

ZONING ADJUSTMENTS BOARD – STAFF REPORT

FOR BOARD ACTION

JULY 24, 2025

2309 Parker Street

Use Permit Modification #ZP2025-0015 to modify the Use Permit originally approved under #ZP2023-0141 to construct a 45-square-foot, one-story residential addition with a roof balcony at the rear of the duplex, above 14 feet in average height (15 feet, 2 inches) on a lot non-conforming for density. The modified project proposes to construct a 64-square-foot upper floor addition above 14 feet in average height (22 feet, 2 inches) and revise the rear roof design.

I. Background

A. Land Use Designations:

- General Plan: MDR- Medium Density Residential
- Zoning District: R-2A- Restricted Multiple-Family Residential

B. Zoning Permits required for the original Use Permit #ZP2023-0141:

- Use Permit pursuant to Berkeley Municipal Code (BMC) Section 23.324.050 (D) “Expansion and Alteration” to construct an addition to and/or enlargement of a building on a lot that exceeds the maximum residential density
- Administrative Use Permit pursuant to BMC Section 23.202.090(D) to construct a residential addition over 14 feet in average height

C. Zoning Permits required for the Use Permit Modification:

- Use Permit pursuant to Berkeley Municipal Code (BMC) Section 23.404.070 (B) to modify an approved discretionary permit

D. CEQA Recommendation:

It is staff’s recommendation to the Zoning Adjustments Board that the project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code Section 21000, et seq. and California Code of Regulations, Section 15000, et seq.) pursuant to CEQA Guidelines Section 15301 (“Existing Facilities”).

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E. Project Recommendation:

Approval. The project is consistent with the Zoning Ordinance and General Plan.

F. Parties Involved:

- Applicant: Stephen Swearingen, 490 Lake Park Ave #10657, Oakland
- Property Owner: Kevin Kaatz and Doug McCulloch, 2309 Parker Street, Berkeley

Figure 1: Vicinity and Zoning Districts Map

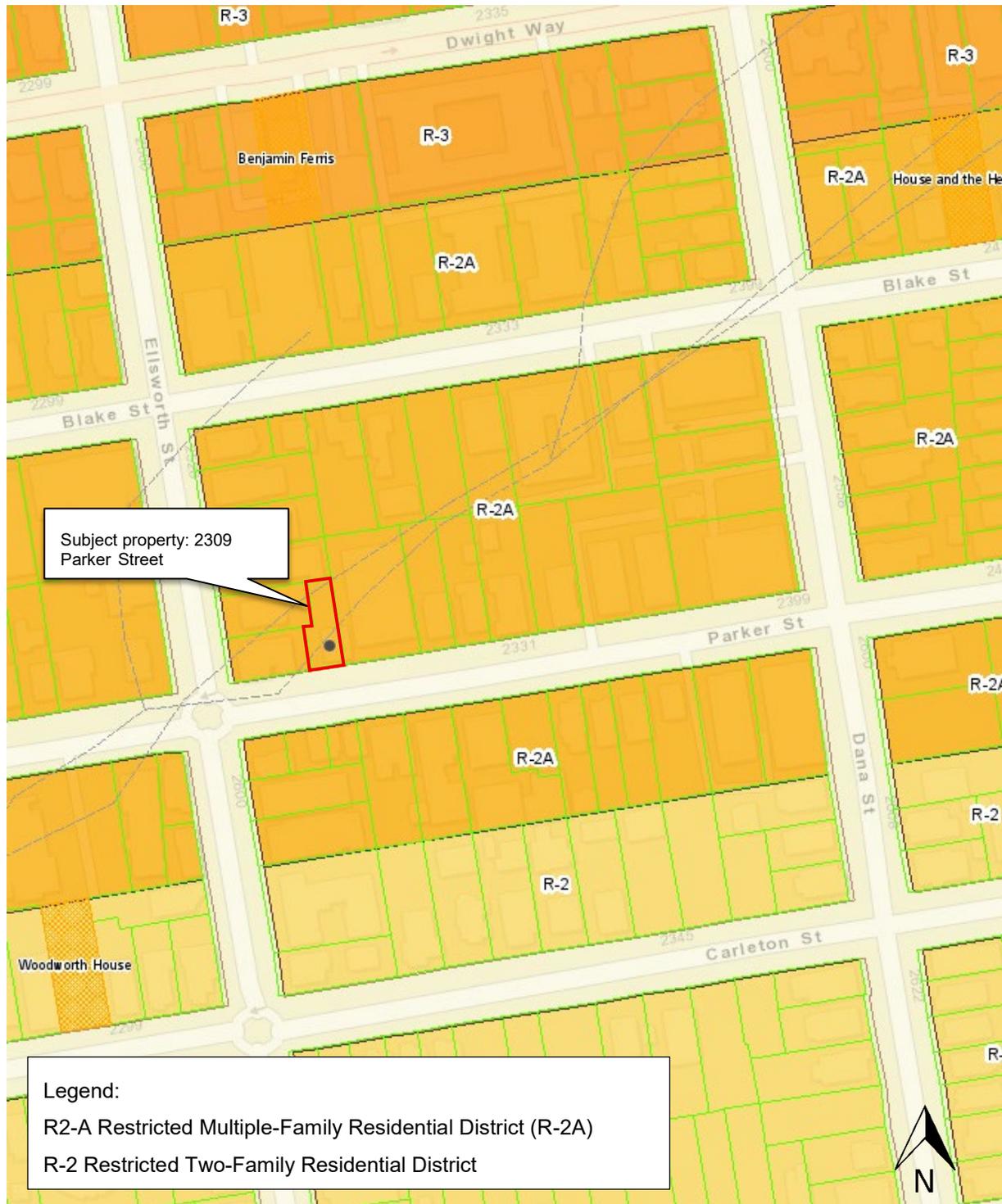


Figure 4: Roof Plan (not to scale) – Proposed under the Use Permit Modification

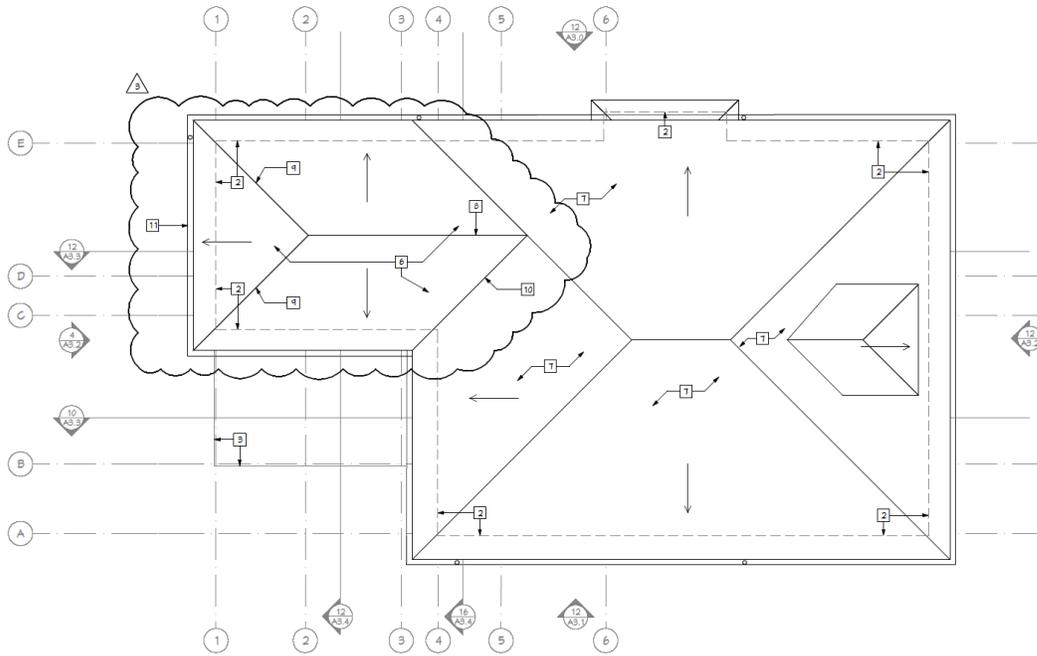


Figure 5 : Roof Plan (not to scale) – Approved in 2024, #B2024-02185

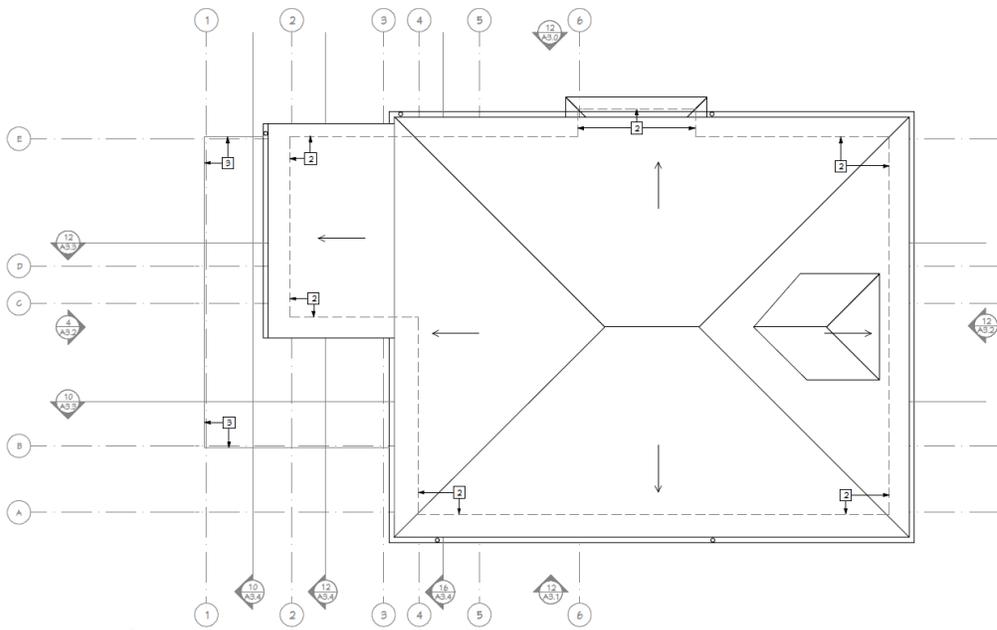


Figure 6: East Elevation (not to scale) – Proposed under the Use Permit Modification

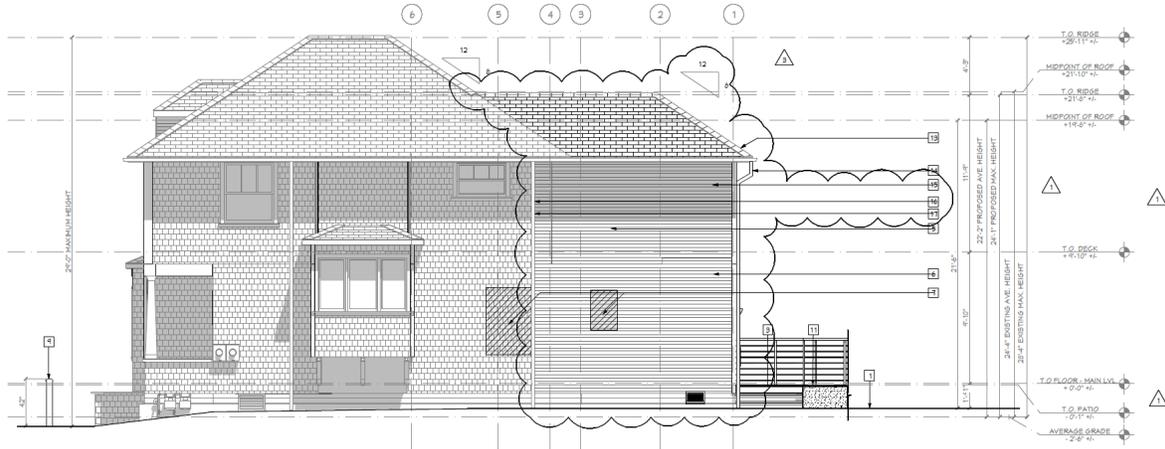


Figure 7 : East Elevation (not to scale) – Approved in 2024, #B2024-02185

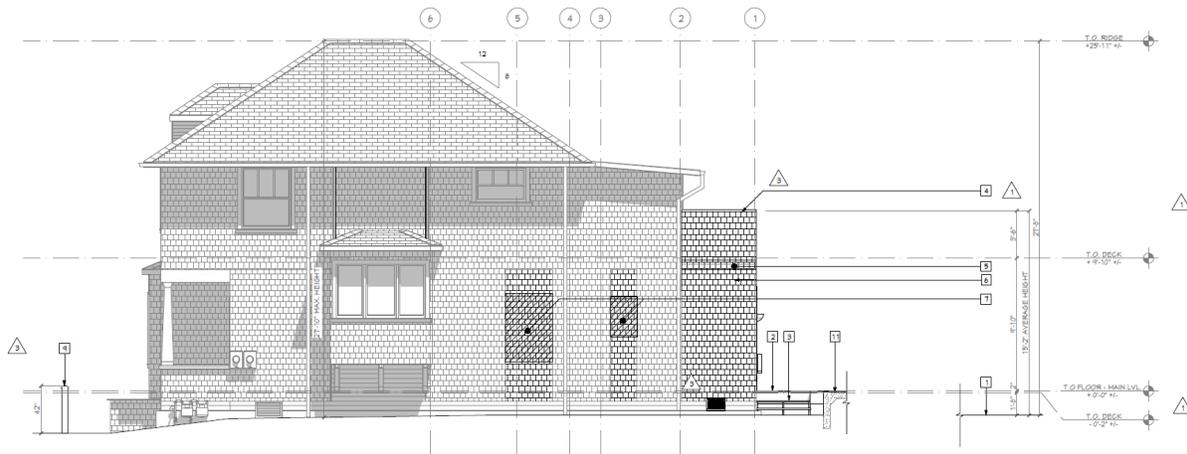


Table 1: Land Use Information

Location		Existing Use	Zoning District	General Plan Designation
Subject Property		Duplex	R-2A Restricted Multiple-Family Residential	Medium Density Residential (MDR)
Surrounding Properties	North	Multi-Family		
	South	Single-Family		
	East	Multi-Family		
	West	Multi-Family		

Table 2: Special Characteristics

Characteristic	Applicability	Explanation
Affordable Child Care Fee for qualifying non-residential projects (Per Resolution 66,618-N.S.)	No	This fee applies to net newly constructed nonresidential gross floor area over 7,500 square feet. The project would not add non-residential floor area; therefore, the fee does not apply.
Affordable Housing Fee for qualifying non-residential projects (Per Resolution 66,617-N.S.)	No	This fee applies to net newly constructed nonresidential gross floor area over 7,500 square feet. The project would not add non-residential floor area; therefore, the fee does not apply.
Affordable / Inclusionary Housing Requirements (BMC Chapter 23.328)	No	The project is not a housing development project, as defined in BMC 23.328.020 ^a The project involves a residential unit existing as of April 1, 2023 that is being expanded, renovated, or rehabilitated, and is exempt from the provisions of BMC 23.328.
Alcohol Sales/Service	No	The project is a residential addition so this does not apply.
Bird Safe Buildings (BMC Section 23.304.150)	No	The project is exempt from these provisions because the addition is less than 10,000 square feet and has an average building height less than 35 feet.
Coast Live Oak Trees (BMC Chapter 6.52)	No	There are no Coast Live Oak (<i>Quercus agrifolia</i>) trees on the project site.
Creeks	No	No creek or culvert, as defined by BMC Chapter 17.08, exists on or within 30 feet of the project site.
Density Bonus	No	The project is not utilizing a State Density Bonus.
Hard Hats (BMC Chapter 13.107)	No	These provisions do not apply to this project because it does not include the construction of a new building, addition, alteration of existing floor area, or demolition of 50,000 square feet or more of floor area.
Historic Resources	No	The project does not propose a substantial change to a structure of potential historical significance under the criteria of Berkeley's Landmark Preservation Ordinance.

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Characteristic	Applicability	Explanation
Housing Accountability Act (HAA) (Gov't Code Section 65589.5(j))	No	The project is an addition to a single-family dwelling and does not include any new dwelling units, therefore, it is not a "housing development project" and the Housing Accountability Act does not apply.
Housing Crisis Act of 2019 (SB 330)	No	The project is an addition to a single-family dwelling and does not include any new dwelling units, therefore, it is not a "housing development project" and SB 330 does not apply.
Rent Controlled Units	No	The project would not demolish/reconfigure/alter rent controlled dwelling units.
Residential Preferred Parking (RPP)	Yes	The site is located in an RPP zone. The project is an addition to an existing residential unit and not a new residential unit, therefore the prohibition on RPP permits per BMC Section 14.72.080(C)(1) does not apply.
Seismic Hazards (SHMA)	No	The project site is not located within an area susceptible to landslide/liquefaction/fault rupture as shown on the State Seismic Hazard Zones map . ^b
Soil/Groundwater Contamination	No	The project site not located within the City's Environmental Management Area and is not on the Cortese List. ^c Standard Conditions of Approval related to hazardous materials would apply.
Transit	Yes	The project site is within one mile of Alameda County transit lines#18 and #36, Transbay lines F and #800, and the Downtown Berkeley Bay Area Rapid Transit Station.
<p>Notes:</p> <p>a. BMC 23.328.020(E) defines a "Housing Development Project" for purposes of inclusionary housing requirements as "a development project, including a Mixed-Use Residential project involving the new construction of at least one Residential Unit. Projects with one or more buildings or projects including multiple contiguous parcels under common ownership or control shall be considered as a sole Housing Development Project and not as individual projects.</p> <p>b. California Department of Conservation. DOC Maps: Geologic Hazards. Available: https://maps.conservation.ca.gov/geologic Hazards/</p> <p>c. Cortese List is an annually updated list of hazardous materials sites compiled pursuant Government Code Section 65962.5.</p>		

Table 3: Project Chronology

Date	Action
March 6, 2024	Use Permit #ZP2023-0141 effective date
July 22, 2024	Building Permit #B2024-02185 approved to convert the duplex into a single-family dwelling and construct an ADU
February 24, 2025	Use Permit Modification Application submitted
March 3, 2025	Application deemed complete
March 9, 2025	Application resubmitted
April 3, 2025	Application processing ^a and CEQA recommendation
April 9, 2025	Application resubmitted
May 1, 2025	Application processing
June 5, 2025	Application resubmitted
June 17, 2025	Application processing
June 18, 2025	Application resubmitted
July 8, 2025	Application processing
July 8, 2025	Application resubmitted
July 10, 2025	Public hearing notices mailed/posted
July 24, 2025	ZAB hearing
<p>Notes:</p> <p>a. Application processing reflects the project compliance review, including CEQA if applicable, after the application is deemed complete. Submittals are reviewed within 30 days of receipt, pursuant to the Permit Streamlining Act.</p>	

Table 4: R-2A (Restricted Multiple Family Residential District) Development Standards BMC Sections 23.202.090

Standard		Existing	Entitled under ZP2023-0141	Addition/ (Reduction)	2025 UP Modification Proposed Total	Permitted/ Required
Lot Area (sq. ft.)		2,915	2,915	No change	No change	-
Gross Floor Area (sq. ft.)		1,787	1,832	+64	1,896	n/a
Dwelling Units	Total	2	2	No change	No change	1 max (per lot area)
	Average	9'-11"	15 ft.-2 in. (addition)	+7 ft.-0 in.	22 ft.-2 in. (addition)	35'-0'max
Building Height (ft. - in.)	Stories	2	No change	No change	No change	3' max
	Front (Parker)	7.59'	No change	No change	No change	15'-0" min
Building Setbacks (ft. - in.)	Rear	37.60'	No change	No change	No change	15'-0" min
	Left Side	4.05' - 9.87'	No change	No change	No change	3'-0" min ^a
	Right Side	3.39' - 3.64'	No change	No change	No change	3'-0" min ^a
Lot Coverage (%)		35	37	No change	No change	40 max
Usable Open Space (sq. ft.)		927	1,005	-64	386	300 min
Parking (BMC 23.322)		1	No change	No change	No change	1 max
Notes:						
a. A side setback reduction of 10% of lot width or 3 feet, whichever is greater, is allowed in the R-2A district pursuant to BMC Section 23.304.030(B)(2).						

II. Project Setting

A. Neighborhood/Area Description: 2309 Parker Street is located on the north side of Parker Street between Ellsworth Street and Dana Street in a residential area consisting of one- and two-story single-family and multi-family dwellings.

B. Site Conditions: The lot is developed with one single-family dwelling and one off-street parking space, is flat, and is north-south oriented. The southern half of the lot depth is rectangular and measures 37 feet, inches, 5 inches in width, and narrows to 27 feet, 5 inches in width at the second half of the lot.

III. Project Description

A. Proposed Project Details:

On February 8, 2024, the ZAB approved Use Permit #ZP2023-0141 (permit effective March 6, 2024) to construct a 45-square-foot, one-story, residential addition with a roof balcony at the rear of the duplex, above 14 feet in average height (15 feet, 2 inches).

On July 22, 2024 Building Permit #B2024-02185 was approved to convert the duplex into a single-family dwelling by removing the upper-level kitchen and converting the space into an office/guest room, and construct a new detached Accessory Dwelling Unit.

The applicant seeks a modification to the approved Use Permit #ZP2023-0141 due to substandard structural conditions encountered during construction of the addition. The modification reconsiders the utility and function of the office/guest room and would change the following primary components:

- Increase the floor area of the upper-level office/guest room toward the rear by 64 square feet, through an extension of the rear wall
- Reduce the useable open space on the upper-level roof balcony by 64 square feet
- Increase the average building height of the addition by 7 feet, from 15 feet 2 inches to 22 feet 2 inches, through a refinement of the rear roof design

IV. Community Discussion

A. Neighbor/Community Concerns:

Prior to submitting this application, the applicant installed a pre-application poster on site in February 2025. On July 10, 2025, the City mailed public hearing notices to property owners and occupants within 300 feet of the project site, and to interested neighborhood organizations. The City also posted notices within the neighborhood at nearby three locations. At the time of writing this report, staff had not received any communications regarding the project.

B. Design Review Committee Review / Landmark Preservation Commission:

This project is not subject to review by the Design Review Committee or the Landmarks Preservation Commission because it is not located in a residential district subject to design review, or a commercial or manufacturing district. The project does not involve the demolition of a nonresidential building over 40 years in age.

V. Issues and Analysis

A. CEQA Approach and Recommendation

It is staff's recommendation that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301 ("Existing Facilities"). The project complies with this exemption because the proposed 64-square-foot addition would not result in an expansion of more than 50 percent of the floor area and is not expected to have significant effects on the environment.

The CEQA determination is made by ZAB, as the decision-making body.

B. General Non-Detriment Finding:

BMC Section 23.406.040(E) states that before the ZAB approves an application for a Use Permit, it must find that the project, under the circumstances of this particular case existing at the time at which the application is granted, would not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City.

1. Sunlight-The shadow studies submitted by the applicant recorded angles and lengths two hours before sunrise, at noon, and two hours after sunset during both the summer and winter solstices. The studies indicate a minimal increase in shadows on the eastern wall of the neighboring residential structure located at 2315 Parker Street two hours after sunset, and a minimal increase in the shadows on the southern wall of the neighboring residential structure located at 2537 Ellsworth Street two hours after sunrise.

Although the project would slightly increase shadow impacts on neighboring properties, these effects will be minimal as they would impact selected portions of the building at certain times of the day. The proposed height of the building aligns with the heights of existing nearby structures, indicating that the new shadow impacts fall within what is typical for a developed urban environment. For these reasons, this project will not be detrimental to sunlight.

2. The project is subject to the City's standard conditions of approval regarding construction noise and air quality, waste diversion, toxics, and stormwater requirements, thereby ensuring the project would not be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the area or neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood or to the general welfare of the City.

VI. Other Considerations (Zoning and Land Use Considerations)

A. District Purpose:

Pursuant to BMC Section 23.202.080(A), the modified project is consistent with the purposes of the R-2A District because the addition would help maintain the medium density residential concentration of the existing neighborhood through development that may better accommodate the needs of the residents ensuring the continuance of existing housing.

B. General Plan Consistency:

The 2002 General Plan contains several policies applicable to the project, including the following:

1. **Policy LU-7 Neighborhood Quality of Life, Action A:** Require that new development be consistent with zoning standards and compatible with the scale, historic character, and surrounding uses in the area.
2. **Policy UD-16 Context:** The design and scale of new or remodeled buildings should respect the built environment in the area, particularly where the character of the built environment is largely defined by an aggregation of historically and architecturally significant buildings.
3. **Policy UD-24 Area Character:** Regulate new construction and alterations to ensure that they are truly compatible with and, where feasible, reinforce the desirable design characteristics of the particular area they are in.
4. **Policy H-19 Regional Housing Needs:** Encourage adequate housing production to meet City needs and the City's share of regional housing needs.

Staff Analysis: The size of the modified addition is minimal relative to the size of the building and would be compatible in scale and the design characteristics of the surrounding neighborhood. It would also allow for the retention of existing housing through improvements to the structure, which will increase the longevity of the building and continue to contribute to the local and regional housing supply.

VII. Recommendation

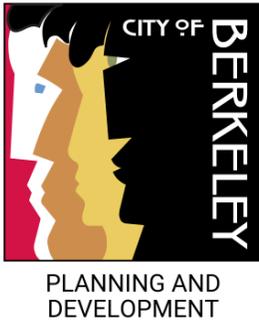
Because of the project's consistency with the Zoning Ordinance and General Plan, and minimal impact on surrounding properties, staff recommends that the Zoning Adjustments Board:

1. **FIND** that the project is categorically exempt from the provisions of the CEQA pursuant to Section 15301 ("Existing Facilities"); and
2. **APPROVE** #ZP2025-0015 pursuant to Section 23.406.040(D) and subject to the attached Findings and Conditions (see Attachments 1 and 2).

Attachments:

1. Findings
2. Conditions
3. Project Plans, received July 8, 2025
4. Notice of Public Hearing

Staff Planner: Singeh Saliki, ssaliki@berkeleyca.gov, (510) 981-7412



ZONING ADJUSTMENTS BOARD – FINDINGS

July 24, 2025

2309 Parker Street

Use Permit Modification #ZP2025-0015 to modify the Use Permit originally approved under #ZP2023-0141 to construct a 45-square-foot, one-story residential addition with a roof balcony at the rear of the duplex, above 14 feet in average height (15 feet, 2 inches) on a lot non-conforming for density. The modified project proposes to construct a 64-square-foot upper floor addition above 14 feet in average height (22 feet, 2 inches) and revise the rear roof design.

ZONING PERMITS REQUIRED

- Use Permit pursuant to Berkeley Municipal Code (BMC) Section 23.404.070(B) to modify an approved Use Permit to construct an addition.

I. CEQA FINDINGS

- A. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code Section 21000, et seq. and California Code of Regulations, Section 15000, et seq.) pursuant to Section 15301 of the CEQA Guidelines (“Existing Facilities”).

II. HOUSING ACCOUNTABILITY ACT FINDINGS

- A. The Housing Accountability Act, Government Code Section 65589.5(j) requires that when a proposed housing development complies with applicable, objective general plan and zoning standards, a local agency may not deny the project or approve it with reduced density unless the agency makes written findings supported by substantial evidence that: (1) the development would have a specific adverse impact on public health or safety unless disapproved or approved at a lower density; and (2) there is no feasible method to satisfactorily mitigate or avoid the specific adverse impact, other than the disapproval or approval at a lower density.
- B. The previously approved is an addition and does not include any new dwelling units, therefore, it is not a “housing development project” and the Housing Accountability Act does

not apply. The Use Permit Modification is for an addition and does not include any new dwelling units, therefore, it is not a “housing development project” and the Housing Accountability Act does not apply.

III. FINDINGS FOR APPROVAL

As required by BMC Section 23.406.040 (E) (1-5) “Findings for Approval,” the following findings shall be made:

1. To approve a Use Permit, the ZAB shall find that the proposed project or use:

(a) Will not be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or visiting in the area or neighborhood of the proposed use; and

Evidence: The project will not be detrimental to the health safety, peace, morals, comfort or general welfare of person residing or visiting in the area because the size of the modified addition is minimal relative to the size of the building and would be compatible in scale and the design characteristics of the surrounding neighborhood.

(b) Will not be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City.

Evidence: The project will not be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood or general welfare of the city because the extent of the new shadow impacts from the project on the site’s adjacent areas will be limited to a few hours of the day, during certain times of the year, and fall within what is typical for a developed urban environment. Additionally, the project would allow for the retention of existing housing through improvements to the structure.

2. When taking action on a Use Permit, the ZAB shall consider in its findings:

(a) The proposed land use; and

Evidence: The proposed land use is consistent because a single-family dwelling is permitted in the R2-A district with a Use Permit.

(b) The structure or addition that accommodates the use.

Evidence: The proposed land is use is accommodated because the proposed addition extends the existing use within a structure that complies with the development standards of the R2-A district.

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ZAB FINDINGS
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3. Required findings shall be made based on the circumstances existing at the time a decision is made on the application.

Evidence: The Zoning Adjustments Board has reviewed the project plans, staff report and attachments prior to making a decision on the application.

Attachment 2

Conditions of Approval

July 24, 2025

I. General Administrative Conditions		<u>Regulation Source</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>
1.	Project Approval. This Use Permit approval is for 2309 Parker Street, as substantially shown and described on the project plans dated June 19, 2025, except as required to be modified by conditions herein and plans as presented to the Zoning Adjustments Board on July 24, 2025 (“Approval Date.”). For any condition herein that requires preparation of a Final Plan where the project applicant has submitted a conceptual plan, the project applicant shall submit final plan(s) in substantial conformance with the conceptual plan, but incorporate the modifications required by the conditions herein for approval by the City.	City of Berkeley	On-Going	Land Use Planning
2.	Approval Limited to Proposed Project Scope. This Permit authorizes only the proposed project described in the application. In no way does an approval authorize other uses, structures or activities not included in the project description. When the City approves a new use that replaces an existing use, any prior approval of the existing use becomes null and void when permits for the new use are exercised (e.g., building permit or business license issued). To reestablish the previously existing use, an applicant must obtain all permits required by the Zoning Ordinance for the use.	City of Berkeley BMC Sections 23.404.060	On-Going	Land Use Planning
3.	Compliance Required. All land uses and structures in Berkeley must comply with the Zoning Ordinance and all applicable City ordinances and regulations. Compliance with the Zoning Ordinance does not relieve an applicant from requirements to comply with other federal, state, and City regulations that also apply to the property.	City of Berkeley	On-Going	Land Use Planning
4.	Conformance to Approved Plans. All work performed under an approved permit shall be in compliance with the approved plans and any Conditions of Approval.	City of Berkeley BMC Section 23.404.060. B.4	On-Going	Land Use Planning

I. General Administrative Conditions		<u>Regulation Source</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>
5.	Permit Modifications. No change in the use or structure for which this Use Permit is issued is permitted unless the Permit is modified by the Board. The Zoning Officer may approve changes to plans approved by the Board, consistent with the Board’s policy adopted on May 24, 1978, which reduce the size of the project.	City of Berkeley BMC Section 23.404.070	On-Going	Land Use Planning
6.	Permit Revocation. The City may revoke or modify a discretionary permit for completed projects due to: 1) violations of permit requirements; 2) Changes to the approved project; and/or 3) Vacancy for one year or more. However, no lawful residential use can lapse, regardless of the length of time of the vacancy. Proceedings to revoke or modify a permit may be initiated by the Zoning Officer, Zoning Adjustments Board (ZAB), or City Council referral.	City of Berkeley BMC Section 23.404.080	On-Going	Land Use Planning
7.	Permit Remains Effective for Vacant Property. Once a Permit for a use is exercised and the use is established, the permit authorizing the use remains effective even if the property becomes vacant. The same use as allowed by the original permit may be re-established without obtaining a new permit, except as set forth in Standard Condition #5 above.	City of Berkeley BMC Section 23.404.060.D	On-Going	Land Use Planning
8.	Exercise and Expiration of Permits A permit authorizing a land use is exercised when both a valid City business license is issued (if required) and the land use is established on the property. <ul style="list-style-type: none"> A. A permit authorizing a land use is exercised when both a valid City business license is issued (if required) and the land use is established on the property. B. A permit authorizing construction is exercised when both a valid City building permit (if required) is issued and construction has lawfully begun. C. The Zoning Officer may declare a permit lapsed if it is not exercised within one year of its issuance, except if the applicant has applied for a building permit or has made a substantial good faith effort to obtain a building permit and begin construction. The Zoning Officer may declare a permit lapsed only after 14 days written notice to the applicant. A determination that a permit has lapsed may be appealed to the ZAB in accordance with Chapter 23.410 (Appeals and Certification). 	City of Berkeley BMC Section 23.404.060 (C) “Time Limits”	On-Going	Land Use Planning

I. General Administrative Conditions		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/Monitoring</u>
	D. A permit declared lapsed shall be void and of no further force and effect. To establish the use or structure authorized by the lapsed permit, an applicant must apply for and receive City approval of a new permit.			
9.	Hold Harmless. The permittee agrees as a condition of approval of this application to indemnify, protect, defend with counsel selected by the City, and hold harmless, the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents, from and against any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorney’s fees and disbursements (collectively, “Claims”) arising out of or in any way relating to the approval of this application, any actions taken by the City related to this entitlement, or any environmental review conducted under the California Environmental Quality Act, Public Resources Code Section 210000 et seq., for this entitlement and related actions. The indemnification shall include any Claims that may be asserted by any person or entity, including the permittee, arising out of or in connection with the approval of this application, whether or not there is concurrent, passive or active negligence on the part of the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents. The permittee’s duty to defend the City shall not apply in those instances when the permittee has asserted the Claims, although the permittee shall still have a duty to indemnify, protect and hold harmless the City.	City of Berkeley	On-Going	Land Use Planning

II. Conditions Imposed by the Zoning Adjustments Board		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/Monitoring</u>
1.				

III. At Building Permit Submittal		Regulation Source	Timing/Implementation	Enforcement/Monitoring
1.	<p>Conditions of Approval on Building Permit Plan Submittal The Conditions of Approval shall be printed on the <i>second</i> sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title "Use Permit Conditions."</p>	City of Berkeley	At the Time of Building Permit Submittal	Building & Safety/Land Use Planning
2.	<p>Project Liaison. The applicant shall <u>include in all building permit plans and post onsite</u> the name and telephone number of an individual empowered to manage construction-related complaints generated from the project. The individual's name, telephone number, and responsibility for the project shall be posted at the project site for the duration of the project in a location easily visible to the public. The individual shall record all complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis. Please designate the name of this individual below:</p> <p><input type="checkbox"/> Project Liaison _____ Name Phone #</p>	City of Berkeley	At the Time of Building Permit Submittal	Building & Safety/Land Use Planning
3.	<p>Construction and Demolition Diversion. The applicant shall submit a Construction Waste Management Plan that meets the requirements of BMC Chapter 19.37 including 100% diversion of asphalt, concrete, excavated soil and land-clearing debris and a minimum of 65% diversion of other nonhazardous construction and demolition waste.</p>	City of Berkeley BMC Chapter 19.37	At Building Permit Submittal	Building & Safety Division
4.	<p>Public Works ADA. Plans submitted for building permit shall include replacement of sidewalk, curb, gutter, and other streetscape improvements, as necessary to comply with current City of Berkeley standards for accessibility.</p>	City of Berkeley	At Building Permit Submittal	Public Works
5.	<p>Drainage Patterns. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way. The applicant shall submit drainage plans for approval by the Building & Safety Division and Public Works Department, if required.</p>	City of Berkeley	At Building Permit Submittal	Public Works

IV. During Construction A. Building & Safety Division		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/Monitoring</u>
1.	Construction Hours. Construction activity shall be limited to between the hours of 7:00 AM and 6:00 PM on Monday through Friday, and between 9:00 AM and 4:00 PM on Saturday. No construction-related activity shall occur on Sunday or any Federal Holiday.	City of Berkeley	During Construction	Building & Safety
2.	Construction Hours- Exceptions. It is recognized that certain construction activities, such as the placement of concrete, must be performed in a continuous manner and may require an extension of these work hours. Prior to initiating any activity that might require a longer period, the developer must notify the Zoning Officer and request an exception for a finite period of time. If the Zoning Officer approves the request, then two weeks prior to the expanded schedule, the developer shall notify businesses and residents within 500 feet of the project site describing the expanded construction hours. A copy of such notice and methodology for distributing the notice shall be provided in advance to the City for review and approval. The project shall not be allowed more than 15 extended working days.	City of Berkeley	During Construction	Building & Safety
3.	Construction / No Parking Permits. Contact the Permit Service Center (PSC) at 1947 Center Street, Third Floor or (510) 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Please note that the Zoning Officer and/or Traffic Engineer may limit off-site parking of construction-related vehicles if necessary to protect the health, safety or convenience of the surrounding neighborhood. <u>A current copy of this Plan shall be available at all times at the construction site for review by City Staff.</u>	City of Berkeley	During Construction	Building & Safety

IV. During Construction B. During Construction: Public Works		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/Monitoring</u>
1.	Site Debris. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter thick and secured to the ground.	City of Berkeley	During Construction	Public Works
2.	Excavation. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.	City of Berkeley	During Construction	Public Works
3.	Site Watering & Street Sweeping. All active construction areas shall be watered at least twice daily, and all piles of debris, soil, sand or other loose materials shall be watered or covered. Public streets shall be swept (preferably with water sweepers) of all visible soil material carried from the site.	City of Berkeley	During Construction	Public Works
4.	Street & Sidewalk Damages. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.	City of Berkeley	During Construction	Public Works
5.	Underground Utilities. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction	City of Berkeley	During Construction	Public Works
6.	Hauling of Debris. Trucks hauling debris, soil, sand, or other loose materials shall be covered or required to maintain at least two feet of board.	City of Berkeley	During Construction	Public Works
7.	On-Site Drainage. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way.	City of Berkeley	During Construction	Public Works

8.	Construction During the Rainy Season. Any construction during the rainy season (October 15-April 15) wet season shall require submittal of a soils report with appropriate measures to minimize erosion and landslides, and the developer shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.	City of Berkeley	During Construction	Public Works
----	--	------------------	---------------------	--------------



ISSUED:	9/24/2023	11/17/2023	12/20/23	01/17/24	6/19/2025
ZONING APPLICATION					
1 ZONING RESPONSE 1					
2 ZONING RESPONSE 2					
3 ZONING RESPONSE 3					
CUP MODIFICATION					

PROJECT:
ADDITION for the
MCCULLOCH-KAATZ
2309 PARKER ST
BERKELEY, CA 94704

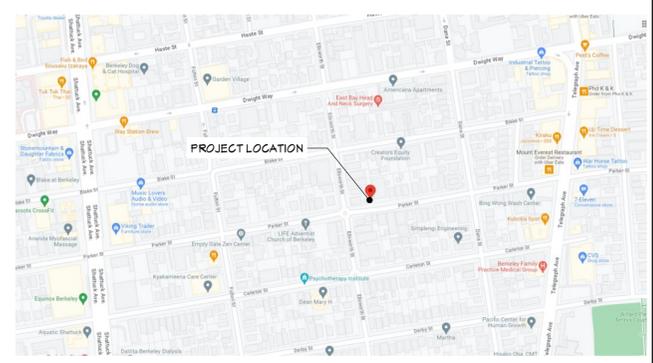
ISSUED: USE PERMIT MODIFICATION 6/19/2025

SHEET TITLE:
COVER SHEET & SITE PLAN

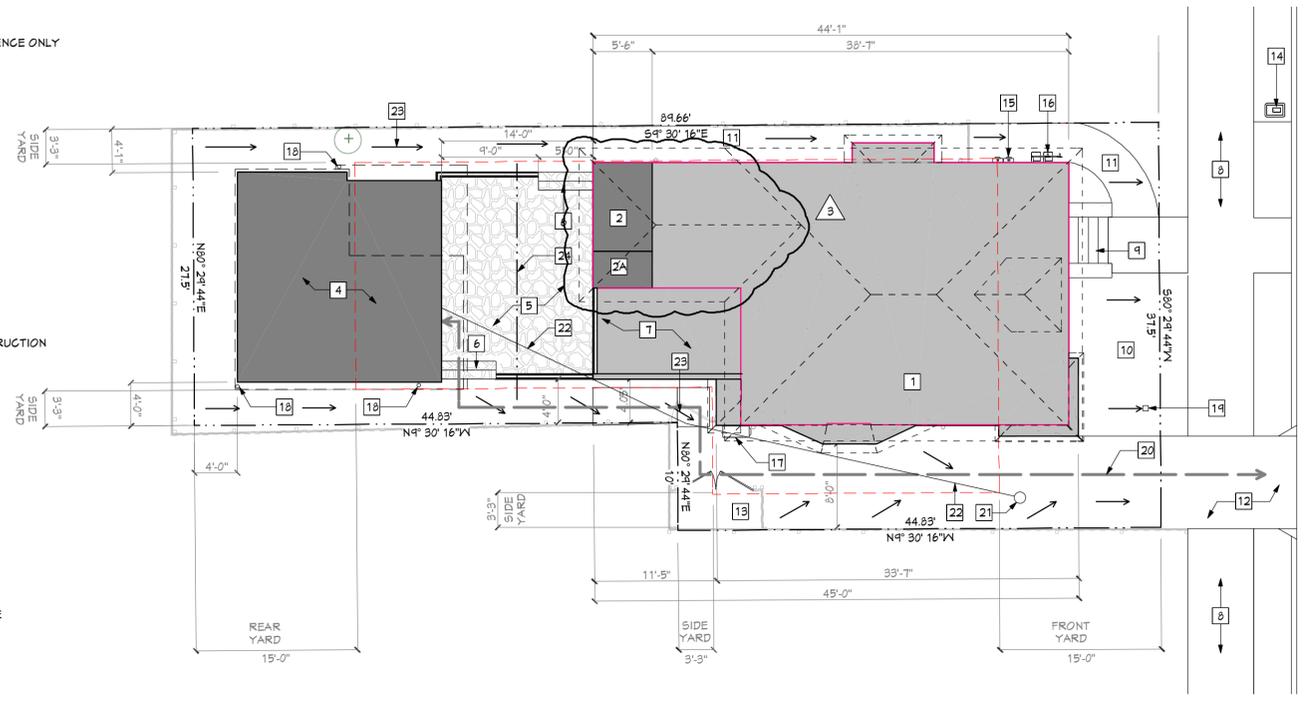
SCALE: AS NOTED
SHEET:
OF A0.0

ADDITION FOR THE : MCCULLOCH-KAATZ RESIDENCE

2309 PARKER ST
BERKELEY, CA 94704



2 VICINITY MAP
N.T.S.



14 SITE PLAN
SCALE: 1/8"=1'-0"

PLOT PLAN KEYNOTES

- 1 (E) TWO-STORY WOOD FRAME DUPLEX TO BE CONVERTED TO SINGLE FAMILY RESIDENCE
- 2 AREA OF WORK - PRIMARY RESIDENCE LOWER LEVEL
- 2A AREA OF WORK - PRIMARY RESIDENCE UPPER LEVEL
- 3 (N) ACCESSORY DWELLING UNIT PER PERMIT #B2024-02105 - REFERENCE ONLY
- 5 (N) ELEVATED CONC. PATIO W/ STONE SURFACE
- 6 (N) STEPS - UP 3R T MAX
- 7 (N) ROOF - AT UPPER LEVEL
- 8 (E) SIDEWALK - NO WORK
- 9 (E) ENTRY STAIR - NO WORK
- 10 (E) LANDSCAPE AREA - NO WORK
- 11 (E) WALKWAY - NO WORK
- 12 (E) DRIVEWAY
- 13 (E) TRASH/SOLID WASTE STORAGE AREA
- 14 (E) WATER METER - TO REMAIN
- 15 (E) ELECTRICAL METER - TO REMAIN
- 16 (E) GAS METER - TO REMAIN
- 17 (E) CONDENSING UNIT - TO REMAIN
- 18 (N) DOWNSPOUT
- 19 LOCATION OF ILLUMINATED ADDRESS IDENTIFICATION - SEE CONSTRUCTION NOTES FOR SPECIFIC REQUIREMENTS
- 20 PATH OF TRAVEL TO ADU ENTRANCE
- 21 (E) SEWER CLEANOUT FOR PRIMARY RESIDENCE SEWER LATERAL
- 22 (N) ADU SEWER LINE - SLOPE 1/4" FT. MIN. CONNECT @ 21
- 23 SURFACE DRAINAGE FLOW, TYP.
- 24 IMAGINARY PROPERTY LINE (BETWEEN DWELLING UNITS)
- 25 AREA OF WORK REVISION 01 - ROOF

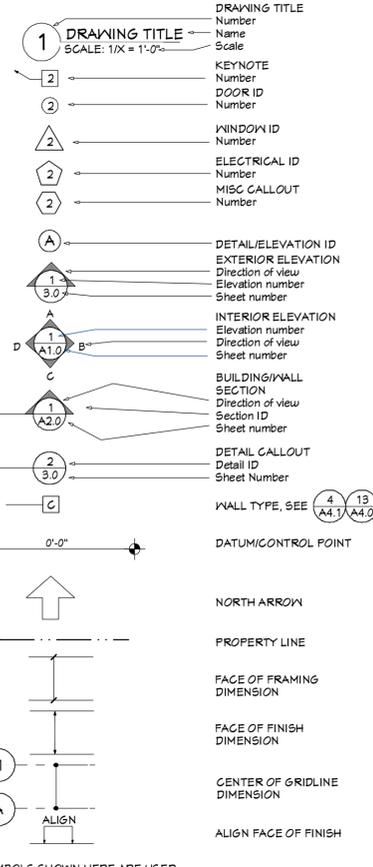
SITE PLAN NOTES

1. SEE A1.1 FOR LOT COVERAGE AND USABLE OPEN SPACE DIAGRAM.
2. DIMENSION TO FACE OF FINISH U.O.N.
3. DIRECTION OF SURFACE DRAINAGE FLOW
4. PRIOR TO FOUNDATION INSPECTION AND POURING OF CONCRETE, PROVIDE A LETTER BY A CALIFORNIA LICENSED LAND SURVEYOR STATING THAT "THE NEW STRUCTURE IS LOCATED IN ACCORDANCE WITH THE APPROVED PLANS."
5. ACCESSORY DWELLING UNIT SHOWN FOR REFERENCE ONLY; NOT INCLUDED IN SCOPE OF PERMIT.

ABBREVIATIONS

@	At
#	Found or Number
A.B.	Anchor Bolt
A.F.F.	Above Finished Floor
A.F.G.	Above Finished Grade
BLKG.	Blocking
BM.	Beam
B.O.	Bottom Of
C.I.	Contractor Installed
C.F.	Contractor Furnished
CLR.	Clear
C.L.	Center Line
CLNG.	Ceiling
CONT.	Continuous
COL.	Column
DIA.	Diameter
DET.	Detail
D.F.	Douglas Fir
DBL.	Double
(E)	Existing
EA.	Each
EQ.	Equal
E.V.	Each Way
FIN.	Finish
F.O.	Face Of
FT.	Foot or Feet
HDR.	Header
HT.	Height
JST.	Joist
MAX.	Maximum
M.B.	Machine Bolt
MIN.	Minimum
MTD.	Mounted
N.I.C.	Not In Contract
(N)	New
NOM.	Nominal
N.T.S.	Not To Scale
O.	Over
O/A	Overall
O.F.	Outside Face,
O.C.(E.V.)	Owner Furnished
O.I.	Owner Center (Each Way)
O.I.	Owner Installed
OPP.	Opposite
PL.	Plate or Property Line
PLY.	PLYwood
PTD.	Painted
P.T.	Pressure Treated
REINF.	Reinforced
RET.	Retaining
R.O.	Rough Opening
RWD.	Redwood
S.F.	Square Feet
S.S.D.	See Structural Drawings
SHTG.	Sheathing
SHT.	Sheet
SIM.	Similar
SQ.	Square
STD.	Standard
STR.	Structural
T.B.D.	To be determined
T.O.	Top Of
TYP.	Typical
V.I.F.	Verify In Field
W.	With
W/O.	Where Occurs
W/O.	Without
U.O.N.	Unless Otherwise Noted

LEGEND



GENERAL NOTES:

1. CONSTRUCTION WORKMANSHIP AND MATERIALS SHALL CONFORM TO: NOTES IN THIS SET OF CONSTRUCTION DOCUMENTS, ALL APPLICABLE LOCAL CODES AND ORDINANCES AS NOTED ELSEWHERE IN THESE DRAWINGS.
2. IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE SPECIFICATIONS, THE MORE STRINGENT PROVISIONS SHALL GOVERN.
3. THE CONTRACTOR SHALL OBTAIN ALL APPROVALS AND PERMITS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL PREPARE A SCHEDULE FOR CONSTRUCTION AND SHALL SUBMIT TO OWNER FOR REVIEW.
4. DIMENSIONS: UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE SHOWN AS FOLLOWS: FACE OF WALL AT MASONRY, INDICATED FACE OF STUD, CENTER LINE, GRID LINE, TOP OF CONCRETE SLAB OR FOUNDATION, TOP OF PLYWOOD, ETC. DRAWINGS SHALL NOT BE SCALED TO DETERMINE ANY DIMENSIONS, REFER ONLY TO WRITTEN INFORMATION AND DETAIL DRAWINGS, OR USE FIGURED DIMENSIONS. DIMENSIONAL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE DESIGNER PRIOR TO CONSTRUCTION.
5. APPROVALS BY BUILDING INSPECTORS SHALL NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THESE PLANS AND SPECIFICATIONS (CONSTRUCTION DOCUMENTS).
6. OMISSIONS: IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN. IF FEATURES ARE STILL UNCLEAR, CONTACT THE ARCHITECT FOR CLARIFICATION.
7. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE AT THE SITE TO SUPERVISE AND COORDINATE CONSTRUCTION AT ALL TIMES WHILE WORK IS IN PROGRESS.
8. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ARCHITECT. THE OWNER AND THE ARCHITECT SHALL BE NAMED AS ADDITIONAL INSURED'S ON THE CONTRACTOR'S LIABILITY INSURANCE COVERAGE.
9. UNLESS SPECIFICALLY NOTED IN CONTRACT, THE ARCHITECTS OFFICE WILL NOT BE OBSERVING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FINAL DIMENSIONS, QUANTITIES, COORDINATION OF THE WORK OF ALL TRADES, QUALITY CONTROL, AND CONSTRUCTION STANDARDS FOR THIS PROJECT.
10. SUBCONTRACTORS SHALL DISPOSE OF RUBBISH CAUSED BY THEIR WORK, AND KEEP PREMISES JOB SITE CLEAN OF SUCH RUBBISH. CONTRACTOR SHALL KEEP PREMISES "BROOM CLEAN" AT ALL TIMES.
11. PLANS STAMPED BY ARCHITECT OR ENGINEER CANNOT BE MODIFIED IN ANY WAY EXCEPT BY THE ARCHITECT OR ENGINEER. PLANS MODIFIED BY OTHERS WILL NOT BE ACCEPTED.
12. HEATING AND AIR CONDITIONING, PLUMBING AND ELECTRICAL DRAWINGS OR NOTES INCLUDED HEREIN ARE FOR REFERENCE ONLY. THE CONTRACTOR SHALL PROVIDE DESIGN/BUILD DOCUMENTATION FOR THESE ITEMS IN ACCORDANCE WITH THESE DRAWINGS AND CRITERIA IN CONFORMANCE WITH ALL CODES AND ORDINANCES, AND SHALL OBTAIN PERMITS FOR THIS WORK.
13. SITE INFORMATION FOR THESE DRAWINGS WAS TAKEN FROM A SURVEY BY OTHERS, PROVIDED BY THE OWNER. REFERENCE IS HEREBY MADE TO THAT SOURCE AND TO THAT DRAWING FOR ADDITIONAL INFORMATION.

SUMMARY OF WORK:

A 45 SF ONE-STORY RESIDENTIAL ADDITION WITH A ROOF BALCONY AT THE REAR OF THE DUPLEX ABOVE 14 FEET ON A NON-CONFORMING LOT. A NEW 531 SF ADU LOCATED AT THE REAR OF THE PARCEL.

REVISION 01: REMOVE AND REPLACE NONCONFORMING DAMAGED FOUNDATION SYSTEM AT MAIN HOUSE

REVISION 02: AT PROPOSED ADU REVISE FOUNDATION SYSTEM, REVISE WINDOWS REDUCE (QUANTITY), REVISE EXTERIOR SIDING AT FRONT ELEVATION, REVISE ELEVATED PATIO LOCATED ON SITE. NO WORK AT PRIMARY DWELLING.

REVISION 03: MODIFICATION OF USE PERMIT #ZP2023-0141 TO REVISE PORTION OF REAR ROOF AND ENLARGE THE OFFICE/GUEST ROOM BY 64 SQUARE FEET. THESE REVISIONS TO SCOPE WERE TRIGGERED BY THE DISCOVERY OF SUBSTANDARD CONSTRUCTION CONDITIONS ENCOUNTERED DURING CONSTRUCTION WHICH INSPIRED THE HOMEOWNER TO RETHINK UTILITY AND FUNCTION OF THE OFFICE/GUEST ROOM.

PROJECT DATA:

APN:	55-1032-14
CLIMATE ZONE:	3
ZONING DISTRICT:	R-2A
FIRE ZONE:	1
OCCUPANCY:	R-3
CONSTRUCTION TYPE:	V-B
SPRINKLERS:	NOT SPFRINKLERED

AREA SUMMARY:

LOT AREA:	2,415 SF
EXISTING COVERAGE:	31%
PROPOSED COVERAGE:	31%
GROSS FLOOR AREA CALCULATION:	
MAIN RESIDENCE (UPPER LEVEL)	
EXISTING (LIVING):	840 SF
PROPOSED (LIVING):	64 SF
TOTAL UPPER LEVEL GROSS FLOOR AREA:	904 SF
MAIN RESIDENCE (LOWER LEVEL)	
EXISTING (LIVING):	947 SF
PROPOSED (LIVING):	45 SF
TOTAL LOWER LEVEL GROSS FLOOR AREA:	992 SF
TOTAL GROSS FLOOR AREA:	1,896 SF
ACCESSORY DWELLING UNIT - REFERENCE ONLY	
UPPER LEVEL (LOFT)	169 SF
MAIN LEVEL:	362 SF
TOTAL GROSS FLOOR AREA:	531 SF

SHEET INDEX

PAGE	PAGE TITLE
A0.0	COVER SHEET & SITE PLAN
A1.0A	SURVEY
A1.0B	SURVEY
A1.1	USABLE OPEN SPACE & LOT COVERAGE DIAGRAM
A1.2	SUMMER SHADOW STUDY, WINTER SHADOW STUDY
A1.3	CURRENT SHADOW STUDY
A2.0	EXISTING FOUNDATION PLAN, PROPOSED FOUNDATION PLAN
A2.1	DEMO PLAN - LOWER LEVEL, FLOOR PLAN - LOWER LEVEL
A2.2	DEMO PLAN - UPPER LEVEL, FLOOR PLAN - UPPER LEVEL
A2.3	DEMO PLAN - ROOF, ROOF PLAN
A3.0	EXISTING ELEVATIONS & PROPOSED ELEVATIONS
A3.1	EXISTING ELEVATIONS & PROPOSED ELEVATIONS
A3.2	EXISTING ELEVATIONS & PROPOSED ELEVATIONS
A5.0	SCHEDULES - MAIN HOUSE

CODES APPLICABLE:

- ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCES AND THE FOLLOWING:
- 2022 CALIFORNIA BUILDING STANDARDS CODE (CBC)
 - 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
 - 2022 CALIFORNIA GREEN BUILDING STANDARD CODE (CGBSC)
 - 2022 CALIFORNIA MECHANICAL CODE (CMC)
 - 2022 CALIFORNIA PLUMBING CODE (CPC)
 - 2022 CALIFORNIA ELECTRICAL CODE (CEC), BASED ON THE 2008 NEC
 - 2022 CALIFORNIA ENERGY CODE (CEC PART 6)
 - 2022 CALIFORNIA FIRE CODE (CFC)

DEFERRED APPROVALS:

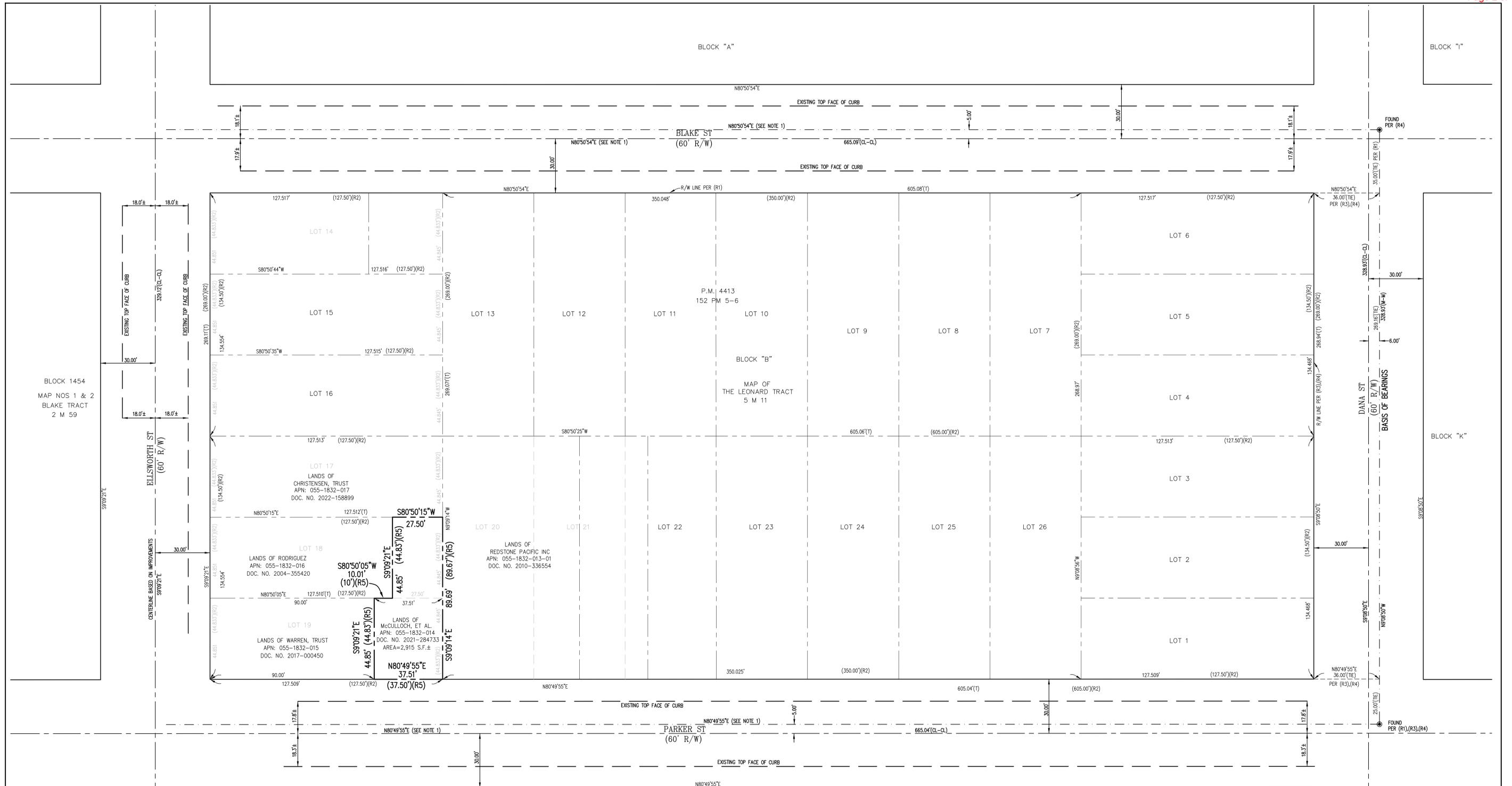
GUARDRAIL

OWNER:
KEVIN KAATZ AND DOUG MCCULLOCH

PROJECT DIRECTORY:

ARCHITECT: THE ARCHITECTS OFFICE 490 LAKE PARK AVE #10657 OAKLAND, CA 94610 510-556-8860	STRUCTURAL ENGINEER: JUAN VALDES 4312 VALLEY AVE. APT B FLEASANTON, CA 94566 (415) 608-5441	ENERGY CONSULTANT: CARSTAIRS ENERGY 2230 BAYVIEW HEIGHTS DR. SUITE E, LOS OSOS, CA 93402 (805) 904-9046
CONTACT: STEVE SWEARENGEN	CONTACT: JUAN VALDES	CONTACT: TIMOTHY CARSTAIRS

THIS DRAWING AND DESIGN LAYOUT IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF THE ARCHITECTS OFFICE. THIS DRAWING AND DESIGN LAYOUT MAY NOT BE REPRODUCED OR REPRODUCTIONS HEREOF USED WITHOUT WRITTEN PERMISSION



NOTES

- EASEMENTS AND/OR RIGHTS OF WAY ARE SHOWN HEREON PER THE PTR. OTHER EASEMENTS AND/OR RIGHTS OF WAY OF RECORD, IF ANY, ARE NOT SHOWN HEREON.
- DATE OF FIELD SURVEY: NOVEMBER 7, 2022 AS TO THE BOUNDARY AND TOPOGRAPHIC SURVEY OF THE SUBJECT PROPERTY.
- THE UTILITIES SHOWN HEREON ARE BY SURFACE OBSERVATION AND RECORD INFORMATION ONLY AND NO WARRANTY IS GIVEN HEREIN AS TO THEIR EXACT LOCATION. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR TO VERIFY THE EXACT LOCATION OF THE UTILITIES WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY.
- UTILITY JURISDICTIONS / PROVIDERS ARE AS FOLLOWS:
STORM DRAINS: CITY OF BERKELEY
SANITARY SEWER: CITY OF BERKELEY
WATER: EAST BAY MUNICIPAL UTILITY DISTRICT (EBMUD)
ELECTRICITY: PACIFIC GAS & ELECTRIC CO.
NATURAL GAS: PACIFIC GAS & ELECTRIC CO.

REFERENCES

- (R1) PARCEL MAP "P.M. 4413", FILED JANUARY 28, 1985 IN BOOK 152 OF PARCEL MAPS, AT PAGES 5 TO 6, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, STATE OF CALIFORNIA.
- (R2) MAP ENTITLED "MAP OF THE LEONARD TRACT, BERKELEY", FILED SEPTEMBER 17, 1875 IN BOOK 5 OF MAPS, AT PAGE 11, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, STATE OF CALIFORNIA.
- (R3) PARCEL MAP "P.M. 7420", FILED MAY 20, 2000 IN BOOK 249 OF PARCEL MAPS, AT PAGES 87 TO 88, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, STATE OF CALIFORNIA.
- (R4) TRACT MAP "TRACT 4697", FILED OCTOBER 30, 1981 IN BOOK 130 OF MAPS, AT PAGES 58 TO 59, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, STATE OF CALIFORNIA.
- (R5) GRANT DEED, RECORDED AUGUST 20, 2021 AS DOCUMENT NUMBER 2021-284733, OFFICIAL RECORDS OF ALAMEDA COUNTY, STATE OF CALIFORNIA.

BASIS OF BEARINGS

THE BASIS OF BEARINGS OF THIS SURVEY IS TAKEN BETWEEN THE TWO FOUND STREET MONUMENTS ALONG DANA STREET BETWEEN PARKER STREET AND BLAKE STREET AS SHOWN ON THAT CERTAIN MAP ENTITLED "TRACT 4697", FILED OCTOBER 30, 1981 IN BOOK 130 OF MAPS, AT PAGES 58 TO 59, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, STATE OF CALIFORNIA.
TAKEN AS NORTH 09°08'50" WEST.

NOTE

- BEARING IS BASED ON IMPROVEMENTS.

BLOCK "C"

BENCHMARK

BENCHMARK B0297, BEING A 3/4" SQ IRON PIN CITY WELL MONUMENT IN DANA ST/PARKER ST INTERSECTION. ELEVATION = 206.10 FEET, CITY OF BERKELEY DATUM.

SURVEYOR'S STATEMENT

THIS SURVEY WAS DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE LAND SURVEYORS ACT IN NOVEMBER 2022.

Jacqueline Luk
JACQUELINE LUK, P.L.S. 8934
FOR LUK & ASSOCIATES, INC.

DATE NOVEMBER 16, 2022



SHEET INDEX

- NOTES AND BOUNDARY SURVEY
- TOPOGRAPHIC SURVEY

LEGEND

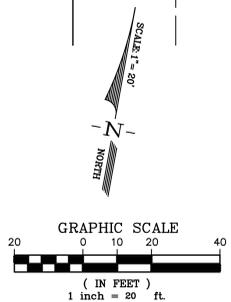
- BOUNDARY OF SUBJECT PROPERTY
- - - RIGHT OF WAY LINE
- - - INTERIOR PROPERTY LINE
- MONUMENT LINE
- - - TIE LINE
- OLD LOT LINE
- FOUND STREET MONUMENT PER (R1)
- (M-M) MONUMENT TO MONUMENT
- (CL-CL) CENTERLINE TO CENTERLINE
- (T) TOTAL
- ± MORE OR LESS
- S.F. SQUARE FEET
- APN ASSESSOR'S PARCEL NUMBER
- (37.50) RECORD DATA
- (R1) REFERENCE
- DOC. NO. DOCUMENT NUMBER
- R/W RIGHT OF WAY

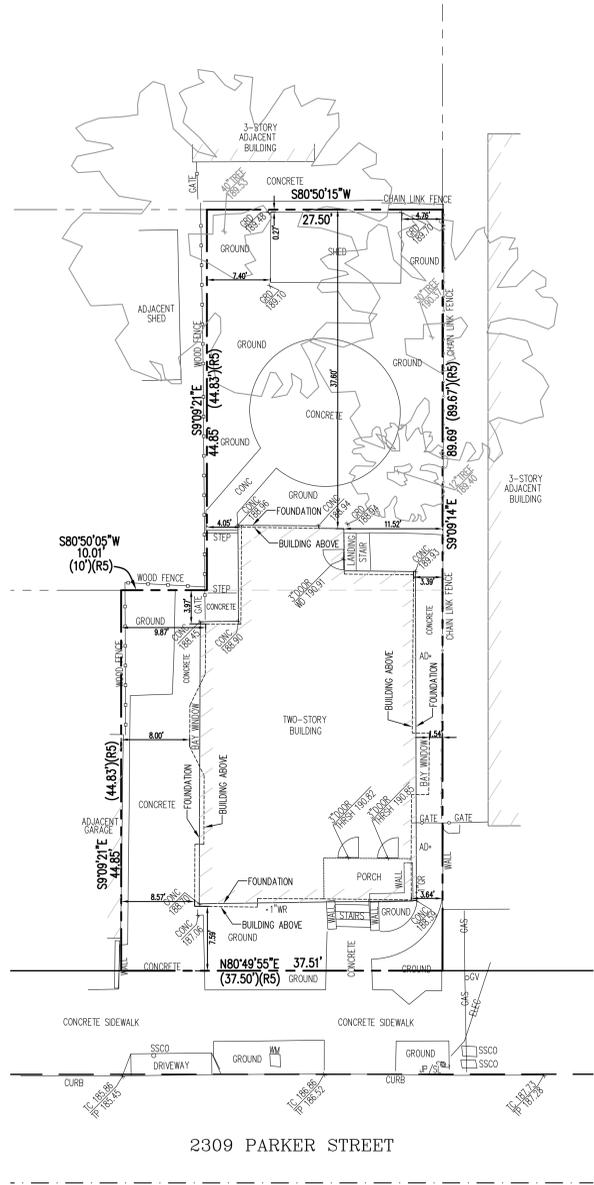
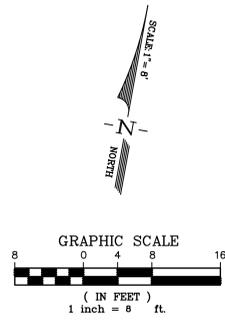
TOPOGRAPHIC & BOUNDARY SURVEY

OF
2309 PARKER STREET
CITY OF BERKELEY, ALAMEDA COUNTY, CALIFORNIA
NOVEMBER 2022

PREPARED BY
LUK AND ASSOCIATES
CIVIL ENGINEER - LAND PLANNERS - LAND SURVEYORS
738 ALFRED NOBEL DRIVE
HERCULES, CALIFORNIA 94547
(510) 724-3388

BLOCK "L"





LEGEND

SYMBOLS	DESCRIPTION
---	BOUNDARY - SUBJECT PROPERTY
---	RIGHT-OF-WAY LINE
---	INTERIOR PROPERTY LINE
---	OLD LOT LINE
---	MONUMENT LINE
---	ELECTRIC LINE
---	GAS LINE LINE
---	GAS RISER
---	WATER METER
---	WATER RISER
---	JOINT POLE
---	STREET LIGHT
---	AREA DRAIN
---	SANITARY SEWER CLEAN OUT
---	GAS VALVE
---	CONCRETE
---	WOOD
X TC	TOP OF CURB ELEVATION
X TP	TOP OF PAVEMENT ELEVATION
X THRESH	THRESHOLD ELEVATION
X CONC	TOP OF CONCRETE ELEVATION
X GRO	TOP OF GROUND ELEVATION
🌳	TREE

TOPOGRAPHIC & BOUNDARY SURVEY
 OF
2309 PARKER STREET
 CITY OF BERKELEY, ALAMEDA COUNTY, CALIFORNIA
 NOVEMBER 2022
 PREPARED BY
LUK AND ASSOCIATES
 CIVIL ENGINEER - LAND PLANNERS - LAND SURVEYORS
 738 ALFRED NOBEL DRIVE
 HERCULES, CALIFORNIA 94547
 (510) 724-3388



TABULATION FORM

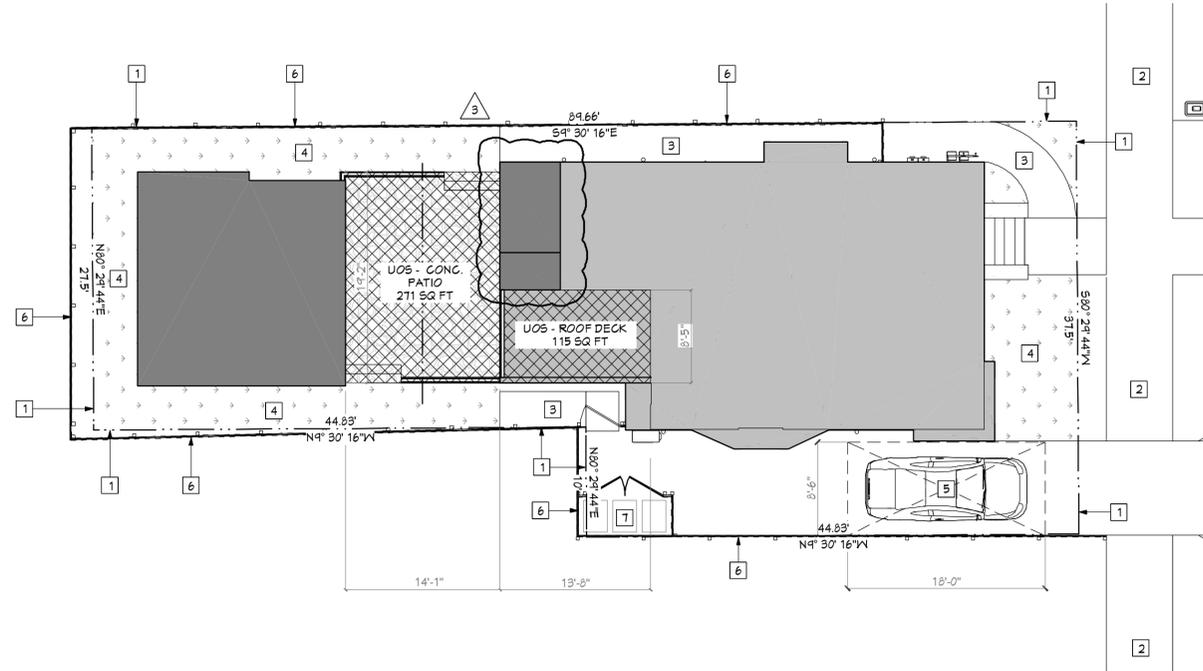
Project Address: 2309 Parker St Date: 1/24/2025
Applicant's Name: Steve Swearingen
Zoning District: R-2A Medium Density Residential

Please print in ink the following numerical information for your Administrative Use Permit, Use Permit, or Variance application:

	Existing	Proposed	Permitted/Required ¹
Units, Parking Spaces & Bedrooms			
Number of Dwelling Units (#)	2	2	1
Number of Parking Spaces (#)	1	1	n/a
Number of Bedrooms (#) (R-1, R-1A, R-2, R-2A, and R-3 only)	3	3	n/a
Yards and Height			
Front Yard Setback (Feet)	7.59'	7.59'	15'
Side Yard Setbacks: (facing property)			
Left: (Feet)	4.05'	4.05'	3.25'
Right: (Feet)	1.54'	1.54'	3.25'
Rear Yard Setback (Feet)	37.60'	37.60'	15'
Building Height* (# Stories)	2	2	2
Average* (Feet)	24'-4"	22'-2"	28'
Maximum* (Feet)	28'-4"	24'-1"	35'
Areas			
Lot Area (Square-Foot)	2,915 sf	2,915 sf	5,000 sf
Gross Floor Area* (Square-Foot)	1,787 sf	1,896 sf	n/a
Total Area Covered by All Floors			
Building Footprint* (Square-Foot)	1,021 sf	1,066sf	1,166 sf
Total of All Structures			
Lot Coverage* (%)	35%	37%	40%
Residential districts only (Building Footprint/Lot Area)			
Useable Open Space* (Square-Foot)	927 sf	1,087 sf	600 SF
Floor Area Ratio* (%)	n/a	n/a	n/a
Non-Residential districts only (Except ES-R)			

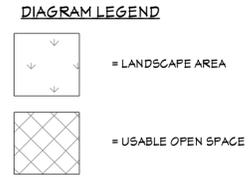
*See Glossary - BMC Chapter 23.502. Revised: 12/21

¹ See development standards for the Zoning District, per the Berkeley Municipal Code, Chapters 23.202 and 23.204
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NOTES
1. ACCESSORY DWELLING UNIT SHOWN FOR REFERENCE ONLY; NOT INCLUDED IN SCOPE OF PERMIT.

10 USABLE OPEN SPACE & PARKING DIAGRAM
SCALE: 1/8"=1'-0"

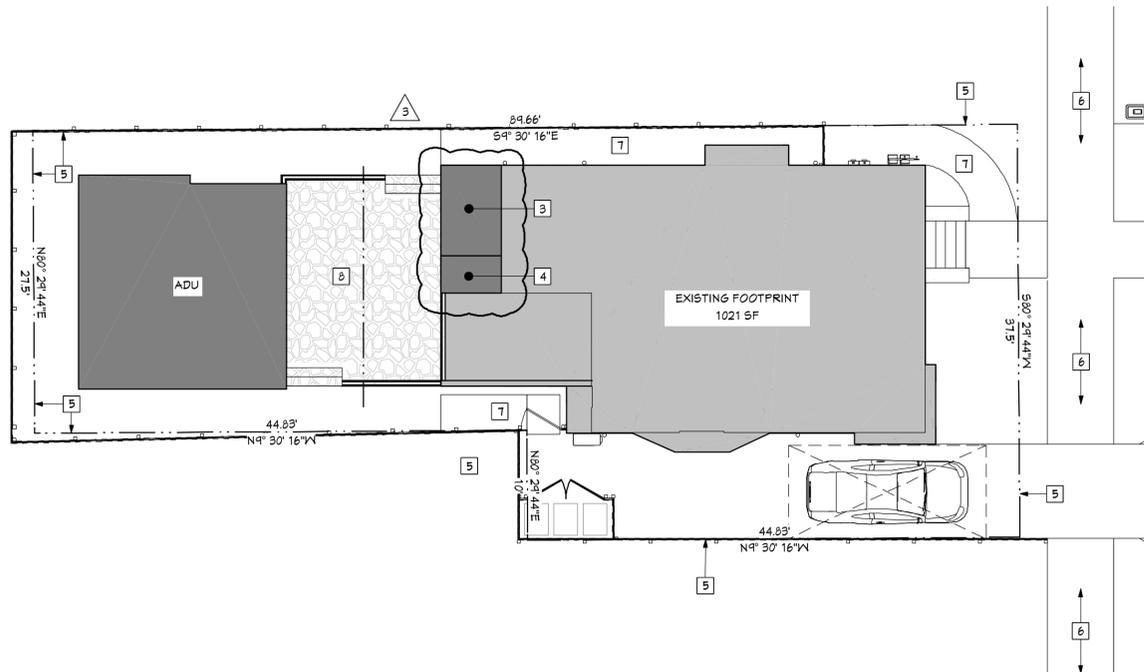


USABLE OPEN SPACE DIAGRAM KEYNOTES

- 1 PROPERTY LINE
- 2 SIDEWALK
- 3 WALKWAY
- 4 LANDSCAPE AREA
- 5 (E) OFF STREET PARKING
- 6 (E) WOOD FENCE - NO WORK
- 7 (E) TRASH/SOLID WASTE STORAGE - NO WORK

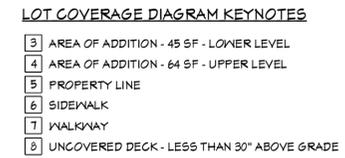
USABLE OPEN SPACE CALCULATION SUMMARY

R-2A U.O.S. REQUIREMENT:	300 SF / PER DWELLING UNIT 1 DU @ 300 SF = 300 SF
U.O.S. CONG. PATIO:	211 SF
U.O.S. ROOF DECK:	115 SF
TOTAL U.O.S.:	386 SF
	386 SF > 300 SF = OK



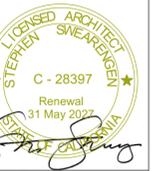
NOTES
1. ACCESSORY DWELLING UNIT SHOWN FOR REFERENCE ONLY; NOT INCLUDED IN SCOPE OF PERMIT.

12 LOT COVERAGE DIAGRAM
SCALE: 1/8"=1'-0"



COVERAGE CALCULATION SUMMARY

R-2A COVERAGE REQUIREMENT:	40 %
LOT AREA:	2,915 SF
EXISTING FOOTPRINT:	1,021 SF
ADDITION FOOTPRINT:	45 SF
NEW FOOTPRINT:	1,066 SF
	1,066 / 2,915 = 0.3656
	37 % < 40 % = OK



ISSUED: 6/19/2025

ZONING APPLICATION	9/29/2023	11/17/2023	12/20/23	01/17/24	6/19/2025
1 ZONING RESPONSE 1					
2 ZONING RESPONSE 2					
3 ZONING RESPONSE 3					
4 CUP MODIFICATION					

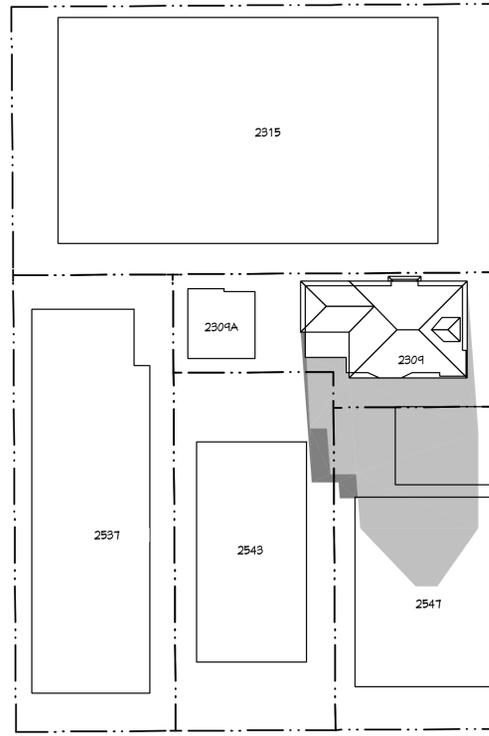
PROJECT:
ADDITION for the
MCCULLOCH-KAATZ
2309 PARKER ST
BERKELEY, CA 94704

SHEET TITLE:
USABLE OPEN SPACE & LOT
COVERAGE DIAGRAM

DRAWN:
SCALE: AS NOTED
SHEET:

OF: **A1.1**

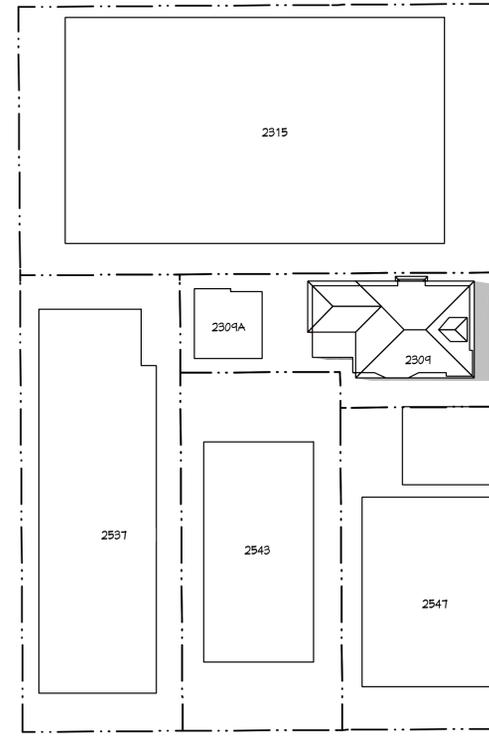
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ELLSWORTH ST.

PARKER ST.

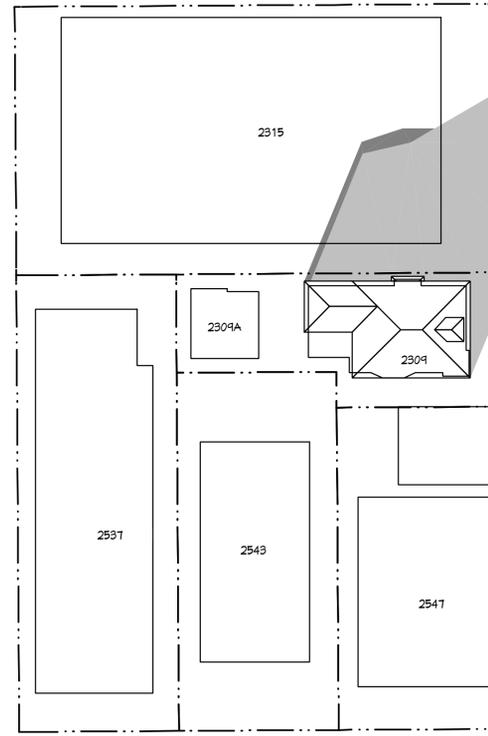
14 7:48 AM SHADOW STUDY JUNE 21
SCALE: 1"=20'-0"



ELLSWORTH ST.

PARKER ST.

10 1:12 PM SHADOW STUDY JUNE 21
SCALE: 1"=20'-0"



ELLSWORTH ST.

PARKER ST.

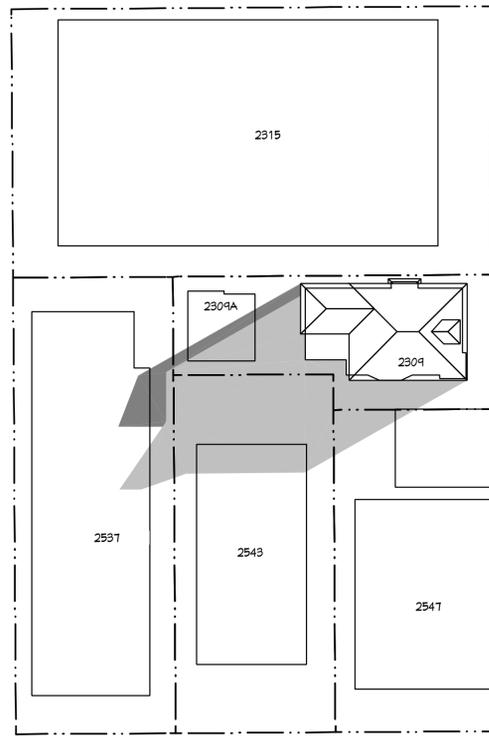
6 6:36 PM SHADOW STUDY JUNE 21
SCALE: 1"=20'-0"

SHADOW STUDY LEGEND

- EXISTING BUILDING SHADOW
- PROPOSED BUILDING SHADOW

NOTES

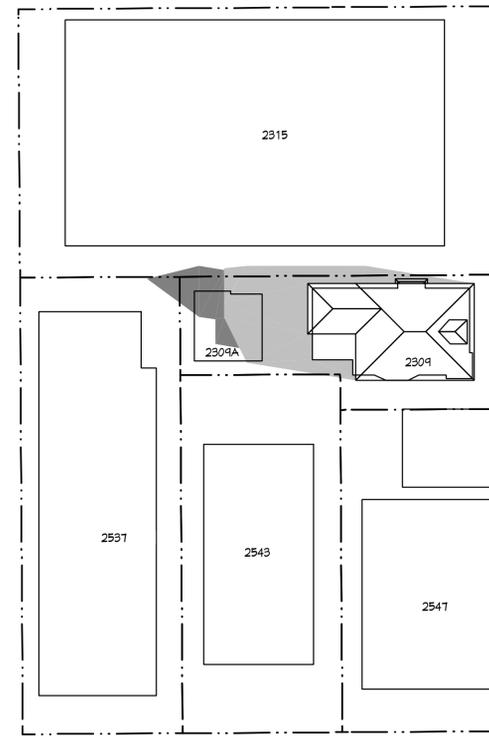
1. ACCESSORY DWELLING UNIT SHOWN FOR REFERENCE ONLY;
NOT INCLUDED IN SCOPE OF PERMIT.



ELLSWORTH ST.

PARKER ST.

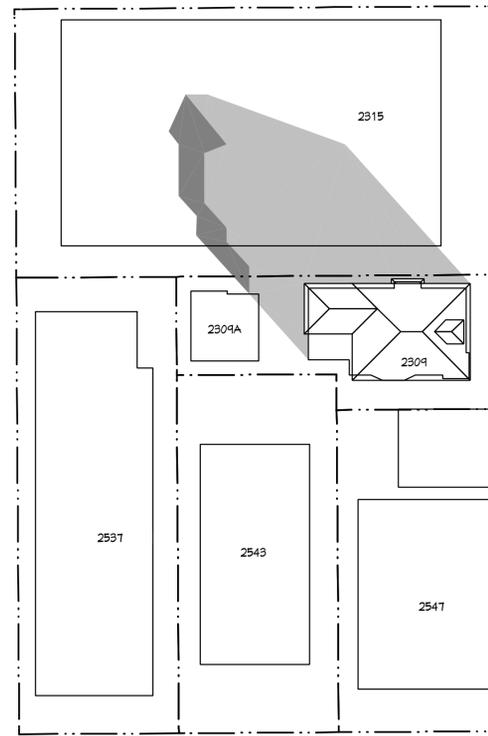
16 9:22 AM SHADOW STUDY DECEMBER 21
SCALE: 1"=20'-0"



ELLSWORTH ST.

PARKER ST.

12 12:08 PM SHADOW STUDY DECEMBER 21
SCALE: 1"=20'-0"



ELLSWORTH ST.

PARKER ST.

8 2:54 PM SHADOW STUDY DECEMBER 21
SCALE: 1"=20'-0"

Architects
office
the

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LICENSED ARCHITECT
STEPHEN SWEARZEN
C - 28397
Renewal
31 May 2027
JULIE CALVERT

ISSUED:	9/29/2023
ZONING APPLICATION	11/11/2023
1. ZONING RESPONSE 1	12/20/23
2. ZONING RESPONSE 2	01/11/24
3. ZONING RESPONSE 3	
USE PERMIT MODIFICATION	6/19/2025

PROJECT:
ADDITION for the
MCCULLOCH-KAATZ
2309 PARKER ST
BERKELEY, CA 94704

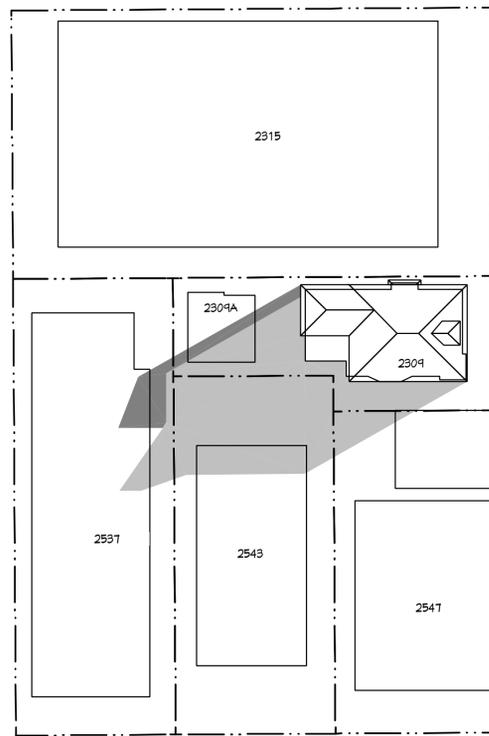
ISSUED: USE PERMIT MODIFICATION 6/19/2025

SHEET TITLE:
SUMMER SHADOW STUDY,
WINTER SHADOW STUDY

DRAWN:
SCALE: AS NOTED
SHEET:

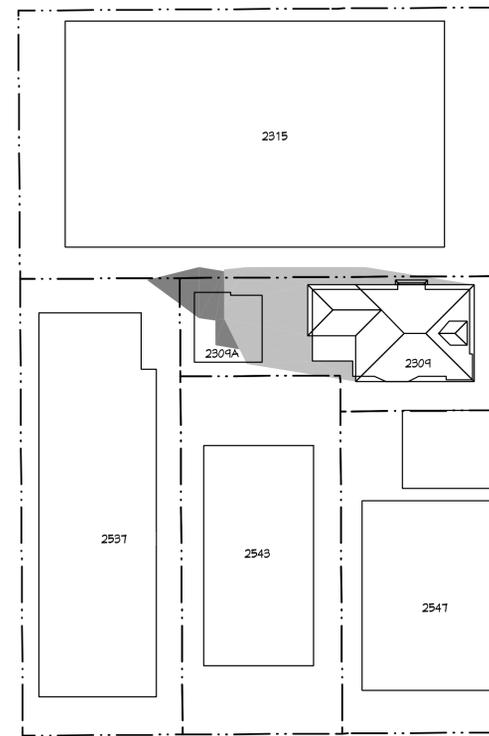
OF: **A1.2**

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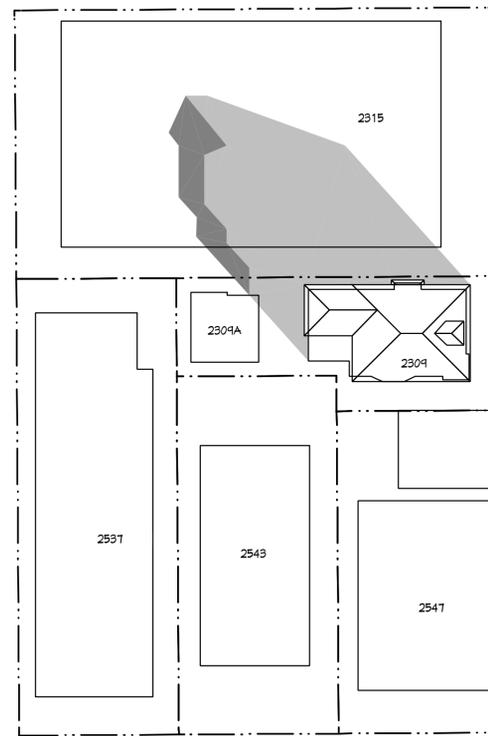
ELLSWORTH ST.

PARKER ST.



ELLSWORTH ST.

PARKER ST.



ELLSWORTH ST.

PARKER ST.

SHADOW STUDY LEGEND

- EXISTING BUILDING SHADOW
- PROPOSED BUILDING SHADOW

NOTES

1. ACCESSORY DWELLING UNIT SHOWN FOR REFERENCE ONLY; NOT INCLUDED IN SCOPE OF PERMIT.

14 9:06 AM SHADOW STUDY DECEMBER 5
 SCALE: 1"=20'-0"

10 11:59 PM SHADOW STUDY DECEMBER 5
 SCALE: 1"=20'-0"

6 2:52 PM SHADOW STUDY DECEMBER 5
 SCALE: 1"=20'-0"



15 9:06 AM SHADOW STUDY DECEMBER 5 - 2315 PARKER ST



11 11:59 PM SHADOW STUDY DECEMBER 5 - 2315 PARKER ST



7 2:52 PM SHADOW STUDY DECEMBER 5 - 2315 PARKER ST



16 9:06 AM SHADOW STUDY DECEMBER 5 - 2537 ELLSWORTH ST



12 11:59 PM SHADOW STUDY DECEMBER 5 - 2537 ELLSWORTH ST



8 2:52 PM SHADOW STUDY DECEMBER 5 - 2537 ELLSWORTH ST



ISSUED:	9/29/2023
ZONING APPLICATION	11/11/2023
1. ZONING RESPONSE 1	12/20/23
2. ZONING RESPONSE 2	01/11/24
3. ZONING RESPONSE 3	6/19/2025
USE PERMIT MODIFICATION	6/19/2025

PROJECT:
 ADDITION for the
 MCCULLOCH-KAATZ
 2309 PARKER ST
 BERKELEY, CA 94704

6/19/2025

ISSUED: USE PERMIT MODIFICATION

SHEET TITLE:
 CURRENT SHADOW STUDY

DRAWN:
 SCALE: AS NOTED
 SHEET:

OF: **A1.3**



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ISSUED:	9/24/2023	11/17/2023	12/20/23	01/17/24	6/19/2025
ZONING APPLICATION	ZONING RESPONSE 1	ZONING RESPONSE 2	ZONING RESPONSE 3	USE PERMIT MODIFICATION	

PROJECT:
ADDITION for the
MCCULLOCH-KAATZ
2309 PARKER ST
BERKELEY, CA 94704

ISSUED: 6/19/2025

SHEET TITLE:
EXISTING FOUNDATION PLAN,
PROPOSED FOUNDATION PLAN

DRAWN:
SCALE: AS NOTED
SHEET:

OF: **A2.0**

DEMO PLAN KEYNOTES

- 1 NO WORK
- 2 (E) DOOR/WINDOW TO REMAIN - NO WORK
- 3 (E) STAIR TO REMAIN - NO WORK
- 4 (E) TO REMAIN - TO BE RELOCATED
- 5 (E) WATER HEATER TO BE REMOVED - SEE MEP PLAN FOR NEW LOCATION
- 6 REMOVE (E) WINDOW/DOOR
- 7 REMOVE CABINET
- 8 REMOVE FIXTURE/APPLIANCE
- 9 DEMO PORTION OF WALL FOR NEW OPENING
- 10 DEMO EXISTING WALL, CEILING, AND FLOOR FINISH.
- 11 REMOVE STAIR
- 12 REMOVE ROOF
- 13 (E) ROOF - TO REMAIN
- 14 REMOVE (E) DOOR/WINDOW - VERIFY WITH OWNER
- 15 REMOVE (E) SUBSTANDARD FOOTINGS & STEM WALLS
- 16 REMOVE SUBSTANDARD WALL FRAMING CONDITIONS

DEMO PLAN NOTES:

1. NOT ALL KEYNOTES USED ON THIS PLAN - SEE OTHER SHEETS
2. SEE PLAN FOR ADDITIONAL INFO.
3. ACCESSORY DWELLING UNIT SHOWN FOR REFERENCE ONLY; NOT INCLUDED IN SCOPE OF PERMIT.

FLOOR PLAN KEYNOTES

- 1 NO WORK
- 2 (N) WALL, FLOOR, CEILING FINISH - SEE FINISH SCHEDULE
- 3 (N) BATHROOM FINISHES, FIXTURES AND CABINETS
- 4 INFILL FORMER OPENING WITH NEW STUD WALL FRAMING (RATED)
- 5 (N) DOOR/WINDOW - SEE SCHEDULE
- 6 GUARDRAIL TYPE 1 - RATED CONSTRUCTION PER 1/A4.0
- 7 STAIR
- 8 DECK
- 9 STACKING WASHER & DRYER
- 10 GUARDRAIL TYPE 1
- 11 GUARDRAIL TYPE 2 PER 10/A4.0
- 12 CABINETRY - SEE ENLARGED PLANS
- 13 FIXTURE - SEE ENLARGED PLANS
- 14 APPLIANCE - SEE ENLARGED PLANS
- 15 ACCESSORY - SEE ENLARGED PLANS
- 16 SEE A2.6 FOR ADU PLAN - REFERENCE ONLY
- 17 WATER SUPPLY - SEE MFR SPEC
- 18 (N) CRAWLSPACE VENT
- 19 (E) CRAWLSPACE ACCESS
- 20 CLEAR ACCESS
- 21 PROVIDE 14X10 LOUVERED OPENING FOR DRYER M/U AIR
- 22 (N) INSTANTANEOUS WATER HEATER W/ RECIRCULATION PUMP CONFIGURATION
- 23 ELEVATED CONCRETE PATIO

FLOOR PLAN NOTES

1. DIMENSIONS TO FACE OF SHT'G U.O.N.
2. NOT ALL KEYNOTES USED ON THIS PLAN - SEE OTHER SHEETS.
3. SEE ENLARGED PLANS FOR ADDITIONAL INFO.
4. SEE A5.0 FOR WINDOW, DOOR & FINISH SCHEDULES.
5. ACCESSORY DWELLING UNIT SHOWN FOR REFERENCE ONLY; NOT INCLUDED IN SCOPE OF PERMIT.

CRAWLSPACE VENTILATION CALCULATION:

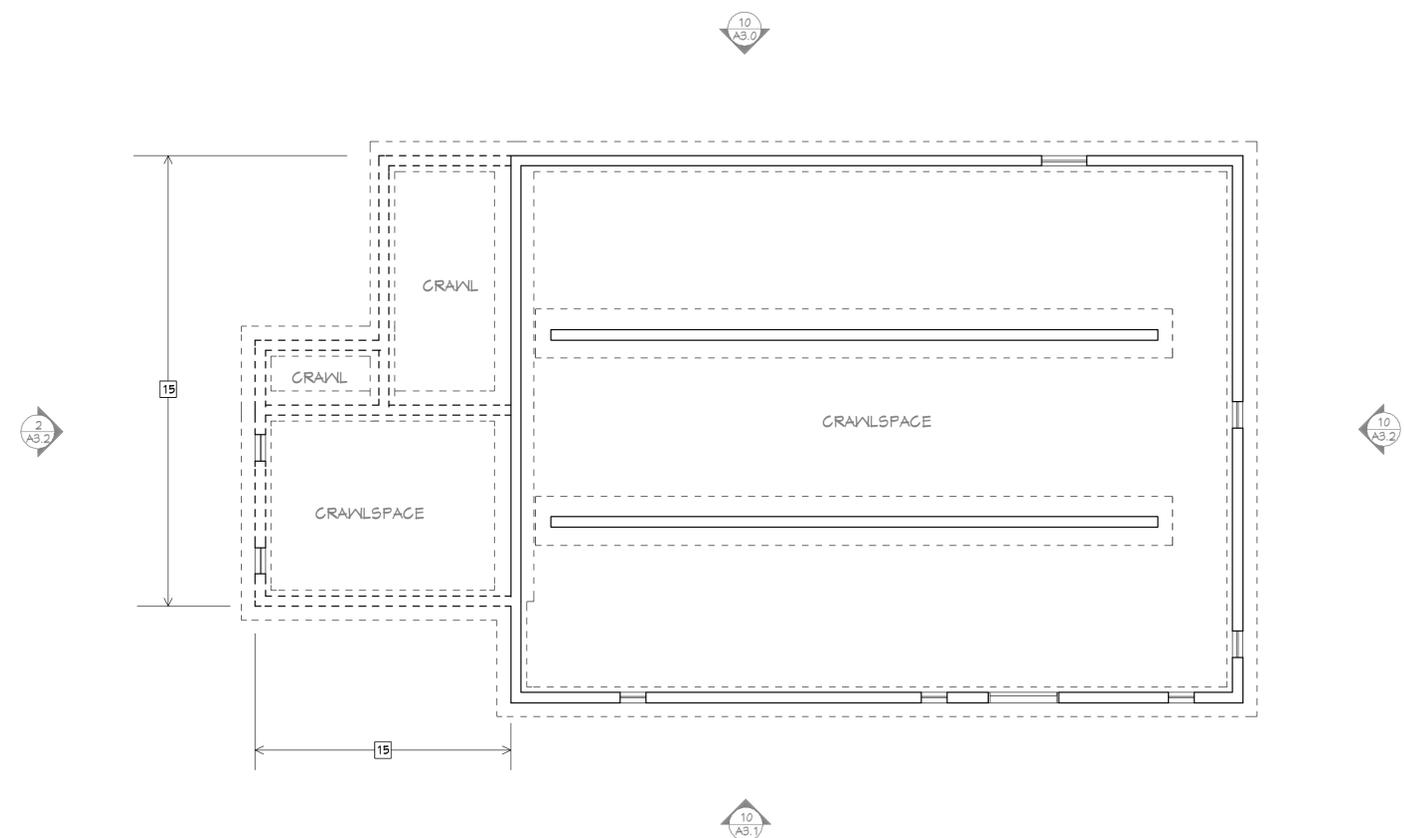
UNDERFLOOR VENTILATION REQUIRED				
AREA VENTILATED	RATE	REQ'D AREA		
230 SF	150cfh	221 SQ. IN.		
UNDERFLOOR VENTILATION PROVIDED				
VENTILATOR	SIZE	TYPE	QUANTITY	AREA/UNIT
VULCAN	8X14	MESH	3	84
				252 SQ. IN. > 221 SQ. IN. OK
*VFSB14FF" (OR EQ.)				

- NOTES:
1. VENT OPENINGS SHALL BE FULLY COVERED W/ NON-COMBUSTIBLE & CORROSION RESISTANT WIRE METAL MESH 1/16" MIN. & 1/8" MAX.
 2. VENTS SHALL BE CONFIGURED TO RESIST INTRUSION OF FLAME & BURNING EMBERS.

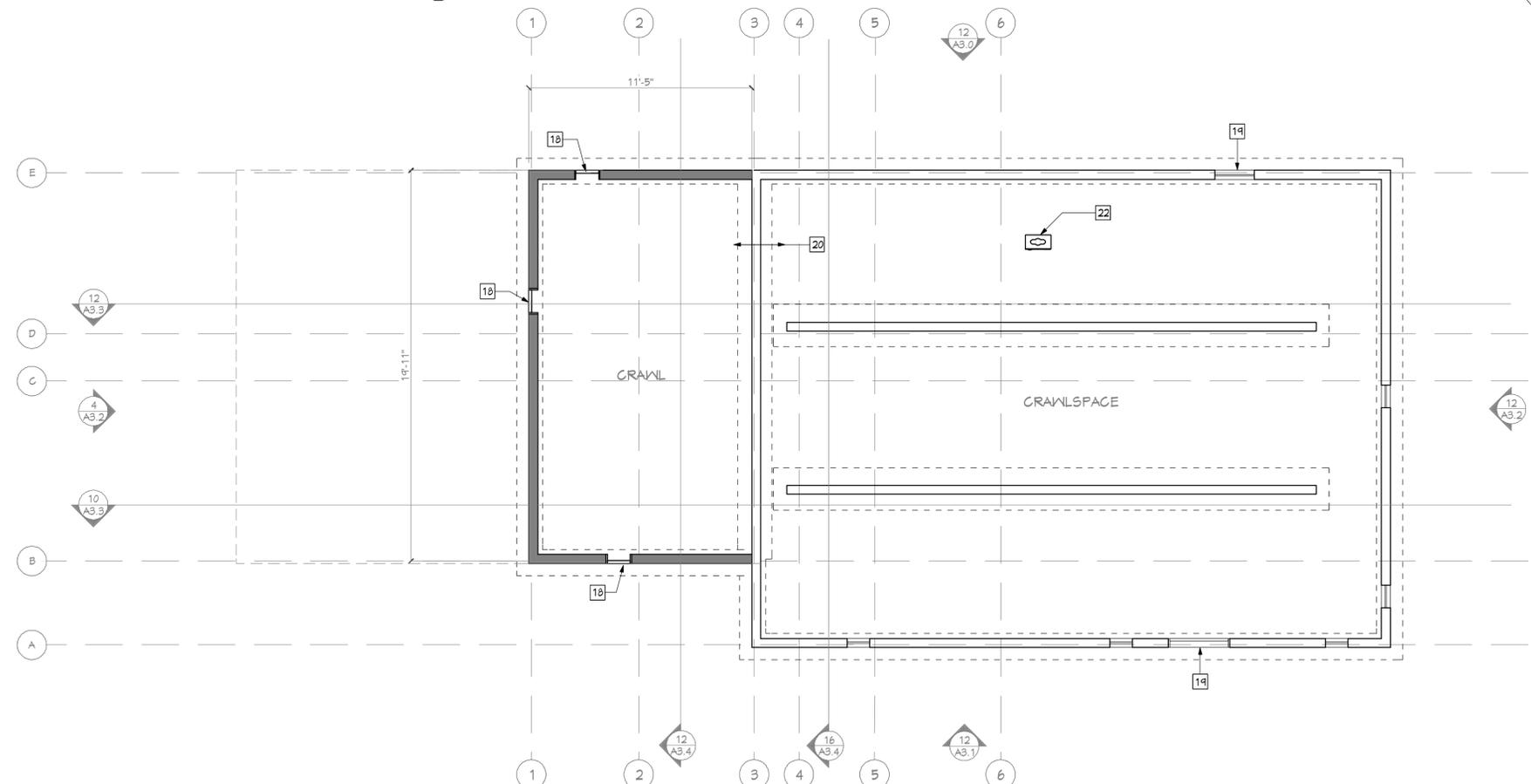
WALL / SYMBOL LEGEND

- (E) WOOD FRAME WALL CONSTRUCTION
- (N) OR RECONSTRUCTED WALL CONSTRUCTION
- (N) RATED WALL CONSTRUCTION - SEE 13/A4.0
- EXISTING WOOD FRAME WALL CONSTRUCTION TO BE REMOVED - SEE DEMO PLAN FOR ADDITIONAL INFO.

NOTE:
AS BUILT DRAWINGS WERE MADE FROM EXISTING PLANS SUPPLIED AND NOT FIELD VERIFIED IN ENTIRETY. ANY MAJOR DISCREPANCIES IN DIMENSIONS EXPERIENCED IN THE FIELD SHOULD BE PROMPTLY REPORTED TO MTAC DESIGN DEPARTMENT FOR VERIFICATION.



6 EXISTING FOUNDATION PLAN - NO WORK
SCALE: 1/4"=1'-0"



8 PROPOSED FOUNDATION PLAN
SCALE: 1/4"=1'-0"

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ISSUED:	9/24/2023
ZONING APPLICATION	11/17/2023
1. ZONING RESPONSE 1	12/20/23
2. ZONING RESPONSE 2	01/17/24
3. ZONING RESPONSE 3	01/17/24
USE PERMIT MODIFICATION	6/19/2025

PROJECT:
ADDITION for the
MCCULLOCH-KAATZ
2304 PARKER ST
BERKELEY, CA 94704

6/19/2025

ISSUED: USE PERMIT MODIFICATION

SHEET TITLE:
DEMO PLAN - LOWER LEVEL,
FLOOR PLAN - LOWER LEVEL

DRAWN:
SCALE: AS NOTED

SHEET:

OF: **A2.1**

DEMO PLAN KEYNOTES

- 1 NO WORK
- 2 (E) DOOR/WINDOW TO REMAIN - NO WORK
- 3 (E) STAIR TO REMAIN - NO WORK
- 4 (E) TO REMAIN - TO BE RELOCATED
- 5 (E) WATER HEATER TO BE REMOVED - SEE MEP PLAN FOR NEW LOCATION
- 6 REMOVE (E) WINDOW/DOOR
- 7 REMOVE CABINET
- 8 REMOVE FIXTURE/APPLIANCE
- 9 DEMO PORTION OF WALL FOR NEW OPENING
- 10 DEMO EXISTING WALL, CEILING, AND FLOOR FINISH.
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- 13 (E) ROOF - TO REMAIN
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- 15 REMOVE (E) SUBSTANDARD FOOTINGS & STEM WALLS
- 16 REMOVE SUBSTANDARD WALL FRAMING CONDITIONS

DEMO PLAN NOTES:

- 1. NOT ALL KEYNOTES USED ON THIS PLAN - SEE OTHER SHEETS
- 2. SEE PLAN FOR ADDITIONAL INFO.
- 3. ACCESSORY DWELLING UNIT SHOWN FOR REFERENCE ONLY; NOT INCLUDED IN SCOPE OF PERMIT.

FLOOR PLAN KEYNOTES

- 1 NO WORK
- 2 (N) WALL, FLOOR, CEILING FINISH - SEE FINISH SCHEDULE
- 3 (N) BATHROOM FINISHES, FIXTURES AND CABINETS
- 4 INFILL FORMER OPENING WITH NEW STUD WALL FRAMING (RATED)
- 5 (N) DOOR/WINDOW - SEE SCHEDULE
- 6 GUARDRAIL TYPE 1 - RATED CONSTRUCTION PER 13/A4.0
- 7 STAIR
- 8 DECK
- 9 STACKING WASHER & DRYER
- 10 GUARDRAIL TYPE 1
- 11 GUARDRAIL TYPE 2 PER 10/A4.0
- 12 CABINETRY - SEE ENLARGED PLANS
- 13 FIXTURE - SEE ENLARGED PLANS
- 14 APPLIANCE - SEE ENLARGED PLANS
- 15 ACCESSORY - SEE ENLARGED PLANS
- 16 SEE A2.6 FOR ADU PLAN - REFERENCE ONLY
- 17 WATER SUPPLY - SEE MFR SPEC
- 18 (N) CRAWLSPACE VENT
- 19 (E) CRAWLSPACE ACCESS
- 20 CLEAR ACCESS
- 21 PROVIDE 14X10 LOUVERED OPENING FOR DRYER M/U AIR
- 22 (N) INSTANTANEOUS WATER HEATER W/ RECIRCULATION PUMP CONFIGURATION
- 23 ELEVATED CONCRETE PATIO

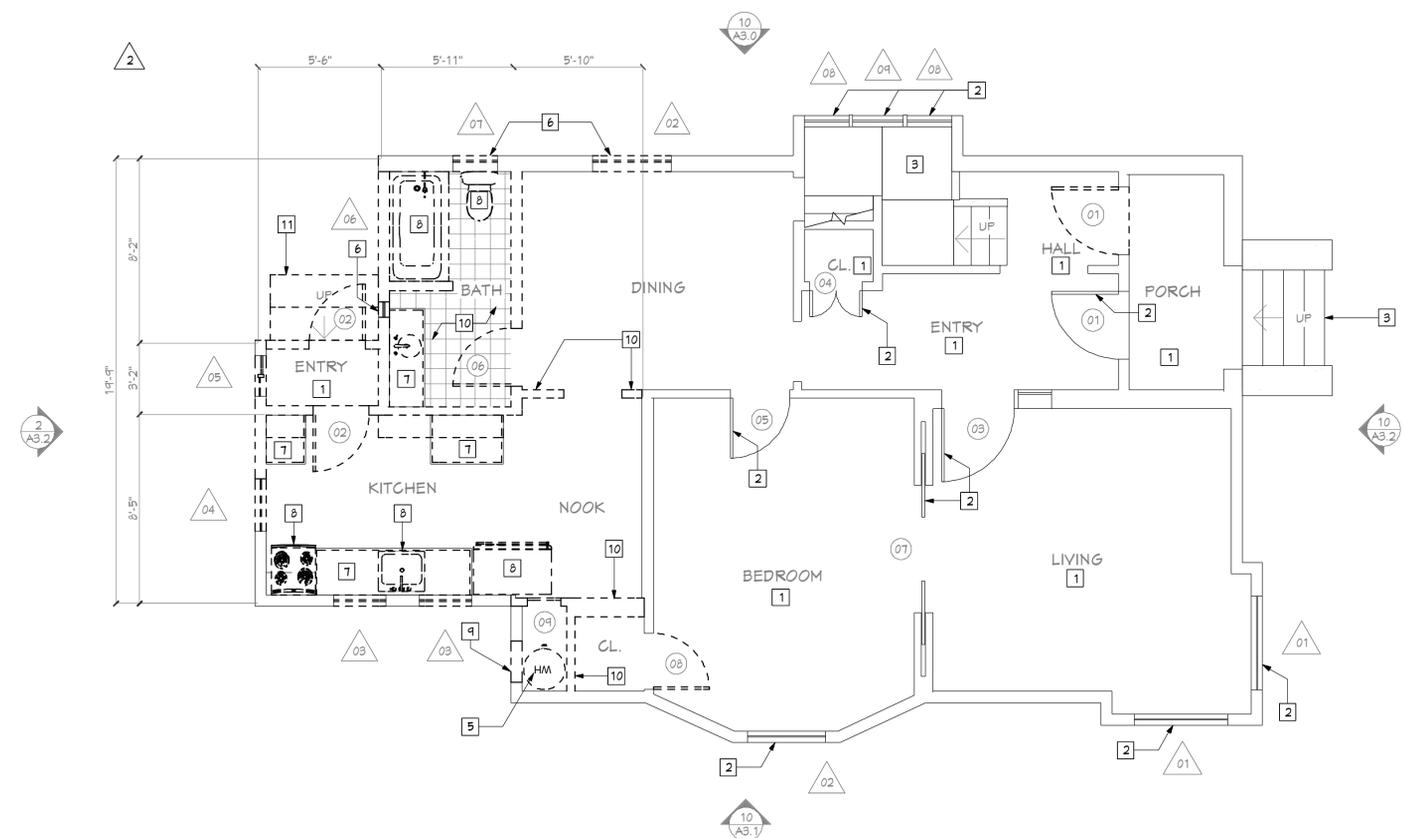
FLOOR PLAN NOTES

- 1. DIMENSIONS TO FACE OF SHT'G U.O.N.
- 2. NOT ALL KEYNOTES USED ON THIS PLAN - SEE OTHER SHEETS.
- 3. SEE ENLARGED PLANS FOR ADDITIONAL INFO.
- 4. SEE A5.0 FOR WINDOW, DOOR & FINISH SCHEDULES.
- 5. ACCESSORY DWELLING UNIT SHOWN FOR REFERENCE ONLY; NOT INCLUDED IN SCOPE OF PERMIT.

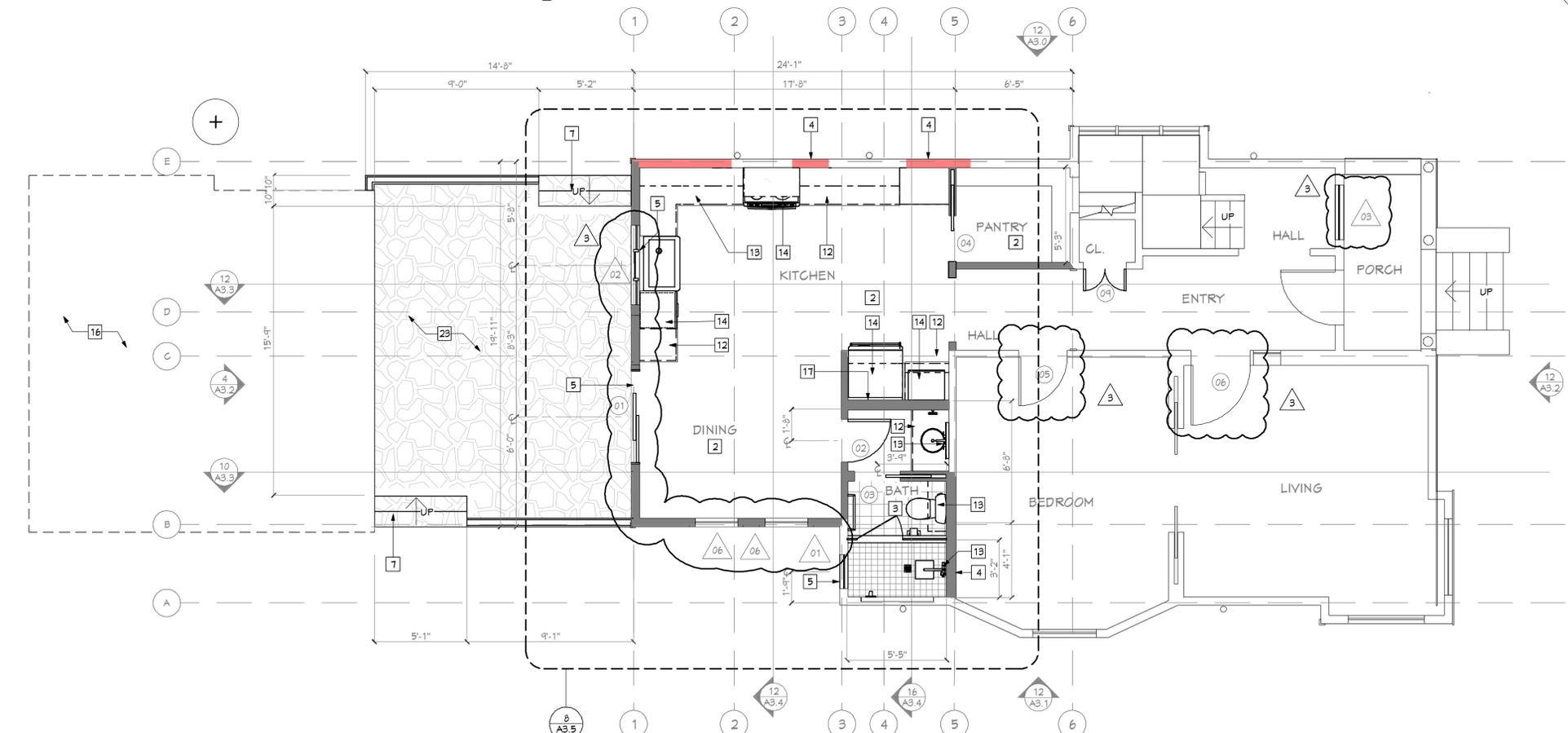
WALL / SYMBOL LEGEND

- (E) WOOD FRAME WALL CONSTRUCTION
- EXISTING WOOD FRAME WALL CONSTRUCTION TO BE REMOVED - SEE DEMO PLAN FOR ADDITIONAL INFO.
- (N) OR RECONSTRUCTED WALL CONSTRUCTION
- (N) RATED WALL CONSTRUCTION - SEE 13/A4.0

NOTE:
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6 DEMO PLAN - LOWER LEVEL
SCALE: 1/4"=1'-0"



8 FLOOR PLAN - LOWER LEVEL
SCALE: 1/4"=1'-0"

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ISSUED:	9/24/2023	11/17/2023	12/20/23	01/17/24	6/19/2025
ZONING APPLICATION	ZONING RESPONSE 1	ZONING RESPONSE 2	ZONING RESPONSE 3	USE PERMIT MODIFICATION	

PROJECT:
ADDITION for the
MCCULLOCH-KAATZ
2304 PARKER ST
BERKELEY, CA 94704

6/19/2025

SHEET TITLE:
DEMO PLAN - UPPER LEVEL,
FLOOR PLAN - UPPER LEVEL

DRAWN:
SCALE: AS NOTED

OF: **A2.2**

DEMO PLAN KEYNOTES

- 1 NO WORK
- 2 (E) DOOR/WINDOW TO REMAIN - NO WORK
- 3 (E) STAIR TO REMAIN - NO WORK
- 4 (E) TO REMAIN - TO BE RELOCATED
- 5 (E) WATER HEATER TO BE REMOVED - SEE MEP PLAN FOR NEW LOCATION
- 6 REMOVE (E) WINDOW/DOOR
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FLOOR PLAN KEYNOTES

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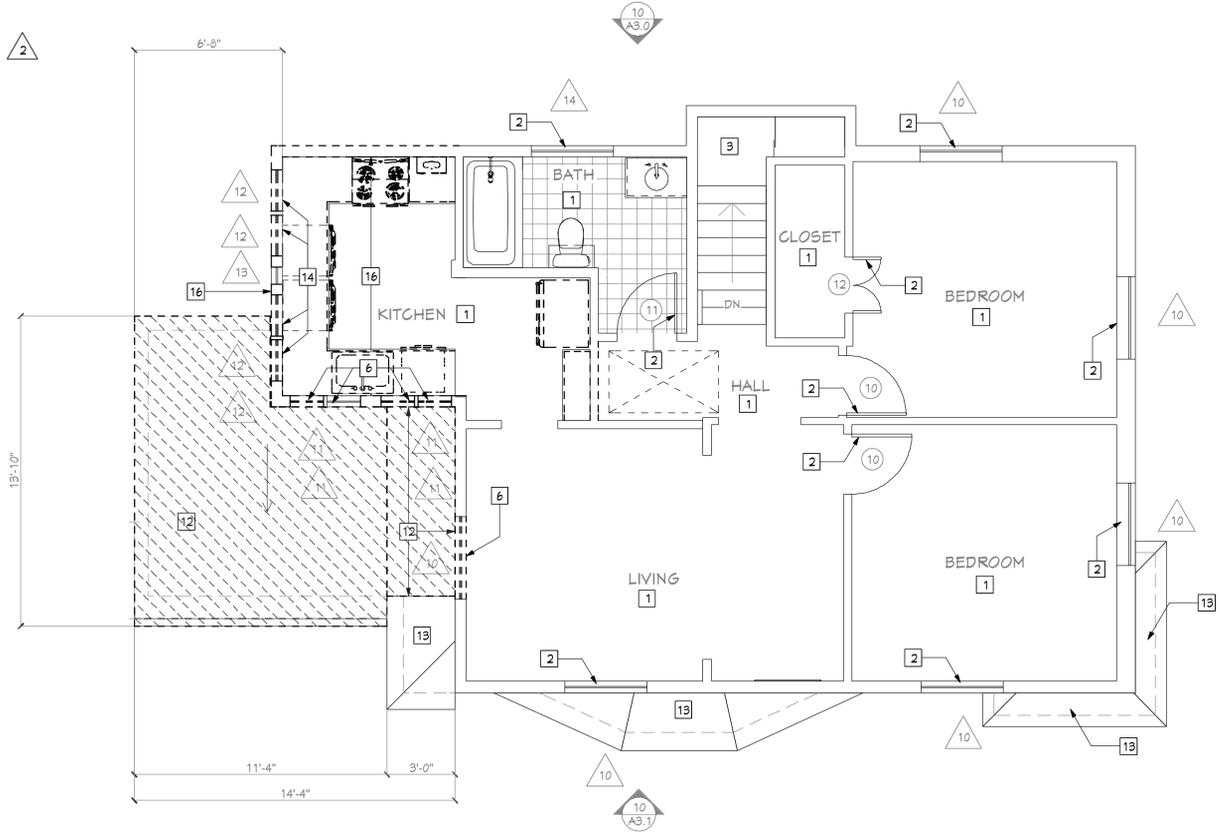
FLOOR PLAN NOTES

- 1. DIMENSIONS TO FACE OF SHT'G U.O.N.
- 2. NOT ALL KEYNOTES USED ON THIS PLAN - SEE OTHER SHEETS.
- 3. SEE ENLARGED PLANS FOR ADDITIONAL INFO.
- 4. SEE A5.0 FOR WINDOW, DOOR & FINISH SCHEDULES.
- 5. ACCESSORY DWELLING UNIT SHOWN FOR REFERENCE ONLY; NOT INCLUDED IN SCOPE OF PERMIT.

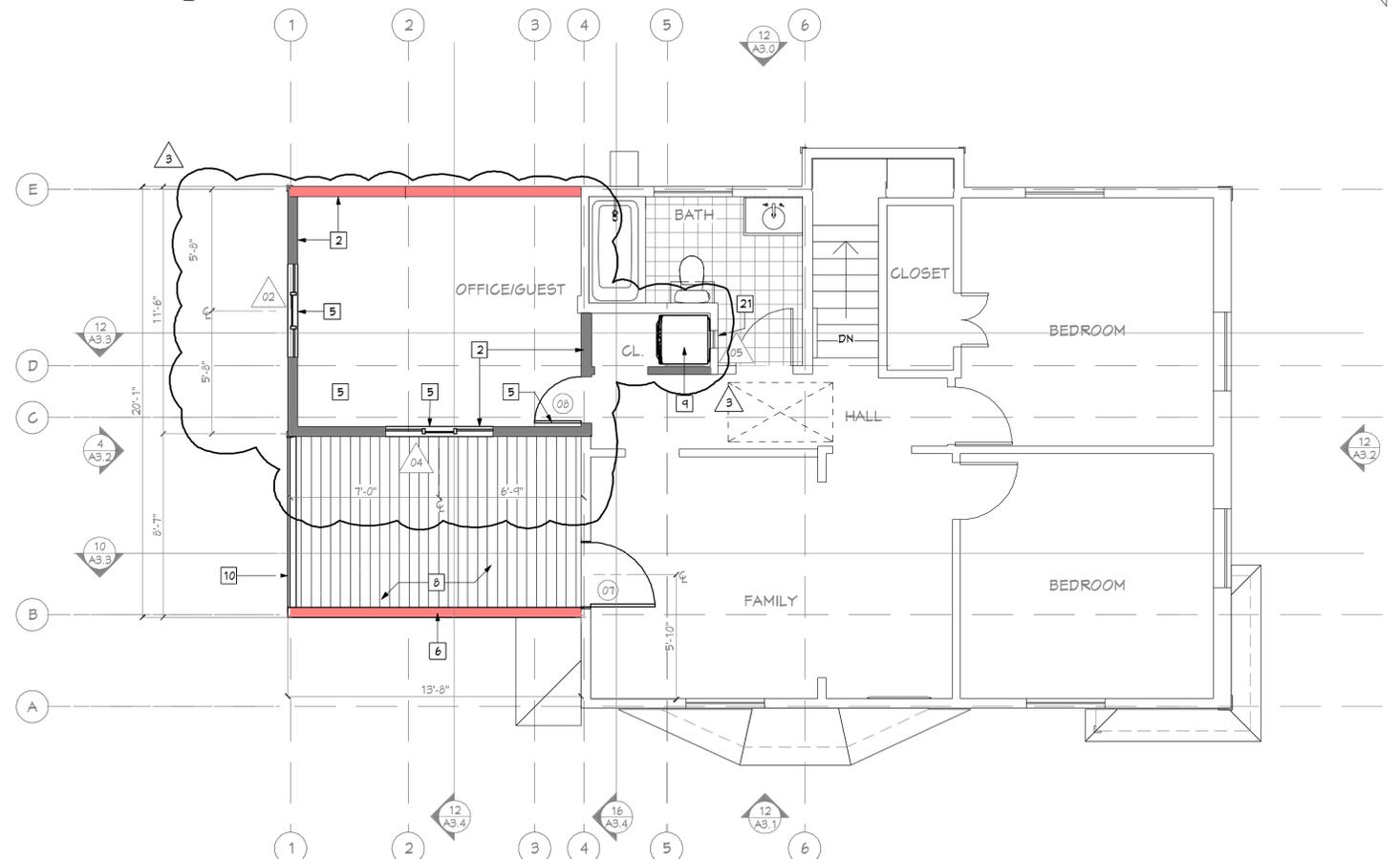
WALL / SYMBOL LEGEND

- (E) WOOD FRAME WALL CONSTRUCTION
- EXISTING WOOD FRAME WALL CONSTRUCTION TO BE REMOVED - SEE DEMO PLAN FOR ADDITIONAL INFO.
- (N) OR RECONSTRUCTED WALL CONSTRUCTION
- (N) RATED WALL CONSTRUCTION - SEE 13/A4.0

NOTE:
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6 DEMO PLAN - UPPER LEVEL
SCALE: 1/4"=1'-0"



8 FLOOR PLAN - UPPER LEVEL
SCALE: 1/4"=1'-0"

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ISSUED: USE PERMIT MODIFICATION

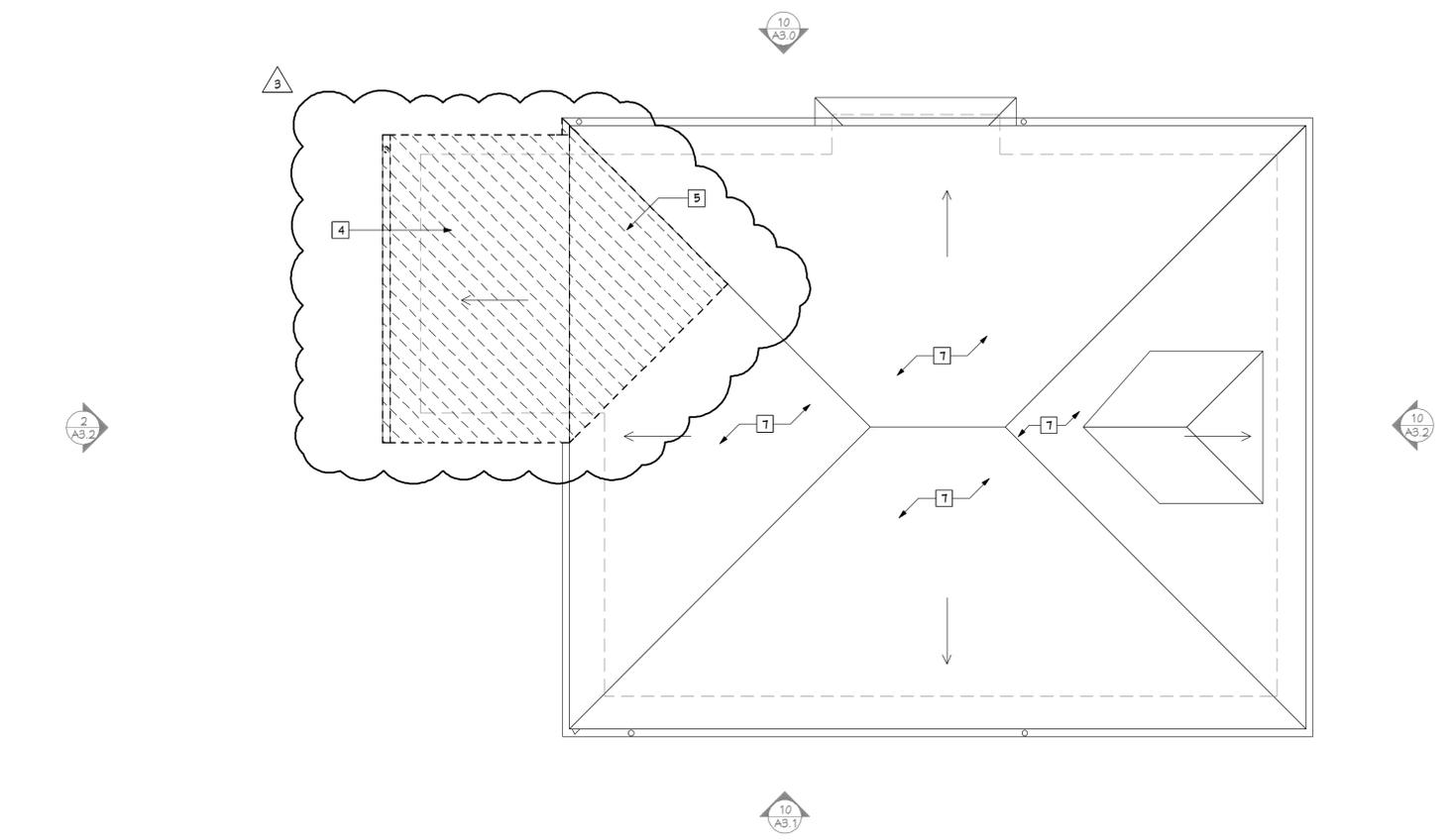
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ROOF PLAN KEYNOTES

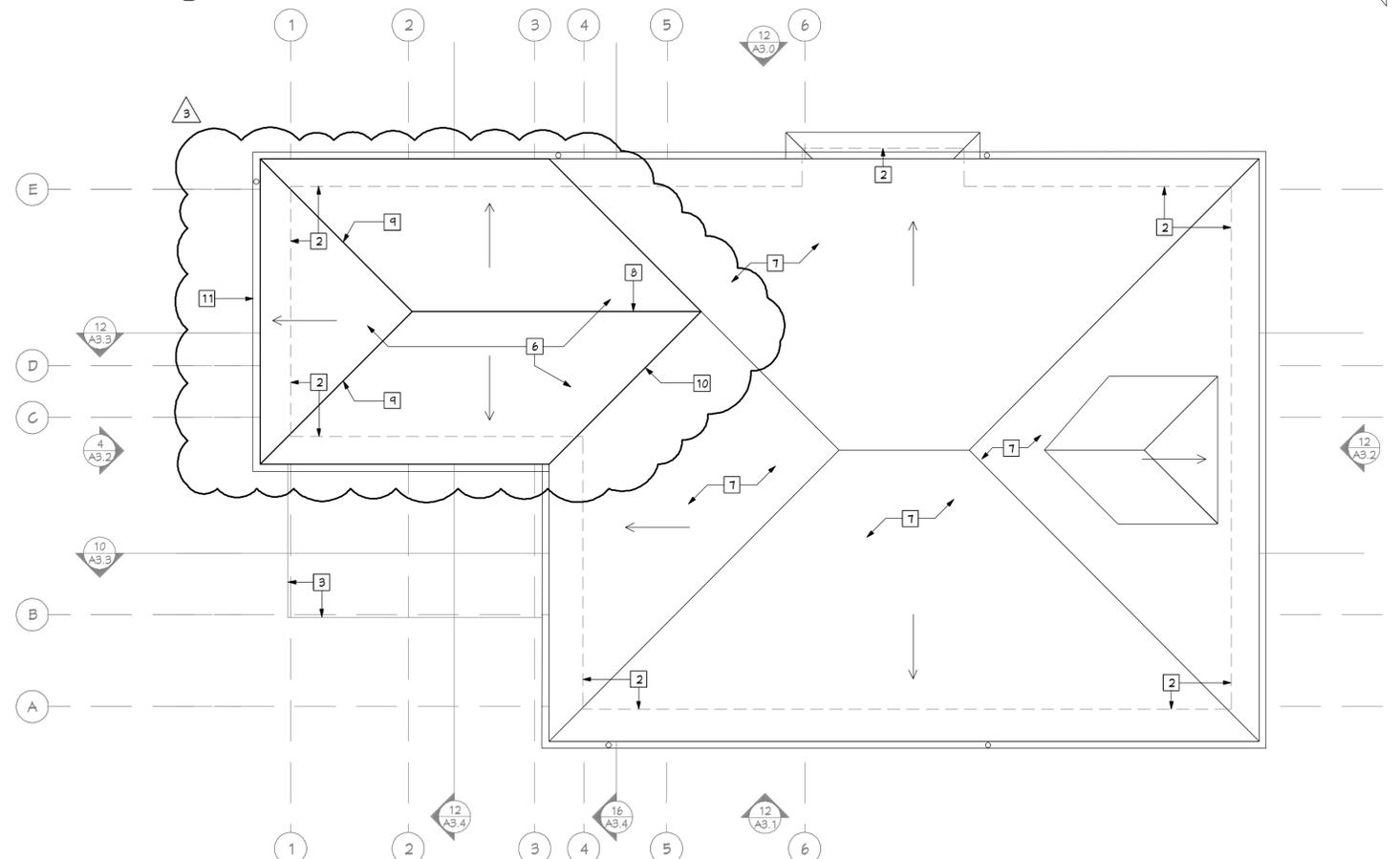
- 1 NO WORK
- 2 LINE OF BUILDING BELOW
- 3 (N) DECK BELOW
- 4 REMOVE SHED ROOF
- 5 REMOVE ROOFING IN PREP FOR (N) FRAMING
- 6 (N) ROOF SYSTEM S.S.D.
- 7 (E) ROOF TO REMAIN
- 8 RIDGE
- 9 HIP
- 10 VALLEY
- 11 GUTTER

ROOF PLAN NOTES

1. DIMENSIONS TO FACE OF SHT'G U.O.N.
2. NOT ALL KEYNOTES USED ON THIS PLAN - SEE OTHER SHEETS.
3. SEE ENLARGED PLANS FOR ADDITIONAL INFO.
4. SEE A5.0 FOR WINDOW, DOOR & FINISH SCHEDULES.
5. ACCESSORY DWELLING UNIT SHOWN FOR REFERENCE ONLY; NOT INCLUDED IN SCOPE OF PERMIT.



6 DEMO PLAN - ROOF
 SCALE: 1/4"=1'-0"



8 ROOF PLAN
 SCALE: 1/4"=1'-0"



ISSUED:	9/29/2023	11/17/2023	12/20/23	01/17/24	6/19/2025
ZONING APPLICATION	ZONING RESPONSE 1	ZONING RESPONSE 2	ZONING RESPONSE 3	USE PERMIT MODIFICATION	

PROJECT:
**ADDITION for the
 MCCULLOCH-KAATZ
 2309 PARKER ST
 BERKELEY, CA 94704**

ISSUED: **USE PERMIT MODIFICATION**
 SHEET TITLE:
DEMO PLAN - ROOF, ROOF PLAN

DRAWN:
 SCALE: AS NOTED
 SHEET:

OF: **A2.3**



ISSUED:	9/29/2023	11/17/2023	12/20/23	01/17/24	6/19/2025
ZONING APPLICATION	ZONING RESPONSE 1	ZONING RESPONSE 2	ZONING RESPONSE 3	USE PERMIT MODIFICATION	
1	2	3	4	5	

PROJECT:
ADDITION for the
MCCULLOCH-KATZ
2309 PARKER ST
BERKELEY, CA 94704

ISSUED: 6/19/2025

SHEET TITLE:
EXISTING ELEVATIONS &
PROPOSED ELEVATIONS

DRAWN:
SCALE: AS NOTED

SHEET:

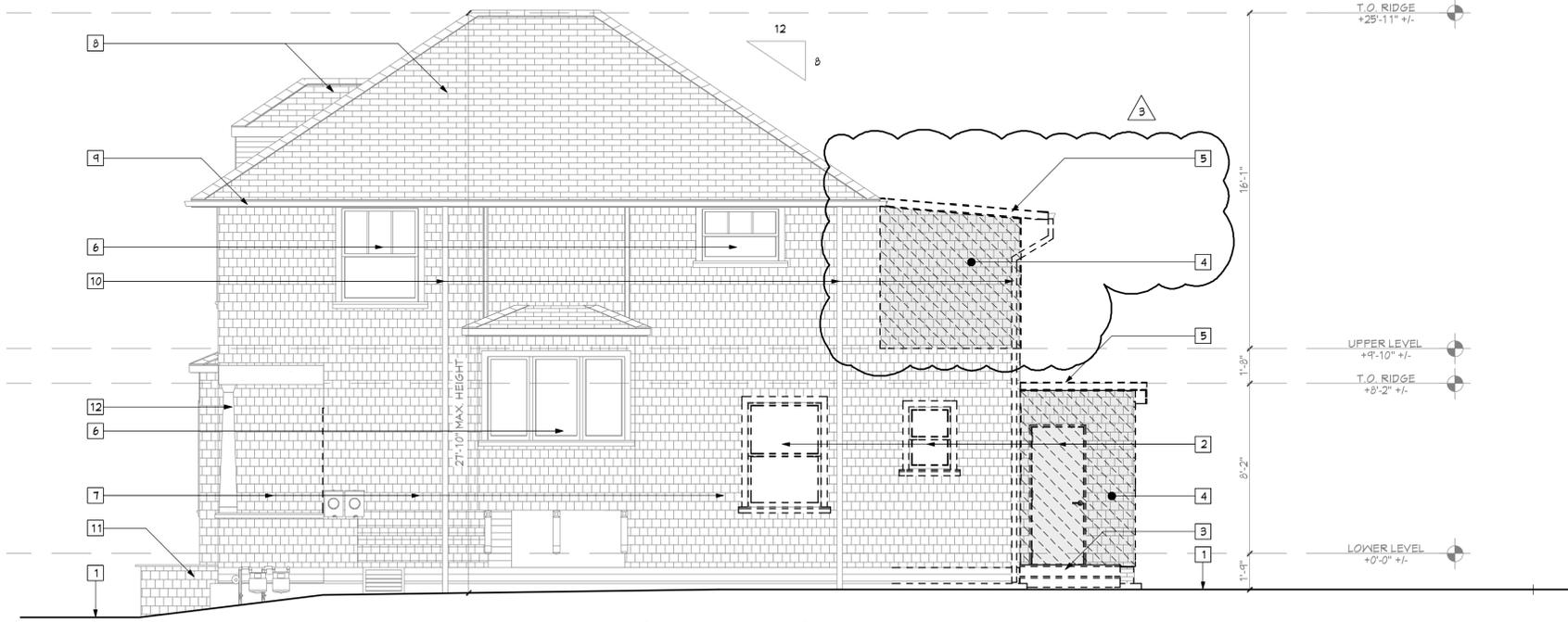
OF: A3.0

EXISTING ELEVATION KEYNOTES

- 1 FINISH GRADE
- 2 (E) WINDOWS/DOORS - TO BE REMOVED
- 3 (E) STAIR - TO BE REMOVED
- 4 (E) WALL - TO BE REMOVED
- 5 (E) ROOF - TO BE REMOVED
- 6 (E) WINDOWS/DOORS - TO REMAIN
- 7 (E) SHINGLE SIDING - TO REMAIN
- 8 (E) COMPOSITION ROOF - TO REMAIN
- 9 (E) GUTTER - TO REMAIN
- 10 (E) DOWNSPOUT - TO REMAIN
- 11 (E) STAIR - TO REMAIN
- 12 (E) COLUMN - TO REMAIN

EXISTING ELEVATION NOTES:

- 1. NOT ALL KEYNOTES USED ON THIS PLAN - SEE OTHER SHEETS
- 2. WALL OPENING ANALYSIS (PL < 5' - 0")
WALL AREA: 644 SF
OPENING AREA: 75.5 SF
% AREA: 12% < 25% OK



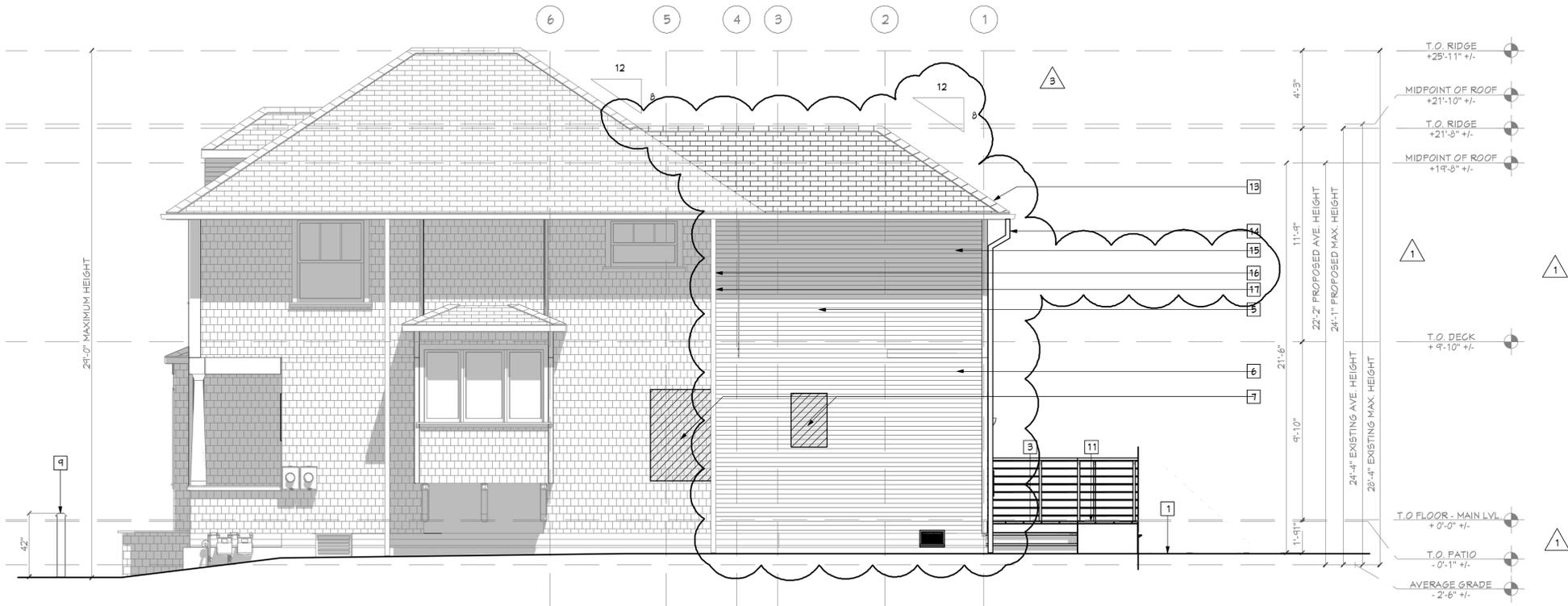
10 EXISTING ELEVATION - RIGHT
SCALE: 1/4"=1'-0"

PROPOSED ELEVATION KEYNOTES

- 1 GROUND PLANE
- 2 HEAVY TIMBER DECK
- 3 CONCRETE STEPS
- 4 GUARDRAIL TYPE 1
- 5 NEW WALL FRAMING AND FINISH
- 6 SHINGLE SIDING WALL - TO MATCH EXISTING
- 7 (N) SHINGLE SIDING WALL INFILL - TO MATCH EXISTING
- 8 DOOR/WINDOW
- 9 ADU ADDRESS: PAINTED WOOD POST W/ 4" ADDRESS NUMBERS AS NOTED - REFERENCE ONLY
- 10 GUARDRAIL TYPE 2
- 11 ELEVATED CONCRETE PATIO
- 12 (E) PRIMARY RESIDENCE ADDRESS
- 13 REPLACEMENT ROOF - SEE PLAN
- 14 GUTTER & DOWNSPOUT
- 15 REMOVE (E) SHINGLES TO EXPOSE (E) HORIZONTAL WOOD SIDING - REPAIR AS REQ'D.
- 16 3" VERTICAL TRIM AT TRANSITION BETWEEN (E) SHINGLE SIDING AND (N) HORIZONTAL SIDING
- 17 (N) DOWNSPOUT - LOCATE AT CENTER LINE OF VERTICAL TRIM BEHIND

PROPOSED ELEVATION NOTES:

- 1. NOT ALL KEYNOTES USED ON THIS PLAN - SEE OTHER SHEETS
- 2. WALL OPENING ANALYSIS (PL < 5' - 0")
WALL AREA: 724 SF
OPENING AREA: 52 SF
% AREA: 7% < 25% OK



12 PROPOSED ELEVATION - RIGHT
SCALE: 1/4"=1'-0"

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ISSUED:	9/29/2023	11/17/2023	12/20/23	01/17/24	6/19/2025
ZONING APPLICATION	ZONING RESPONSE 1	ZONING RESPONSE 2	ZONING RESPONSE 3	USE PERMIT MODIFICATION	

PROJECT:
**ADDITION for the
MCCULLOCH-KAATZ
2309 PARKER ST
BERKELEY, CA 94704**

SHEET TITLE:
**EXISTING ELEVATIONS &
PROPOSED ELEVATIONS**

DRAWN:
SCALE: AS NOTED
SHEET:

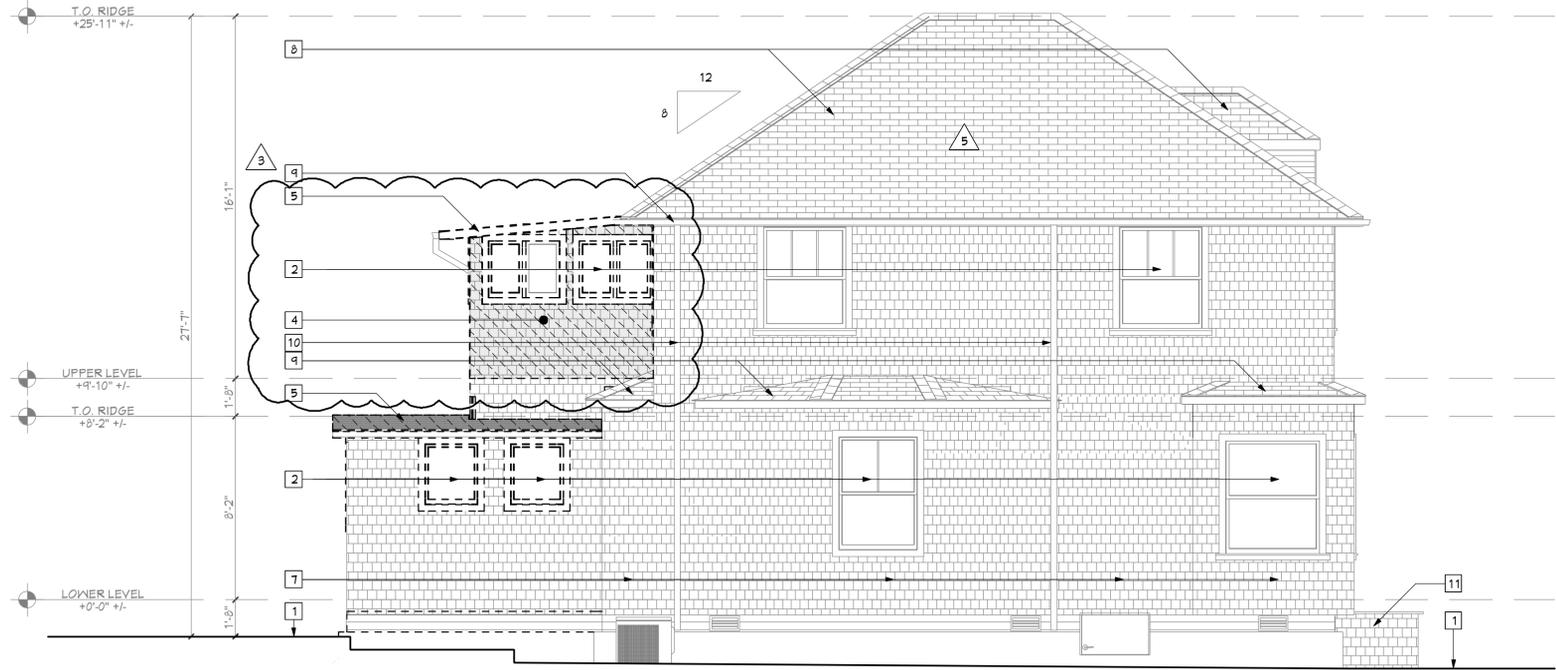
OF: **A3.1**

EXISTING ELEVATION KEYNOTES

- 1 FINISH GRADE
- 2 (E) WINDOWS/DOORS - TO BE REMOVED
- 3 (E) STAIR - TO BE REMOVED
- 4 (E) WALL - TO BE REMOVED
- 5 (E) ROOF - TO BE REMOVED
- 6 (E) WINDOWS/DOORS - TO REMAIN
- 7 (E) SHINGLE SIDING - TO REMAIN
- 8 (E) COMPOSITION ROOF - TO REMAIN
- 9 (E) GUTTER - TO REMAIN
- 10 (E) DOWNSPOUT - TO REMAIN
- 11 (E) STAIR - TO REMAIN
- 12 (E) COLUMN - TO REMAIN

EXISTING ELEVATION NOTES:

- 1. NOT ALL KEYNOTES USED ON THIS PLAN - SEE OTHER SHEETS
- 2. WALL OPENING ANALYSIS (PL < 5' - 0")
WALL AREA: 54 SF
OPENING AREA: 6 SF
% AREA: 11% < 25% OK



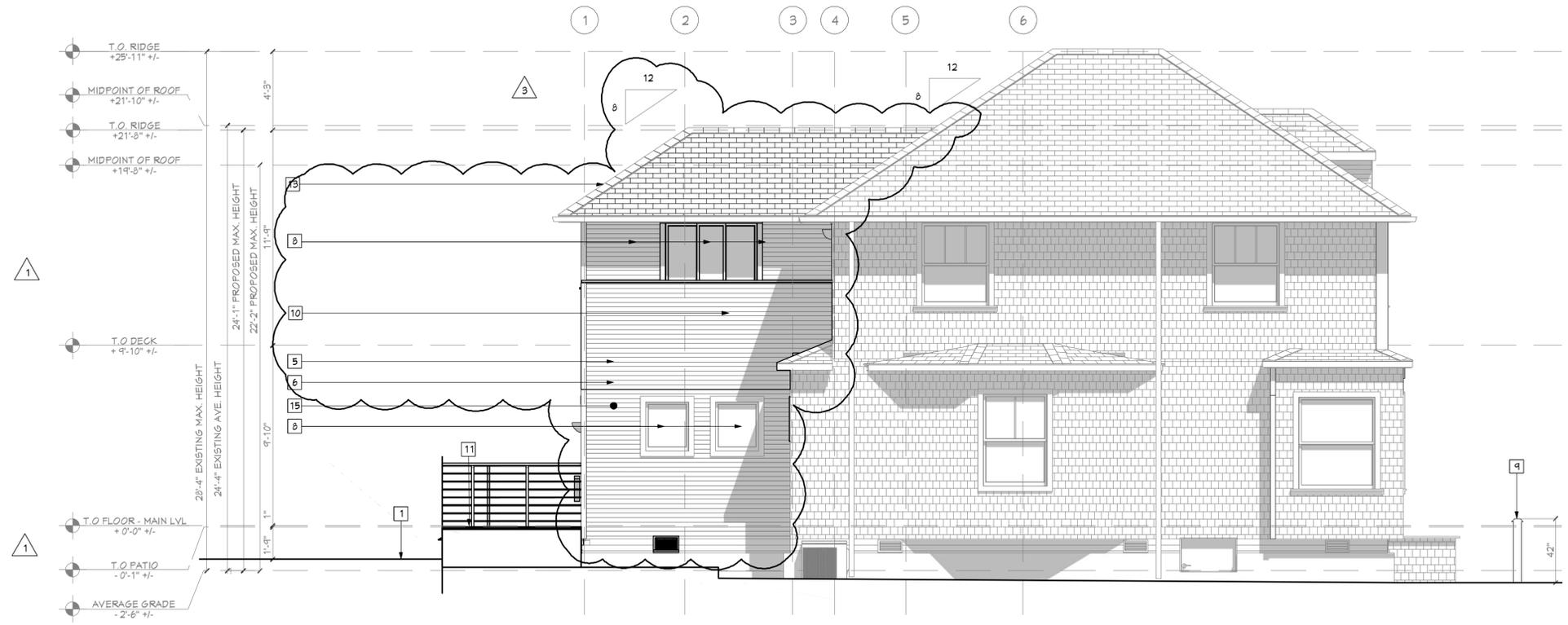
10 EXISTING ELEVATION - LEFT
SCALE: 1/4"=1'-0"

PROPOSED ELEVATION KEYNOTES

- 1 GROUND PLANE
- 2 HEAVY TIMBER DECK
- 3 CONCRETE STEPS
- 4 GUARDRAIL TYPE 1
- 5 NEW WALL FRAMING AND FINISH
- 6 SHINGLE SIDING WALL - TO MATCH EXISTING
- 7 (N) SHINGLE SIDING WALL INFILL - TO MATCH EXISTING
- 8 DOOR/WINDOW
- 9 ADU ADDRESS: PAINTED WOOD POST W/ 4" ADDRESS NUMBERS AS NOTED - REFERENCE ONLY
- 10 GUARDRAIL TYPE 2
- 11 ELEVATED CONCRETE PATIO
- 12 (E) PRIMARY RESIDENCE ADDRESS
- 13 REPLACEMENT ROOF - SEE PLAN
- 14 GUTTER & DOWNSPOUT
- 15 REMOVE (E) SHINGLES TO EXPOSE (E) HORIZONTAL WOOD SIDING - REPAIR AS REQ'D.
- 16 3" VERTICAL TRIM AT TRANSITION BETWEEN (E) SHINGLE SIDING AND (N) HORIZONTAL SIDING
- 17 (N) DOWNSPOUT - LOCATE AT CENTER LINE OF VERTICAL TRIM BEHIND

PROPOSED ELEVATION NOTES:

- 1. NOT ALL KEYNOTES USED ON THIS PLAN - SEE OTHER SHEETS
- 2. WALL OPENING ANALYSIS (PL < 5' - 0")
WALL AREA: 106 SF
OPENING AREA: 6 SF
% AREA: 6% < 25% OK



12 PROPOSED ELEVATION - LEFT
SCALE: 1/4"=1'-0"

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ISSUED: 6/19/2025

USE PERMIT MODIFICATION



ISSUED:	9/29/2023	11/17/2023	12/20/23	01/17/24	6/19/2025
ZONING APPLICATION	ZONING RESPONSE 1	ZONING RESPONSE 2	ZONING RESPONSE 3	USE PERMIT MODIFICATION	

PROJECT:
ADDITION for the
MCCULLOCH-KAATZ
2309 PARKER ST
BERKELEY, CA 94704

6/19/2025

SHEET TITLE:
EXISTING ELEVATIONS &
PROPOSED ELEVATIONS

DRAWN:
SCALE: AS NOTED
SHEET:

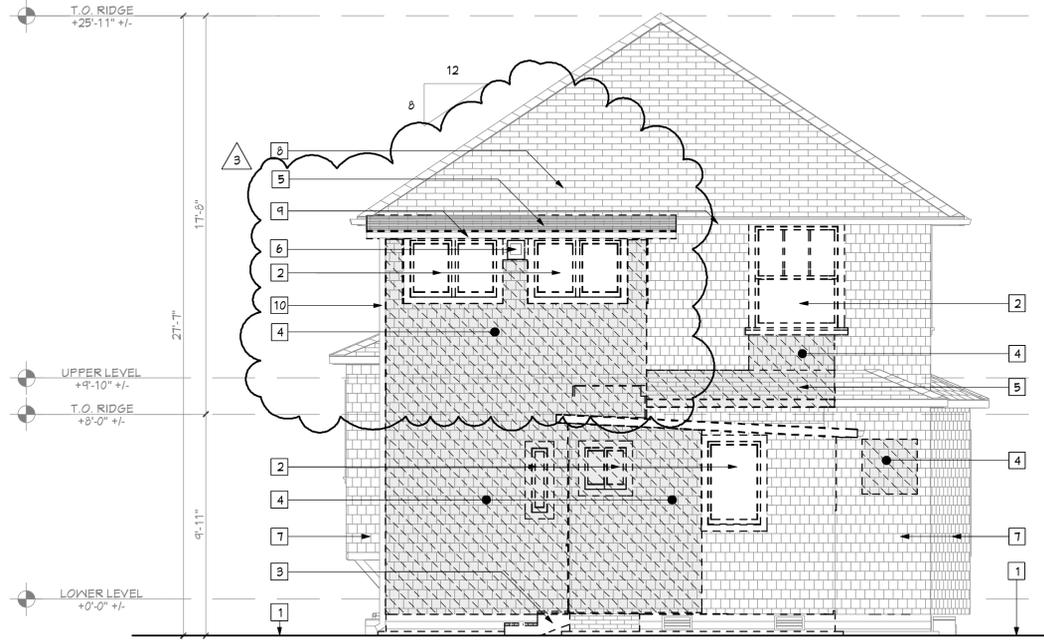
OF: **A3.2**

EXISTING ELEVATION KEYNOTES

- 1 FINISH GRADE
- 2 (E) WINDOWS/DOORS - TO BE REMOVED
- 3 (E) STAIR - TO BE REMOVED
- 4 (E) WALL - TO BE REMOVED
- 5 (E) ROOF - TO BE REMOVED
- 6 (E) WINDOWS/DOORS - TO REMAIN
- 7 (E) SHINGLE SIDING - TO REMAIN
- 8 (E) COMPOSITION ROOF - TO REMAIN
- 9 (E) GUTTER - TO REMAIN
- 10 (E) DOWNSPOUT - TO REMAIN
- 11 (E) STAIR - TO REMAIN
- 12 (E) COLUMN - TO REMAIN

EXISTING ELEVATION NOTES:

- 1. NOT ALL KEYNOTES USED ON THIS PLAN - SEE OTHER SHEETS
- 2. WALL OPENING ANALYSIS (PL < 5' - 0")
WALL AREA: 644 SF
OPENING AREA: 75.5 SF
% AREA: 12% < 25% OK



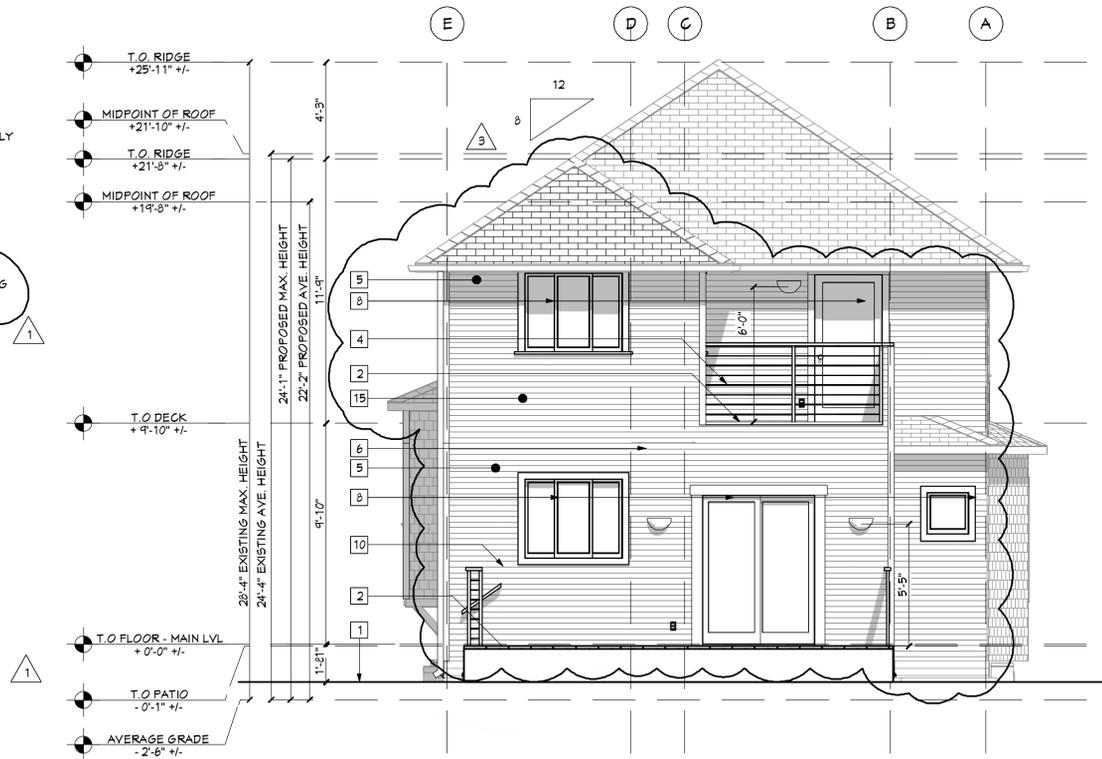
10 EXISTING ELEVATION - REAR
SCALE: 1/4"=1'-0"

PROPOSED ELEVATION KEYNOTES

- 1 GROUND PLANE
- 2 HEAVY TIMBER DECK
- 3 CONCRETE STEPS
- 4 GUARDRAIL TYPE 1
- 5 NEW WALL FRAMING AND FINISH
- 6 SHINGLE SIDING WALL - TO MATCH EXISTING
- 7 (N) SHINGLE SIDING WALL INFILL - TO MATCH EXISTING
- 8 DOOR/WINDOW
- 9 ADU ADDRESS: PAINTED WOOD POST W/ 4" ADDRESS NUMBERS AS NOTED - REFERENCE ONLY
- 10 GUARDRAIL TYPE 2
- 11 ELEVATED CONCRETE PATIO
- 12 (E) PRIMARY RESIDENCE ADDRESS
- 13 REPLACEMENT ROOF - SEE PLAN
- 14 GUTTER & DOWNSPOUT
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- 17 (N) DOWNSPOUT - LOCATE AT CENTER LINE OF VERTICAL TRIM BEHIND

PROPOSED ELEVATION NOTES:

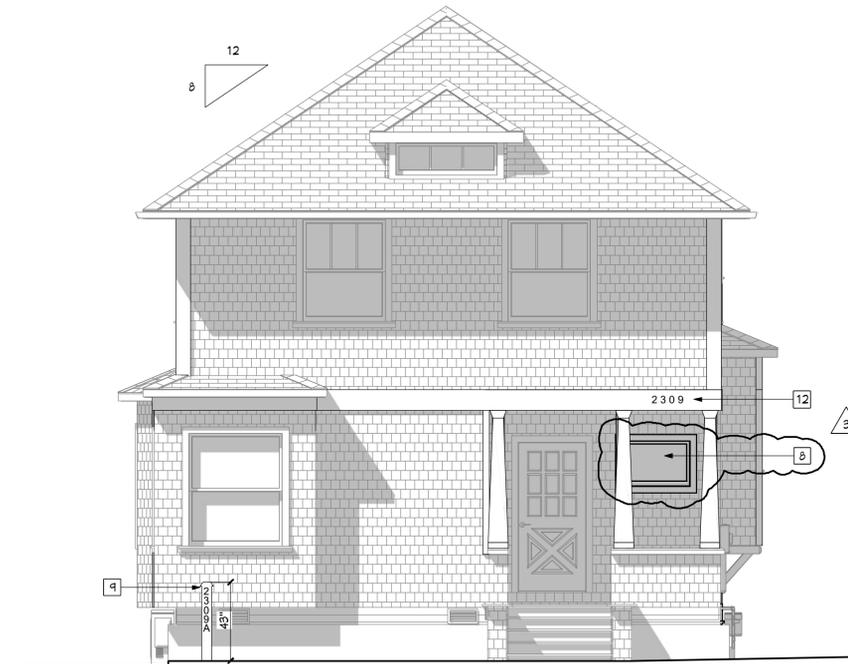
- 1. NOT ALL KEYNOTES USED ON THIS PLAN - SEE OTHER SHEETS
- 2. WALL OPENING ANALYSIS (PL < 5' - 0")
WALL AREA: 124 SF
OPENING AREA: 52 SF
% AREA: 7% < 25% OK



12 PROPOSED ELEVATION - REAR
SCALE: 1/4"=1'-0"



2 EXISTING ELEVATION - FRONT (NO WORK)
SCALE: 1/4"=1'-0"



4 PROPOSED ELEVATION - FRONT (NO WORK)
SCALE: 1/4"=1'-0"

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ISSUED: USE PERMIT MODIFICATION



4/24/2023	11/17/2023
ZONING APPLICATION	ZONING RESPONSE 1
12/20/23	12/20/23
ZONING RESPONSE 2	ZONING RESPONSE 3
01/17/24	01/17/24
ZONING PERMIT MODIFICATION	6/19/2025
USE PERMIT MODIFICATION	

CABINET SCHEDULE - PRIMARY

NUMBER	LABEL	DESCRIPTION	QTY	WIDTH	DEPTH	HEIGHT	COMMENTS
C01	UB02490R	FULL HEIGHT CABINET	1	30"	24"	40"	
C02	B21L	BASE CABINET	2	21"	24"	36"	
C03	3D824	BASE CABINET	1	24"	24"	36"	
C04	B21R	BASE CABINET	2	21"	24"	36"	
C05	BCB48R	BASE CABINET	1	48"	24"	36"	SWING RIGHT BLIND CORNER CAB. W/ PO.
C06	BCB21R	BASE CABINET	1	21"	24"	36"	TRASH/RECYCLING
C07	B36	BASE CABINET	1	36"	24"	36"	
C08	B21	BASE CABINET	1	21"	24"	36"	
C09	W2136R	WALL CABINET	2	21"	12"	36"	
C10	W2436R	WALL CABINET	2	24"	12"	36"	
C11	W2136L	WALL CABINET	1	21"	12"	36"	
C12	W2436L	WALL CABINET	1	24"	12"	36"	
C13	W361524	WALL CABINET	1	36"	24"	15"	
C14	W273615	WALL CABINET	1	27"	15"	36"	OPEN COMPARTMENT FOR CTOP MIN
C15	W301524TH	WALL CABINET	1	30"	24"	15"	
C16	W2115R	WALL CABINET	3	21"	12"	15"	
C17	W2415R	WALL CABINET	3	24"	12"	15"	
C18	W361524	WALL CABINET	1	36"	24"	15"	
C19	W271515	WALL CABINET	1	27"	15"	15"	
C20	W361524	WALL CABINET	1	36"	15"	34"	HOOD COVER - CUSTOM
C21	B40	BASE CABINET	1	40"	24"	36"	
C22	W3036	WALL CABINET	1	30"	12"	36"	
C23	W3015	WALL CABINET	1	30"	12"	15"	

CABINET NOTES:

- SEE CONSTRUCTION NOTES FOR ADDITIONAL INFORMATION
- CONSTRUCTION: FRAMELESS W/ WOOD EDGEBANDING, 3/4" PLYWOOD.
- END PANELS: 3/4" PLYWOOD.
- TOP/BOTTOM: 3/4" PLYWOOD.
- BACK: 1/4" MDF CORE W/HANGING RAIL.
- SHELVING: 3/4" PLYWOOD W/ WOOD EDGEBANDING.
- DRAWERS & ROLLOUT SHELVES: 5/8" HARDWOOD, DOVETAIL JOINTS.
- GUIDES: FULL EXTENSION SOFT CLOSE.
- TOEKICK: 4" HIGH X 3" RECESS.
- INTERIOR: FINISH SELECTED BY OWNER.
- FINISHED ENDS: TO MATCH EXTERIOR.
- HINGES: FULLY ADJUSTABLE SOFT CLOSE.
- DRAWER FRONT: SELECTED BY OWNER.
- DOOR FRONT: SELECTED BY OWNER.
- FULL: SELECTED BY OWNER.

ELECTRICAL FIXTURE SCHEDULE

2D	NUMBER	QTY	DESCRIPTION	COMMENTS
E01	1	UNDERCABINET TYPE 01		
E02	3	WALL MOUNTED TYPE 01	WEATHERPROOF	
E03	18	RECESSED TYPE 01		
E04	2	RECESSED TYPE 02	WATERPROOF	
E05	1	GUARDRAIL LIGHTING TYPE 01		
E06	1	RECESSED MEDICINE CABINET TYPE 01	POWER SUPPLY W/ LIGHT	
E07	2	EXHAUST FAN TYPE 01		
E08	2	SMOKE ALARM CO DETECTOR TYPE 01	COMBINATION	

ELECTRICAL FIXTURE NOTES:

- SEE CONSTRUCTION NOTES FOR ADDITIONAL INFORMATION

POWER AND SIGNAL SCHEDULE

2D	NUMBER	QTY	DESCRIPTION	COMMENTS
PS01	14	SWITCH TYPE 01		
PS02	6	SWITCH TYPE 02		
PS03	10	GFCI TYPE 01		
PS04	1	GFCI TYPE 01	RECESSED MEDICINE CABINET TYPE 01	
PS05	12	AFCI TYPE 01		
PS06	1	ELECTRIC RANGE		
PS07	1	HOOD W/ VENT		
PS08	2	GFCI W/ P TYPE 01	WEATHERPROOF	
PS09	1	GARBAGE DISPOSAL		
PS10	1	DISHWASHER		

EXISTING WINDOW SCHEDULE

NUMBER	QTY	SIZE	TYPE	EGRESS	TEMPERED	COMMENTS
01	2	4250	DOUBLE HUNG			
02	2	3650	DOUBLE HUNG			
03	2	2428	SINGLE CASEMENT			
04	1	2438	SINGLE CASEMENT			
05	1	110110	RIGHT SLIDING			
06	1	08210	FIXED GLASS			
07	1	2030	SINGLE HUNG			
08	2	2040	SINGLE CASEMENT			
09	1	2340	FIXED GLASS			
10	6	3846	DOUBLE HUNG			
11	4	1626	SINGLE CASEMENT			
12	4	11026	SINGLE CASEMENT	YES		
13	1	09010	FIXED GLASS			
14	1	3926	DOUBLE HUNG			
15	1	4615	FIXED GLASS			

EXISTING WINDOW SCHEDULE NOTES

- FRAME SIZE CALLED OUT. FIRST TWO NUMBERS WIDTH, FOOT-INCH; SECOND TWO NUMBERS HEIGHT, FOOT-INCH; E.G. 3050 = 3'-0" W X 5'-0" H.
- SEE ELEVATIONS FOR OPERATION.
- SEE CONSTRUCTION NOTES FOR ADDITIONAL INFORMATION.

EXISTING DOOR SCHEDULE

NUMBER	QTY	SIZE	THICKNESS	STYLE	TYPE	FUNCTION	COMMENTS
01	2	3068	1 3/8"	DOOR E12	HINGED		
02	2	2668	1 3/8"	SLAB	HINGED		
03	1	3368	1 3/8"	SLAB	HINGED		
04	1	2466	1 3/8"	SLAB	DOUBLE HINGED		
05	1	2868	1 3/8"	PANEL	HINGED		
06	1	2766	1 3/8"	PANEL	HINGED		
07	1	5868	1 3/8"	PANEL	DOUBLE POCKET		
08	1	2668	1 3/8"	PANEL	HINGED		
09	1	1668	1 3/8"	SLAB	HINGED		
10	2	2868	1 3/8"	SLAB	HINGED		
11	1	2866	1 3/8"	SLAB	HINGED		
12	1	2666	1 3/8"	LOUVERED	DOUBLE HINGED		

EXISTING DOOR SCHEDULE NOTES

- FRAME SIZE CALLED OUT. FIRST TWO NUMBERS WIDTH, FOOT-INCH; SECOND TWO NUMBERS HEIGHT, FOOT-INCH; E.G. 3050 = 3'-0" W X 5'-0" H.
- SEE PLANS FOR HANDING.
- SEE CONSTRUCTION NOTES FOR ADDITIONAL INFORMATION.

PROPOSED WINDOW SCHEDULE

NUMBER	QTY	SIZE	TYPE	EGRESS	TEMPERED	COMMENTS
01	1	110110	FIXED GLASS	NO	YES	VERIFY, OBSCURED GLAZING W/ OWNER
02	2	4496	TRIPLE SLIDING	NO		
03	1	3020	FIXED GLASS			
04	1	5036	TRIPLE SLIDING	YES	YES	VERIFY EGRESS WITH MFR.
05	1	01012	LOUVERED			
06	2	2428	SINGLE CASEMENT			

PROPOSED WINDOW SCHEDULE NOTES

- FRAME SIZE CALLED OUT. FIRST TWO NUMBERS WIDTH, FOOT-INCH; SECOND TWO NUMBERS HEIGHT, FOOT-INCH; E.G. 3050 = 3'-0" W X 5'-0" H.
- SEE ELEVATIONS FOR OPERATION.
- SEE CONSTRUCTION NOTES FOR ADDITIONAL INFORMATION.

PROPOSED DOOR SCHEDULE

NUMBER	QTY	SIZE	THICKNESS	STYLE	TYPE	FUNCTION	COMMENTS
01	1	5068	1 3/4"	GLASS PANEL	SLIDER		
02	1	2468	1 3/8"	PANEL	HINGED		
03	1	2668	1 3/8"	GLASS PANEL	POCKET		
04	1	2668	1 3/8"	PANEL	POCKET		
05	1	2868	1 3/8"	PANEL	HINGED		
06	1	3368	1 3/8"	SLAB	HINGED		
07	1	3068	1 3/4"	GLASS PANEL	HINGED		
08	1	2260	1 3/8"	SLAB	HINGED		
09	1	2466	1 3/8"	SLAB	DOUBLE HINGED		

PROPOSED DOOR SCHEDULE NOTES

- FRAME SIZE CALLED OUT. FIRST TWO NUMBERS WIDTH, FOOT-INCH; SECOND TWO NUMBERS HEIGHT, FOOT-INCH; E.G. 3050 = 3'-0" W X 5'-0" H.
- SEE PLANS FOR HANDING.
- SEE CONSTRUCTION NOTES FOR ADDITIONAL INFORMATION.

PLUMBING FIXTURE & EQUIPMENT SCHEDULE

NUMBER	ROOM NAME	QTY	DESCRIPTION	COMMENTS
P01	KITCHEN	1	FAUCET TYPE 01	
P02	KITCHEN	1	SINK PACKAGE TYPE 01	UNDERMOUNTED FARMHOUSE STYLE
P03	KITCHEN	1	POT FILLER TYPE 01	
P04	BATH	1	FAUCET TYPE 02	WALL MOUNTED FAUCET
P05	BATH	1	SINK PACKAGE TYPE 02	UNDERMOUNT LAVY
P06	BATH	1	TOILET PACKAGE TYPE 01	
P07	SHOWER	1	SHOWER HEAD TYPE 01	
P08	SHOWER	1	SHOWER HEAD TYPE 02	WALL MOUNTED RAIN SHOWER HEAD
P09	SHOWER	1	SHOWER VALVE & TRIM PACKAGE TYPE 01	WITH DIVERTER
P10	SHOWER	1	SHOWER DRAIN TYPE 01	
P11	CRAWLSPAC E	1	WATER HEATER TYPE 01	INSTANTANEOUS

PLUMBING NOTES:

- SEE CONSTRUCTION NOTES FOR ADDITIONAL INFORMATION

ACCESSORY SCHEDULE

NUMBER	ROOM NAME	QTY	DESCRIPTION	COMMENTS
A01	KITCHEN	1	SOAP DISPENSER TYPE 01	
A02	BATH	1	TOILET PAPER HOLDER TYPE 01	
A03	BATH	1	TOILET BAR TYPE 01	
A04	BATH	1	TOILET RING TYPE 01	

ACCESSORY NOTES:

- SEE CONSTRUCTION NOTES FOR ADDITIONAL INFORMATION

APPLIANCE SCHEDULE

NUMBER	ROOM NAME	QTY	DESCRIPTION	COMMENTS
A01	KITCHEN	1	RANGE TYPE 01	
A02	KITCHEN	1	RANGE HOOD TYPE 01	CUSTOM HOOD COVER
A03	KITCHEN	1	DISHWASHER TYPE 01	
A04	KITCHEN	1	REFRIGERATOR TYPE 01	ICE MAKER
A05	CL	1	WASHER TYPE 01	STACKABLE WASHER
A06	CL	1	DRYER TYPE 01	STACKABLE DRYER
A07	KITCHEN	1	MICROWAVE	COUNTERTOP TYPE-VERIFY DIMENSIONS W/ CABINETRY

APPLIANCES NOTES:

- SEE CONSTRUCTION NOTES FOR ADDITIONAL INFORMATION

FINISH SCHEDULE

ROOM NAME	INTERIOR/EXTERIOR	FLOOR FINISH	WALL MATERIAL	CEILING FINISH	BASE MOLDING	COMMENTS
SHOWER	INTERIOR	B/1	C/1	E/4		
BATH	INTERIOR	C/1	E/4	F/4	J	
PANTRY	INTERIOR	A/1	E/4	E/4	J	
DINING	INTERIOR	A/1	E/4	H	J	
KITCHEN	INTERIOR	A/1	B/1	H	J	
DECK	EXTERIOR	A/1	F/8			
ROOF DECK	EXTERIOR	A/1	F/8			

FINISHES NOTES:

- SEE CONSTRUCTION NOTES FOR ADDITIONAL INFORMATION

FINISHES SCHEDULE KEY:

- | | |
|-------------------------|--|
| MATERIAL: | FINISH: |
| A. TILE PKG. A | 1. SEALER |
| B. TILE PKG. B | 2. SAND, SEAL, CLEAR FINISH |
| C. TILE PKG. C | 3. MATCH ADJACENT EXISTING CONDITION PAINTED |
| D. TILE PKG. D | 4. LEVEL 5 PAINTED |
| E. GYPSUM BOARD TYPE 01 | 5. PAINTED - SEE PAINT SCHEDULE FOR MFR. COLOR AND SHEEN |
| F. GYPSUM BOARD TYPE 02 | 6. FACTORY |
| G. CONCRETE TYPE 01 | 7. LEVEL 1 |
| H. WOOD - T&G TYPE 01 | 8. SHIP-LAP(COCOA), STUCCO |
| I. HARDWOOD TYPE 01 | |
| J. BASEBOARD TYPE 01 | |

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ISSUED: 6/19/2025

PROJECT: ADDITION for the SCHEDULES - MAIN HOUSE

MCCULLOCH-KATZ
2309 PARKER ST
BERKELEY, CA 94704

SHEET TITLE: SCHEDULES - MAIN HOUSE

SCALE: AS NOTED

SHEET:

OF: A5.0



Z O N I N G
A D J U S T M E N T S
B O A R D
NOTICE OF PUBLIC HEARING

2309 Parker Street

Use Permit Modification #ZP2025-0015 to modify the Use Permit originally approved under #ZP2023-0141 to construct a 45 square-foot one-story residential addition with a roof balcony at the rear of a duplex, above 14 feet in average height (15 feet, 2 inches) on a lot non-conforming for density. The modified project proposes to construct a 64 square-foot upper floor addition above 14 feet in average height (22 feet, 2 inches) and revise the rear roof design.

The Zoning Adjustments Board of the City of Berkeley will hold a public hearing on the above matter, pursuant to Zoning Ordinance, Section [23.404.050 \(Public Hearings and Decisions\)](#)

When: Thursday, July 24, 2025, 7:00 pm

Where: Berkeley Unified School District meeting room, 1231 Addison Street, (wheelchair accessible) with remote/hybrid option (via Zoom).

Please visit: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board> and click on the hearing date to access the most up-to-date meeting information, or call the Land Use Planning division (510) 981-7410.

PUBLIC ADVISORY: THIS MEETING WILL BE CONDUCTED IN A HYBRID MODEL WITH BOTH IN-PERSON ATTENDANCE AND VIRTUAL PARTICIPATION AVAILABLE FOR MEMBERS OF THE PUBLIC.

For in-person attendees, face coverings or masks that cover both the nose and mouth are encouraged. If you're feeling sick, please do not attend the meeting in-person as a public health precaution.

Currently, there are no physical distancing requirements in place by the State of California or the Local Health Officer for an indoor event similar to a Commission meeting. However, all attendees are requested to be respectful of the personal space of other attendees. An area of the public seating area will be designated as "distanced seating" to accommodate persons that need to distance for personal health reasons.

A. Land Use Designations:

- General Plan: MDR – Medium Density Residential
- Zoning: R-2A – Restricted Multiple-Family Residential

B. Zoning Permits Required:

- Use Permit pursuant to Berkeley Municipal Code (BMC) Section 23.404.070(A) to modify an approved discretionary permit

D. CEQA Recommendation: Categorically exempt pursuant to Section 15301 of the CEQA Guidelines (“Existing Facilities”).

E. Project Recommendation: Approve Use Permit #ZP2025-0015 pursuant to BMC Section 23.406.040(D)

F. Parties Involved:

- Applicant Stephen Swearngen, 490 Lake Park Ave #10657, Oakland
- Property Owner Kevin Kaatz and Doug McCulloch, 2309 Parker St, Berkeley

Further Information:

All application materials are available online at:
<https://aca.cityofberkeley.info/CitizenAccess/Welcome.aspx>.

The Zoning Adjustments Board final agenda and staff reports will be available online 6 days prior to this meeting at: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board>.

Questions about the project should be directed to the project planner, Singeh Saliki, at (510) 981-7412 or ssaliki@berkeleyca.gov.

Written comments or a request for a Notice of Decision should be directed to the Zoning Adjustments Board Secretary at zab@berkeleyca.gov.

Communication Disclaimer:

Communications to Berkeley boards, commissions or committees are public record and will become part of the City's electronic records, which are accessible through the City's website. **Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, will become part of the public record.** If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service or in person to the secretary of the relevant board, commission or committee. If you do not want your contact information included in the public record, please do not include that information in your communication. Please contact the secretary to the relevant board, commission or committee for further information.

Written Comments, Communications, and Reports:

Written comments must be directed to the ZAB Secretary at the Land Use Planning Division (Attn: ZAB Secretary), or via e-mail to: zab@berkeleyca.gov. All materials will be made available via the Zoning Adjustments Board Agenda page online at this address: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board>

All persons are welcome to attend the hearing and will be given an opportunity to address the Board. Comments may be made verbally at the public hearing and/or in writing before the hearing. The Board may limit the time granted to each speaker.

Correspondence received by 5:00 PM, eight days before this public hearing, will be provided with the agenda materials provided to the Board. Note that if you submit a hard copy document of more than 10 pages, or in color, or with photos, you must provide 15 copies. Correspondence received after this deadline will be conveyed to the Board in the following manner:

- **Correspondence received by 5:00 PM, two days before** this public hearing, will be conveyed to the Board in a Supplemental Communications and Reports #1, which is released around noon one day before the public hearing.
- **Correspondence received by 12:00 PM, the day of** this public hearing, will be conveyed to the Board in a Supplemental Communications and Reports #2, which is released around noon the day of the public hearing.
- **Correspondence received after 12:00 PM, the day of** this public hearing will be saved in the project administrative record.



Accessibility Information / ADA Disclaimer:

To request a disability-related accommodation(s) to participate in the meeting, including auxiliary aids or services, please contact the Disability Services specialist at 981-6342 (V) or 981-6345 (TDD) at least three business days before the meeting date.

SB 343 Disclaimer:

Any writings or documents provided to a majority of the Commission regarding any item on this agenda will be made available to the public. Please contact the Land Use Planning Division (zab@berkeleyca.gov) to request hard-copies or electronic copies.

Notice Concerning Your Legal Rights:

If you object to a decision by the Zoning Adjustments Board regarding a land use permit project, the following requirements and restrictions apply:

1. If you challenge the decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice.
2. You must appeal to the City Council within 14 days after the Notice of Decision of the action of the Zoning Adjustments Board is mailed. It is your obligation to notify the Land Use Planning Division in writing of your desire to receive a Notice of Decision when it is completed.
3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than 90 days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that 90-day period will be barred.
4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
5. If you believe that this decision or any condition attached to it denies you any reasonable economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a "taking" of property for public use without just compensation under the California or United States Constitutions, the following requirements apply:
 - a. That this belief is a basis of your appeal.
 - b. Why you believe that the decision or condition constitutes a "taking" of property as set forth above.
 - c. All evidence and argument in support of your belief that the decision or condition constitutes a "taking" as set forth above. If you do not do so, you will waive any legal right to claim that your property has been taken, both before the City Council and in court.