

**Building and Safety
Permit Service Center**

All plans and supporting documents must be submitted in electronic format as unsecured, flattened PDF(s) with embedded fonts. Minimum 11"x17" sheet size.

The valuation used in computing the building permit fee shall include the total value of work, including materials and labor, for which the permit is being issued, such as electrical, gas, mechanical, plumbing equipment and permanent systems. BMC Section 19.28.20.

California Licensed General, Electrical, Mechanical, and Plumbing Contractors are required to have a City of Berkeley Business License and must provide Worker's Compensation Carrier and Policy Number prior to or at the time of permit issuance.

Permit Service Center
1947 Center St. 3rd floor
Berkeley, CA 94704
510-981-7500 TTY 6903
permits@cityofberkeley.info

PERMIT APPLICATION

Building - Electrical - Mechanical - Plumbing - Sign

Project Information

Permit #:

Address: Berkeley, CA 94702

Valuation: 10,530,222 APN:

Parcel Conditions

Fire Zone: 1 2 3 Landslide Area Alquist Priolo
Flood Zone: A B C Liquefaction Zone Creek on the Parcel

Project Specific Information

Occupancy: Single-Family/Duplex/ADU Multi-Family Commercial/Industrial

Work Type: New Addition Alteration Demolition Sign

Other:

Permit(s): Building Electrical Mechanical Plumbing

Description of Work: Construction of new 6 story mixed-use building with 78 dwelling units, ground level lobby, parking and commercial, with state of California density bonus.

Work in the public right of way is required: Yes No

	Construction Type	Occupancy Class	Square Footage	No. of Stories	No. of Residential Units	No. of Bedrooms
Existing	IB	M	9,984	1	0	0
Proposed	IA, IIIA	S2,R2,A2	67,481	6	78	86

Residential Rental Units: Yes No Is tenant relocation required? Yes No

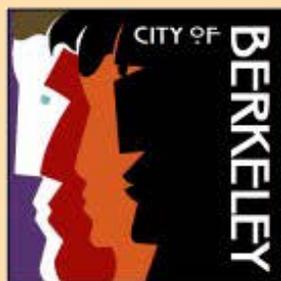
Applicant Information

Owner Agent Contractor Design Professional

Name:
Company:
State Lic #:
Address:
Email:

Owner Information

Name:
Address:
Email:


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Permit Service Center**

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The valuation used in computing the building permit fee shall include the total value of work, including materials and labor, for which the permit is being issued, such as electrical, gas, mechanical, plumbing equipment and permanent systems. BMC Section 19.28.20.

California Licensed General, Electrical, Mechanical, and Plumbing Contractors are required to have a City of Berkeley Business License and must provide Worker's Compensation Carrier and Policy Number prior to or at the time of permit issuance.

RECEIVED

PERMIT SERVICE CENTER

May 8, 2023

By A. Maltbie

Permit Service Center
1947 Center St. 3rd floor
Berkeley, CA 94704
510-981-7500 TDD 6903
permits@cityofberkeley.inf

PERMIT APPLICATION

Building - Electrical - Mechanical - Plumbing - Sign
Project Information

Permit #: ESR [REDACTED] 9

Address: [REDACTED]

Valuation: 4028428

APN: [REDACTED]

Parcel Conditions

 Fire Zone: 1 2 3 Landslide Area Alquist Priolo

 Flood Zone: A B C Liquefaction Zone Creek on the Parcel

Project Specific Information

 Occupancy: Single-Family/Duplex/ADU Multi-Family Commercial/Industrial

 Work Type: New Addition Alteration Demolition Sign

Other: [REDACTED]

 Permit(s): Building Electrical Mechanical Plumbing

Description of Work: NEW CONSTRUCTION OF 5 STORY RESIDENTIAL DEVELOPMENT WITH NO PARKING FIVE LEVELS OF RESIDENTIAL OCCUPANCY R-2, CONSTRUCTION TYPE III-A

 Work in the public right of way is required: Yes No

	Construction Type	Occupancy Class	Square Footage	No. of Stories	No. of Residential Units	No. of Bedrooms
Existing			8826			
Proposed	IIIA	R-2.1	20995		24	

 Residential Rental Units: Yes No

 Is tenant relocation required?: Yes No

Applicant Information
 Owner Agent Contractor Design Professional

Name: [REDACTED]

Phone: [REDACTED]

Company: [REDACTED]

Bus Lic #: [REDACTED]

State Lic #: [REDACTED]

Lic Class: [REDACTED]

Address: [REDACTED]

City, Zip: BERKELEY, CA 94710

Email: [REDACTED]

Owner Information

Name: [REDACTED]

Phone: 0

Address: [REDACTED]

City, Zip: [REDACTED]

Plumbing Permit Fees (Minimum \$127.00)

Qty	Fee Item	Fee
Minimum Plumbing Permit Fee includes:		
1	• Plumbing Filing Fee	\$22.00
1	• Plumbing Minimum Permit Fee	\$100.00
1	• Plumbing Technology Fee	5%
<input type="checkbox"/>	A. New Residential Buildings & Additions	
	• Includes fixtures & interior water lines	\$15.00
	• Per 100 Sq Ft - <i>Enter total Sq Ft</i>	
B. Itemized Fees:		
<input type="checkbox"/> 1642	Fixtures <i>include sanitary drainage/venting</i>	\$12.20
<input type="checkbox"/> 12	Gas Pipe Outlets ¹	\$5.60
<input type="checkbox"/>	Gas Piping Extension/Alteration/Repair ¹	\$12.20
<input type="checkbox"/>	Gas Pressure Test Only ¹	\$14.10
<input type="checkbox"/> 1	Gas Meters <i>New or Changed</i> ¹	1 \$13.10 2+ \$9.10
<input type="checkbox"/>	Graywater System <i>Single Family Dwelling, Duplex or ADU</i>	\$39.90
<input type="checkbox"/>	Graywater System <i>All Other Occupancies</i>	\$105.70
<input type="checkbox"/>	Inside Rain Leader	\$27.40
<input type="checkbox"/>	Lawn Sprinkler System <i>Single-Family Dwelling, Duplex or ADU</i>	\$39.90
<input type="checkbox"/>	Lawn Sprinkler System <i>Other Occupancies</i>	\$105.70
<input type="checkbox"/>	Nonpotable Rainwater Catchment System <i>Single-Family Dwelling, Duplex or ADU</i>	\$39.90
<input type="checkbox"/>	Nonpotable Rainwater Catchment System <i>Other Occupancies</i>	\$105.70

Qty	Fee Item	Fee
B. Itemized Fees (continued):		
<input type="checkbox"/>	Plumbing Permit Extension	\$57.00
<input type="checkbox"/>	Pressure Test <i>Water or Air</i>	\$14.40
<input type="checkbox"/>	Removal of Illicit Connections	\$12.20
<input type="checkbox"/> 5	Sanitary Sewer Lateral	\$34.00
<input type="checkbox"/> 2	Seismic Gas Shut-Off Valve	\$10.00
<input type="checkbox"/>	Seismic Gas Shut-Off Valve <i>2+ Group Permit</i>	\$50.00
<input type="checkbox"/>	Solar Water Heater	\$12.20
<input type="checkbox"/>	Stand Pipe System	\$129.10
<input type="checkbox"/>	Subsoil Storm Drainage Piping	\$34.00
<input type="checkbox"/>	Swimming Pool Filtration System	\$129.10
<input type="checkbox"/> 2	Water Heater	\$12.20
<input type="checkbox"/> 322	Water Line <i>Total Outlets</i>	<26 \$24.90 26+ \$2.70
<input type="checkbox"/>	Water Line <i>Hydronic Water Piping</i>	\$24.90
<input type="checkbox"/> 1	Water Main <i>Total Outlets</i>	<26 \$24.90 26+ \$2.70
<input type="checkbox"/> 1	Water Meters <i>New or Changed</i>	1 \$14.40 2+ \$8.40ea
<input type="checkbox"/> 1	Water Meters <i>Backflow Preventer</i>	\$12.20

1. Do not duplicate fees for gas work on mechanical and plumbing fee schedules

Contractor Information for Electrical, Mechanical and Plumbing permits

Name: Bus Lic #:
 Company: Lic. Class:
 Address:
 Email:

General
 Mechanical
 Electrical
 Plumbing

Name: Phone: Bus Lic #:
 Company: State Lic #: Lic. Class:
 Address:
 Email:

PROJECT INFORMATION

BUILDING AREA BY LEVEL (GROSS)			
Level	Name	Area	
Level 1	R-2, TYPE III-A	4179 SF	
Level 2	R-2, TYPE III-A	4209 SF	
Level 3	R-2, TYPE III-A	4209 SF	
Level 4	R-2, TYPE III-A	4209 SF	
Level 5	R-2, TYPE III-A	4188 SF	
		20995 SF	

BUILDING AREA
NOTE: GROSS BUILDING AREA IS CALCULATED TO THE EXTERIOR FACE OF EXTERIOR WALLS. IT EXCLUDES BALCONIES AND THE ROOF. IT INCLUDES INTERIOR STAIRS.

UNIT TYPE SUMMARY				
Name	Bedrooms	Count	Average Unit Area	Number
TYPE A	3 BR	1	664 SF	301
TYPE A	3 BR	1	664 SF	201
TYPE A	3 BR	1	664 SF	401
TYPE A-5	3 BR	1	635 SF	501
TYPE A-G	3 BR	1	599 SF	101
TYPE A-G-M	3 BR	1	587 SF	102
TYPE A-M	3 BR	1	669 SF	302
TYPE A-M	3 BR	1	671 SF	502
TYPE A-M	3 BR	1	671 SF	202
TYPE A-M	3 BR	1	671 SF	402
TYPE B	2 BR	1	597 SF	305
TYPE B	2 BR	1	597 SF	505
TYPE B	2 BR	1	597 SF	205
TYPE B	2 BR	1	597 SF	405
TYPE B-M	2 BR	1	599 SF	303
TYPE B-M	2 BR	1	601 SF	103
TYPE B-M	2 BR	1	599 SF	503
TYPE B-M	2 BR	1	599 SF	203
TYPE B-M	2 BR	1	599 SF	403
TYPE C	STUDIO	1	218 SF	304
TYPE C	STUDIO	1	218 SF	104
TYPE C	STUDIO	1	218 SF	504
TYPE C	STUDIO	1	218 SF	204
TYPE C	STUDIO	1	218 SF	404

UNIT TABULATION	
Bedrooms	Count
2 BR	9
3 BR	10
STUDIO	5
Total Units	24

PERMISSION AND RESPONSIBILITY
APPROVAL OF THIS PERMIT FOR WORK IN THE PUBLIC RIGHT-OF-WAY DOES NOT RELIEVE APPLICANT OF THE RESPONSIBILITY OF OBTAINING PERMISSION TO ENTER NEIGHBORING PROPERTIES IN THE COURSE OF THIS WORK IF NECESSARY. PERMITTEE SHALL NOTIFY AFFECTED PROPERTY OWNERS OF INTENTION TO ENTER NEIGHBORING PROPERTIES. PROPERLY APPROVAL SHALL NOT BE CONSIDERED AS A LICENSE TO ALTER OR ADVERSELY IMPACT ANY FACILITIES LOCATED IN THESE EASEMENTS. FULL RESTORATION AND RESTORATION SHALL BE THE RESPONSIBILITY OF THE PERMITTEE.

BEST MANAGEMENT PRACTICES REQUIRED
ALL PERSONS WORKING AT THIS SITE MUST IMPLEMENT APPLICABLE PORTIONS OF THE STATE STORM WATER BEST MANAGEMENT PRACTICES MANUAL TO THE MAXIMUM EXTENT PRACTICABLE TO PREVENT EROSION AND SEDIMENT INTO THE STORM DRAIN SYSTEM. FAILURE TO UTILIZE ADEQUATE CONTROLS IS A VIOLATION OF BMC 17.20. A COPY OF THIS MANUAL IS AVAILABLE FOR VIEWING AT THE PERMIT SERVICE CENTER.

BELOW MARKET RATE (BMR) AFFORDABLE UNITS CAN BE FOUND ON LEVELS 3, 4, AND 5 (UNIT 301, 404, AND 505) AND ARE MARKED ON A113, A114, AND A115.

SHEET INDEX

VOLUME 1

Sheet #	SHEET NAME	Permit Set - 2023-05-04	Permit Set - 2023-07-31
C600	CIVIL CONSTRUCTION DETAILS		
C601	CIVIL CONSTRUCTION DETAILS		
C610	CITY STANDARD DETAILS		
C611	CITY STANDARD DETAILS		
C701	CITY OF BERKELEY BEST MANAGEMENT PRACTICES PLAN		
13	LANDSCAPING		
IR101	IRRIGATION PLAN		
IR102	IRRIGATION LEGEND, NOTES, SCHEDULES		
IR103	IRRIGATION DETAILS		
IR104	IRRIGATION DETAILS		
L100	GENERAL NOTES AND SCHEDULES		
L110	LAYOUT PLAN		
L210	MATERIALS PLAN		
L310	PLANTING PLAN		
L410	SECTIONS		
L420	ELEVATIONS		
L510	DETAILS - WALLS		
L520	DETAILS - STAIRS		
L530	DETAILS - FENCES & FURNISHINGS		
L540	PLANTING DETAILS		
14	ARCHITECTURAL		
A001	SITE PLAN		
A100	SLAB PLAN - LEVEL 1		
A111	FLOOR PLAN - LEVEL 1		
A112	FLOOR PLAN - LEVEL 2		
A113	FLOOR PLAN - LEVEL 3		
A114	FLOOR PLAN - LEVEL 4		
A115	FLOOR PLAN - LEVEL 5		
A116	ROOF PLAN		
A121	REFLECTED CEILING PLAN - LEVEL 1		
A122	REFLECTED CEILING PLAN - LEVELS 2-5 TYP.		
A130	FINISH PLANS		
A140	SIGNAGE PLAN		
A170	EXTERIOR LIGHTING PLAN		
A210	ELEVATION EAST & WEST		
A220	ELEVATION NORTH & SOUTH		
A300	BUILDING SECTIONS		
A301	BUILDING SECTIONS		
A310	WALL SECTIONS		
A400	ENLARGED UNIT PLANS - TYPE A		
A401	ENLARGED UNIT PLANS - TYPE B		
A402	ENLARGED UNIT PLANS - TYPE C		
A410	ENLARGED PLANS - CORRIDOR LEVEL 1		
A411	ENLARGED PLANS - CORRIDOR LEVELS 2-5		
A412	ENLARGED PLANS - MEP / STORAGE / WASTE		
A420	ENLARGED VERTICAL CIRCULATION - ELEVATOR		
A421	ENLARGED VERTICAL CIRCULATION - ENTRY STAIR		
A422	ENLARGED VERTICAL CIRCULATION - EXIT STAIR		
A500	DETAILS - WALL ASSEMBLIES		
A501	DETAILS - WALL ASSEMBLIES		
A502	DETAILS - WALL ASSEMBLIES		
A505	DETAILS - HORIZONTAL ASSEMBLIES		
A506	DETAILS - HORIZONTAL ASSEMBLIES		
A510	DETAILS - WALL PENETRATIONS		
A511	DETAILS - WALL PENETRATIONS		
A512	DETAILS - ACOUSTIC PENETRATIONS		
A513	DETAILS - GENERAL PENETRATIONS		
A521	DETAILS - SITE & FOUNDATION		
A530	DETAILS - EXTERIOR WALLS		
A531	DETAILS - EXTERIOR WALLS - FLASHING & WATERPROOFING		
A532	EXTERIOR DETAILS - MISC		
A533	EXTERIOR CANOPY DETAILS		
A543	DETAILS - BALCONIES		
A550	DETAILS - ROOF - PARAPET & SCUPPERS		
A551	DETAILS - ROOF - PENETRATIONS		
A552	DETAILS - ROOF		
A560	DETAILS - DOORS		
A562	DETAILS - WINDOWS		
A565	DETAILS - STOREFRONT		
A570	DETAILS - ELEVATOR		
A571	DETAILS - ELEVATOR		
A572	DETAILS - ELEVATOR		
A573	DETAILS - ELEVATOR		
A574	DETAILS - ELEVATOR		
A575	DETAILS - ELEVATOR		
A576	DETAILS - ELEVATOR		
A577	DETAILS - ELEVATOR		
A578	DETAILS - ELEVATOR		
A580	DETAILS - STAIRS		
A581	DETAILS - INTERIOR WALLS - FRAMING		
A582	DETAILS - INTERIORS		
A590	DETAILS - CASEWORK		
A595	DETAILS - SIGNAGE		
A600	DOOR SCHEDULE AND LEGEND		
A601	DOOR SCHEDULE AND LEGEND CONT.		
A610	WINDOW SCHEDULE AND LEGEND		
A620	STOREFRONT SCHEDULE AND LEGEND		
A630	FINISH SCHEDULES		
67	STRUCTURAL		
S0.01	GENERAL NOTES		
S0.02	ABBREVIATIONS AND LEGEND		
S2.01	FOUNDATION AND FIRST FLOOR PLAN		
S2.02	SECOND FLOOR FRAMING PLAN		
S2.03	THIRD FLOOR FRAMING PLAN		
S2.04	FOURTH FLOOR FRAMING PLAN		
S2.05	FIFTH FLOOR FRAMING PLAN		
S2.06	ROOF FRAMING PLAN		
S2.07	STAIR FRAMING PLAN AND DETAILS		
S4.01	TYPICAL CONCRETE DETAILS		
S4.02	TYPICAL MAT SLAB DETAILS		
S4.03	TYPICAL TIEDOWN ANCHORAGE DETAILS		
S5.01	TYPICAL WOOD DETAILS		
S5.02	TYPICAL WOOD DETAILS		
S5.03	TYPICAL WOOD DETAILS		
S5.04	TYPICAL WOOD WALL SECTIONS		
S5.05	WOOD SECTIONS AND DETAILS		
17			

VICINITY MAP

Nov 8, 2023

THIS SET OF CONSTRUCTION DOCUMENTS MUST BE KEPT ON THE PROJECT SITE AT ALL TIMES. ANY DESIGN CHANGES MADE DURING CONSTRUCTION SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS.

VALIDITY OF PERMIT
ISSUANCE OF PERMIT OR APPROVAL OF PLANS SHALL NOT BE CONSTRUED AS PERMISSION TO VIOLATE ANY ORDINANCES, CODES OR LAWS OF THE CITY OF BERKELEY OR THE STATE OF CALIFORNIA. IT IS ASSUMED THE INFORMATION PROVIDED ON THE PLANS IS ACCURATE. PERMIT EXPIRES ONE YEAR AFTER DATE OF PERMIT ISSUANCE, UNLESS AN EXTENSION HAS BEEN GRANTED.

APPLICABLE CODES
ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF THE 2022 CALIFORNIA BUILDING STANDARDS CODE (CALIFORNIA CODE OF REGULATIONS, TITLE 24) AS ADOPTED BY THE CITY OF BERKELEY (BMC TITLE 19).

SMOKE & CARBON MONOXIDE ALARMS
ARE REQUIRED TO BE INSTALLED IN RESIDENTIAL GROUP R OCCUPANCIES WHEN ALTERATIONS, REPAIRS, OR ADDITIONS REQUIRING A BUILDING PERMIT OCCUR. SMOKE & CARBON MONOXIDE ALARMS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND APPLICABLE PROVISIONS OF CBC, CRC, CFC, AND REFERENCED STANDARDS.

EMERGENCY ESCAPE WINDOW
AN EMERGENCY ESCAPE AND RESCUE WINDOW IS REQUIRED IN BASEMENTS AND EVERY SLEEPING ROOM BELOW THE FOURTH STORY OF GROUP R OCCUPANCIES UNLESS EXEMPTED BY CBC SECTION 1030.1. MINIMUM NET WIDTH IS 20 INCHES, MINIMUM NET HEIGHT IS 24 INCHES AND MINIMUM NET AREA OF 5.7 SQUARE FEET OF OPENING.

SPECIAL INSPECTION IS REQUIRED
PROVIDE SPECIAL INSPECTION, MATERIAL TESTING, AND STRUCTURAL OBSERVATION AS REQUIRED PER CBC CHAPTER 17.

PUBLIC RIGHT-OF-WAY PERMIT
A SEPARATE RIGHT-OF-WAY PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS IS REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY.

PROPERTY LINES
IDENTIFICATION OF PROPERTY LINES ON THE PLANS AND, IN THE FIELD IS THE RESPONSIBILITY OF THE OWNER.

BAAQMD NOTIFICATION
THE PERMITTEE IS RESPONSIBLE TO COMPLY WITH THE REQUIREMENTS OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT (BAAQMD) REGULATION 11, RULE 2 PERTAINING TO DISTURBING REGULATED ASBESTOS CONTAINING MATERIALS (RACM). PLEASE CONTACT THE BAAQMD AT (415) 749-4762 OR VISIT WWW.BAAQMD.GOV FOR MORE INFORMATION.

Nov 8, 2023

REVIEWED FOR CODE COMPLIANCE

Permit Set - 2023-05-04

Permit Set - 2023-07-31

Sheet #	SHEET NAME	Permit Set - 2023-05-04	Permit Set - 2023-07-31
M000	MECHANICAL COVER SHEET		
M101	MECHANICAL EQUIPMENT SCHEDULES		
M102	MECHANICAL EQUIPMENT SCHEDULES		
M103	MECHANICAL EQUIPMENT SCHEDULES		
M201	MECHANICAL FIRST FLOOR PLAN		
M202	MECHANICAL SECOND FLOOR PLAN		
M203	MECHANICAL THIRD FLOOR PLAN		
M204	MECHANICAL FOURTH FLOOR PLAN		
M205	MECHANICAL FIFTH FLOOR PLAN		
M206	MECHANICAL ROOF PLAN		
M301	MECHANICAL ENLARGED PLAN		
M302	MECHANICAL ENLARGED PLAN		
M402	MECHANICAL DETAILS		
M403	MECHANICAL DETAILS		
M404	MECHANICAL DETAILS		
M405	MECHANICAL DETAILS		
M406	MECHANICAL DETAILS		
M407	MECHANICAL DETAILS		
M501	MECHANICAL RISER DIAGRAM		
M601	ENERGY MODEL		
M602	ENERGY MODEL		
M603	ENERGY MODEL		
M604	ENERGY MODEL		
M605	ENERGY MODEL		
M606	ENERGY MODEL		
M607	ENERGY MODEL		
M608	ENERGY MODEL		
M609	ENERGY MODEL		
M610	ENERGY MODEL		
MP201	MECHANICAL PIPING PLAN - LEVEL 1		
MP202	MECHANICAL PIPING PLAN - LEVEL 2		
MP203	MECHANICAL PIPING PLAN - LEVEL 3		
MP204	MECHANICAL PIPING PLAN - LEVEL 4		
MP205	MECHANICAL PIPING PLAN - LEVEL 5		
MP206	MECHANICAL PIPING PLAN - ROOF		
MP207	MECHANICAL PIPING PLAN - ROOF		
36	PLUMBING		
P000	PLUMBING TITLE SHEET		
P101	PLUMBING SCHEDULES		
P102	PLUMBING SCHEDULES		
P200	PLUMBING UNDERGROUND PLAN		
P201A	PLUMBING FIRST FLOOR SS & V & SD PLAN		
P201B	PLUMBING FIRST FLOOR DCW & DHW PLAN		
P202A	PLUMBING SECOND FLOOR SS & V & SD PLAN		
P202B	PLUMBING SECOND FLOOR DCW & DHW PLAN		
P203A	PLUMBING THIRD FLOOR SS & V & SD PLAN		
P203B	PLUMBING THIRD FLOOR DCW & DHW PLAN		
P204A	PLUMBING FOURTH FLOOR SS & V & SD PLAN		
P204B	PLUMBING FOURTH FLOOR DCW & DHW PLAN		
P205A	PLUMBING FIFTH FLOOR SS & V & SD PLAN		
P205B	PLUMBING FIFTH FLOOR DCW & DHW PLAN		
P206	PLUMBING ROOF LAYOUT PLAN		
P301	PLUMBING RISER DIAGRAMS - WASTE & VENT		
P302	PLUMBING RISER DIAGRAMS - WASTE & VENT		
P303	PLUMBING RISER DIAGRAMS - DOMESTIC WATER		
P401	PLUMBING ISOMETRIC VIEWS		
P501	PLUMBING DETAILS		
P502	PLUMBING DETAILS		
P503	PLUMBING DETAILS		
P504	PLUMBING DETAILS		
23	ELECTRICAL		
E001	ELECTRICAL COVER SHEET		
E002	TITLE 24 FORMS		
E003	TITLE 24 FORMS		
E004	TITLE 24 FORMS		
E005	TITLE 24 FORMS		
E100	EXTERIOR LIGHTING PLAN		
E101	1ST FLOOR LIGHTING PLAN		
E102	TYPICAL 2ND - 5TH FLOOR LIGHTING PLAN		
E201	1ST FLOOR POWER PLAN		
E202	TYPICAL 2ND - 5TH FLOOR POWER PLAN		
E203	ROOF POWER PLAN		
E301	SINGLE LINE DIAGRAM		
E302	PANEL SCHEDULES		
E303	PANEL SCHEDULES		
E304	LOAD CALCULATIONS & VOLTAGE DROP		
E401	LIGHTING CONTROL DIAGRAM AND FIXTURE SCHEDULE		
E501	ELECTRICAL DETAILS		
17			
TOTAL SHEETS: 212			



PERMIT SET

NEW CONSTRUCTION OF 5 STORY RESIDENTIAL DEVELOPMENT WITH NO PARKING FIVE LEVELS OF RESIDENTIAL OCCUPANCY R-2, CONSTRUCTION TYPE III-A;

ZONING CODE:
BASED UPON THE BERKELEY MUNICIPAL CODE R-4 DISTRICT
CONSTRUCTION TYPE: TYPE 3A
SPRINKLERED: YES

NATURAL GAS PROHIBITION
THE BUILDING WILL NOT INCLUDE ANY NATURAL GAS INFRASTRUCTURE IN COMPLIANCE WITH BMC CHAPTER 12.80

BERKELEY GREEN CODE, BERKELEY ENERGY CODE
THE PROJECT IS DESIGNED TO COMPLY WITH BERKELEY ENERGY CODE (BMC CHAPTER 19.36 AND BERKELEY GREEN CODE (BMC CHAPTER 19.37), BUILDING DESIGN MUST INCORPORATE ALL-ELECTRIC SYSTEMS.

ACCESSIBLE PARKING
THERE ARE NO RESIDENTIAL PARKING SPACES IN THE PROJECT.

BICYCLE PARKING
20

THIS PROJECT IS NOT PUBLICLY FUNDED AND IS NOT A PUBLIC HOUSING PROJECT. ONLY 11A APPLIES.

NOTE: AN ENGINEERING PERMIT WILL BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO CONSTRUCTION STAGING, RESERVED CONSTRUCTION PARKING, SIDEWALK, DRAINAGE, OR SEWER WORK. APPROVAL OF THIS BUILDING PERMIT DOES NOT AUTHORIZE WORK IN THE PUBLIC RIGHT-OF-WAY. THE ENGINEERING PERMIT CAN BE ISSUED AFTER THE BUILDING PERMIT IS APPROVED AND ISSUED.

THE TOTAL BUILDING AREA IS 20,995 SQUARE FEET. THE TABULAR ALLOWABLE AREA FOR AN OCCUPANCY GROUP R-2, TYPE IIIA STRUCTURE IS 24,000 SQUARE FEET (FIRE SPRINKLERS BEING USED FOR A HEIGHT/NUMBER OF STORIES INCREASE).

(1) APPROVED subject to Berkeley Fire Department - Fire Prevention Division Field Inspection. (b) (7) (C) Fire Prevention Division's Comment #17 associated to the Energy Storage System (ESS) installa ion remains outstanding. (b) (7) (C) The ESS installation does not comply with all the fire code requirements set forth under CFC §1207.9. Therefore, Fire does not approve the location, roof access via the proposed roof hatch and alternating treat device to access when responding to a fire associated to the ESS installa ion. (b) (7) (C) Please apply for a building permit or revision to the building permit to finalize to continue and finalize the review and approval of the ESS installation in accordance with the CFC §1207.9, CFC Table 1207.9, and CFC §1207.9.5. (b) (7) (C) Fire Permits - Please refer to the "Deferred Submittals" block on the title sheet (Sheet G001) for fire protection systems and emergency communication system that need to be completed as a deferred submittal under a separate fire permit.

DEFERRED SUBMITTALS

THOSE PORTIONS OF THE DESIGN THAT ARE NOT SUBMITTED AT THE TIME OF THE APPLICATION THAT ARE TO BE SUBMITTED FOR APPROVAL UNDER THIS PERMIT (IN ACCORDANCE WITH NFPA 2022 STANDARD EDITIONS, NFPA 13, NFPA 24, AND NFPA 72 (2022 EDITION))

1. FIRE SPRINKLER AND FIRE ALARM:
THE GENERAL CONTRACTOR SHALL FURNISH COMPLETE PLANS AND SPECIFICATIONS FOR FIRE EXTINGUISHING SYSTEMS, INCLUDING AUTOMATIC SPRINKLERS, FIRE SPRINKLER MONITORING, AND WET AND DRY STANDPIPES, UNDERGROUND FIRE LINE, HALON SYSTEMS AND OTHER SPECIAL TYPES OF AUTOMATIC FIRE-EXTINGUISHING SYSTEMS, AND APPURTENANCES. PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE BUILDING FIRE DEPARTMENT AND OTHER REQUIRED GOVERNING AGENCIES FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. THIS WILL INCLUDE ELEVATOR HOISTWAY, ELEVATOR MACHINE ROOM, AND ELEVATOR CONTROL ROOM, WHICH WILL COMPLY WITH CBC 3005.4.1 AND 3005.5

THE DESIGN AND INSTALLATION OF THE FOLLOWING FIRE PROTECTION SYSTEMS MUST BE COMPLETED UNDER A SEPARATE FIRE PERMIT AND IN ACCORDANCE WITH THE 2022 NFPA STANDARDS EDITIONS:

- THE DESIGN AND INSTALLATION FOR THE FIRE SPRINKLER UNDERGROUND PIPING AND ASSOCIATED WORK SHALL BE IN ACCORDANCE WITH NFPA 13-2022 EDITION AND NFPA 24-2019 EDITION.
- THE DESIGN AND INSTALLATION OF THE FIRE SPRINKLER SYSTEM SHALL BE IN ACCORDANCE WITH NFPA 13, 2022 EDITION [CFC §903.3.1.1]
- STANDPIPE SYSTEM AND HOSE CONNECTIONS: THE DESIGN AND INSTALLATION OF THE STANDPIPE SYSTEM AND HOSE CONNECTIONS MUST BE IN ACCORDANCE WITH NFPA 14-2019 EDITION.
- A TEMPORARY STANDPIPE WITH FDC MUST BE PROVIDED PRIOR TO CONSTRUCTION EXCEEDING 40-FEET IN HEIGHT ABOVE THE LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS. [CFC §5313.1]
- THE DESIGN AND INSTALLATION OF AN "AUTOMATIC AND MANUAL" FIRE ALARM SYSTEM IN ALL COMMON AREAS OF THE BUILDING CONTAINING A GROUP R-2 OCCUPANCY MUST BE IN ACCORDANCE WITH NFPA 72-2022 EDITION.
- PLEASE BE ADVISED THAT LOCAL REQUIREMENT PROHIBITS THE ELIMINATION OF MANUAL PULL STATIONS IN SPRINKLERED BUILDINGS CONTAINING A GROUP R-2 OCCUPANCY. [BFC §907.2]
- EMERGENCY RESPONDER RADIO COVERAGE (ERRC) SYSTEM: NEW BUILDINGS MUST HAVE AN APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING PURSUANT TO CALIFORNIA FIRE CODE (CFC) §510 AND NFPA 72-2022 EDITION.
- TWO-WAY COMMUNICATION SYSTEM: THE DESIGN AND INSTALLATION OF THE TWO-WAY COMMUNICATION SYSTEM MUST BE IN ACCORDANCE WITH NFPA 72-2022 EDITION.

NOTE: FIRE FLOW PURSUANT TO CFC APPENDIX B (20,995 SQ. FT. - TYPE IIIA CONSTRUCTION) INCLUDING A REDUCTION OF 50% FOR A FULLY SPRINKLERED BUILDING SHALL BE 1,000 GPM FOR A DURATION OF 2-HOURS PURSUANT TO THE BERKELEY MUNICIPAL CODE CHAPTER 19.48 DDDDD. SECTION B105.2 AND TABLE B105.2

2. PHOTOVOLTAIC
THE GENERAL CONTRACTOR SHALL FURNISH COMPLETE ENGINEERING, DRAWINGS & SPECIFICATIONS FOR ROOF MOUNTED AND BUILDING INTEGRATED PHOTOVOLTAIC (PV) SYSTEMS, INCLUDING PV ARRAY MOUNTING SYSTEMS & BRACKETS, INVERTER, BATTERY SYSTEMS, SERVICE PANELS, AND METERING PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE BUILDING / FIRE DEPARTMENT AND OTHER REQUIRED GOVERNING AGENCIES FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

3. EMERGENCY RESPONDER RADIO COMMUNICATIONS SYSTEM (ERRCS):
THE EMERGENCY RESPONDER RADIO COMMUNICATIONS SYSTEM (ERRCS) TO BE PROCESSED UNDER SEPARATE REVIEW AND APPROVAL.

1. SMOKE ALARM AND CARBON MONOXIDE ALARM LOCATIONS ARE SHOWN ON THE ELECTRICAL SHEETS.

GENERAL NOTES

1. SMOKE ALARM AND CARBON MONOXIDE ALARM LOCATIONS ARE SHOWN ON THE ELECTRICAL SHEETS.

ISSUED FOR DATE

ZAB APPROVAL FINAL 2/14/2023

100% DD 4/07/2023

25% CD 4/21/2023

BUILDING PERMIT SET 5/05/2023

BID SET 7/31/2023

FOR CONSTRUCTION SET TBD

REVISIONS DATE

1. PLAN CHECK 1 7/31/2023

2. BID SET CHANGES 7/31/2023

3. PLAN CHECK 2 9/08/2023

4. FOR CONSTRUCTION TBD

5. PLAN CHECK 3 10/09/2023

JOB NUMBER 22201

RELEASE DATE 10/09/2023

SHEET TITLE

TITLE SHEET - GENERAL INFORMATION

G001



Structural Calculations



Project No. [redacted]

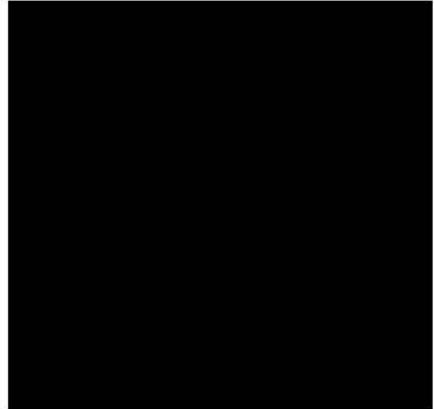
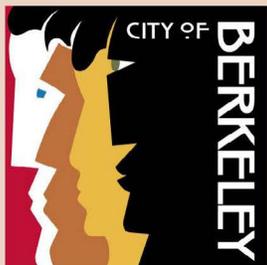


Table of Contents

Comment S8	1 - 12
Comment S14	13 - 25
Comment S43	26 - 35





**Building and Safety
Permit Service Center**

Complete this form and submit it along with your building permit application when performing the following activities:

1. Any non-residential projects requiring building permits.
2. Residential new buildings.
3. Residential projects that increase a building's conditioned area, volume, or size.
4. Residential projects valued over \$100,000.
5. Demolition permits valued over \$3,000.

A minimum of 65% of the waste generated by construction and demolition activities must be diverted away from landfill disposal through any combination of recycling, salvage, reuse or composting. 100% of asphalt, concrete, and land clearing debris must be recycled.

Building and Safety
1947 Center St. 3rd floor
Berkeley, CA 94704
510-981-7440 TTY 6903
buildingandsafety@berkeleyca.gov

CONSTRUCTION WASTE MANAGEMENT PLAN

Project Information

Permit Number:

Project Address:

Construction Methods

Waste generated during construction will be minimized through a combination of efficient design, careful and accurate material ordering, handling and storage, panelized or prefabricated construction, reuse, and/or salvage.

Universal and Hazardous Waste

Disposal of asbestos-containing materials, batteries, electronic waste, fluorescent bulbs, lead based paints, mercury containing equipment and refrigerants, require special processing prior to commencement of construction or demolition activities. Additional information can be found at the [Bay Area Air Quality Management District](#), Alameda County [Healthy Homes Department](#), and the City of Berkeley [Toxics Management Division](#). Please select the option that is applicable to your project.

This project does not involve disposal of universal or hazardous waste.

This project includes disposal of universal or hazardous waste in a responsible, safe and verifiable manner.

Diversions Documentation

Green Halo tracking is required for all projects generating 100 pounds (or 55 gallons) of waste or more. Please select the option that is applicable to your project.

A Construction Waste Management Plan has been submitted via Green Halo at www.berkeley.wastetracking.com. Prior to permit final, weight tickets for all materials disposed and recycled must be uploaded. Photos are acceptable for salvaged/reused materials.

Green Halo Tracking Number: GH

A letter will be provided to the Building Inspector at the time of final inspection affirming that this project has produced less than 100 pounds (or 55 gallons) of waste, all waste was site-sorted, and any waste that could be recycled was recycled properly through a waste disposal service provider, either on-site or at the contractor's office/shop. (This option is subject to approval for the duration of the project.)

Acknowledgment

I understand the waste diversion requirements of Berkeley Municipal Code 19.37 and submit this Construction Waste Management Plan pursuant to California Green Building Standards Code 4.408.2 or 5.408.1.1.

		11/8/23
--	--	----------------

Name	Signature	Date
------	-----------	------

[REDACTED]

ARCHITECTURAL ACOUSTICS

[REDACTED]

[REDACTED]

8 September 2023

[REDACTED]

Subject: Compliance with Acoustical Code Requirements
Interior Noise Exposure Evaluation

[REDACTED]

Dear [REDACTED]

Outlined below is the acoustical evaluation for the new residential project at [REDACTED] in Berkeley. The purpose of this evaluation is to determine compliance with the acoustical requirements of the City of Berkeley Building Code and the California Building Code. These acoustical codes specify the maximum interior noise exposure level due to exterior community noise sources impacting the building. This is also in response to the City of Berkeley plan check comment (COA 31) indicated on the previous set of drawings for the project. This letter is based on our review of the Plan Check Re-Submittal drawings, dated 09/08/2023, from your office. As indicated in the COA 31 comment, this acoustical evaluation should also be reviewed by the Building and Safety Division and the Zoning Officer of the City of Berkeley.

EXTERIOR NOISE CODE COMPLIANCE REQUIREMENTS

EXTERIOR NOISE DESIGN STANDARDS: The acoustical design requirements of the City of Berkeley and California Building Codes specify that the interior noise exposure level in any habitable space of a residential project not exceed a Day-Night Average Sound Level (L_{dn}) of 45 dBA where the exterior noise exposure level at the site is greater than (L_{dn}) of 60 dBA.

GENERAL INFORMATION ON ENVIRONMENTAL NOISE: The standard method used to quantify environmental noise involves evaluation of the sound with an adjustment to reflect the fact that human hearing is less sensitive to lower sound frequencies than to the mid and high frequencies. This measurement adjustment is called "A" weighting and the data are reported as A-weighted sound levels (dBA). The A-weighting scale causes the measurement instrumentation to respond to sound in a manner closely correlated with the subjective response of the average person. Community noise is always measured in A-weighted decibels (dBA).

Environmental noise also fluctuates in level over time. Therefore time-averaged sound levels are used to quantify noise levels and determine noise impacts. The most commonly used environmental noise exposure descriptor is the annual Day-Night Average Sound Level (L_{dn}). The cumulative noise exposure at a site, in terms of L_{dn} , represents the steady noise level that contains the same total sound energy as the fluctuating community noise levels during an average 24-hour period and is adjusted to account for the higher sensitivity of people to noise during the evening and nighttime periods.

NOISE ENVIRONMENT AT SITE: The project is located at [REDACTED]. The primary noise source impacting this site is traffic on [REDACTED] is a two way street with a single lane of traffic in both directions and curb parking on both sides of the street. On the west side of [REDACTED] consisting of open fields, greenhouses, etc., and managed by the [REDACTED]. On the east side of [REDACTED] the neighborhood consists of residential buildings. The building to the north of the project site is an existing five-story residential building. The building on the south is an existing three-story residential building.

[REDACTED]

ARCHITECTURAL ACOUSTICS

[REDACTED]

[REDACTED]

25 July 2023

[REDACTED]

Subject: Construction Noise Reduction Program
[REDACTED]
Berkeley, CA

Dear [REDACTED]

Outlined below is the Construction Noise Reduction Plan indicating noise attenuation requirements and recommendations for reduction of construction activities for the project located at [REDACTED] in Berkeley.

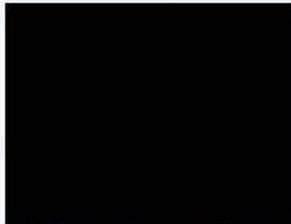
Project Information: This project is a new construction of a five-story residential building designed by [REDACTED]. The project is located on the east side of [REDACTED] approximately mid-block between [REDACTED].

Construction Noise Reduction Methods: Standard methods utilized for controlling construction site noise levels include administrative controls, work activity scheduling, use of quieter equipment, including maintaining and modifying existing, older equipment, and use of noise barriers. Specific noise reducing methods include the following.

- Businesses, residences, or other noise-sensitive land uses within 500 feet of the construction site should be notified of the construction schedule in writing prior to the beginning of construction activities.
- Construction activities are to be limited to between 7:00 a.m. and 7:00 p.m. on weekdays and 9:00 a.m. to 8:00 p.m. on weekends and legal holidays. (Ref. Berkeley Municipal Code 13.40.070.)
- Construction activities that may generate noise levels greater than 90 dBA at noise-sensitive receptors within 500 feet of the construction site will be limited to the hours of 8:00 a.m. and 5:00 p.m., Monday through Friday.
- Use smaller and/or quieter construction equipment and tools. Construction equipment should be well maintained and used judiciously to be as quiet as practicable.
- Use electric equipment in lieu of gasoline-powered equipment where feasible. When internal combustion engine-driven equipment is used, equip with mufflers that are in good condition and appropriate for the equipment.
- Use "quiet" models of air compressors and other stationary noise sources when available. Impact tools, such as jack hammers, pavement breakers, etc., used for project construction shall be hydraulically or electrically powered wherever possible. Where use of pneumatic tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used. External jackets on the tools themselves shall be used if such jackets are commercially available.
- Prohibit unnecessary idling of internal combustion engines when not in use especially during evening and early morning hours.
- Minimize drop height when loading excavated material onto trucks.



ARCHITECTURAL ACOUSTICS



8 September 2023



Subject: Property Line Noise Levels
Rooftop Mechanical Equipment
Berkeley, CA

Dear Kelly:

Outlined below is the exterior noise evaluation for the new residential project at [redacted] in Berkeley. The purpose of this evaluation is to determine compliance with the acoustical requirements of the City of Berkeley Municipal Code Section 13.40.050 that addresses exterior noise standards. This is also in response to the City of Berkeley plan check comment (COA 30) indicated on the previous set of drawings for the project. This letter is based on our review of the Plan Check Re-Submittal drawings, dated 09/08/2023, from your office.

COMMUNITY NOISE CRITERIA: The maximum permissible community noise levels in the Berkeley Noise Standards are indicated in Table 13.40-1 of those Noise Standards. The Exterior Noise Limits indicated may not be exceeded more than 30 minutes in any hour. The maximum allowable exterior noise levels are:

**Berkeley Municipal Code
Exterior Noise Standards**

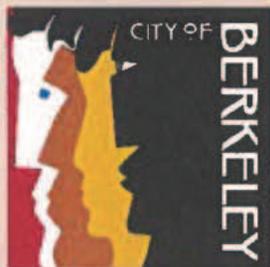
<u>Time Period</u>	<u>Noise Level</u>
7 AM to 10 PM	55 dBA*
10 PM to 7 AM	45 dBA*

** The A-weighting scale causes acoustical measurement instrumentation to respond to sound in a manner closely correlated with the subjective response of the average person. Community noise is always measured in A-weighted decibels (dBA).*

ROOFTOP MECHANICAL EQUIPMENT: Based on the mechanical drawings the only mechanical equipment located at the roof consists of two Samsung heat pump condensing units (CU-001 & CU-002) and a Samsung mini-split condensing unit (CU-R-01). These three pieces of mechanical equipment are located at the east area of the roof along Grid Line F and between Grid Lines 2 to 3.

PROPERTY LINE NOISE LEVELS: The measured sound level generated by each piece of equipment is indicated on the cut sheets for each condensing unit model from Samsung. The individual sound level for each of the three condensing units were combined to determine the maximum sound level transmitted to the property lines. The combined sound level was calculated at the north, east, and south Property Lines based on the standard sound attenuation due to distance from each unit to the property lines.

The calculated sound level at each property line is indicated below. The property line noise levels for the project are in compliance with the Exterior Noise Limits of the Berkeley Municipal Code Section 13.40.050 - Exterior Noise Standards.



**Building and Safety
Permit Service Center**

Where an application is made for construction as described in California Building Code (CBC) Chapter 17, the owner or the registered design professional in responsible charge acting as the owner's agent shall employ one or more approved agencies to perform inspections during construction on the types of work listed under CBC Section 1705. These inspections are in addition to the City of Berkeley inspections identified in CBC Section 110.

The registered design professional in responsible charge shall prepare the statement of special inspections in accordance with CBC Section 1704.3.1 for submittal by the applicant to the Building Official as a condition for permit issuance.

Building and Safety
1947 Center St. 3rd floor
Berkeley, CA 94704
510-981-7440 TTY 6903
buildingandsafety@cityofberkeley.info

SPECIAL INSPECTIONS

Project Information

Project Address: [Redacted]

Permit Number: [Redacted]

Contractor's Responsibility: Each contractor responsible for the construction of a main wind- or seismic- force resisting system or component listed in the statement of special inspections shall submit a statement of responsibility to the building official and the owner prior to the commencement of work on the system or component. The contractor's signature on this Statement of Special Inspection constitutes the statement of the responsibility and acknowledgement of awareness of the requirement for special inspections.

Special Inspector Qualifications: The special inspector shall provide written documentation to the Building Official demonstrating his or her competence and relevant experience or training. The registered design professional in responsible charge and engineer of record involved in the design of the project are permitted to act as the approved agency and their personnel are permitted to act as the special inspector for the work designed by them, provided they qualify as special inspectors.

Special Inspection Agencies:

Agency: [Redacted] Inspections: Concrete, Welding, Seismic, Bolting

Agency: [Redacted] Inspections: Soils

Agency: [Redacted] Inspections:

Acknowledgements:

Registered Design Professional in Responsible Charge:

[Redacted] 7/24/23

Name Signature Date

Owner's Authorization:

[Redacted] 8/8/23

Name Signature Date

Contractor:

[Redacted] 8/1/2023

Name Signature Date

Building Official's Acceptance:

[Redacted] 11/13/2023

Name Signature Date

The **Registered Design Professional in Responsible Charge** shall indicate the applicability and frequency of special inspections by circling either C for continuous or P for periodic inspections for the required types of work.

Type of Work	Frequency (circle one)	Specific Test Procedures
Special Cases (CBC 1705.1.1):		
Epoxy or Mechanical Anchors	C P	CAST IN PLACE & POST-INSTALLED ANCHORS
Moisture Barriers	C P	
Green Roofs	C P	
Other: <input type="text"/>	C P	
Concrete Construction (CBC 1705.3)	C P	REINFORCING STEEL AND CONC PLACEMENT
Masonry Construction (CBC 1705.4)	C P	
Wood Construction (CBC 1705.5)	C P	
Steel Construction:		
Structural Steel (CBC 1705.2.1)	C P	ALL STRUCTURAL WELDING
Cold Formed Steel (CBC 1705.2.2-1705.2.4)	C P	
Seismic Resistance (CBC 1705.12 & 1705.13)	C P	
Wind Resistance (CBC 1705.11)	C P	
Retrofit of Unreinforced Masonry Buildings	C P	
Exterior Insulation and Finish Systems (CBC 1705.16)	C P	
Fire Resistive Construction:		
Spray Applied Materials (CBC 1705.14)	C P	
Mastic and Intumescent Coatings (CBC 1705.15)	C P	
Penetrations and Joints (CBC 1705.17)	C P	
Smoke Control (CBC 1705.18)	C P	
Deep Foundations:		
Driven Piles (CBC 1705.7)	C P	
Cast-in-Place Piers (CBC 1705.8)	C P	
Helical Piles (CBC 1705.9)	C P	
Soils (CBC 1705.6)	C P	Verify materials below are adequate per Geotech report.



TAXABLE BUILDING SQUARE FOOTAGE CHANGE WORKSHEET

1. Permit Information:

Revision / / Date

Project Address:

Berkeley, CA 94

Building Permit #:

Assessor's Parcel Number:

2. Building Square Footage Calculations:

For instructions on how to fill up this form, please refer to the "Taxable Building Square Footage Change Worksheet Instructions" and the FAQ's on the back of this form. You can use attachments, if necessary, to show the Taxable Square Footage **addition** or **demolition**. For further information regarding taxable building square footage issues, please call Customer Service Center at 510-981-7200.

Floor	Enter taxable building square footage area per building use type						
	Residential Area		Non-Residential Area		Area Exempted*		
	<i>SFR, Duplex, Triplex, Multiple Units, Condos, (including usable basements and collars, pedestrian access walkways or corridors, porches, etc.)</i>		<i>Commercial, Industrial, Institutional, Condo's (Commercial, Industrial, Live/Work, etc.)</i>		<i>Garage/Off-Street Parking/Balconies/Stoops/Terraces/Pool/Patios/Arcades/Porticoes</i>		<i>Converted to Habitable Space</i>
	Added	Removed	Added	Removed	Added	Removed	(Yes/No)
Basement							
Garage							
1	4,199	2,206					
2	4,199	2,206					
3	4,199	2,206					
4	4,199	2,206					
5	4,199						
TOTAL	20,995	8,824					

* Any claim of exemptions must be accompanied by drawings, calculations and a statement specifying the basis for each exemption claimed. Exempted building areas, such as garages and off-street parking, are not included in taxable square footage totals. (Please refer to Berkeley Municipal Code - BMC Section 7.56.020 - Definitions).

Comments: EXISTING BUILDING TO BE DEMOLISHED.
20,995 SF OF NEW RESIDENTIAL AREA.

3. Owner/Agent Declaration

I declare under penalty of perjury that the foregoing is true and correct to the best of my knowledge.

Owner/Agent (Print Name):

Executed in Berkeley, California on:

Owner/Agent Signature:

5.4.2023
(Date)

For Internal Use Only

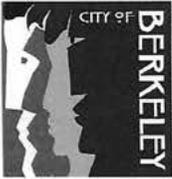
CHECKED BY: DATE:

REVIEWED BY: DATE:

FURTHER REVIEW BY: DATE:

For more information, please contact:

City of Berkeley
1947 Center Street, Berkeley, CA 94704
Customer Service Center
Tel: 510-981-7200



PLANNING & DEVELOPMENT

Land Use Planning, 1947 Center Street, Berkeley, CA 94704
Tel: 510.981.7410 TDD: 510.981.6347 Fax: 510.981.7420
Email: planning@cityofberkeley.info

ZONING CERTIFICATE APPLICATION – Building Permits

ZCBP # 20 - _____

BP # _____

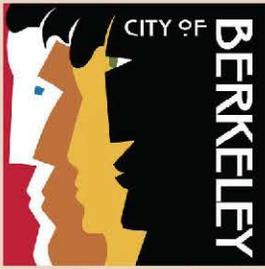
Address:		Suite/Unit #: BERKELEY CA 94709										
Project Description:	NEW CONSTRUCTION OF 24 UNIT, 5 STORY APARTMENTS.											
Use of Building/Property:	Existing: VACANT RESIDENTIAL APTS.	Proposed: NEW APARTMENTS										
Related Permits:	Have any of the following been approved or requested for this project? <input type="checkbox"/> AUP <input checked="" type="checkbox"/> Use Permit <input type="checkbox"/> Design Review <input type="checkbox"/> Landmarks											
Project Details (check all that apply):												
<input type="checkbox"/> In-kind repair/replacement (includes windows, decks, siding, etc.) <input checked="" type="checkbox"/> New building or enclosed structure (gross floor area: <u>20,995</u> sq. ft.) <input type="checkbox"/> Addition to existing building or enclosed structure (gross floor area: _____ sq. ft.) <input type="checkbox"/> Conversion of garage, basement, or attic to habitable space (gross floor area: _____ sq. ft.) <input type="checkbox"/> Demolition (includes removal/replacement of exterior wall or roof framing: ____% walls; ____% roof) <input type="checkbox"/> Removal or pruning of coast live oak tree – indicate circumference at 4' above ground: ____ in.												
<table style="width:100%; border: none;"> <tr> <td style="width:50%; border: none;"><u>Exterior changes:</u></td> <td style="width:50%; border: none;"><u>Addition or removal of:</u></td> </tr> <tr> <td style="border: none;"><input type="checkbox"/> Windows (new/enlarged openings)</td> <td style="border: none;"><input type="checkbox"/> Bedrooms (as defined on reverse)</td> </tr> <tr> <td style="border: none;"><input type="checkbox"/> Decks (expanded or new)</td> <td style="border: none;"><input type="checkbox"/> Interior walls separating commercial spaces?</td> </tr> <tr> <td style="border: none;"><input type="checkbox"/> Water heater</td> <td style="border: none;"><input type="checkbox"/> Parking spaces</td> </tr> <tr> <td style="border: none;"><input type="checkbox"/> Other:</td> <td style="border: none;"><input type="checkbox"/> Residential kitchens</td> </tr> </table>			<u>Exterior changes:</u>	<u>Addition or removal of:</u>	<input type="checkbox"/> Windows (new/enlarged openings)	<input type="checkbox"/> Bedrooms (as defined on reverse)	<input type="checkbox"/> Decks (expanded or new)	<input type="checkbox"/> Interior walls separating commercial spaces?	<input type="checkbox"/> Water heater	<input type="checkbox"/> Parking spaces	<input type="checkbox"/> Other:	<input type="checkbox"/> Residential kitchens
<u>Exterior changes:</u>	<u>Addition or removal of:</u>											
<input type="checkbox"/> Windows (new/enlarged openings)	<input type="checkbox"/> Bedrooms (as defined on reverse)											
<input type="checkbox"/> Decks (expanded or new)	<input type="checkbox"/> Interior walls separating commercial spaces?											
<input type="checkbox"/> Water heater	<input type="checkbox"/> Parking spaces											
<input type="checkbox"/> Other:	<input type="checkbox"/> Residential kitchens											
Impervious Surfaces:	Does the project create or replace 2,500 square feet or more of impervious surface area? (See reverse for further details) <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: _____ sq. ft. (submit required stormwater checklist to PSC)											
Applicant Information:												
Name:		Address:										
Phone:		City/State/Zip: BERKELEY CA 94702										

I hereby certify that the above information is true and complete to the best of my knowledge.

Applicant's Signature: _____

Date: 5/4/23

STAFF USE ONLY		
Intake Planner: _____	Zone: _____	Approved by: _____ Date: ____/____/____
Zoning Fee: <input type="checkbox"/> \$115 <input type="checkbox"/> \$230 <input type="checkbox"/> \$460	Route to: _____	Ordinance Section(s): _____
<input type="checkbox"/> DR <input type="checkbox"/> LM <input type="checkbox"/> PW (C.3)	Approval comments: _____	



FIRE PERMIT APPLICATION

CONSTRUCTION - EQUIPMENT INSTALLATION

Permit Service Center
Fire Prevention Division
Berkeley Fire Dept.

For online information on the permitting process and fire prevention information, please visit: https://www.cityofberkeley.info/Fire/Home/Fire_Prevention.aspx

Fire Permit #: [REDACTED]

Project Information

Property Address: [REDACTED]

APN Number: [REDACTED]

Total Project Square Feet: 20,995

Number of Stories: 5

Project Valuation: \$23,200

Project Summary:

INSTALL OF FULL NFPA-13 (2022) FIRE SPRINKLER SYSTEM

Single Family Residential Multi-Family Residential Commercial

Owner Information:

Name: [REDACTED]
Address: [REDACTED]
City: [REDACTED]
Phone: [REDACTED]
Email: [REDACTED]

Applicant Information:

Name: [REDACTED]
Address: [REDACTED]
City: [REDACTED]
Phone: [REDACTED]
Email: [REDACTED]

Contractor Information:

Name: [REDACTED]
State Lic #: [REDACTED]
Address: [REDACTED]
City, State: [REDACTED]
Phone: [REDACTED]
Email: [REDACTED]

Associated Building Permit #: [REDACTED] (if any)

RECEIVED

PERMIT SERVICE CENTER

Dec 18, 2023

By Robert Woilliams

Permit Service Center

1947 Center St. 3rd floor
Berkeley, CA 94704

permits@cityofberkeley.info

Fire Inspectors:

510.981.5585

Fire Plans Examiner:

510.981.7447

FEES FOR FIRE PERMIT

Fee Item	Quantity	Unit	Fee/Unit	Sub-Total (Optional)
Minimum Fire Permit Fee includes:				
• Filing Fee	1	Each	\$22	
• Technology Fee	1	Each	5% total permit fee	
• Plan Check Fee	1	Each	\$392/hr	
• Inspection Fee	1	Each	\$392/hr	

EQUIPMENT INSTALLATION

Automatic Sprinkler		Each	\$392 min	
Extinguishing Systems		Each	\$392 min	
Minor Extinguishing Systems--Alt.		Each	\$196 min	
Underground Water Main		Each	\$392 min	
Fire Pump		Each	\$392 min	
Standpipe		Each	\$392 min	
Window Bars		Each	\$196	
High Pile Storage		Each	\$392 min	

FIRE ALARM SYSTEMS (REQUIRED)

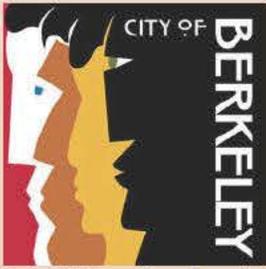
0-12 Devices		Each	\$392	
13-30 Devices		Each	\$588	
31-49 Devices		Each	\$980	
50+ Devices		Each	\$1176 min	
Water Flow Alarms		Each	\$196	

TANKS

Additional Inspection plus Min.		Each	\$392/hr	
Remove/Change Flammables/Liquids		Each	\$196 ea	
Add Above/ Below Grade Tank < 4,000 gal.		Each	\$196 ea	
Add Above/ Below Grade Tank 4,000 - 8,000 gal.		Each	\$392 ea	
Add Above/ Below Grade Tank > 8,000 gal.		Each	\$588 ea	
Remove Above Grade Tank (per tank)		Each	\$196 ea	
Remove Below Grade Tank (per tank)		Each	\$392 ea	
Piping & Equipment		Each	\$196 ea	

Total:

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FIRE PERMIT APPLICATION

CONSTRUCTION - EQUIPMENT INSTALLATION

Permit Service Center
Fire Prevention Division
Berkeley Fire Dept.

For online information on the permitting process and fire prevention information, please visit: <https://www.cityofberkeley.info/Fire/Home/FirePrevention.aspx>

Fire Permit #: [REDACTED]

Project Information:

Property Address: [REDACTED]

APN Number: [REDACTED]

Total Project Square Feet: 20,995

Number of Stories: 5

Project Valuation:

NEW INSTALL OF 4" FIRE SERVICE UNDERGROUND PER NFPA

Project Summary:

INSTALL OF FULL NFPA-13 (2022) FIRE SPRINKLER SYSTEM

Single Family Residential

Multi-Family Residential

Commercial

Owner Information:

Name:
Address:
City:
Phone:
Email:

[REDACTED]

Applicant Information:

Name:
Address:
City:
Phone:
Email:

[REDACTED]

Contractor Information:

Name:
State Lic #:
Address:
City, State:
Phone:
Email:

[REDACTED]

Permit Service Center
1947 Center St. 3rd floor
Berkeley, CA 94704
permits@cityofberkeley.info

Fire Inspectors:
510.981.5585
Fire Plans Examiner:
510.981.7447

Associated Building Permit #:
(if any)

[REDACTED]

FEES FOR FIRE PERMIT

Fee Item	Quantity	Unit	Fee/Unit	Sub-Total (Optional)
Minimum Fire Permit Fee includes:				
• Filing Fee	1	Each	\$22	
• Technology Fee	1	Each	5% total permit fee	
• Plan Check Fee	1	Each	\$392/hr	
• Inspection Fee	1	Each	\$392/hr	

EQUIPMENT INSTALLATION

Automatic Sprinkler		Each	\$392 min	
Extinguishing Systems		Each	\$392 min	
Minor Extinguishing Systems--Alt.		Each	\$196 min	
Underground Water Main		Each	\$392 min	
Fire Pump		Each	\$392 min	
Standpipe		Each	\$392 min	
Window Bars		Each	\$196	
High Pile Storage		Each	\$392 min	

FIRE ALARM SYSTEMS (REQUIRED)

0-12 Devices		Each	\$392	
13-30 Devices		Each	\$588	
31-49 Devices		Each	\$980	
50+ Devices		Each	\$1176 min	
Water Flow Alarms		Each	\$196	

TANKS

Additional Inspection plus Min.		Each	\$392/hr	
Remove/Change Flammables/Liquids		Each	\$196 ea	
Add Above/ Below Grade Tank < 4,000 gal.		Each	\$196 ea	
Add Above/ Below Grade Tank 4,000 - 8,000 gal.		Each	\$392 ea	
Add Above/ Below Grade Tank > 8,000 gal.		Each	\$588 ea	
Remove Above Grade Tank (per tank)		Each	\$196 ea	
Remove Below Grade Tank (per tank)		Each	\$392 ea	
Piping & Equipment		Each	\$196 ea	

Total:

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EBMUD FIRE SERVICE AVAILABLE FLOW & PRESSURE INFORMATION

Contact Information:

[Redacted]

Request Number: 8018

E-mail: [Redacted]
Phone: [Redacted]
Cell:
Fax:

Property Information:

[Redacted]
BERKELEY, 94709

Approximate Elevation (feet): 240
Connection Size (inches): 4

The following available flow and pressure information is based on a Maximum Day Demand Hydraulic Model Analysis of EBMUD's water distribution system. This information should be used as a guideline of the approximate available flow. It is recommended that a design allowance be made for possible reductions in pressure and/or flow that could occur under other possible scenarios. Applicant understands that the District cannot guarantee any specific values for pressure and flow. If you have any questions, please contact us at nbo@ebmud.com or call (510)287-1008.

Available flow and pressure at possible fire service connection for above property:

Possible Fire Service Connection #1
Off the 6-inch main (6C26) in Oxford Street, on the east side of Oxford Street, approximately 520 feet north of Hearst Avenue.

Pressure Zone: Berryman
Connection Point Elevation (feet): 244
Connection Point Static Pressure (psi): 106
Residual Pressure at gpm (psi):
Residual Pressure at 0 gpm (psi): 106
Residual Pressure at 750 gpm (psi): 101
Residual Pressure at 1500 gpm (psi): 88

Possible Fire Service Connection #2

Pressure Zone: Berryman
Connection Point Elevation (feet):
Connection Point Static Pressure (psi):
Residual Pressure at gpm (psi):
Residual Pressure at 0 gpm (psi):
Residual Pressure at 750 gpm (psi):
Residual Pressure at 1500 gpm (psi):

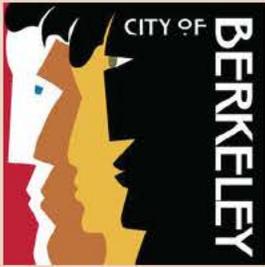
Possible Fire Service Connection #3

Pressure Zone: Berryman
Connection Point Elevation (feet):
Connection Point Static Pressure (psi):
Residual Pressure at gpm (psi):
Residual Pressure at 0 gpm (psi):
Residual Pressure at 750 gpm (psi):
Residual Pressure at 1500 gpm (psi):

Engineer's Comments: The pressure and flow information stated is available at the street main connection in [Redacted]

Flow and pressure data is valid for one year after the approval date. You will need to submit a new request and pay applicable fee after the expiration date.

NBO: [Redacted] **Engineer:** [Redacted] **Supervisor:** [Redacted] **Date:** 2023-03-08 13:12:30.0



**Public Works
Engineering**

A dimensioned schematic site plan must be submitted with this application.

Special Note:
Trenchless technology cannot eliminate sags in the pipeline. Contractor is responsible for the line and grade, and shall inform owner if trenchless piping is not suitable for the site-specific application. The City of Berkeley prohibits trenchless installation on sewers with less than 1% slope.

Private Sewer Lateral Permits must be obtained by a C-36, C-42, or Class A General Engineering Licensed Contractor.

Engineering Permit Application

PRIVATE SEWER LATERAL (PSL)

Project Information

Permit #: [REDACTED]

Address: [REDACTED]

Owner Information

Name: [REDACTED]

Address: [REDACTED]

Email: [REDACTED]

Contractor Information

Name: [REDACTED]

Company: [REDACTED]

State Lic #: [REDACTED]

Address: [REDACTED]

Email: [REDACTED]

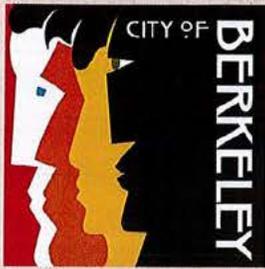
Description of Work (Complete schematic on page 2)

Install New Sewer lateral from property to main.

Private Sewer Lateral Permit Fees

Fee Item	Fee	Fee Code	Quantity
Filing Fee	\$22	FP230	1
Base Permit Fee	\$127	FP100	1
Engineering Permit Technology Fee	5%	FP420	1
Sanitary Sewer			
Sidewalk Inspection (up to curb)	\$190/hr	FP120	1
Trench Inspection (roadway)	\$190/hr	FP130	
Inspection, Private Sewer Lateral	\$34	FP550	1

Permit Service Center
1947 Center St. 3rd floor
Berkeley, CA 94704
510-981-7500 TTY 6903
[permits](#)
[@cityofberkeley.info](#)



Engineering Permit Application

TEMPORARY NO PARKING SIGNS

**Public Works
Engineering**

A dimensioned schematic must be completed on page 2 of this application.

No Parking signs must be posted 72 hours before prohibitions are enforced. The printed permit and attachments must be on site for towing enforcement.

Call (510) 981-5900 (Berkeley Police Non-Emergency) to tow vehicles parked in permitted spaces.

Permits issued to private parties may be temporarily suspended when reasonably necessary for public convenience or safety (BMC 16.16.050).

Project Information

Permit #: [REDACTED]

Address: [REDACTED]
 Start Date: NOVEMBER 15 2023 End Date: MAY 15 2024
 Start Time: 7 AM End Time: 5 PM
Mon - Fri 12pm per Plan 1123 + K. Pham

Applicant / Contractor Information

Name: [REDACTED]
 Company: [REDACTED]
 State Lic #: [REDACTED]
 Address: [REDACTED]
 Email: [REDACTED]

Parking Request Details (Complete Schematic on page 2)

SEE ATTACHED

Permit Fees for Temporary Right of Way and No Parking

Fee Item	Fee	Fee Code	Quantity
Filing Fee	\$22	FP230	
Base Permit Fee	\$34	FP160	
No Parking Sign	\$15	FP170	
Replacement Sign/Cab Card	\$5	FP610	
Timed Zone/ Metered Area (Weekly)	\$79	FP180	
Timed Zone/ Metered Area (Daily)	\$15.80	FP190	

Temporary Right of Way Use

Base Permit Fee	\$127	FP160	
Monthly Fee	\$221	FP250	
R/W Inspection Fee (hourly)	\$190	FP430	
_____ Curb LF x _____ mo	\$7.50	FP260	
Debris Box/ Moving Containers/ PODs	\$100	FP270	

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