

Middle Housing Project Application Submittal Requirements

(This box for staff use only)

DATE STAMP HERE

PLN20 ____ - ____

Zoning District _____

Intake Planner _____

The Middle Housing Project Submittal Requirements packet describes all of the materials required to submit a complete Middle Housing Project Application to the Planning and Development Department, Land Use Division. Section 1 is a checklist of materials required for all projects; Sections 2 and 3 comprise a list of materials that may be required based on the project type or location. Other information not included on this checklist may be requested to address unique situations. Please visit our Permit Forms page for land use forms and instructions.

All documents, reports and plans must be provided in digital format.

Submittal requirements on the checklist are described further in this packet, starting on page 3 and include hyperlinks to land use forms and instructions, or other information, if applicable. Each description: 1) identifies whether an item is required, and 2) indicates how to prepare each document, drawing, material, and/or report. All Planning Department forms can be found at <https://berkeleyca.gov/construction-development/permits-design-parameters/permit-types/permit-forms>

Page 1 of this packet must be completed and submitted with the Application. Staff will verify that the minimum submittal requirements have been included with your package during the application submittal appointment. Applications that are missing the materials in this checklist will not be accepted for review.

SECTION 1 - REQUIRED FOR ALL PROJECTS

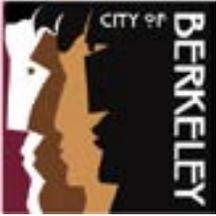
- A. Middle Housing Application Packet
 - 1. Middle Housing Project Application Form
 - 2. Completed copy of this Middle Housing Project Submittal Requirements Checklist (Page 1)
 - 3. Middle Housing Prior Tenancy Attestation Form (Only if altering existing structure)
- B. Applicant Statement
- C. Payment of Application Fees
(Please refer to current Land Use Fees)
- D. Hazardous Waste and Substances Statement
- E. Tabulation Form

SECTION 2 - REQUIRED FOR ALL DEVELOPMENT PROJECTS INVOLVING NEW STRUCTURES, ADDITIONS, DEMOLITIONS, OR EXTERIOR ALTERATIONS

- A. Site Plan
- B. Landscape and Usable Open Space Plan
- C. Lot Coverage Diagram
- D. Floor Plans
- E. Building Elevations
- F. Boundary and/or Topographic Survey
- G. Grading Plan

SECTION 3 - SUPPORTING DOCUMENTS, STUDIES, GRAPHICS AND DEPICTIONS FOR ALL DEVELOPMENT PROJECTS

- A. Site Photographs
- B. Arborist Report
- C. Structural Evaluation



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SECTION 4 - REQUIRED FOR ALL PROJECTS

- A. **Zoning Project Application Packet**
 1. **Middle Housing Project Application Form**
 2. **Middle Housing Project Submittal Requirements Checklist** (Page 1)
 3. [Affordable Housing Compliance Plan](#) (if applicable)
 4. [Design Review Application](#) (For project located in the MU-R zoning District only; indicate Staff Level Design Review (DRSL))

- B. **Applicant Statement**
Submit a written statement (in a separate document) that briefly describes the proposed project and how it complies with the Middle Housing requirements. Include any request to waive a submittal requirement if applicable.

- C. **Payment of [Land Use Pre-Application \(Staff level\) Fee](#)**
 - Permit Service Center Cashier: 8:30 am – 2:30* pm, Mon-Thurs (*closed from 12:30 – 1:30 pm)
 - Online Payment: [Permit Portal](#) (note – there is a third-party service fee for online credit card payments)
 - PSC check drop-off outside of Cashier hours: Ask the PSC Welcome Desk to assist you. Dropped off check payments will be processed the following business day; we will contact you if any additional information is needed for the payment. PSC is open Monday-Thursday 8:30 am – 2:30 pm – please do not drop off payments outside of those hours.

If supplemental technical studies are required, a Peer Review deposit will be required (e.g., Arborist Report).

- D. **[Hazardous Waste and Substances Statement](#)**
 Required for all projects, pursuant to [Government Code Section 65928](#).

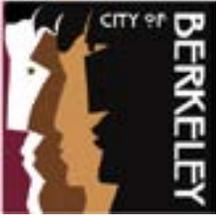
 Is the project located a **hazardous waste site** that is listed pursuant to Section 65962.5 or a hazardous waste site designated by the Department of Toxic Substances Control pursuant to Section 25356 of the Health and Safety Code.

- E. **[Tabulation Form](#)**
 Required for all projects.

 Submit the form as a separate document, completely filling out each column, using the applicable development standards of the Zoning Ordinance as a guide.

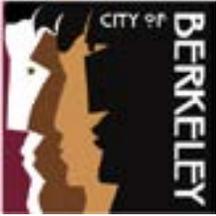
SECTION 5 - REQUIRED FOR ALL DEVELOPMENT PROJECTS INVOLVING NEW STRUCTURES, ADDITIONS, DEMOLITIONS, OR EXTERIOR ALTERATIONS

- Plans – General Requirements**
 1. **All plans must be fully dimensioned, and include:**
 - Name of person preparing plans (licensed architect required for certain projects, see Item 3 below)
 - Dates of preparation and revision
 - Project address
 - Graphic scale (see Item 2 below for minimum scales)
 - North arrow
 - Legend describing all symbols and notations
 - Building Code construction and occupancy types.



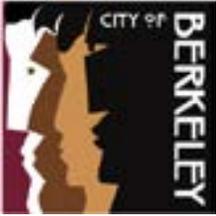
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<input type="checkbox"/>	<p><i>Note: The City of Berkeley Community GIS Portal is an online resource indicating site features and characteristics listed above, which are required to be shown on the Site Plan.</i></p> <p>2. Architect or Engineer Required for Certain Projects</p> <p>Plans that require preparation by a licensed California architect or engineer under the California Architects Practice Act (Business and Professions Code Sections 5537 and 6737) shall bear the architect or engineer’s stamp and signature on each sheet. This requirement may be waived for projects involving only minor alterations or repairs; consult with a planner. For further information, visit www.cab.ca.gov</p>
<input type="checkbox"/>	<p>A. Site Plan</p> <p>Required for all projects</p> <p>The Site Plan must show the following:</p> <ul style="list-style-type: none"> <input type="checkbox"/> Existing and proposed property lines and lot dimensions <input type="checkbox"/> Existing and proposed building footprint(s) (dimensioned), setbacks (required, existing and proposed), and projections such as eaves, balconies, and bays. Show all accessory structures, such as garages, sheds, etc. <input type="checkbox"/> Delineation of proposed additions, if any, with shading, hatching or another appropriate method <input type="checkbox"/> Any portions of neighboring buildings within 20 feet of property lines, including the building-to-building separation (measured in feet) <input type="checkbox"/> Pathway(s) from the residential structure to the public right of way <input type="checkbox"/> Driveways and parking spaces with dimensions, location of ADA spaces, and security gates <input type="checkbox"/> Trash/solid waste storage area <input type="checkbox"/> Decks, patios, hot tubs, and all unenclosed accessory structures
<input type="checkbox"/>	<p>B. Landscape and Usable Open Space Plan</p> <p>Required for all projects</p> <p>The Landscape Plan must show the following:</p> <ul style="list-style-type: none"> <input type="checkbox"/> Fully dimension all areas that qualify as existing and proposed Usable Open Space, in compliance with the applicable zoning district development standard and BMC Section 23.304.090 <input type="checkbox"/> Any existing landscaping to remain and to be removed <input type="checkbox"/> All proposed landscaping, including all existing and proposed trees, including street trees (indicate species, trunk diameter, drip line), hedge rows, and ground cover <input type="checkbox"/> All paved areas and surface treatments <input type="checkbox"/> Fences and retaining walls (materials and height) <input type="checkbox"/> Significant natural features such as creeks (indicate banks or culvert outline), and prominent landforms.
<input type="checkbox"/>	<p>C. Lot Coverage Diagram and Calculations</p> <p>Required for all projects with existing or proposed structures</p> <ul style="list-style-type: none"> <input type="checkbox"/> Submit the Lot Coverage Diagram and calculations, using the Site Plan as a base map, which must show the fully dimensioned diagrams to depict existing and proposed lot coverage in compliance with the applicable zoning district development standard and BMC Section 23.106.020.



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	<p>D. Floor Plans</p> <p>Required for all projects.</p> <p>The Floor Plan (s) must show the following:</p> <ul style="list-style-type: none"> <input type="checkbox"/> All floors, including mezzanines, basements, and attics <input type="checkbox"/> Use of all rooms (existing and proposed), per the California Building Code <input type="checkbox"/> For changes to existing buildings, provide separate plans for existing and proposed conditions, or if changes are limited, use dashed lines for demolished features and solid lines for new features.
<input type="checkbox"/>	<p>E. Floor Plans</p> <p>Required for all projects.</p> <p>The Floor Plan (s) must show the following:</p> <ul style="list-style-type: none"> <input type="checkbox"/> All floors, including mezzanines, basements, and attics <input type="checkbox"/> Use of all rooms (existing and proposed), per the California Building Code <input type="checkbox"/> For changes to existing buildings, provide separate plans for existing and proposed conditions, or if changes are limited, use dashed lines for demolished features and solid lines for new features.
<input type="checkbox"/>	<p>F. Building Elevations</p> <p>Required for all projects.</p> <p>The Elevations must show the following:</p> <ul style="list-style-type: none"> <input type="checkbox"/> All exterior features and openings, including finishes and materials <input type="checkbox"/> Existing and proposed building height (as defined in BMC Sections 23.106.090), finished floor elevations, and existing and finished grades (within five feet of the building). <input type="checkbox"/> Adjacent features such as fences, landscaping, and other buildings and property lines. <input type="checkbox"/> For changes to existing buildings, provide separate elevations for existing and proposed conditions, or if changes are limited, used dashed lines for demolished features and solid lines for new features. <p>Height Instructions –Maximum Building Height</p>
<input type="checkbox"/>	<p>G. Boundary and/or Topography Survey</p> <p>Required for the following projects:</p> <ul style="list-style-type: none"> <input type="checkbox"/> Any new main building. <input type="checkbox"/> Expansions of a building footprint or the creation of accessory building/structures less than two feet from, or within, a required setback. <p>Submit a survey meeting the following requirements:</p> <ol style="list-style-type: none"> 1. Wet-stamped, signed by a licensed CA surveyor or appropriately licensed civil engineer 2. Minimum scale of 1/10" = 1' 3. All property lines, curb and sidewalk, spot elevations, existing structures, building dimensions, and setbacks to all property lines.
<input type="checkbox"/>	<p>H. Conceptual Grading Plan</p> <p>Required for projects with more than 50 cubic yards of cut and/or fill.</p> <p>Submit a grading plan meeting the following requirements:</p> <ol style="list-style-type: none"> 1. Prepared by a licensed surveyor, architect or engineer 2. Estimated quantities and locations of cut and fill 3. Existing and final elevations



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SECTION 6 - SUPPORTING DOCUMENTS, STUDIES, GRAPHICS, AND DEPICTIONS FOR ALL DEVELOPMENT PROJECTS

<input type="checkbox"/>	<p>A. Site Photographs Required for all projects</p> <p>Submit one set of exterior photos with captions or a key indicating the location (perspective) of each photo. Provide an adequate number of photos to show entire project site and all adjacent buildings for context. Where possible, take wide-angle shots showing project site and adjacent buildings together.</p>
<input type="checkbox"/>	<p>B. Arborist Report Required for projects involving any construction activity (including excavation, trenching, demolition, paving, storage of materials, and parking of vehicles) within the drip line of a Coast Live Oak (<i>Quercus agrifolia</i>) tree with a <i>circumference</i> of at least 18 inches at 4 feet above the ground (or at least 26 inches aggregate circumference for a multi-stemmed tree).</p> <p>Submit a report by a certified arborist assessing the project's impacts on the affected tree(s) (tree may be located either on- or off-site) and recommending preservation measures both during and after construction, as applicable.</p> <p>Tree Protection Instructions Coast Live Oak Tree Ordinance</p>
<input type="checkbox"/>	<p>C. Structural Evaluation Required for any project that is not a demolition, but is removing more than 25 percent of a main building's exterior wall and 25 percent of a main building's roof framing (including in-kind replacement of existing framing), in order to confirm the feasibility of retaining the remaining portions of any wall and roof.</p> <p><u>A Structural Evaluation is not required</u> for projects requesting demolition.</p> <p>Submit a demolition diagram that indicates the percentage of each wall and roof that is proposed to be replaced or removed, as well as a report by an independent, fully credentialed structural engineer that evaluates whether, in the operator's opinion, retention of structural elements <u>not</u> proposed for removal is actually feasible.</p>