



Office of the City Manager

INFORMATION CALENDAR  
July 22, 2025

To: Honorable Mayor and Members of the City Council

From: Paul Buddenhagen, City Manager

Submitted by: Jordan Klein, Director, Planning and Development Department

Subject: Landmark Preservation Ordinance Notice of Decision: 2009 Tenth Street/#LMSAP2025-0003

INTRODUCTION

The attached Landmarks Preservation Commission Notice of Decision (NOD) is presented to the Mayor and City Council pursuant to Berkeley Municipal Code/Landmarks Preservation Ordinance (BMC/LPO) Section 3.24.240.A, which requires that “a copy of the Notice of Decision shall be filed with the City Clerk and the City Clerk shall present said copy to the City Council at its next regular meeting.”

CURRENT SITUATION AND ITS EFFECTS

The Landmarks Preservation Commission (LPC/Commission) has approved a Structural Alteration Permit (SAP) for the subject Structure of Merit property. This action is subject to a 15-day appeal period, which began on July 8, 2025, the day after the notice was mailed.

BACKGROUND

BMC/LPO Section 3.24.300 allows City Council to review any action of the Landmarks Preservation Commission in granting or denying a Structural Alteration Permit. For Council to review the decision on its merits, Council must appeal the Notice of Decision. To do so, a Council member must move this Information Item to Action and then move to set the matter for hearing on its own. Such action must be taken within 15 days of the mailing of the Notice of Decision, or by July 22, 2025. Such certification to Council shall stay all proceedings in the same manner as the filing of an appeal.

If the Council chooses to appeal the action of the Commission, then a public hearing will be set. The Council must then rule on the designation within 30 days of closing the hearing, otherwise the decision of the Commission is automatically deemed affirmed.

Unless the Council wishes to review the determination of the Commission and make its own decision, the attached NOD is deemed received and filed.

ENVIRONMENTAL SUSTAINABILITY & CLIMATE IMPACTS

Landmark designation and discretionary alteration reviews by staff and LPC provide opportunities for the adaptive re-use and rehabilitation of historic resources within the City. The rehabilitation of these resources, rather than their removal, achieves construction and demolition waste diversion, and promotes investment in existing urban centers.

POSSIBLE FUTURE ACTION

The Council may choose to appeal the decision, in which case it would conduct a public hearing at a future date.

FISCAL IMPACTS OF POSSIBLE FUTURE ACTION

There are no known fiscal impacts associated with this action.

CONTACT PERSON

Boshi Fu, Assistant Planner, Planning and Development, 510-981-7544

Attachments:

1: Notice of Decision – #LMSAP2025-0003/2009 Tenth Street



L A N D M A R K S  
P R E S E R V A T I O N  
C O M M I S S I O N

N o t i c e o f D e c i s i o n

**DATE OF BOARD DECISION: June 5, 2025**  
**DATE NOTICE MAILED: July 7, 2025**  
**APPEAL PERIOD EXPIRATION: July 22, 2025**  
**EFFECTIVE DATE (Barring Appeal or Certification): July 23, 2025<sup>1</sup>**

**2009 Tenth Street – The West Berkeley YMCA**

**Structural Alteration Permit #LMSAP2025-0003 to replace windows, remove and replace deteriorated exterior stucco, and replace existing awnings in-kind, at the south portion of a Structure of Merit property.**

The Landmarks Preservation Commission of the City of Berkeley, after conducting a public hearing, **APPROVED** the Structural Alteration Permit request.

- **Applicant**                      Claire Jung & Vadim Mishchuk, Sidell Pakravan Architects  
2445 Sixth Street  
Berkeley, CA
  
- **Property Owner**            Young Men’s Christian Association of the East Bay  
2330 Broadway  
Oakland, CA

**ZONING DISTRICT:** Multiple-Family Residential District (R-3)

**ENVIRONMENTAL REVIEW STATUS:** The project is categorically exempt from further environmental review in accordance with CEQA Guidelines Section 15331 for *Historical Resource Restoration/Rehabilitation*.

**The application materials for this project is available online at:**

<sup>1</sup> Pursuant to BMC Chapter 3.24, the City Council may “certify” any decision of the LPC for review, which has the same effect as an appeal. In most cases, the Council must certify the LPC decision during the 14-day appeal period. However, pursuant to BMC Section 1.04.070, if any portion of the appeal period falls within a Council recess, the deadline for Council certification is suspended until the first Council meeting after the recess, plus the number of days of the appeal period that occurred during the recess, minus one day. If there is no appeal or certification, the Use Permit becomes effective the day after the certification deadline has passed.

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<https://berkeleyca.gov/construction-development/land-use-development/zoning-projects> or  
<https://permits.cityofberkeley.info/CitizenAccess/Default.aspx>

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**FINDINGS AND CONDITIONS OF APPROVAL AND APPROVED PLANS ARE ATTACHED TO THIS NOTICE**

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**COMMISSION VOTE: 7-0-0-1**

**YES:** ENCHILL, FINACOM, LEUSCHNER, HALL-MONTGOMERY, ORBUCH, PLESE, SCHWARTZ

**NO:** NONE

**ABSTAIN:** NONE

**ABSENT:** CRANDALL

**TO APPEAL THIS DECISION (see Section 3.24.300 of the Berkeley Municipal Code):**

To appeal a decision of the Landmarks Preservation Commission to the City Council you must:

1. Submit a letter clearly and concisely setting forth the grounds for the appeal to the City Clerk, located at 2180 Milvia Street, 1<sup>st</sup> Floor, Berkeley. The City Clerk's telephone number is (510) 981-6900.
  - a. Pursuant to BMC Section 3.24.300.A, an appeal may be taken to the City Council by the application of the owners of the property or their authorized agents, or by the application of at least fifty residents of the City aggrieved or affected by any determination of the commission made under the provisions of Chapter 3.24.
2. Submit the required fee (checks and money orders must be payable to 'City of Berkeley'):
  - a. The basic fee for persons other than the applicant is \$1,500. This fee may be reduced to \$500 if the appeal is signed by persons who lease or own at least 50 percent of the parcels or dwelling units within 300 feet of the project site, or at least 25 such persons (not including dependent children), whichever is less. Signatures collected per the filing requirement in BMC Section 3.24.300.A may be counted towards qualifying for the reduced fee, so long as the signers are qualified. The individual filing the appeal must clearly denote which signatures are to be counted towards qualifying for the reduced fee.
  - b. The fee for appeals of affordable housing projects (defined as projects which provide 50 percent or more affordable units for households earning 80% or less of Area Median Income) is \$500, which may not be reduced.
  - c. The fee for all appeals by Applicants is \$6,000.

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3. The appeal must be received prior to 5:00 p.m. on the "APPEAL PERIOD EXPIRATION" date shown above (if the close of the appeal period falls on a weekend or holiday, then the appeal period expires the following business day).

If no appeal is received, the Structural Alteration Permit will be final on the first business day following expiration of the appeal period.

**NOTICE CONCERNING YOUR LEGAL RIGHTS:**

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If you object to this decision, the following requirements and restrictions apply:

1. If you challenge this decision in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Landmarks Preservation Commission at, or prior to, the public hearing.
2. You must appeal to the City Council within fifteen (15) days after the Notice of Decision of the action of the Landmarks Preservation Commission is mailed. It is your obligation to notify the Land Use Planning Division in writing of your desire to receive a Notice of Decision when it is completed.
3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than ninety (90) days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that ninety (90) day period will be barred.
4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
5. If you believe that this decision or any condition attached to it denies you any reasonable economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a "taking" of property for public use without just compensation under the California or United States Constitutions, your appeal of this decision must include the following information:
  - A. That this belief is a basis of your appeal.
  - B. Why you believe that the decision or condition constitutes a "taking" of property as set forth above.
  - C. All evidence and argument in support of your belief that the decision or condition constitutes a "taking" as set forth above.

If you do not do so, you will waive any legal right to claim that your property has been taken, both before the City Council and in court.

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**PUBLIC COMMENT:**

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Communications to Berkeley boards, commissions or committees are public record and will become part of the City's electronic records, which are accessible through the City's website. **Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, will become part of the public record.** If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service or in person to the secretary of the relevant board, commission or committee. If you do not want your contact information included in the public record, please do not include that information in your communication. Please contact the secretary to the relevant board, commission or committee for further information.

**FURTHER INFORMATION:**

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Questions about the project should be directed to the project planner, Boshi Fu, at (510) 981-7544 or [bfu@berkeleyca.gov](mailto:bfu@berkeleyca.gov). All project application materials may be viewed at the Permit Service Center (Zoning counter), 1947 Center Street, 3<sup>rd</sup> Fl., during regular business hours.

**ATTACHMENTS:**

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1. Findings and Conditions
2. Project Plans

ATTEST:   
Anne Hersch, Secretary  
Landmarks Preservation Commission

cc: City Clerk  
Claire Jung & Vadim Mishchuk, Sidell Pakravan Architects, 2445 Sixth St, Berkeley, CA  
Young Men's Christian Association of the East Bay, 2330 Broadway, Oakland, CA

## Attachment 1, Part 2

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# Findings and Conditions

## 2009 Tenth Street (West Berkeley YMCA)

**Structural Alteration Permit (#LMSAP2025-0003)** to replace windows, remove and replace deteriorated exterior stucco, and replace existing awnings in-kind, at the south portion of a Structure of Merit property.

### **FINDINGS REQUIRED UNDER CEQA**

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15331 of the CEQA Guidelines (“Historic Resource Restoration/Rehabilitation”).

### **FINDINGS RELATED TO THE SECRETARY OF THE INTERIOR’S STANDARDS**

Regarding the Secretary of the Interior’s Standards (SOI) for Rehabilitation (36 CFR Part 67), the Landmarks Preservation Commission of the City of Berkeley makes the following findings:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Evidence: The proposed project does not involve a change of use. The building will continue to serve its community-serving function.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Evidence: The project involves limited exterior alterations, including replacement of non-original vinyl windows, deteriorated stucco, and entry awnings. The massing, raised vertical panels, and façade rhythm will remain unchanged. All new materials will match the existing conditions in appearance and placement, ensuring that the architectural character of the property is preserved.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken

Evidence: The project will not propose any conjectural features or create any false sense of history. New windows and awnings will be compatible with the existing design.

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved:

Evidence: No prior alterations have acquired significance in their own right, therefore, no such features will be affected.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

Evidence: The project will preserve character-defining features, including the original raised vertical panels, and the three large windows on the left side of the front façade, which will not be in the scope of this project. Stucco replacement is limited to deteriorated areas and will be applied to match the original in texture and color. The distinctive visual appearance and façade that define the building's Art Deco character will be preserved.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Evidence: The stucco replacement is in-kind, along the south and east façade, while all character-defining raised vertical panels will remain intact. No original historic features will be removed unless required by deterioration and no missing features are proposed to be reconstructed.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Evidence: No chemical or physical treatments are proposed. Standard conditions of approval for a Structural Alteration Permit will require any potential chemical or physical treatments to be undertaken using the gentlest means possible.

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Evidence: The project does not have the potential to affect any archaeological resources because the project does not require any excavation or ground disturbance.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Evidence: The new windows and replacement awnings are compatible in scale, proportion, and placement with the existing windows and awnings. While the windows will be constructed of new materials (fiberglass and finished in bronze), they will match the

existing openings and profiles. The awnings will be replaced in the same locations with comparable size and appearance. The project does not destroy historic materials or relationships and will preserve the architectural character of the structure as viewed from the street and surrounding area.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Evidence: All proposed work is surface-level and does not alter the building's structural form or massing. The replacement windows and awnings will be installed within existing openings and attachment points, and no invasive construction is proposed. If these alterations were removed in the future, the essential form, proportions, and architectural character of the historic building and its setting would remain intact and unimpaired.

**FINDINGS REQUIRED UNDER LANDMARKS PRESERVATION ORDINANCE**

1. As required by Section 3.24.260 of the Landmarks Preservation Ordinance, the Commission finds that the proposed work is appropriate for and consistent with the purposes of the Ordinance, and will preserve the characteristics and features specified in the designation for this property. Specifically:

A. For applications relating to landmark sites, the proposed work shall not adversely affect the exterior architectural features of the landmark and, where specified in the designation for a publicly owned landmark, its major interior architectural features; nor shall the proposed work adversely affect the special character or special historical, architectural or aesthetic interest or value of the landmark and its site, as viewed both in themselves and in their setting.

Evidence: N/A; The West Berkeley YMCA is not a City of Berkeley landmark and this finding is therefore not relevant or applicable to this Structural Alteration Permit.

B. For applications relating to property in historic districts, the proposed work shall not adversely affect the exterior architectural features of the subject property or the relationship and congruity between the subject structure or feature and its neighboring structures and surroundings, including facade, setback and height; nor shall the proposed work adversely affect the special character or special historical, architectural or aesthetic interest or value of the district. The proposed work shall also conform to such further standards as may be embodied in the designation of the historic district.

Evidence: N/A; The West Berkeley YMCA is not located within a designated City of Berkeley historic district. Therefore, this finding is not applicable to this Structural Alteration Permit.

C. For applications relating to structure of merit sites, the proposed work shall not adversely affect the architectural features if architectural merit is the basis for designation; nor shall the proposed work adversely affect the special cultural, educational or historical interest or value if that is the basis for designation.

Evidence: The West Berkeley YMCA was designated as a Structure of Merit in 1992 for its status as a fine example of the Art Deco style, part of the architectural legacy of Walter H. Ratcliff, Jr., and contributes to the neighborhood through its street-facing presence and historic role as a community-serving facility constructed with funds raised through neighborhood conscription.

The proposed work does not alter the building's form, massing, or character-defining architectural features, including its vertical plaster reliefs and symmetrical Art Deco composition. Deteriorated stucco will be replaced in-kind, non-original windows will be replaced with compatible units, and awnings will be replaced in the same size and location. No original or character-defining materials will be removed. Because the architectural features and the building's cultural identity will be preserved, the project will not adversely affect the attributes that designated this as a Structure of Merit.

## Exhibit A

## Conditions of Approval

JUNE 5, 2025

I. General Administrative Conditions		Regulation Source	Timing/ Implementation	Enforcement/ <u>Monitoring</u>
1.	<b>Project Approval.</b> This Structural Alteration Permit approval is for 2009 Tenth Street, as substantially shown and described on the project plans dated April 24, 2025, except as required to be modified by conditions herein and plans as presented to the Landmarks Preservation Commission on June 5, 2025 (“Approval Date.”). For any condition herein that requires preparation of a Final Plan where the project applicant has submitted a conceptual plan, the project applicant shall submit final plan(s) in substantial conformance with the conceptual plan, but incorporate the modifications required by the conditions herein for approval by the City.	City of Berkeley	On-Going	Land Use Planning
2.	<b>Approval Limited to Proposed Project.</b> This Permit authorizes only the proposed project described in the application. In no way does an approval authorize other uses, structures or activities not included in the project description.	City of Berkeley <a href="#">BMC Sections 23.404.060</a>	On-Going	Land Use Planning
3.	<b>Compliance Required.</b> All land uses and structures in Berkeley must comply with the Zoning Ordinance and all applicable City ordinances and regulations. Compliance with the Zoning Ordinance does not relieve an applicant from requirements to comply with other federal, state, and City regulations that also apply to the property.	City of Berkeley	On-Going	Land Use Planning
4.	<b>Conformance to Approved Plans.</b> All work performed under an approved permit shall be in compliance with the approved plans and any Conditions of Approval.	City of Berkeley <a href="#">BMC Section 23.404.060. B.4</a>	On-Going	Land Use Planning
6.	<b>Permit Revocation.</b> The City may revoke or modify a discretionary permit for completed projects due to: 1) violations of permit requirements; 2) Changes to the approved project; and/or 3) Vacancy for one year or more. However, no lawful residential use can lapse, regardless of the length of time of the vacancy. Proceedings to revoke or modify a permit may be initiated by the Landmarks Preservation Commission (LPC), or City Council referral.	City of Berkeley <a href="#">BMC Section 23.404.080</a>	On-Going	Land Use Planning

I. General Administrative Conditions		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/Monitoring</u>
8.	<p><b>Exercise and Expiration of Permits</b> A permit authorizing a land use is exercised when both a valid City business license is issued (if required) and the land use is established on the property.</p> <p>A. A permit authorizing a land use is exercised when both a valid City business license is issued (if required) and the land use is established on the property.</p> <p>B. A permit authorizing construction is exercised when both a valid City building permit (if required) is issued and construction has lawfully begun.</p> <p>C. The Zoning Officer may declare a permit lapsed if it is not exercised within one year of its issuance, except if the applicant has applied for a building permit or has made a substantial good faith effort to obtain a building permit and begin construction. The Zoning Officer may declare a permit lapsed only after 14 days written notice to the applicant. A determination that a permit has lapsed may be appealed to the ZAB in accordance with Chapter 23.410 (Appeals and Certification).</p> <p>D. A permit declared lapsed shall be void and of no further force and effect. To establish the use or structure authorized by the lapsed permit, an applicant must apply for and receive City approval of a new permit.</p>	<p>City of Berkeley <a href="#">BMC Section 23.404.060 (C)</a> "Time Limits"</p>	<p>On-Going</p>	<p>Land Use Planning</p>
9.	<p><b>Hold Harmless.</b> The permittee agrees as a condition of approval of this application to indemnify, protect, defend with counsel selected by the City, and hold harmless, the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents, from and against any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorney’s fees and disbursements (collectively, “Claims”) arising out of or in any way relating to the approval of this application, any actions taken by the City related to this entitlement, or any environmental review conducted under the California Environmental Quality Act, Public Resources Code Section 210000 et seq., for this entitlement and related actions. The indemnification shall include any Claims that may be asserted by any person or entity, including the permittee, arising out of or in connection with the approval of this application, whether or not there is concurrent, passive or active negligence on the part of the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees</p>	<p>City of Berkeley</p>	<p>On-Going</p>	<p>Land Use Planning</p>

<b>I. General Administrative Conditions</b>		<u>Regulation Source</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>
	and agents. The permittee’s duty to defend the City shall not apply in those instances when the permittee has asserted the Claims, although the permittee shall still have a duty to indemnify, protect and hold harmless the City.			

<b>II. At Building Permit Submittal</b>		<u>Regulation Source</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>
1.	<b>Conditions of Approval on Building Permit Plan Submittal</b> <b>Structural Alteration Permit.</b> The Conditions of Approval for this Structural Alteration Permit shall be printed on the <i>second</i> sheet of each plan set submitted for a building permit pursuant to this Structural Alteration Permit, under the title ‘Structural Alteration Permit Conditions.’	City of Berkeley	At the Time of Building Permit Submittal	Building & Safety/Land Use Planning
2.	<b>Project Liaison.</b> The applicant shall <u>include in all building permit plans and post onsite</u> the name and telephone number of an individual empowered to manage construction-related complaints generated from the project. The individual’s name, telephone number, and responsibility for the project shall be posted at the project site for the duration of the project in a location easily visible to the public. The individual shall record all complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis. <b>Please designate the name of this individual below:</b>  <input type="checkbox"/> <b>Project Liaison</b> _____ Name Phone #	City of Berkeley	At the Time of Building Permit Submittal	Building & Safety/Land Use Planning
3.	<b>Construction and Demolition Diversion.</b> The applicant shall submit a <a href="#">Construction Waste Management Plan</a> that meets the requirements of BMC Chapter 19.37 including 100% diversion of asphalt, concrete, excavated soil and land-clearing debris and a minimum of 65% diversion of other nonhazardous construction and demolition waste.	City of Berkeley <a href="#">BMC Chapter 19.37</a>	At Building Permit Submittal	Building & Safety Division

<b>III. During Construction A. Building &amp; Safety Division</b>		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/Monitoring</u>
1.	<b>Construction Hours.</b> Construction activity shall be limited to between the hours of 7:00 AM and 6:00 PM on Monday through Friday, and between 9:00 AM and 4:00 PM on Saturday. No construction-related activity shall occur on Sunday or any Federal Holiday.	City of Berkeley	During Construction	Building & Safety
2.	<b>Construction Hours- Exceptions.</b> It is recognized that certain construction activities, such as the placement of concrete, must be performed in a continuous manner and may require an extension of these work hours. Prior to initiating any activity that might require a longer period, the developer must notify the Zoning Officer and request an exception for a finite period of time. If the Zoning Officer approves the request, then two weeks prior to the expanded schedule, the developer shall notify businesses and residents within 500 feet of the project site describing the expanded construction hours. A copy of such notice and methodology for distributing the notice shall be provided in advance to the City for review and approval. The project shall not be allowed more than 15 extended working days.	City of Berkeley	During Construction	Building & Safety
3.	<b>Construction / No Parking Permits.</b> Contact the Permit Service Center (PSC) at 1947 Center Street, Third Floor or (510) 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Please note that the Zoning Officer and/or Traffic Engineer may limit off-site parking of construction-related vehicles if necessary to protect the health, safety or convenience of the surrounding neighborhood. <u>A current copy of this Plan shall be available at all times at the construction site for review by City Staff.</u>	City of Berkeley	During Construction	Building & Safety

<b>IV. During Construction B. During Construction: Public Works</b>		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/Monitoring</u>
1.	<b>Site Debris.</b> All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter thick and secured to the ground.	City of Berkeley	During Construction	Public Works

2.	<b>Street &amp; Sidewalk Damages.</b> Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.	City of Berkeley	During Construction	Public Works
3.	<b>Underground Utilities.</b> If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction	City of Berkeley	During Construction	Public Works
4.	<b>Hauling of Debris.</b> Trucks hauling debris, soil, sand, or other loose materials shall be covered or required to maintain at least two feet of board.	City of Berkeley	During Construction	Public Works

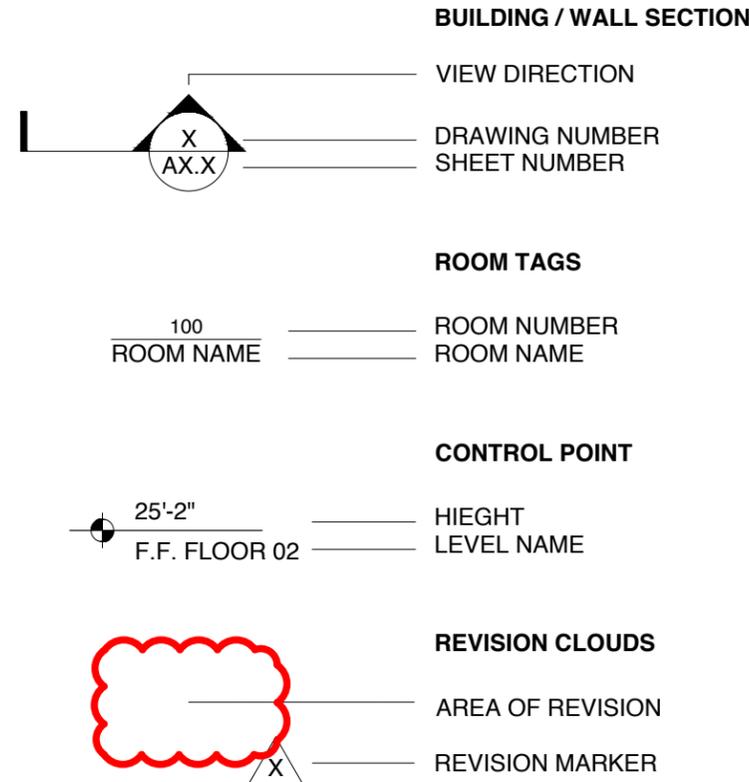
<b>V. Structural Alteration Permit Conditions</b>		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/Monitoring</u>
1.	<b>Repair and replacement of character-defining features.</b> Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old or historic feature in design, color, texture, and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.	City of Berkeley	On-Going	Land Use Planning
2.	<b>Chemical Treatments.</b> With respect to historic resources located on this site or within the propose project area, any chemical treatments needed as construction progresses will be undertaken using the gentlest means possible.	City of Berkeley	On-Going	Land Use Planning
3.	<b>Equipment.</b> Any above ground or roof equipment, such as transformer(s), utilities, fire apparatus, air conditioning units, compressors, etc. shall be shown to scale on the	City of Berkeley	At the Time of Building Permit Submittal	Land Use Planning

	architectural drawings of the building permit set of drawings in both plan and elevation, in order to determine if additional screening and SAP may be required.			
4.	<b>Glass.</b> All glass is assumed to be clear glass. Any proposed glass that is not clear glass, shall be indicated on all drawings, and shall be reviewed for approval by staff.	City of Berkeley	At the Time of Building Permit Submittal	Land Use Planning
5.	<b>Exterior Lighting.</b> Exterior lighting shall be downcast and not cause glare on the public right-of-way and abutting parcels.	City of Berkeley	On-Going	Land Use Planning
6.	<b>Landscaping.</b> The applicant shall provide irrigation for all landscaped areas. This shall be called out on Landscape building permit drawings.	City of Berkeley	At the Time of Building Permit Submittal	Land Use Planning
7.	<b>Window Recessing (added by the LPC).</b> Replacement windows on the west (front) façade, including the wrap-around window at the southwest corner of the second story, shall be recessed to match the depth of the existing window units.	City of Berkeley	At the Time of Building Permit Submittal	Land Use Planning
8.	<b>Entry Awnings (added by the LPC).</b> All replacement awnings shall be installed in-kind, matching the existing awnings in material, dimensions, and appearance.	City of Berkeley	At the Time of Building Permit Submittal	Land Use Planning
9.	<b>Other Permits.</b> The applicant shall be responsible for identifying and securing all applicable permits from the Building and Safety Division and all other affected City divisions/departments prior to the start of work.	City of Berkeley	On-Going	Land Use Planning

PROJECT DATA

<b>BUILDING ADDRESS</b>	2009 TENTH ST BERKELEY, CA 94702	
<b>PROJECT DESCRIPTION</b>	REPLASTERING (E) EXTERIOR WALLS FOR WATERPROOFING IMPROVEMENT, WINDOW REPLACEMENT	
<b>APN PARCEL ID</b>	56-1978-19 056 197801900	
<b>ZONING</b>	R-3	
<b>SETBACKS</b>	FRONT:	15'-0"
	REAR:	15'-0"
SIDES:	4'-0"	
<b>LOT AREA</b>		13,500 SF
<b>BLDG FOOTPRINT</b>	(E) PRIMARY:	7,200 SF (NO CHANGE)
<b>FLOOR AREA</b>	(E) SECOND LEVEL	7,200 SF
	(E) FIRST LEVEL	7,200 SF
	(E) TOTAL	14,400 SF (NO CHANGE)
<b>LOT COVERAGE</b>	MAX ALLOWABLE:	45%
	EXISTING:	53.3% (NO CHANGE)
<b>MAX HEIGHT</b>	MAX ALLOWABLE:	N/A
	EXISTING:	28'-6" (NO CHANGE)
<b>OCCUPANCY</b>	E	
<b>CONSTRUCTION TYPE</b>	V-B	
<b>FIRE ZONE</b>	1	

SYMBOLS



PROJECT DIRECTORY

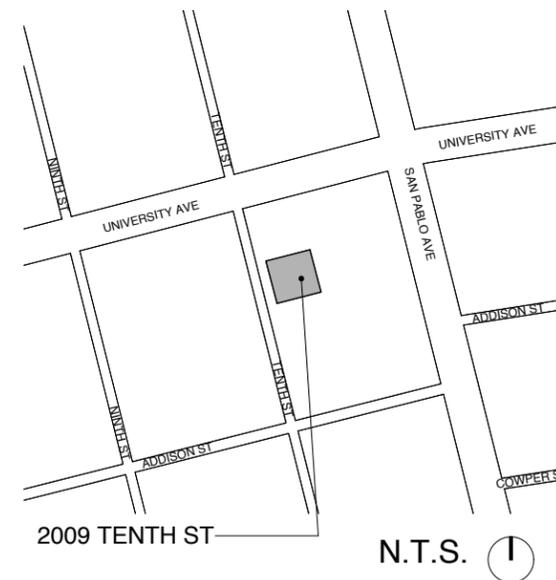
**OWNER**  
YMCA Headstart  
2009 Tenth St  
Berkeley, CA 94702

**ARCHITECT**  
Sidell Pakravan Architects  
2445 Sixth Street  
Berkeley, CA 94710  
510 984 0904  
info@sidellpakravan.com

DRAWING INDEX

<b>ARCHITECTURAL</b>	
A0.01	COVER SHEET AND PROJECT INFORMATION
A0.02	TABULATION FORM
A0.03	PHOTOS
A1.00	(E) SITE PLAN
A1.01	PROPOSED SITE PLAN
A1.02	(E) PLANS
A1.03	(E) PLANS
A1.04	ROOF PLAN
A2.00	(E) ELEVATIONS
A2.01	(E) ELEVATIONS
A2.02	PROPOSED ELEVATIONS
A2.03	PROPOSED ELEVATIONS
A4.00	COLORS AND MATERIALS
A5.00	DETAILS
A6.00	WINDOW SCHEDULE

VICINITY MAP



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ARCHITECTS

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info@sidellpakravan.com

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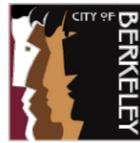
PROJECT NO. DATE  
24008 01.15.2025

**YMCA  
HEAD START**

2009 TENTH ST  
BERKELEY, CA 94710

SHEET TITLE  
COVER PAGE

**A0.01**  
SHEET NO.



# PLANNING & DEVELOPMENT

Land Use Planning, 1947 Center Street, Berkeley, CA 94704  
 Tel: 510.981.7410 TDD: 510.981.6903 Email: Planning@CityofBerkeley.info

## TABULATION FORM

Project Address: 2009 TENTH ST, BERKELEY, CA 94702 Date: 01/14/25

Applicant's Name: SIDELL PAKRAVAN ARCHITECTS

Zoning District: R-3

Please print in ink the following numerical information for your Administrative Use Permit, Use Permit, or Variance application:

	<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required<sup>1</sup></i>
<b>Units, Parking Spaces &amp; Bedrooms</b>			
Number of Dwelling Units (#)	N/A	N/A	N/A
Number of Parking Spaces (#)	N/A	N/A	N/A
Number of Bedrooms (#) (R-1, R-1A, R-2, R-2A, and R-3 only)	N/A	N/A	N/A
<b>Yards and Height</b>			
Front Yard Setback (Feet)	8'-0"	NO CHANGE	15'-0"
Side Yard Setbacks: (facing property)	Left: (Feet)	5'-0"	4'-0"
	Right: (Feet)	9'-6"	4'-0"
Rear Yard Setback (Feet)	41'-0"	NO CHANGE	15'-0"
Building Height* (# Stories)	2	NO CHANGE	3 MAX
Average* (Feet)	28'-6"	NO CHANGE	N/A
Maximum* (Feet)	28'-6"	NO CHANGE	35'-0"
<b>Areas</b>			
Lot Area (Square-Feet)	13,500 SF	NO CHANGE	5,000 SF MIN
Gross Floor Area* (Square-Feet) Total Area Covered by All Floors	14,400 SF	NO CHANGE	N/A
Building Footprint* (Square-Feet) Total of All Structures	7,200 SF	NO CHANGE	N/A
Lot Coverage* (%) Residential districts only (Building Footprint/Lot Area)	53.5%	NO CHANGE	45%
Useable Open Space* (Square-Feet)	5,722 SF	NO CHANGE	N/A
Floor Area Ratio* Non-Residential districts only (Except ES-R)	N/A	N/A	N/A

\*See Glossary – [BMC Chapter 23.502](#).

Revised: 12/21

<sup>1</sup> See development standards for the Zoning District, per the Berkeley Municipal Code, Chapters [23.202](#) and [23.204](#)  
 g:\landuse\forms & instructions\land use planning forms\word files\forms\_zoning project application\december 2021- bzo related\zoning project application\_tabulation form.docx

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info@sidellpakravan.com

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PROJECT NO. DATE  
24008 01.15.2025

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BERKELEY, CA 94710

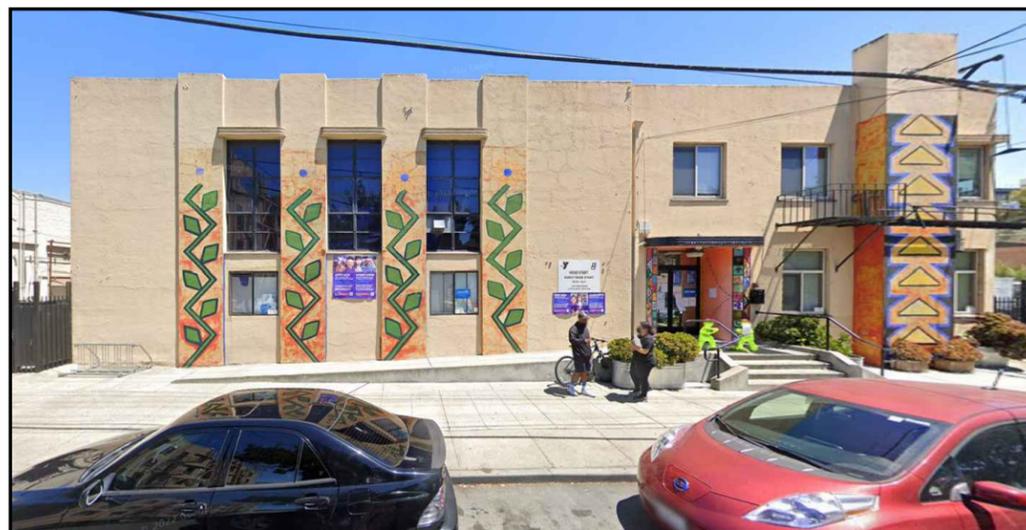
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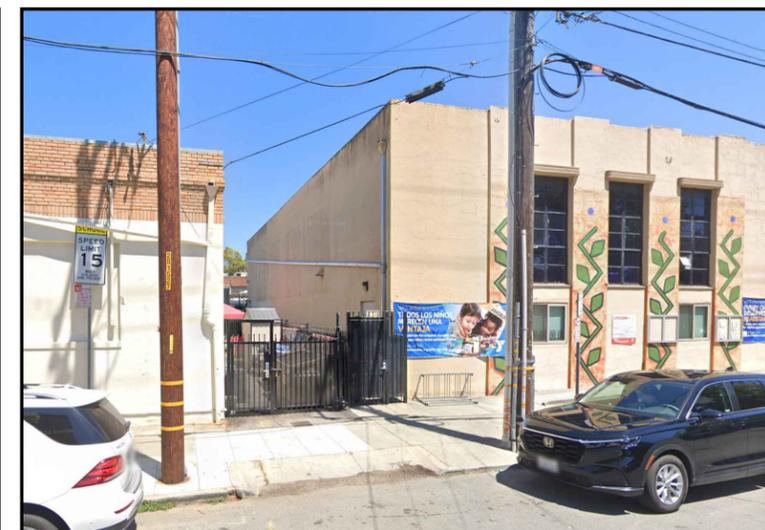
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info@sidellpakravan.com

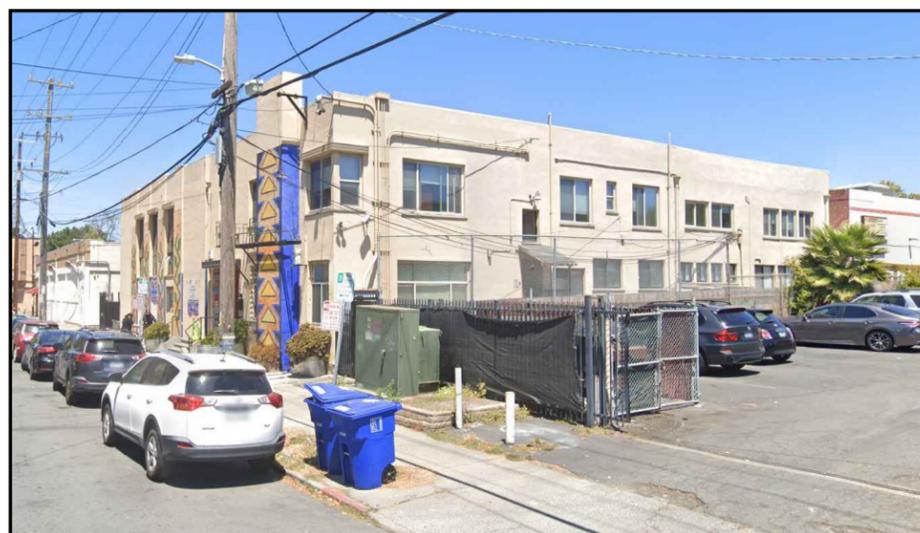
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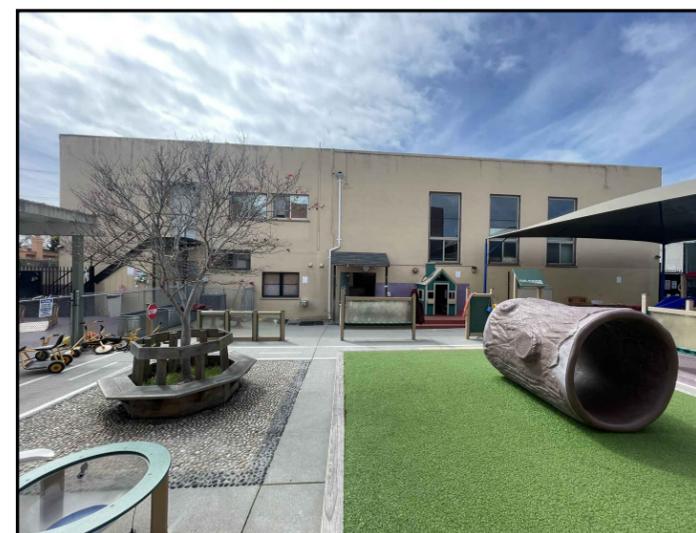
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2: WEST ELEVATION

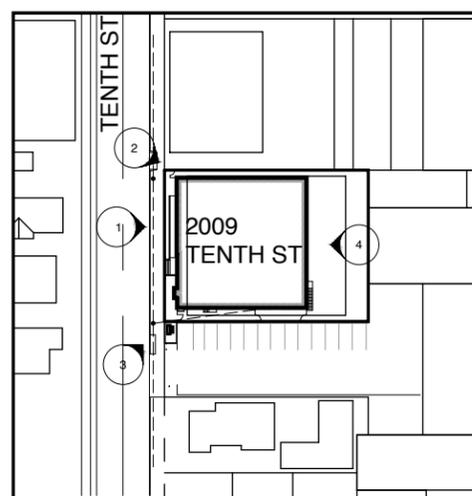


3: SOUTH ELEVATION



4: EAST ELEVATION

LOCATION KEY



N.T.S. (1)

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PROJECT NO. 24008 DATE 01.15.2025

YMCA  
HEAD START

2009 TENTH ST  
BERKELEY, CA 94710

SHEET TITLE  
EXISTING PHOTOS

A0.03  
SHEET NO.

1048 UNIVERSITY AVE.

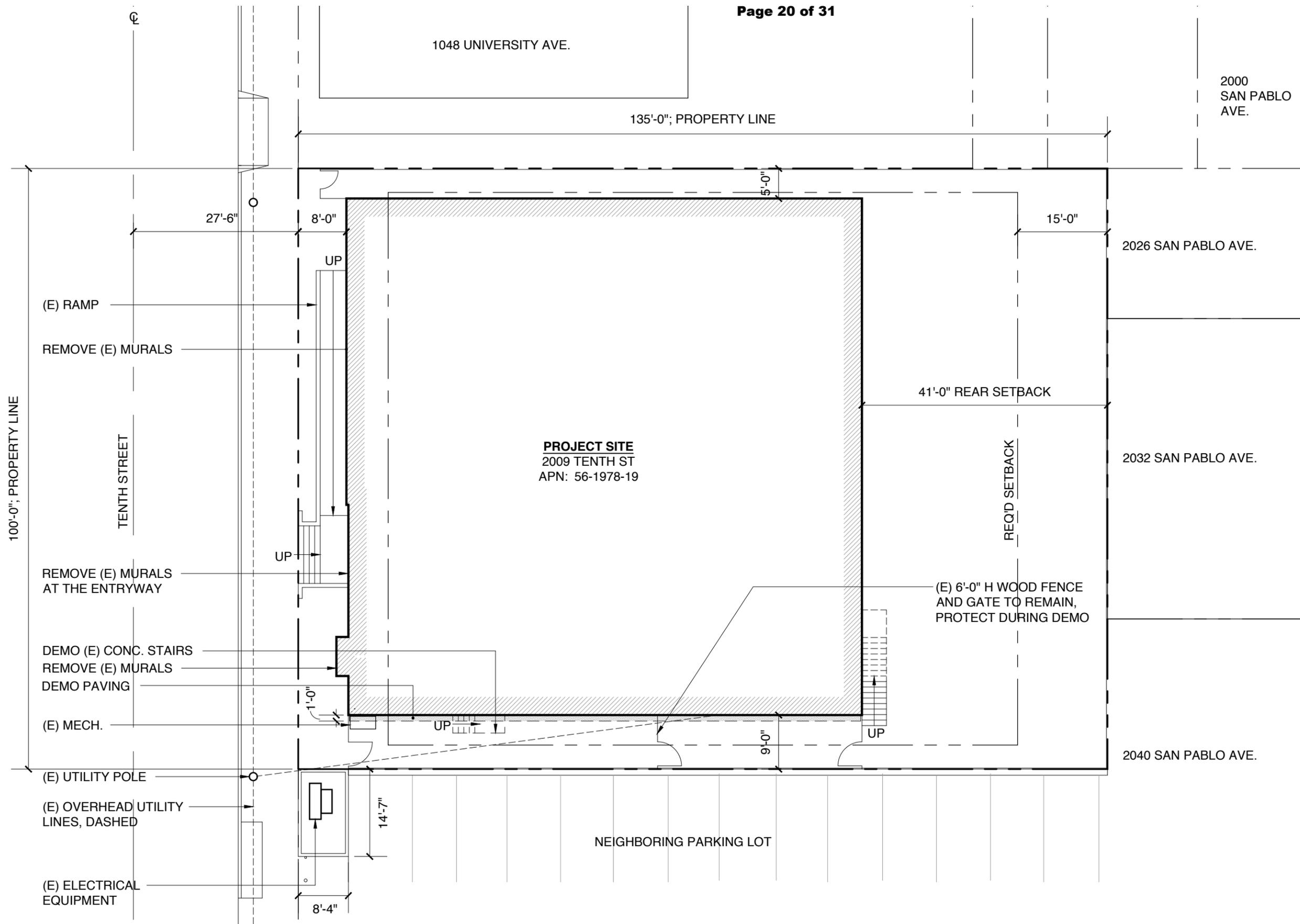
135'-0"; PROPERTY LINE

2000  
SAN PABLO  
AVE.

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info@sidellpakravan.com

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**PROJECT SITE**  
209 TENTH ST  
APN: 56-1978-19

41'-0" REAR SETBACK

REQ'D SETBACK

(E) 6'-0" H WOOD FENCE  
AND GATE TO REMAIN,  
PROTECT DURING DEMO

NEIGHBORING PARKING LOT

DRAWN CHECKED  
CJ VM

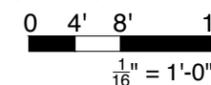
PROJECT NO. DATE  
24008 01.15.2025

# YMCA HEAD START

209 TENTH ST  
BERKELEY, CA 94710

SHEET TITLE  
EXISTING SITE PLAN

1: EXISTING SITE PLAN



# A1.00

SHEET NO.

1048 UNIVERSITY AVE.

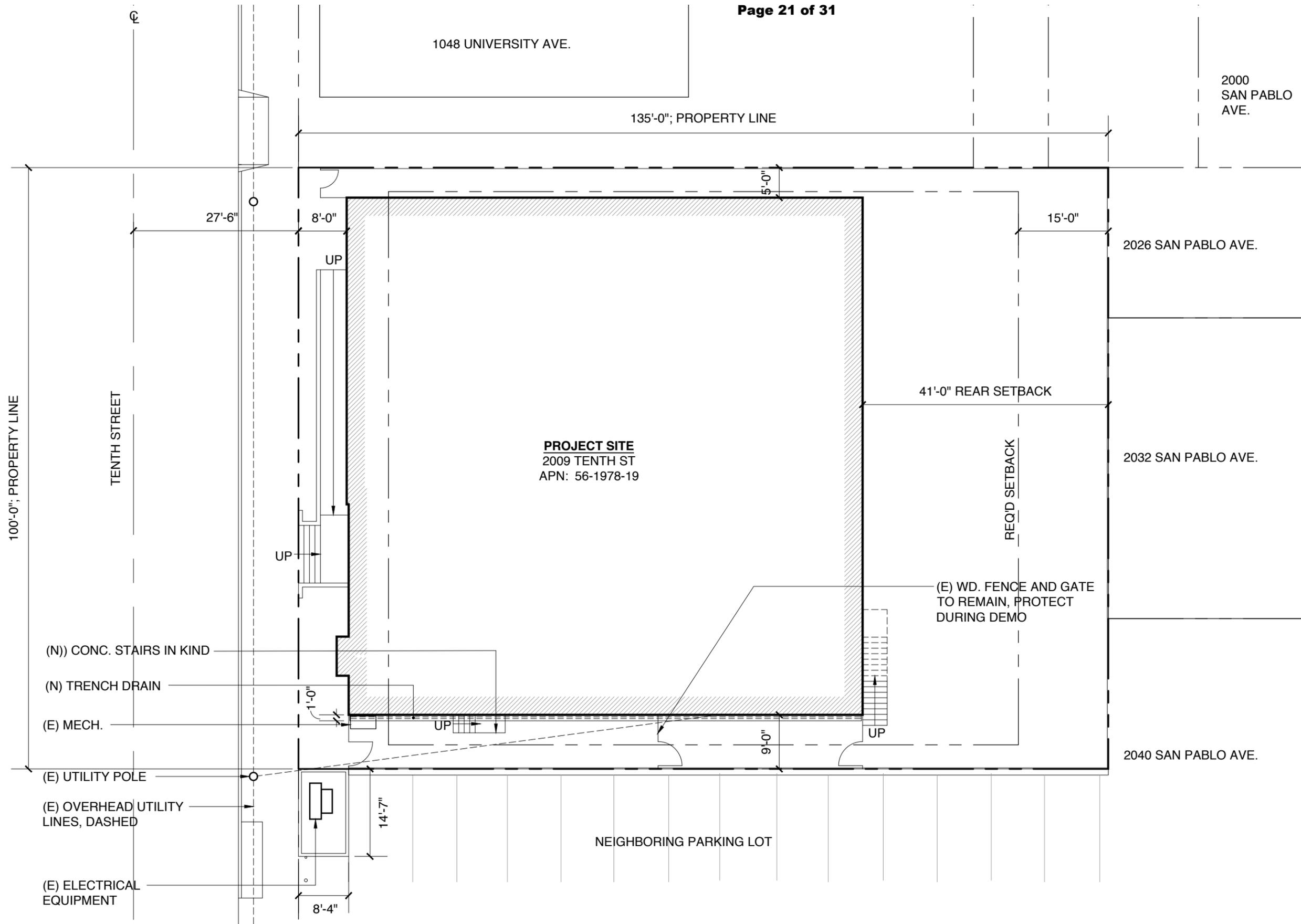
135'-0"; PROPERTY LINE

2000  
SAN PABLO  
AVE.

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**PROJECT SITE**  
209 TENTH ST  
APN: 56-1978-19

41'-0" REAR SETBACK

REQ'D SETBACK

(E) WD. FENCE AND GATE  
TO REMAIN, PROTECT  
DURING DEMO

(N) CONC. STAIRS IN KIND

(N) TRENCH DRAIN

(E) MECH.

(E) UTILITY POLE

(E) OVERHEAD UTILITY  
LINES, DASHED

(E) ELECTRICAL  
EQUIPMENT

2026 SAN PABLO AVE.

2032 SAN PABLO AVE.

2040 SAN PABLO AVE.

NEIGHBORING PARKING LOT

DRAWN CHECKED  
CJ VM

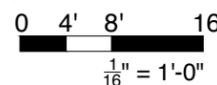
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24008 01.15.2025

**YMCA  
HEAD START**

209 TENTH ST  
BERKELEY, CA 94710

SHEET TITLE  
PROPOSED SITE  
PLAN

1: PROPOSED SITE PLAN



**A1.01**  
SHEET NO.

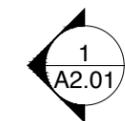
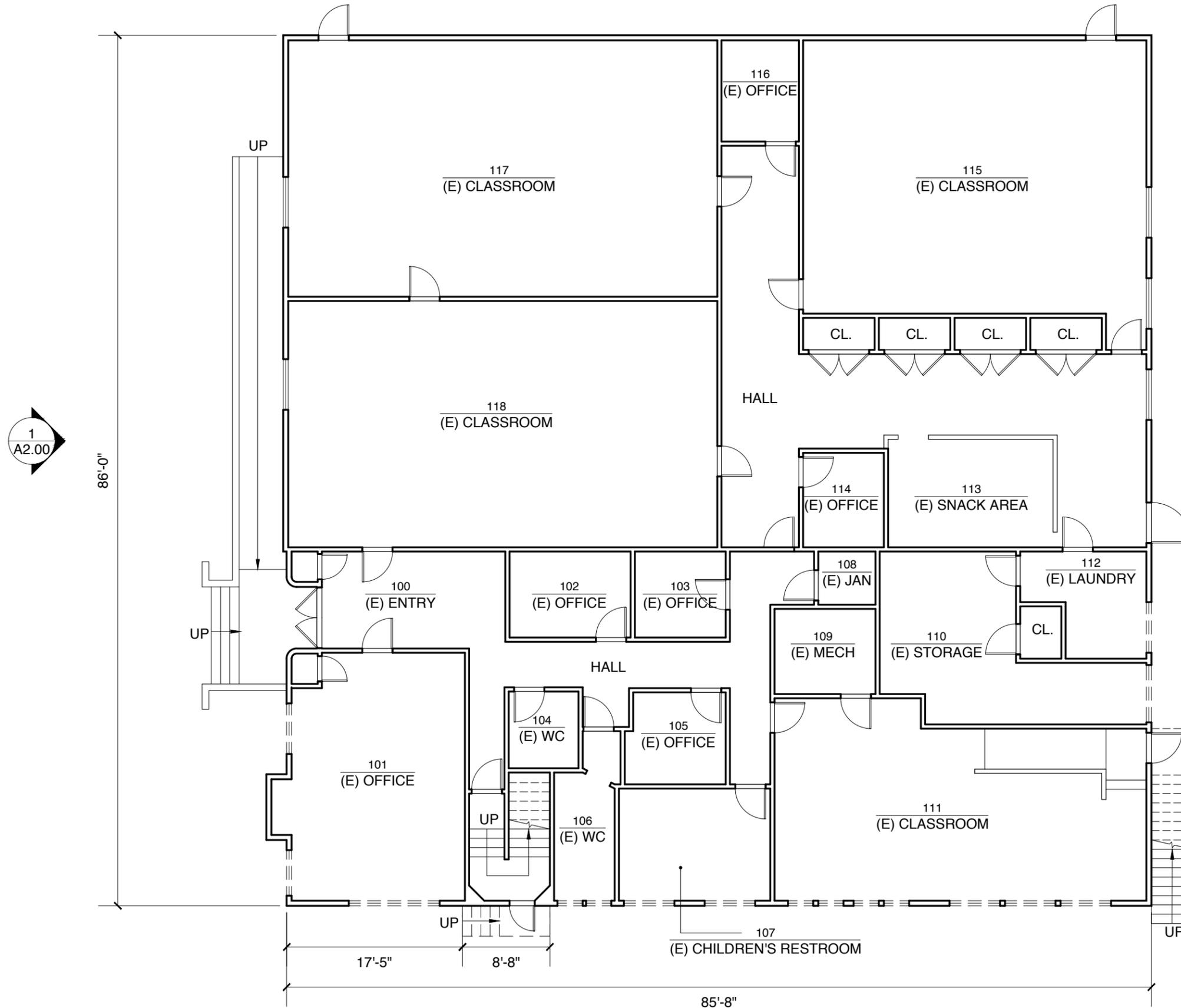
NOTES

1. NO INTERIOR SCOPE, ALL INTERIOR WALLS TO REMAIN.

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info@sidellpakravan.com

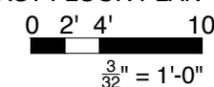
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LEGEND

SYMBOL	TYPE
	(E) TO DEMO
	(E) WALLS

1: (E) FIRST FLOOR PLAN



DRAWN CJ CHECKED VM

PROJECT NO. 24008 DATE 01.15.2025

**YMCA HEAD START**

2009 TENTH ST  
BERKELEY, CA 94710

SHEET TITLE  
**FIRST FLOOR EXISTING + DEMO PLANS**

**A1.02**  
SHEET NO.

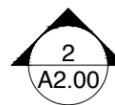
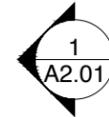
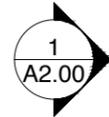
NOTES

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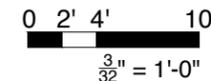
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LEGEND

SYMBOL	TYPE
	(E) TO DEMO
	(E) WALLS

1: (E) SECOND FLOOR PLAN



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PROJECT NO. 24008 DATE 01.15.2025

**YMCA HEAD START**

2009 TENTH ST  
BERKELEY, CA 94710

SHEET TITLE  
**SECOND FLOOR EXISTING + DEMO PLANS**

**A1.03**  
SHEET NO.

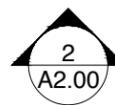
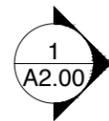
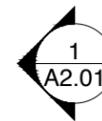
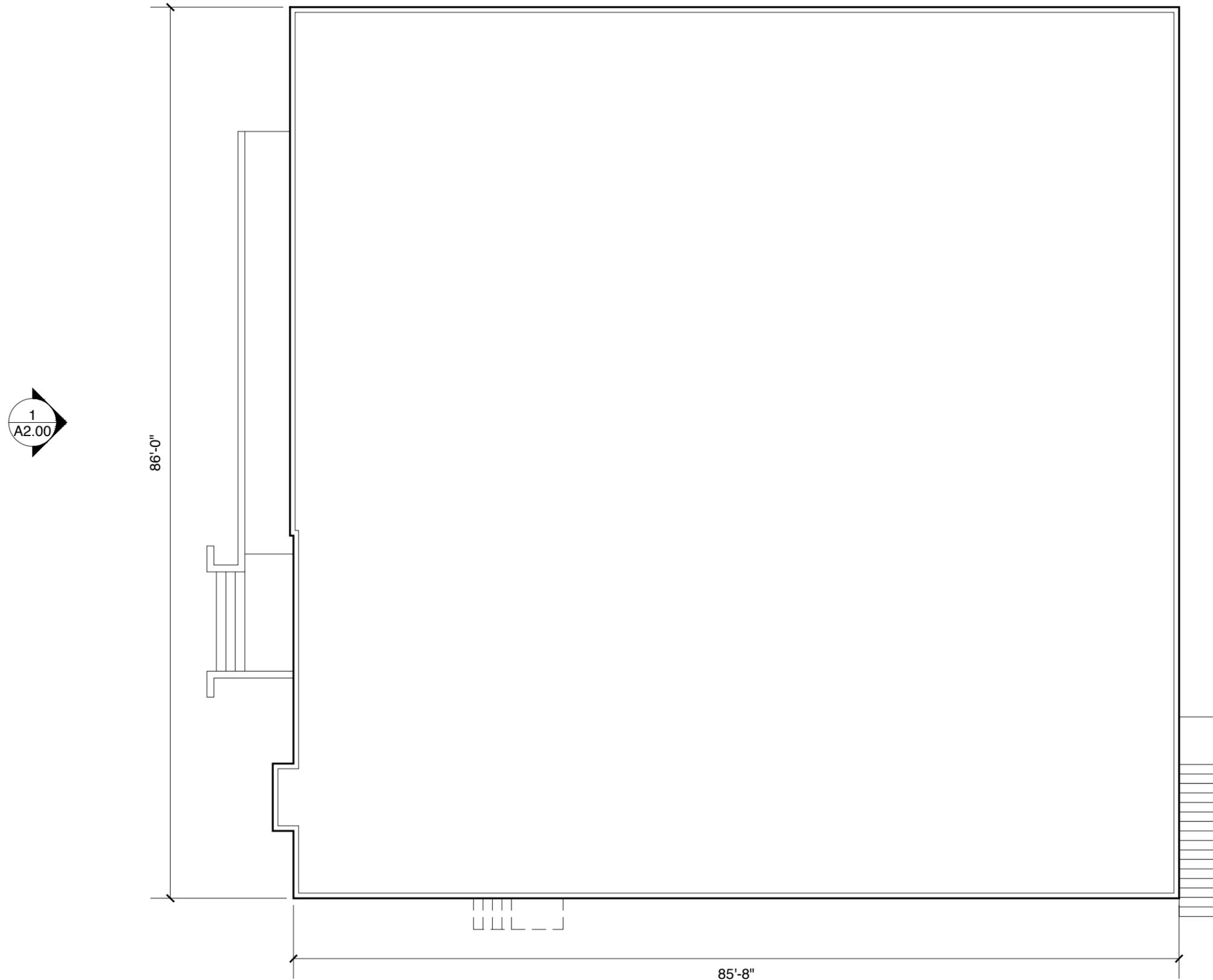
NOTES

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LEGEND

SYMBOL	TYPE
	(E) TO DEMO
	(E) WALLS

1: ROOF PLAN  
 0 2' 4' 10'  
 $\frac{3}{32}'' = 1'-0''$



DRAWN CJ  
 CHECKED VM

PROJECT NO. 24008  
 DATE 01.15.2025

YMCA  
 HEAD START

2009 TENTH ST  
 BERKELEY, CA 94710

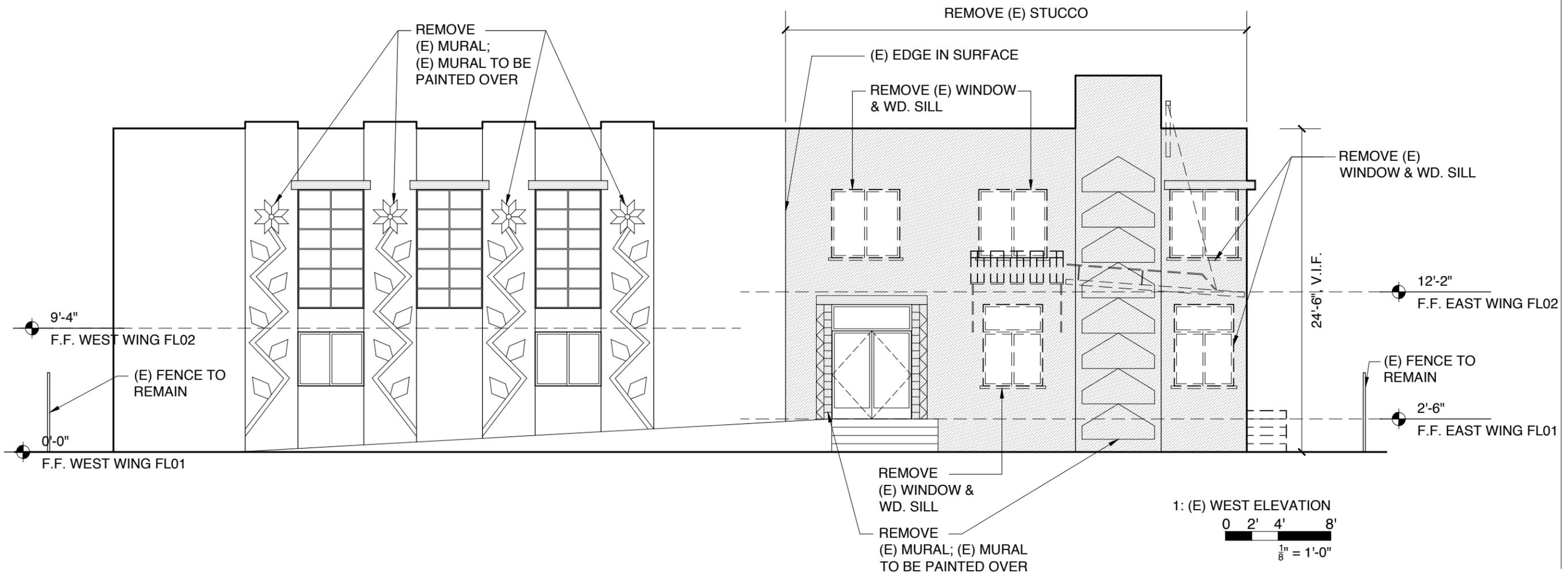
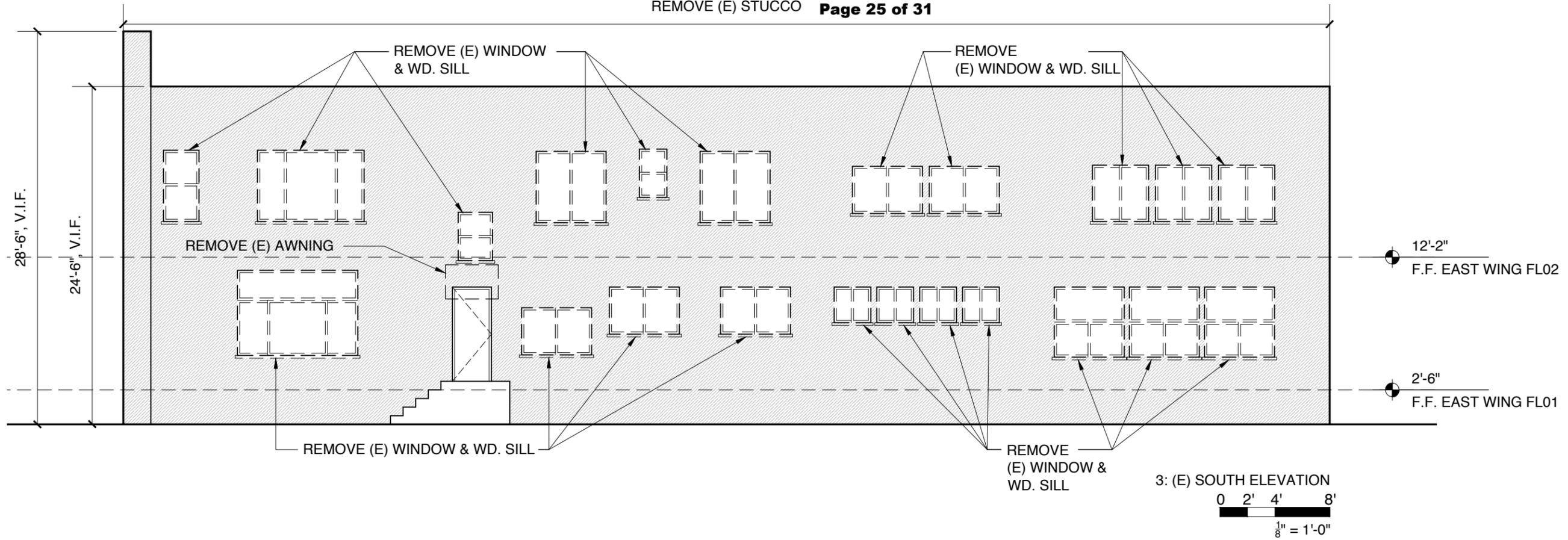
SHEET TITLE  
 ROOF PLAN

A1.04  
 SHEET NO.

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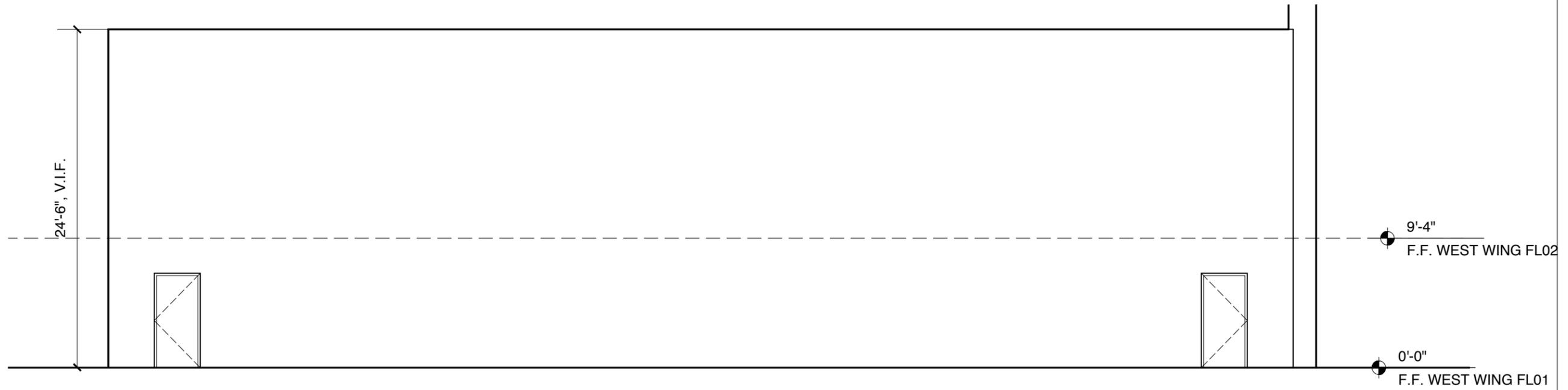
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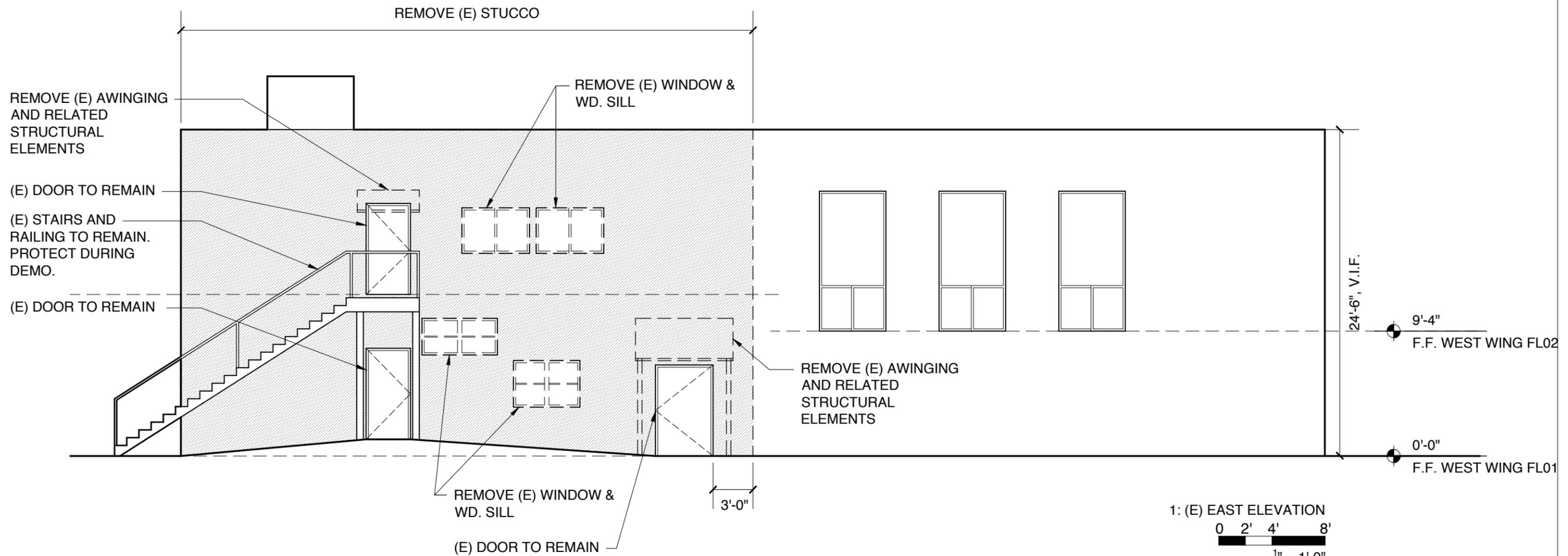
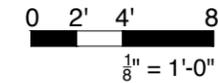
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**EXISTING ELEVATIONS**

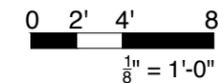
**A2.00**  
SHEET NO.



2: (E) NORTH ELEVATION



1: (E) EAST ELEVATION



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PROJECT NO. 24008 DATE 01.15.2025

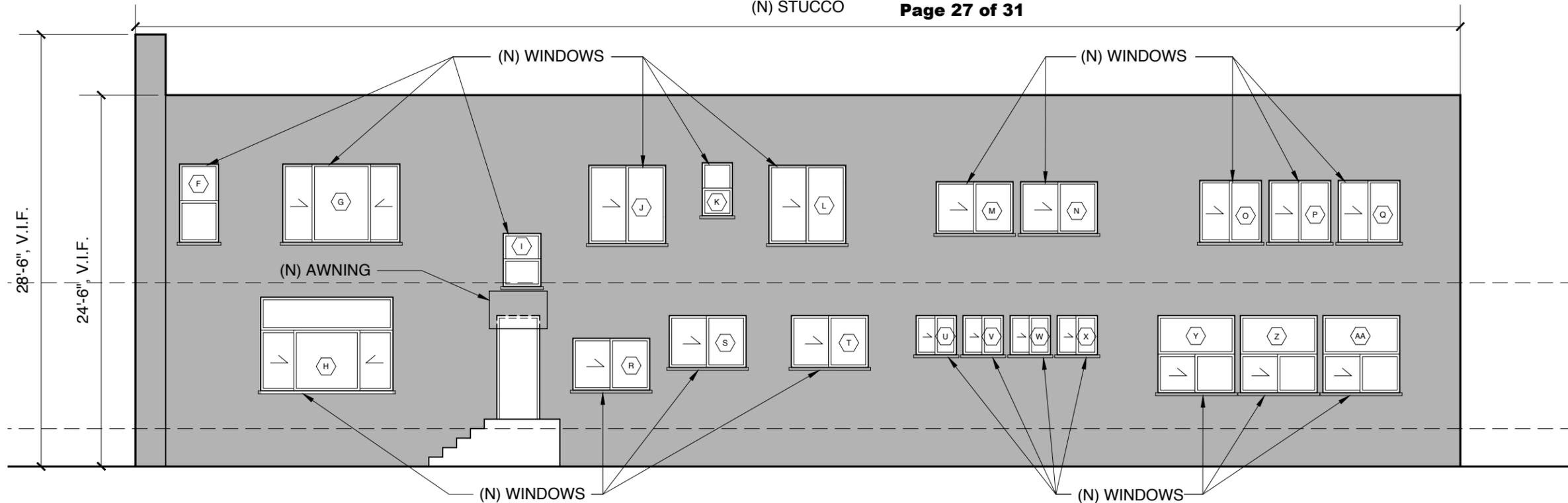
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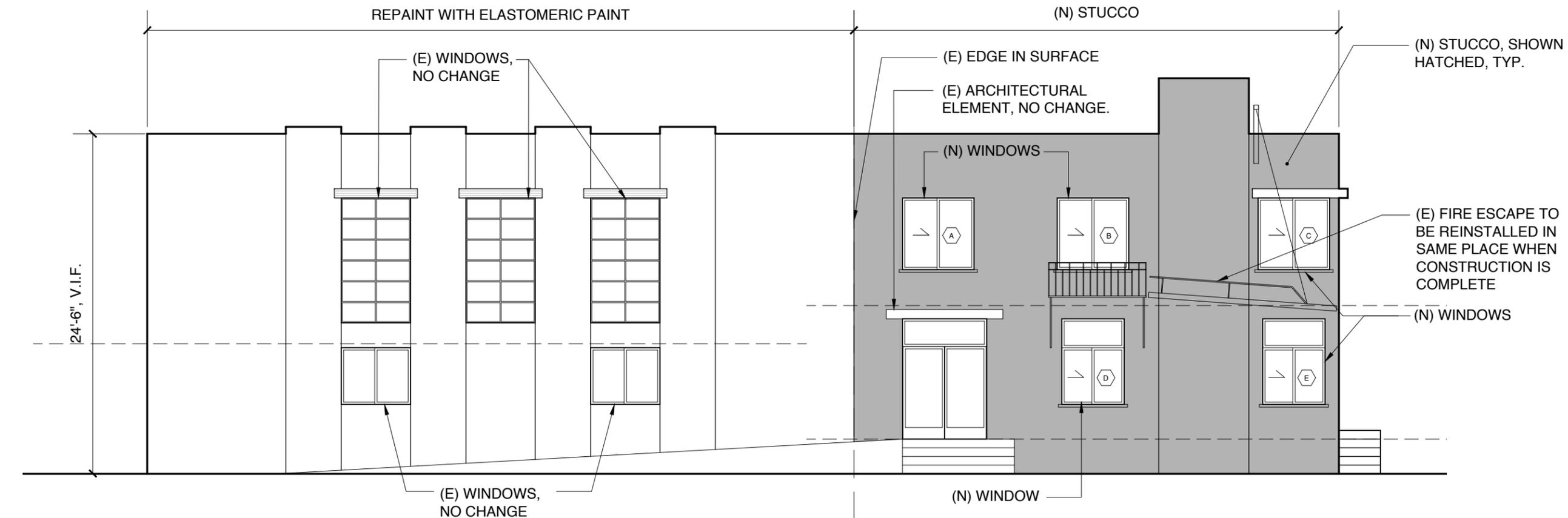
SHEET TITLE  
EXISTING ELEVATIONS

# A2.01

SHEET NO.



3: SOUTH ELEVATION  
 0 2' 4' 8'  
 $\frac{1}{8}'' = 1'-0''$



1: WEST ELEVATION  
 0 2' 4' 8'  
 $\frac{1}{8}'' = 1'-0''$

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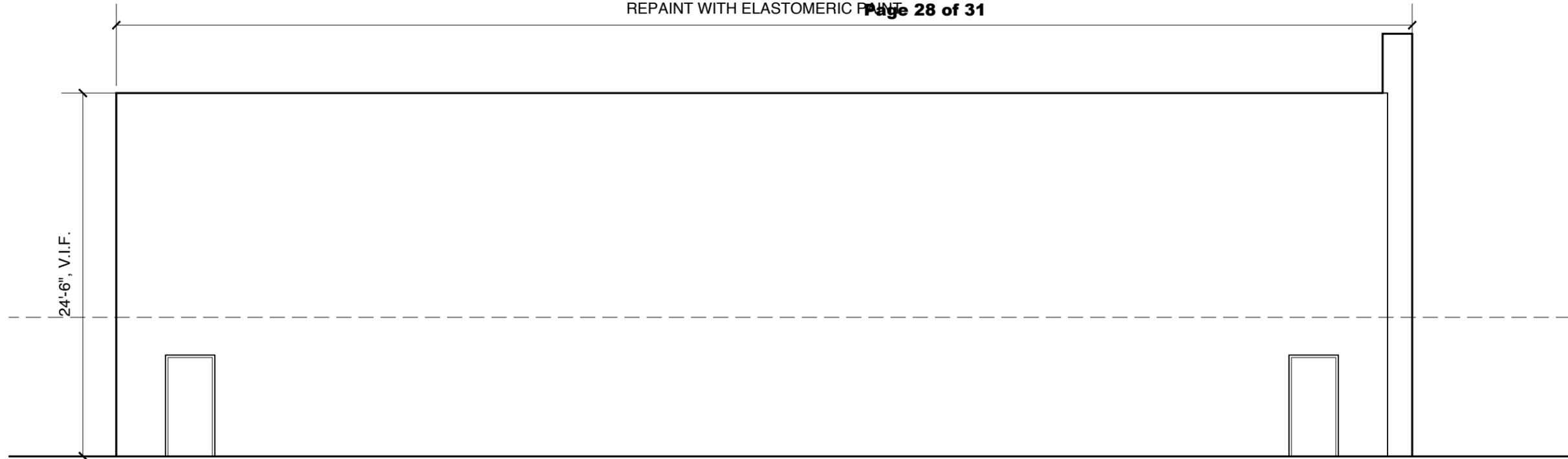
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**A2.02**  
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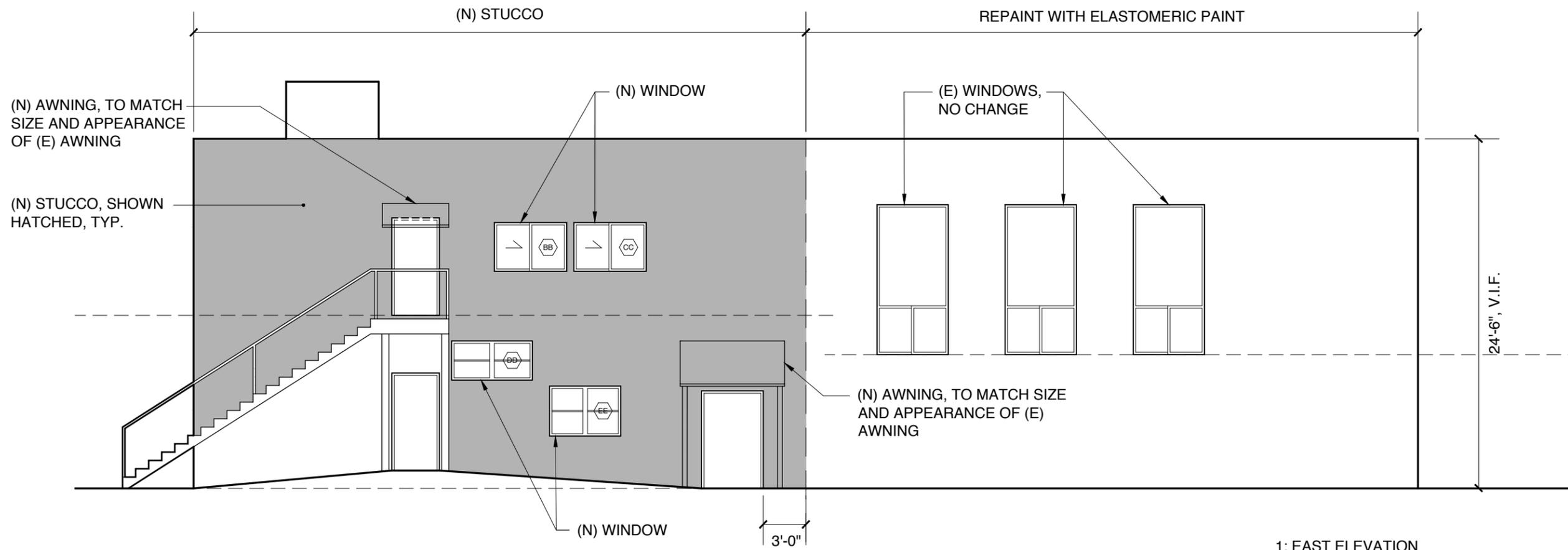
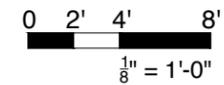
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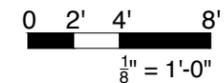
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2: NORTH ELEVATION



1: EAST ELEVATION



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CJ VM

PROJECT NO. DATE  
24008 01.15.2025

**YMCA  
HEAD START**

2009 TENTH ST  
BERKELEY, CA 94710

SHEET TITLE  
**PROPOSED  
ELEVATIONS**

**A2.03**  
SHEET NO.

EXISTING EXTERIOR FROM STREET



PROPOSED EXTERIOR FROM STREET



ACCENT PAINT

(N) FIBERGLASS WINDOW WITH BRONZE FINISH



REPAINT COLOR TO BE WARM WHITE



ACCENT PAINT TO BE IN LIGHT GREEN



FIBERGLASS WINDOW FINISH IN BRONZE

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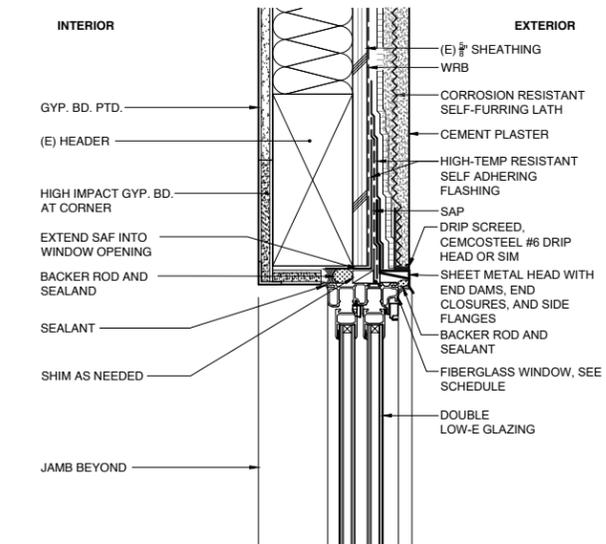
PROJECT NO. 24008 DATE 01.15.2025

YMCA HEAD START

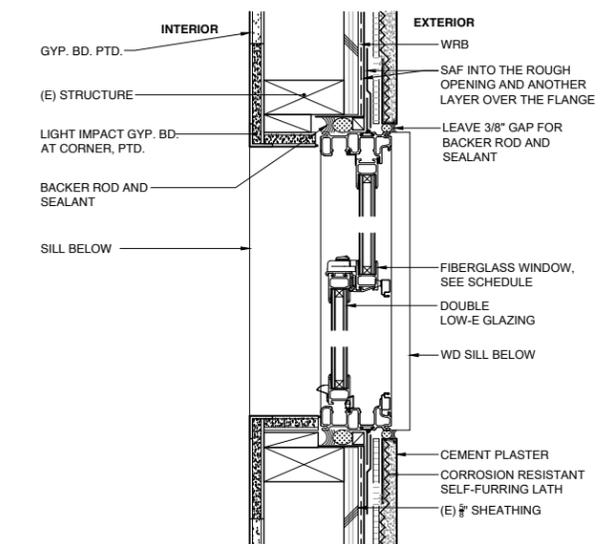
2009 TENTH ST  
BERKELEY, CA 94710

SHEET TITLE  
COLORS AND MATERIALS

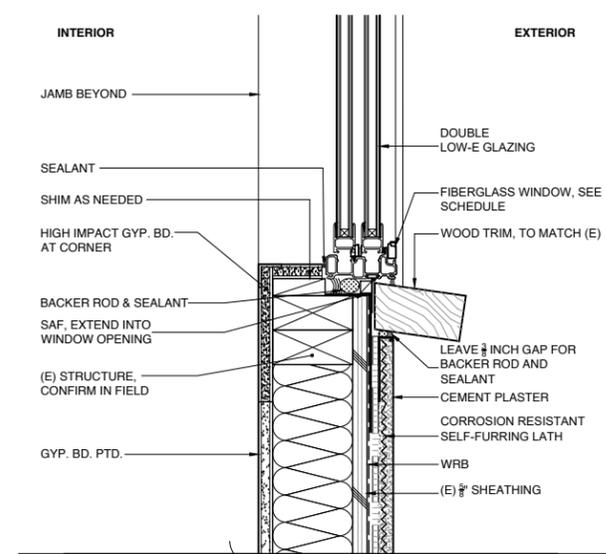
A4.00  
SHEET NO.



WINDOW HEAD DETAIL: CEMENT PLASTER  
SECTION 1/4" = 1'-0"



WINDOW JAMB DETAIL: CEMENT PLASTER  
PLAN 1/4" = 1'-0"



WINDOW SILL DETAIL: CEMENT PLASTER  
SECTION 1/4" = 1'-0"

\* NOTES: FRAME WINDOW TOWARD EXTERIOR FACE OF WALL TO MAINTAIN WATER PROOFING INTEGRITY.

DRAWN CJ CHECKED VM

PROJECT NO. 24008 DATE 01.15.2025

YMCA HEAD START

2009 TENTH ST  
BERKELEY, CA 94710

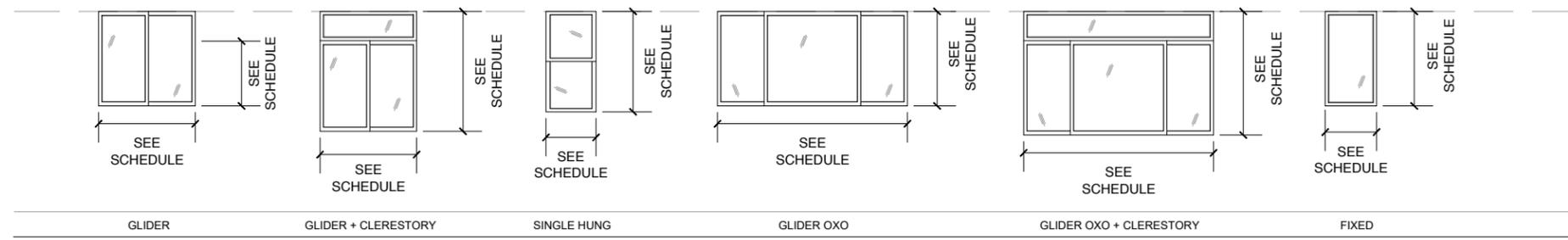
SHEET TITLE  
DETAILS

A5.00  
SHEET NO.

WINDOW MARK	MANUFACTURER & LINE	UNIT FRAME SIZE (WxH)	ESCAPE	HEAD HT AFF	MATERIAL		FINISH		OPERATION	GLAZING		LITES	SCREEN	HARDWARE		DETAIL			NOTES
					EXTERIOR	INTERIOR	EXTERIOR	INTERIOR		ENERGY RATING	SAFETY RATING*			TYPE	FINISH	HEAD	SILL	JAMB	
A	MARVIN: ESSENTIALS	5'-1" x 5'-2"	-	7'-8"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER			NONE	-	PER MANUF.	-	-	-	-	
B	MARVIN: ESSENTIALS	5'-1" x 5'-2"	-	7'-8"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER			NONE	-	PER MANUF.	-	-	-	-	
C	MARVIN: ESSENTIALS	5'-2" x 5'-2"	-	7'-9"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER			NONE	-	PER MANUF.	-	-	-	-	
D	MARVIN: ESSENTIALS	4'-6" x 6'-2"	-	8'-8"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER + FIXED CLERESTORY			NONE	-	PER MANUF.	-	-	-	-	
E	MARVIN: ESSENTIALS	4'-6" x 6'-2"	-	8'-8"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER + FIXED CLERESTORY			NONE	-	PER MANUF.	-	-	-	-	
F	MARVIN: ESSENTIALS	2'-7" x 5'-2"	-	7'-9"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	SINGLE HUNG			NONE	-	PER MANUF.	-	-	-	-	
G	MARVIN: ESSENTIALS	7'-9" x 5'-1"	-	7'-9"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER - OXO			NONE	-	PER MANUF.	-	-	-	-	
H	MARVIN: ESSENTIALS	8'-9" x 6'-2"	-	8'-8"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER OXO + CLERESTORY			NONE	-	PER MANUF.	-	-	-	-	
I	MARVIN: ESSENTIALS	2'-6" x 3'-6"	-	N/A	FIBERGLASS	FIBERGLASS	BRONZE	TBD	FIXED			NONE	-	PER MANUF.	-	-	-	-	
J	MARVIN: ESSENTIALS	5'-1" x 5'-2"	-	7'-8"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER			NONE	-	PER MANUF.	-	-	-	-	
K	MARVIN: ESSENTIALS	1'-9" x 3'-6"	-	7'-10"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	FIXED			NONE	-	PER MANUF.	-	-	-	-	
L	MARVIN: ESSENTIALS	5'-1" x 5'-2"	-	7'-8"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER			NONE	-	PER MANUF.	-	-	-	-	
M	MARVIN: ESSENTIALS	5'-1" x 3'-5"	-	6'-7"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER			NONE	-	PER MANUF.	-	-	-	-	
N	MARVIN: ESSENTIALS	5'-1" x 3'-5"	-	6'-7"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER			NONE	-	PER MANUF.	-	-	-	-	
O	MARVIN: ESSENTIALS	4'-1" x 4'-1"	-	6'-8"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER			NONE	-	PER MANUF.	-	-	-	-	
P	MARVIN: ESSENTIALS	4'-1" x 4'-1"	-	6'-8"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER			NONE	-	PER MANUF.	-	-	-	-	
Q	MARVIN: ESSENTIALS	4'-1" x 4'-1"	-	6'-8"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER			NONE	-	PER MANUF.	-	-	-	-	
R	MARVIN: ESSENTIALS	5'-1" x 3'-5"	-	8'-3"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER			NONE	-	PER MANUF.	-	-	-	-	
S	MARVIN: ESSENTIALS	5'-1" x 3'-5"	-	9'-7"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER			NONE	-	PER MANUF.	-	-	-	-	
T	MARVIN: ESSENTIALS	5'-1" x 3'-5"	-	9'-7"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER			NONE	-	PER MANUF.	-	-	-	-	
U	MARVIN: ESSENTIALS	2'-8" x 2'-7"	-	9'-4"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER			NONE	-	PER MANUF.	-	-	-	-	
V	MARVIN: ESSENTIALS	2'-8" x 2'-7"	-	9'-4"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER			NONE	-	PER MANUF.	-	-	-	-	
W	MARVIN: ESSENTIALS	2'-8" x 2'-7"	-	9'-4"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER			NONE	-	PER MANUF.	-	-	-	-	
X	MARVIN: ESSENTIALS	2'-8" x 2'-7"	-	9'-4"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER			NONE	-	PER MANUF.	-	-	-	-	
Y	MARVIN: ESSENTIALS	5'-1" x 5'-1"	-	9'-0"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER + CLERESTORY			NONE	-	PER MANUF.	-	-	-	-	
Z	MARVIN: ESSENTIALS	5'-1" x 5'-1"	-	9'-0"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER + CLERESTORY			NONE	-	PER MANUF.	-	-	-	-	
AA	MARVIN: ESSENTIALS	5'-1" x 5'-1"	-	9'-0"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER + CLERESTORY			NONE	-	PER MANUF.	-	-	-	-	
BB	MARVIN: ESSENTIALS	5'-1" x 3'-5"	-	6'-6"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER			NONE	-	PER MANUF.	-	-	-	-	
CC	MARVIN: ESSENTIALS	5'-1" x 3'-5"	-	6'-6"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	GLIDER			NONE	-	PER MANUF.	-	-	-	-	
DD	MARVIN: ESSENTIALS	5'-8" x 2'-9"	-	9'-1"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	FIXED			NONE	-	PER MANUF.	-	-	-	-	
EE	MARVIN: ESSENTIALS	5'-1" x 3'-6"	-	6'-8"	FIBERGLASS	FIBERGLASS	BRONZE	TBD	FIXED			NONE	-	PER MANUF.	-	-	-	-	

\*NONE = NO SAFETY RATING.  
 TEMPERED = BOTH PANE'S TEMPERED.  
 WU1 = AT LEAST ONE PANE MUST BE TEMPERED PER CBC SEC 2406 - MUST BE IDENTIFIED W/ ETCHED LABEL

WINDOW SCHEDULE  
 UNIT DIMENSIONS ARE NOMINAL. CONTRACTOR TO VERIFY MANUFACTURERS' ACTUAL UNIT DIMENSIONS



GLIDER      GLIDER + CLERESTORY      SINGLE HUNG      GLIDER OXO      GLIDER OXO + CLERESTORY      FIXED

WINDOW TYPES

\* UNIT DIMENSIONS ARE NOMINAL, CONTRACTOR TO VERIFY MANUFACTURERS' ACTUAL UNIT DIMENSIONS

**SIDELL PAKRAVAN ARCHITECTS**  
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DRAWN CJ      CHECKED VM

PROJECT NO. 24008      DATE 01.15.2025

**YMCA HEAD START**

2009 TENTH ST  
 BERKELEY, CA 94710

SHEET TITLE  
 WINDOW SCHEDULE

**A6.00**  
 SHEET NO.

