMART' ET CONTROLLER

**IRRIGATION EQUIPMENT**

ITEM	SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.
IRRIGATION POINT-OF-CONNECTION		REFER TO PLUMBING PLANS FOR LOCATION INFORMATION		
IRRIGATION 'SMART' CONTROLLER		IRRIGATION 'SMART' CONTROLLER MOUNTED ON WALL INSIDE WEATHERPROOF LOCKABLE CABINET. SWITCH AND SURGE PROTECTION - PROVIDE ON-SITE WEATHER SENSOR AND ENCLOSURE IN VICINITY AS DIRECTED BY ON-SITE OPERATOR	HUNTER	PRO-HC
FLOW METER		HC FLOW METER - PVC HOUSING - 1-INCH SIZE - WITHIN MASTER VALVE ENCLOSURE ASSEMBLY - REQUIRED HARD-WIRE	HUNTER	HC FLOW METER
SOIL MOISTURE SENSOR		SOIL CLIK - LOCATED IN FIELD AS DIRECTED BY OWNER - REQUIRES HARD-WIRE AND WALL PLACEMENT ADJACENT TO CONTROLLER	HUNTER	SOIL-CLIK
RAIN MOISTURE SENSOR		RAIN METER - LOCATED IN FIELD AS DIRECTED BY OWNER - REQUIRES HARD-WIRE AND WALL PLACEMENT ADJACENT TO CONTROLLER	HUNTER	RAIN-CLIK
MASTER CONTROL VALVE		MASTER CONTROL VALVE - 1-INCH SIZE - 24 VOLT IRRIGATION SOLENOID - THREADED ENDS - LOCATE MASTER VALVE BEFORE FLOW SENSOR	SUPERIOR	
DRIP VALVE STATION		DRIP VALVE STATION - DRIP ELECTRIC CONTROL VALVE ASSEMBLY - W/ PRESSURE REGULATING BASKET FILTER (200 POLY MESH /40 PSI SETTING) USE 3/4-INCH SIZE DRIP ELECTRIC CONTROL VALVE ASSEMBLY FOR FLOWS 4 GPM AND UNDER (USE 1-INCH SIZE FOR FLOWS 5 GPM THROUGH 14 GPM - USE 1-1/2 INCH SIZE FOR FLOWS 15 GPM AND GREATER)	HUNTER	
QUICK COUPLING VALVE		QUICK COUPLING VALVE - 1-INCH SIZE - POTABLE WATER USE - LOCKING RUBBER COVER MOUNTED IN ROUND BOX - PROVIDE VALVE KEY AND SWIVEL		
AIR RELIEF VALVE		AIR RELIEF VALVE - THREADED - 1/2-INCH MPT - INSTALL WITHIN ROUND VALVE BOX - INSTALL UNITS AT HIGH POINTS OF DRIPLINE SYSTEMS AT 1 PER VALVE		
BALL FULL PORT VALVE / DRIPLINE FLUSH OUT ASSEMBLY		SCHEDULE 40 PVC BALL FULL PORT VALVE AND PVC FLEX HOSE TUBING INSTALLED WITHIN ROUND VALVE BOX - ADAPT TO INSTALL DRIPLINE TUBING AS REQUIRED - UNITS WHERE SHOWN LOCATED AT ENDS OF DRIPLINE SYSTEMS		
PRESSURIZED MAIN LINE - COPPER IRRIGATION WATER PIPING STUB OUT		DRY COPPER PIPING - 3/4-INCH SIZE PIPING STUB OUT - PIPING ROUTED THROUGH BUILDING AND ROOF DECKING(S) FOR IRRIGATION SYSTEM CONTINUATION PER MECHANICAL ENGINEER'S DRAWINGS - REFER TO MECHANICAL ENGINEER'S DRAWINGS FOR ACTUAL LOCATION - ROUTING OF PIPE TO IRRIGATION VALVE TO BE PROVIDED BY PLUMBING CONTRACTOR.		
LATERAL LINE		SCHEDULE 40 PVC - 3/4 INCH DIA. - AS SHOWN ON PLANS  <small>INDICATES CONNECTION TO ASSIGNED DRIP LINES, TYP.</small>		
FLOW SENSOR CABLE		FLOW SENSOR SIGNAL CABLE AND CONDUIT - MULTIPLE WIRE PAIR SHIELDED CABLE INSTALLED WITH 1.25-INCH MINIMUM SIZE SCHEDULE 40 PVC CONDUIT - NO SPLICES PERMITTED	HYDROSCAPE	HSCST150

WELO Water Budget and Water Use Calculator							
<b>INSTRUCTIONS:</b> 1. Enable macros. 2. Enter values in blue cells. Gray cells will automatically fill. 3. For Eto, refer to Appendix A of the ordinance, available here: <a href="https://www.water.ca.gov/Programs/Water-Use-And-Efficiency/Urban-Water-Use-Efficiency">https://www.water.ca.gov/Programs/Water-Use-And-Efficiency/Urban-Water-Use-Efficiency</a> . 4. Print this sheet and submit with Landscape Document Package for the Comprehensive Performance Compliance Pathway.							
Date:	5/15/2024						
Project Name:	2655 Shattuck Ave						
Project Contact:	Christian Macke						
Project Contact Email:	macke@122westdesign.com						
PRINT							
Maximum Applied Water Allowance (MAWA)	Project Type	Eto	ETAF	Special Landscape Area (SLA)	Total Landscape Area including SLA	MAWA (gallyr)	
	Non-residential	41.8	0.45	-	5,482	63,932	
MAWA = (Eto) * (0.62) * ((ETAF * LA) + ((1-ETAF) * SLA))							
Estimated Total Water Use (ETWU)		Eto	(SF * PF) / IE	SLA	ETWU (gallyr)		
		41.8	2,440	-	63,241	ETWU = (Eto) * (0.62) * ((PF * SF) / IE) + SLA	
Difference between MAWA and ETWU						691	
						Project meets water budget.	
ETWU Calculation (Regular landscape areas)	Zone #	Description	Select Irrigation	Square Feet (SF)	Plant Factor (PF)	Irrigation Efficiency (IE)	(SF * PF) / IE
	1	Shattuck Frontage	Drip	120	0.20	0.81	30
	2	Corner Planter	Drip	142	0.50	0.81	88
	3	Courtyard - North	Drip	768	0.50	0.81	474
	4	Courtyard - South	Drip	937	0.50	0.81	578
	5	Derby Frontage	Drip	277	0.20	0.81	68
	6	Derby Streetscape	Drip	411	0.20	0.81	101
	7	East Perimeter	Drip	1,087	0.50	0.81	671
	8	2nd Floor Planter	Drip	1,330	0.20	0.81	328
	9	Shattuck Stormwater	Drip	312	0.20	0.81	77
	10	Roof Deck Planter	Drip	98	0.20	0.81	24
Landscape area (not including SLA)				5,482			2,440
ETWU Calculation Special Landscape Areas (SLA)	Description	Square Feet (SF)	Plant Factor / Irrigation Efficiency (PF/IE)	(SF * PF) / IE			
	Edible planting area	0	1.0	-			
	Multi-use and sports field turf area		1.0	-			
	Area irrigated with recycled water		1.0	-			
	Pool		1.0	-			
Total SLA		0		0			
Total Landscape Area (including SLA) from ETWU Calculation				5,482			

**IRRIGATION NOTES**

- POINT-SOURCE DRIP** IRRIGATED AREAS USE 1/2" MAINLINE FOR DISTRIBUTION TO 1/4" IN-LINE DRIP TUBING WITH EMITTERS SPACED 6", WRAPPED AROUND INDIVIDUAL PLANTS. MAINLINE TO BE ROUTED SO THAT IT IS AS CLOSE TO EACH INDIVIDUAL PLANT AS POSSIBLE. IF PLANT IS OVER 24" AWAY FROM THE MAINLINE, USE A 1/4" SOLID LATERAL LINE TO CONNECT THE 1/4" IN-LINE DRIP TUBING TO THE 1/2" MAINLINE. WRAP PLANT ONCE WITH IN-LINE DRIP TUBING AROUND ROOTBALL PER THE FOLLOWING:
  - IN-LINE DRIP** IRRIGATED AREAS USE 1/2" MAINLINE FOR DISTRIBUTION TO 1/4" IN-LINE DRIP TUBING WITH EMITTERS SPACED 6", TO COMPLETELY COVER THE DESIGNATED PLANTING AREA. SPACE DRIP TUBING TO COVER ENTIRE PLANTING AREA AS SHOWN IN THE STANDARD IN-LINE DRIP LAYOUT DETAIL.
  - MP ROTATORS** IRRIGATED AREAS USE 1/2" MAINLINE FOR DISTRIBUTION TO HIGH-EFFICIENCY POP-UP ROTATING JET STREAM EMITTERS, SPACED TO ENSURE HEAD-TO-HEAD COVERAGE WITHIN DESIGNATED PLANTING AREAS. ALL EMITTERS TO BE 6" AWAY FROM HARDSCAPE EDGE TO AVOID OVER-SPRAY.
- CONTAINER SIZE IN-LINE DRIP TUBING PLACEMENT (FROM CENTER OF PLANT)**
- |         |                      |
|---------|----------------------|
| #1      | 3"                   |
| #5      | 4"                   |
| #15     | 5"                   |
| 24" BOX | 5" AND 10" (2 LOOPS) |

**IRRIGATION SYSTEM 'A' POINT-OF-CONNECTION NOTE**

IRRIGATION POINT-OF-CONNECTION - CONNECT NEW COPPER PIPING TO NEW 1-INCH DOMESTIC WATER METER AND SERVICE LINE FOR IRRIGATION SUPPLY. WATER SERVICE CONNECTION PER EAST BAY MUNICIPAL UTILITY DISTRICT (EBMUD).

PEAK IRRIGATION DEMAND: TBD G.P.M.  
SYSTEM DESIGN PRESSURE: 40 P.S.I.  
EXISTING WATER PRESSURE (STATIC): TBD P.S.I.  
IRRIGATED AREA OF COVERAGE: 5,679 SF

2655 SHATTUCK AVE  
LANDSCAPE PLANS  
2655 Shattuck Ave, BERKELEY, CA

No.	Description	Date
1	AGENCY RE-SUBMITTAL	8/19/2024
2	AGENCY RE-SUBMITTAL	12/05/2024

IRRIGATION EQUIPMENT,  
NOTES, WELO CALCS

L-4.2A

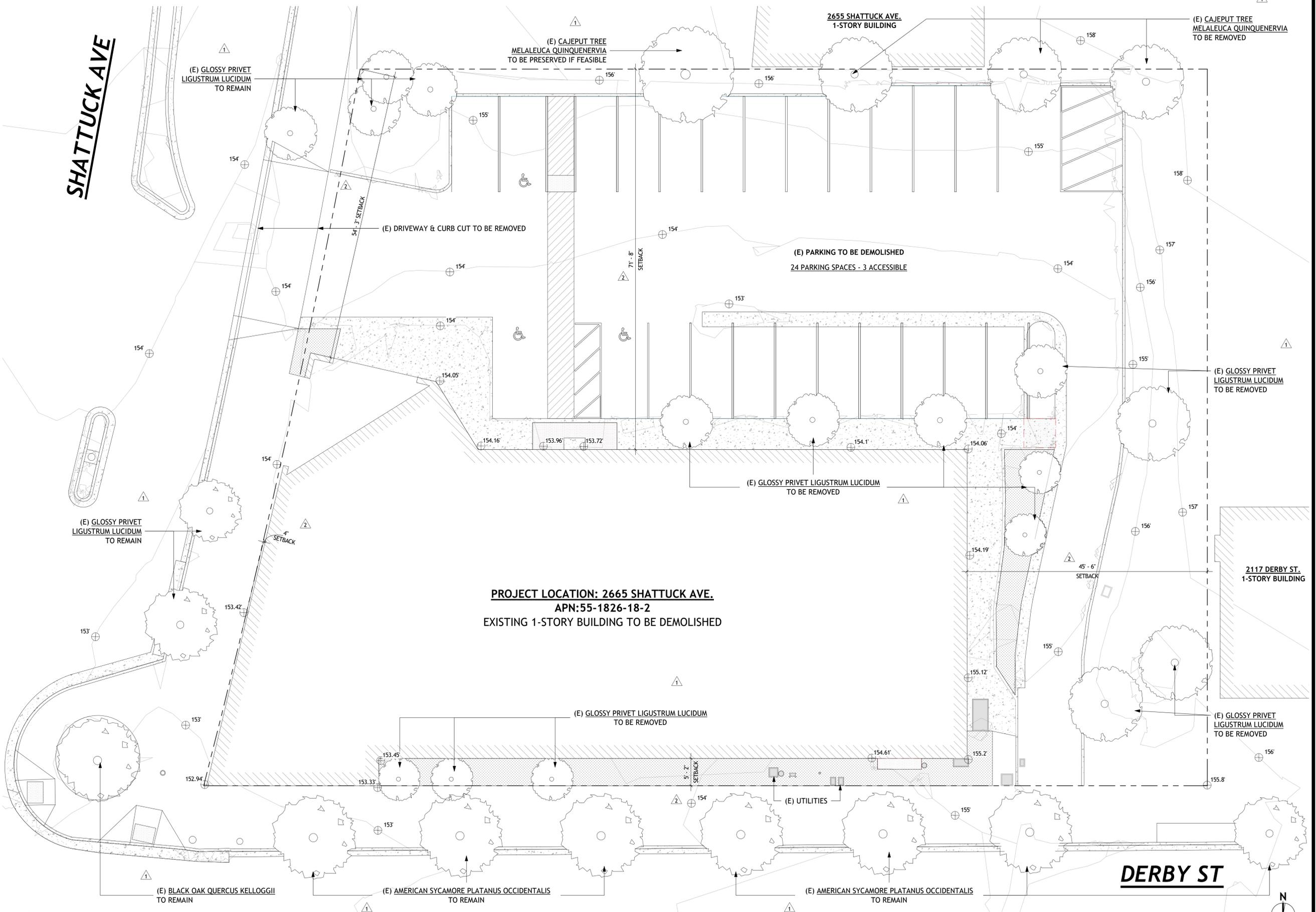


COPYRIGHT © 2020  
 THIS DRAWING IS AN INSTRUMENT OF SERVICE, AND AS SUCH, REMAINS THE PROPERTY OF STUDIO KDA. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH STUDIO KDA.

2655 SHATTUCK AVE.  
 2655 SHATTUCK AVE.,  
 BERKELEY, CA 94704



DRC REVIEW



**PROJECT LOCATION: 2665 SHATTUCK AVE.**  
**APN:55-1826-18-2**  
**EXISTING 1-STORY BUILDING TO BE DEMOLISHED**

Δ	DATE	ISSUE RECORD
	5/15/24	SB330 APPLICATION
1	7/26/24	PLANNING RESPONSE 1
2	10/11/24	PLANNING RESPONSE 2

PROJECT NO: KDN01  
 ISSUE DATE: 07/23/2024  
 SITE PLAN - EXISTING

1 SITE PLAN - EXISTING  
 1/8" = 1'-0"

A100.A



studioKDA  
 510.841.3555 | studiokda.com

COPYRIGHT © 2020  
 THIS DRAWING IS AN INSTRUMENT OF SERVICE, AND AS SUCH, REMAINS THE PROPERTY OF STUDIO KDA. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH STUDIO KDA.

2655 SHATTUCK AVE.

2655 SHATTUCK AVE.,  
 BERKELEY, CA 94704



DRC REVIEW

PROJECT LOCATION: 2665 SHATTUCK AVE.  
 APN:55-1826-18-2

Δ	DATE	ISSUE RECORD
1	5/15/24	SB330 APPLICATION
2	10/11/24	PLANNING RESPONSE 2
		4

PROJECT NO: KDN01

ISSUE DATE: 07/23/2024

SITE PLAN - PROPOSED

1 SITE PLAN - PROPOSED  
 1/8" = 1'-0"

DERBY ST

A100.B











510.841.3555 | studiokda.com  
 COPYRIGHT © 2020  
 THIS DRAWING IS AN INSTRUMENT OF SERVICE, AND AS SUCH, REMAINS THE PROPERTY OF STUDIO KDA. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH STUDIO KDA.

2655 SHATTUCK AVE.

2655 SHATTUCK AVE.,  
 BERKELEY, CA 94704



DRC REVIEW

AREA SUMMARY - SIXTH FLOOR	
Level	Area
RESIDENTIAL AREA	
06 - SIXTH FLOOR	7250 SF
Grand total	7250 SF

Proposed Residential

- 3B + 2.5BA
- RESIDENTIAL SUPPORT
- UTILITY
- U.O.S.
- PRIVATE U.O.S.



1 SIXTH FLOOR PLAN  
 1/8" = 1'-0"



Δ	DATE	ISSUE RECORD
	5/15/24	SB330 APPLICATION
2	10/11/24	PLANNING RESPONSE 2
	4	

PROJECT NO: KDN01

ISSUE DATE: 07/23/2024

PROPOSED SIXTH FLOOR PLAN

A104



AREA SUMMARY - EIGHTH FLOOR	
Level	Area
RESIDENTIAL AREA	
08 - EIGHTH FLOOR	5765 SF
Grand total	5765 SF

- Proposed Residential
- 3B + 2.5BA
  - RESIDENTIAL SUPPORT



studioKDA  
 510.841.3555 | studiokda.com

COPYRIGHT © 2020  
 THIS DRAWING IS AN INSTRUMENT OF SERVICE AND AS SUCH, REMAINS THE PROPERTY OF STUDIO KDA. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH STUDIO KDA.

2655 SHATTUCK AVE.

2655 SHATTUCK AVE.,  
 BERKELEY, CA 94704

DRC REVIEW

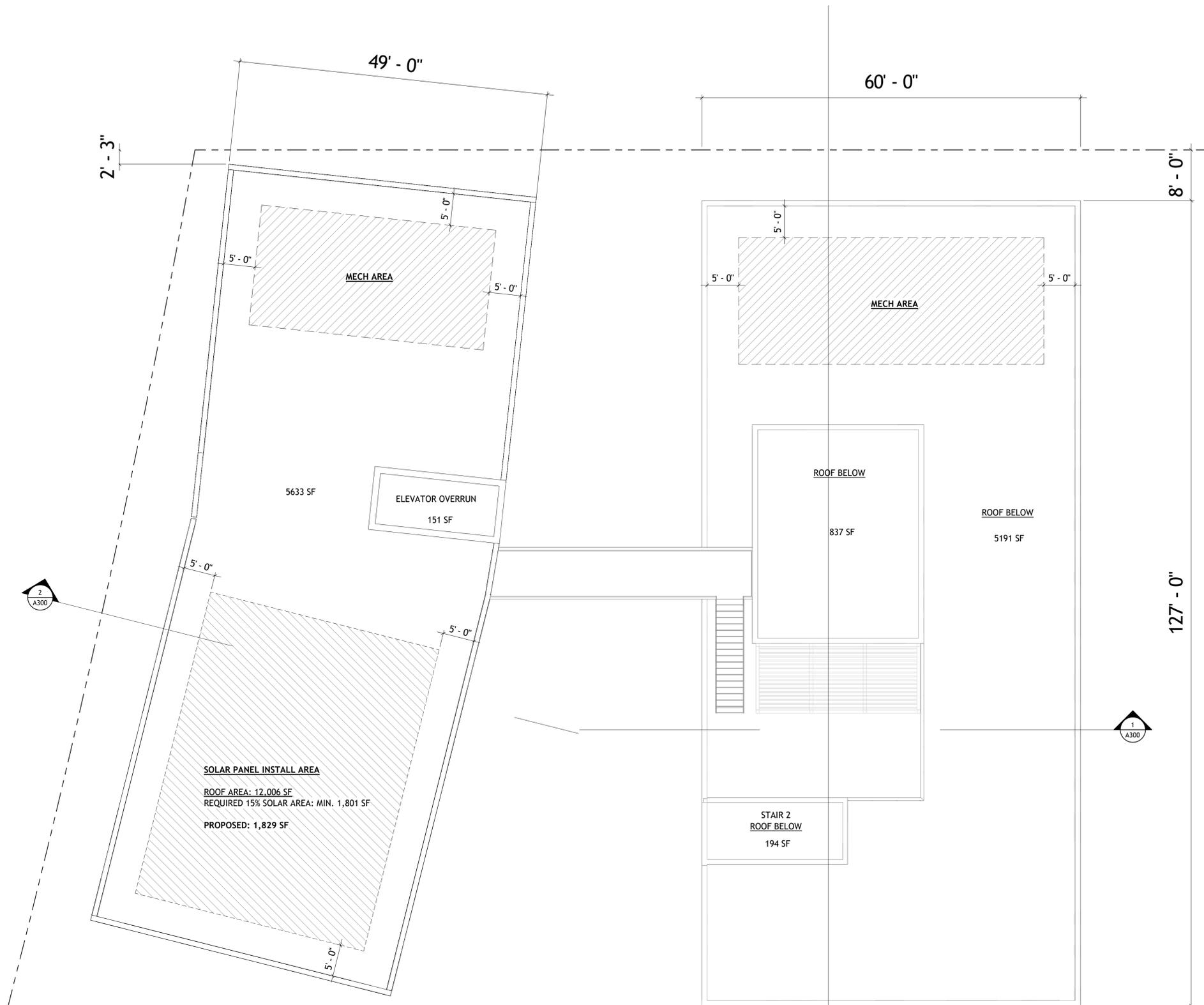
Δ	DATE	ISSUE RECORD
	5/15/24	SB330 APPLICATION
2	10/11/24	PLANNING RESPONSE 2

PROJECT NO: KDN01  
 ISSUE DATE: 07/23/2024  
 PROPOSED EIGHTH FLOOR PLAN

1 EIGHTH FLOOR PLAN  
 1/8" = 1'-0"



A106



COPYRIGHT © 2020  
 THIS DRAWING IS AN INSTRUMENT OF SERVICE, AND AS SUCH, REMAINS THE PROPERTY OF STUDIO KDA. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH STUDIO KDA.

2655 SHATTUCK AVE.

2655 SHATTUCK AVE.,  
 BERKELEY, CA 94704



DRC REVIEW

△	DATE	ISSUE RECORD
	5/15/24	SB330 APPLICATION

PROJECT NO: KDN01

ISSUE DATE: 07/23/2024

PROPOSED ROOF PLAN

1 ROOF PLAN  
 1/8" = 1'-0"



A107



COPYRIGHT © 2020  
 THIS DRAWING IS AN INSTRUMENT OF SERVICE, AND AS SUCH, REMAINS THE PROPERTY OF STUDIO KDA. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH STUDIO KDA.

2655 SHATTUCK AVE.  
  
 2655 SHATTUCK AVE.,  
 BERKELEY, CA 94704



**DRC REVIEW**



**3 EAST ELEVATION**  
 1" = 10'-0"

- M01**  
CEMENT PLASTER  
COLOR: SW 7050 USEFUL GRAY
- M02**  
CEMENT PLASTER  
COLOR: SW 7046 ANONYMOUS
- M03**  
HIGH PRESSURE LAMINATE  
FUNDERMAX  
COLOR: CINNAMON 5032 NT
- M04**  
CEMENT PANEL  
NICHHA "NICHIFRONTIER"  
COLOR: HAZELNUT
- M05**  
VERTICAL BOARD FORMED CONCRETE  
COLOR: NATURAL
- M06**  
CEMENT PLASTER  
COLOR: SW 6918 HUMOROUS GREEN
- M07**  
TRELLIS WOOD GRAIN MEMBER  
LONGBOARD ALUMINUM  
COLOR: DARK ACACIA
- M08**  
PAINTED METAL TRELLIS  
COLOR: BLACK
- M09**  
WOOD PRIVACY FENCE
- M10**  
PAINTED METAL FENCE WITH WOOD GRAIN MEMBERS  
COLORS: BLACK AND LONGBOARD ALUMINUM  
COLOR: DARK ACACIA
- M11**  
PAINTED METAL RAILING  
COLOR: BLACK
- M12**  
METAL MESH  
MCNICHOLS, WIRE MESH, RECTANGULAR, 2"X4" MESH,  
COLOR: GALVANIZED MTL
- M13**  
ALUMINUM STOREFRONT  
COLOR: BLACK



**2 SOUTH ELEVATION**  
 1" = 10'-0"

**1 Material Legend**

DATE	ISSUE RECORD
5/15/24	SB330 APPLICATION

PROJECT NO: KDN01  
 ISSUE DATE: 07/23/2024

PROPOSED EXTERIOR  
 ELEVATIONS & MATERIALS

**A200**



COPYRIGHT © 2020  
 THIS DRAWING IS AN INSTRUMENT OF SERVICE, AND AS SUCH, REMAINS THE PROPERTY OF STUDIO KDA. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH STUDIO KDA.

2655 SHATTUCK AVE.

2655 SHATTUCK AVE.,  
 BERKELEY, CA 94704



DRC REVIEW



3 WEST ELEVATION  
 1" = 10'-0"



2 NORTH ELEVATION  
 1" = 10'-0"

- M01**  
 CEMENT PLASTER  
 COLOR: SW 7050 USEFUL GRAY
- M02**  
 CEMENT PLASTER  
 COLOR: SW 7046 ANONYMOUS
- M03**  
 HIGH PRESSURE LAMINATE  
 FUNDERMAX  
 COLOR: CINNAMON 5032 NT
- M04**  
 CEMENT PANEL  
 NICHHA "NICHIFRONTIER"  
 COLOR: HAZELNUT
- M05**  
 VERTICAL BOARD FORMED CONCRETE  
 COLOR: NATURAL
- M06**  
 CEMENT PLASTER  
 COLOR: SW 6918 HUMOROUS GREEN
- M07**  
 TRELLIS WOOD GRAIN MEMBER  
 LONGBOARD ALUMINUM  
 COLOR: DARK ACACIA
- M08**  
 PAINTED METAL TRELLIS  
 COLOR: BLACK
- M09**  
 WOOD PRIVACY FENCE
- M10**  
 PAINTED METAL FENCE WITH WOOD GRAIN MEMBERS  
 COLORS: BLACK AND LONGBOARD ALUMINUM  
 COLOR: DARK ACACIA
- M11**  
 PAINTED METAL RAILING  
 COLOR: BLACK
- M12**  
 METAL MESH  
 MCNICHOLS, WIRE MESH, RECTANGULAR, 2"X4" MESH,  
 COLOR: GALVANIZED MTL
- M13**  
 ALUMINUM STOREFRONT  
 COLOR: BLACK

1 Material Legend

Δ	DATE	ISSUE RECORD
	5/15/24	SB330 APPLICATION

PROJECT NO: KDN01

ISSUE DATE: 07/23/2024

PROPOSED EXTERIOR  
 ELEVATIONS & MATERIALS

A201



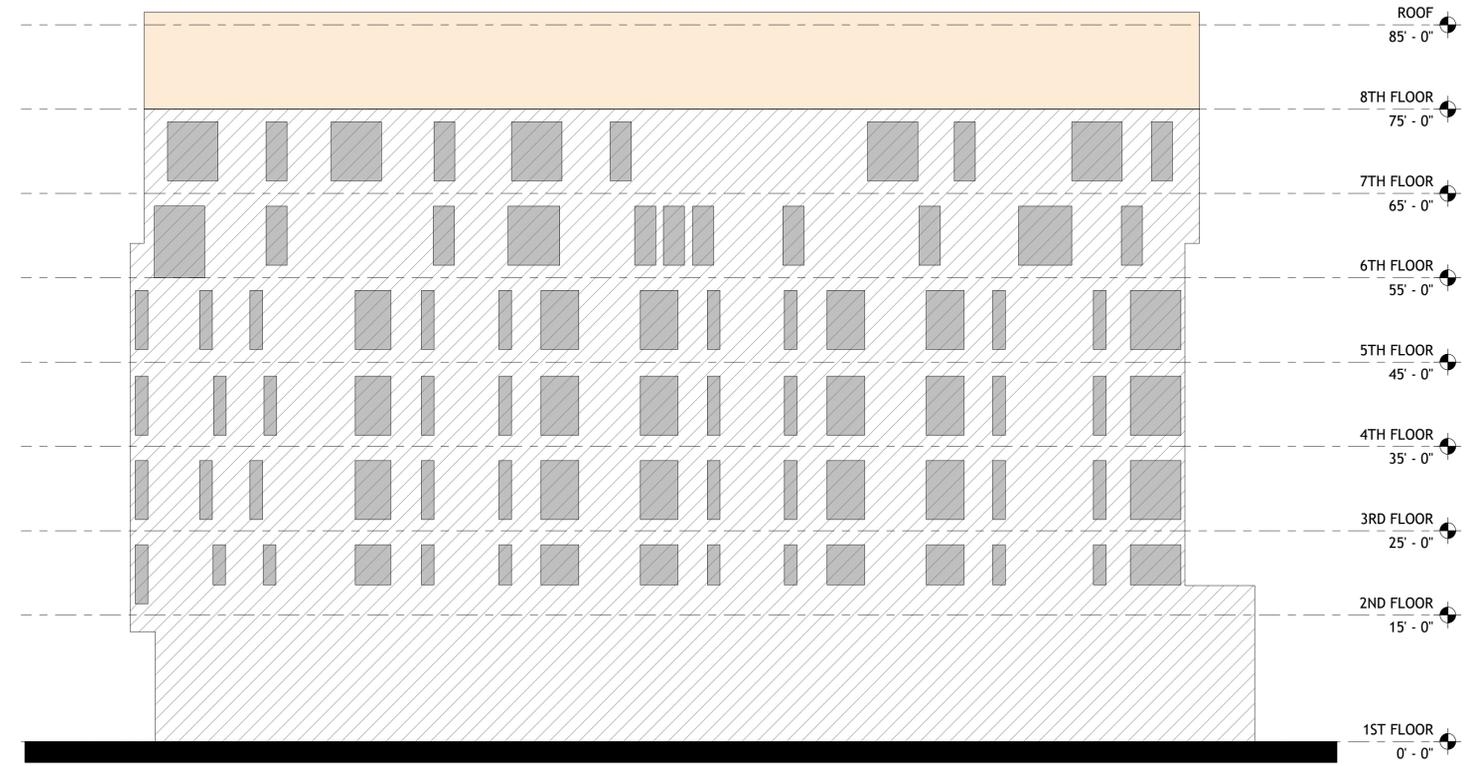
COPYRIGHT © 2020  
 THIS DRAWING IS AN INSTRUMENT OF SERVICE, AND  
 AS SUCH, REMAINS THE PROPERTY OF STUDIO KDA.  
 PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED  
 AND CAN BE EXTENDED ONLY BY WRITTEN  
 AGREEMENT WITH STUDIO KDA.

2655 SHATTUCK AVE.

2655 SHATTUCK AVE.,  
 BERKELEY, CA 94704



DRC REVIEW



3 EAST ELEVATION  
 1" = 10'-0"

**EAST ELEVATION:**  
 TOTAL GLAZING AREA: 1,654 SF  
 TOTAL FACADE AREA: 9,542 SF

$1,654 \text{ SF} / 9,542 \text{ SF} \times 100 = 17\%$

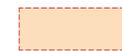
**SOUTH ELEVATION:**  
 TOTAL GLAZING AREA: 2,132 SF  
 TOTAL FACADE AREA: 10,144 SF

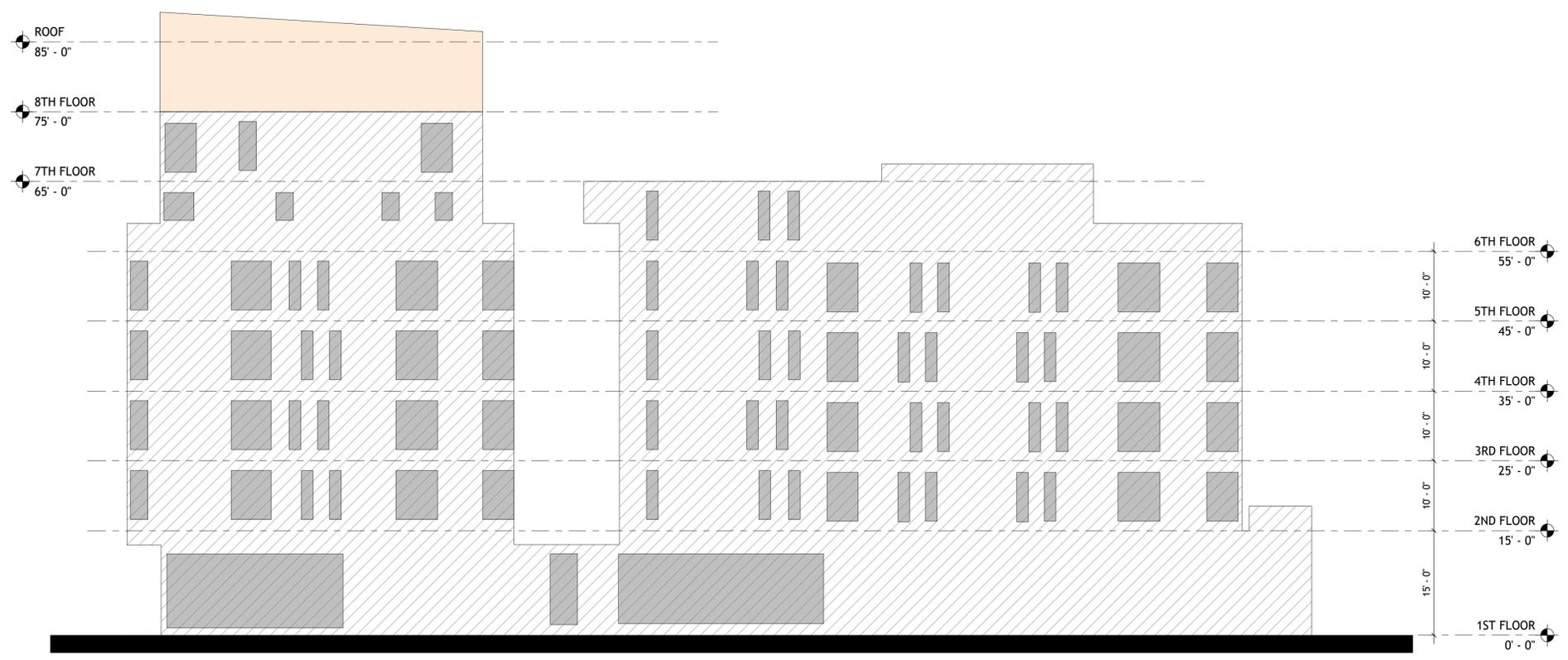
$2,132 \text{ SF} / 10,144 \text{ SF} \times 100 = 21\%$

**BIRD SAFE GLAZING**

PER BIRD SAFE BUILDING REQUIREMENTS, ALL WINDOWS LOCATED WITHIN THE FIRST 75 FEET ABOVE GRADE WILL COMPLY WITH COMPLIANCE PATH 1. THESE WINDOWS ARE TO HAVE A WINDOW FILM INSTALLED BY FEATHER FRIENDLY, WHICH HAS A 2"X2" SPACED 1/4" DOT PATTERN. THIS PRODUCT HAS A THREAT FACTOR OF 20.

**LEGEND**

-  BIRD SAFE GLAZING AREA
-  NEW FACADE AREA
-  BUILDING HEIGHT OVER 75'-0" NO BIRD SAFE GLAZING REQUIRED



2 SOUTH ELEVATION  
 1" = 10'-0"

1 BIRD SAFE GLAZING LEGEND

Δ	DATE	ISSUE RECORD
	5/15/24	SB330 APPLICATION

PROJECT NO: KDN01  
 ISSUE DATE: 07/23/2024

PROPOSED EXTERIOR  
 ELEVATIONS - BIRD  
 SAFETY

A202



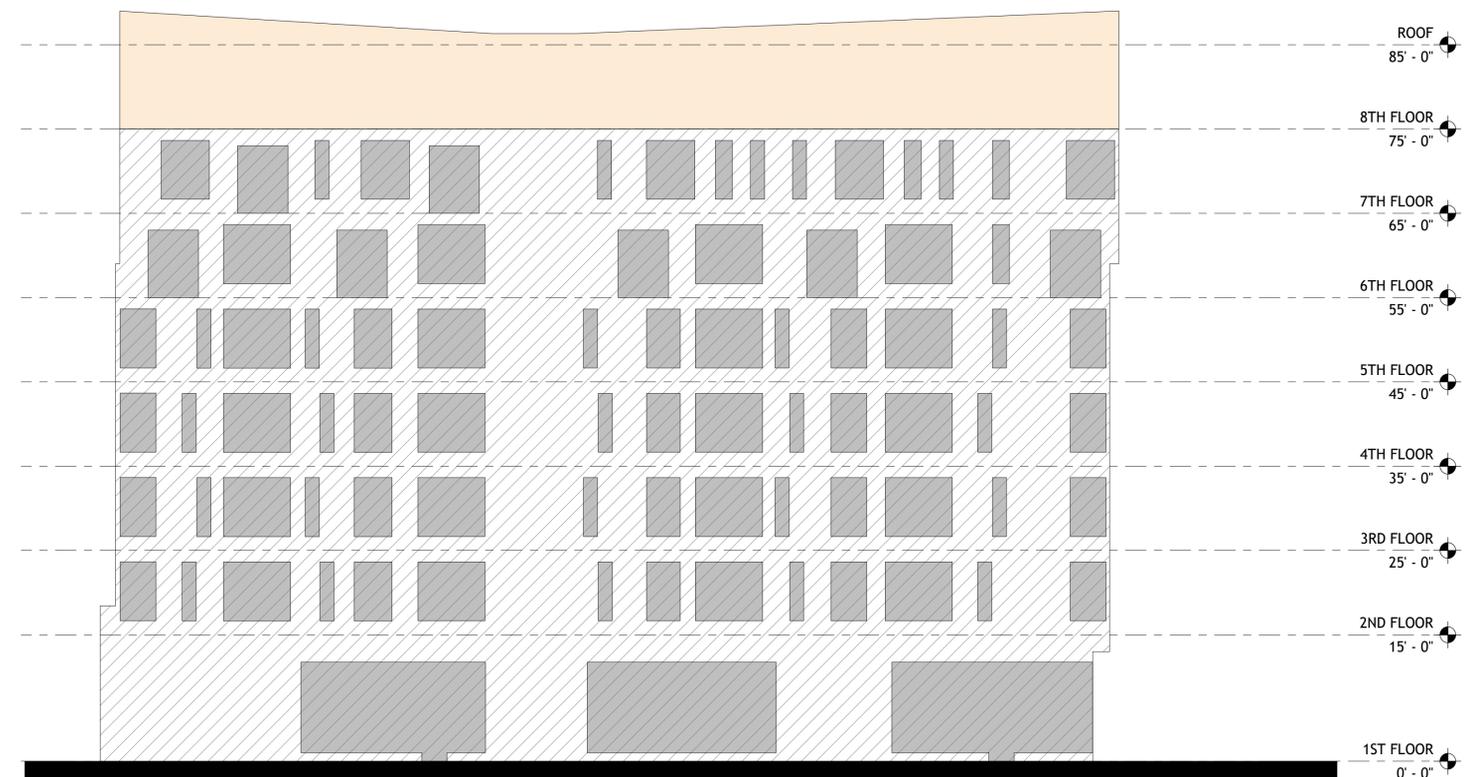
COPYRIGHT © 2020  
 THIS DRAWING IS AN INSTRUMENT OF SERVICE, AND  
 AS SUCH, REMAINS THE PROPERTY OF STUDIO KDA.  
 PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED  
 AND CAN BE EXTENDED ONLY BY WRITTEN  
 AGREEMENT WITH STUDIO KDA.

2655 SHATTUCK AVE.

2655 SHATTUCK AVE.,  
 BERKELEY, CA 94704



DRC REVIEW



3 WEST ELEVATION  
 1" = 10'-0"

**WEST ELEVATION:**  
 TOTAL GLAZING AREA: 3,338 SF  
 TOTAL FACADE AREA: 8,900 SF

$3,338 \text{ SF} / 8,900 \text{ SF} \times 100 = 38\%$

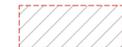
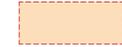
**NORTH ELEVATION:**  
 TOTAL GLAZING AREA: 1,454 SF  
 TOTAL FACADE AREA: 9,712 SF

$1,454 \text{ SF} / 9,712 \text{ SF} \times 100 = 15\%$

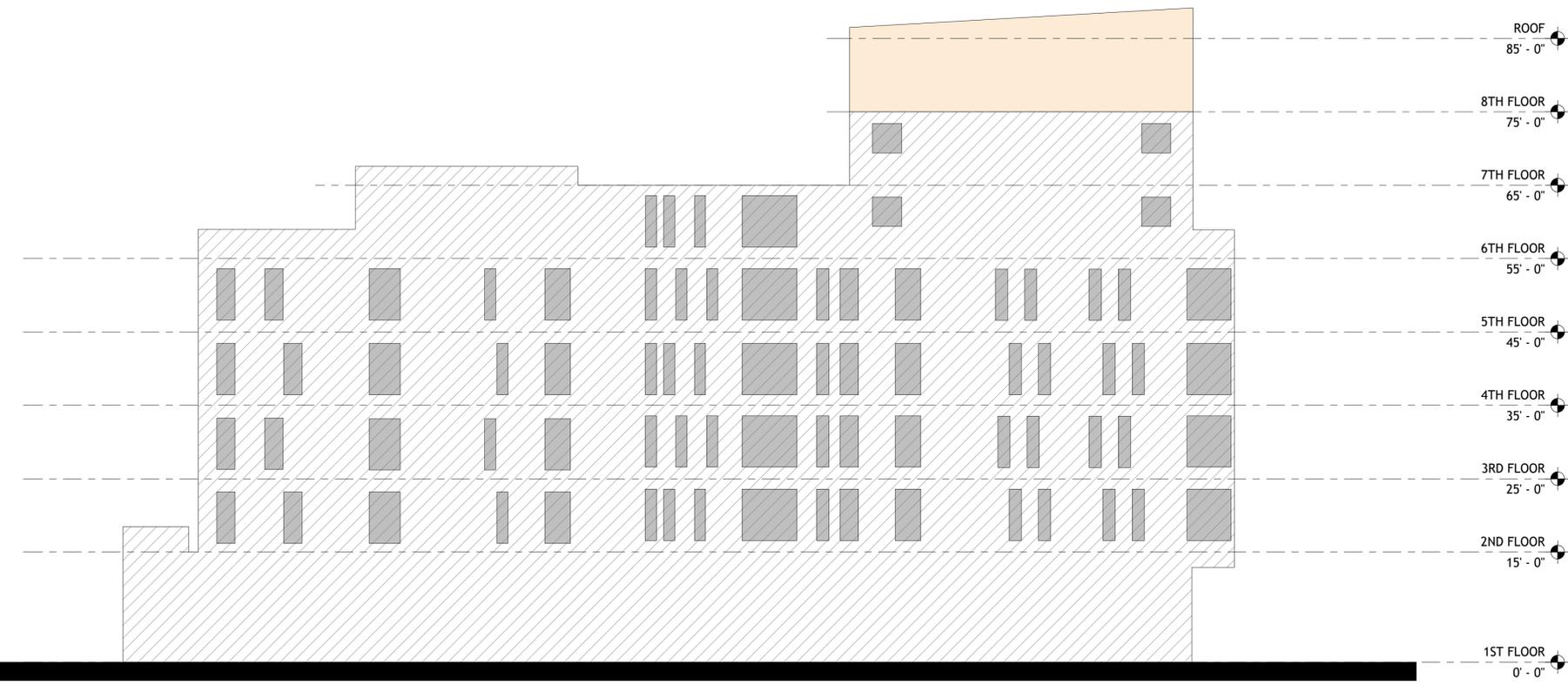
**BIRD SAFE GLAZING**

PER BIRD SAFE BUILDING REQUIREMENTS, ALL WINDOWS LOCATED WITHIN THE FIRST 75 FEET ABOVE GRADE WILL COMPLY WITH COMPLIANCE PATH 1. THESE WINDOWS ARE TO HAVE A WINDOW FILM INSTALLED BY FEATHER FRIENDLY, WHICH HAS A 2"X2" SPACED 1/4" DOT PATTERN. THIS PRODUCT HAS A THREAT FACTOR OF 20.

**LEGEND**

-  BIRD SAFE GLAZING AREA
-  NEW FACADE AREA
-  BUILDING HEIGHT OVER 75'-0" NO BIRD SAFE GLAZING REQUIRED

1 BIRD SAFE GLAZING LEGEND



2 NORTH ELEVATION  
 1" = 10'-0"

Δ	DATE	ISSUE RECORD
	5/15/24	SB330 APPLICATION

PROJECT NO: KDN01  
 ISSUE DATE: 07/23/2024

PROPOSED EXTERIOR  
 ELEVATIONS - BIRD  
 SAFETY

A203



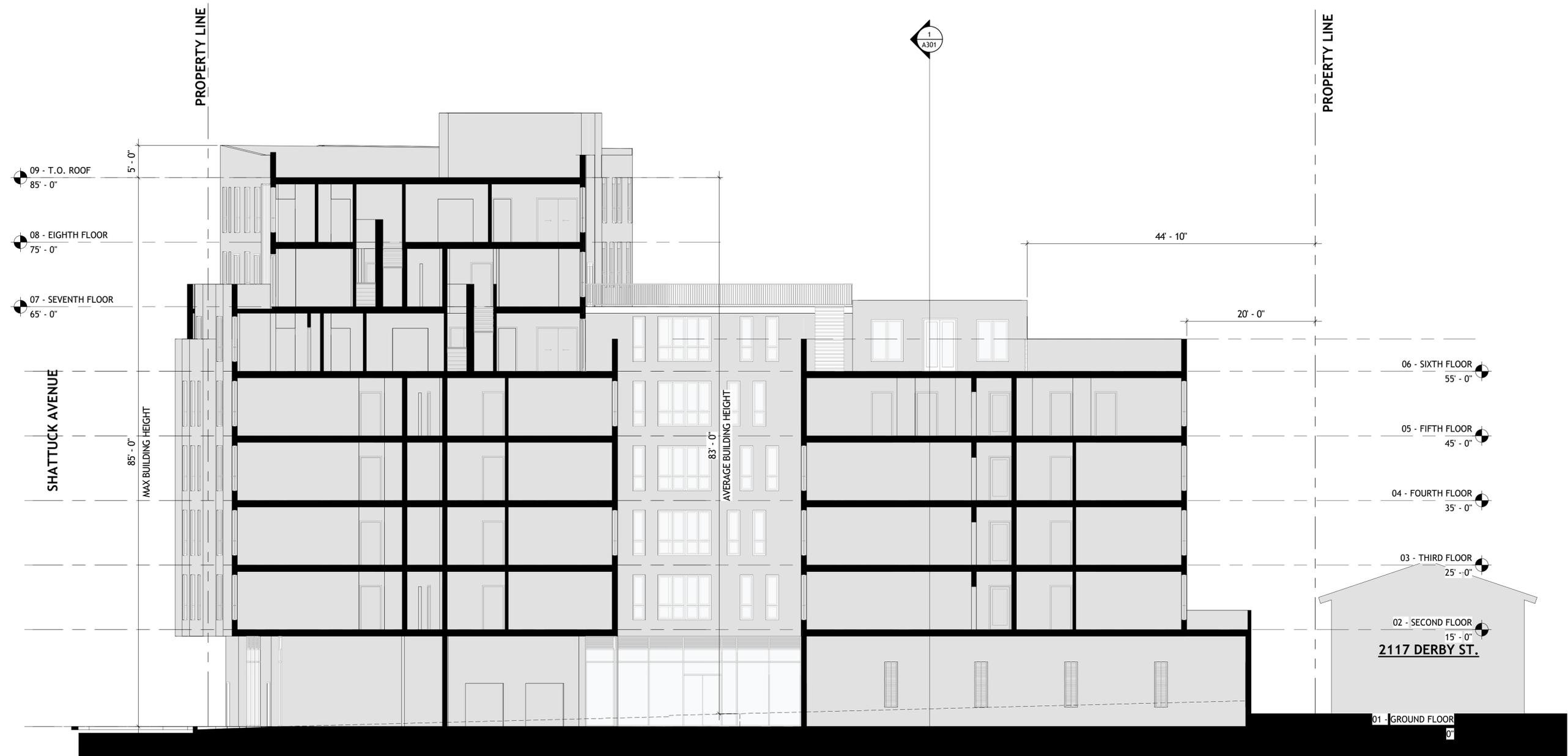
COPYRIGHT © 2020  
 THIS DRAWING IS AN INSTRUMENT OF SERVICE AND AS SUCH, REMAINS THE PROPERTY OF STUDIO KDA. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH STUDIO KDA.

2655 SHATTUCK AVE.

2655 SHATTUCK AVE.,  
 BERKELEY, CA 94704



DRC REVIEW



△	DATE	ISSUE RECORD
	5/15/24	SB330 APPLICATION

PROJECT NO: KDN01

ISSUE DATE: 07/23/2024

PROPOSED BUILDING SECTION

A300



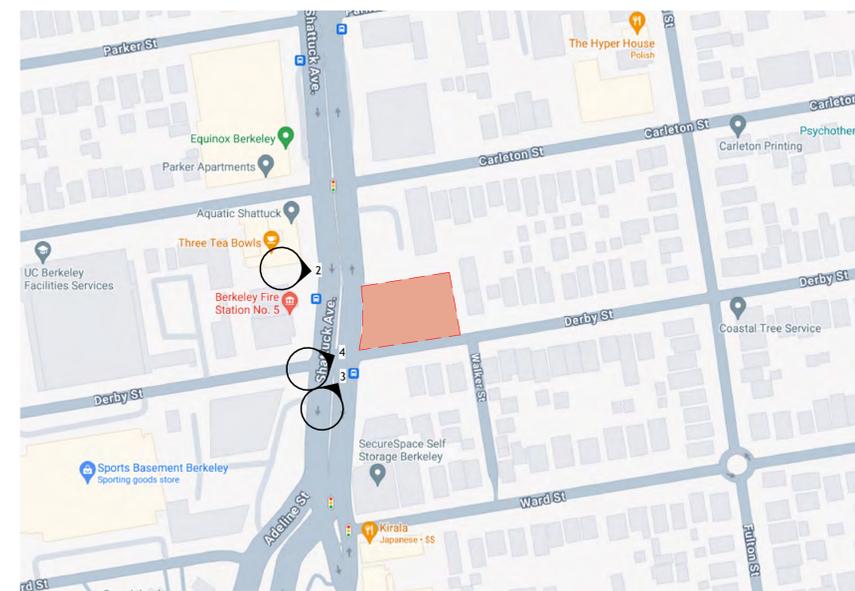
4 PERSPECTIVE 2 - CORNER OF SHATTUCK AVE. & DERBY ST. LOOKING NORTHEAST



2 PERSPECTIVE 1 - SHATTUCK AVE. LOOKING SOUTHEAST



3 PERSPECTIVE 2 - CORNER OF SHATTUCK AVE. & DERBY ST. LOOKING NORTHEAST



1 KEY MAP

studioKDA  
 510.841.3555 | studiokda.com

COPYRIGHT © 2020  
 THIS DRAWING IS AN INSTRUMENT OF SERVICE, AND AS SUCH, REMAINS THE PROPERTY OF STUDIO KDA. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH STUDIO KDA.

2655 SHATTUCK AVE.

2655 SHATTUCK AVE.,  
 BERKELEY, CA 94704



DRC REVIEW

DATE	ISSUE RECORD
5/15/24	SB330 APPLICATION

PROJECT NO: KDN01

ISSUE DATE: 07/23/2024

PERSPECTIVE VIEWS

A400



5 PERSPECTIVE 4 - ENTRY COURTYARD 1



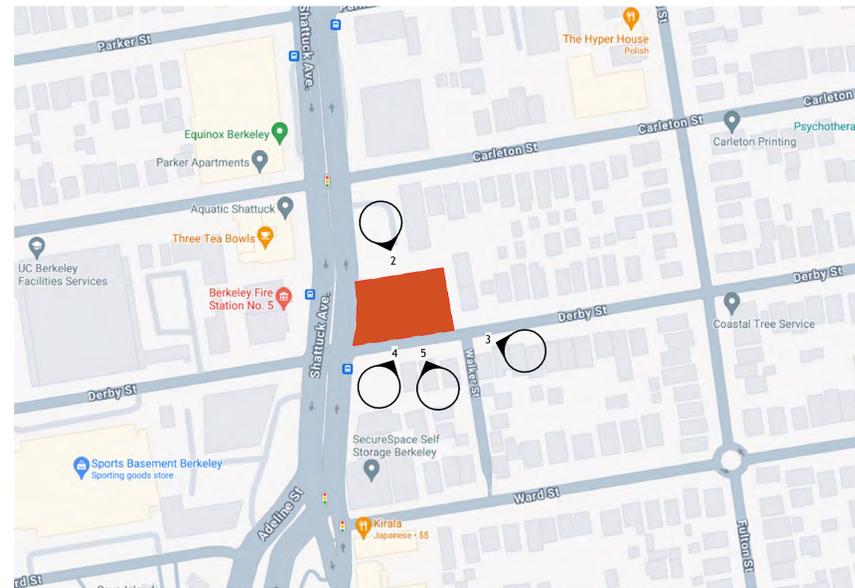
2 PERSPECTIVE 6 - ENLARGED AMENITY GARDEN



4 PERSPECTIVE 5 - ENTRY COURTYARD 2



3 PERSPECTIVE 6 - ENLARGED AMENITY GARDEN



1 KEY MAP

studioKDA  
 510.841.3555 | studiokda.com

COPYRIGHT © 2020  
 THIS DRAWING IS AN INSTRUMENT OF SERVICE, AND AS SUCH, REMAINS THE PROPERTY OF STUDIO KDA. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH STUDIO KDA.

2655 SHATTUCK AVE.

2655 SHATTUCK AVE.,  
 BERKELEY, CA 94704

DRC REVIEW

Δ	DATE	ISSUE RECORD
	5/15/24	SB330 APPLICATION

PROJECT NO: KDN01  
 ISSUE DATE: 07/23/2024  
 PERSPECTIVE VIEWS

A401



COPYRIGHT © 2020  
 THIS DRAWING IS AN INSTRUMENT OF SERVICE, AND AS SUCH, REMAINS THE PROPERTY OF STUDIO KDA. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH STUDIO KDA.

2655 SHATTUCK AVE.

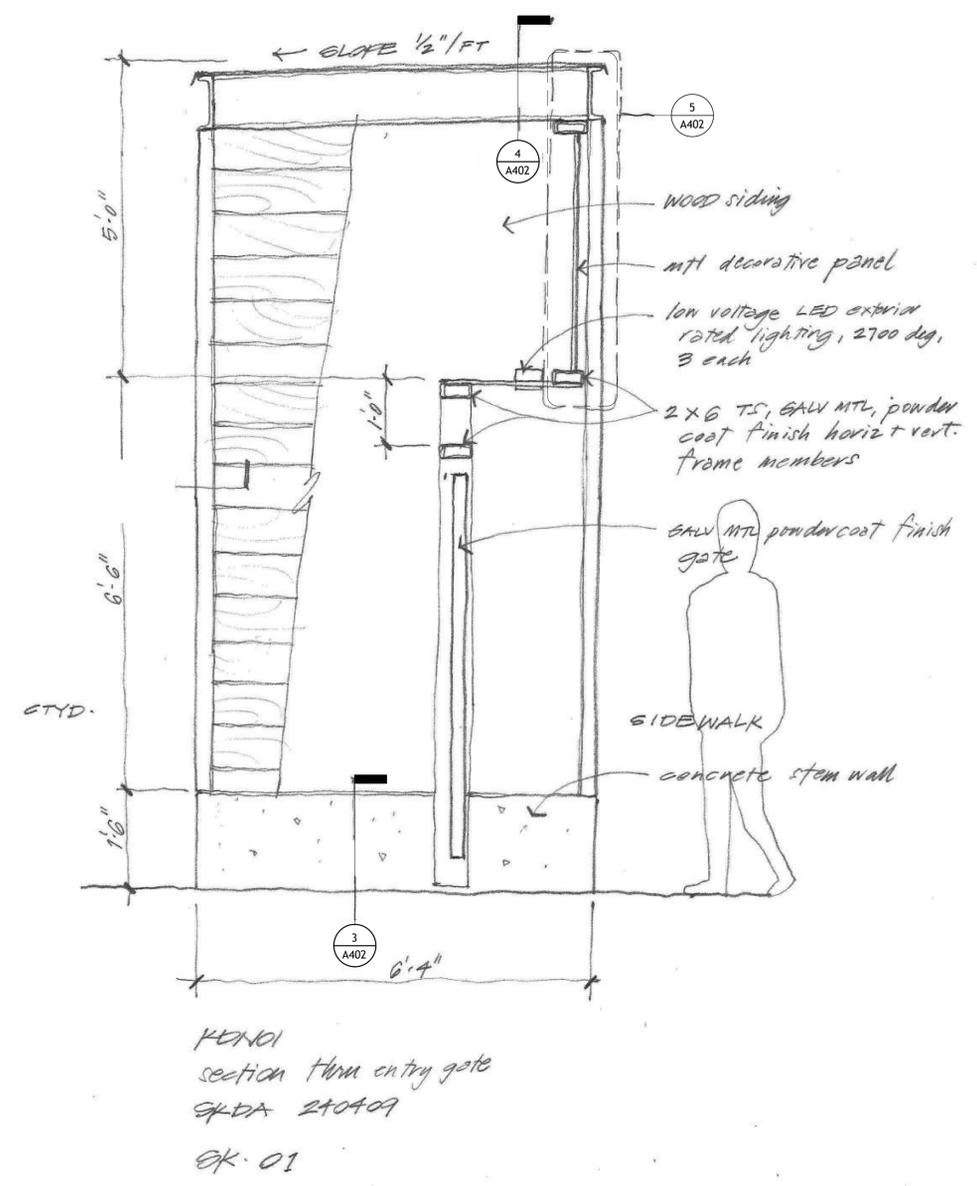
2655 SHATTUCK AVE.,  
 BERKELEY, CA 94704



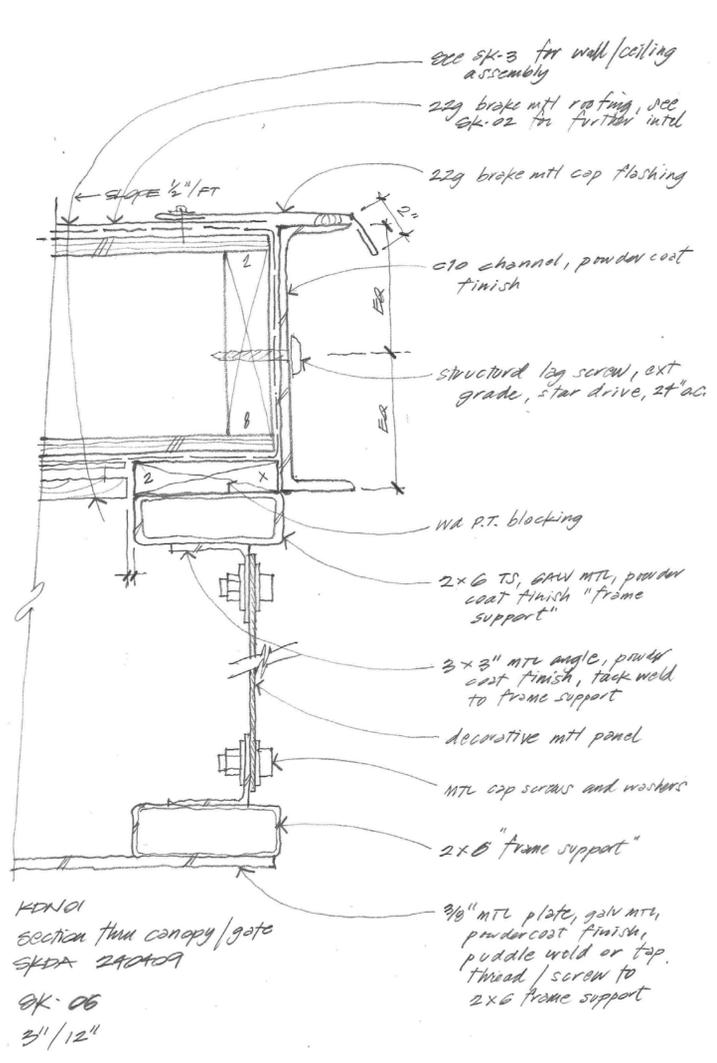
DRC REVIEW



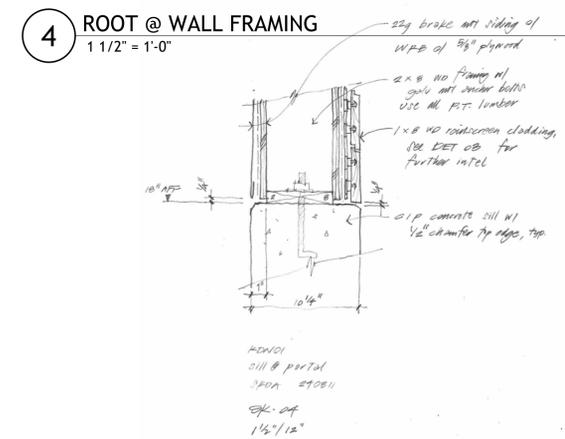
6 PERSPECTIVE 7 - ENLARGED ENTRY GATE



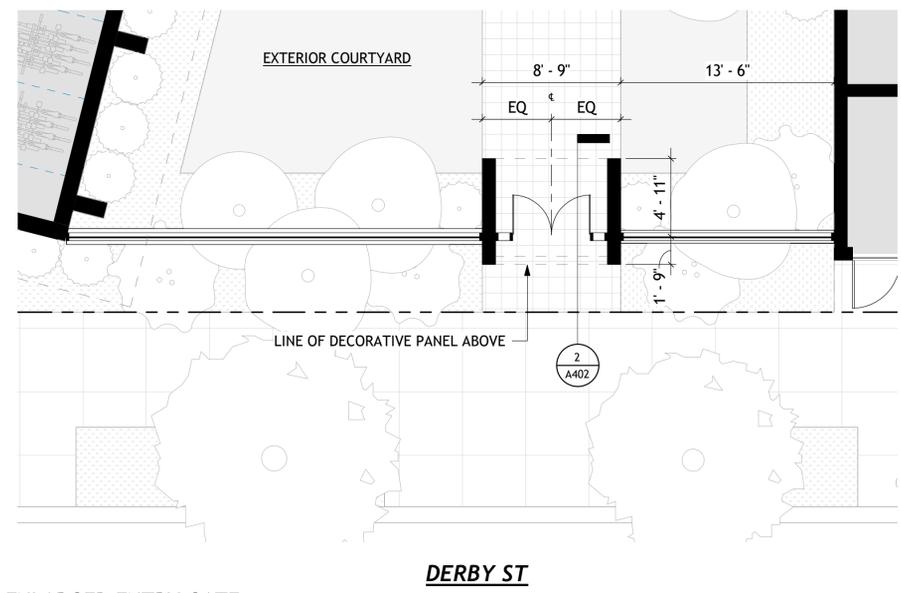
2 CROSS-SECTION @ ENTRY PORTAL  
 3/4" = 1'-0"



5 CROSS-SECTION 1- ENLARGED ENTRY GATE  
 3" = 1'-0"



3 FOUNDATION DETAIL @ ENTRY PORTAL  
 1 1/2" = 1'-0"



1 ENLARGED ENTRY GATE  
 3/16" = 1'-0"

DATE	ISSUE RECORD
5/15/24	SB330 APPLICATION

PROJECT NO: KDN01

ISSUE DATE: 07/23/2024

PERSPECTIVE VIEWS

A402



August 27, 2024  
2655 Shattuck Ave

## Design Review Applicant Statement

### **Project Overview:**

The proposed project is an 8-story mixed use building at 2655 Shattuck Ave., in the C-AC zoning district. The existing 1-story commercial building will be demolished. A historical report has found no historical significance for the existing building. The proposed project will provide (97) new residential units, including (49) studio apartments, (20) one-bedroom apartments, (18) two-bedroom apartments, and (10) each "skip-stop" two story condominiums at the upper floors of the building. The ground floor will include street fronting commercial space and generous tenant outdoor garden and patio space at the ground floor as well as the roof. 41 parking spaces are provided within a covered garage.

The layout of the building responds to the context of the site and its irregular shape along Shattuck Ave. Being on the edge of a residential neighborhood as well as a primary commercial corridor the building design needed to take both aspects into consideration.

The near square shape of the lot as well as its size allowed for a building split into two different wings which responded to their individual contexts - the taller section of the building is set alongside Shattuck Ave. and a smaller set of apartments is placed alongside the residential border. The taller western section is set adjacent to the property line, as befitting good urban design and the smaller eastern portion is set back from the adjacent neighbor using the preferred planning setback of 20' starting at the second-floor residential units. There is also a flow-through planter at the second floor along the eastern boundary which also helps in screening the apartments from the adjacent residential neighbor.

Splitting the building in to two primary sections allowed for the creation of a large entry courtyard and private patio between the two sections of the building - a rare occurrence for this type of housing.

Being both a 1/2 mile from the University campus and the Ashby Bart station, this property could appeal to both students and working professionals. A unique form of housing was added to appeal to the professional residents - a "skip-stop" two story 3-bedroom apartment set at the top 3 floors along Shattuck Ave. A skip-stop floor plan places the corridor only on every other floor. The units are two stories and are entered from the corridor, with internal stairs leading to the unit's second level (either above or below). This allows exposure on both sides of the building for one floor of each unit and reduces the amount of common corridor square footage.

The facade along Shattuck Avenue uses a brise soleil to reduce the heat gain on this western facade by deflecting sunlight (which also provides more visual privacy for the residents). Outdoor patios are added at the 6th floor skip-stop units with views of the bay to the west and hills to the east. The highest parapet forms a wing shape which corresponds to the bend in plan of the western wing of the building.

The top 3 floors of skip-stop units are identified with a different texture and color (darker grey) to represent their unique placement within the building. The building facade on the interior courtyard is primarily of a wood (cement) finish, adding warmth and texture to the courtyard.

### **Landscape Concept Statement**

The proposed landscape responds to the site conditions and the intended program of its multiple users in a variety of ways. The western perimeter engages with Shattuck Avenue, continuing the walkable retail sidewalk experience that exists closer to the UC campus. In-filling gaps in the street tree rhythm and adding substantial planters (that have the added benefit of filtering the site's stormwater run-off) creates a comfortable walking and sitting experience to pedestrians and retail patrons alike.

An open 'plaza' at the corner provides a flexible open space with opportunities for short term seating among densely layered plantings.

The Derby Streetscape is a decidedly more relaxed tone than Shattuck Ave. A quiet, residential neighborhood street, the curb edge transitions into a planted parkway, maintaining and in-filling the street tree theme with a walkable evergreen groundcover below.

The East perimeter is setback and features multi-level planting scheme with a 10' wide planter at the ground-level and another 10' wide planter on the structure at the 2nd level above. Both planting areas will feature tall and vertical-growing native, evergreen or flowering and shade tolerant species throughout.

The interior landscape supports the residential program by providing a variety of flexible and functional tenant gathering spaces set among densely layered planters featuring edibles and California native and climate-adapted species.

The roof contains a final tenant amenity space that will be screened to the east with raised planters and vertical evergreen screened shrubs.

### **Project Benefits:**

The proposed project site is alongside a commercial corridor 1/2 half mile from the UC Berkeley campus which gives residents easy access to employment opportunities, cultural activities, entertainment and the goods and services of Shattuck Ave.

The immediate area of high-density residential buildings include housing for UC Berkeley and is just over a 1/2 mile from the Downtown Berkeley Bart station, a handful of bus lines and bicycle routes. The project contributes to Berkeley's Climate Action Plan goals by providing housing close to goods and services and is oriented around the use of public and active transportation, serving to reduce the City's overall per capita carbon footprint.